

# FINAL WATER AND SEWER CONSTRUCTION PLAN

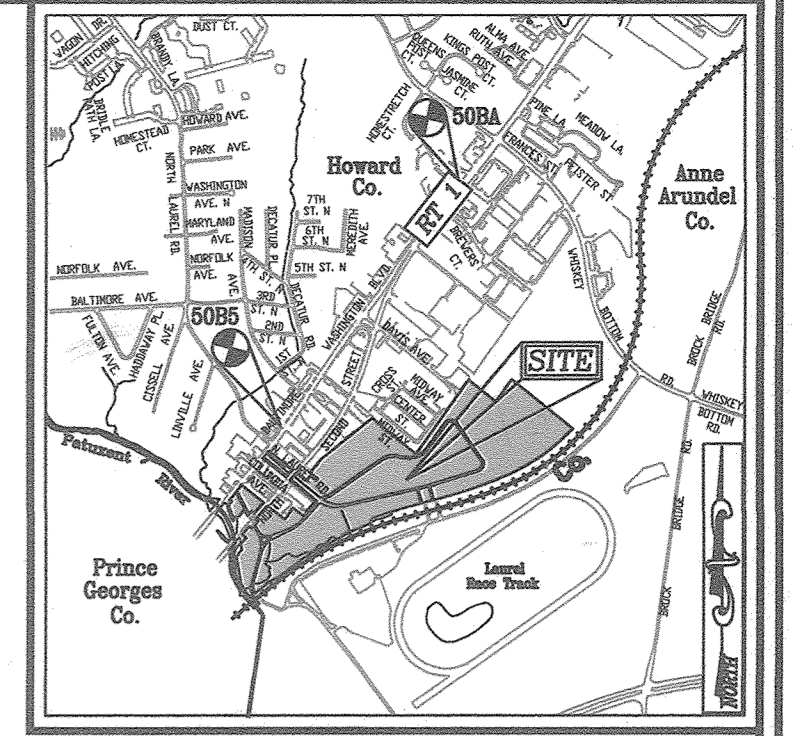
## PADDOCK POINTE-PHASE 1

### PARCELS 384/441; PARCELS A-2,B-1,B-2,B-4,B-5,C-2,C-3,C-4,C-5,J,K-2,L AND OPEN SPACE LOTS D,E-1,F-1,G,H & I

#### CONTRACT 24-4712-D

#### HOWARD COUNTY, MARYLAND

**BENCHMARKS**  
 HOWARD COUNTY BENCHMARK - 508A  
 N 527561.68 E 1359772.60 ELEV.: 249.44  
 HOWARD COUNTY BENCHMARK - 508S  
 N 524999.37 E 1357925.75 ELEV.: 178.20



**VICINITY MAP**  
 SCALE: 1"=2000'  
 ADC MAP/GRID NO. 5169 -G4

**GENERAL NOTES**

- PART I**
- APPROXIMATE LOCATIONS OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
  - AERIAL PHOTOGRAPHIC MAPS PROVIDED BY THE CLIENT DATED MARCH 11, 1991; AND BY FIELD RUN SURVEYS BY ROBERT H. VOGEL ENGINEERING, INC., AND WERE PERFORMED ON 07/02/09, 04/06/12, 08/17/12, AND 12/30/14.
  - HORIZONTAL AND VERTICAL SURVEY CONTROLS:  
 THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD 83/91 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 508A AND 508S. ALL VERTICAL CONTROLS ARE BASED ON NAVD 88. VERTICAL CONTROLS PROVIDED ON DRAWINGS ARE:  
 GEODETIC SURVEY CONTROL 508A (N 527561.68/E 1359772.60)  
 BRASS DISC SET ON TOP OF A CONCRETE MONUMENT.  
 GEODETIC SURVEY CONTROL 508S (N 524999.37/E 1357925.75)  
 BRASS DISC SET ON TOP OF A CONCRETE MONUMENT.
  - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED ON THE PLANS.
  - CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 5'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON THE DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES, ANY COST INCURRED BY THE OWNER FOR BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED TO THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
  - FOR DETAILS NOT SHOWN ON THE DRAWING, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
  - WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE NOTED BY THE SYMBOL  $\oplus$  AT THE LOCATIONS OF THE TEST PITS. A NOTE OR NOTES CONTAINING THE RESULTS OF THE TEST PIT OR PITS IS INCLUDED ON THE DRAWINGS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK SHALL NOT BE DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS AT HIS OWN EXPENSE.
  - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:  
 AT&T 1-800-252-1133  
 BGE (CONSTRUCTION SERVICES) 410-637-8713  
 BGE (EMERGENCY) 410-885-0123  
 BUREAU OF UTILITIES 410-313-4900  
 COLONIAL PIPELINE CO 410-795-1390  
 MISS UTILITY 1-800-257-7777  
 STATE HIGHWAY ADMINISTRATION 1-800-553-3333  
 VERIZON 1-800-743-0033
  - TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
  - THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT (410) 313-7450 AT LEAST FIVE WORKING DAYS BEFORE ANY CUTTING OR BORING/JACKING OF ANY COUNTY ROAD FOR LAYING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.114(g) OF THE HOWARD COUNTY CODE.

- PART II - WATER**
- ALL WATER MAINS SHALL BE C900 PVC-DR-18 UNLESS OTHERWISE NOTED.
  - TOPS OF ALL WATER MAINS SHALL HAVE A MINIMUM OF 3'-6" OF COVER UNLESS OTHERWISE NOTED.
  - VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
  - ALL FITTINGS SHALL BE UNSTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
  - FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS. THE SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND SECTION 1005 OF THE STANDARD SPECIFICATIONS.
  - THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM. TRACER WIRE AND CONTINUITY TEST STATIONS SHALL BE INSTALLED ON ALL DIP AND PVC WATER MAINS IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL.
  - FOR PVC WATER MAINS, ALL RECORDS FOR THE QUALITY CONTROL AND QUALIFICATION TEST REQUIREMENTS NOTED IN SECTION 5.1 OF THE AWWA STANDARD C900 FOR PVC PRESSURE PIPE SHALL BE SUBMITTED WITH THE PIPE MATERIAL CERTIFICATIONS OR SHOP DRAWINGS PRIOR TO APPROVAL OF THE MATERIAL FOR INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDER THIS CONTRACT, ALL PVC PIPE SHALL CONTAIN MARKINGS TO ALLOW CROSS REFERENCING OF THE PIPE SUPPLIED TO THE TEST RECORDS RECEIVED.
  - UNLESS OTHERWISE NOTED ON THE PLANS, THE SPECIFICATIONS, SACRIFICIAL ANODES SHALL BE INSTALLED ON ALL VALVES AND METALLIC FITTINGS USED WITH PVC WATER MAINS IN ACCORDANCE WITH VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION. SEVENTEEN (17) POUND MAGNESIUM ANODES SHALL BE INSTALLED ON ALL VALVES AND DUCTILE IRON FITTINGS INCLUDING RESTRAINTS AND HARNESSSES. TWO (2) POUND ZINC ANODES SHALL BE INSTALLED ON ALL STAINLESS STEEL FITTINGS AND SADDLES USED WITH PVC MAINS. ALL "TEES" USED WITH PVC MAINS SHALL BE DUCTILE IRON.
  - PROPER ASSEMBLY OF GASKETED PVC PIPE JOINTS: THE MANUFACTURER'S INSERTION LINE OF GASKETED PVC PIPE JOINTS INDICATES THE MAXIMUM DEPTH OF BELL AFTER ASSEMBLY OF THE JOINT, THE INSERTION LINE SHALL REMAIN VISIBLE. DUAL INSERTION LINES ON GASKETED PVC PIPE INDICATE THE MAXIMUM AND MINIMUM DEPTH OF INSERTION OF THE SPIGOT INTO THE BELL. THE CONTRACTOR SHALL NOT OVER INSERT OR OVER HOME THE SPIGOT INTO THE BELL OF PVC PIPE.
  - ALL CHANGES IN HORIZONTAL OR VERTICAL DIRECTION OF PVC WATER PIPE SHALL BE MADE WITH STANDARD BENDS, 5-DEGREE SWEEPS OR HIGH DEFLECTION (HD) COUPLINGS. NO BENDING OF THE PIPE OR DEFLECTING OF PVC PIPE JOINTS IS PERMITTED. WHERE HIGH DEFLECTION COUPLINGS OR 5-DEGREE SWEEPS ARE PERMITTED, THE CONTRACTOR SHALL PROVIDE ONE FULL PIPE LENGTH (20-FOOT LONG) ON EITHER SIDE OF THE COUPLING OR 5-DEGREE SWEEP. PVC HIGH DEFLECTION COUPLINGS SHALL BE LIMITED TO A TOTAL DEFLECTION OF 3-DEGREES. 1-1/2- DEGREE ON EITHER END OF THE COUPLING. SHALL BE RATED FOR A MINIMUM 200 PSI MEETING THE REQUIREMENTS OF AWWA C900, SHALL HAVE A MINIMUM LAY LENGTH OF 9-INCHES AND SHALL HAVE CENTER STOPS. PVC HIGH DEFLECTION COUPLINGS SHALL BE CERTAINTED PVC HIGH DEFLECTION (HD) STOP COUPLINGS OR EQUAL. FIVE DEGREE SWEEPS SHALL BE BELL BY SPIGOT, RATED FOR A MINIMUM 225 PSI, DR18 MEETING THE REQUIREMENTS OF AWWA C900 AND SHALL BE MULTI FITTINGS (PEX) BLUE BRUTE DR18 OR EQUAL.
  - WHEN PVC HIGH DEFLECTION COUPLINGS OR PVC 5-DEGREE SWEEPS ARE USED TO FACILITATE CHANGES IN HORIZONTAL OR VERTICAL ALIGNMENTS OF AWWA C-900 PVC PIPELINES, THE CONTRACTOR SHALL INSTALL DEVICES FOR THE PREVENTION OF OVER-INSERTION OF THE PVC PIPE SPIGOTS OR PLAIN ENDS INTO THE PUSH ON BELL JOINT ON BOTH SIDES OF THE HIGH DEFLECTION COUPLINGS AND FIVE DEGREE SWEEPS. BELL STOPS SHALL BE PLACED AT THE PROPER INSERTION LINE FOR THE FITTING. THE BELL STOP SHALL BE MANUFACTURED OF DUCTILE IRON AND INCORPORATE AN EXPANSION RETENTION SPRING TO ALLOW FOR PIPE EXPANSION AND CONTRACTION. THE BELL STOPS SHALL BE SERIES 5000 MEGA-STOP, AS MANUFACTURED BY EBAM IRON INC. OR APPROVED EQUAL.
  - SPRINKLER SYSTEM FOR SINGLE RESIDENTIAL DWELLING UNITS SHALL HAVE WATER HOUSE CONNECTIONS AND WATER METERS THAT ARE SIZED IN ACCORDANCE WITH THE DESIGN OF THE SPRINKLER SYSTEMS. SPRINKLER SYSTEMS FOR SINGLE RESIDENTIAL DWELLINGS SHALL HAVE A MINIMUM OF 1.5" SERVICE CONNECTION WITH A 1" OUTSIDE METER SETTING.
  - FOR STACKED RESIDENTIAL DWELLING UNITS, EACH BUILDING SHALL HAVE A 4" WATER HOUSE CONNECTION WITH AN INSIDE METER SETTING FOR FIRE PROTECTION AND A SINGLE DOMESTIC SERVICE DOMESTIC SERVICE TO BE PROVIDED BY 1.5" SINGLE OR TWIN WATER HOUSE CONNECTIONS WITH 3/4" SINGLE OR TWIN OUTSIDE METER SETTINGS AND 1" CONNECTORS TO THE INDIVIDUAL UNITS.

- PART III - SEWER**
- ALL SEWER MAINS SHALL BE D.I.P. OR P.V.C UNLESS OTHERWISE NOTED.
  - ALL MANHOLES SHALL BE 4'-0" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
  - FORCE MAINS SHALL BE D.I.P. ONLY.
  - MANHOLES SHOWN WITH 12" AND 16" WALLS ARE FOR BRICK MANHOLES ONLY. MANHOLES DESIGNATED W.T. IN PLAN AND PROFILE SHALL HAVE WATERTIGHT FRAME AND COVER. STANDARD DETAILS GS-32, WATERTIGHT MANHOLE FRAMES AND COVERS ARE USED. SET TOP OF FRAME 1'-6" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
  - HOUSE(S) WITH THE SYMBOL "C.N.S." INDICATES THAT THE CELLAR CANNOT BE SERVED.

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 308 OF THE SPECIFICATIONS AND WITH SITE DEVELOPMENT PLAN SDP-15-043 & SDP-21-016

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 8/31/17  
 SOIL CONSERVATION DISTRICT DATE

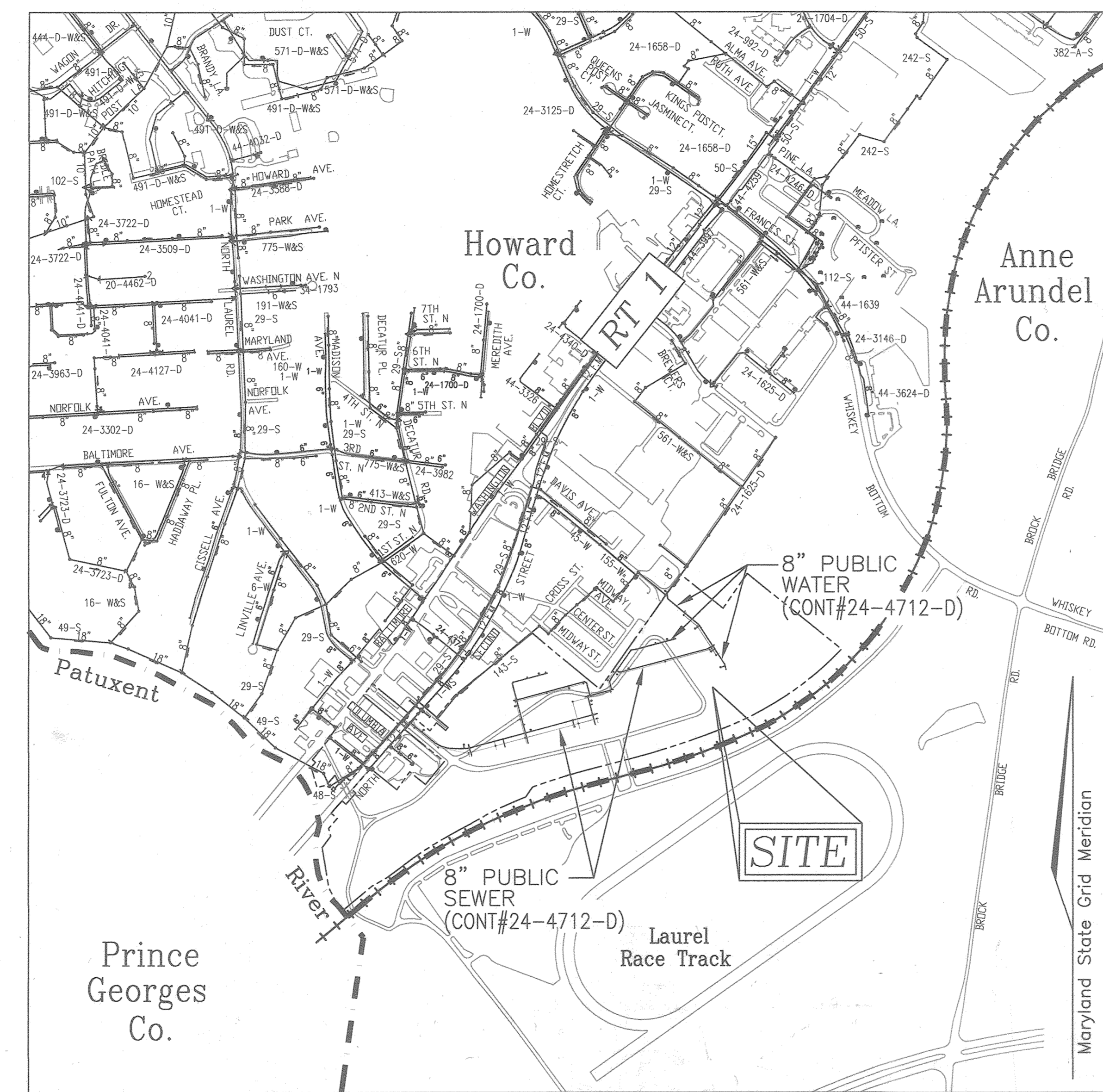
**GENERAL NOTES (CONTINUED)**

**PART IV - DESIGN MANUAL WAIVER APPROVALS**

- THIS PLAN IS SUBJECT TO A DESIGN MANUAL WAIVER (DMW-2-19-01B) TO DESIGN MANUAL VOLUME II; APPROVED 07-29-19; TO SECTION 3.3.D.5 WHICH REQUIRES A MINIMUM 3.5' OF PIPE COVER OVER THE PUBLIC WATER; AND TO SECTION 4.13.2.2.E WHICH REQUIRES THAT PUBLIC SEWER AND WATER BE LOCATED WITHIN THE PAVED ROADWAY SECTION.
  - IMPACTS INCLUDE:  
 A. COVER OVER WATER AT STATIONS 4+662, 7+752, AND 8+232.  
 B. PUBLIC WATER NOT LOCATED UNDER PAVING. FROM STATION 3+502 TO 6+54.85.  
 C. PUBLIC SEWER NOT LOCATED UNDER PAVING: P10 SEWER MAIN BETWEEN SHH-121 TO SHH-132, AND THE SEWER MAIN FROM SHH-132 TO STUB (TO PARCEL C-1).
- APPROVAL CONDITION:** ALL CROSSINGS OF THE NEW WATER MAIN WITH SANITARY SEWER OR STORM SEWER PIPING SHALL BE ACCOMPLISHED BY CENTERING A FULL LENGTH OF THE NEW WATER MAIN PIPING AT THE CROSSING TO MAINTAIN A DISTANCE OF ANY WATER MAIN JOINT FROM THIS CROSSING.

**LAUREL PARK STATION PUBLIC UTILITY NOTE:**

THE COUNTY SHALL BEAR ABSOLUTELY NO RESPONSIBILITY FOR THE RECONSTRUCTION, REPAIR OR REMEDIAL MAINTENANCE REQUIRED DUE TO ANY DAMAGE TO PRIVATE UTILITIES INCLUDING, BUT NOT LIMITED TO STORM DRAINS, STORM DRAIN STRUCTURES, (E.G. INLETS AND MANHOLES), MICRO-BIORETENTION FACILITIES AND OTHER PRIVATE SYSTEMS OR FEATURES RESULTING FROM OR INCURRED DURING MAINTENANCE AND/OR REPAIR OF THE PUBLIC WATER, SEWER OR UTILITIES. ANY COST INCURRED BY THE COUNTY THAT IS ASSOCIATED WITH RECONSTRUCTION OF PRIVATE UTILITIES AND STRUCTURES FOLLOWING MAINTENANCE OF THE PUBLIC UTILITIES, BY THE COUNTY, SHALL BE THE RESPONSIBILITY OF THE OWNER OR ITS SUCCESSORS OR ASSIGNS. THE AFOREMENTIONED INCLUDES PRIVATE UTILITIES AND OR STRUCTURE PERMITTED WITHIN THE EASEMENTS OR WITHIN THE 10-FOOT EASEMENT SETBACK VIA APPROVED WAIVER FROM THE DEPARTMENT OF PUBLIC WORKS.



**VICINITY MAP**  
 SCALE: 1"=600'

WATER ZONE: 400  
 TEST GRADIENT: 6.77

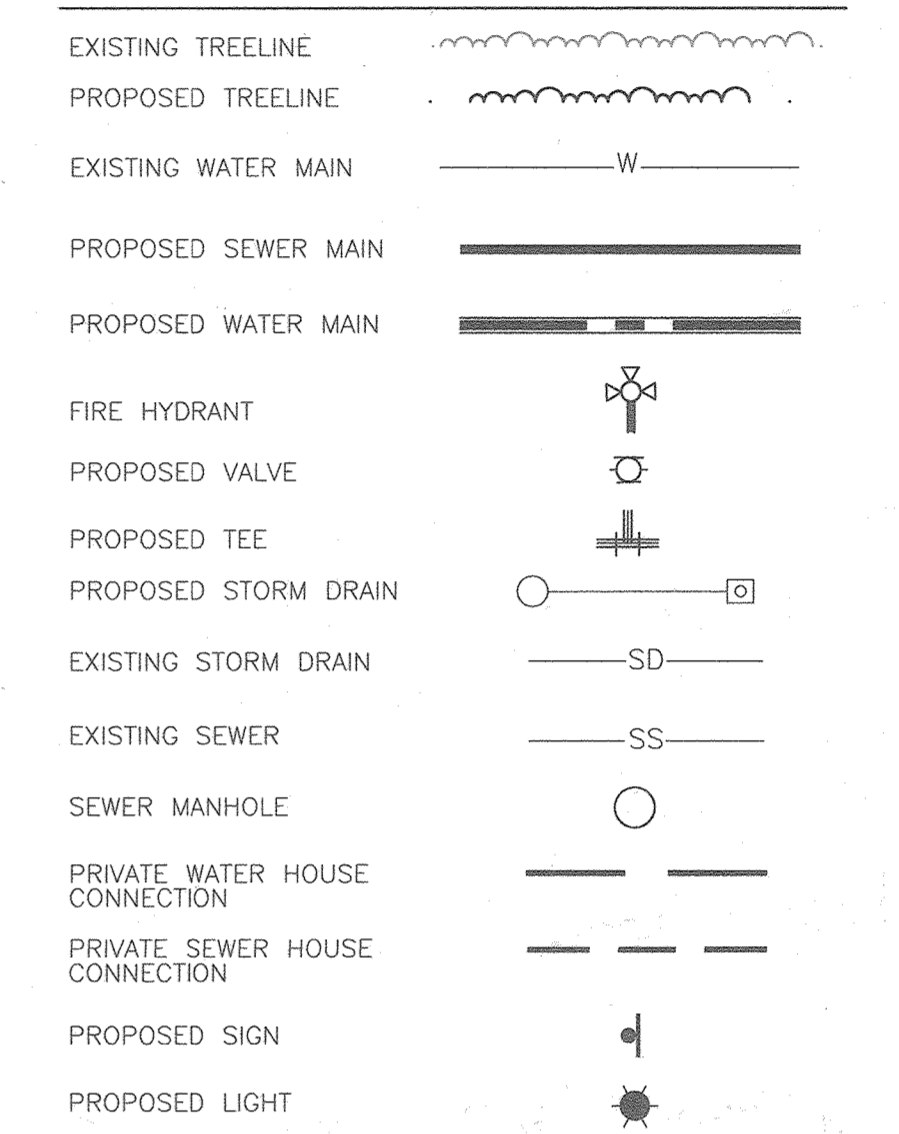
TYPE OF BUILDING :	RESIDENTIAL/COMMERCIAL
NO. OF UNITS:	112 APARTMENT UNITS 102 TOWNHOUSE UNITS
NO. OF SINGLE WATER HOUSE CONNECTIONS :	215
NO. OF TWIN WATER HOUSE CONNECTIONS :	67
NO. OF SINGLE SEWER HOUSE CONNECTIONS :	0
NO. OF TWIN SEWER HOUSE CONNECTIONS :	0
DRAINAGE AREA:	LITTLE PATUXENT RIVER
TREATMENT PLANT :	LITTLE PATUXENT WRP

**GENERAL NOTES:**

**PART IV - DESIGN MANUAL WAIVER APPROVALS**

- THIS PLAN IS SUBJECT TO A DESIGN MANUAL WAIVER TO THE FOLLOWING DESIGN MANUALS:  
 A. DESIGN MANUAL VOLUME II; APPROVED 08/13/16; TO SECTION 4.5.F WHICH REQUIRES APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS (DPW) FOR THE USE OF TWIN SEWER HOUSE CONNECTIONS.  
 B. DESIGN MANUAL VOLUME II; APPROVED 01/20/17; TO SECTION 3.3.D.5 WHICH REQUIRES A MINIMUM 3.5' HORIZONTAL CLEARANCE BETWEEN ANY PERMANENT STRUCTURE AND THE EDGE OF A PUBLIC UTILITY EASEMENT. APPROVAL ALSO PROVIDED FOR THE ENCROACHMENTS INDICATED ON SHEETS 4-7 ON SDP-15-043, UNDER THE FOLLOWING CONDITIONS AND LIMITATIONS:  
 1. THE COUNTY SHALL BEAR ABSOLUTELY NO RESPONSIBILITY FOR THE RECONSTRUCTION, REPAIR OR REMEDIAL MAINTENANCE REQUIRED DUE TO ANY DAMAGE TO PRIVATE UTILITIES INCLUDING, BUT NOT LIMITED TO STORM DRAINS, STORM DRAIN STRUCTURES, (E.G. INLETS AND MANHOLES), MICRO-BIORETENTION FACILITIES AND OTHER PRIVATE SYSTEMS OR FEATURES RESULTING FROM OR INCURRED DURING MAINTENANCE AND/OR REPAIR OF THE PUBLIC WATER, SEWER OR UTILITIES. ANY COST INCURRED BY THE COUNTY THAT IS ASSOCIATED WITH RECONSTRUCTION OF PRIVATE UTILITIES AND STRUCTURES FOLLOWING MAINTENANCE OF THE PUBLIC UTILITIES, BY THE COUNTY, SHALL BE THE RESPONSIBILITY OF THE OWNER OR ITS SUCCESSORS OR ASSIGNS. THE AFOREMENTIONED INCLUDES PRIVATE UTILITIES AND OR STRUCTURE PERMITTED WITHIN THE EASEMENTS OR WITHIN THE 10-FOOT EASEMENT SETBACK VIA APPROVED WAIVER FROM THE DEPARTMENT OF PUBLIC WORKS.
  - BOTH THE WATER AND SEWER DRAWINGS AND THE SITE DEVELOPMENT PLAN MUST BE REVISED OR REDLINED TO SHOW THE LOCATIONS OF THE APPROVED ENCROACHMENTS.
  - THE APPROVAL PROVIDED HEREIN IS LIMITED ONLY TO THE LOCATIONS INDICATED ON SDP-15-043.
  - DESIGN MANUAL VOLUME II; TO SECTION 5.3.B WHICH INDICATES THE REQUIRED EASEMENT WIDTH FOR WATER AND SEWER AND SECTION 5.4.B5 WHICH INDICATES THE MINIMUM HORIZONTAL CLEARANCE BETWEEN ANY PERMANENT STRUCTURE AND THE EDGE OF A UTILITY EASEMENT.
- ON 07/28/16, DPW APPROVED THE REQUESTED TO ALLOW THE SUGGESTED EASEMENT WIDTHS FOR AREAS A THRU G WHICH INDICATES THE CONSTRUCTION MEANS AND METHODS SHALL INCLUDE ACTIONS AND PRECAUTIONS NECESSARY TO PROTECT EXISTING UTILITIES AND SERVICES UNINTERRUPTED DURING CONSTRUCTION.
  - ON 12/30/16, DPW APPROVED THE WAIVER REQUEST TO REDUCE THE HORIZONTAL CLEARANCE BETWEEN THE FH EASEMENTS AND PERMANENT STRUCTURES.
- DESIGN MANUAL VOLUME II, APPROVED 04/14/17; TO SECTION 5.4.2.5 WHICH REQUIRES A MINIMUM 10' HORIZONTAL CLEARANCE BETWEEN ANY PERMANENT STRUCTURE AND THE EDGE OF A PUBLIC UTILITY EASEMENT. THIS WAIVER APPLIES TO UNITS 1/2 AND UNITS 63/64.

**LEGEND**



**QUANTITIES**

NAME OF UTILITY CONTRACTOR :	SURVEY AND DRAFTING DIVISION AS-BUILT DATE :			
	ITEMS	QUANTITIES ESTIMATED	QUANTITIES	AS-BUILT TYPE MANUFACTURER/SUPPLIER
	WATER			
8" WATER (PVC C-900) (DR-18)	5,043 LF	5103 LF	C-900	NATIONAL PIPE
6" WATER (PVC C-900) (DR-18)	133 LF	444 LF	C-900	NATIONAL PIPE
4" WATER (PVC C-900) (DR-18)	134 LF	175 LF	C-900	NATIONAL PIPE
6" WATER DIP (FH)	273	0	-	-
8" X 8" TAPPING SLEEVE & V.	11 EA	8 EA	D1	STAR
8" X 6" TEE	27 EA	23 EA	D1	STAR
8" X 4" TEE	11 EA	11 EA	D1	STAR
8" X 8" CROSS	1 EA	1	D1	STAR
5/8" OUTSIDE METER	1 EA	-	-	-
1" OUTSIDE METER VAULT	6 EA	20 EA	D1	AMERICAN FLOW CONTROL
8" VALVE	22 EA	23 EA	D1	AMERICAN FLOW CONTROL
4" VALVE	11 EA	11 EA	D1	AMERICAN FLOW CONTROL
FIRE HYDRANT & TEST STATION	15 EA	15 EA	B84B	AMERICAN DARLING
8" - 1/8 BEND	9 EA	9 EA	D1	STAR
8" - 1/16 BEND	7 EA	7 EA	D1	STAR
8" - 1/32 BEND	8 EA	4 EA	D1	STAR
8" - 5" SWEEP	3 EA	1 EA	D1	STAR
8" - COUPLING	18 EA	1 EA	DI	BLUE BRUTE MULTI FITTINGS
1 1/2" WHC	2193-2156 LF	2821 LF	K	CERTAINTED CAMBRIDGE LEE
3/4" OUTSIDE METER VAULT	13 EA	0	-	-
3/4" TWIN OUTSIDE METER VAULT	67 EA	0	-	-
8" CAP + BUTTRESS	9 EA	8 EA	D1	STAR
6" CAP + BUTTRESS	1 EA	8 EA	D1	STAR
4" CAP + BUTTRESS	1 EA	10 EA	D1	STAR
8" - 1/32 VERT. BEND	6 EA	2 EA	D1	STAR
8" - 5" VERT. SWEEP	2 EA	2 EA	DI	BLUE BRUTE MULTI FITTINGS
STANDARD 4" PRECAST MANHOLE	31 EA	31 EA	48" PRECAST	CONTRACTORS PRECAST CORPORATION
8" PVC SEWER	3,502 LF	3499	SDR-35	NATIONAL PIPE
SQUARE MANHOLE (CROSSHOUSE)	1 EA	-	-	-
SEWER CLEANOUT LAMPHOLE	1 EA	-	-	-
1" OUTSIDE METER VAULT	1 EA	-	-	-

**VESTAL MFG**  
 OWNER  
 TRINE BELL FARMS, LLC.  
 2008 DELAWARE, IN.C.  
 4876 BANVIEW DRIVE  
 ALBERTA, ONTARIO L4G 7A9  
 CANADA (905) 726-0995

**DEVELOPER/OWNER**  
 2008 DELAWARE, IN.C.  
 4876 BANVIEW DRIVE  
 ALBERTA, ONTARIO L4G 7A9  
 CANADA (905) 726-0995

**PARCEL C-5 OWNER**  
 BEATHER HOMES, LLC  
 6065 HARRISBURG DRIVE SUITE 350  
 ELK RIDGE, MD 21075  
 (410) 539-9249

DEPARTMENT OF PUBLIC WORKS  
 HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING  
 HOWARD COUNTY, MARYLAND

*[Signature]* 8/29/17  
 CHIEF, BUREAU OF UTILITIES DATE

*[Signature]* 9-14-17  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS - SURVEYORS - PLANNERS  
 3300 N. RIDGE ROAD, SUITE 110  
 ELLICOTT CITY, MD 21043  
 TEL: 410.461.7666 FAX: 410.461.8961

*[Professional Engineer Seal]*  
 ROBERT H. VOGEL, PE, NO. 16193

PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 EXPIRES: 12-31-2020

NO.	REVISION	DATE
1	ADD THE 6" PUBLIC WIC STUBS, REMOVE ONE 4" PUBLIC WIC STUB AND WACS FOR UNITS 57-172 AND 223-232 UNDER CONT#24-4712-D, REVISE UTILITY ROOM LOCATIONS, PRIVATE SEWER SYSTEMS AND SHES UNDER PADDOCK POINTE PHASE 3 (SDP-21-046)	12-27-23
2	MODIFY WATER AND SEWER DESIGN PER PADDOCK POINTE PHASE 4 DESIGN UNDER SDP-21-037	9-28-22
3	ADD 1" WIC FOR ANTI-ENTRY AREAS (COMMUNITY GARDEN AND DOG AREA), ADD 1" WIC REDUCTIONS TO 3/4" PRIVATE WIC AND 3/4" METER FROM EXISTING 1/2" PRIVATE WIC AND 3/4" METER UNDER PADDOCK POINTE PHASE 3 (SDP-21-046), AND UPDATE SITE DESIGN	4-14-22
4	AS-BUILT ADDED QUANTITIES	1-26-22
5	ADD WACS FOR TRAVIGATION AND REMOVE SHH-1 TO OFFSET SQUARE DRAINAGE MANHOLE TO AVOID EX. SEWER FORCE MAIN ADJACENT TO EX. GRANTY MAIN	1/2021
6	REVISE WATER AND SEWER LAYOUT PER REVISED SITE CONFIGURATION	1-3-20
7	REVISE WATER AND SEWER LAYOUT PER REVISED SITE CONFIGURATION	2-21-19

DES: DZE  
 DRN: KG/LG  
 CHK: RHW  
 DATE: JUNE 2019

**FINAL WATER AND SEWER CONSTRUCTION PLAN**  
**CONTRACT NO. 24-4712-D**

SCALE AS SHOWN

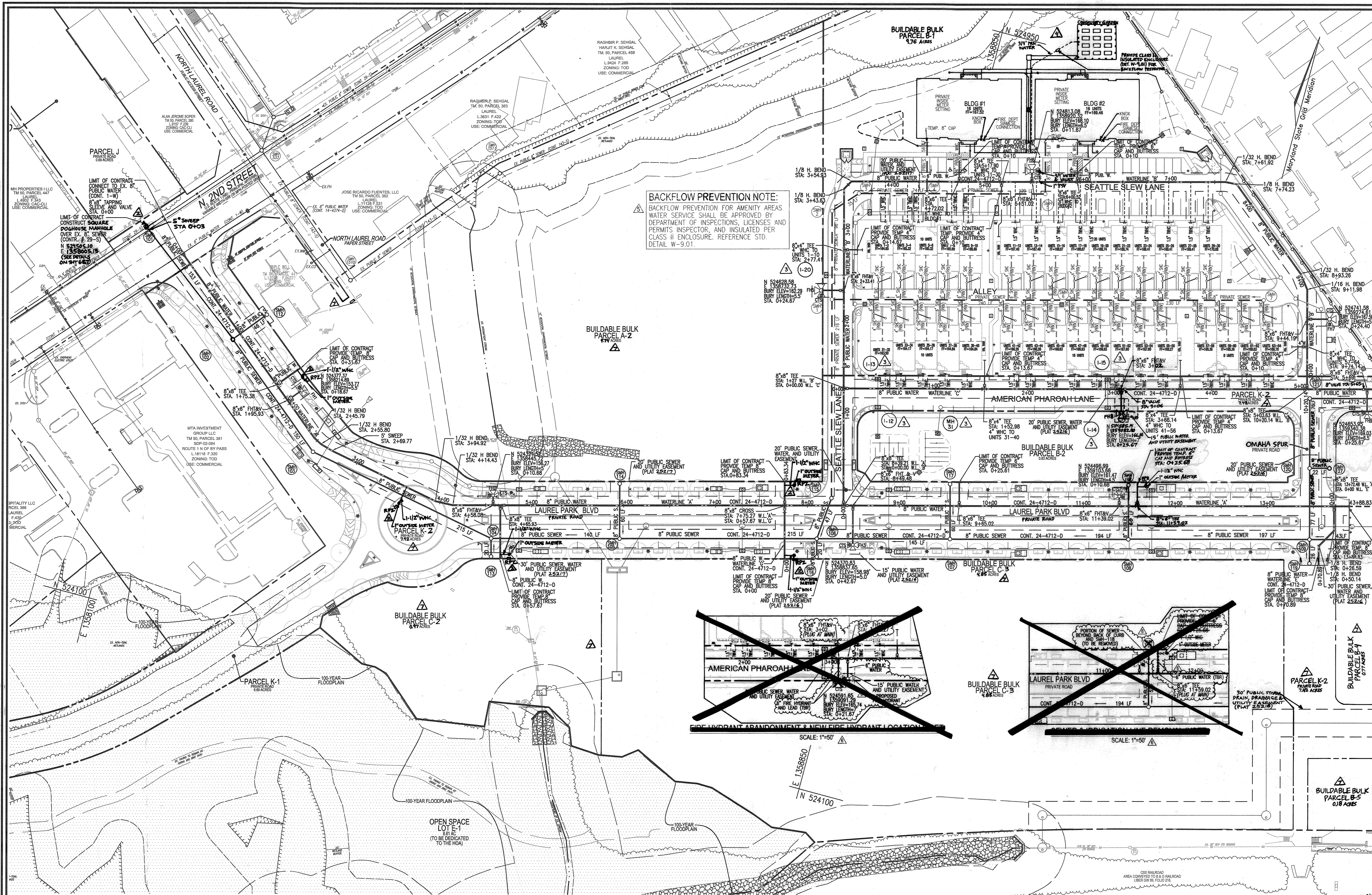
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS  
 P.399 (L10518) P.57  
 P.411 (L13249) P.577

PARCELS: 384/441  
 C-2,C-3,C-4,C-5,J,K-2,L AND OPEN SPACE LOTS D,E-1,F-1,G,H & I  
 HOWARD COUNTY, MARYLAND

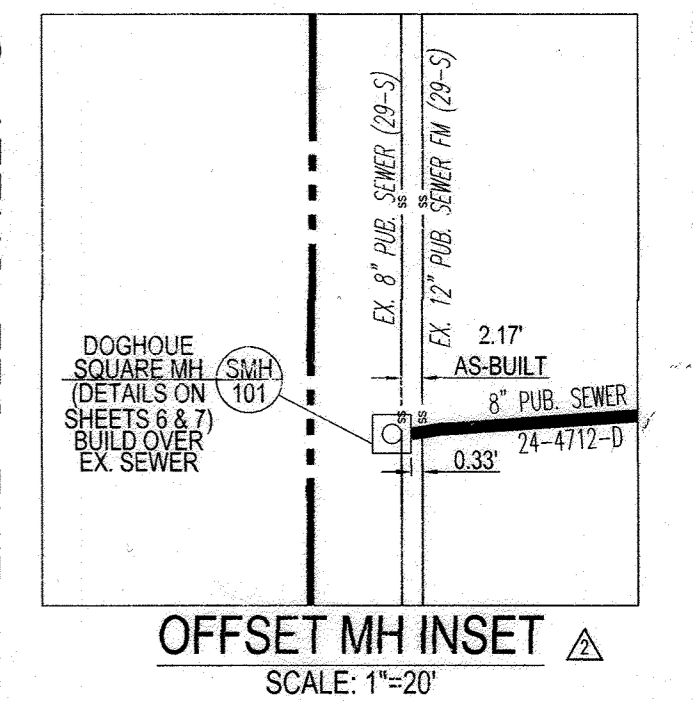
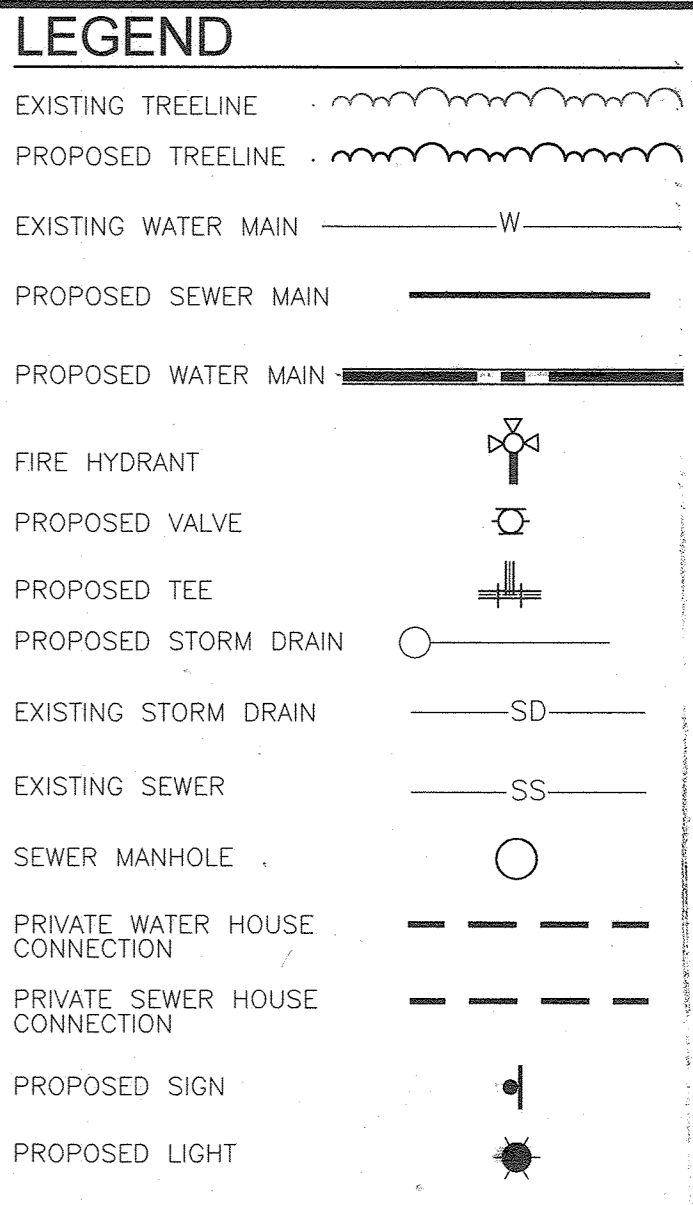
TAX MAP 50, GRID 10  
 6TH ELECTION DISTRICT

ZONED: TDD

SCALE AS SHOWN  
 SHEET 1 OF 7

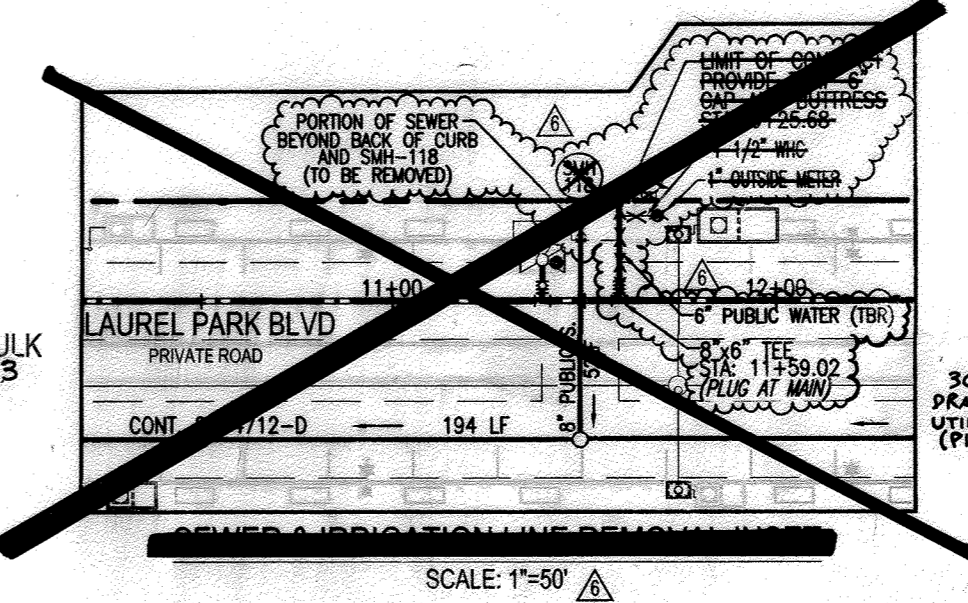
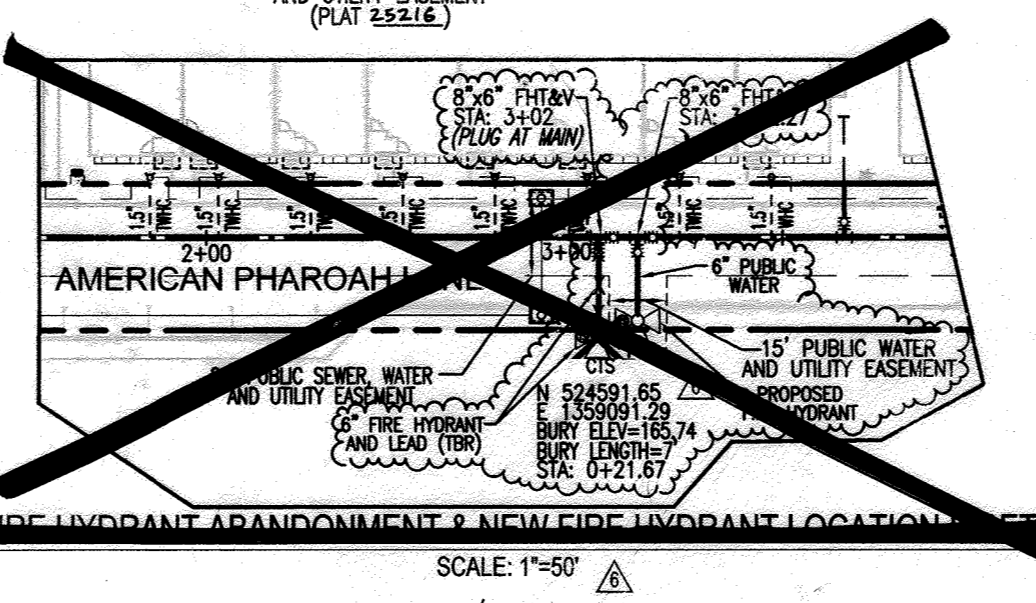


**BACKFLOW PREVENTION NOTE:**  
 BACKFLOW PREVENTION FOR AMENITY AREAS WATER SERVICE SHALL BE APPROVED BY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS INSPECTOR, AND INSULATED PER CLASS II ENCLOSURE. REFERENCE STD. DETAIL W-9.01.



**STACKED DWELLING UNITS FIRE AND DOMESTIC WATER NOTE:**  
 FOR THE STACKED RESIDENTIAL DWELLING UNITS, EACH BUILDING (STICK OF UNITS) HAS A UTILITY ROOM WHICH WILL HAVE 4" WATER HOUSE CONNECTION WITH AN INSIDE METER SETTING LOCATED WITHIN THE UTILITY ROOM FOR FIRE PROTECTION THE 4" WATER HOUSE CONNECTION SHALL ALSO SERVE AS THE SINGLE DOMESTIC SERVICE FOR THE UPPER END UNIT. DOMESTIC SERVICE FOR THE LOWER END UNIT SHALL BE PROVIDED BY A 1.5" SINGLE W/C WITH 3/4" SINGLE OUTSIDE METER SETTING AND A 1" CONNECTOR TO THE INDIVIDUAL UNITS.

**NOTE:**  
 FOR STACKED RESIDENTIAL DWELLING UNITS, EACH BUILDING SHALL HAVE 4" WATER HOUSE CONNECTION WITH AN INSIDE METER SETTING FOR FIRE PROTECTION AND A SINGLE DOMESTIC SERVICE. DOMESTIC SERVICE TO BE PROVIDED BY 1.5" SINGLE TWIN WATER HOUSE CONNECTIONS WITH 3/4" SINGLE OR TWIN OUTSIDE METER SETTINGS AND 1" CONNECTORS TO THE INDIVIDUAL UNITS.



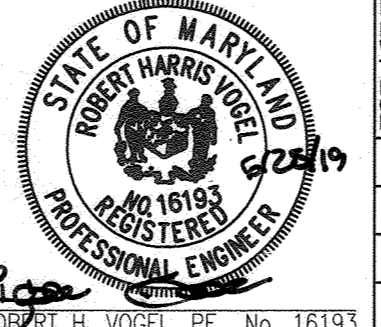
DEPARTMENT OF PUBLIC WORKS  
 HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING  
 HOWARD COUNTY, MARYLAND

7-17-19 DATE

7-24-19 DATE

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 3300 N. RIDGE ROAD, SUITE 110 TEL: 410.461.7666  
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961



PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRES 08-27-2020

DES: DZE  
 DRN: KG  
 CHK: RHV

DATE: JUNE 2019

NO.	REVISION	DATE
1	ADD TWO (2) PUBLIC W/C STUBS, REDUCE ONE (1) PUBLIC W/C STUB AND W/C'S FOR UNITS 157-172 AND 223-232 UNDER CONCEPT 4712-D, REVISE UTILITY ROOM LOCATIONS PRIVATE SEWER SYSTEMS AND SHCS UNDER CONCEPT 4712-D, REVISE UTILITY ROOM LOCATIONS (12-27-23)	12-27-23
2	MODIFY WATER AND SEWER DESIGN PER PADDOCK POINTE PHASE 3 DESIGN UNDER 202-21-016 (9-28-22)	9-28-22
3	ADD 1" W/C FOR AMENITY AREAS (COMMUNITY GARDEN AND DOG AREA), ADD 1" W/C REVISIONS TO 3/4" PRIVATE W/C AND 3/4" WATER HOUSE CONNECTIONS, ADD W/C'S AND SHCS FOR UNITS 157-172 AND 223-232 UNDER CONCEPT 4712-D, AND UPDATE SITE DESIGN. (4-14-22)	4-14-22
4	AS-BUILT ADDED STRUCTURE BUBBLES (1-26-22)	1-26-22
5	ADD W/C'S FOR ILLUMINATION AND REVISE SHCS TO (OPPOSED) SWEARE POSITIONABLE TO NEAR EX. 35" SEWER FORCE MAIN ADJACENT TO EX. GRAVITY MAIN (1-3-20)	1-3-20
6	REVISE WATER AND SEWER LAYOUT AND PROFILES PER REVISED SITE CONFIGURATION (03-21-19)	03-21-19

**FINAL WATER AND SEWER CONSTRUCTION PLAN**  
 CONTRACT NO. 24-4712-D

REPLACEMENT SHEET: ENTIRE SITE LAYOUT REDESIGNED

**PARCEL C-5 OWNER**  
 BEAVER HOMES, LLC  
 6085 WINDHURST DRIVE SUITE 350  
 BALKRIDE AND 21075 (410) 539-9249

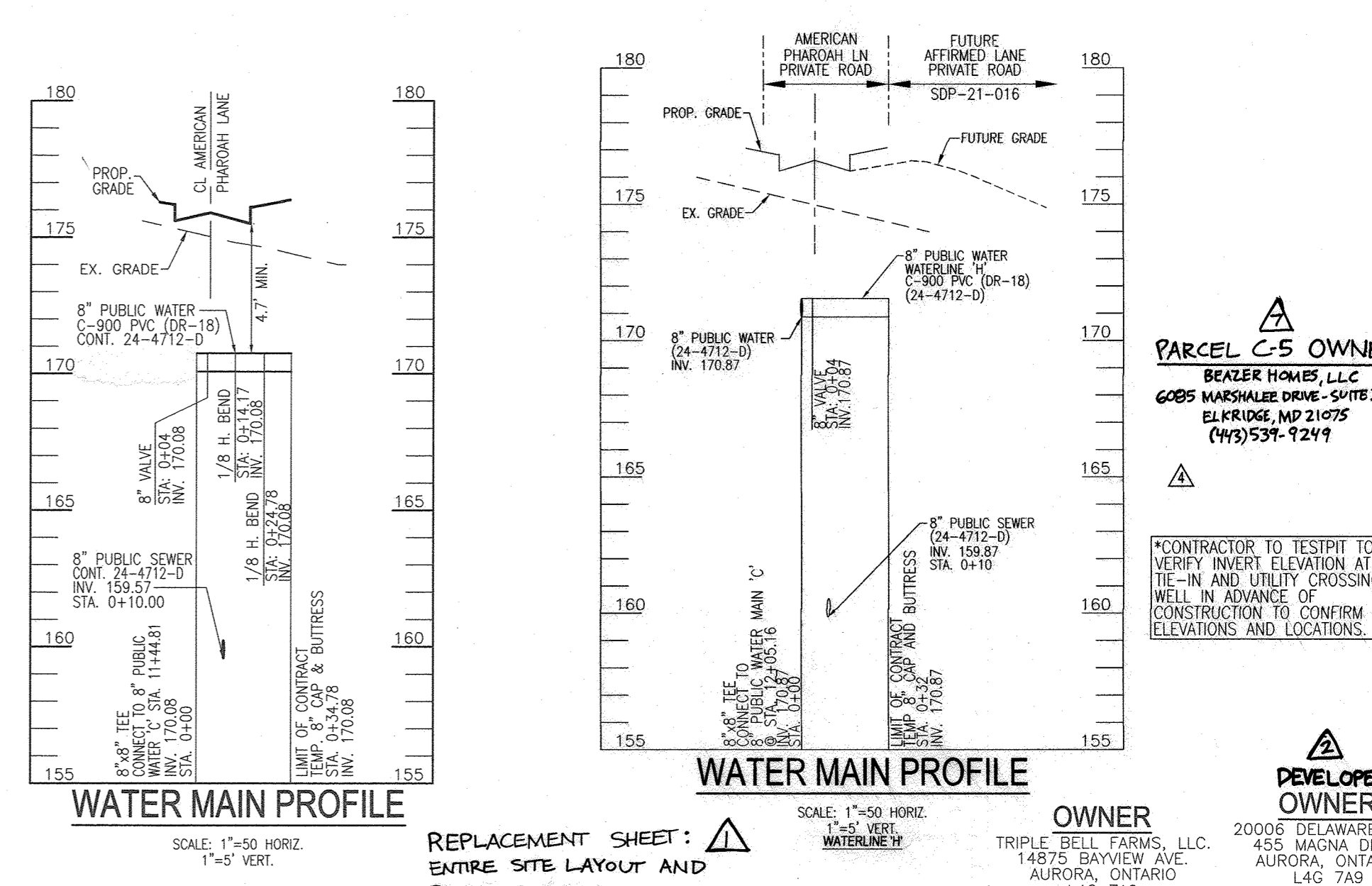
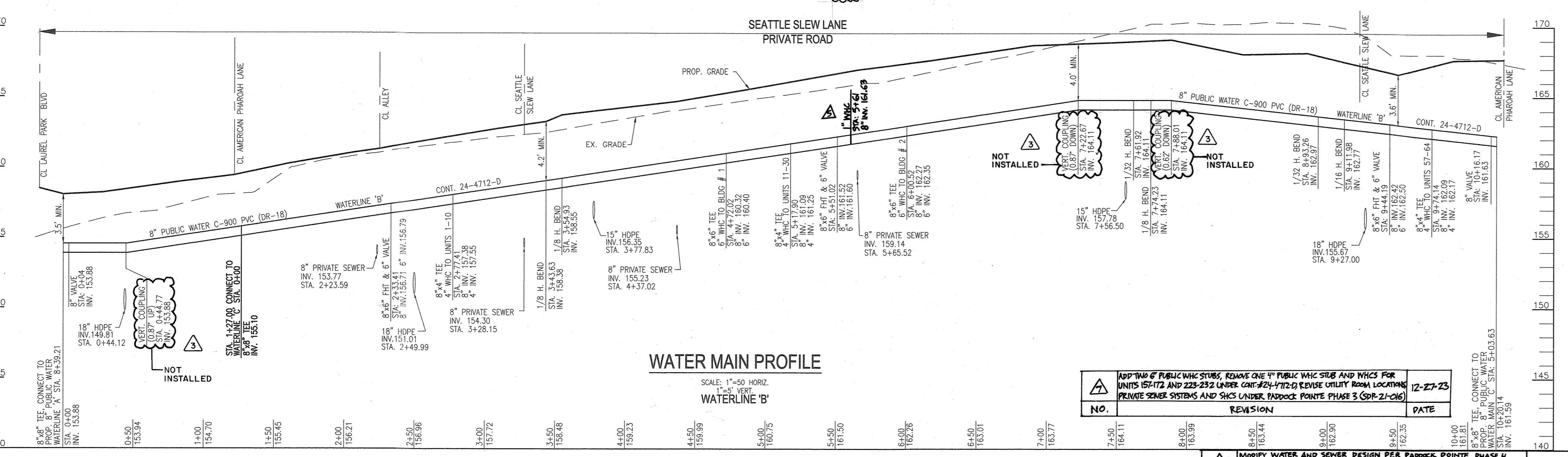
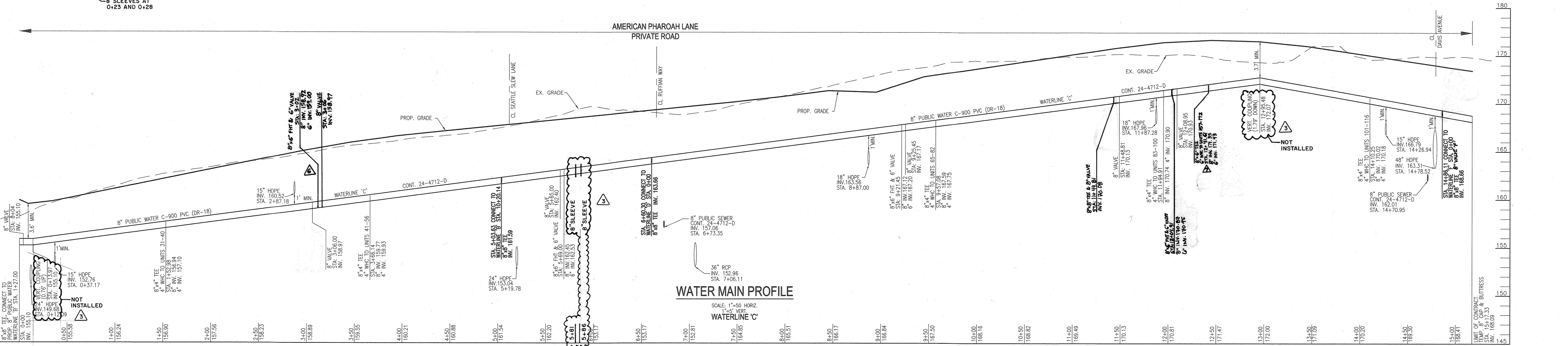
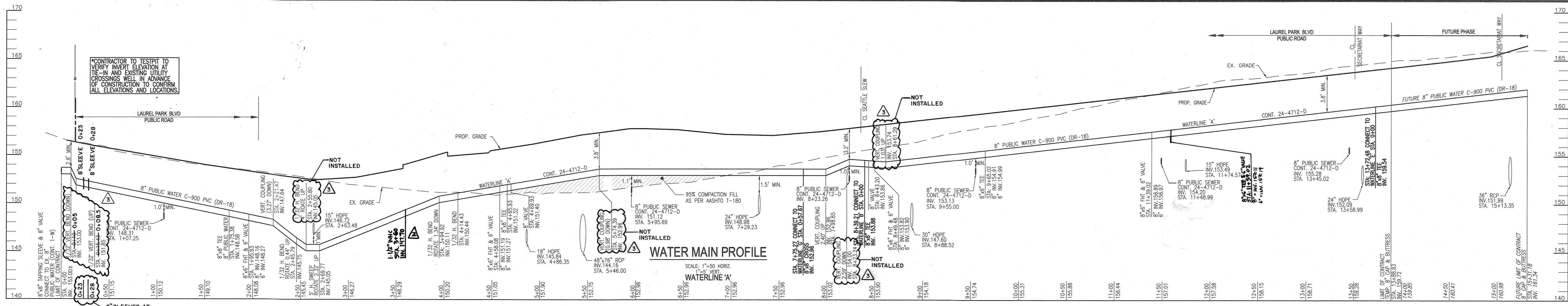
**OWNER**  
 TRIPLE BELL FARMS, LLC  
 14875 BAYVIEW AVE.  
 AURORA, ONTARIO L4G 7A9 CANADA (905) 720-0995

**PADDOCK POINTE-PHASE 1**  
 64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS  
 P-384 (L10518/F157)  
 P-441 (L13286/F377)  
 ZONED: T00

PARCELS: 384/441  
 SHEETS: 2 OF 7

SCALE AS SHOWN





NO.	REVISION	DATE
1	ADD TWO 6\"/>	12-27-23

DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING  
HOWARD COUNTY, MARYLAND

7-12-19  
CHIEF, BUREAU OF UTILITIES

7-24-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS - SURVEYORS - PLANNERS  
3300 N. RIDGE ROAD, SUITE 110  
ELLCOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961

STATE OF MARYLAND  
REGISTERED PROFESSIONAL ENGINEER  
ROBERT H. VOGEL, PE No. 16193

NO.	REVISION	DATE
1	MODIFY WATER AND SEWER DESIGN PER PARDOCK POINTE PHASE 4 DESIGN UNDER SDP-21-037	9-28-22
2	ADD 1\"/>	4-14-22
3	UPDATE PROJECT NAME, ADDRESS AND SHEETS FOR UNITS PROPOSED UNDER PARDOCK POINTE PHASE 3 (SDP-21-016), AND UPDATE SITE DESIGN	1-26-22
4	AS-BUILT, UPDATE PROFILES	1/2021
5	ADD TANKS FOR TANKTRAP AND REVERSE SHUT TO GROUND SEWERAGE MANHOLE TO AVOID BK. SEWER FORCE MAIN ADJACENT TO BK. GRANTY MAIN	1-3-20
6	REVISE WATER AND SEWER LAYOUT AND PROFILES PER REVISED SITE CONFIGURATION	03-21-19

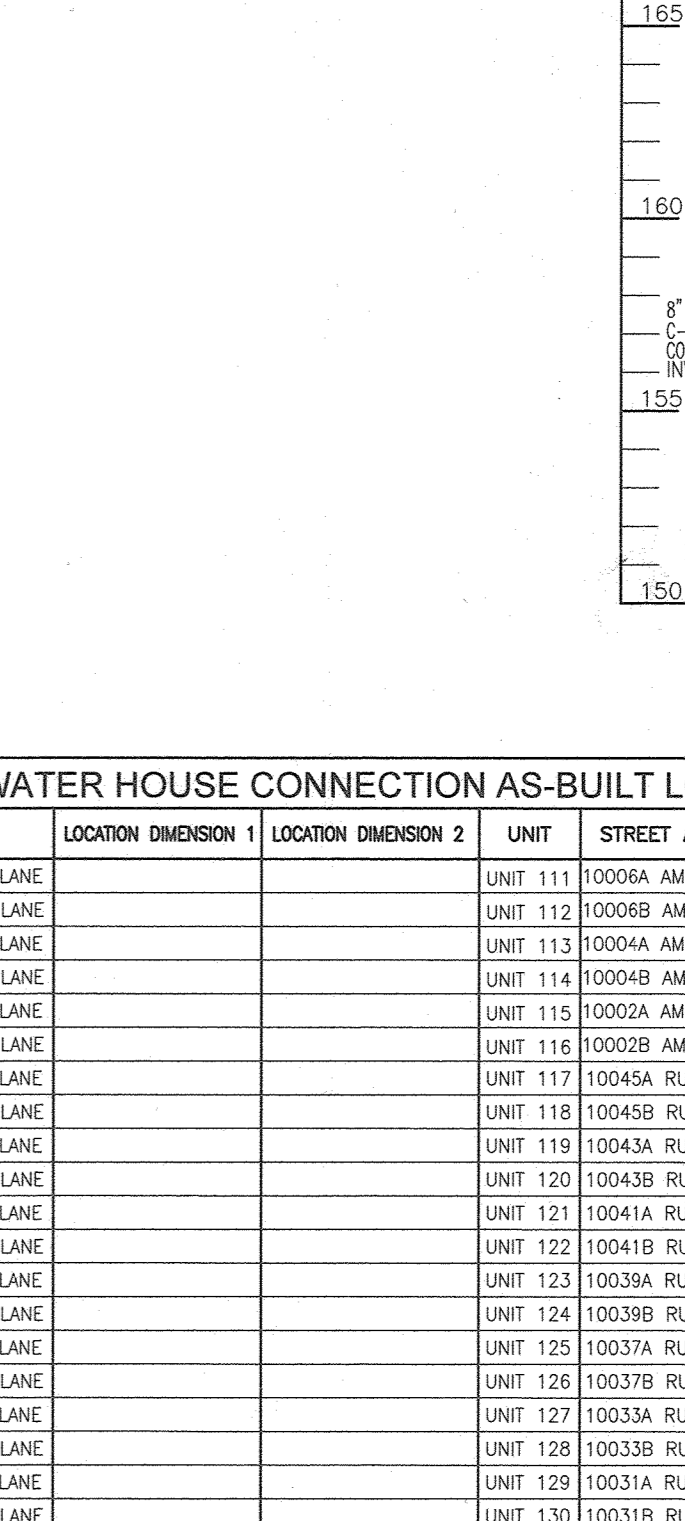
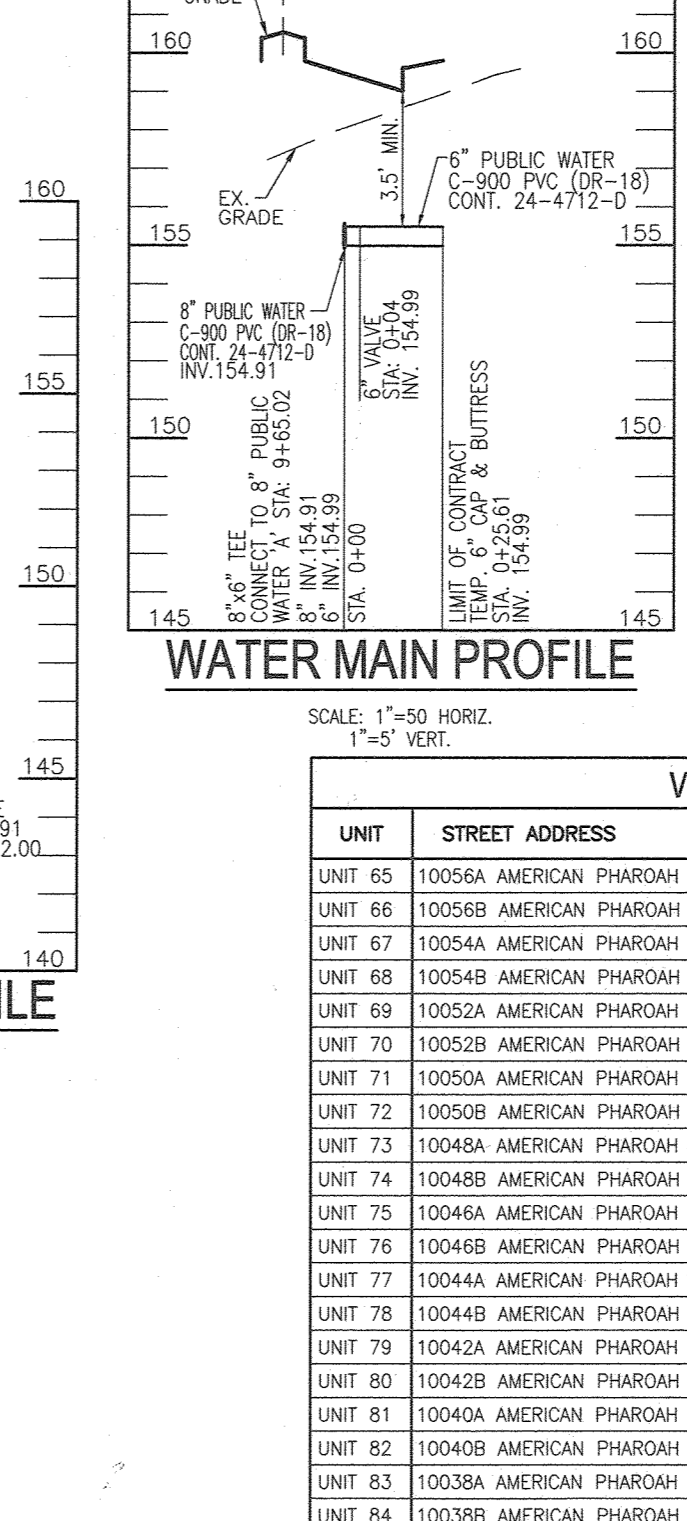
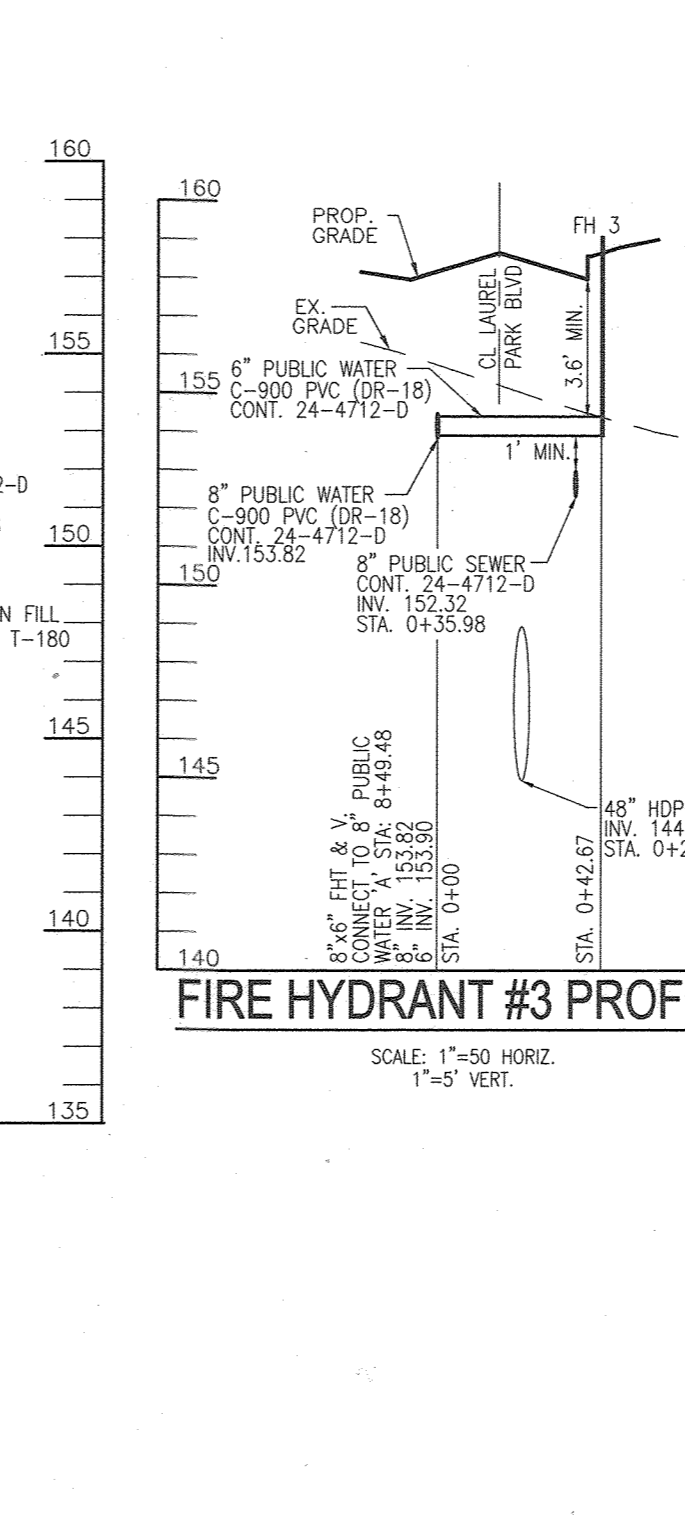
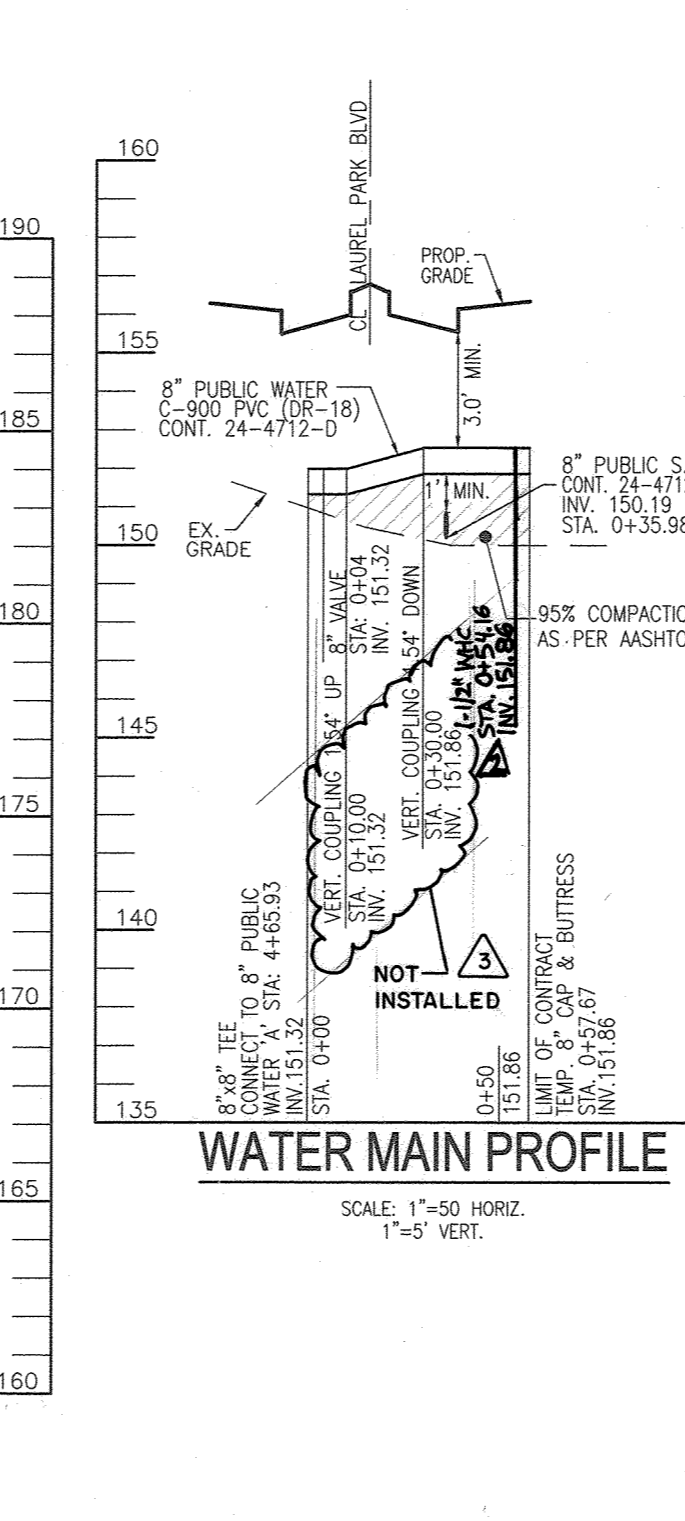
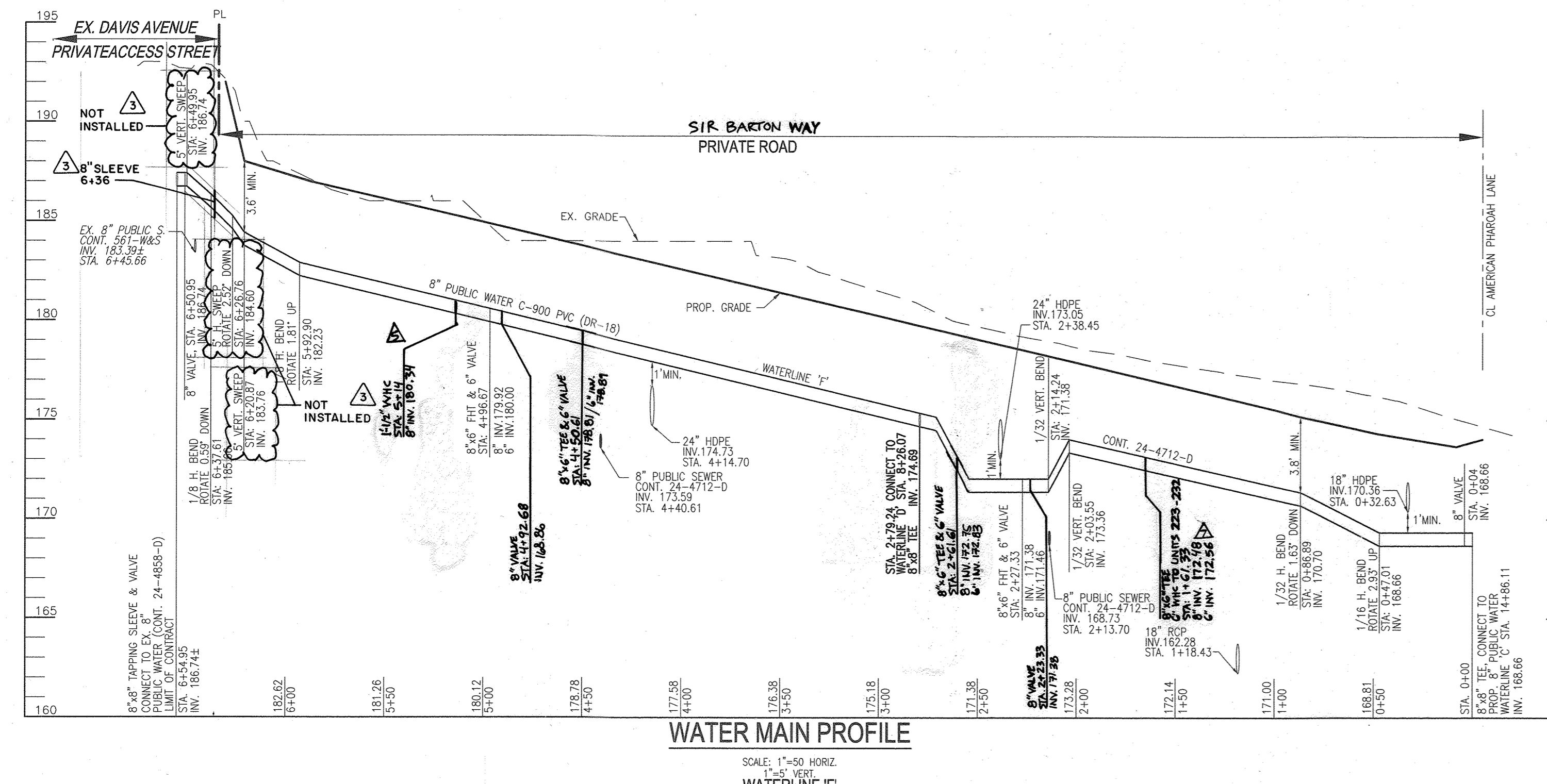
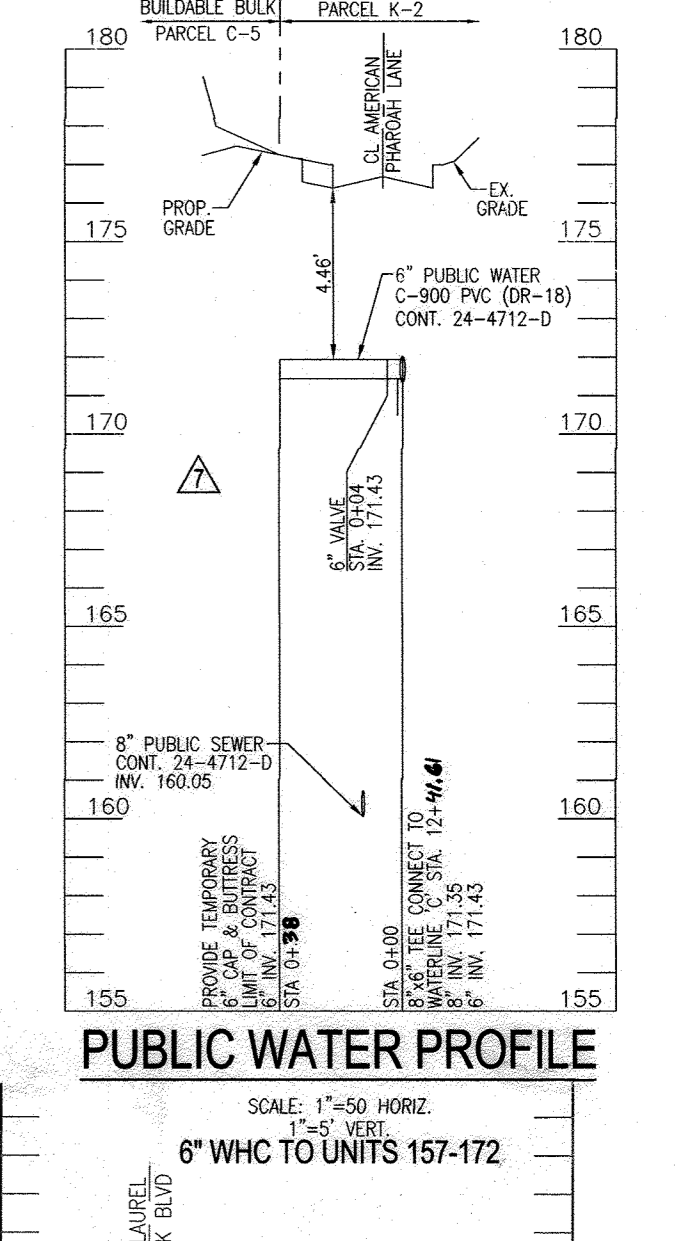
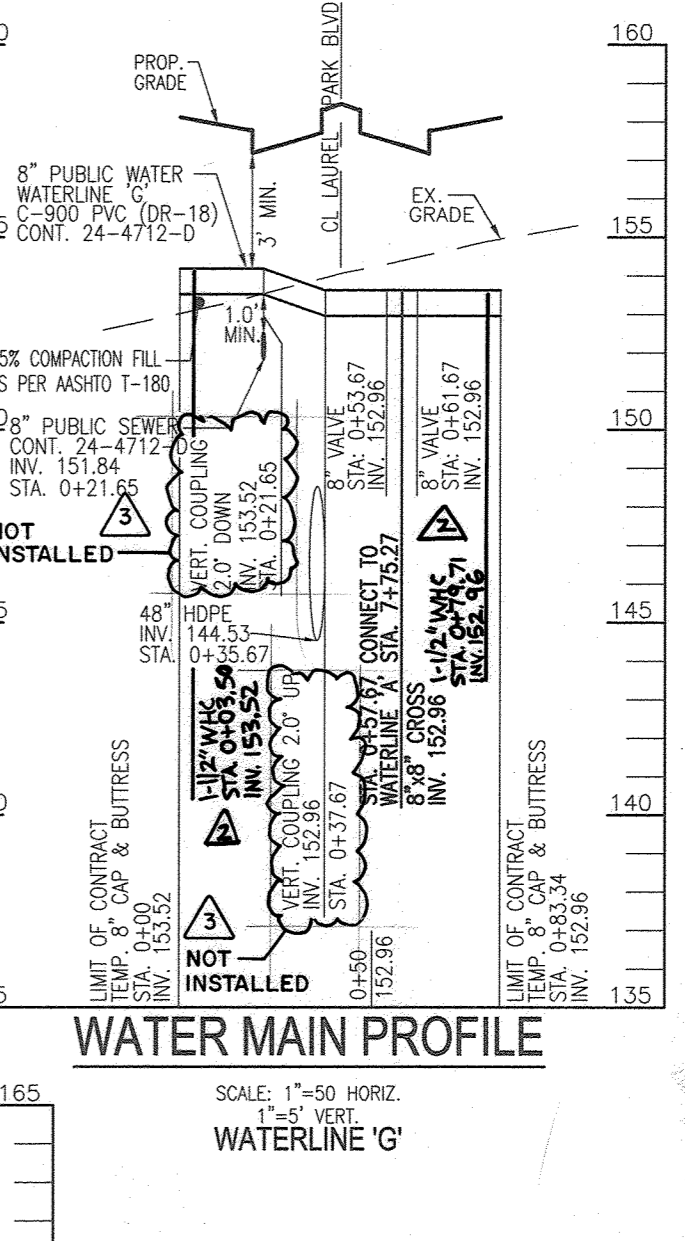
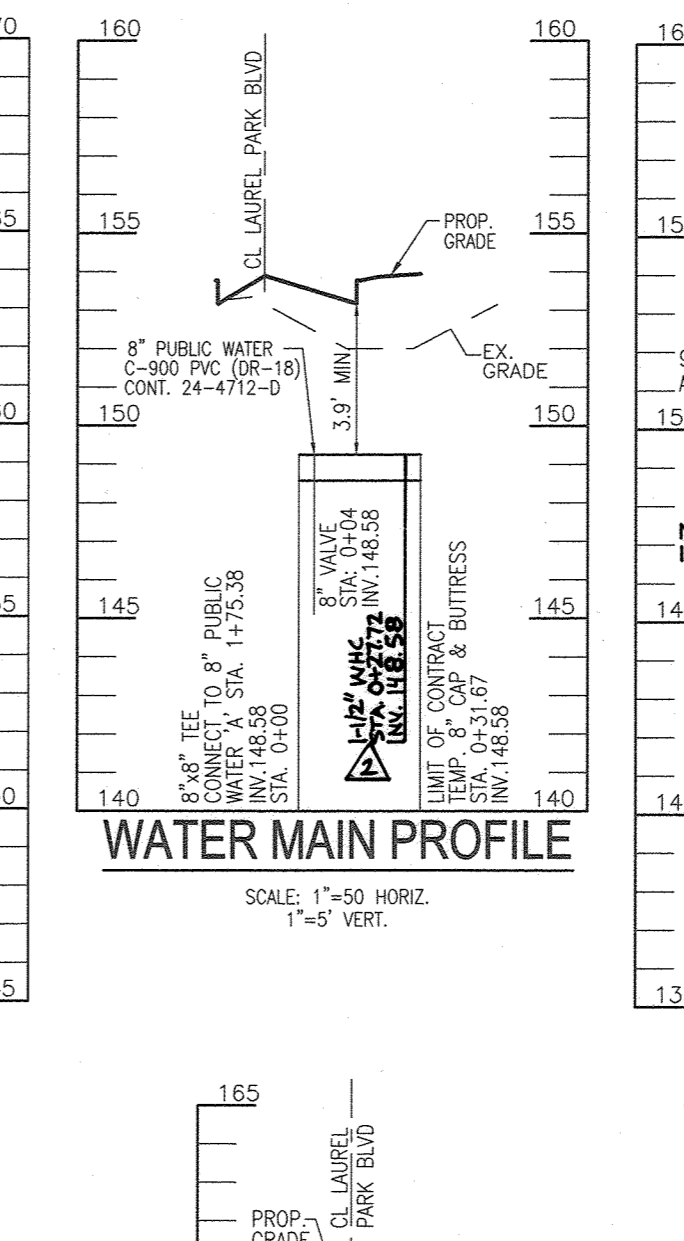
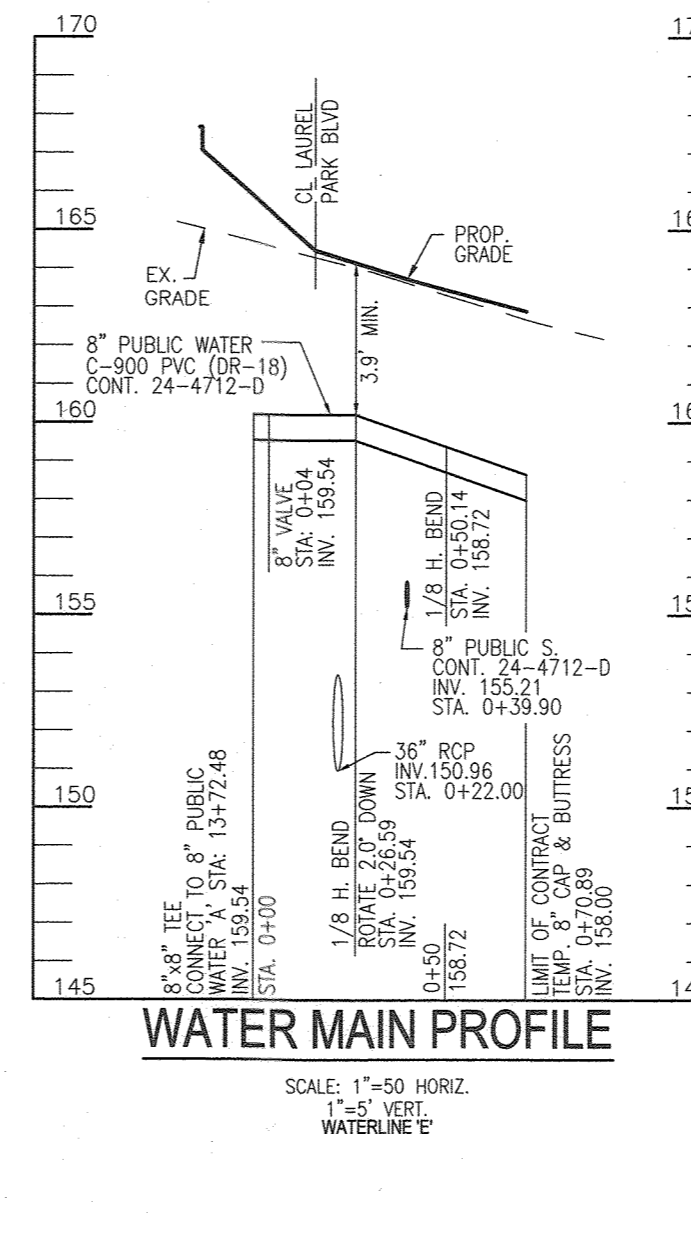
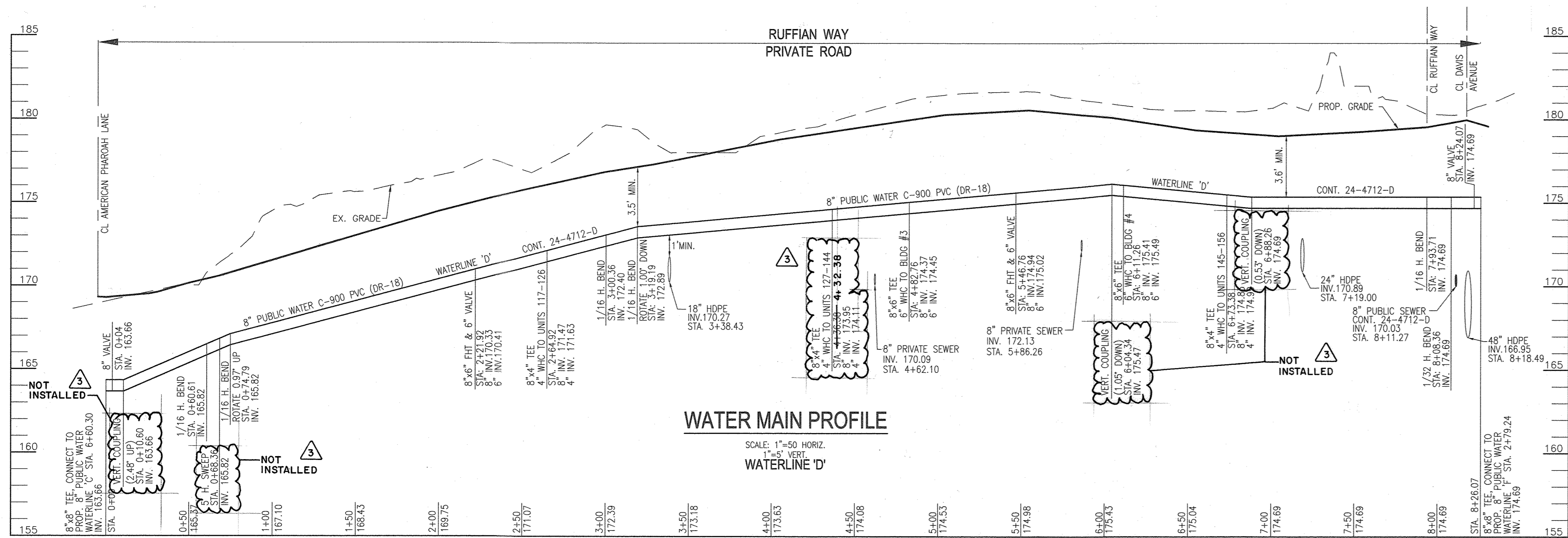
**FINAL WATER AND SEWER CONSTRUCTION PLAN**  
CONTRACT NO. 24-4712-D

REPLACEMENT SHEET: ENTIRE SITE LAYOUT AND PROFILES REDESIGNED

**PADDOCK POINTE-PHASE 1**  
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS  
P-384 (L10518/F-157)  
P-441 (L13295/F-377)  
ZONED: T00

SCALE AS SHOWN

SHEET 4 OF 7



WATER MAIN 'A'		WATER MAIN 'B'		WATER MAIN 'C'		WATER MAIN 'D'		WATER MAIN 'E'		WATER MAIN 'F'		WATER MAIN 'G'	
WL STA.	APPURTENANCE	WL STA.	APPURTENANCE	WL STA.	APPURTENANCE	WL STA.	APPURTENANCE	WL STA.	APPURTENANCE	WL STA.	APPURTENANCE	WL STA.	APPURTENANCE
WL STA: 0+00.00	CONNECT TO EX. 8\"/>												

UNIT	STREET ADDRESS	LOCATION DIMENSION 1	LOCATION DIMENSION 2	UNIT	STREET ADDRESS	LOCATION DIMENSION 1	LOCATION DIMENSION 2
UNIT 65	10066A AMERICAN PHAROAH LANE			UNIT 111	10066A AMERICAN PHAROAH LANE		
UNIT 66	10066B AMERICAN PHAROAH LANE			UNIT 112	10066B AMERICAN PHAROAH LANE		
UNIT 67	10066A AMERICAN PHAROAH LANE			UNIT 113	10066A AMERICAN PHAROAH LANE		
UNIT 68	10066B AMERICAN PHAROAH LANE			UNIT 114	10066B AMERICAN PHAROAH LANE		
UNIT 69	10066A AMERICAN PHAROAH LANE			UNIT 115	10066A AMERICAN PHAROAH LANE		
UNIT 70	10066B AMERICAN PHAROAH LANE			UNIT 116	10066B AMERICAN PHAROAH LANE		
UNIT 71	10066A AMERICAN PHAROAH LANE			UNIT 117	10066A AMERICAN PHAROAH LANE		
UNIT 72	10066B AMERICAN PHAROAH LANE			UNIT 118	10066B AMERICAN PHAROAH LANE		
UNIT 73	10066A AMERICAN PHAROAH LANE			UNIT 119	10066A AMERICAN PHAROAH LANE		
UNIT 74	10066B AMERICAN PHAROAH LANE			UNIT 120	10066B AMERICAN PHAROAH LANE		
UNIT 75	10066A AMERICAN PHAROAH LANE			UNIT 121	10066A AMERICAN PHAROAH LANE		
UNIT 76	10066B AMERICAN PHAROAH LANE			UNIT 122	10066B AMERICAN PHAROAH LANE		
UNIT 77	10066A AMERICAN PHAROAH LANE			UNIT 123	10066A AMERICAN PHAROAH LANE		
UNIT 78	10066B AMERICAN PHAROAH LANE			UNIT 124	10066B AMERICAN PHAROAH LANE		
UNIT 79	10066A AMERICAN PHAROAH LANE			UNIT 125	10066A AMERICAN PHAROAH LANE		
UNIT 80	10066B AMERICAN PHAROAH LANE			UNIT 126	10066B AMERICAN PHAROAH LANE		
UNIT 81	10066A AMERICAN PHAROAH LANE			UNIT 127	10066A AMERICAN PHAROAH LANE		
UNIT 82	10066B AMERICAN PHAROAH LANE			UNIT 128	10066B AMERICAN PHAROAH LANE		
UNIT 83	10066A AMERICAN PHAROAH LANE			UNIT 129	10066A AMERICAN PHAROAH LANE		
UNIT 84	10066B AMERICAN PHAROAH LANE			UNIT 130	10066B AMERICAN PHAROAH LANE		
UNIT 85	10066A AMERICAN PHAROAH LANE			UNIT 131	10066A AMERICAN PHAROAH LANE		
UNIT 86	10066B AMERICAN PHAROAH LANE			UNIT 132	10066B AMERICAN PHAROAH LANE		
UNIT 87	10066A AMERICAN PHAROAH LANE			UNIT 133	10066A AMERICAN PHAROAH LANE		
UNIT 88	10066B AMERICAN PHAROAH LANE			UNIT 134	10066B AMERICAN PHAROAH LANE		
UNIT 89	10066A AMERICAN PHAROAH LANE			UNIT 135	10066A AMERICAN PHAROAH LANE		
UNIT 90	10066B AMERICAN PHAROAH LANE			UNIT 136	10066B AMERICAN PHAROAH LANE		
UNIT 91	10066A AMERICAN PHAROAH LANE			UNIT 137	10066A AMERICAN PHAROAH LANE		
UNIT 92	10066B AMERICAN PHAROAH LANE			UNIT 138	10066B AMERICAN PHAROAH LANE		
UNIT 93	10066A AMERICAN PHAROAH LANE			UNIT 139	10066A AMERICAN PHAROAH LANE		
UNIT 94	10066B AMERICAN PHAROAH LANE			UNIT 140	10066B AMERICAN PHAROAH LANE		
UNIT 95	10066A AMERICAN PHAROAH LANE			UNIT 141	10066A AMERICAN PHAROAH LANE		
UNIT 96	10066B AMERICAN PHAROAH LANE			UNIT 142	10066B AMERICAN PHAROAH LANE		
UNIT 97	10066A AMERICAN PHAROAH LANE			UNIT 143	10066A AMERICAN PHAROAH LANE		
UNIT 98	10066B AMERICAN PHAROAH LANE			UNIT 144	10066B AMERICAN PHAROAH LANE		
UNIT 99	10066A AMERICAN PHAROAH LANE			UNIT 145	10066A AMERICAN PHAROAH LANE		
UNIT 100	10066B AMERICAN PHAROAH LANE			UNIT 146	10066B AMERICAN PHAROAH LANE		
UNIT 101	10066A AMERICAN PHAROAH LANE			UNIT 147	10066A AMERICAN PHAROAH LANE		
UNIT 102	10066B AMERICAN PHAROAH LANE			UNIT 148	10066B AMERICAN PHAROAH LANE		
UNIT 103	10066A AMERICAN PHAROAH LANE			UNIT 149	10066A AMERICAN PHAROAH LANE		
UNIT 104	10066B AMERICAN PHAROAH LANE			UNIT 150	10066B AMERICAN PHAROAH LANE		
UNIT 105	10066A AMERICAN PHAROAH LANE			UNIT 151	10066A AMERICAN PHAROAH LANE		
UNIT 106	10066B AMERICAN PHAROAH LANE			UNIT 152	10066B AMERICAN PHAROAH LANE		
UNIT 107	10066A AMERICAN PHAROAH LANE			UNIT 153	10066A AMERICAN PHAROAH LANE		
UNIT 108	10066B AMERICAN PHAROAH LANE			UNIT 154	10066B AMERICAN PHAROAH LANE		
UNIT 109	10066A AMERICAN PHAROAH LANE			UNIT 155	10066A AMERICAN PHAROAH LANE		
UNIT 110	10066B AMERICAN PHAROAH LANE			UNIT 156	10066B AMERICAN PHAROAH LANE		

DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING  
HOWARD COUNTY, MARYLAND

7-23-20  
7-24-19

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS - SURVEYORS - PLANNERS  
3300 N. RIDGE ROAD, SUITE 110  
ELLICOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961

STATE OF MARYLAND  
REGISTERED PROFESSIONAL ENGINEER  
ROBERT H. VOGEL, PE No. 16193

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
EXPIRATION DATE: 08-27-2020

DES: DZE  
DRN: KG  
CHK: RHW

DATE: JUNE 2019

ADD TWO (2) PUBLIC MISC STUBS REMOVE ONE (1) PUBLIC MISC STUB AND WHCS FOR UNITS 157-172 AND 223-232 UNDER CONT. 24-4712-D, REVISE UTILITY ROOM LOCATIONS PRIVATE SEWER SYSTEMS AND SHCS UNDER PADDOCK POINTE PHASE 3 (SOP-21-04) THROUGH VERTICAL AND SERVICE TRENCH PER PADDOCK POINTE PHASE 4 DESIGN UNDER SOP-21-037  
9-28-22

ADD 1\"/>

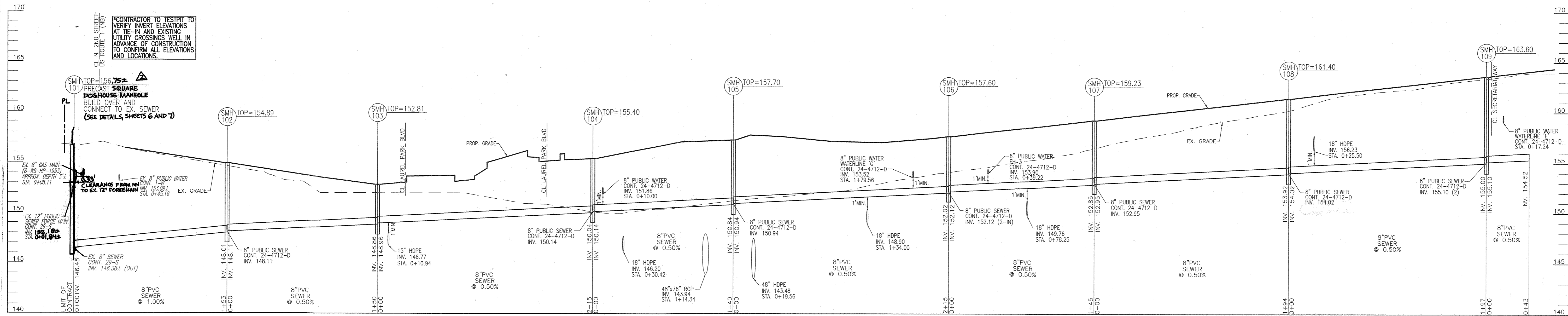
REPLACEMENT SHEET: PARCEL C-5 OWNER  
ENTIRE SITE LAYOUT AND PROFILES REDESIGNED  
OWNER: TRIPLE BELL FARMS, LLC  
14875 BAYVIEW AVE.  
AURORA, ONTARIO L4G 7A9 CANADA  
(905) 728-0995

PADDOCK POINTE-PHASE 1  
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS  
P-384 (L13290/F-157)  
P-441 (L13290/F-377)  
ZONED: T00

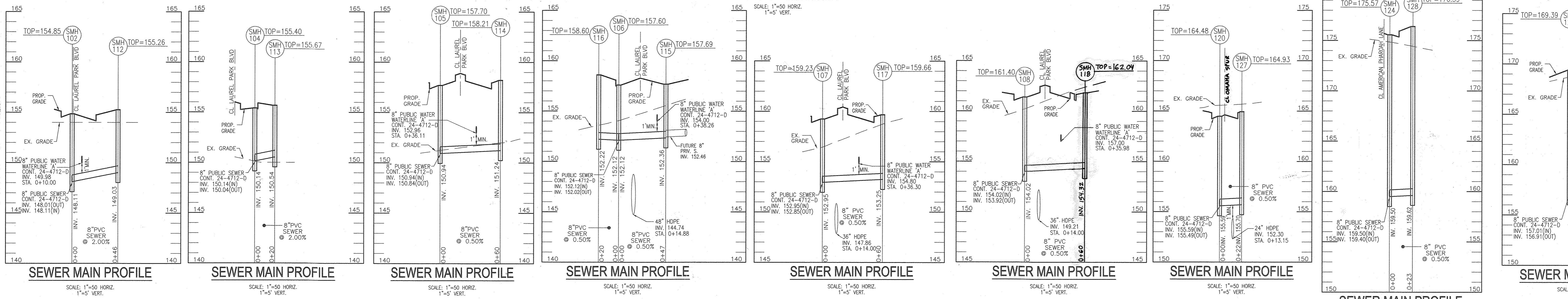
SCALE AS SHOWN  
SHEET 5 OF 7

**FINAL WATER AND SEWER CONSTRUCTION PLAN**  
CONTRACT NO. 24-4712-D

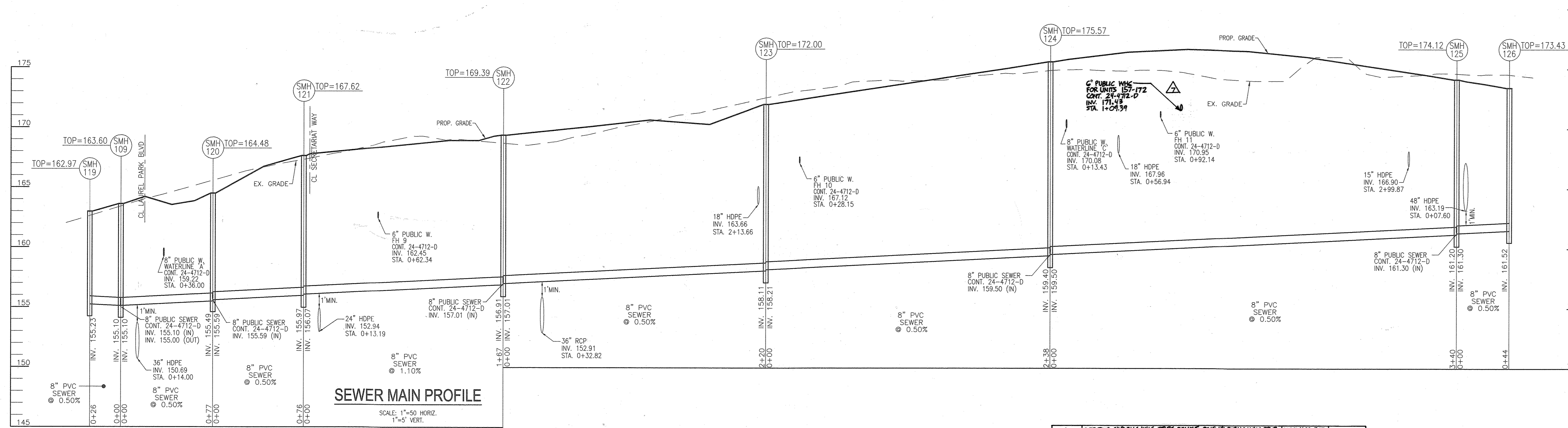
600' SCALE MAP NO. 50  
BLOCK NO. 10  
TAX MAP 50, GRID 10  
6TH ELECTION DISTRICT



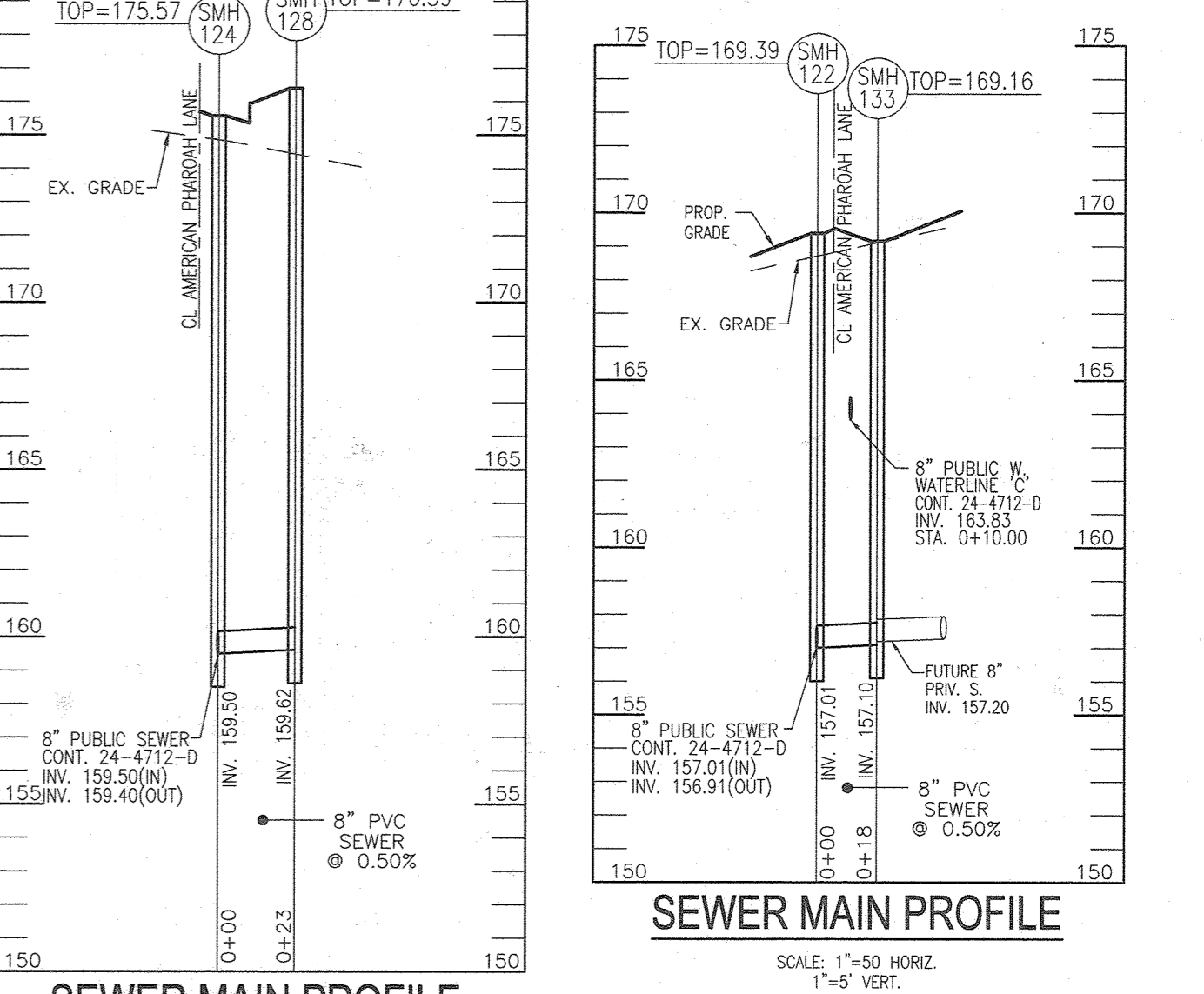
SEWER MAIN PROFILE



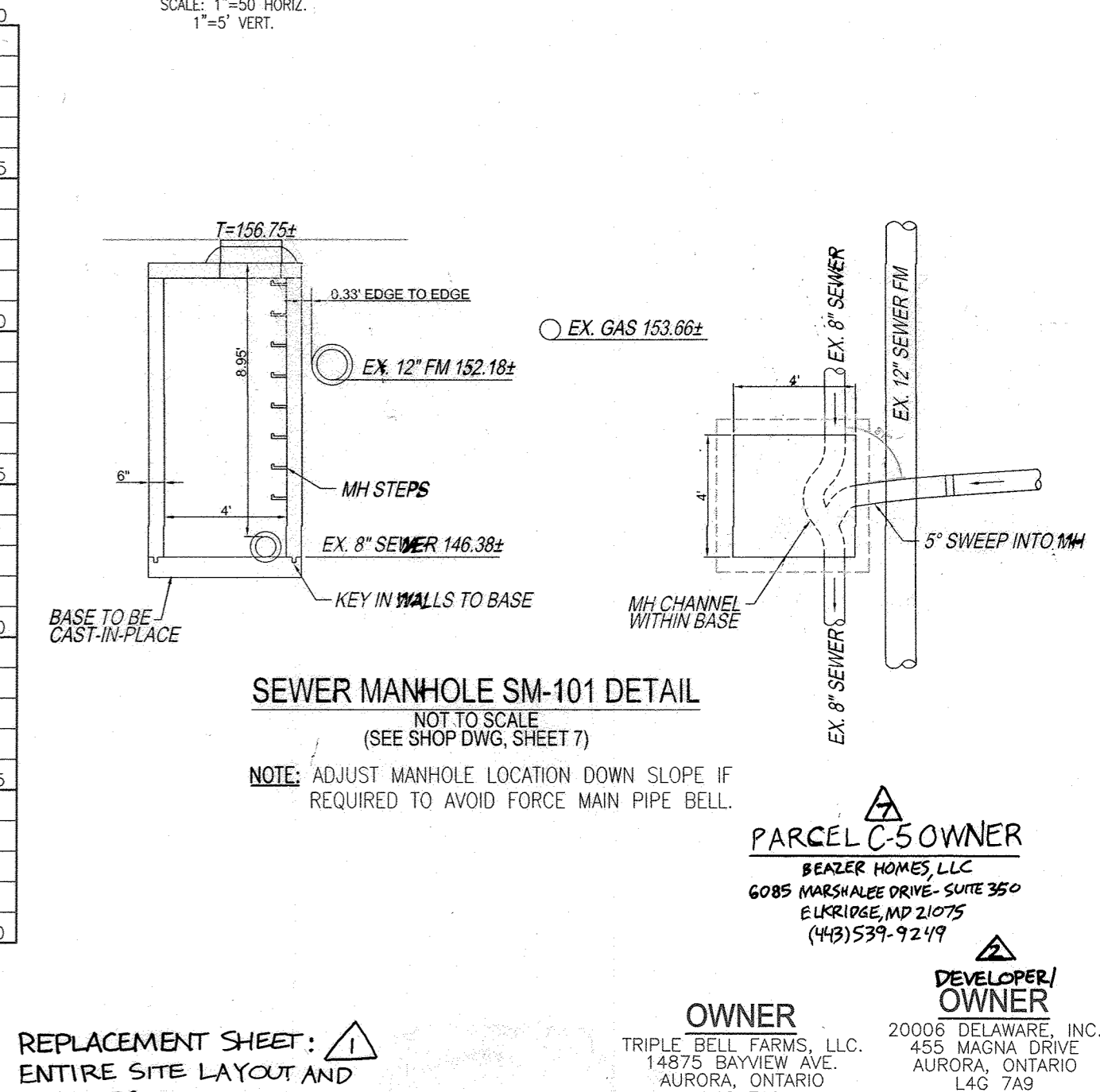
SEWER MAIN PROFILE



SEWER MAIN PROFILE



SEWER MAIN PROFILE

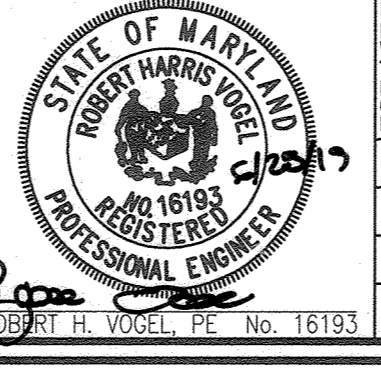


SEWER MANHOLE SM-101 DETAIL

DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND  
*[Signature]*  
CHIEF, BUREAU OF UTILITIES  
DATE: 2-17-19

DEPARTMENT OF PLANNING & ZONING  
HOWARD COUNTY, MARYLAND  
*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 7.24.19

**ROBERT H. VOGEL ENGINEERING, INC.**  
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ELLICOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961



NO.	REVISION	DATE
1	ADD THE 8\"/>	12-27-23
2	LOCATIONS, PRIVATE SEWER SYSTEMS AND SHCS UNDER PADDOCK POINTE PHASE 3 (SPP-21-016)	
3	INVOY WATER AND SEWER DESIGN PER PADDOCK POINTE PHASE 4 DESIGN UNDER SPP-21-037	9-28-22
4	IMPROVE PROJECT NAME AND PHASE ANALYSIS FOR UNITS PROPOSED UNDER PADDOCK POINTE PHASE 3 (SPP-21-016) AND UPGRADE SITE DESIGN	1-26-22
5	ADD WHCS FOR RELOCATION AND SEWER MAIN ADJUSTMENT TO EX. GRADUITY MAIN	1-3-20
6	REVISE WATER AND SEWER LAYOUT AND PROFILES PER REVISED SITE CONFIGURATION	03-21-19

**FINAL WATER AND SEWER CONSTRUCTION PLAN**  
CONTRACT NO. 24-4712-D  
600' SCALE MAP NO. 50  
BLOCK NO. 10

**PADDOCK POINTE-PHASE 1**  
64 APARTMENT AND 156 STACKED TOWNHOUSE CONDO UNITS  
P.384 (L10518/F.157)  
P.441 (L13296/F.377)  
ZONED: TDD  
PARCELS: 384/441  
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REPLACEMENT SHEET: 1  
ENTIRE SITE LAYOUT AND PROFILES REDESIGNED  
OWNER: TRIPLE BELL FARMS, L.L.C.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
OWNER: BEZIER HOMES, L.L.C.  
6085 HANSHALE DRIVE-SITE 350  
ELKRIE, MD 21075  
(410) 597-9247  
DEVELOPER/OWNER: 20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 728-0995  
SCALE AS SHOWN  
SHEET 6 OF 7

