

**GENERAL NOTES**

**PART I**

- APPROXIMATE LOCATION OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED APRIL 2004.
- THE TOPOGRAPHY SHOWN HEREON IS BASED ON FIELD RUN "AERIAL TOPOGRAPHIC SURVEY" PREPARED BY POTOMAC AERIAL SURVEYS, DATED JANUARY 2004.
- HORIZONTAL AND VERTICAL SURVEY CONTROLS:  
THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD 83/91 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 38AA AND 38BA.  
ALL VERTICAL CONTROLS ARE BASED ON (NAVD' 88) GEODETIC SURVEY CONTROL 38AA - (N 561,158.819, E 1,389,726.332) BRASS DISC SET ON TOP OF A CONCRETE MONUMENT, LOCATED NORTH OF THE INTERSECTION OF MONTGOMERY ROAD AND U.S. ROUTE 1, 3.2' FROM THE NORTH BOUND LANE OF U.S. ROUTE 1.  
GEODETIC SURVEY CONTROL 32BA - (N 562,553.315 E 1,390,967.862) BRASS DISC SET ON TOP OF A CONCRETE MONUMENT, LOCATED 0.3 MILES NORTH OF THE INTERSECTION OF MONTGOMERY ROAD AND U.S. ROUTE 1, 9.5' FROM THE SOUTH BOUND LANE OF U.S. ROUTE 1.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED ON THE PLANS.
- CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 5'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES, ANY COST INCURRED BY THE OWNER FOR BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
- FOR DETAILS NOT SHOWN ON THE DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
- WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE NOTED BY THE SYMBOL AT THE LOCATIONS OF THE TEST PIT OR PITS. A NOTE OR NOTES CONTAINING THE RESULTS OF THE TEST PIT OR PITS IS INCLUDED ON THE DRAWINGS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATION AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN THESE PLANS:  
AT&T \_\_\_\_\_ 1-800-252-1133  
BGE (CONTRACTOR SERVICE) \_\_\_\_\_ 410-850-4620  
BGE (UNDERGROUND DAMAGE CONTROL) \_\_\_\_\_ 410-787-9068  
BUREAU OF UTILITIES \_\_\_\_\_ 410-313-4900  
COLONIAL PIPELINE CO \_\_\_\_\_ 410-795-1390  
MISS UTILITY \_\_\_\_\_ 1-800-257-7777  
STATE HIGHWAY ADMINISTRATION \_\_\_\_\_ 410-531-5533  
VERIZON \_\_\_\_\_ 1-800-743-0033/410-224-9210
- TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE CONSTRUCTION OF THE MAIN.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT (410) 313-7450 AT LEAST FIVE WORKING DAYS BEFORE OPEN CUTTING OR BORING/JACKING OF ANY COUNTY ROAD FOR LAYING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.114(a) OF THE HOWARD COUNTY CODE.
- THIS PLAN IS TO BE RED-LINED WITH THE "AS-BUILT" INFORMATION FROM WATER AND SEWER CONTRACT 14-4556-D. DO NOT BEGIN CONSTRUCTION OF THIS WATER AND SEWER PLAN UNTIL CONTRACT 14-4556-D IS BUILT.

**PART II - WATER**

- EXCEPT AS INDICATED ON THE PLANS, ALL PUBLIC WATER MAINS SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA C-900 DR-18, PRESSURE CLASS 150 AND THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION AND ALL SUBSEQUENT AMENDMENTS THERETO.
- TOPS OF ALL WATER MAINS SHALL HAVE A MINIMUM OF 3'-6" OF COVER UNLESS OTHERWISE NOTED.
- VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
- ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH THE STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
- FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS. THE SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND 1005 OF THE STANDARD SPECIFICATIONS.
- FIRE HYDRANTS SHALL BE D.I.P. ONLY.
- THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
- ALL WATER HOUSE CONNECTIONS SHALL BE FOR INSIDE METER SETTING UNLESS OTHERWISE NOTED ON PLANS OR IN SPECIFICATIONS. FOR LONG PIPESTEM LOTS USE OUTSIDE METER SETTING.
- SPRINKLER SYSTEMS FOR ALL TOWN HOMES OR MULTI-FAMILY DWELLING UNITS SHOULD HAVE A MINIMUM OF 1" CONNECTION WITH A 3/4" METER.
- ALL WATER MAIN CONSTRUCTION SHALL CONSIST OF PVC MAIN WITH EPOXY COATED DIP FITTINGS OR PVC MAIN WITH PVC FITTINGS.
- ALL VALVES ARE TO BE ATTACHED WITH IRON FITTINGS OR CONCRETE ANCHORS.
- ALL PVC WATER MAINS SHALL MEET THE REQUIREMENTS OF THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- THE DIMENSION RATIO FOR THE PVC MAIN SHALL BE DR-18.
- ALL DUCTILE IRON PIPE (DIP) TO BE USED ON THE PUBLIC WATER SYSTEM SHALL BE CLASS 54. DUCTILE IRON FITTING SHALL MEET THE REQUIREMENTS OF THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.

**PART III - SEWER**

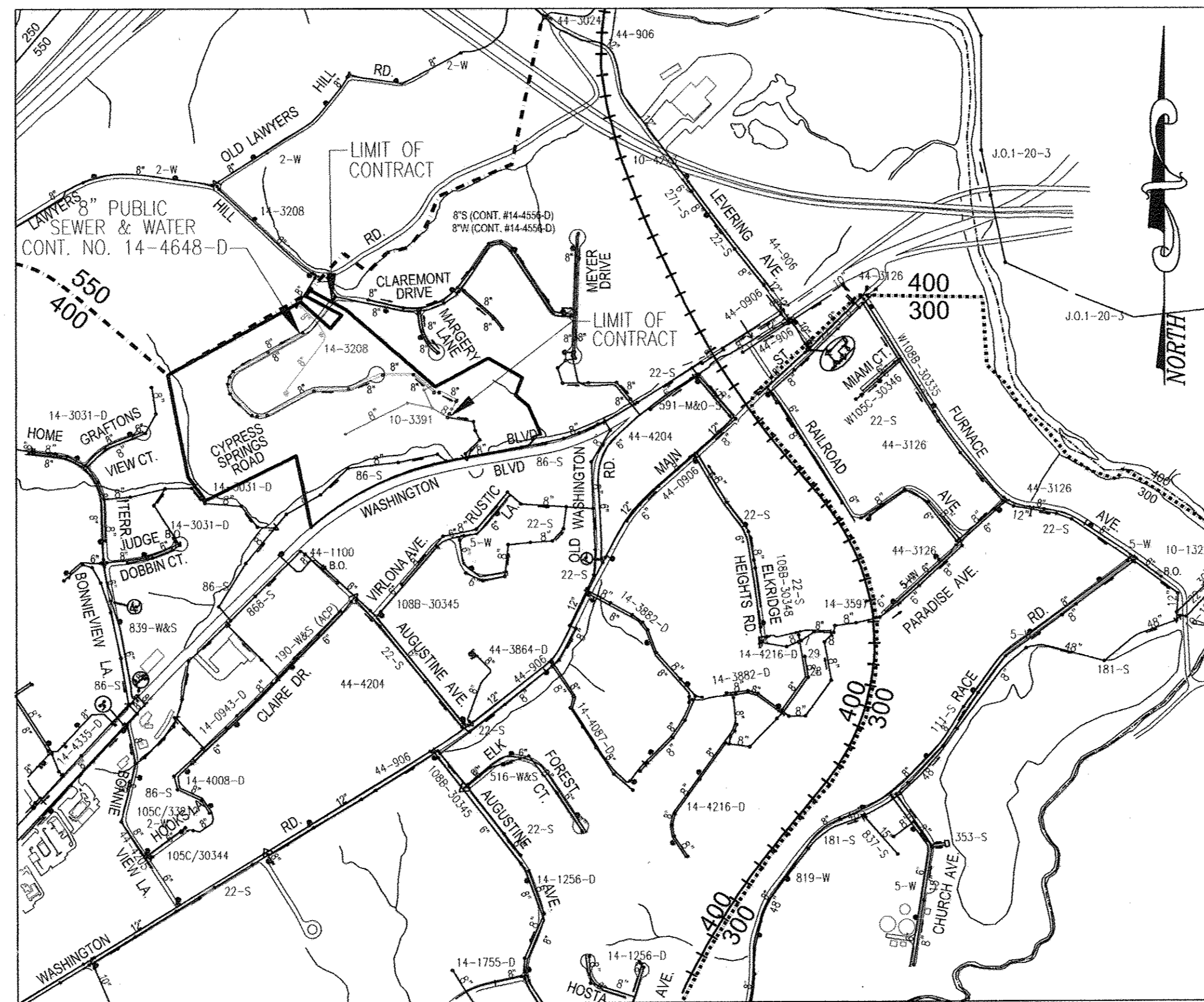
- ALL SEWER MAINS SHALL BE PVC, UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL BE 4'-0" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
- FORCE MAINS SHALL BE D.I.P. ONLY.
- MANHOLES SHOWN WITH 12" AND 16" WALLS ARE FOR BRICK MANHOLES ONLY.
- MANHOLES DESIGNATED W.T. IN PLAN AND PROFILE SHALL HAVE WATERTIGHT FRAME AND COVER, STANDARD DETAIL G5.52. WHERE WATERTIGHT FRAME AND COVER IS USED, SET TOP OF FRAME 1'-6" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- HOUSE(S) WITH THE SYMBOL "C.N.S." INDICATES THAT CELLAR CANNOT BE SERVED.

# FINAL WATER & SEWER PLAN

## CYPRESS SPRINGS - PHASE ONE

### CONTRACT NO. 14-4648-D

#### LOTS 1-13 AND OPEN SPACE LOTS 14-17 AND NON-BUILDABLE BULK PARCELS A-D

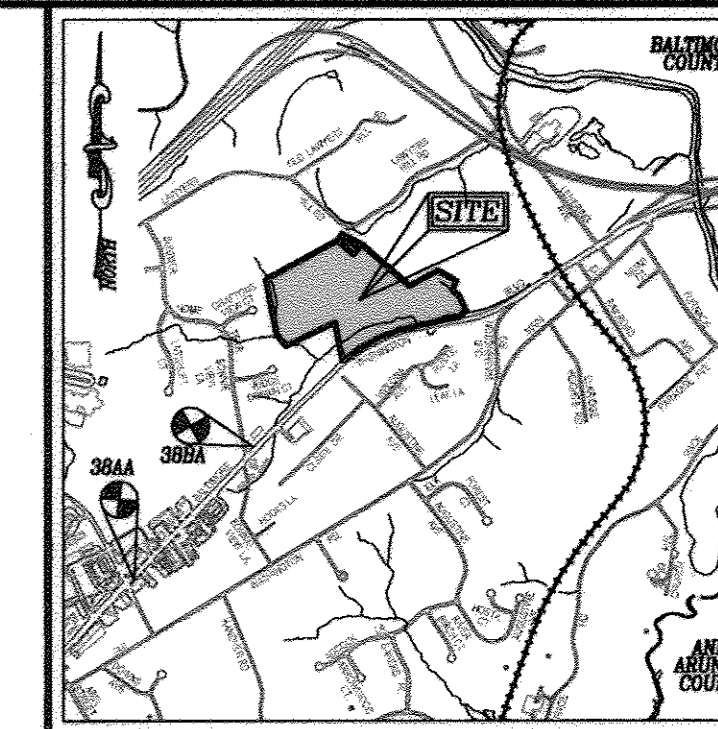
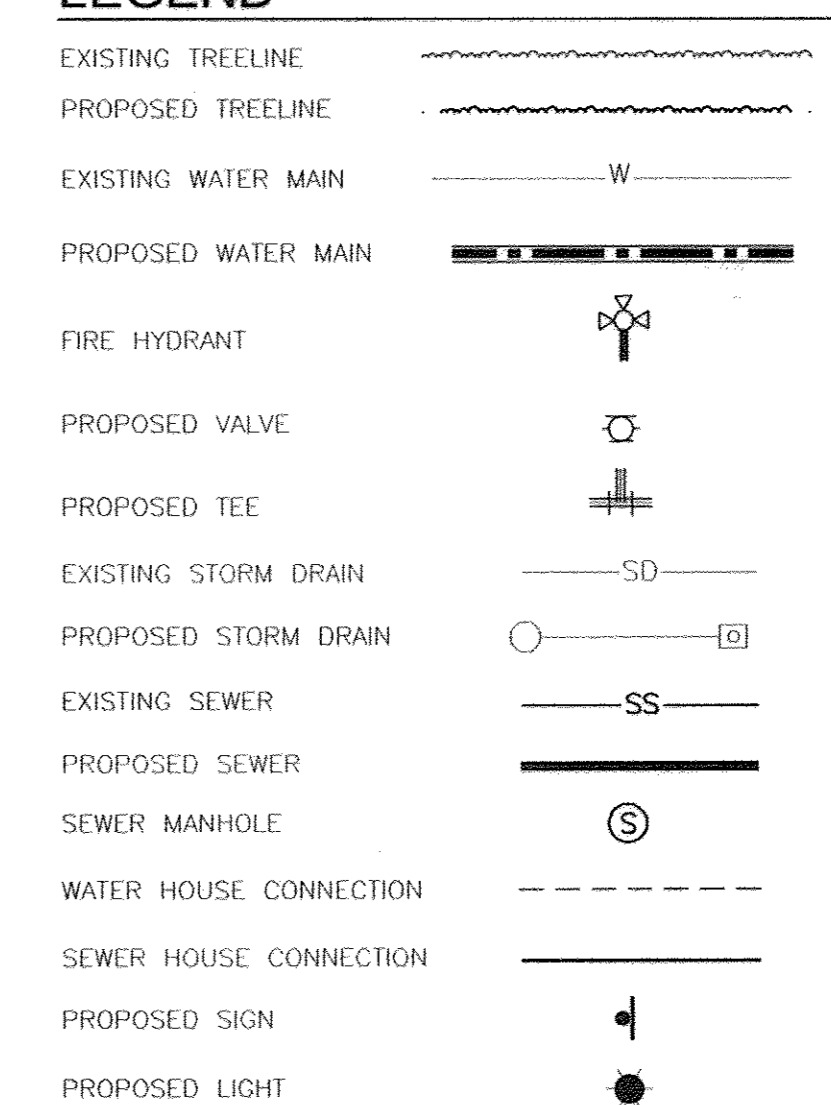


WATER ZONE: 550  
TEST GRADIENT: 700

**LOCATION MAP**  
SCALE: 1"=600'

TYPE OF BUILDING :	SINGLE FAMILY HOME
NO. OF LOTS/PARCELS :	13
NO. OF SINGLE WATER HOUSE CONNECTIONS :	43
NO. OF SEWER HOUSE CONNECTIONS :	43
DRAINAGE AREA :	PATAPSCO RIVER
TREATMENT PLANT :	DEEP RUN

**LEGEND**



**VICINITY MAP**

SCALE: 1"=2,000'  
ADC COORDINATE= PAGE 4937 E6+F6

**BENCHMARKS**

NO.	NORTHING	EASTING	ELEVATION
38AA	561,158.819	1,389,726.332	720.05'
38BA	562,553.315	1,390,967.862	166.18'

38AA - CONCRETE MONUMENT LOCATED NORTH OF THE INTERSECTION OF MONTGOMERY RD. AND U.S. ROUTE 1, 3.2' FROM THE NORTH BOUND LANE OF U.S. ROUTE 1.  
38BA - CONCRETE MONUMENT LOCATED 0.3 MILES NORTH OF THE INTERSECTION OF MONTGOMERY RD. AND U.S. ROUTE 1, 9.5' FROM THE SOUTH BOUND LANE OF U.S. ROUTE 1.

**QUANTITIES**

NAME OF UTILITY CONTRACTOR :		SURVEY AND DRAFTING DIVISION AS-BUILT DATE :	
ITEMS	QUANTITIES ESTIMATED	AS-BUILT	
		QUANTITIES	TYPE MANUFACTURER/SUPPLIER
8" W C-900 (DR-18)	2,212 LF	2,220	C-900 NORTH AMERICAN PIPE/FERGUSON
FIRE HYDRANT	4 EA.	5 EA.	A-423 MUELLER CO./FERGUSON
8"x6" FIRE HYDRANT TEE & VALVE	4 EA.	5 EA.	TYLER UNION FOUNDRY / VALVE MUELLER CO.
8" VALVE	4 EA.	4.0	A-236023 MUELLER CO.
8" CAP & BUTTRESS	1 EA.	1.0	C-900 MULTI FITTINGS
1/8 HB 45°	3 EA.	2	C-900 MULTI FITTINGS
1/16 HB 22 1/2	10 EA.	9	C-900 MULTI FITTINGS
1/32 HB 11 1/4	1 EA.	2	C-900 MULTI FITTINGS
8" HORIZONTAL COUPLING	5 EA.		
8" 5" HORIZONTAL SWEEP	3 EA.		
1/32 VB	1 EA.		
8" VERTICAL COUPLING (HD)	5 EA.	14	CERTAIN TEES
8" 5" VERTICAL SWEEP	2 EA.		
8" S PVC (SDR 35 AND C-900)	2,096 LF	2,100	NORTH AMERICAN PIPE
SEWER MANHOLES	15 EA.	15	
1" WHC	1,121 LF	1,150	K MUELLER CO.
4" SHC SDR C-900	1,018 LF	1050	NORTH AMERICAN PIPE
1.5" WHC	29 LF		

**PROPERTIES WITH WELL AND SEPTIC**

ADDRESS	EXISTING SEPTIC	EXISTING WELL
6085 LAWYERS HILL ROAD	TO BE REMOVED	TO BE REMOVED
6071 LAWYERS HILL ROAD	TO BE REMOVED	TO BE REMOVED
6061 LAWYERS HILL ROAD	TO BE REMOVED	TO BE REMOVED
5970 WASHINGTON BOULEVARD	TO BE REMOVED	TO BE REMOVED

**AS-BUILT**

*[Signature]* Date 9/21/17

**OWNER/DEVELOPER**  
TRINITY HOMES AT CYPRESS SPRINGS, LLC  
3675 PARK AVENUE, SUITE 301  
ELLCOTT CITY, MARYLAND 21043  
(410) 480-0023

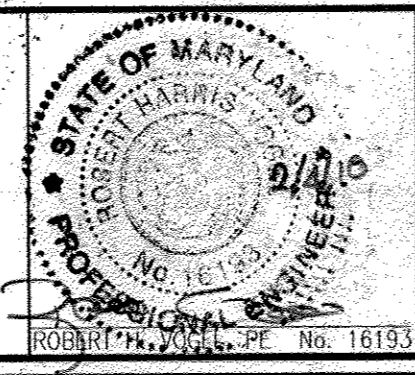
SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 219 OF THE SPECIFICATIONS AND WITH FINAL PLAN F-10-028

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.  
*[Signature]* 3/11/10  
SOIL CONSERVATION DISTRICT DATE

DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND  
*[Signature]* 3/12/10  
CHIEF, BUREAU OF UTILITIES DATE

DEPARTMENT OF PLANNING & ZONING  
HOWARD COUNTY, MARYLAND  
*[Signature]* 3/12/10  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET TEL: 410.461.7666  
ELLCOTT CITY, MD 21043 FAX: 410.461.8961



PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2018

DRN: JMR/KG	DES: RHW	3	ADD WHC AND DETAIL SHC FOR LOTS 48 & 49	3/24/16
CHK: RHW		2	AS-BUILT	11/5/12
DATE: JANUARY 2010		1	REVISE TO DEFINE 8" PVC AS SDR 35 AND C900	10/18/11

**FINAL WATER & SEWER PLAN COVER SHEET**

600' SCALE MAP NO. 38 BLOCK NO. 3

**CYPRESS SPRINGS - PHASE 1**  
LOTS 1-13 AND OPEN SPACE LOTS 14-17 AND NON-BUILDABLE BULK PARCELS A-D  
CONTRACT NO. 14-4648-D

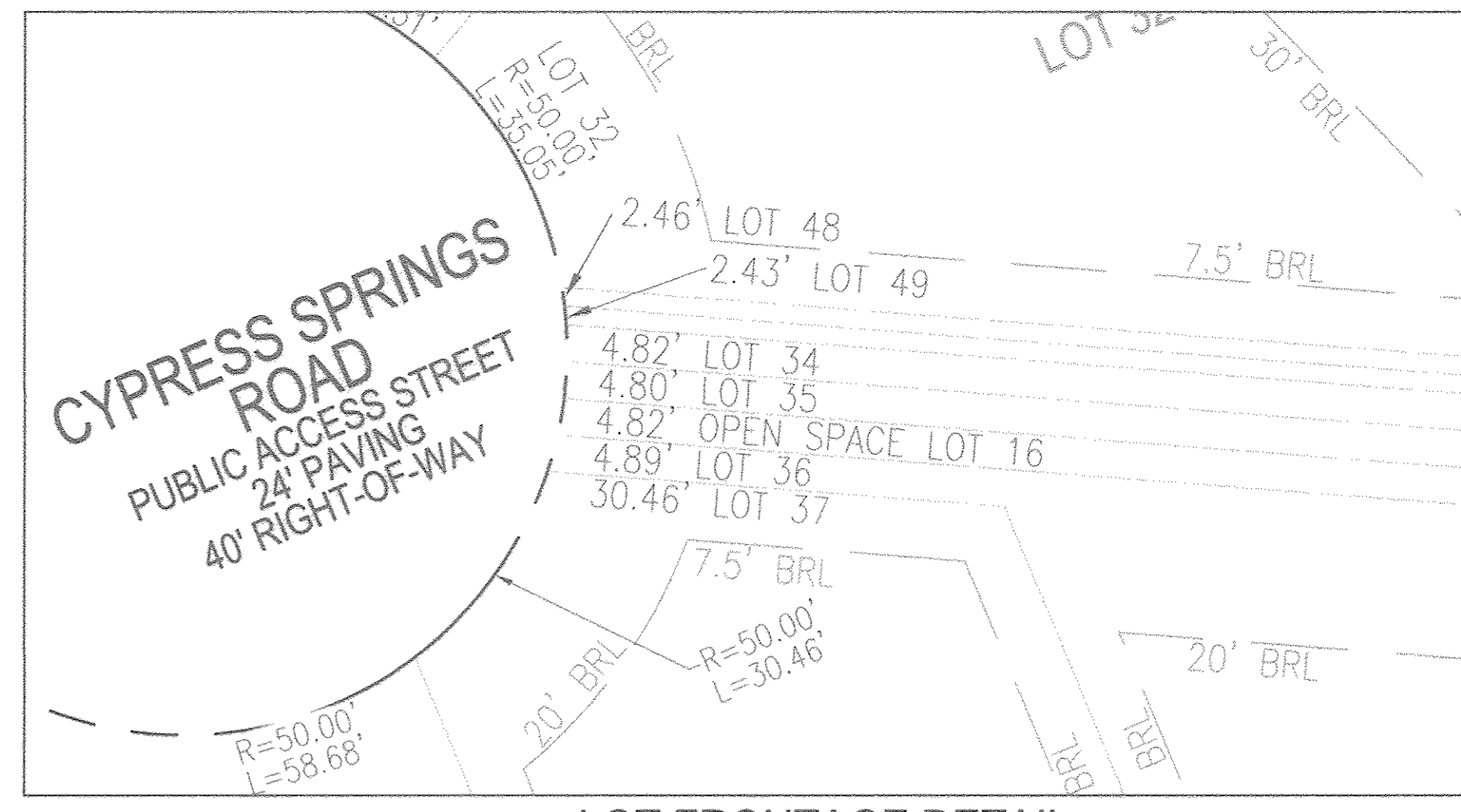
TAX MAP 38 GRID 3  
1ST ELECTION DISTRICT  
DPZ REF: F-1 SP-05-06, PARCELS 42, 44, 45, AND 46  
PB CASE #74, WP-05-38 HOWARD COUNTY, MARYLAND  
ZONED: R-ED

SCALE AS SHOWN  
SHEET 1 OF 7

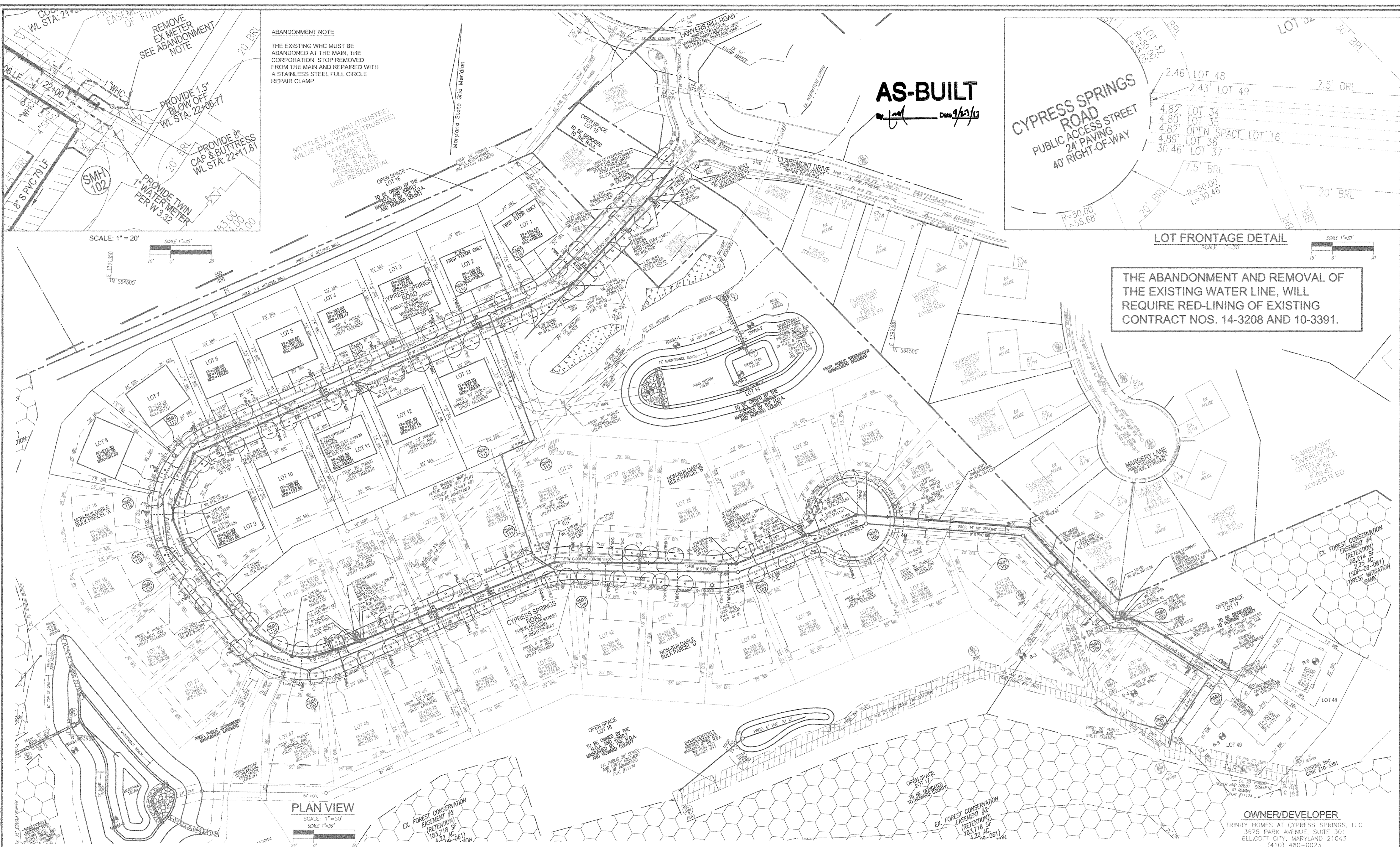
**ABANDONMENT NOTE**  
 THE EXISTING WHC MUST BE ABANDONED AT THE MAIN. THE CORPORATION STOP REMOVED FROM THE MAIN AND REPAIRED WITH A STAINLESS STEEL FULL CIRCLE REPAIR CLAMP.

MYRTLE M. YOUNG (TRUSTEE)  
 WILLIS IRVIN YOUNG (TRUSTEE)  
 L 41186 F 377  
 TAX MAP 32  
 PARCEL 15  
 AREA 8.75 AC.  
 ZONED R-ED  
 USE: RESIDENTIAL

**AS-BUILT**  
 Date 9/23/14



THE ABANDONMENT AND REMOVAL OF THE EXISTING WATER LINE, WILL REQUIRE RED-LINING OF EXISTING CONTRACT NOS. 14-3208 AND 10-3391.



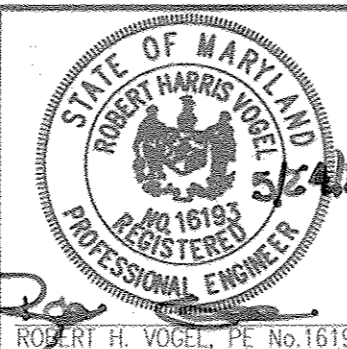
**PLAN VIEW**  
 SCALE: 1"=50'  
 SCALE 1"=50'

**LOT FRONTAGE DETAIL**  
 SCALE: 1"=30'  
 SCALE 1"=30'

DEPARTMENT OF PUBLIC WORKS  
 HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING  
 HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961



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NO.	REVISION	DATE
2	ADD WHC AND DETAIL SHC FOR LOTS 48 & 49, F14-127	06/12/2016
1	AS-BUILT	11/5/2012

**FINAL WATER & SEWER PLAN PLAN VIEW**

**CYPRESS SPRINGS - PHASE 1**  
 LOTS 1-13 AND OPEN SPACE LOTS 14-17 AND NON-BUILDABLE BULK PARCELS A-D  
 CONTRACT NO. 14-4648-D

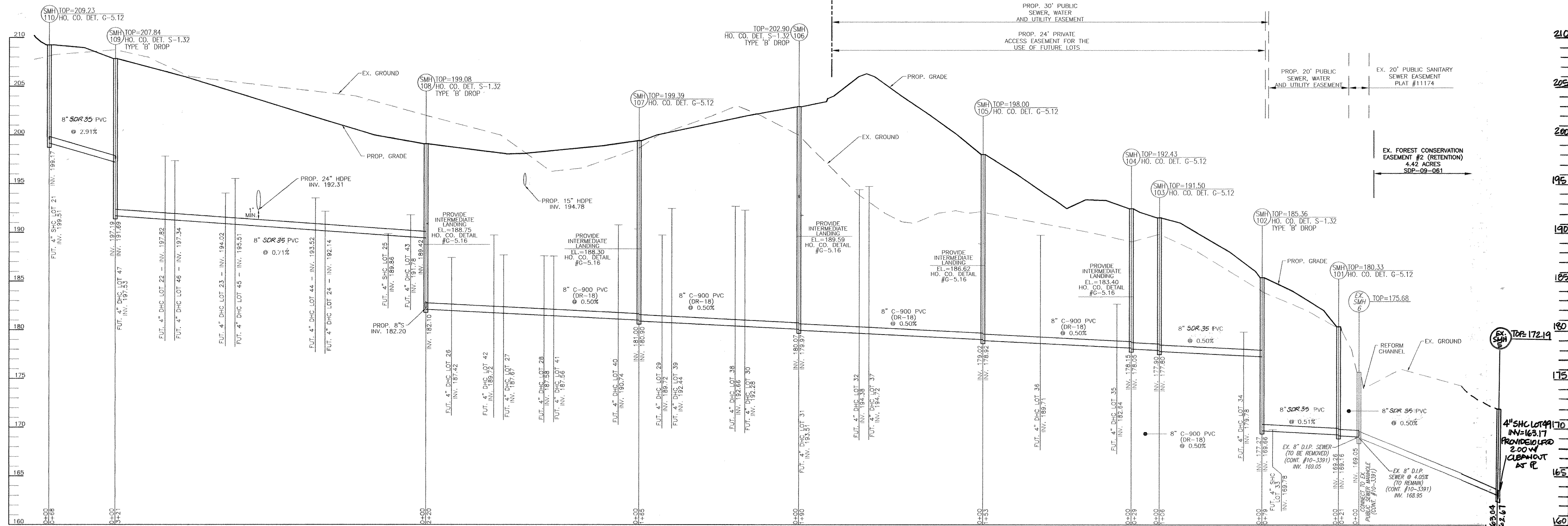
TAX MAP 38, GRID 3  
 1ST ELECTION DISTRICT  
 DPZ REF: F- SP-05-06, PARCELS 42, 44, 45, AND 46  
 PB CASE 374, WP-05-38 HOWARD COUNTY, MARYLAND  
 ZONED: R-ED

SCALE AS SHOWN  
 SHEET 2 OF 7

DATE 7/5/16  
 CHIEF, BUREAU OF UTILITIES  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



CYPRESS SPRINGS ROAD  
PUBLIC ACCESS STREET  
24' PAVING  
40' RIGHT-OF-WAY



**PUBLIC SEWER PROFILE**  
SCALE: 1"=50' HORIZ.  
1"=5' VERT.

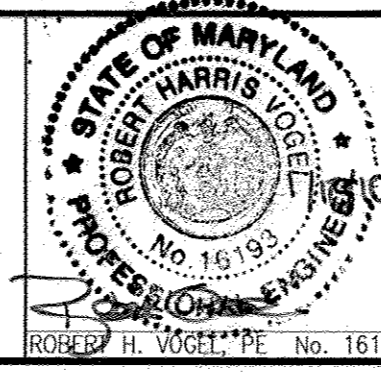
**AS-BUILT**  
By *JM* Date *9/27/17*

**DEVELOPER**  
TRINITY HOMES AT CYPRESS SPRINGS, LLC  
3675 PARK AVENUE, SUITE 301  
ELLCOTT CITY, MARYLAND 21043  
(410) 480-0023

DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND  
*John C. Lane* 2/26/10  
CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING & ZONING  
HOWARD COUNTY, MARYLAND  
*Michael J. ...* 3/12/10  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

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NO.	REVISION	DATE
3	ADD NHC AND DETAIL SHC FOR LOTS 48 & 49	8/24/16
1	REVISE TO DEFINE 8" PVC AS SCR 35 AND C90	10/10/11

**FINAL WATER & SEWER PLAN PROFILE VIEW**  
600' SCALE MAP NO. 38  
BLOCK NO. 3

**CYPRESS SPRINGS - PHASE 1**  
LOTS 1-13 AND OPEN SPACE LOTS 14-17 AND NON-BUILDABLE BULK PARCELS A-D  
CONTRACT NO. 14-4648-D  
TAX MAP 38 GRID 3  
1ST ELECTION DISTRICT  
DPZ REF: 1- SP-05-06, PARCELS 42, 44, 45, AND 46  
PB CASE 374, WP-05-38 HOWARD COUNTY, MARYLAND  
ZONED: R-ED

SCALE AS SHOWN  
SHEET 4 OF 7

CYPRESS SPRINGS ROAD  
PUBLIC ACCESS STREET  
24' PAVING  
40' RIGHT-OF-WAY

R/W

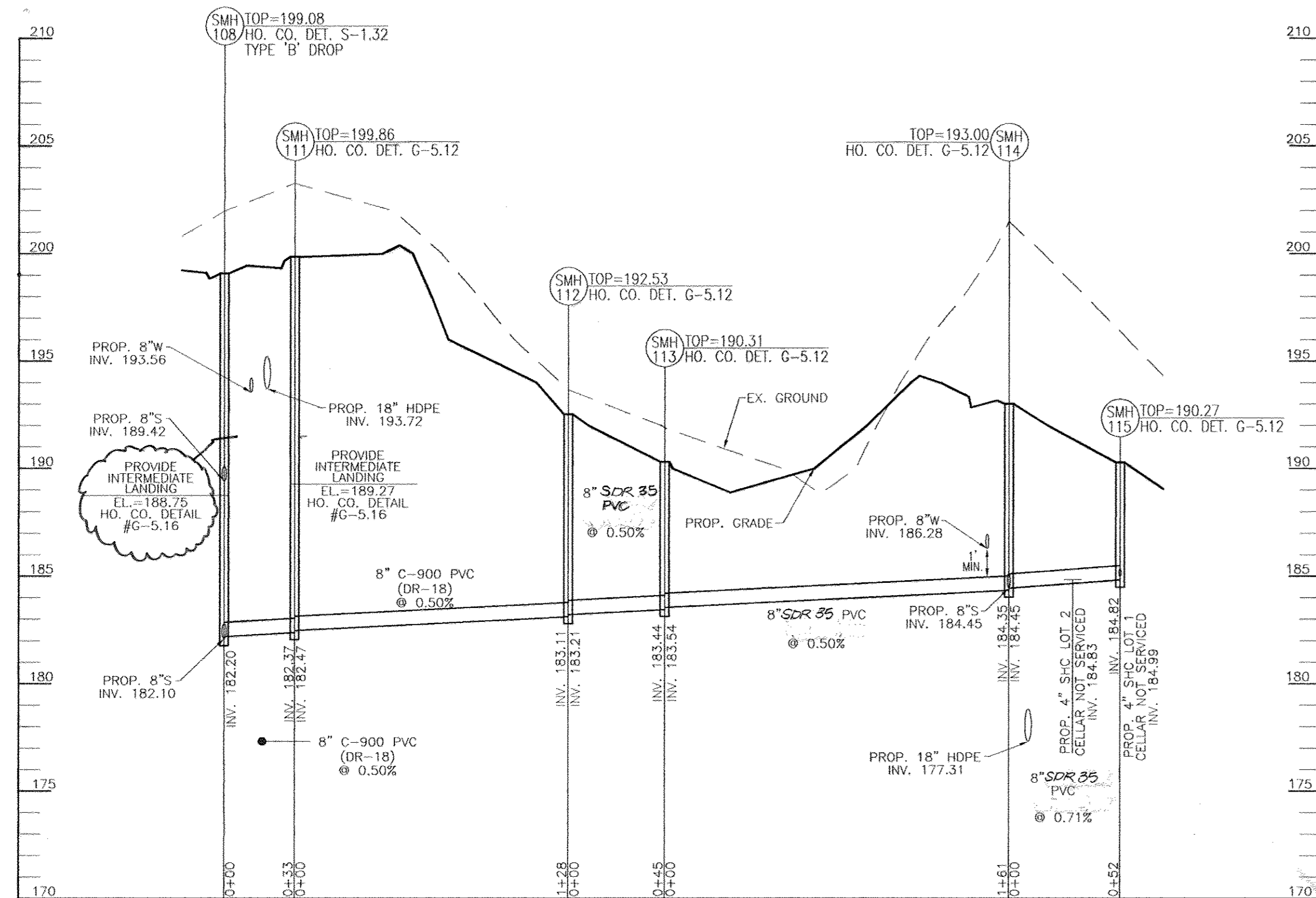
PROP. 20' PUBLIC DRAINAGE AND UTILITY EASEMENT

PROP. 30' PUBLIC DRAINAGE AND UTILITY EASEMENT

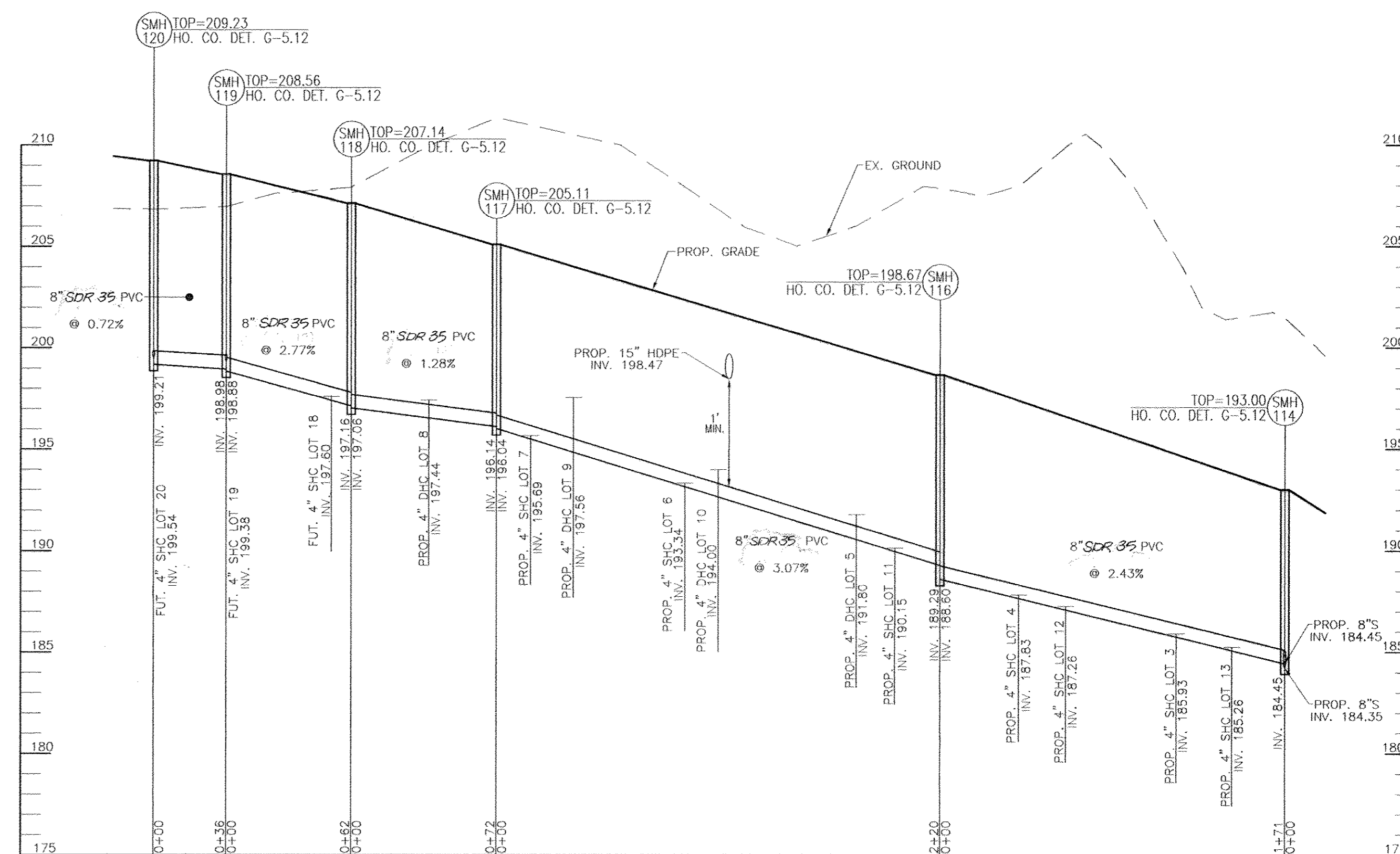
R/W

CYPRESS SPRINGS ROAD  
PUBLIC ACCESS STREET  
24' PAVING  
40' RIGHT-OF-WAY

CYPRESS SPRINGS ROAD  
PUBLIC ACCESS STREET  
24' PAVING  
40' RIGHT-OF-WAY



**PUBLIC SEWER PROFILE**  
SCALE: 1"=50' HORIZ.  
1"=5' VERT.



**PUBLIC SEWER PROFILE**  
SCALE: 1"=50' HORIZ.  
1"=5' VERT.

**AS-BUILT**

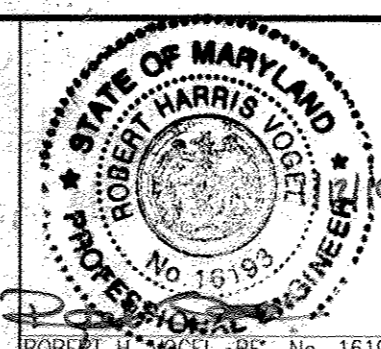
*[Signature]* 9/27/17

**DEVELOPER**  
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DRN: JMR/KG	DES: RHV		
CHK: RHV		2 AS-BUILT	11/5/12
DATE: JANUARY 2010		1 REVISE TO DEFINE 8" PVC AS SDR35 AND C900	10/16/11
NO.	REVISION	DATE	

**FINAL WATER & SEWER PLAN PROFILE VIEW**

**CYPRESS SPRINGS - PHASE 1**  
LOTS 1-13 AND OPEN SPACE LOTS 14-17 AND NON-BUILDABLE BULK PARCELS A-D  
CONTRACT NO. 14-4648-D

TAX MAP 38, GRID 3  
1ST ELECTION DISTRICT  
DPZ REF: F- SP-05-06,  
PB CASE 374, WP-05-38

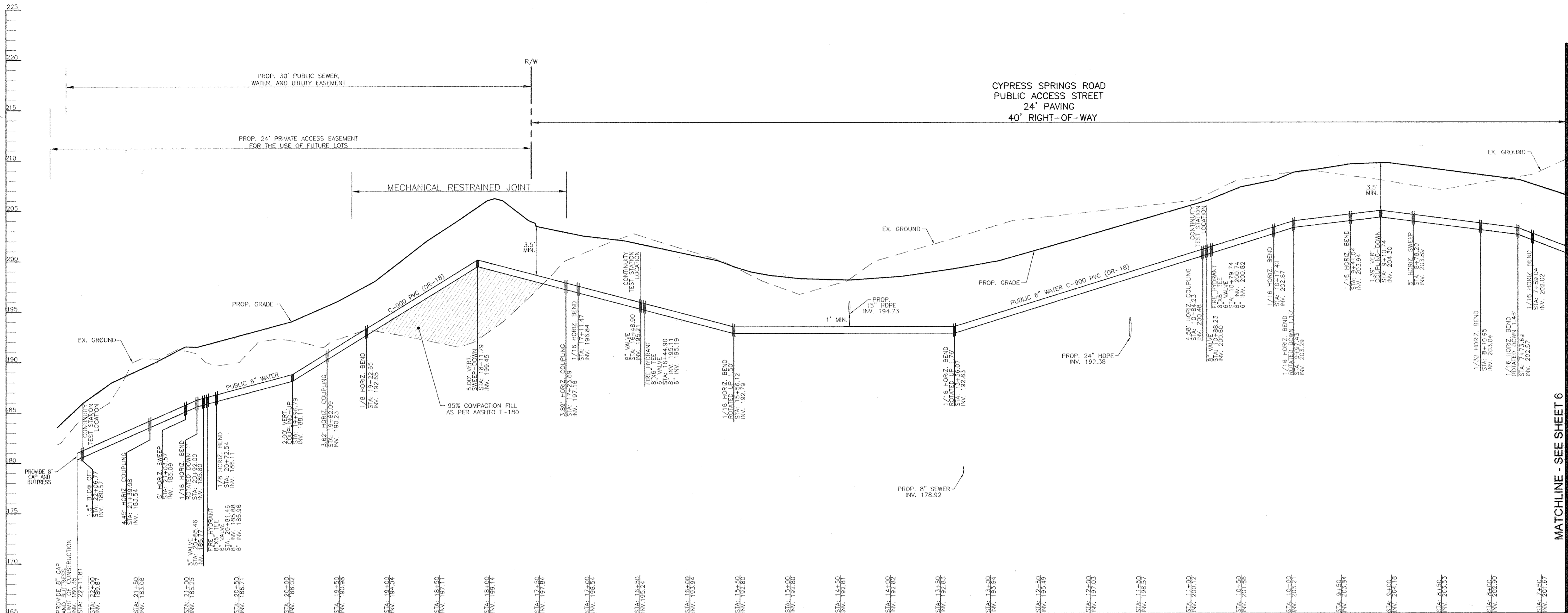
PARCES 42, 44, 45, AND 46  
HOWARD COUNTY, MARYLAND  
ZONED: R-ED

SCALE AS SHOWN  
SHEET 5 OF 7

*[Signature]* zkl  
CHIEF, BUREAU OF UTILITIES DATE

*[Signature]* 3/12/10  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE





**PUBLIC WATER PROFILE**  
 SCALE: 1"=50' HORIZ.  
 1"=5' VERT.

MATCHLINE - SEE SHEET 6

**AS-BUILT**

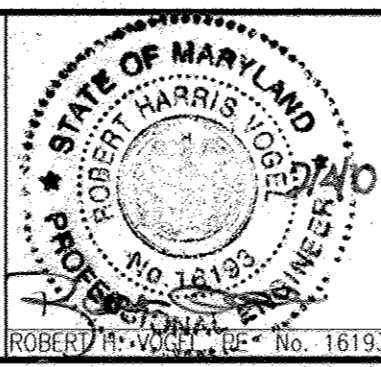
By *[Signature]* Date *3/2/10*

**OWNER/DEVELOPER**  
 TRINITY HOMES AT CYPRESS SPRINGS, LLC  
 3675 PARK AVENUE, SUITE 301  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 480-0023

DEPARTMENT OF PUBLIC WORKS  
 HOWARD COUNTY, MARYLAND  
*Shane C. [Signature]*  
 CHIEF, BUREAU OF UTILITIES

DEPARTMENT OF PLANNING & ZONING  
 HOWARD COUNTY, MARYLAND  
*[Signature]* 3/2/10  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

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 EXPIRATION DATE: 09-27-2010

DRN: JMR/KG	DES: RHV
CHK: RHV	
DATE: JANUARY 2010	
NO.	REVISION
	DATE

**FINAL WATER & SEWER PLAN PROFILE VIEW**

**CYPRESS SPRINGS - PHASE 1**  
 LOTS 1-13 AND OPEN SPACE LOTS 14-17  
 AND NON-BUILDABLE BULK PARCELS A-D  
**CONTRACT NO. 14-4648-D**

TAX MAP 38, GRID 3  
 1ST ELECTION DISTRICT  
 BRZ REF: F- SP-05-06,  
 PB CASE 374, WP-05-38

PARCELS 42, 44, 45, AND 46  
 HOWARD COUNTY, MARYLAND  
 ZONED: R-ED

SCALE AS SHOWN  
 SHEET 7 OF 7