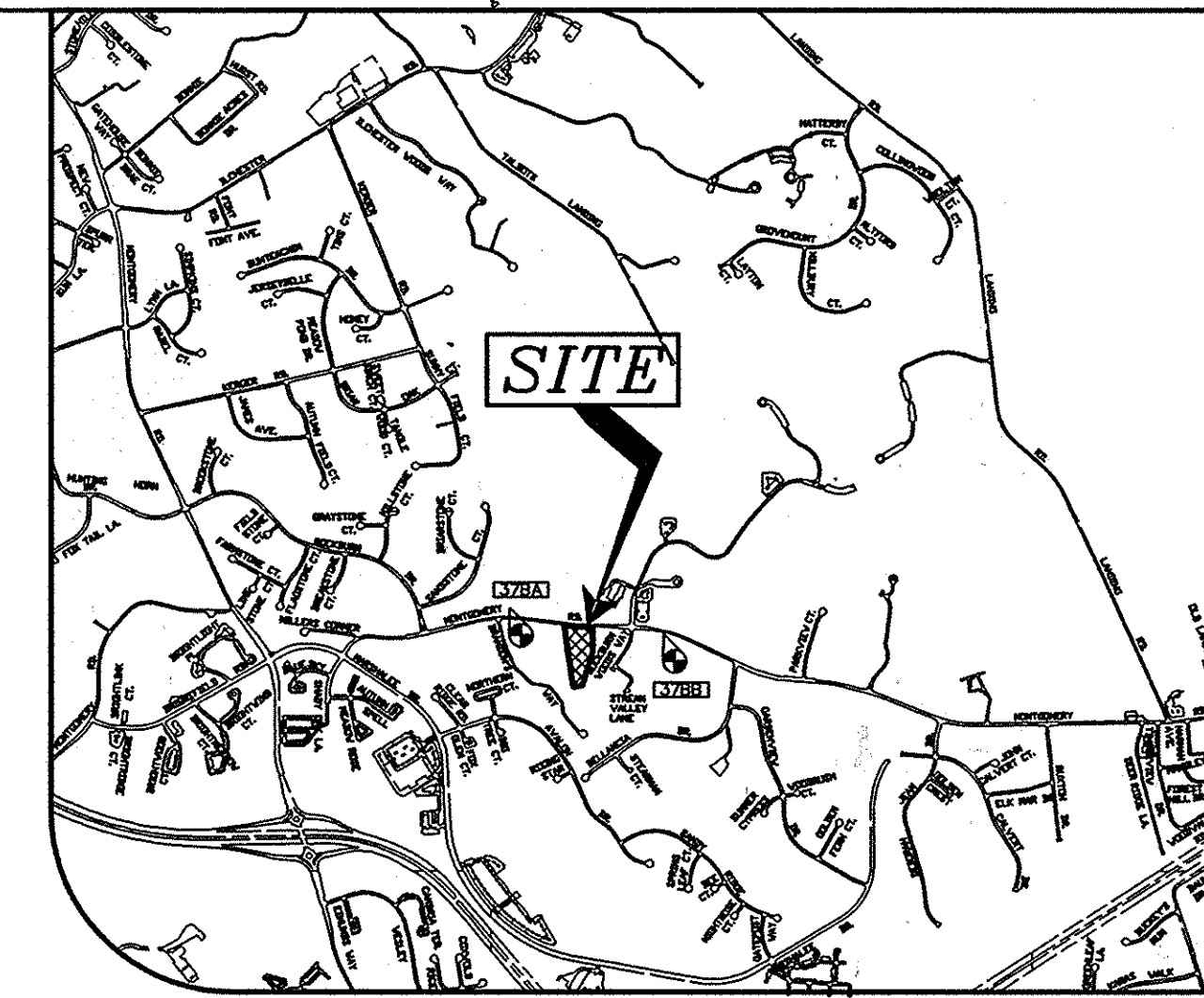
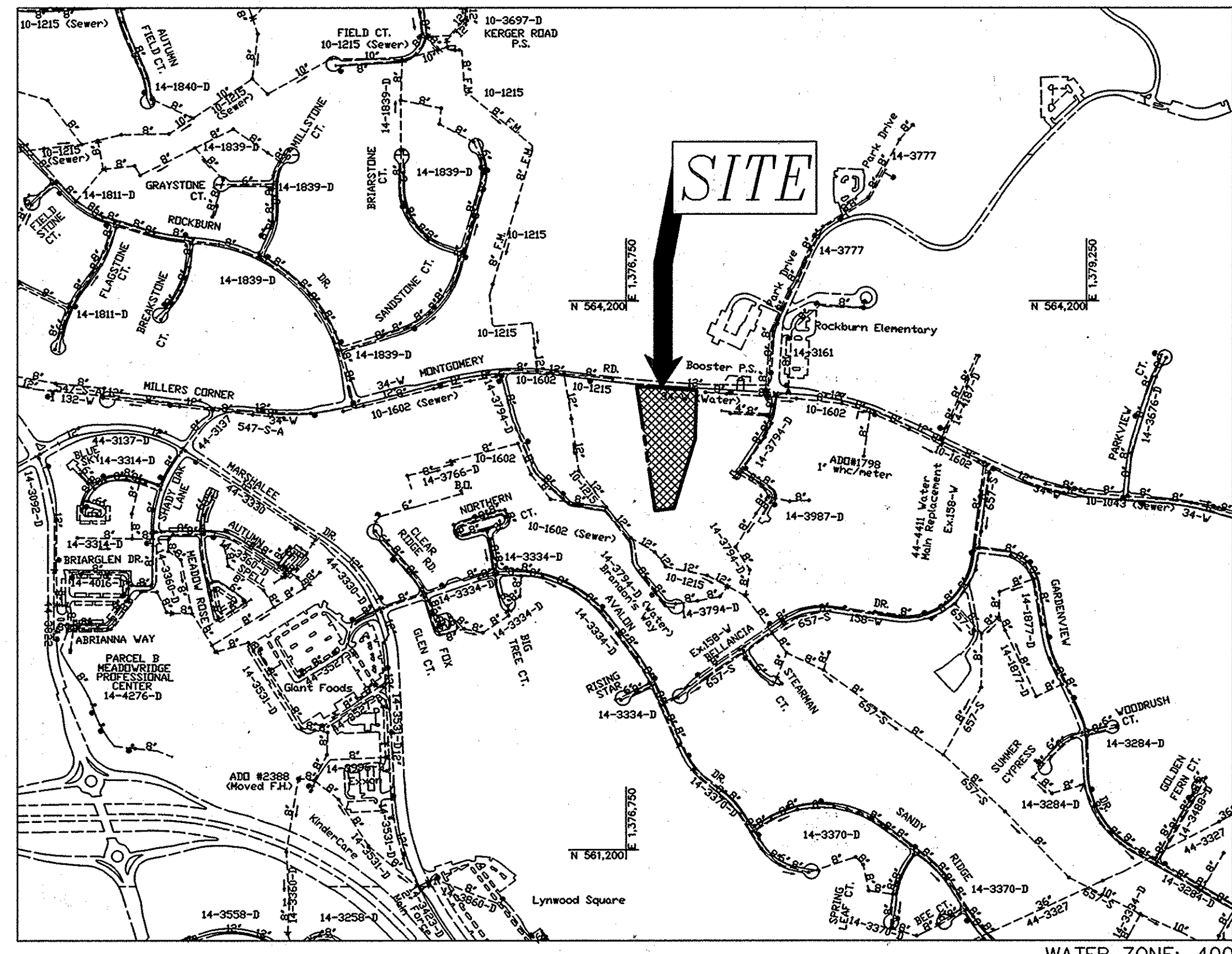


QUANTITY TABLE

ITEMS	QUANTITIES ESTIMATED	QUANTITIES	TYPE	MANUFACTURER/SUPPLIER
STANDARD MH (HO. CO. STD.G-5.12)	7 EACH	7 EA.	TEA.	CONTRACTOR PRECAST CONCRETE
8" SEWER MAIN	865 LF	865 L.F.	PVC SDR 35	NATIONAL PIPE
4" SHC	171 LF	171 L.F.	PVC SDR 35	NATIONAL PIPE
# 4" SHC	8 EACH	8 EA.		STONE CONCRETE
8" WATER MAIN (PVC C-900, DR-18)	464 LF	464 L.F.	C-900 DR 18	NATIONAL PIPE
1 1/2" WATER HOUSE CONNECTION	136 LF	136 L.F.		MUELLER
# 1 1/2" WHC	8 EACH	8 EA.		MUELLER
8"x12" T.S. & V	1 EACH	1 EA.		MUELLER
8"x6" F.H.T. & V.	1 EACH	1 EA.		MUELLER
FIRE HYDRANT	1 EACH	1 EA.		MUELLER
8" CAP & BUTTRESS	1 EACH	1 EA.		MUELLER
# 1 1/2" DRAIN	1 EACH	1 EA.		MUELLER
MANHOLE OVER EXIST. PIPE (HO CO STD G-5.14)	1 EACH	1 EA.		CONTRACTOR PRECAST CONCRETE
NAME OF UTILITY CONTRACTOR: UTILITIES UNLIMITED				
SURVEY AND DRAFTING DIVISION AS-BUILT DATE				



VICINITY MAP
SCALE: 1" = 200'
ADC MAP 4936, GRID G6



LOCATION MAP
SCALE: 1" = 600'
WATER ZONE: 400
TEST GRADIENT: 550

- SEWER**
- ALL SEWER MAINS SHALL BE P.V.C. UNLESS OTHERWISE NOTED.
 - ALL MANHOLES SHALL BE 4'-0" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
 - FORCE MAINS SHALL BE D.I.P. ONLY.
 - MANHOLES SHOWN WITH 12" AND 16" WALLS ARE FOR BRICK MANHOLES ONLY.
 - MANHOLES DESIGNATED W.T. IN PLAN AND PROFILE SHALL HAVE WATERTIGHT FRAME AND COVER, STANDARD DETAIL 05.52, WHERE WATERTIGHT MANHOLE FRAMES AND COVERS ARE USED, SET TOP OF FRAME 1'-6" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - HOUSE(S) WITH THE SYMBOL "C.N.S." INDICATED THAT THE CELLAR CANNOT BE SERVED.

- GENERAL NOTES**
- APPROXIMATE LOCATIONS OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAKE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON THE DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
 - TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY PERFORMED ON OR ABOUT JANUARY 2012 BY MILDENBERG, BOENDER ASSOCIATES.
 - HORIZONTAL AND VERTICAL CONTROLS: THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD '83/'91 AS PROJECTED BY HOWARD COUNTY GEODETIC DETAIL 05.52. ALL VERTICAL CONTROLS ARE BASED ON NAVD '88. VERTICAL CONTROLS PROVIDED ON THE DRAWINGS ARE HO.CO. GEODETIC CONTROL STA. 378A AND 378B.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED ON THE PLANS.
 - CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 5'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON THE DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
 - FOR DETAILS NOT SHOWN ON THE DRAWING, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
 - WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE NOTED BY THE SYMBOL AT THE LOCATIONS OF THE TEST PITS. A NOTE OR NOTES CONTAINING THE RESULTS OF THE TEST PIT OR PITS IS INCLUDED ON THE DRAWINGS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS AT HIS OWN EXPENSE.
 - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:

AT&T	1-800-252-1133
BGE(EMERGENCY)	410-637-8713
BUREAU OF UTILITIES	410-313-4000
COLONIAL PIPELINE CO.	410-795-1390
STATE HIGHWAY ADMINISTRATION	410-531-5533
VERIZON	1-800-743-0033/410-224-9210
MISS UTILITY	1-800-257-7777
 - TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
 - THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT (410)313-7450 AT LEAST FIVE WORKING DAYS BEFORE OPEN CUTTING OR BORING/JACKING OF ANY COUNTY ROAD FOR LAYING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.114(a) OF THE HOWARD COUNTY CODE.

A MINIMUM 1-1/4" WATER HOUSE CONNECTION (WHC) SIZE WITH 1" METER, OUTSIDE SETTING IS REQUIRED TO COMPLY WITH THE REQUIREMENT OF FIRE SPRINKLER SYSTEMS WITHIN NEW DWELLINGS.

TYPE OF BUILDING	RESIDENTIAL
No. OF UNITS	8
No. OF WATER HOUSE CONNECTION	8
No. OF SEWER HOUSE CONNECTIONS	8
DRAINAGE AREA	DEEP RUN
TREATMENT PLANT	PATAESCO

PROPERTY OWNER

DORSEY FAMILY HOMES
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

LEGEND

- EXISTING SEWER MAIN AND MANHOLE
- EXISTING WATER MAIN AND VALVE
- EXISTING FIRE HYDRANT
- PROPOSED SEWER MAIN
- PROPOSED SEWER HOUSE CONNECTION
- PROPOSED SEWER MANHOLE
- PROPOSED WATER MAIN
- PROPOSED WATER HOUSE CONNECTION
- PROPOSED FIRE HYDRANT

CONTRACT NO.: 14-4744-D

**ROCKBURN VIEW
LOTS 54 THRU 61 AND O.S. LOT 62
RESUBDIVISION OF LOT 32**

**WATER AND SEWER MAIN EXTENSION
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY HOWARD SOIL CONSERVATION DISTRICT.

Rob Dorsey, Jr. 8-13-12
DEVELOPER'S SIGNATURE DATE
ROB DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.
DEVELOPER'S NAME

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Jeffrey Sloman 8/10/12
ENGINEER'S SIGNATURE DATE
JEFFREY SLOMAN
ENGINEER'S NAME

PLAN REFERENCE NUMBERS:
ECP 12-035, F-12-077

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 40091, EXPIRATION DATE: 2/13/13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE SOIL CONSERVATION DISTRICT.

John A. Robertson 9/27/12
HOWARD SOIL CONSERVATION DISTRICT

PL 11-023 MICHAEL PROPERTY DWG(11-023) HAS - FEB 2012.DWG

DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND	DEPARTMENT OF PLANNING & ZONING HOWARD COUNTY, MARYLAND
<i>John C. Coen</i> 9/10/12 CHIEF, BUREAU OF UTILITIES DATE	<i>Jeffrey Sloman</i> 10/5/12 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deepwater Road, Suite 150, Ellicott City, Maryland 21075
(410) 997-0286 Cell (410) 997-0288 Fax



engineering JLS				
illustration JLS				
approval RJH				
project 11-023	CAB 2	AS-BUILT REVISIONS	9/10/12	
date AUG 2012	JLS 1	REVISION SEWER, ADD SMR 199	8/16/12	
	BY NO.	REVISION	DATE	

TITLE SHEET	
600' SCALE MAP NO. 37	BLOCK NO. 4

ROCKBURN VIEW
LOTS 54 THRU 61, O.S. LOT 62 RESUBDIVISION OF LOT 32
CONTRACT NO. 14-4744-D
SECOND ELECTION DISTRICT
HOWARD COUNTY

scale AS SHOWN
1 OF 3

WATER / SEWER MAIN TABULATION CHART		
APPURTENANCE	NORTHING	EASTING
SMH 200	N 562,959.7162	E 1,376,798.1031
SMH 201	N 563,082.1799	E 1,376,956.0573
SMH 202	N 563,352.3256	E 1,376,977.1445
SMH 203	N 563,325.3373	E 1,376,976.4932
SMH 300	N 563,712.0075	E 1,377,015.1816
SMH 301	N 563,607.6408	E 1,377,008.2059
SMH 302	N 563,586.0527	E 1,376,994.0430
12" X8" T.S.&V.	N 563,731.8440	E 1,377,005.4829
8" X8" TIE	N 563,513.8726	E 1,376,936.3847
FIRE HYDRANT	N 563,514.4287	E 1,376,919.9418
1/16" HB	N 563,615.6347	E 1,376,997.7157
1/16" HB	N 563,600.7583	E 1,376,990.5347
1/8" HB	N 563,590.4509	E 1,376,956.5840
1/16" HB	N 563,539.0148	E 1,376,937.4652
1/16" HB	N 563,500.9495	E 1,376,935.9086
1/16" HB	N 563,426.8740	E 1,376,985.0277
1/32" HB	N 563,352.1610	E 1,376,966.1457
8" CAP AND BUTTRISS	N 563,300.6105	E 1,376,956.9994
SMH 199	N 562,911.7004	E 1,376,770.1824

WATER HOUSE CONNECTION AS-BUILT LOCATION TABLE

LOT	ADDRESS	LOCATION DIMENSION 1	LOCATION DIMENSION 2
54	6003 CULLINS WAY	WHC Lot 54 = 40.5'	SHC Lot 54 = 15.4'
55	6002 CULLINS WAY	WHC Lot 55 = 40.5'	SHC Lot 55 = 11.3'
56	6006 CULLINS WAY	SHC Lot 56 = 19.8'	WHC Lot 57 = 40.9'
57	6007 CULLINS WAY	WHC Lot 56 = 40.9'	SHC Lot 56 = 45.3'
58	6010 CULLINS WAY	SHC Lot 58 = 8.8'	SMH 205 = 22.9'
59	6011 CULLINS WAY	SHC Lot 59 = 14.6'	SMH 205 = 15.5'
60	6014 CULLINS WAY	TEST STA. 4+41 = 19.9'	WATER MAIN DEPTH 4+41 = 12.9'
61	6015 CULLINS WAY	TEST STA. 4+41 = 24.6'	SHC Lot 61 = 8.6'

SEWER HOUSE CONNECTION AS-BUILT LOCATION TABLE

LOT	ADDRESS	LOCATION DIMENSION 1	LOCATION DIMENSION 2
54	6003 CULLINS WAY	WHC Lot 54 = 15.4'	SHC Lot 55 = 41.7'
55	6002 CULLINS WAY	WHC Lot 55 = 11.3'	WHC Lot 54 = 35.0'
56	6006 CULLINS WAY	WHC Lot 54 = 19.8'	WHC Lot 57 = 45.3'
57	6007 CULLINS WAY	WHC Lot 57 = 39.2'	SMH 302 = 30.0'
58	6010 CULLINS WAY	WHC Lot 58 = 8.8'	SMH 205 = 21.2'
59	6011 CULLINS WAY	WHC Lot 59 = 9.6'	SMH 205 = 22.8'
60	6014 CULLINS WAY	TEST STA. 4+41 = 14.2'	WATER MAIN DEPTH 4+41 = 19.3'
61	6015 CULLINS WAY	TEST STA. 4+41 = 24.2'	WHC Lot 61 = 8.6'

OUTSIDE METER SETTINGS FOR 1" METERS SHALL BE USED.

PROPERTY OWNER
 ELEANORA A. MICHAEL
 BERNADETTE M. TAYLOR
 C/O DORSEY FAMILY HOMES
 10717-B BIRMINGHAM WAY
 WOODSTOCK, MARYLAND 21163
 (410)465-7200

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S SIGNATURE: ROB DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.
 DATE: _____

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S SIGNATURE: JEFFREY SLOMAN
 DATE: _____

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE SOIL CONSERVATION DISTRICT.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 40091, EXPIRATION DATE: 2/13/13

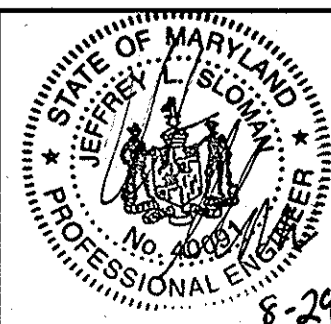
DEPARTMENT OF PUBLIC WORKS
 HOWARD COUNTY, MARYLAND

 CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING & ZONING
 HOWARD COUNTY, MARYLAND

 CHIEF, DEVELOPMENT ENGINEERING DIVISION

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 6800 Deerpath Road, Suite 150, Elkrige, Maryland 21075
 (410) 997-0286 Fax: (410) 997-0298 Fax



engineering JLS
 illustration JLS
 approval RJH
 project 11-023
 date AUG 2012

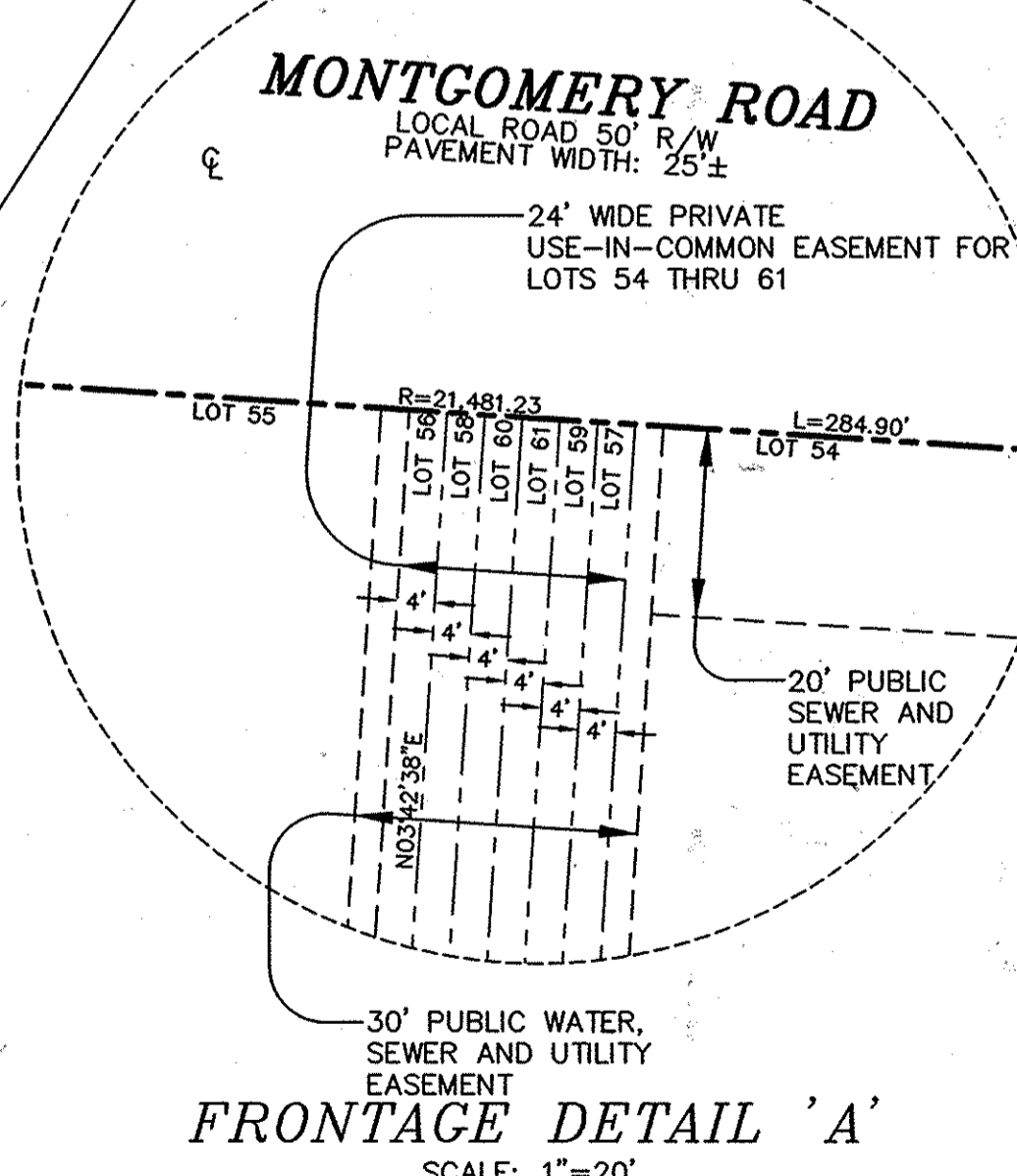
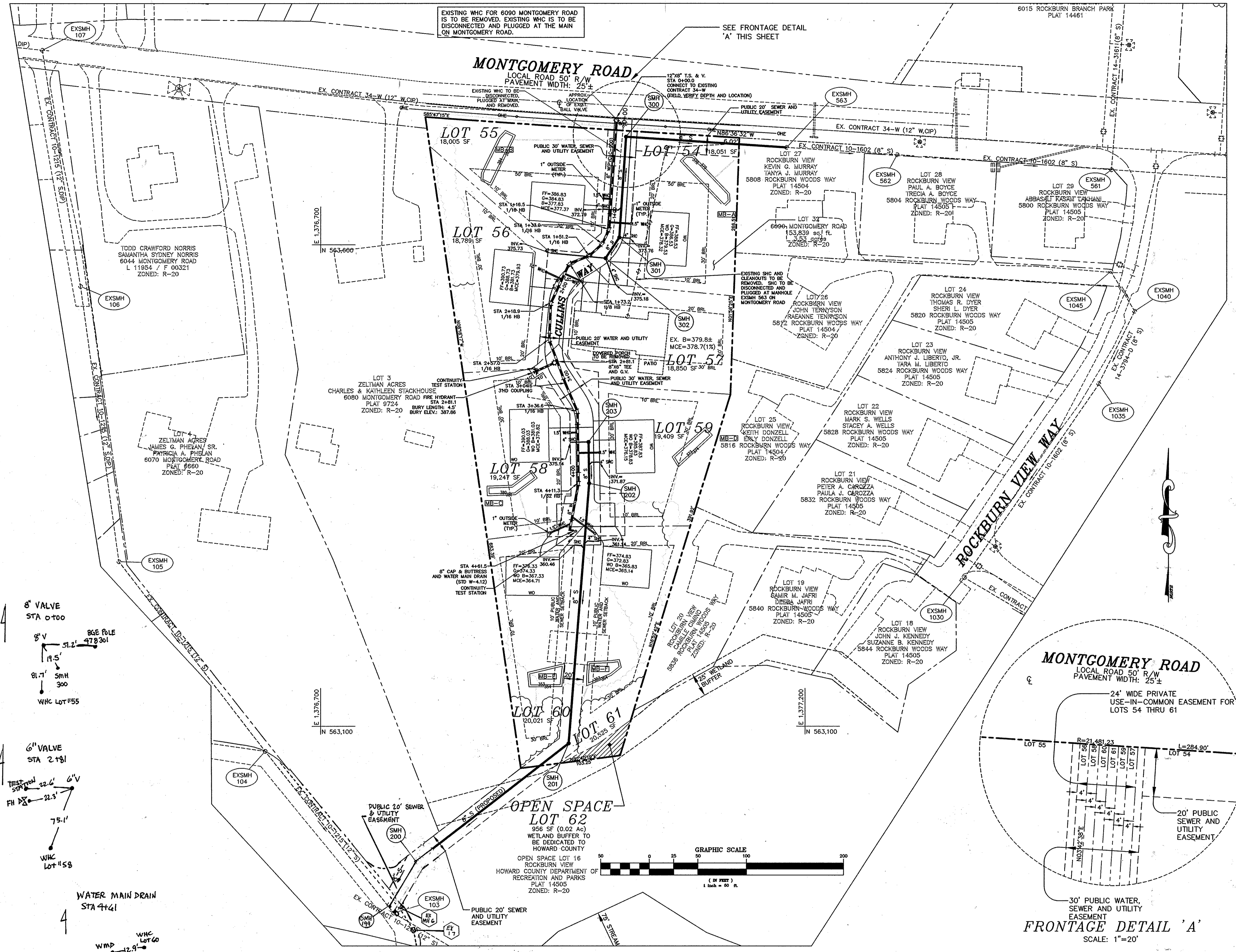
BY	NO.	REVISION	DATE
CAB	3	AS-BUILT REVISIONS	9/10/14
JLS	2	RECALL SEWER, ADD SMH 199	4/15/14
JLS	1	ADJUSTED WHC'S ON LOTS 58 AND 61	6/29/12

WATER AND SEWER PLAN

600' SCALE MAP NO. 37 BLOCK NO. 4

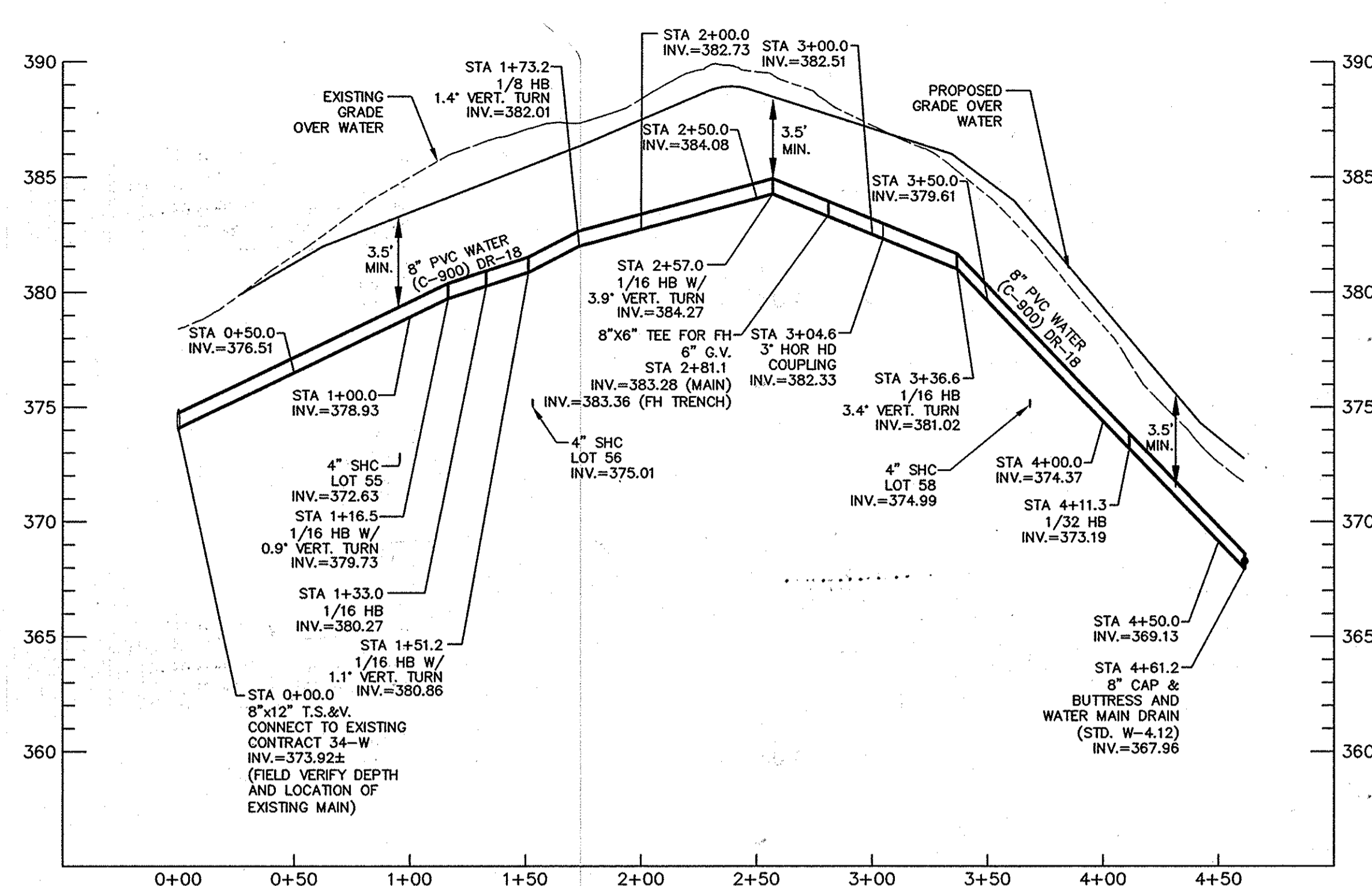
ROCKBURN VIEW
 LOTS 54 THRU 61, O.S. LOT 62 RESUBDIVISION OF LOT 32
 CONTRACT NO. 14-4744-D
 SECOND ELECTION DISTRICT
 HOWARD COUNTY

scale AS SHOWN
 2 OF 3



EXISTING BUILDING ADDRESS:
 6090 MONTGOMERY ROAD

PL 11-023 MICHAEL PROPERTY DWG 11-023 WAS - FEB 2012.DWG



PROFILE - WATER
SCALE: 1"=50' HOR
1"=5' VER

LOT	INV. @ R/W (OR EASEMENT)	MCE	SLOPE
54	373.76	378.32	2.0%
55	372.79	377.37	2.0%
56	375.73	379.93	2.0%
57	375.18	378.70	1.0%
58	375.14	379.82	2.0%
59	371.87	376.15	2.0%
60	360.46	364.71	2.0%
61	361.14	365.14	2.0%

PROPERTY OWNER

DORSEY FAMILY HOMES
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

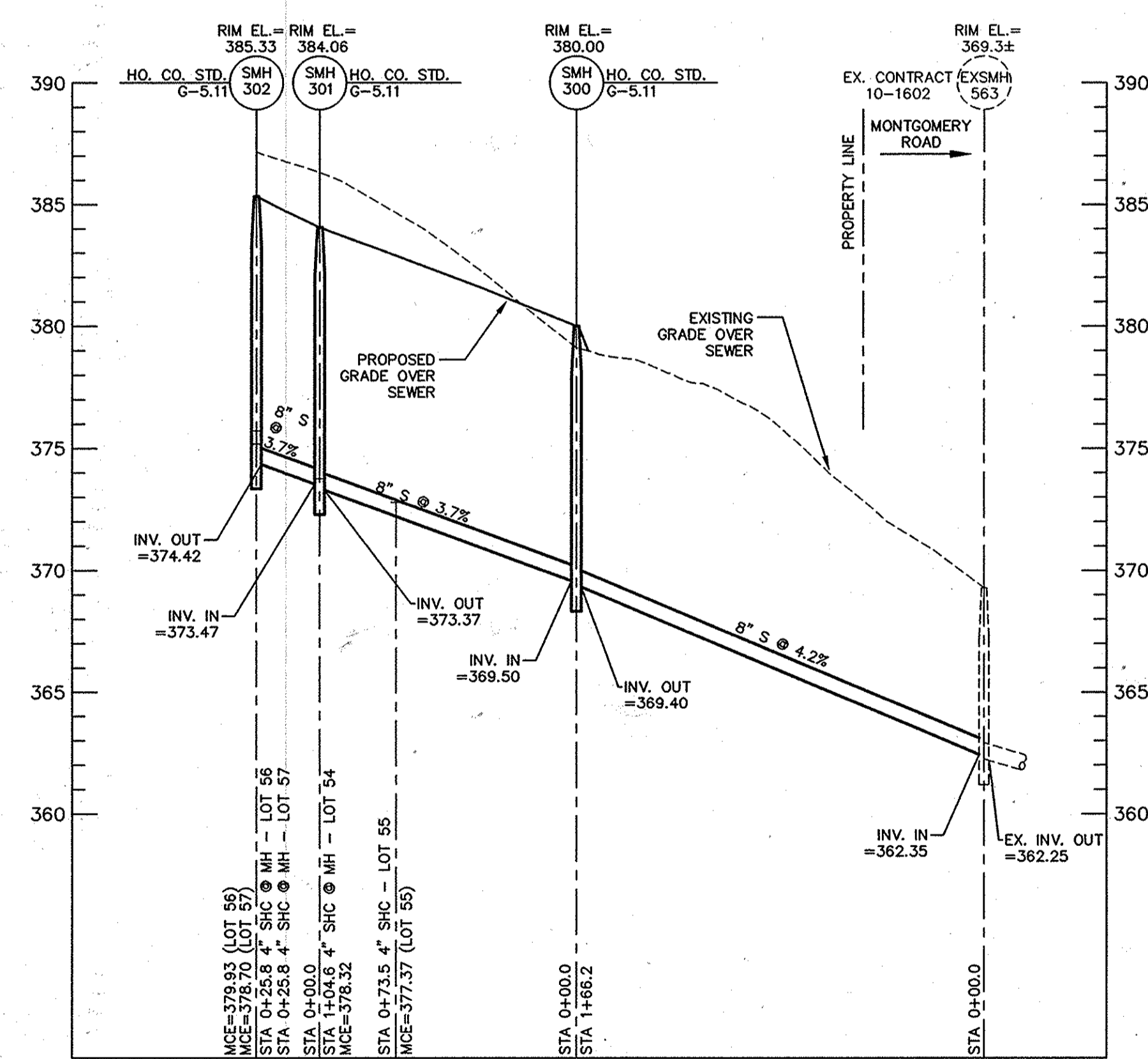
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Dorsey 8-13-12
DEVELOPER'S SIGNATURE DATE
ROB DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.
DEVELOPER'S NAME

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
8/10/12
ENGINEER'S SIGNATURE DATE
JEFFREY SLOMAN
ENGINEER'S NAME

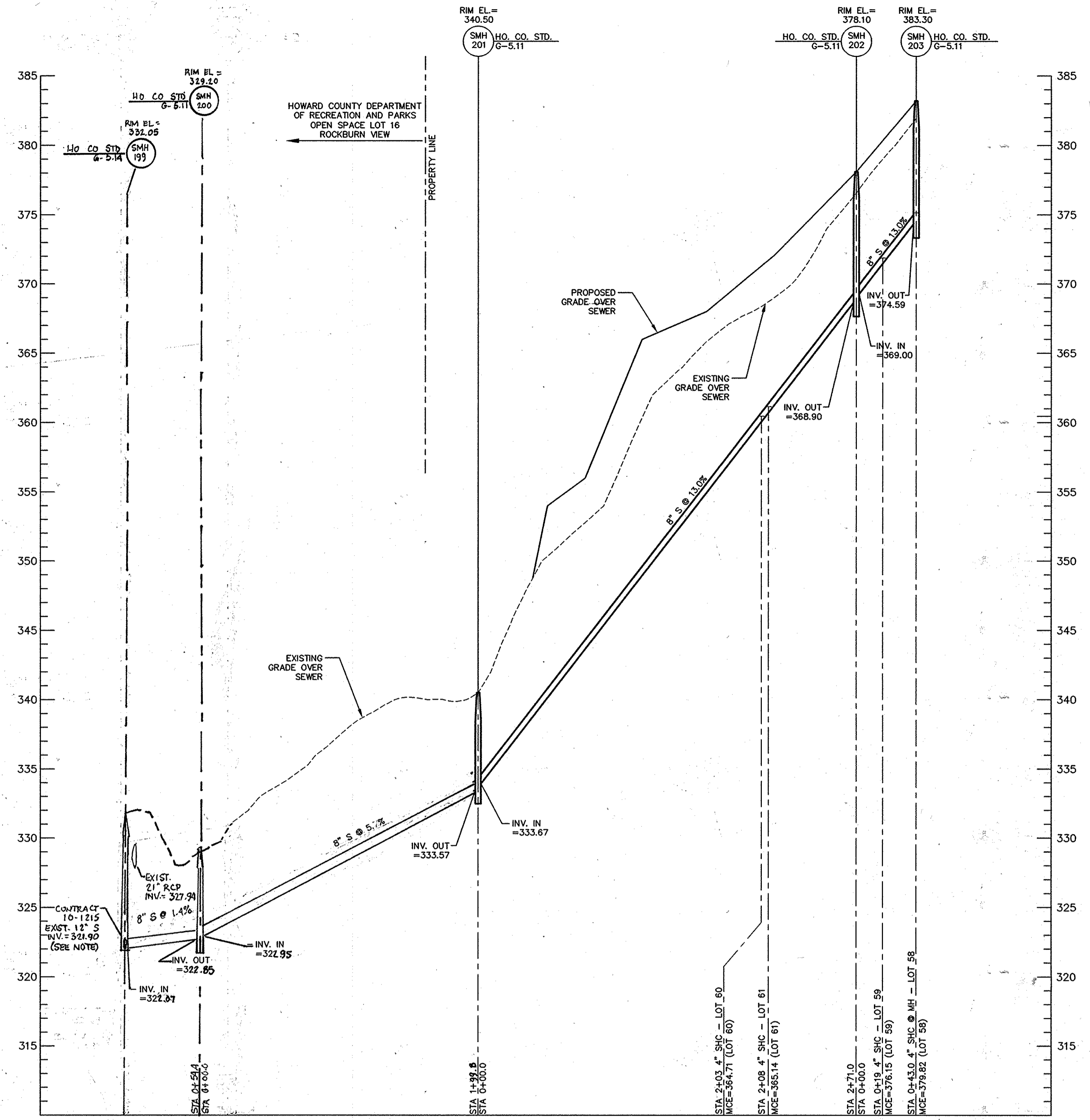
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE SOIL CONSERVATION DISTRICT.
HOWARD SCD DATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 40091, EXPIRATION DATE: 2/13/13



PROFILE - SANITARY SEWER (SMH 302 TO EXSMH 563)
SCALE: 1"=50' HOR
1"=5' VER

ELEVATIONS FOR EXSMH 563 AND CELLAR ELEV. FOR EXISTING HOUSE ON LOT 57 BASED ON AS-BUILT PLANS FOR CONTRACT 10-1602
AS-BUILT VALUES CONVERTED TO NAVD 88 USING THE EQUATION: NAVD 88 = NGVD 29 - 0.72



PROFILE - SANITARY SEWER (SMH 203 TO EXSMH 103)
SCALE: 1"=50' HOR
1"=5' VER

THE INVERT ELEVATION OF PROPOSED SMH 199 IS BASED ON THE EXISTING SEWER MAIN AS-BUILT PLANS FOR CONTRACT 10-1602
AS-BUILT VALUES CONVERTED TO NAVD 88 USING THE EQUATION: NAVD 88 = NGVD 29 - 0.72

PL 11-023 MICHAEL PROPERTY DWG 11-023 WAS - FEB 2012.DWG

DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND Chief, Bureau of Utilities DATE	DEPARTMENT OF PLANNING & ZONING HOWARD COUNTY, MARYLAND Chief, Development Engineering Division DATE	MILDENBERG, BOENDER & ASSOC., INC. Engineers Planners Surveyors 6800 Deerpath Road, Suite 150, Ellicott City, Maryland 21075 (410) 997-0286 Ball (410) 997-0288 Fax	engineering JLS illustration JLS approval RJH project 11-023 date AUG 2012	BY NO. 1 REVISION DATE 8/15/12	WATER AND SEWER PROFILES 600' SCALE MAP NO. 37 BLOCK NO. 4	ROCKBURN VIEW LOTS 54 THRU 61, O.S. LOT 62 RESUBDIVISION OF LOT 32 CONTRACT NO. 14-4744-D SECOND ELECTION DISTRICT	scale AS SHOWN 3 OF 3
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