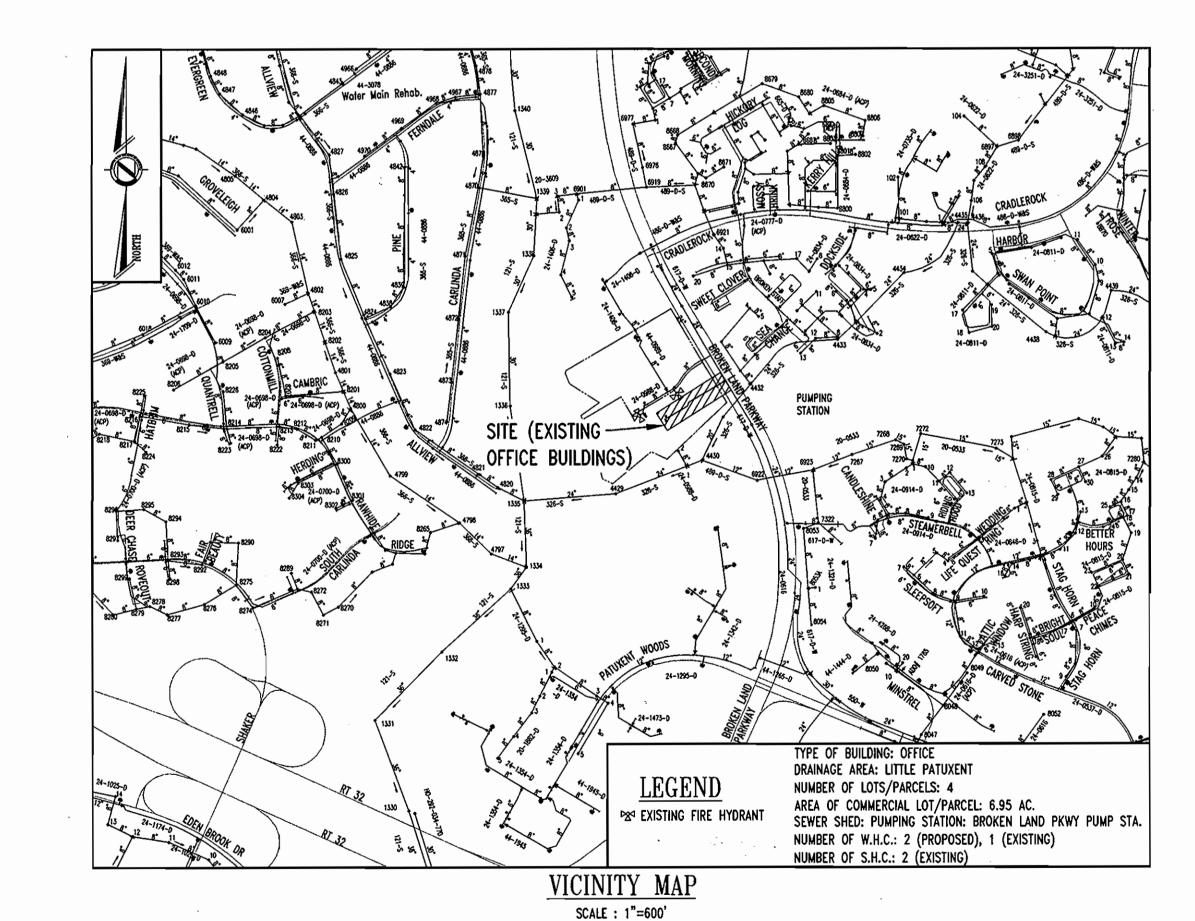
SHEET INDEX TITLE SHEET PUBLIC WATER AND SEWER PLAN AND PROFILES

COLUMBIA VIILAGE OF OWEN BROWN

THE GOLDSTAR REAL ESTATE GROUP SECTION 3, AREA 1

TAX MAP 42, GRID 3, PARCEL 392, HOWARD COUNTY, MARYLAND CONTRACT NUMBER 44-4605-D





E 1,354,677.928

E 1,355,639.427

ITEMS

4" D.I.P. WATER

8" D.I.P. WATER

4" VALVE

8" VALVE

2" PLUG

4" PLUG

8" CAP & BUTTRESS

24" TAPPING SLEEVE

NAME OF UTILITY CONTRACTOR

Sediment control measures for this contract

will be implemented in accordance with Section

THIS PLAN IS APPROVED FOR SOIL EROSION AND

CHIEF, BUREAU OF UTILITIES

SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION

8"x8"x4" TEE

GEODETIC SURVEY CONTROL #36HB N 552,978,341

ELEV. = 313.489HOWARD COUNTY ALUMINIUM DISK SET ON A CONCRETE MONUMENT ON BROKEN LAND PARKWAY (SBL) AND CRADLEROCK ROAD (S).

GEODETIC SURVEY CONTROL #42BB N 551,394,116

ELEV. = 305.739HOWARD COUNTY ALUMINUM DISK SET ON A CONCRETE MONUMENT ON BROKEN LAND PARKWAY (NBL) NEAR LAKE ELKHORN.

GENERAL NOTES

- 1. APPROXIMATE LOCATIONS OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- 2. THE TOPOGRAPHY SHOWN IS BASED ON A SURVEY BY BOHLER ENGINEERING, P.C. ENTITLED "PARTIAL BOUNDARY AND TOPOGRAPHICAL SURVEY, CBRE, PARCEL A-4, COLUMBIA VILLAGE OF OWEN BROWN, PLAT NUMBER 5201. COLUMBIA. 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND 21046" DATED 09/30/08.
- 3. HORIZONTAL AND VERTICAL SURVEY CONTROLS:
 - THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD '83/'91 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 42BB AND NO. 36HB. ALL VERTICAL CONTROLS ARE
- 4. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED ON THE PLANS.
- 5. CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 5'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON THE DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES, ANY COST INCURRED BY THE OWNER FOR THE BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED TO THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
- 6. FOR DETAILS NOT SHOWN ON THE DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
- 7. WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES. THEY ARE NOTED BY THE SYMBOL 🏕 AT THE LOCATIONS OF THE TEST PITS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS AT HIS OWN EXPENSE.
- 8. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:

800-252-1133 BGE (CONSTRUCTION SERVICES) 410-850-4620 BGE (UNDERGROUND DAMAGE CONTROL) 410-787-9068 410-313-4900 BUREAU OF UTILITIES 410-795-1390 COLONIAL PIPELINE COMPANY MISS UTILITY 800-257-7777 STATE HIGHWAY ADMINISTRATION 410-531-5533 410-224-9210

- 9. TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
- 10. THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
- 11. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT 410-313-7450 AT LEAST FIVE WORKING DAYS BEFORE OPEN CUTTING OR BORING/JACKING OF ANY COUNTY ROAD FOR LAYING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.114(A) OF THE HOWARD COUNTY CODE.

WATER NOTES

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- 1. ALL WATER MAINS SHALL BE D.I.P. CLASS 54 UNLESS OTHERWISE NOTED.
- 2. TOPS OF ALL WATER MAINS SHALL HAVE A MINIMUM OF 3'-6" OF COVER UNLESS OTHERWISE NOTED.
- 3. VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
- 4. ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH THE STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
- 5. FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS. THE SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND 1005 OF THE STANDARD SPECIFICATIONS.
- 6. THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
- 7. ALL WATER HOUSE CONNECTIONS SHALL BE FOR INSIDE METER SETTING UNLESS OTHERWISE NOTED ON PLANS OR IN SPECIFICATIONS.

PROFESSIONAL CERTIFICATION

JOSEPH J. UCCIFERRO, HEREBY CERTIFY THAT THESE DOCUMENTS WER PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36064, EXPIRATION DATE: 6/26/10

or 1-800-257-7777 PROTECT YOURSELF, GIVE TWO
WORKING DAYS NOTICE THE CONTRACTOR TO CALL MISS UTILITY T HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

MISS UTILITY

811 IN MD

DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND

219 of the Specifications and as shown on some as July 5 Level 3

QUANTITIES

QUANTITIES

QUANTITIES

ESTIMATED

10 LF

294 LF

2 EA

1 EA

2 EA

2 EA

1 EA

2 EA

1 EA

AS-BUILT

CHECKBOX

AS-BUILT DATE

SURVEY AND DRAFTING DIVISION

OWNER/DEVELOPER

COLUMBIA LAKEVIEW REAL ESTATE LLC

C/O THE GOLDSTAR REAL ESTATE GROUP

4630 MONTGOMERY AVE, SUITE 500

BETHESDA, MD 20814

CONTACT: COLLEEN MONT

PHONE: 301-657-8848

MANUFACTURER /

SUPPLIER

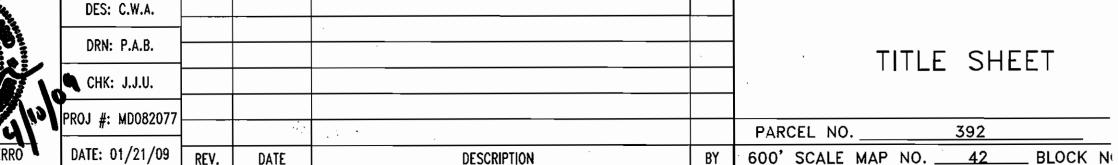
DEPARTMENT OF PLANNING & ZONING HOWARD COUNT, MARYLAND

CHIEF, DEVELOPMENT ENGINEERING DIVISION A

CIVIL & CONSULTING ENGINEERS ♦ WARREN, NJ ♦ SOUTHBOROUGH, MA STERLING, VA SURVEYORS PROJECT MANAGERS BOWIE, MD ◆ ALBANY, NY ◆ TOWSON, MD **ENVIRONMENTAL ENGINEERS** PURCHASE, NY ♦ WARRENTON, VA LANDSCAPE ARCHITECTS ♠ RONKONKOMA, NY



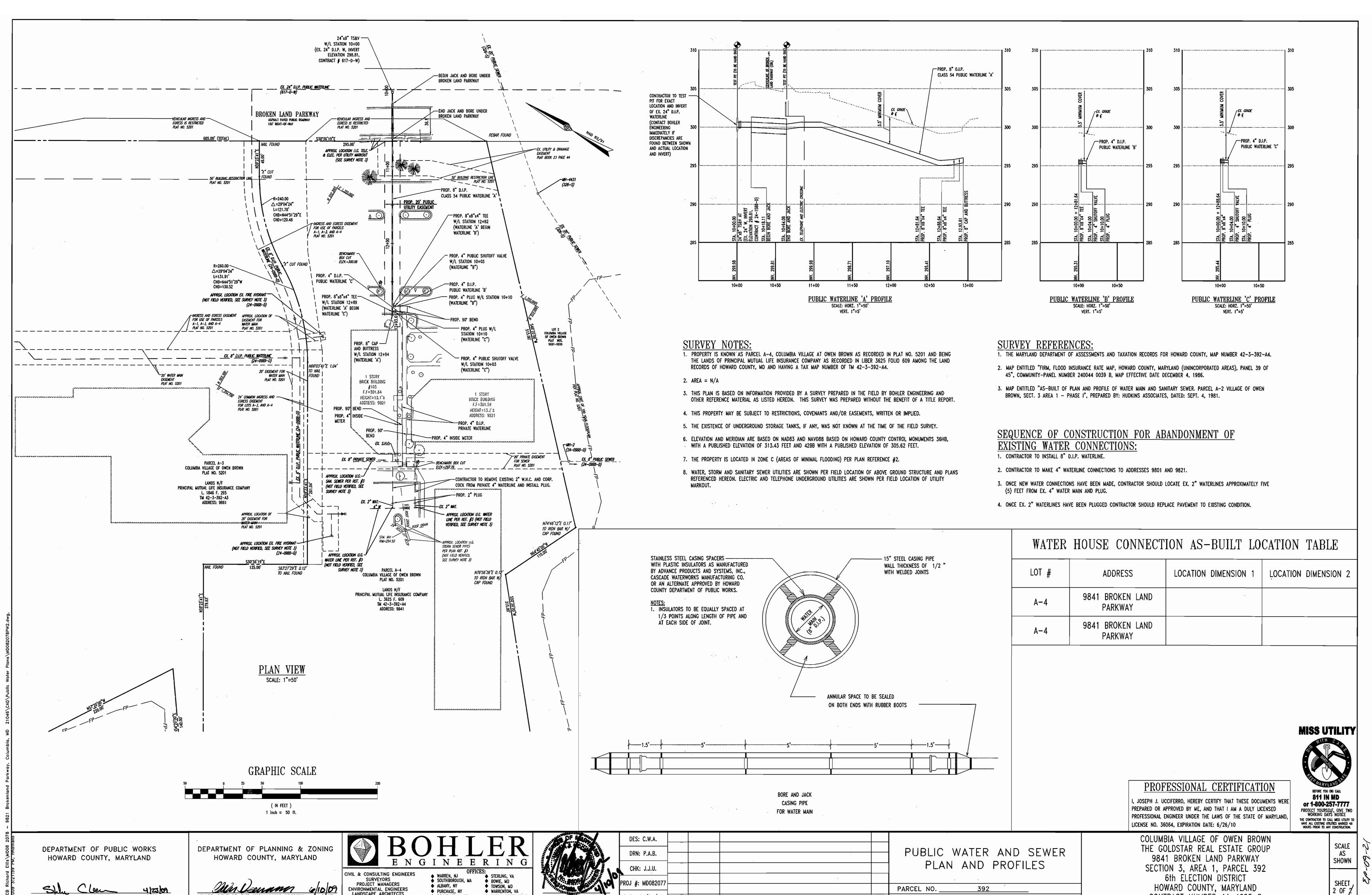




COLUMBIA VILLAGE OF OWEN BROWN THE GOLDSTAR REAL ESTATE GROUP 9841 BROKEN LAND PARKWAY SECTION 3, AREA 1, PARCEL 392 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND CONTRACT NUMBER 44-4605-D

SCALE SHOWN

SHEET



DATE: 01/21/09 | REV. | DATE

♠ ALBANY, NY

PURCHASE, NY

♦ RONKONKOMA, NY

♦ FORT LAUDERDALE, FI

◆ CENTER VALLEY, PA

ENVIRONMENTAL ENGINEERS

LANDSCAPE ARCHITECTS

CHIEF, BUREAU OF UTILITIES

4/23/09

HOWARD COUNTY, MARYLAND

CONTRACT NUMBER 44-4605-D

PARCEL NO.

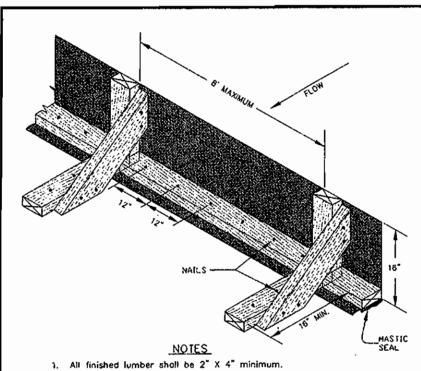
DESCRIPTION

392

BY 600' SCALE MAP NO. 42 BLOCK NO. 3

SEQUENCE OF CONSTRUCTION

- 1. NOTIFY HOWARD COUNTY'S SEDIMENT CONTROL INSPECTOR AT 410-313-1855 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. (2 DAYS)
- 2. DO NOT COMMENCE ANY LAND DISTURBING ACTIVITIES PRIOR TO OBTAINING A GRADING PERMIT. (1 DAY)
- 3. THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER AND THE HOWARD COUNTY EROSION AND SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES. (1 DAY)
- 4. CLEARLY MARK LIMITS OF DISTURBANCE IN THE FIELD PRIOR TO CONSTRUCTION, PERMANENTLY OR TEMPORARILY STABLIZE DISTURBED AREAS ON SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED WITHIN: (1 DAY)
- A. SEVEN CALENDAR DAYS ON SLOPES GREATER THAN 3:1, ALL WATERWAYS AND TO THE SURFACE OF ALL PERIMETER CONTROLS.
- B. FOURTEEN CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS OF THE PROJECT.
- 5. INSTALL SILT FENCE AND STRAW BALES. (1 DAY)
- 6. ONCE THE SEDIMENT CONTROL DEVICES ARE INSTALLED, THE PERMITEE MUST OBTAIN WRITTEN APPROVAL FROM THE INSPECTOR BEFORE PROCEEDING WITH ANY ADDITIONAL CLEARING, GRUBBING, OR GRADING. (3 DAYS)
- 7. WITH APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, INSTALL WATER MAIN. (7 DAYS)
- 8. FINE GRADE ALL DISTURBED AREAS AND STABILIZE SITE. (2 DAYS)
- 9. INSTALL AGGREGATE BASE AND PAVEMENT BASE COURSE AND STABILIZE ALL DISTURBED AREAS AS NECESSARY. (2 DAYS)
- 10. INSTALL SURFACE PAVING. (1 DAY)
- 11. STABILIZE ALL ADDITIONAL DISTURBED AREAS AS REQUIRED AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES. (2 DAYS)



2. A mostic seal shall be provided, as shown, to prevent

- 3. Sit fence shall be tout and securely stopled to face of
- Application design and materials criteria shall be as stated

DETAIL 22 - SILT FENCE

in the Maryland Standards and Specifications for Soil SILT FENCE INSTALLATION ON ASPHALT PAVEMENT SCALE: NONE

36" MINIMUM FENCE-PERSPECTIVE VIEW CROSS SECTION

STAPLE

CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

LANDSCAPE ARCHITECTS

ENVIRONMENTAL ENGINEERS

Yood posts shall be 11/2" x 11/2" square (minimum) cut, or 13/4" diamete) round and shall be of sound quality hardwood. Steel posts will be

STANDARD SYMBOL

_---- SF -----

ALBANY, NY

◆ PURCHASE, NY

♠ RONKONKOMA, NY

4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

♦ BOWIE, MD

♦ TOWSON, MD

♦ WARRENTON, VA

FORT LAUDERDALE,

CENTER VALLEY, PA

DATE: 05/27/09

TOPSOIL CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH

MARYLAND AGRICULTURAL EXPERIMENTAL STATION. I. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET

i. TOPSOIL SHALL BE LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2' IN

> II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

iii. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS PER ACRE (200-400 LBS./1000 SQ. FT.) PRIOR TO PLACEMENT OF TOPSOIL. LIME SHALL BE DISTURBED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 -VEGETATIVE STABILIZATION METHODS AND MATERIALS. IV. TOPSOIL APPLICATION

i. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS

STANDARD AND SPECIFICATIONS FOR

VEGETATIVE STABILIZATION WITH SOD

1. CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE

2. SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4

MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND

3. STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO

SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SHAPE WHEN SUSPENDED

VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE

4. INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIERS WIDTH

AND LENGTHS SHALL BE 5 PERCENT. BROKEN PADS AND TORN OR

5. SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE

6. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD

FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL

FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE

A. PRIOR TO SODDING, THE SURFACE SHALLBE CLEARED OF ALL TRASH,

DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER

OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR

B. WHERE THE SOIL IS ACID OR COMPOSED OF HEAVY CLAYS. GROUND

LIMESTONE SHALL BE SPREAD AT THE RATE OF 2 TONS PER ACRE

(100 LBS./1000 SQ. FT.) IN ALL SOILS 1,000 POUNDS PER ACRE

OR 25 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 FERTILIZER

OR EQUIVALENT SHALL BE UNIFORMLY APPLIED AND MIXED INTO THE

C. ALL AREAS RECEIVING SOD SHALL BE UNIFORMLY FINE GRADED. HARD

PACKED EARTH SHALL BE SCARIFIED PRIOR TO PLACEMENT OF SOD.

SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING

B. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH

EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE

MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOD IS NOT

LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH

). AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA

SHALL BE ROLLED OR TAMPED TO INSURE SOLID CONTACT OF ROOTS

OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL

A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE

MAINTAIN ADEQUATE MOISTURE AND INSURE ESTABLISHMENT.

SHALL BE WAINTAINED BETWEEN 2 AND 3 INCHES UNLESS

PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST

WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A

B. AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO

C. FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL SOD IS FIRMLY

BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS, GRASS HEIGHT

. MAINTENANCE OF ESTABLISHED SOD SHOULD FOLLOW SPECIFICATIONS

ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF SHALL BE REMOVED

WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER

STAGGERED JOINTS, SECURE THE SOD BY TAMPING AND PEGGING OR

ORDER TO PREVENT VOIDS WHICH COULD CAUSE AIR DRYING OF

TOP 3 INCHES OF SOIL WITH THE REQUIRED LIME.

A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE THE

TEST. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME

OF 36 HOURS, SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE

CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT

INSPECTED AND APPROVED PRIOR TO INSTALLATION.

APPLIED IN AMOUNTS SHOWN UNDER B. BELOW.

MAINTENANCE OPERATIONS.

OTHER APPROVED METHODS

SOD MAINTENANCE:

BE COMPLETED WITHIN EIGHT HOURS.

THE DAY TO PREVENT WILTING.

OUTLINED IN TABLE 54-1.

UNEVEN ENDS WILL NOT BE ACCEPTABLE.

SITE PREPARATION:

SOD INSTALLATION

CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD.

INCH PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING.

i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS

ii. GRADES ON THE AREAS TO BE TOPSOILED. WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.

iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

V. THESE TOPSOIL SPECIFICATIONS HAVE BEEN EDITED FROM THE 1994 EROSION AND SEDIMENT CONTROL STANDARDS TO FIT THIS PROJECT. IT IS STILL THE INTENTION TO FOLLOW THE REFERENCED 1994 EROSION AND SEDIMENT CONTROLS STANDARDS IN THEIR ENTIRETY.

UTILTIY CONTACTS

BUREAU OF UTILITIES 410-313-4900

MISS UTILITY 800-257-7777

VERIZON 410-224-9210

COLONIAL PIPELINE COMPANY 410-795-1390

BGE (CONSTRUCTION SERVICES) 410-850-4620

STATE HIGHWAY ADMINISTRATION 410-531-5533

BGF (UNDERGROUND DAMAGE CONTROL) 410-787-9068

AT&T 800-252-1133

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

IL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING. APPLY 400 LBS. PER ACRE 30-0-0 AREAFORM FERTILIZER (9 LBS./1000 SQ. FT.)

2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOILS.

SEEDING: FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./100D SO, FT.) OF WEEPING LOVEGRASS, DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS,/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (7D TO 90 LBS./1000 SO. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING, ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FALT AREA. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEOINGS.

TEMPORARY SEEDING NOTES APPLY TO GRADED OR CLEARED AREA LIKELY TO REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING. DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOILS AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)

SEEDING: FOR PERIODS MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 2 1/3 BU. PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SO. FT.). FOR THE PERIOD MAY 1 THROUGH AUGUST 14. SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SC FT.), FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

AULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70-90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING.

STANDARD AND SPECIFICATIONS FOR TOPSOIL

<u>DEFINITION</u>

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATION GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT. LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS

OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

2. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SPECIFIED, TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SET FORTH IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

2. TOPSOIL SPECIFICATIONS— SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

- A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOIL'S AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN
- B. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL, LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING

3. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES.

A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION SECTION I-VEGEATIVE STABILIZATION METHODS AND MATERIALS.

4. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

A. ON SOIL MEETING TOPSOIL SPECIFICATIONS. OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: A.1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 THAN 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO

A.2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.

A.3. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED A.4. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL

B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

5. TOPSOIL APPLICATION

- A. WHEN TOP SOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS. GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS. B. GRADES ON THE AREAS TO BE TOP SOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL
- BE MAINTAINED, ALBEIT 4" 8" HIGHER IN ELEVATION. C. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES
- IN THE RESULTING FROM SURFACE TOP SOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDE TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. D. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE
- 6. ALTERNATIVE FOR PERMANENT SEEDING INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL

DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

- FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS COMMERCIAL BELOW: A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED
- AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS A.1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT
- OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 A.2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS
- A.3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET. B. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTE, REVISED 1973.

STANDARD SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY

HOWARD SOIL CONSERVATION DISTRICT

- CONSTRUCTION. (313-1855)
- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND
- SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL*, AND
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1. CHAPTER 7 OF "HOWARD COUNTY DESIGN MANUAL", STORM DRAINAGE.
- 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CO"TROL" FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN DPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SECHMENT CONTROL INSPECTOR.

7. SITE ANALYSIS:

TOTAL SITE AREA:	6,95 ACRES
AREA DISTURBED:	0.11 ACRES
AREA TO BE ROOFED OR PAVED:	0.08 ACRES
AREA TO BE VEGETATIVELY STABILIZED:	0.03 ACRES
TOTAL CUT:	135 CU. YI
TOTAL FILL:	135 CU. YI
OFFSITE WASTE/BORROW AREA LOCATION:	N/A

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS. BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL INITIAL APPROVAL BY THE INSPECTION AGENCY

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

STANDARDS SEDIMENT CONTROL PLAN NOTES FOR UTILITIES

1. ONLY ENOUGH TRENCH WILL BE EXCAVATED THAT CAN BE BACKFILLED DAILY.

2. EXCAVATED TRENCH MATERIALS SHALL BE PLACED ON THE HIGH SIDE OF THE

IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SIL & BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING JAY.

. FULL TRENCH COMPACTION IS REQUIRED.

5. MULCHING TO HOWARD SCO SPECIFICATIONS OF ALL DISTURBED AREAS AND DAILY

6. SILT FENCE SHALL BE INSTALLED TEMPORARILY IMMEDIATELY DOWNSTREAM OF AN DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE (1)

STAGING AREAS FOR EQUIPMENT AND SUPPLIES SHALL BE PROTECTED WITH SILT

8. ANY SEDIMENT CONTROL PRACTICES WHICH ARE DISTURBED DURING UTILITY CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE END OF EACH WORKING

. ANY DITCHES OR DRAINAGE WAYS DISTURBED DURING CONSTRUCTION WILL BE RESTORED TO ORIGINAL CONDITION. 1D. EARTH QUANTITIES LISTED ON THIS SHEET ARE FOR SEDIMENT CONTROL USE

ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND

TEMPORARY SEEDING SHMMARY

_		1	EMI OIVAIV	I SEEDII	MA DON	IMAIVI		
		SEED M	IXTURE (HARDNESS (FROM TABLE 28			FERTILIZER RATE	LIME DATE	
	NO.	SPECIES	APPLICATION RATE (LBS./AC.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	LIME RATE	
	1	RYE PLUS BARLEY	150	YEAR ROUND	1"	600 LBS./AC.	2 TONS/AC.	
	2	WEEPING LOVEGRASS	4	5/1-8/14	1/4"=1/2"	(15 LB./	(100 LB./	
	3	ANNUAL RYGRASS	50	8/15-11/15	1/4"=1/2"	1,000 S.F.)	1,000 S.F.)	

PERMANENT SEEDING SUMMARY

SEED MIXTURE (HARDNESS ZONE <u>6b</u>) (FROM TABLE 25)				FERTILIZER RATE (10-10-10)			LIME DATE	
NO. SPECIES		RATE (LBS./AC.) SEEDING DA		SEEDING DEPTHS	N	P205	K20	LIME RATE
1	85% TALL FESCUE 10% PER. RYEGRASS 5% KENT. BLUEGRASS	125 15 10	3/1-5/15 5/16-8/14 8/15-11/15					
2	83% TALL FESCUE 2% WEEPING LOVEGRASS 15% SERECIA LESPEDEZA	110 3 20	3/1-5/15 5/16-8/14 8/15-11/15		90 LBS./AC. (2.0 LBS./ 1,000 S.F.)	175 LBS./AC. (4.0 LBS./ 1,000 S.F.)	175 LBS./AC. (4.0 LBS./ 1,000 S.F.)	2 TONS/AC. (100 LBS./ 1,000 S.F.)
3	17% WEEPING LOVEGRASS 83% SERICIA LESPEPEDEZA		3/1-5/15 5/16-8/14					

DESCRIPTION

ENGINEER'S CERTIFICATE "I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE WARD SOIL CONSERVATION DISTRICT." DEVELOPER'S CERTIFICATE "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT." COLUMBIA LAKEVIEW REAL ESTATE, LLC

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

NAME: M. Collee: Mont

BLOCK NO.___3

TITLE: SR. Vice President

392

42

PARCEL NO.

600' SCALE MAP NO.

PROFESSIONAL CERTIFICATION JOSEPH J. UCCIFERRO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE

LICENSE NO. 36064, EXPIRATION DATE: 6/26/10

PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED

BEFORE YOU DIG CALL 811 IN MD or 1-800-257-7777 PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, THE CONTRACTOR TO CALL MISS UTILITY T HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

MISS UTILITY

DES: C.W.A. **EROSION AND SEDIMENT** DRN: P.A.B. CONTROL PLAN CHK: J.J.U. ♦ WARREN, NJ ♦ SOUTHBOROUGH, MA STERLING, VA

DATE

REV.

ROJ #: MD08207

COLUMBIA VILLAGE OF OWEN BROWN THE GOLDSTAR REAL ESTATE GROUP 9841 BROKEN LAND PARKWAY SECTION 3, AREA 1, PARCEL 392 6th ELECTION DISTRIC HOWARD COUNTY, MARYLAND

SCALE AS SHOWN

SHEET 3 OF 3

CONTRACT NUMBER 44-4605-D