

EMERSON ONE

TAX MAP 47 PARCELS 165 & 1051

6th ELECTION DISTRICT

WATER CONSTRUCTION PLANS

Howard County, Maryland Department of Public Works

CONTRACT NO. 44-4506-D



LOCATION MAP

Scale: 1"=2000'
HOWARD COUNTY ADC MAP NUMBER 19, BLOCK .J9

BENCHMARK

DESCRIPTION	
COORDINATES IN MARYLAND NAD83(99) (HORIZONTAL) AND NAD83(99) (VERTICAL) DATUMS:	
4752 NORTHING: 162740.122	4751 NORTHING: 163326.228
EASTING: 418236.978	EASTING: 41836.280
ELEVATION: 364.200	ELEVATION: 336.900

A. STANDARD GENERAL NOTES (CONTINUED)

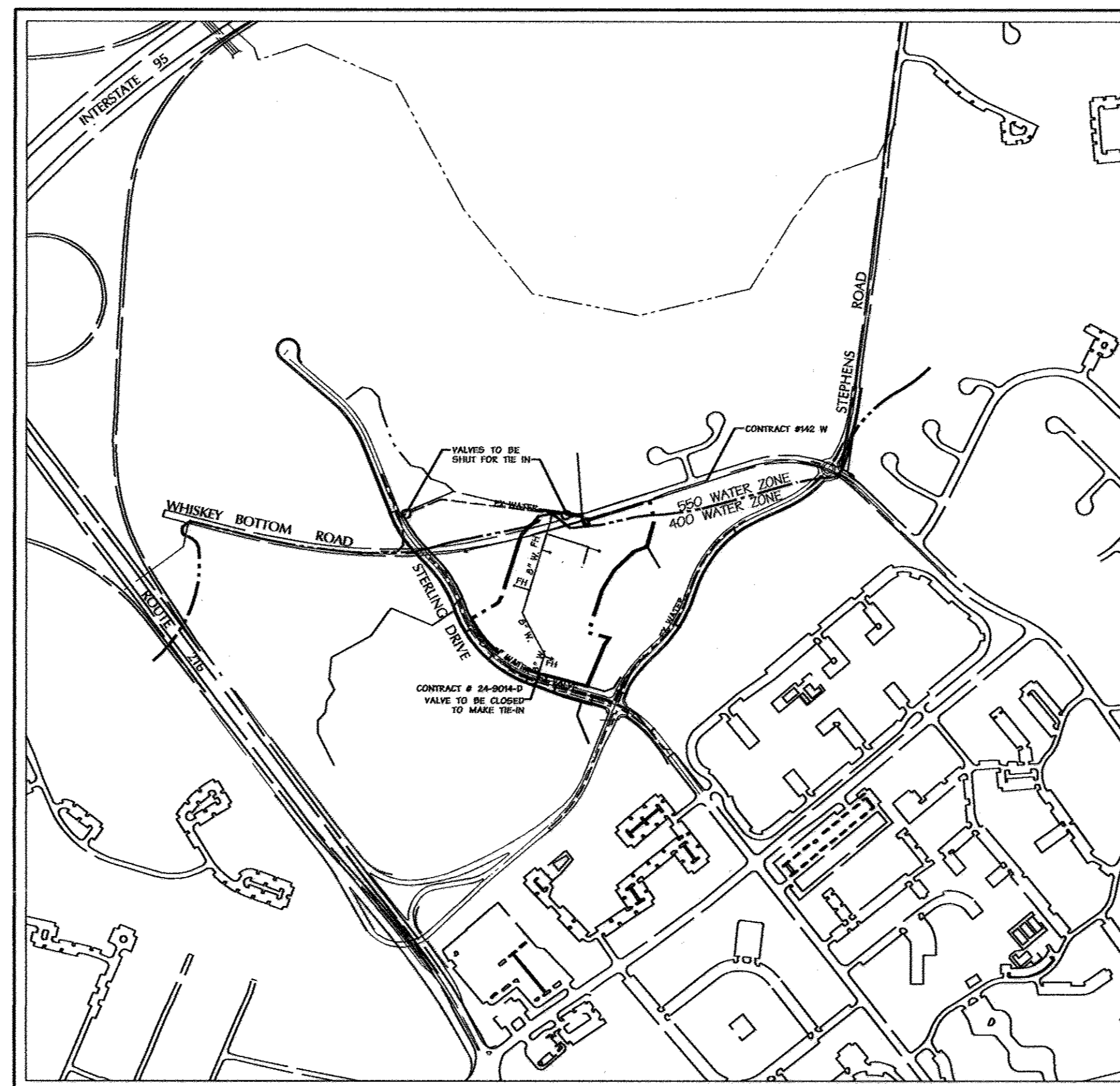
m. A VARIANCE (RESOLUTION NO. 113-2011) PURSUANT TO SECTIONS 16.301 AND 16.200(a) OF THE HOWARD COUNTY CODE WAS GRANTED ON JULY 28, 2011 FOR GOVERNMENT USES FROM THE STRUCTURES AND USE SETBACK FOR A FENCE.

SHEET INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	WATER PLAN
3	WATER PROFILES
3/4	FENCE LAYOUT PLAN

QUANTITIES					
ITEMS	QUANTITIES ESTIMATED	AS-BUILT			
		QUANTITIES	TYPE	MANUFACTURER / SUPPLIER	
6" WATER	228'	218'	DIP	GRIFFIN PIPE PRODUCTS CO.	
8" WATER	1109'	1338'	DIP	GRIFFIN PIPE PRODUCTS CO.	
8" x 8" TEE	1	1	DIP	SIGMA CORP./BELAIR RD SUPPLY	
8" VALVE	3	3	GATE	MUELLER CO./BELAIR RD SUPPLY	
8" x 12" TEE (TAP SLEEVE)	1	1	S STEEL	JCM INDUSTRIES/BELAIR RD SUPPLY	
8" x 6" TEE	4	4	DIP	SIGMA CORP./BELAIR RD SUPPLY	
6" VALVE	4	4	GATE	MUELLER CO./BELAIR RD SUPPLY	
8" HORIZ. BEND	3	3	DIP	SIGMA CORP./BELAIR RD SUPPLY	
8" HORIZ. BEND	1	1	DIP	SIGMA CORP./BELAIR RD SUPPLY	
8" CAP	1	2	DIP	SIGMA CORP./BELAIR RD SUPPLY	
6" FIRE HYDRANT	4	4	MUELLER	MUELLER CO./BELAIR RD SUPPLY	

NAME OF UTILITY CONTRACTOR: COMER CONSTRUCTION
SURVEY AND DRAFTING DIVISION AS-BUILT DATE: 12-4-09



<p>TYPE OF BUILDING: OFFICE BUILDING</p> <p>NO. OF PARCELS: 2</p> <p>NO. OF WATER CONNECTIONS: 1</p> <p>NO. OF SEWER CONNECTIONS: 1</p> <p>DRAINAGE AREA: LITTLE PATUXENT</p> <p>TREATMENT PLANT: LITTLE PATUXENT WATER QUALITY MANAGEMENT CENTER</p>	<p>VICINITY MAP</p> <p>SCALE: 1"=600'</p> <p>CONTRACT NO. 44-4506-D</p> <p>WATER CODE: C05</p> <p>TEST GRADIENT: 400</p>
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GENERAL NOTES

- A. STANDARD GENERAL NOTES**
- Approximate location of existing mains are shown. The contractor shall take all necessary precautions to protect existing mains and services and maintain uninterrupted service. Any damage incurred shall be repaired immediately to the satisfaction of the Engineer at the contractor's expense.
 - Topographic field surveys were performed on September 2002 by DMW. The existing topography is taken from low level flight and aerial survey with 2' contour intervals prepared by 3D1 dated April 8, 2002.
 - The coordinates shown on the drawings are based on Maryland State Reference System NAD'83/91 as projected by Howard County Geodetic Control Stations No.#312a and No.#37CA.
 - All vertical controls are based on NAVD '88. Vertical controls provided on the drawings are BM1, #31EA-Disc set in concrete, N569641.123, E1374815.935, Elev.468.90, 2' south of sidewalk on Ilchester Road ± 47.1' from gate in fence on the transmission line R.O.W. BM2-#37CA-Disc set in concrete, N569641.123, E1382742.880, Elev. =256.965, 20.6' south of centerline of Landing Road, 0.25 miles northwest on Landing Road from intersection of Landing Road and Montgomery Road.
 - All pipe elevations shown are invert elevations unless otherwise noted.
 - Clear all utilities by a minimum of 12". Clear all poles by 5' - 0" minimum or tunnel as required unless otherwise noted. The owner has contacted the utility companies and has made arrangements for bracing of poles as shown on the drawings. In the event the contractor's work requires the bracing of additional poles, any cost incurred by the owner for bracing of additional poles or damages shall be deducted from monies owed the contractor. The contractor shall coordinate with the utility companies to schedule the bracing of the poles.
 - For details not shown on the drawings and for materials and construction methods use Howard County Design Manual, Volume IV, Standard Specifications and Detail for Construction (latest edition). The contractor shall have a copy of Volume IV on the job.
 - Where test pits have been made on existing utilities, they are noted by the symbol at the locations of the test pits. A note or notes containing the results of the test pit or pits is included on the drawings. Existing utilities in the vicinity of the proposed work for which test pits have not been dug shall be located by the contractor two weeks in advance of construction operations at his own expense.
 - The contractor shall notify the following utility companies or agencies at least five working days before starting work shown on these plans:

AT&T	1-800-252-1133
BC&E (Construction Services)	410-850-4620
BC&E (Emergency)	410-625-1400
Bureau of Utilities	410-313-4900
Colonial Pipeline CO.	410-795-1390
Miss Utility	1-800-257-7777
State Highway Administration	410-531-5533
Verizon	1-800-742-0033/410-224-9210
 - Trees and shrubs are to be protected from damage to the maximum extent. Trees and shrubs located within the construction strip are not to be removed or damaged by the contractor.
 - The contractor shall remove trees, stumps, and roots along line of excavation. Payment for such removal shall be included in the unit price bid for construction of the main.
 - The contractor shall notify the Bureau of Highways, Howard County, at (410) 313-7450 at least five working days before any open cut of any county road or boring/lacking of any County roads for laying water/sewer mains or house connections. The approval of these drawings will constitute compliance with DPW requirements per section 16.14(a) of the Howard County code.

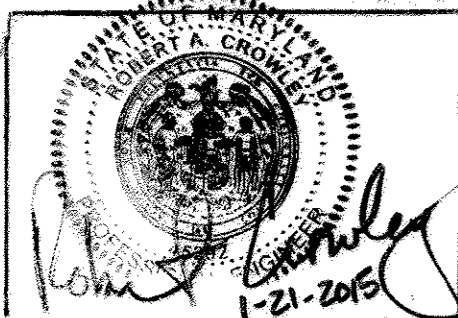
B. STANDARD WATER MAIN GENERAL NOTES

- All water mains to be D.I.P. Class 54 unless otherwise noted.
- Tops of all water mains to have a minimum of 3'-6" of cover unless otherwise noted.
- Valves adjacent to tees shall be strapped to tees.
- All fittings shall be buttressed or anchored with concrete in accordance with the Standard Details unless otherwise provided for on the drawings.
- Fire hydrants shall be set to the bury line elevations shown on the drawings. All fire hydrants shall be installed and buttressed with concrete in accordance with Standard Details. The soil around the fire hydrant shall be compacted in accordance with section 1000 and 1005 of the Standard Specifications.
- The contractor shall not operate any water main valves on the existing water system.
- All water house connections shall be for inside meter settings unless otherwise noted on plans or in specifications.
- For sprinkler system for all town homes or multi-family dwelling units should have a minimum of 1' connection with a 3/4" meter.

C. STANDARD SEWER MAIN GENERAL NOTES

- All sewer mains shall be DIP or F.V.C. unless otherwise noted.
- All manholes shall be 4'-0" inside diameter unless otherwise noted.
- Force mains shall be D.I.P. only.
- Manholes shown with 16" walls are for brick manholes only.
- Manholes designated W.T. in plan and profile shall have watertight frame and covers, Standard Detail C-24. Where watertight frame and cover is used, set top of frame 1'-6" above finished grade unless otherwise noted on the drawings.

THE PURPOSE OF REDLINE REVISION #2 IS:
1. SHOW THE PROPOSED EMERSON CAMPUS SECURITY FENCE.
2. ADD AN ADDITIONAL DRAWING SHEET ASSOCIATED WITH THE PROPOSED EMERSON CAMPUS SECURITY FENCE.



JACOBS

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 45292 EXPIRATION DATE: 05/21/2016

ENGINEER'S SEAL BOX FOR REDLINE REVISION #2 ONLY

REVIEWED FOR NATURAL RESOURCES CONSERVATION SERVICE AND MEETS TECHNICAL REQUIREMENT

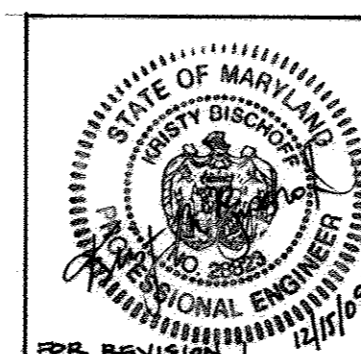
SIGNATURE: *[Signature]* DATE: *[Date]*

OWNER/DEVELOPER
EMERSON HOLDINGS, LLC DEVELOPMENT VIII, LLC
DANIEL GEMORY, MEMBER ONE TEXAS STATION COURT, SUITE 200
8601 LASALLE ROAD, SUITE 205 TIMONIUM, MD 21093
FOWNS, MARYLAND 21086
410-782-0122

Project background information:
Subdivision Name: Kovitz Property Parcel 'D-1'
Tax Map: 47
Lot/Parcel: 165 & 1051
Zoning: PEC, PEC-MXD
Election District: 6
Total Parcel Area: 10.633 Acres
File Numbers: Plat #18684, 18685, F-07-055, F-99-12, FB 339 and ZB 979M, FB-359, F-02-11, SF-01-12, F-02131 and F-07-95.

SDP-07-109 PLAT #18685

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 219 OF THE SPECIFICATIONS AND WITH SDP-07-109



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No: 28823, Expiration Date: 1/7/2012

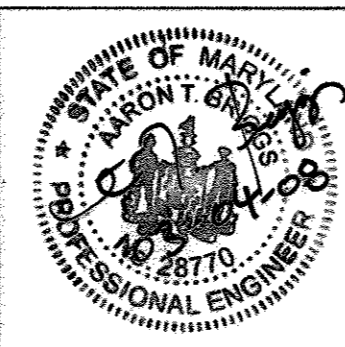
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

APPROVED: *[Signature]* DATE: *[Date]*
HOWARD S.C.D.

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
CHIEF - BUREAU OF UTILITIES - DATE

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND
CHIEF - DEVELOPMENT ENGINEERING DIVISION - DATE

DMW
DAFT MCCUNE WALKER INC
200 EAST PENNSYLVANIA AVENUE, 17th FLOOR, WASHINGTON, DC 20001
P: 410 296 5333 F: 410 296 4101 WWW.DMW.COM
A TEAM OF LEAD PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS



DESIGN BY:	DATE:	BY:	NO.:	REVISION:	DATE:
GRG	3/3/08				
DRAWN BY:					
GMO					
CHECKED BY:					
GRG					
DATE:					
DMW	1				

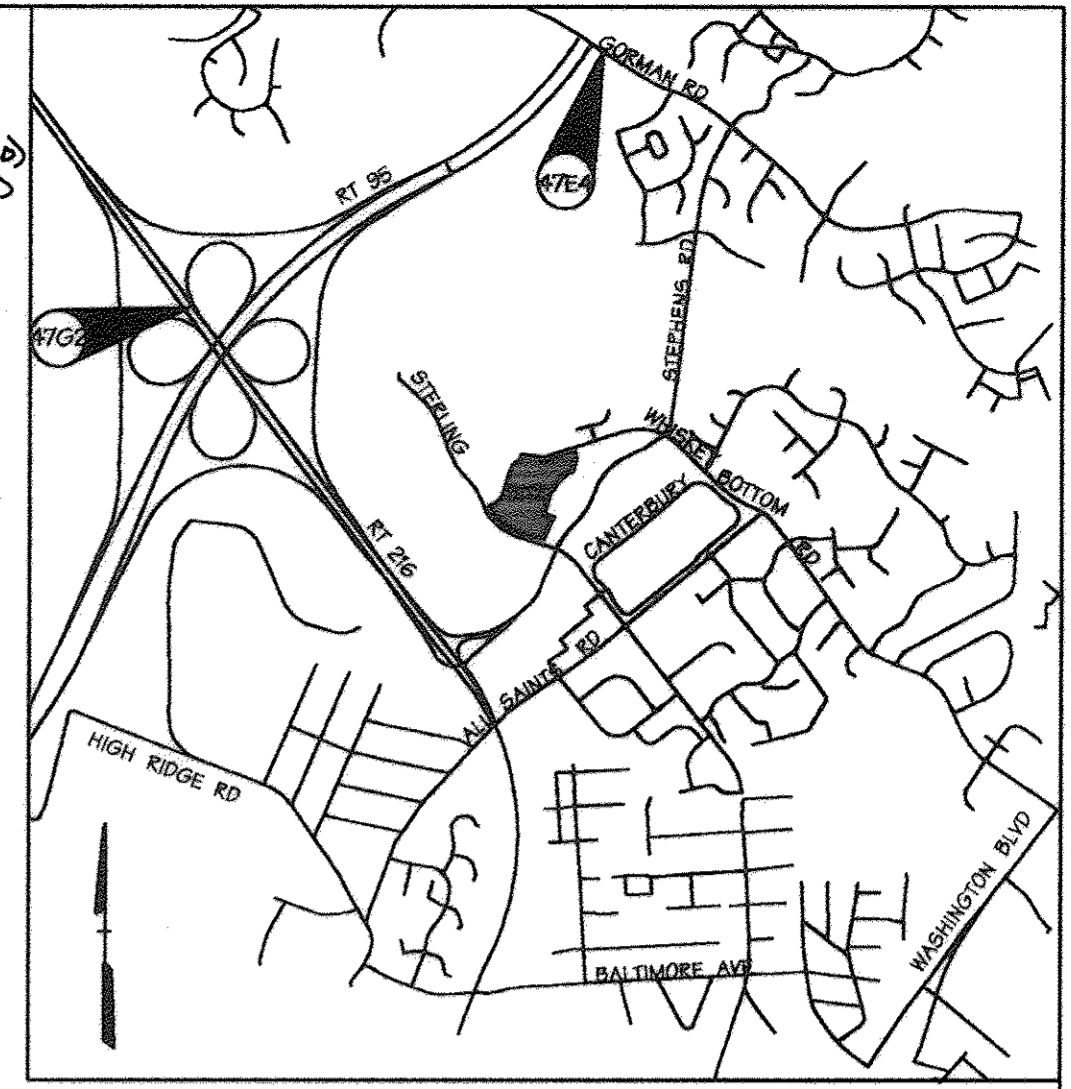
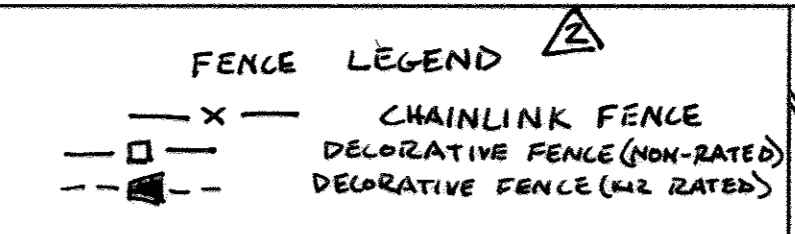
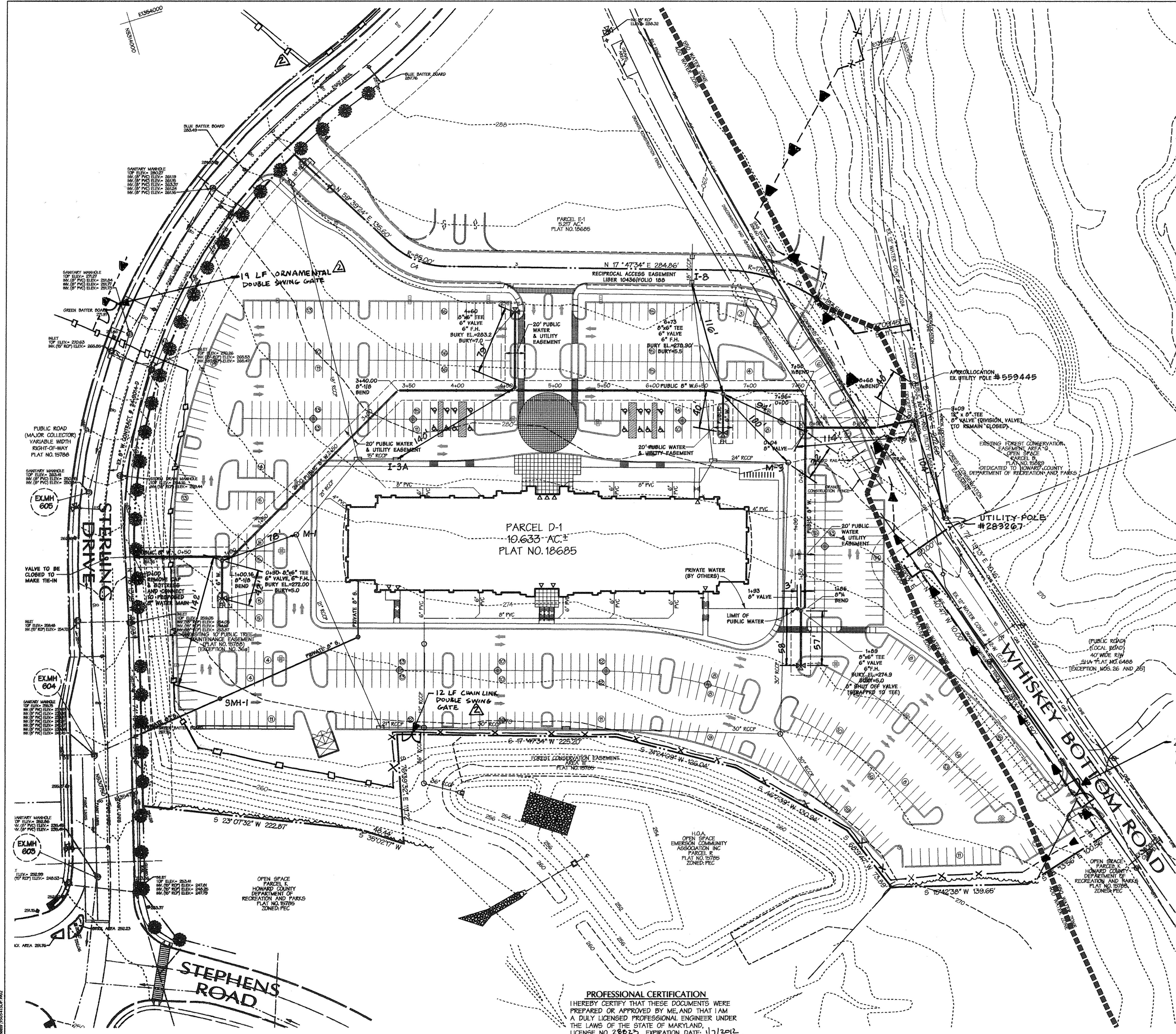
TITLE SHEET

EMERSON ONE
Parcel "D-1"

TAX MAP 47 PARCEL D-1
6th ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND
CONTRACT NO. 44-4506-D PARCELS 165 & 1051

SCALE:
As Shown

SHEET
1 of 4



LOCATION MAP

Scale: 1"=2000'
HOWARD COUNTY ADC MAP NUMBER 19, BLOCK J9

BENCHMARK DESCRIPTION

COORDINATES IN MARYLAND NAD83(91) (HORIZONTAL) AND NAVD83 (VERTICAL) DATUMS.
4762 NORTHING: 162440.1212 4764 NORTHING: 163326.2295
EASTING: 418233.0279 EASTING: 41836.2550
ELEVATION: 364.2507 ELEVATION: 336.3091

Notes

- All sewer house connections shall be 4" PVC.
- All water house connections shall be 1" copper pipe and located on the high side of the property. Max. depth of WHC shall be 6 ft.
- All water mains shall be D.I.P. class 52.
- All sewer mains shall be 8" PVC Sewer Mains greater than 16' deep shall be 8" D.I.P.
- All sewer manholes shall be Standard Sewer Manholes in accordance with Howard County Standard Details.
- All fire hydrants laterals to be connected to the 8" main with a 8" x 6" tee with a 6" valve unless otherwise noted.
- All fire hydrants to have a maximum spacing of 500'.
- All tees to be 8" x 8" unless otherwise noted.
- All valves to be 8" unless otherwise noted.
- Valves are to be closed when system connection is made.

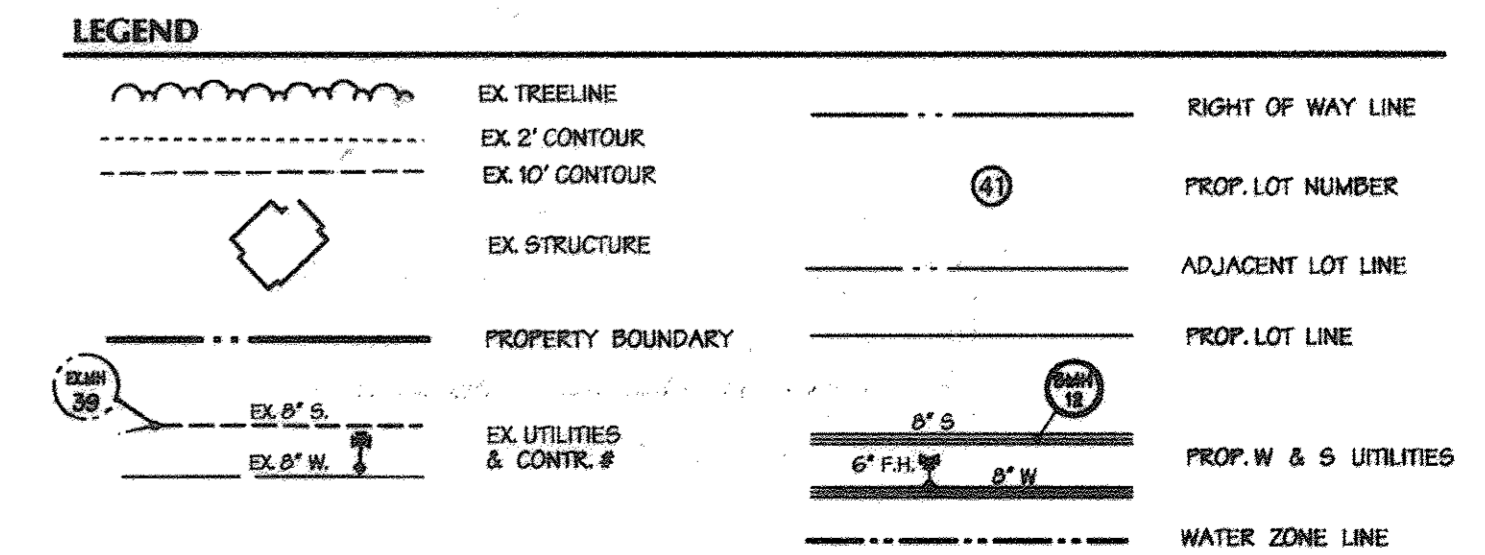
JACOBS

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 45292 EXPIRATION DATE: 05/31/2016

AS BUILT
DATE: DEC. 4, 2009

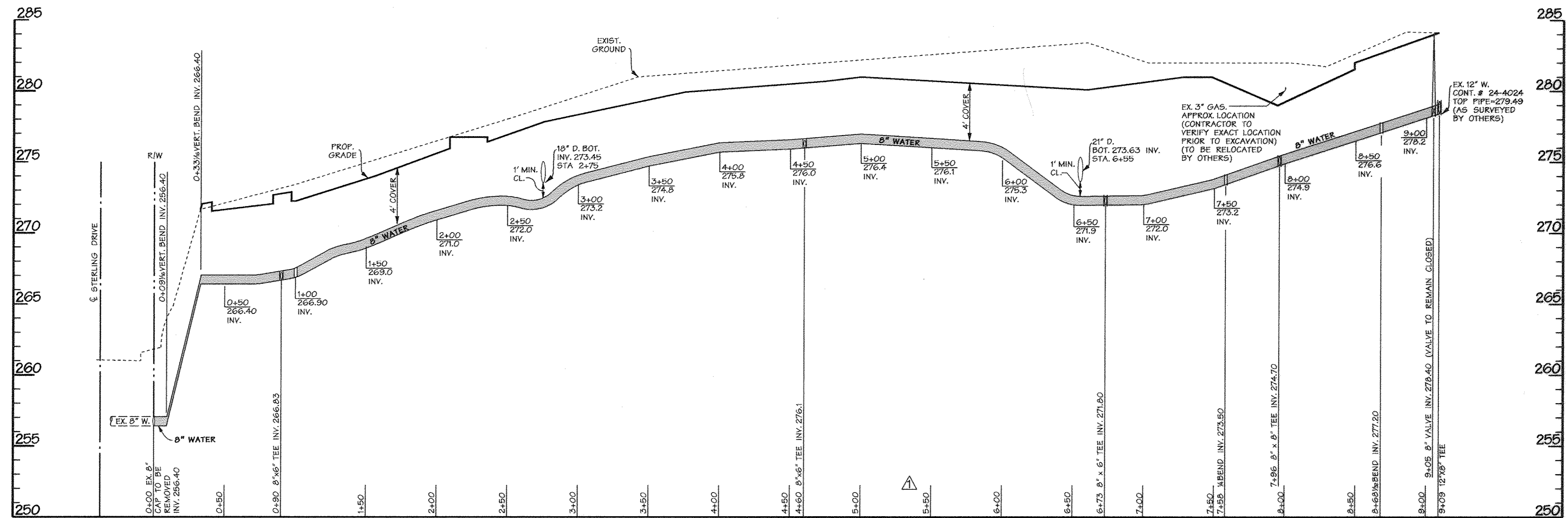
OWNER / DEVELOPER
EMERSON VIII LLC - Emerson Holdings, LLC
ONE TEXAS STATION CT, SUITE 200, Davis, MD 21034
TILANDIA, MD 21093
Township, Maryland - 21286

AS BUILT
DATE: DEC. 4, 2009



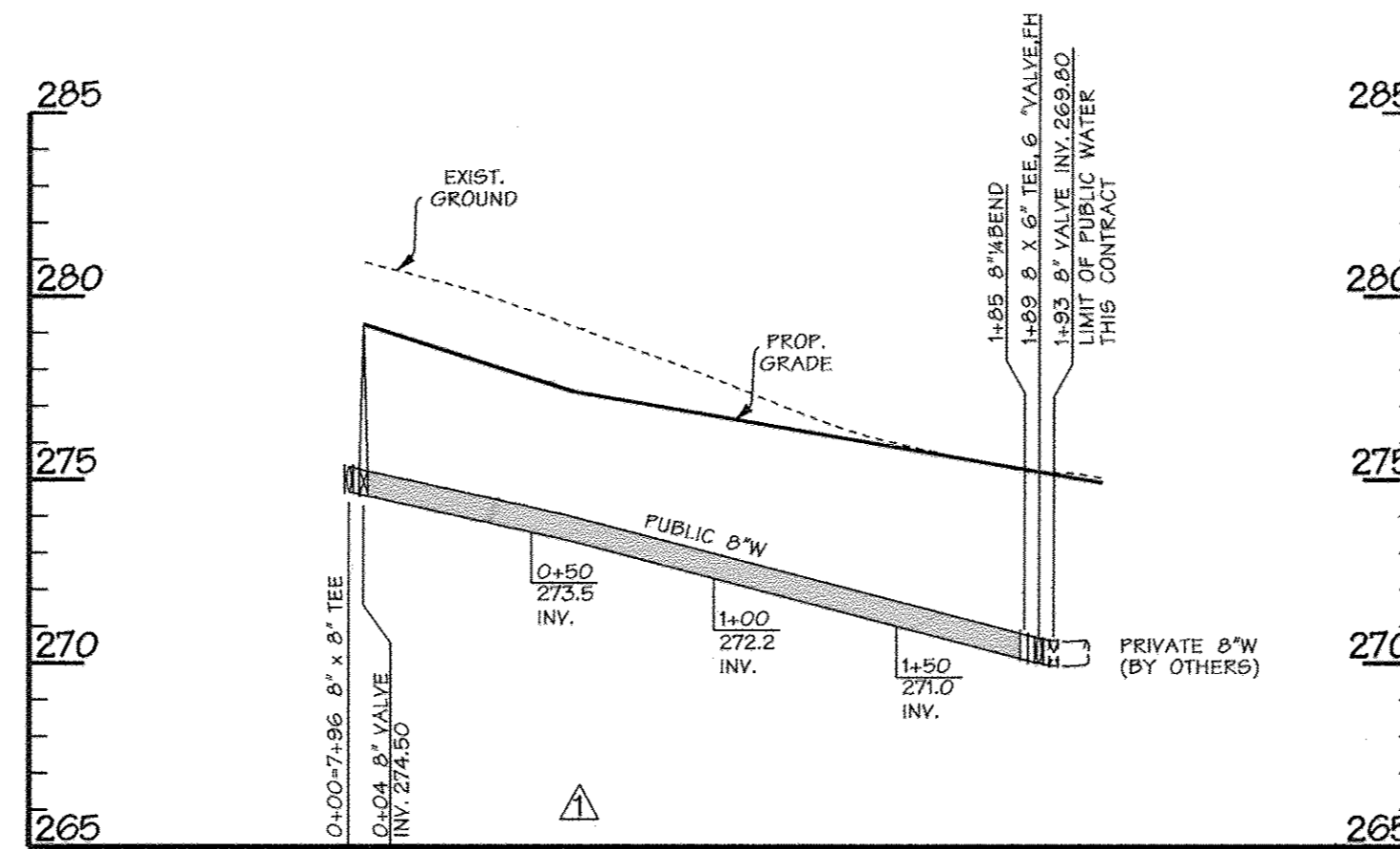
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 28822 EXPIRATION DATE: 11/12/2012

DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND Chief - Bureau of Utilities - DATE	DEPARTMENT OF PLANNING & ZONING HOWARD COUNTY, MARYLAND Chief - Development Engineering Division - DATE	DMW JAMES WALKER, INC.	DESIGN BY: GRG DRAWN BY: GMD CHECKED BY: GRG DATE: 3/3/08	JACOBS 2. CAMPUS PERIMETER SECURITY FENCE 1/21/15 DMW 1 PARTIAL RELOCATION DUE TO UTILITY POLE CONFLICT 10/23/09 BY NO. REVISION DATE 600 SCALE MAP NO. 31 BLOCK NO. 10.11.16.17	WATER PLAN	EMERSON ONE Parcel "D-1" TAX MAP 47 PARCEL D-1 6th ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND CONTRACT NO. 44-4506-D PARCELS 100 & 101	SCALE: 1"=50' SHEET 2 OF 3
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PUBLIC WATER PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'



PUBLIC WATER PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'

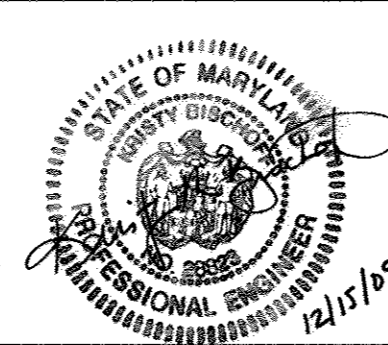
AS BUILT
DATE: DEC. 4, 2009

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18072, EXPIRATION DATE: 1/7/2012.

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND

DMW
DAVID M. WALKER INC.



DESIGN BY:	GRG			
DRAWN BY:	JDW			
CHECKED BY:	GRG			
DATE:	3/3/08	DMW	1	PARTIAL RELOCATION DUE TO UTILITY POLE CONFLICT
		BY	NO.	REVISION

WATER PROFILES

EMERSON ONE

Parcel "D-1"

TAX MAP 47 PARCEL D-1
6th ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND

CONTRACT NO. 44-4506-D

PARCELS 105 & 109

SCALE:
AS SHOWN

SHEET
3 of 3

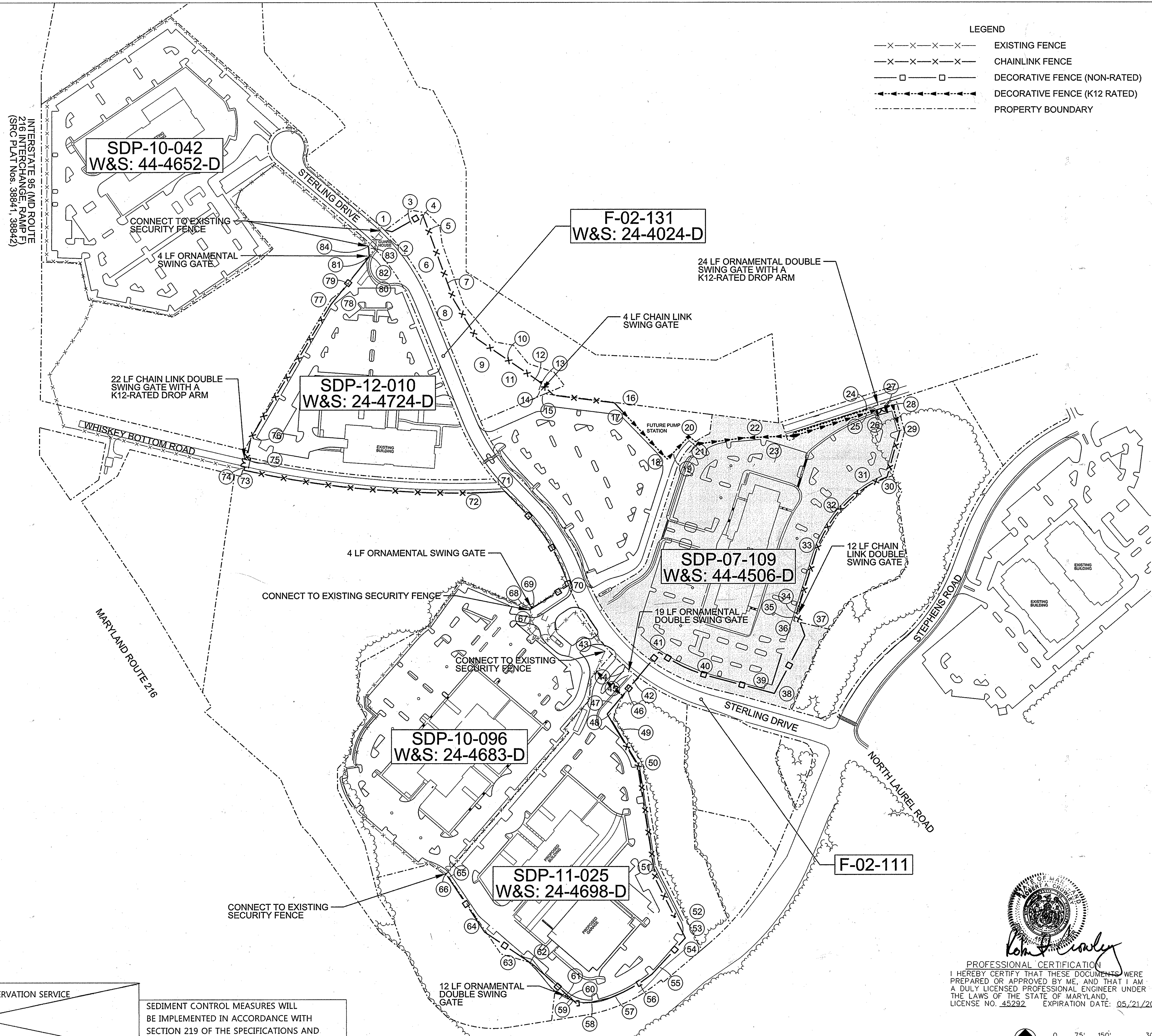
John C. Lewis
CHIEF - BUREAU OF UTILITIES - DATE

David M. Walker
CHIEF - DEVELOPMENT ENGINEERING DIVISION, DATE

11/3/10
DATE

DATE 600 SCALE MAP NO. 31 BLOCK NO. 10.11.16.17

	COORDINATE ID	NORTHING	EASTING	FEET OFFSET FROM PROPERTY LINE
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	1	532233.7	1353530.0	9.3
	2	532207.6	1353557.9	7.5
	3	532254.3	1353623.0	32.3
8' HIGH CHAIN LINK FENCE WITH 1' DOUBLE OUTRIGGER	4	532259.0	1353648.8	37.7
	5	532232.6	1353672.5	35.5
	6	532150.6	1353690.4	37.6
	7	532074.1	1353729.9	25.6
	8	531998.0	1353749.7	30.5
	9	531857.1	1353847.0	43.8
	10	531845.2	1353912.5	39.6
	11	531802.7	1353938.5	45.9
	12	531778.8	1353989.5	44.9
	13	531751.5	1354006.8	68.9
	14	531747.9	1354009.1	69.3
	15	531733.7	1354018.0	6.9
	16	531703.5	1354263.8	6.2
	17	531661.1	1354261.0	28.8
8' HIGH IMPASSE K12 RATED ORNAMENTAL FENCE	18	531559.4	1354378.6	134.9
	19	531557.3	1354413.3	132.7
	20	531610.8	1354459.0	73.8
	21	531594.4	1354480.8	0.3
	22	531612.3	1354483.4	44.4
	23	531600.0	1354722.0	51.8
	24	531666.8	1354994.2	6.0
	25	531678.9	1354996.7	14.2
	26	531689.1	1355028.8	14.2
	27	531696.4	1355051.5	14.2
	28	531704.0	1355075.4	14.2
8' HIGH CHAIN LINK FENCE WITH 1' DOUBLE OUTRIGGER	29	531625.6	1355097.0	14.4
	30	531487.3	1355058.4	2.5
	31	531466.2	1355003.9	2.5
	32	531375.2	1354908.7	2.5
	33	531266.0	1354845.0	0.0
	34	531075.5	1354783.8	0.0
	35	531063.8	1354780.1	0.0
	36	531045.8	1354774.3	6.0
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	37	531033.3	1354827.1	6.0
	38	530846.1	1354723.0	50.0
	39	530837.3	1354691.9	33.0
	40	530891.5	1354495.6	34.4
8' HIGH IMPASSE K12 RATED ORNAMENTAL FENCE	41	530953.0	1354360.7	26.5
	42	530874.1	1354291.6	14.5
	43	530959.6	1354206.6	13.4
	44	530900.0	1354263.2	12.8
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	45	530886.4	1354277.9	10.0
	46	530854.5	1354274.0	7.5
	47	530802.1	1354227.0	20.0
8' HIGH CHAIN LINK FENCE WITH 1' DOUBLE OUTRIGGER	48	530771.7	1354233.7	12.3
	49	530720.0	1354255.0	2.0
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	50	530615.3	1354318.4	2.0
	51	530308.5	1354367.5	2.0
	52	530158.1	1354440.4	4.7
	53	530119.6	1354450.4	13.0
	54	530090.6	1354444.4	31.4
	55	530001.4	1354372.7	40.2
	56	529952.2	1354311.7	29.6
	57	529912.6	1354238.4	28.6
	58	529892.6	1354166.4	31.3
	59	529903.4	1354111.0	51.6
	60	529912.9	1354100.1	46.3
	61	529920.8	1354091.1	36.4
	62	530016.4	1353981.6	0.0
	63	530042.7	1353942.5	14.2
8' HIGH CHAIN LINK FENCE WITH 1' DOUBLE OUTRIGGER	64	530141.4	1353928.3	2.2
	65	530275.8	1353737.0	1.9
	66	530286.0	1353726.9	4.4
	67	531084.8	1353977.6	3.7
	68	531089.6	1353984.8	0.0
	69	531092.0	1353988.4	0.0
	70	531164.5	1354095.9	0.9
	71	531443.9	1353905.8	0.9
	72	531440.2	1353802.7	0.0
	73	531508.5	1353124.3	0.0
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	74	531518.5	1353126.4	10.2
	75	531540.6	1353131.8	7.0
	76	531605.3	1353145.4	6.4
	77	532012.6	1353378.9	5.7
	78	532035.8	1353407.9	10.0
	79	532070.3	1353434.3	4.4
	80	532140.6	1353468.1	4.7
	81	532155.9	1353492.3	1.1
82	532160.1	1353493.5	2.7	
83	532181.5	1353499.4	7.9	
84	532187.4	1353492.6	8.5	



LEGEND

—x—x—x—x—x—	EXISTING FENCE
—x—x—x—x—x—	CHAINLINK FENCE
—□—□—□—□—□—	DECORATIVE FENCE (NON-RATED)
—◆—◆—◆—◆—◆—	DECORATIVE FENCE (K12 RATED)
— — — — —	PROPERTY BOUNDARY

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT. APPROVED

REVIEWED FOR NATURAL RESOURCES CONSERVATION SERVICE AND MEETS TECHNICAL REQUIREMENT

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 219 OF THE SPECIFICATIONS AND WITH ROAD CONSTRUCTION PLANS F-... SDP-7-109

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 45292 EXPIRATION DATE: 05/21/2016

HOWARD S.C.D. DATE SIGNATURE
 DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PLANNING & ZONING HOWARD COUNTY, MARYLAND
 3-23-15
 CHIEF - BUREAU OF UTILITIES - DATE CHIEF - DEVELOPMENT ENGINEERING DIVISION - DATE

JACOBS
 1100 NORTH GLEBE ROAD SUITE 500 ARLINGTON VA 22201
 P. 571-218-1000 F. 571-218-1600

DESIGN BY: M. WERDER
 DRAWN BY: M. WERDER
 CHECKED BY: R. CROWLEY
 DATE: JANUARY 5, 2015
 BY NO. REVISION DATE

EMERSON - CAMPUS FENCE FENCE LAYOUT PLAN
 600 SCALE MAP NO. 21 BLOCK NO. 1011017

EMERSON ONE PARCEL "D-1"
 OWNER DEVELOPER: EMERSON DEVELOPMENT VIII, LLC ONE TEXAS STATION COURT STE. 200 TIMONIUM, MARYLAND 21093
 JACOBS CONTRACT NO. 31435
 SCALE: 1"=150'
 SHEET 4 of 4
 81P-07-109 44-4506-D

C:\USERS\WILLIAM\APPDATA\LOCAL\TEMPORARY\INTERNET FILES\CONTENT\LOCAL\CONTR\HYD\Z\THC\NS BASE SHEET.DWG