

CONTRACT NO. 14-4304-D ZAISSER PROPERTY - LOTS 43-97, RESUBDIVISION OF NON-BUILDABLE BULK PARCELS 'C' AND 'D'

TAX MAP 31

PARCEL 243


1st ELECTION DISTRICT

SEWER & WATER CONSTRUCTION PLANS

Howard County, Maryland

Department of Public Works

GENERAL NOTES

- PART I**
- Approximate location of existing mains are shown. The contractor shall take all necessary precautions to protect existing mains and services and maintain uninterrupted service. Any damage incurred shall be repaired immediately to the satisfaction of the Engineer at the contractor's expense.
 - The existing topography is taken from low level flight and aerial survey with 2' contour intervals prepared by 301 dated April 8, 2002.
 - Horizontal and Vertical Controls:
The coordinates shown on the drawings are based on Maryland State Reference System NAD 83/91 as projected by Howard County Geodetic Control Stations No. #31EA and No. #37CA.
All vertical controls are based on NAVD 88. Vertical controls provided on the drawings are BM1, #31EA-Disc set in concrete, N569641.123, E1374015.835, Elev. 463.902 ft south of sidewalk on Ilchester Road +/- 47.1 Ft. from gate in fence on the transmission line R.O.W. BM2-#37CA-Disc set in concrete, N564321.656, E1382742.880, Elev. 256.965, 20.6 south of centerline of Landing Road, 0.25 miles northwest on Landing Road from intersection of Landing Road and Montgomery Road.
 - All pipe elevations shown are invert elevations unless otherwise noted.
 - Clear all utilities by a minimum of 12'. Clear all poles by 5' - 0" minimum or furnishes required unless otherwise noted. The owner has contacted the utility companies and has made arrangements for bracing of poles as shown on the drawings. In the event the contractor's work requires the bracing of additional poles, any cost incurred by the owner for bracing of additional poles or damages shall be deducted from monies owed the contractor. The contractor shall coordinate with the utility companies to schedule the bracing of the poles.
 - For details not shown on the drawings and for materials and construction methods use Howard County Design Manual, Volume IV, Standard Specifications and Detail for Construction (latest edition). The contractor shall have a copy of Volume IV on the job.
 - Where test pits have been made on existing utilities, they are noted by the symbol  at the locations of the test pits. A note or notes containing the results of the test pit or pits is included on the drawings. Existing utilities in the vicinity of the proposed work for which test pits have not been dug shall be located by the contractor two weeks in advance of construction operations at his own expense.
 - The contractor shall notify the following utility companies or agencies at least five working days before starting work shown on these plans:

AT&T	1-800-252-1133
BG&E (Construction Services)	410-850-4620
BG&E (Emergency)	410-685-1400
Bureau of Utilities	410-313-4900
Colonial Pipeline CO.	410-795-1390
Mesa Utility	1-800-257-7777
State Highway Administration	410-531-5533
Verizon	1-800-742-0033/410-224-9210
 - Trees and shrubs are to be protected from damage to the maximum extent. Trees and shrubs located within the construction strip are not to be removed or damaged by the contractor.
 - Contractor shall remove trees, stumps, and roots along line of excavation. Payment for such removal shall be included in the unit price bid for construction of the main.
 - The contractor shall notify the Bureau of Highways, Howard County, at (410) 313-7450 at least five working days before any open cut of any county road or boring/lacking of any County roads for laying water/sewer mains or house connections. The approval of these drawings will constitute compliance with DPW requirements per section 18.114(a) of the Howard County code.

- PART II - WATER**
- All water main to be D.I.P. Class 52 unless otherwise noted.
 - Top of all water mains to have a minimum of 3'-6" of cover.
 - Valves adjacent to tees shall be strapped to tees.
 - All fittings shall be buttressed or anchored with concrete in accordance with the Standard Details unless otherwise provided for on the drawings.
 - Fire hydrants shall be set to the bury line elevations shown on the drawings. All fire hydrants shall be installed and buttressed with concrete in accordance with Standard Details. The soil around the fire hydrant shall be compacted in accordance with section 1000 and 1005 of the Standard Specifications.
 - The contractor shall not operate any water main valves on the existing water system.

- PART III - SEWER**
- All sewer mains shall be P.V.C. or DIP unless otherwise noted.
 - All manholes shall be 4'-0" inside diameter unless otherwise noted.
 - Force mains shall be D.I.P. only.
 - Manholes shown with 12" and 16" walls are for brick manholes only.
 - Manholes designated W.T. in plan and profile shall have watertight frame and cover, Standard Detail G5.52. Where watertight manhole frames and covers are used, set top of frame 1'-6" above finished grade unless otherwise noted on the drawings.
 - House(s) with the symbol "C.N.S." indicates that cellar cannot be served.

QUANTITIES				
ITEMS	QUANTITIES ESTIMATED	AS-BUILT		
		QUANTITIES	TYPE	MANUFACTURER / SUPPLIER
8" WATER	457 LF	461 LF	DIPOL	GRIFFIN PIPE PRODUCTS/SAME
6" WATER	10 LF	22 LF	DIPOL	GRIFFIN PIPE PRODUCTS/SAME
4" WATER	344 LF	344 LF	DIPOL	GRIFFIN PIPE PRODUCTS/SAME
8" VALVES	1 EA.	1 EA.	GATEV	MUELLER CO./FERGUSON
6" VALVES				
4" VALVES	2 EA.	2 EA.	GATEV	MUELLER CO./FERGUSON
8" x 8" TAPPING TEE VALVE	1 EA.	1 EA.	DIP	SMITH-BLAIR/FERGUSON
8" x 8" TEE				
8" x 6" TEE				
8" x 4" TEE				
8" x 4" CROSS	1	1 EA.	MJG95	TYLER UNION/FERGUSON
8" 1/2" HORIZ. BEND				
8" 1/2" HORIZ. BEND	1	DELETED		
FIRE HYDRANT	1	DELETED		
8" CAP				
4" CAP	2 EA.	2 EA.	MJG193	TYLER UNION/FERGUSON
1" WHC	200 LF	220 LF	K-COM	MUELLER INDUSTRIES/FERGUSON
4" SHC	200 LF	191 LF	SDR-35	NORTH AMERICAN/FERGUSON
8" PVC SEWER	579 LF	579 LF	SDR-35	NORTH AMERICAN/FERGUSON
STD. SEWER MH	3 EA.	3 EA.	ASTM C776	ATLANTIC CONCRETE PRODUCTS
SEWER MH VERT. FT.	43 LF	43 LF		
8" TYPE 'B' DROP				

NAME OF UTILITY CONTRACTOR: CONSOLIDATED CONSTRUCTION SERVICES
SURVEY AND DRAFTING DIVISION AS-BUILT DATE: SEPTEMBER 2010

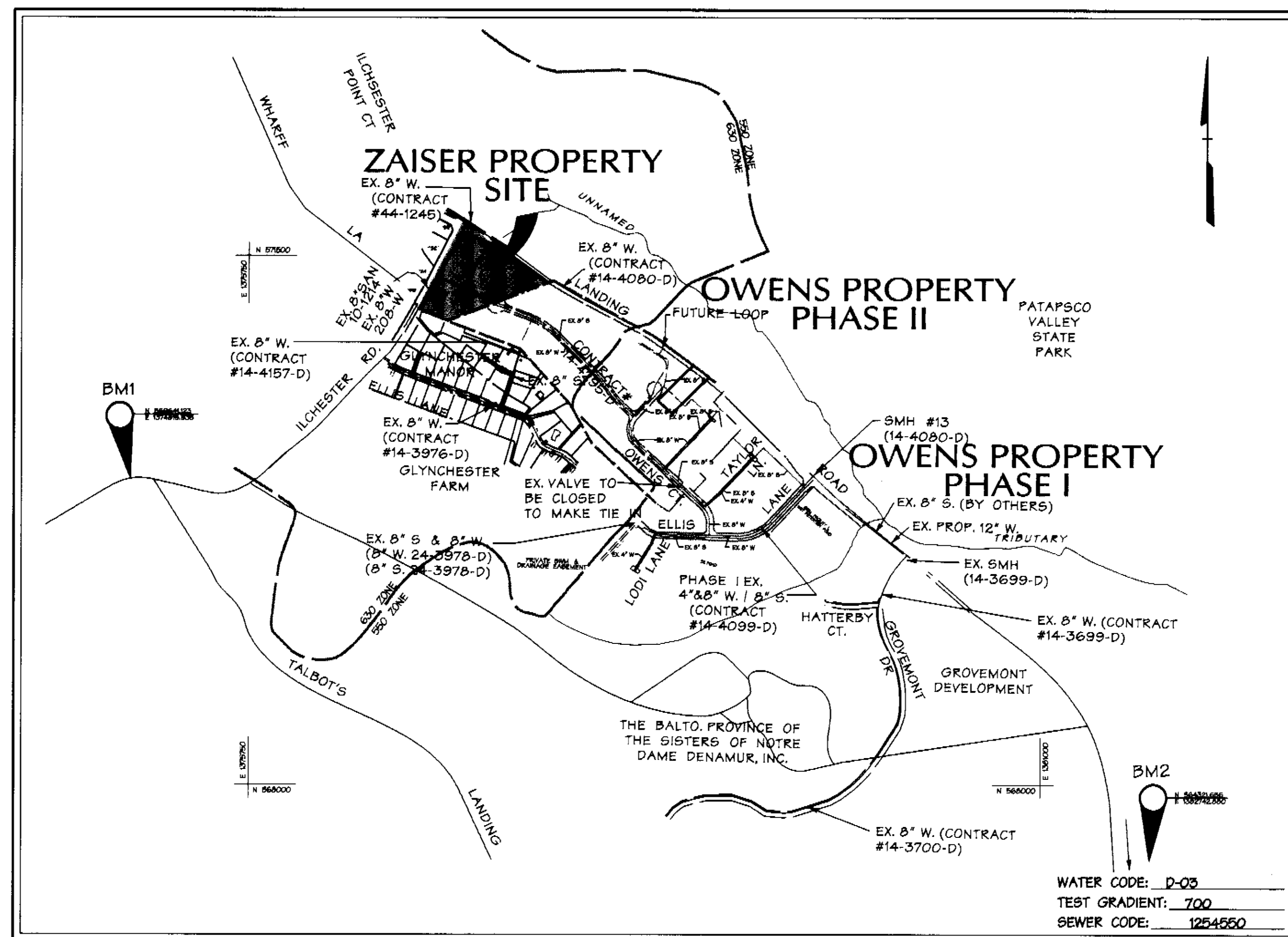
SHEET INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	WATER & SEWER PLAN
3	WATER & SEWER PROFILES

BENCHMARK

BM1
#31EA-DISC SET IN CONCRETE
N 569641.123
E 1374015.835
ELEVATION = 463.90
2 FT. SOUTH OF SIDEWALK ON ILCHESTER ROAD
147.1 FT. FROM GATE IN FENCE ON TRANSMISSION LINE R.O.W.

BM2
#37CA-DISC SET IN CONCRETE
N 564321.656
E 1382742.880
ELEVATION = 256.965
20.6' SOUTH OF CENTERLINE OF LANDING ROAD
0.25 MILES NORTHWEST ON LANDING ROAD FROM
INTERSECTION OF LANDING ROAD AND MONTGOMERY RD.



VICINITY MAP

SCALE: 1"=600'

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENT

John K. Roberts 9/14/06
SIGNATURE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT. APPROVED

John K. Roberts 9/14/06
HOWARD S.C.D. DATE

OWNER/DEVELOPER:

Parcel No. 243
ILCHESTER, LLC
c/o James Keetty and Co. Inc.
61 East Padonia Road
Timonium, MD 21093
(410) 252-0600
ATTN: Mark Duda

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 219 OF THE SPECIFICATIONS AND WITH FINAL PLANS F- - -

TYPE OF BUILDINGS:	SINGLE FAMILY DETACHED
NO. OF LOTS / PARCELS:	10 LOTS / 11 O.S. PARCELS
NO. OF WATER CONNECTIONS:	10 WHC
NO. OF SEWER CONNECTIONS:	10 SHC
DRAINAGE AREA:	PATAPSCO
TREATMENT PLANT:	PATAPSCO WATERSHED TREATMENT PLANT

AS BUILT
DATE: SEPT. 2010

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND



A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals



DESIGN BY:	KAD
DRAWN BY:	GMO
CHECKED BY:	
DATE:	4/12/06
BY NO.	
REVISION	
DATE	600 SCALE MAP NO. 31
BLOCK NO.	10.11.16.17

TITLE SHEET

ZAISSER PROPERTY - LOTS 1-10,
OPEN SPACE LOT II
RESUBDIVISION OF NON-BUILDABLE
BULK PARCELS 'C' AND 'D'
Election District No. 1 Howard County, Maryland
CONTRACT NO. 14-4304-D

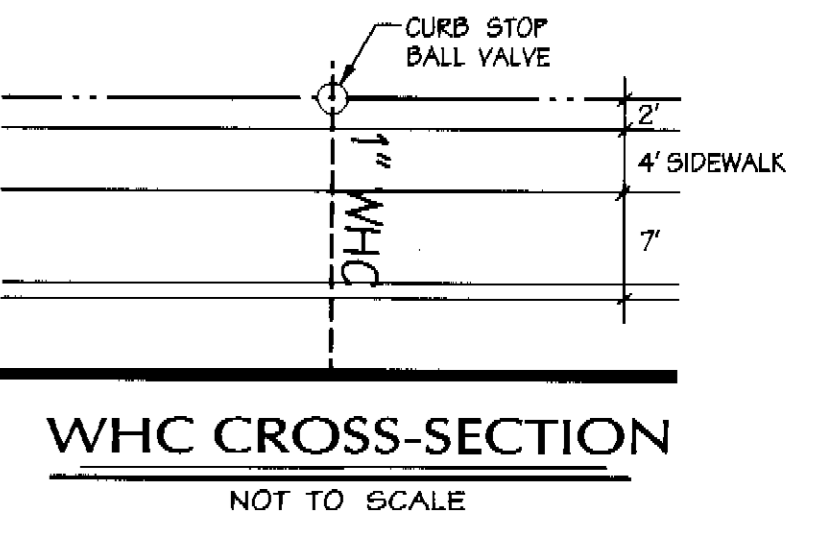
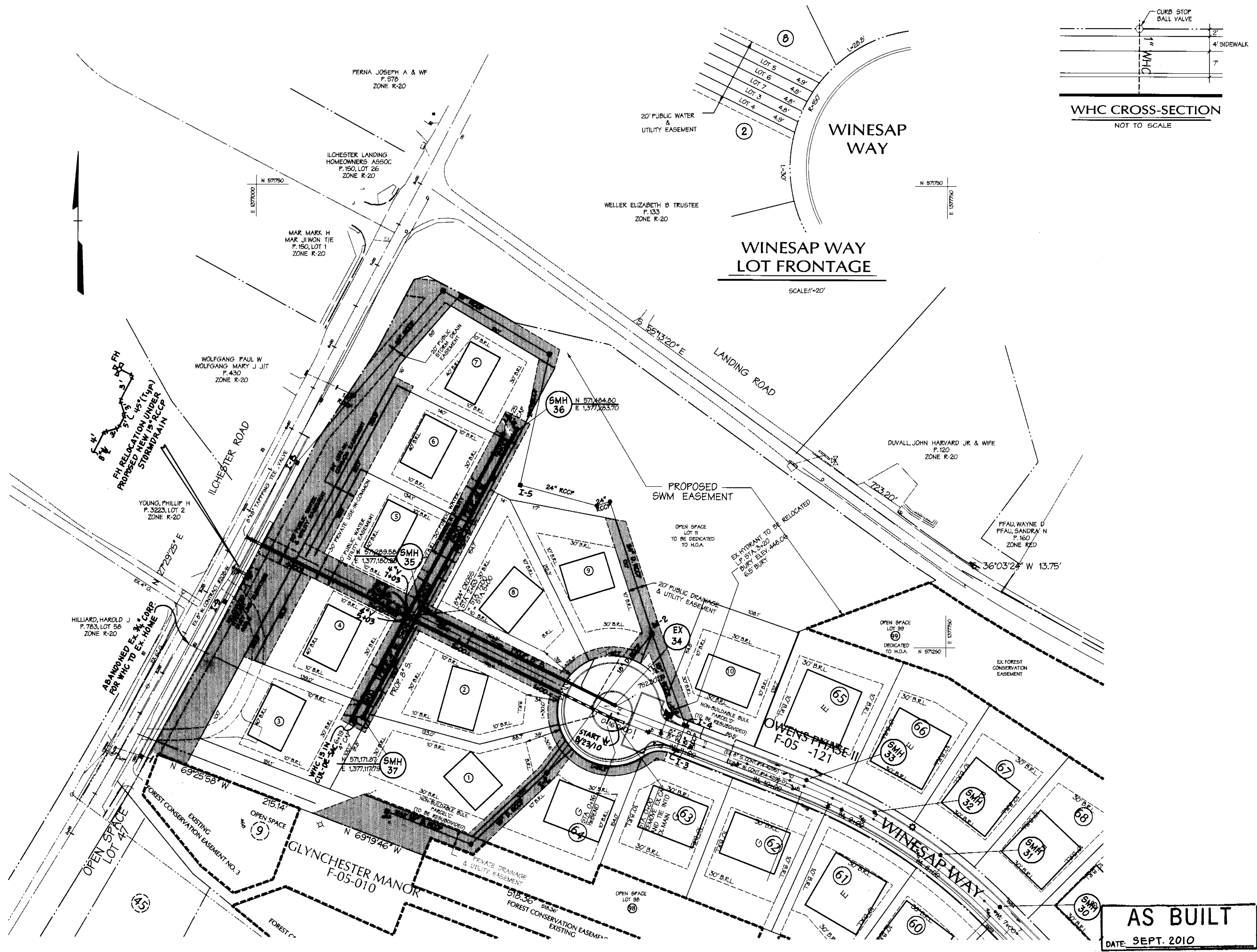
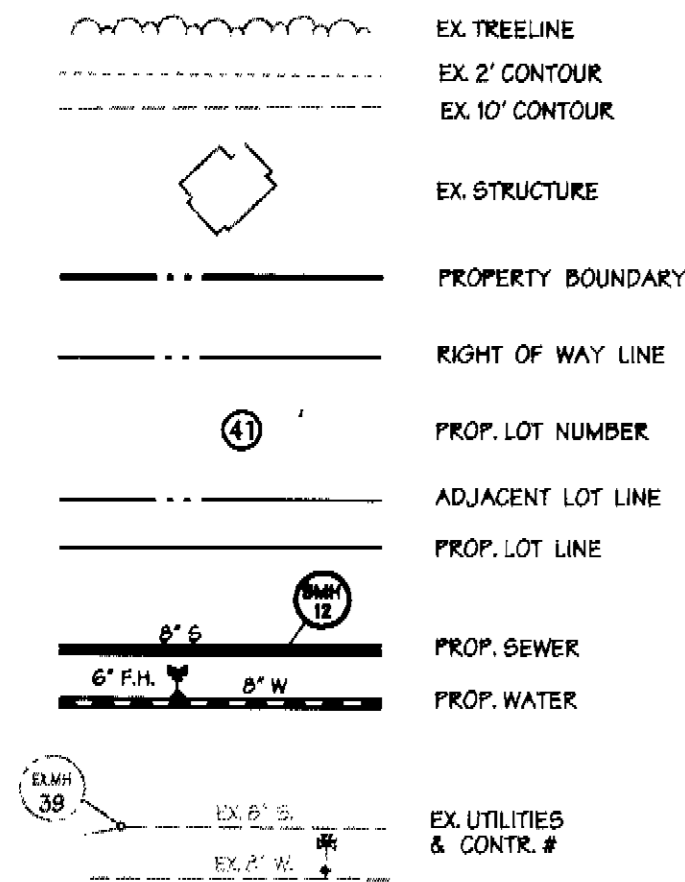
SCALE:
As Shown
SHEET
1 of 3

SHC INVERT @ PROPERTY LINE CHART

STATION	LOT	ELEVATION @ L	MIN. CELLAR ELEV.
EX 34 TO MH 36			
0+36	9	439.0	444.0
MH 37 TO MH 36			
0+25	5	450.70	457.5
0+37	8	440.10	446.0
1+36	6	445.20	455.5
@ MH	7	447.50	455.5
MH 36 TO MH 37			
0+87	4	454.0	461.0
0+97	2	441.72	446.0
@ MH	1	442.11	446.0
@ MH	3	445.0	466.5

Structure	Waterline Station	Centerline Station/Coordinates
	0+16	N 571,173.06 E 1,377,385.80
8' x 4' Cross	2+63	N 571,291.76 E 1,377,164.71
4' Cap	6+19	N 571,171.87 E 1,377,118.00
4' Cap	9+25	N 571,476.03 E 1,377,279.92
8' x 8' Tapping Tee & Valve	4+571	To Be Field Located

LEGEND



WINESAP WAY LOT FRONTAGE

SCALE: 1"=20'

AS BUILT
DATE: SEPT. 2010

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND

DMW
Daft-McCune-Walker, Inc.
A Team of Land Planners,
Landscape Architects,
Golf Course Architects,
Engineers, Surveyors &
Environmental Professionals



DESIGN BY:	RS
DRAWN BY:	GMO
CHECKED BY:	
DATE:	4/25/06
BY NO.	
REVISION	
DATE	

FINAL WATER & SEWER PLAN

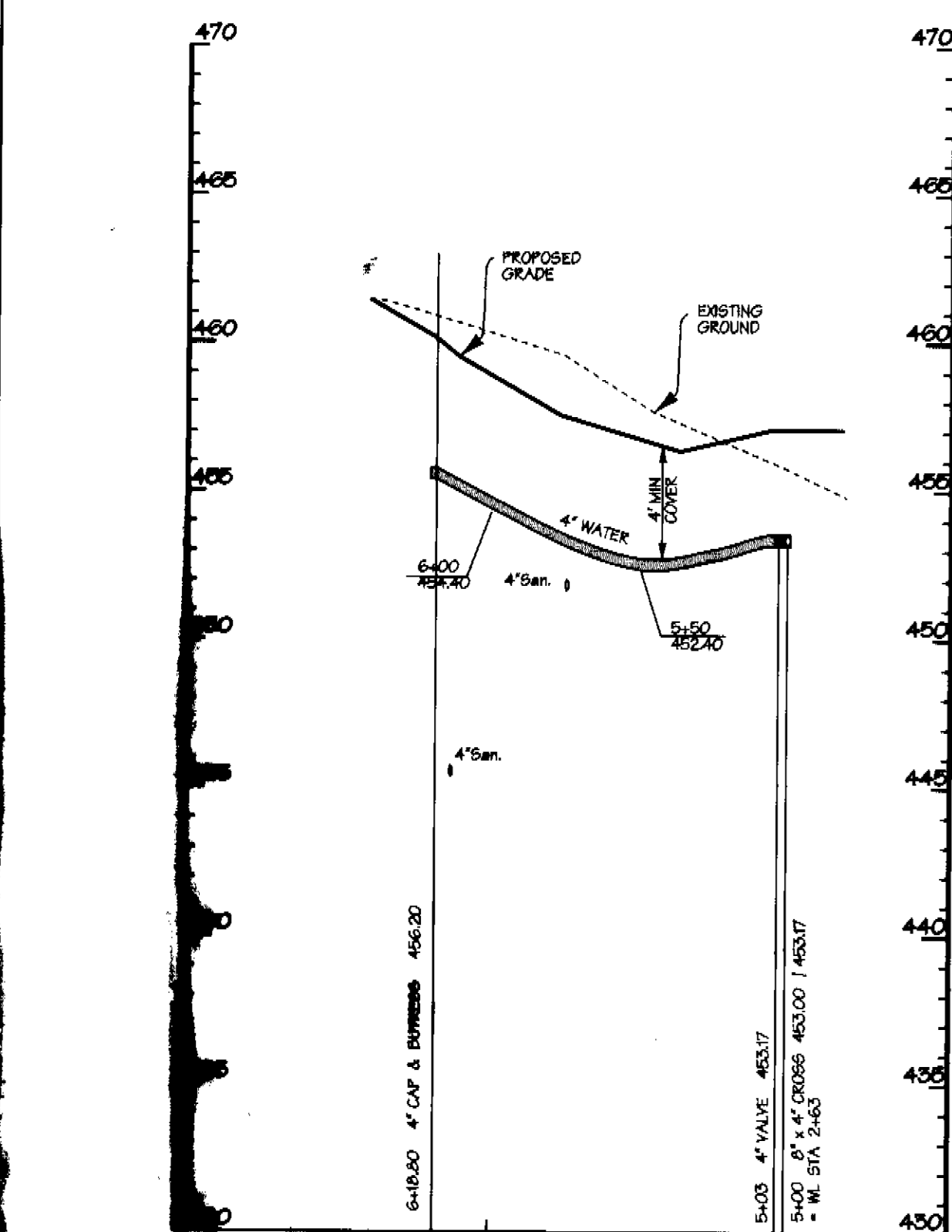
800 SCALE MAP NO. 31 BLOCK NO. 10,11,16,17

ZAISER PROPERTY
RESUBDIVISION OF NON-BUILDABLE
BULK PARCELS 'C' AND 'D'
OWNER/DEVELOPER:
James Keely and Co. Inc.
61 E. Padonia Road
Timonium, MD 21083
CONTRACT NO. 14-4304-D LOT/Parcel #245, 072

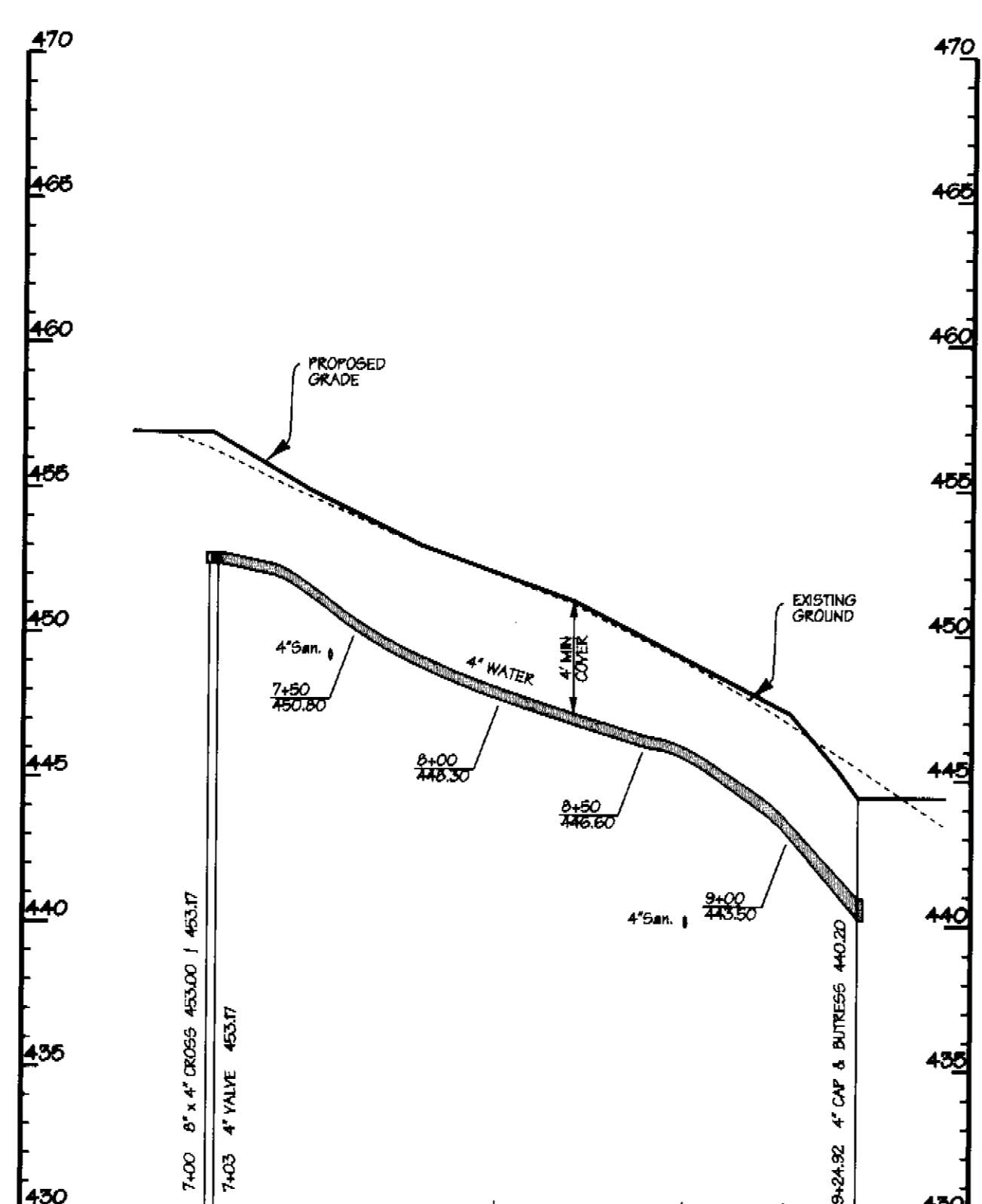
SCALE:
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SHEET
2 of 3

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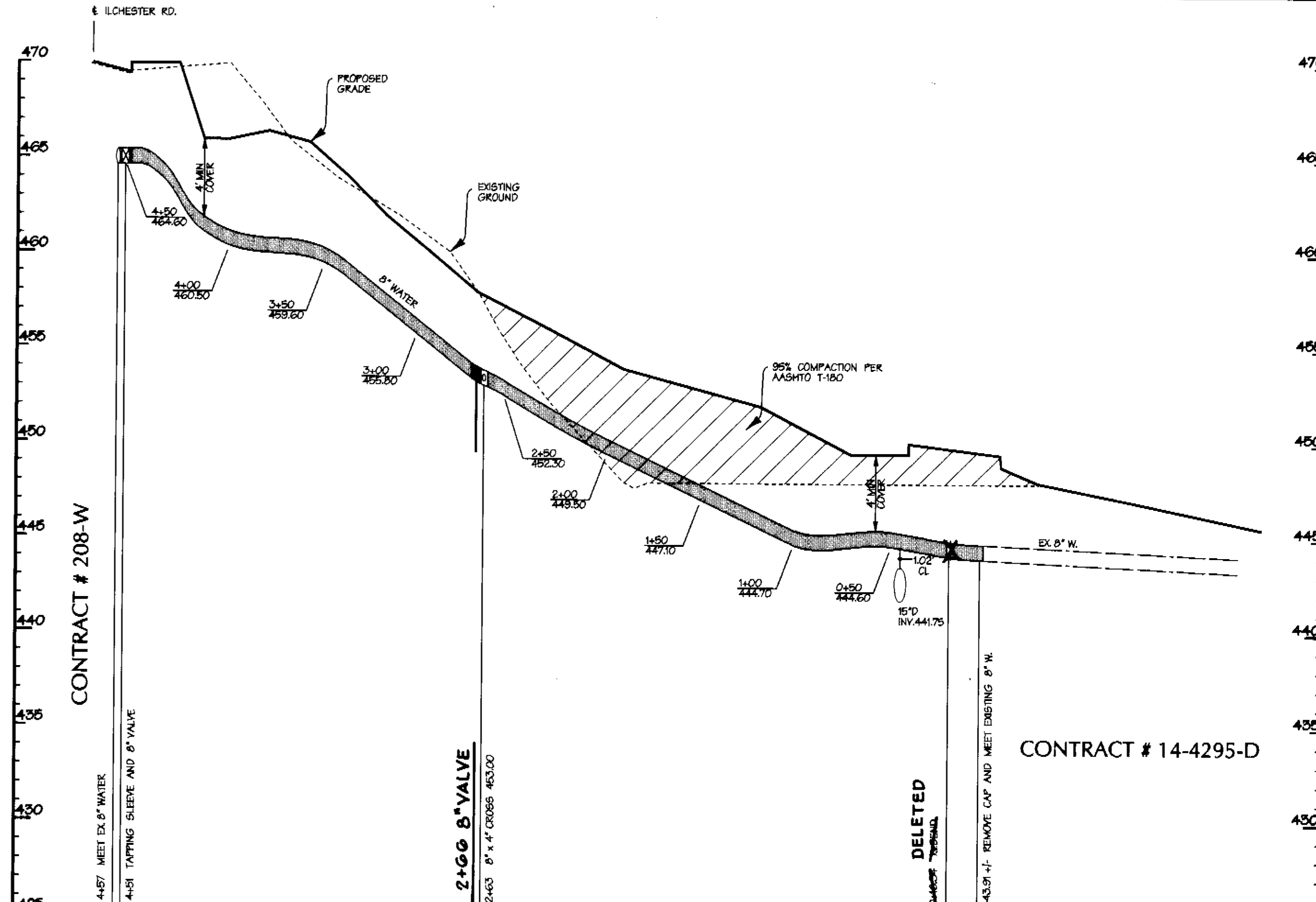
Tue Apr 25 15:33:30 2006 020597.mxd 02059W02



WATER PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



WATER PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



WATER PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

LOT #	FROM	TO	DISTANCE
1	SMH-37	SHC	8.5'
	SHC LOT 2	SHC	34.5'
	SHC LOT 4	SHC	55'
1	Ex. SMH-34	WHC	68'
	SHC LOT 9	WHC	82'
	I-2	WHC	58'
2	SMH-35	SHC	99'
	WHC LOT 4	SHC	37'
	SMH-37	SHC	36'
2	SMH-35	WHC	69.5'
	WHC LOT 8	WHC	30'
	* 4" V 7+03	WHC	77'
3	SMH-37	SHC	21'
	WHC LOT 3	SHC	13'
	SHC LOT 2	SHC	51'
3	SMH-37	WHC	21'
	SHC LOT 3	WHC	13'
	SHC LOT 2	WHC	42'
4	SMH-37	SHC	51.5'
	SHC LOT 2	SHC	32'
	WHC LOT 4	SHC	9'
4	SMH-37	WHC	60'
	SMH-35	WHC	81'
	SHC LOT 4	WHC	9'
5	SMH-35	SHC	37'
	WHC LOT 5	SHC	9'
	SHC LOT 8	SHC	33'

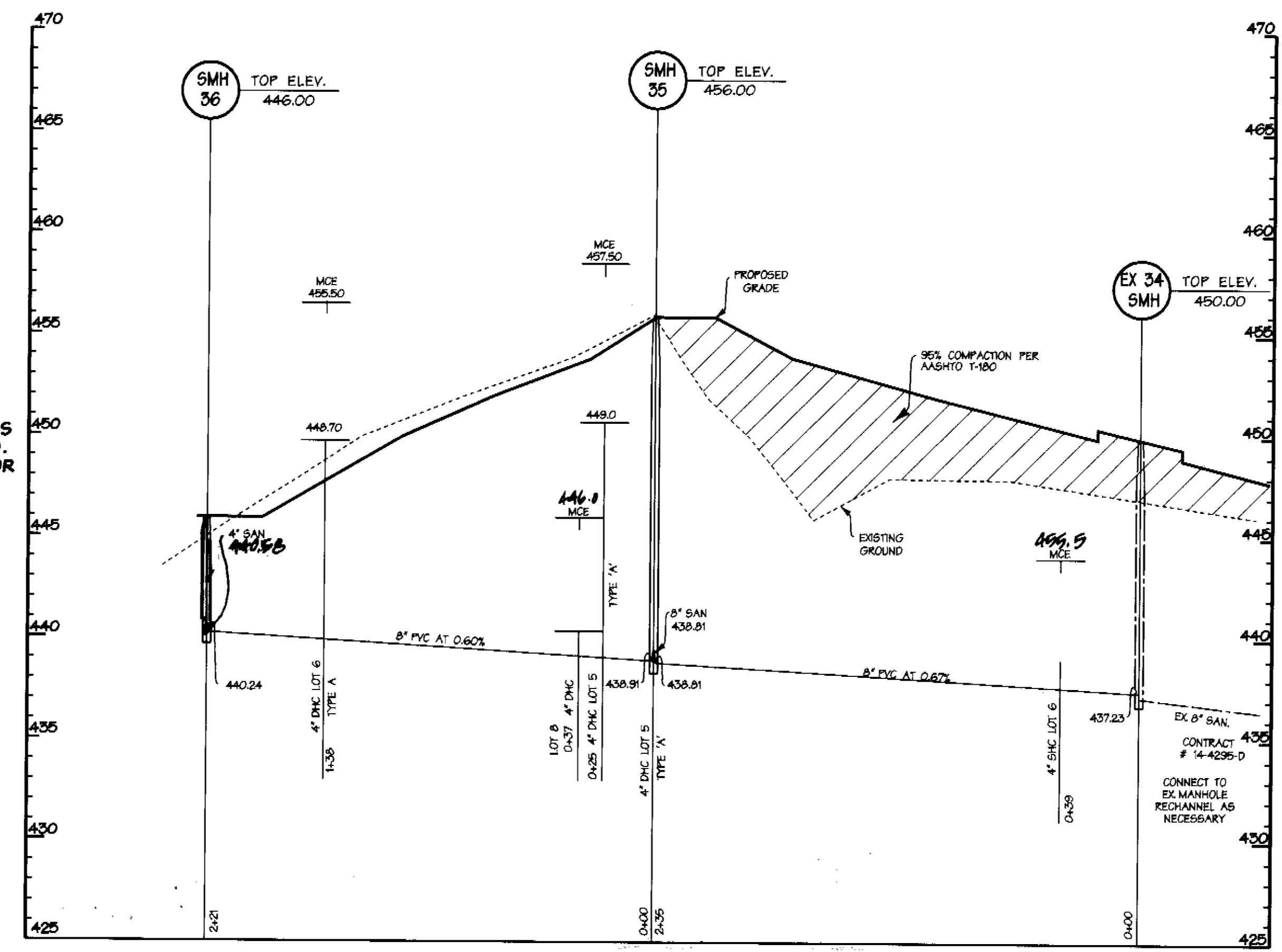
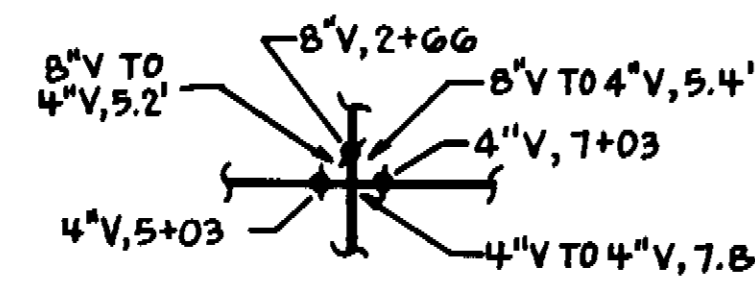
LOT #	FROM	TO	DISTANCE
6	SMH-30	SHC	83'
	WHC LOT 6	SHC	10'
	I-5	SHC	60'
6	SMH-30	WHC	73'
	SHC LOT 6	WHC	10'
	I-5	WHC	56.5'
7	SMH-30	SHC	26.5'
	WHC LOT 7	SHC	29'
	I-5	SHC	84'
7	SMH-30	WHC	27'
	SHC LOT 7	WHC	29'
	I-5	WHC	64'
8	SMH-35	SHC	41.5'
	WHC LOT 5	SHC	33'
	WHC LOT 8	SHC	58'
8	SMH-35	WHC	63'
	WHC LOT 2	WHC	30'
	SHC LOT 8	WHC	58'
9	Ex. SMH-34	SHC	51'
	M-2	SHC	66'
	** Ex. FH	SHC	94'
9	Ex. SMH-34	WHC	52'
	M-2	WHC	44'
	** Ex. FH	WHC	80.5'
10	I-4	SHC	22'
	I-3	SHC	43'
	** Ex. FH	SHC	44.4'
10	I-4	WHC	56'
	I-3	WHC	65'
	** Ex. FH	WHC	79.5'

VALVES	FROM	TO	DISTANCE
8" V	Ex. FH	8" V	42'
4+50	I-8	8" V	96'
TS&V	I-9	8" V	74'
8" V	SMH-35	8" V	20'
2+00	4" V 5+03	8" V	32'
4" V	7+03	8" V	54'
4" V	SMH-35	4" V	21'
5+03	8" V TO 4" V	4" V	32'
4" V	TO 4" V	4" V	7.8'
4" V	SMH-35	4" V	14.7'
7+03	8" V TO 4" V	4" V	5.4'
4" V	TO 4" V	4" V	7.8'

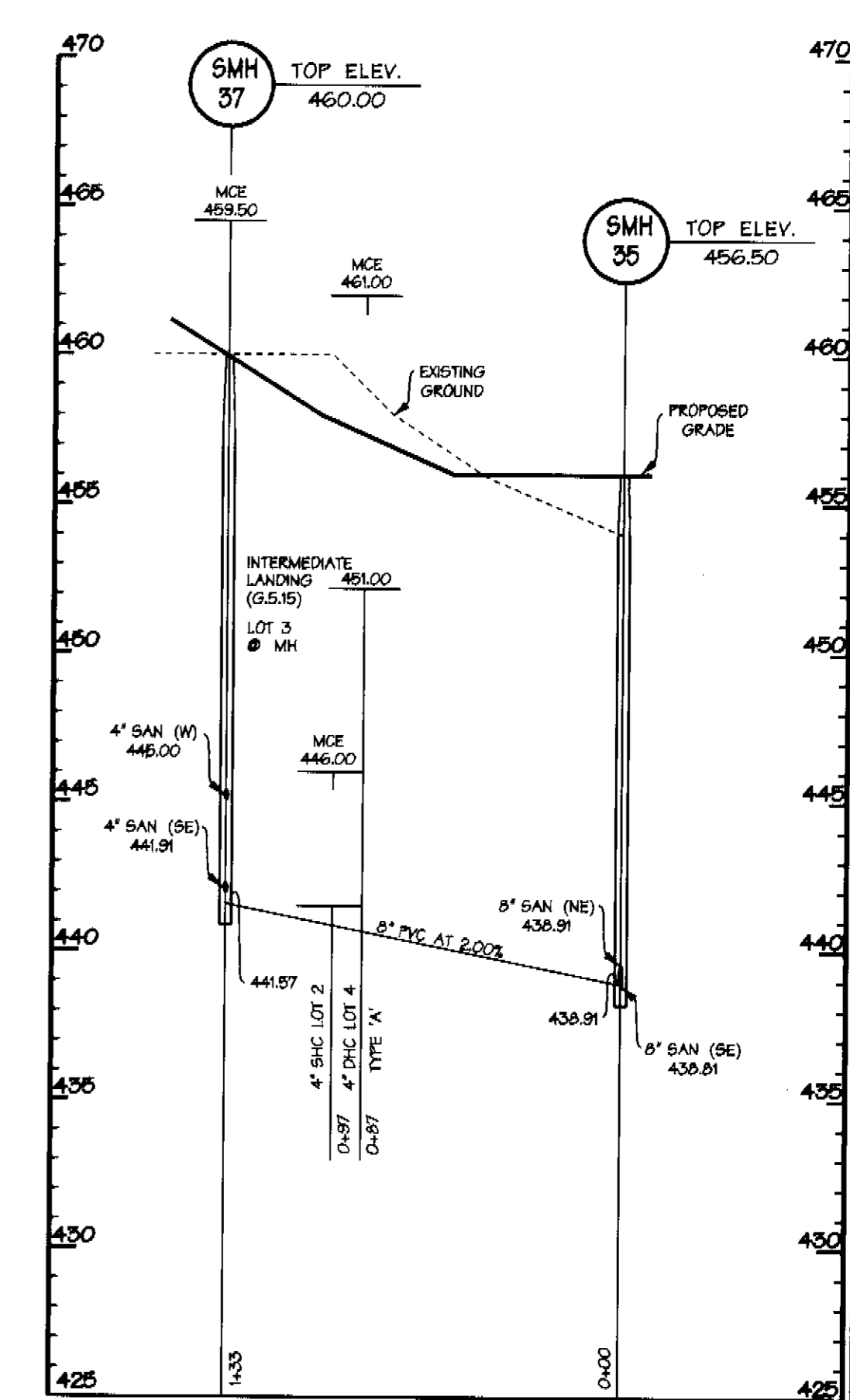
Ex. FH IN FRONT OF LOT 10 ON WINESAP WAY AND EX. FH ON ILCHESTER ROAD ACROSS FROM WHARFF LANE HAD TO BE RELOCATED. WILL RE-DO AS-BUILTS FOR VALVE BOXES FOR HOWARD COUNTY WATER DEPT.

VALVES	FROM	TO	DISTANCE
Ex. 8" V	FH	8" V	27.5'
Ex. FH	I-4	8" V	32'
W/S WAY	I-3	8" V	25'
Ex. 8" V			
Ex. FH	FH	8" V	18.8'
I-9	8" V		37'
NEW TS&V	8" V		37'

ACROSS WHARFF LANE ON ILCHESTER ROAD



SANITARY SEWER PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



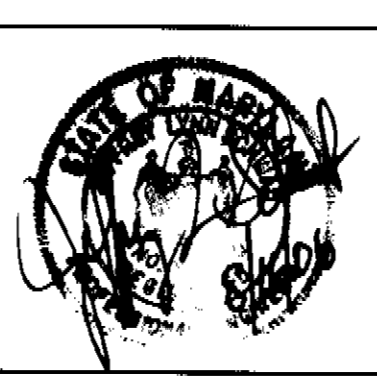
SANITARY SEWER PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

AS BUILT
DATE: SEPT. 2010

DEPARTMENT OF PUBLIC WORKS
HOWARD COUNTY, MARYLAND
R. L. B. 9-5-06
CHIEF - BUREAU OF UTILITIES - DATE

DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND
9/10/06
CHIEF - DEVELOPMENT ENGINEERING DIVISION - DATE

DMW
Dah-McCune-Walker, Inc.
A Team of Land Planners,
Landscape Architects,
Golf Course Architects,
Engineers, Surveyors &
Environmental Professionals
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax 296-4766



DESIGN BY: CRW
DRAWN BY: GMD
CHECKED BY:
DATE: 4/26/06
BY NO. REVISION DATE

FINAL WATER & SEWER PLAN
600 SCALE MAP NO. 31 BLOCK NO. 10.11.18.17

ZAISER PROPERTY
RESUBDIVISION OF NON-BUILDABLE
BULK PARCELS 'C' AND 'D'
OWNER/DEVELOPER:
James Kealty and Co. Inc.
61 E. Padonia Road
Timonium, MD 21093
CONTRACT NO. 14-4304-D LOT/PARCEL #243,072

SCALE: 1"=50'
SHEET 3 of 3