

SHEET INDEX	
NO.	DESCRIPTION
1	COVER SHEET
2	SITE LAYOUT PLAN
3	ROAD PLAN & PROFILE
4	SITE GRADING & SEDIMENT AND EROSION CONTROL PLAN
5	PRELIMINARY LANDSCAPE PLAN
6	PRELIMINARY STORMWATER MANAGEMENT PLAN

NRCS SOILS CHART - HoCo Soils Map No. 27				
SYMBOL	HSG	Kw	HYDRIC	MAP UNIT NAME
BaA	D	.32	YES	BAILE SILT LOAM, 0 - 3%
GbB	B	.20		GLADSTONE LOAM, 3% - 8%
GbC	B	.20		GLADSTONE LOAM, 8% - 15%
GfB	B	.20		GLADSTONE LOAM, URBAN LAND COMPLEX 8% - 15%
GmB	C	.37	YES	GLENNVILLE SILT LOAM, 3% - 8%

PLEASE NOTE: HIGHLY ERODIBLE, K<0.35, AND/OR 15% OR GREATER SLOPES TAKEN FROM THE NRCS WEB SOIL SURVEY.

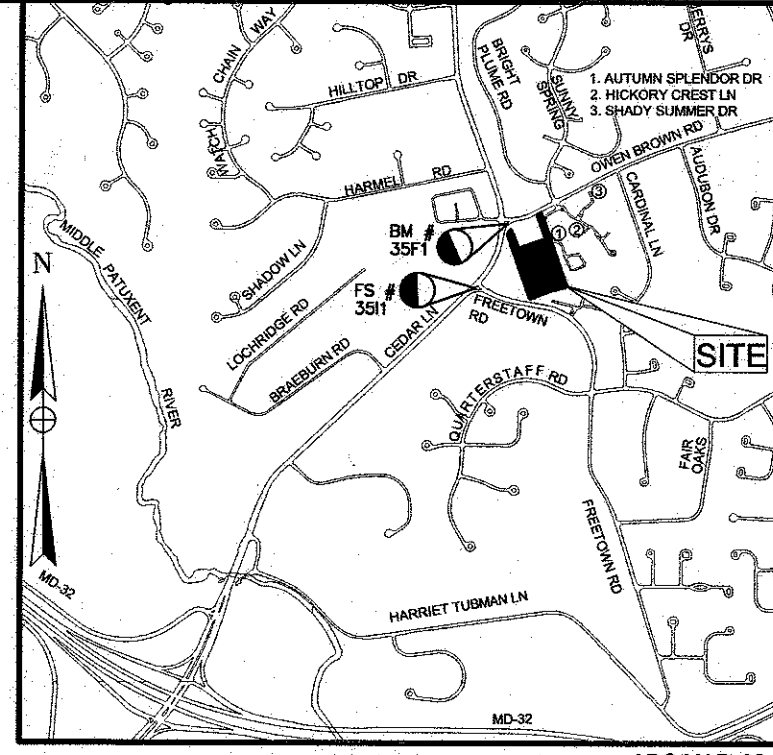
# PRELIMINARY SKETCH PLAN

## "HIDDEN RIDGE"

### LOTS 1-12 & OPEN SPACE LOT 13

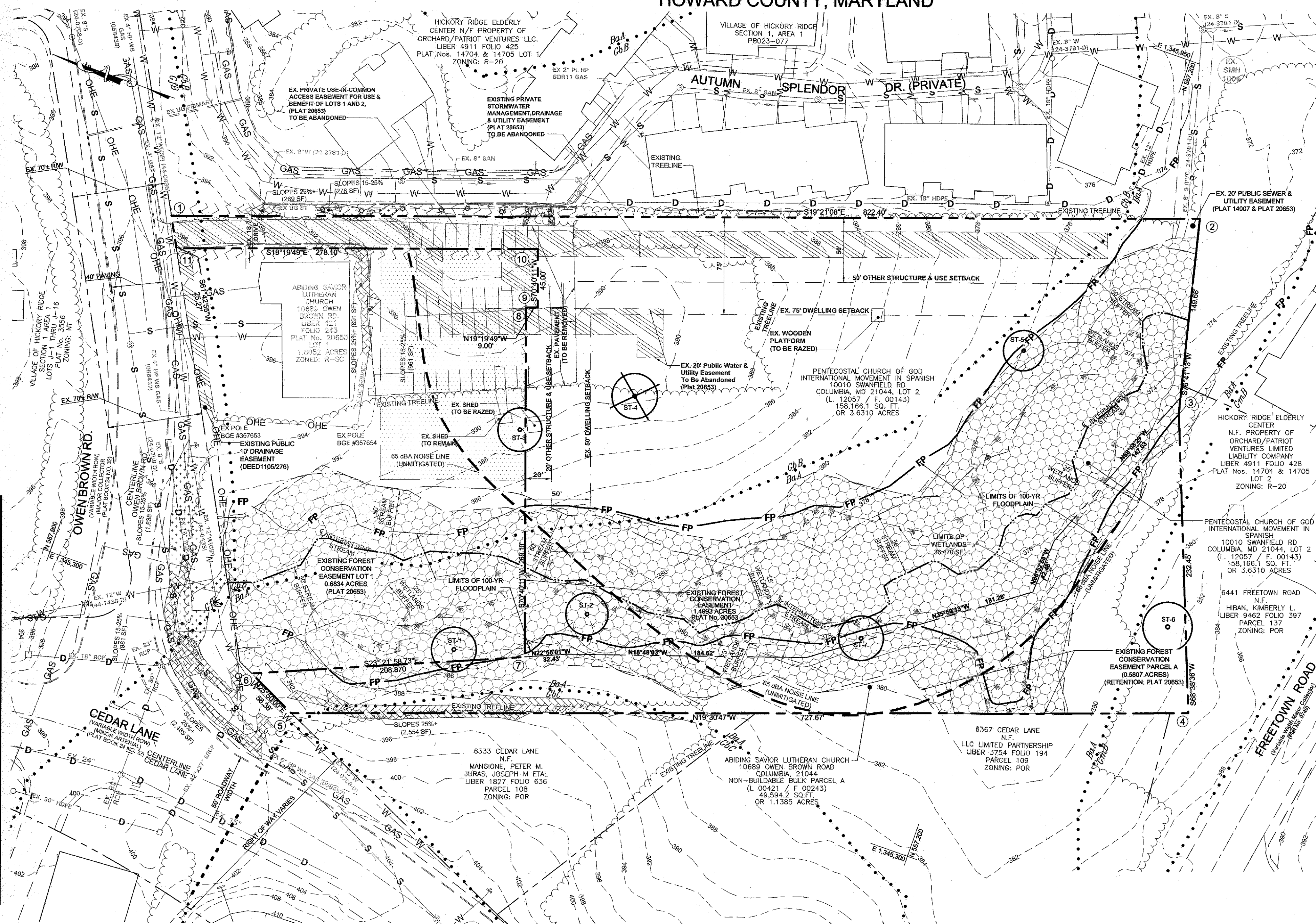
#### A RESUBDIVISION OF PLAT "ABIDING SAVIOR LUTHERAN CHURCH", LOT 2 & PARCEL A (PLAT #20652) 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

BENCH MARKS NAD '83	
HO. CO. 3911	ELEV. 400.048'
STAMPED DISC ON CONCRETE MONUMENT CORNER CEDAR LANE & FREETOWN ROAD	
N 557,110.385'	E 1,344,893.672'
HO. CO. 3951	ELEV. 400.452'
STAMPED DISC ON CONCRETE MONUMENT CORNER CEDAR LANE & OWEN BROWN ROAD	
N 557,787.369'	E 1,345,217.326'



LEGEND	
[Symbol]	STRUCTURE
[Symbol]	PROJECT BOUNDARY
[Symbol]	BOUNDARY CORNER
[Symbol]	EDGE OF ROADWAY
[Symbol]	CENTERLINE OF ROADWAY
[Symbol]	EX. TOPOGRAPHY (DEC. 2015)
[Symbol]	RIGHT OF WAY
[Symbol]	SETBACK
[Symbol]	STORM DRAIN
[Symbol]	SANITARY MAIN
[Symbol]	WATER MAIN
[Symbol]	GAS MAIN
[Symbol]	OHE
[Symbol]	OVERHEAD ELECTRIC
[Symbol]	SANITARY MANHOLE
[Symbol]	STORM DRAIN MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	TREELINE
[Symbol]	CENTERLINE OF STREAM
[Symbol]	STREAM BUFFER
[Symbol]	WETLAND
[Symbol]	100 YR. FLOODPLAIN
[Symbol]	SOILS DELINEATION
[Symbol]	SOIL SYMBOL
[Symbol]	WETLANDS BUFFER
[Symbol]	SLOPES 15-25%
[Symbol]	SLOPES 25% OR GREATER
[Symbol]	ACCESS EASEMENT
[Symbol]	UTILITY EASEMENT TO BE ABANDONED
[Symbol]	FOREST CONSERVATION
[Symbol]	POWER POLE
[Symbol]	EX. SPECIMEN TREE
[Symbol]	EX. SPECIMEN TREE TO BE REMOVED

SITE ANALYSIS DATA CHART	
SINGLE FAMILY ATTACHED TOWNHOUSES	
Zoned: R-SC MEDIUM DENSITY RESIDENTIAL	
Gross Area - Existing Use: Vacant	4,769 ac.
100 yr. Floodplain	1,652 ac.
Steep Slopes 25%	0.049 ac.
Highway Widening	0.000 ac.
Net Area	3,068 ac.
Number of lots allowed 4 D.U. per Net Ac.	12 du
Number of SFA units proposed	12 du
Total proposed lots area	0.58 ac.
Total proposed road area	0.42 ac.
Total impervious area (within boundary)	0.85 ac.
Total forest area	2.47 ac.
Area of public right-of-way	0.00 ac.
<b>Open Space Calculations</b>	
Area of Open Space Required (25% of Gross)	1.19 ac.
Area of Open Space Provided (Credited)	4.00 ac.
Area of Open Space Provided (Total)	4.21 ac.
Recreational Open Space Required 400 sf/unit	4800 sf
Recreation Open Space Provided	4800 sf
<b>PARKING SPACE DISTRIBUTION</b>	
Parking Space Required: 2 Spaces per townhouse	24 sp
Visitor Parking Required: 0.5 space per townhouse	6 sp
Total Parking Spaces Provided	42 sp



- ### GENERAL NOTES:
- THE SUBJECT PROPERTY IS ZONED R-SC PER THE 10616'S ZONING REGULATIONS.
  - THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH A MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY: MID-ATLANTIC PROFESSIONAL SURVEYS, DATED: DECEMBER 3, 2016. OFF-SITE AREAS HAVE BEEN SUPPLEMENTED WITH HO.CO. GIS TOPOGRAPHICAL INFORMATION.
  - THE COORDINATES SHOWN ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. BM # 35FA AND BM # 35FP WERE USED FOR THIS PROJECT.
  - THIS SITE IS WITHIN THE METROPOLITAN DISTRICT: WATER IS PUBLIC PER CONTRACT NO. 24-0708-D SEWER IS PUBLIC PER CONTRACT NO. 24-3781-D
  - PROPOSED STORMWATER MANAGEMENT CONTROLS: M-8 MICRO-BIORETENTION, N-3 SHEET FLOW TO CONSERVATION AREA, M-5 DRY WELLS. OWNERSHIP AND MAINTENANCE RESPONSIBILITY FALL UNDER HIDDEN RIDGE HOA.
  - EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM APPROVED CONTRACT DRAWINGS AND FIELD SURVEYED LOCATIONS. IF NECESSARY, THE CONTRACTOR SHALL ADJUST ANY OR ALL STRUCTURE TOP ELEVATIONS TO MATCH PROPOSED GRADES.
  - THE FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY MASER CONSULTING P.A., DATED JANUARY 5, 2017.
  - THE WETLAND DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY CHRISTOPHER CONSULTANTS PER THE APPROVED PLAT # 20653 (F-08-123) DATED, JULY 02, 2009, REPORT DATED AUGUST 30, 2009. A RE-EVALUATION WAS PERFORMED BY TMT ENVIRONMENTAL, INC. ON NOVEMBER 14, 2017 AND APPROVED ON JANUARY 19, 2018.
  - THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY LENHART CONSULTING, INC., DATED JANUARY 5, 2017 AND APPROVED ON JANUARY 19, 2018.
  - THE NOISE STUDY FOR THIS PROJECT WAS PREPARED BY STRAUGHAN ENVIRONMENTAL, INC., DATED JANUARY, 2017 AND APPROVED ON JANUARY 19, 2018.
  - THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY MAFI & ASSOCIATES, INC., DATED DECEMBER 19, 2015 AND APPROVED ON JANUARY 19, 2018.
  - WP-17-099, A REQUEST TO WAIVE SECTIONS 16.120(C)(4), 16.120(B)(6)(VI), 16.134(A)(1), 16.1205(A)(7), 16.134(a)(1) AND 110.010(D)(1)(3) OF THE HOWARD COUNTY SUBDIVISION REGULATIONS WAS APPROVED ON NOVEMBER 27, 2017 WITH THE FOLLOWING CONDITIONS:
    - THE PRIVATE ROAD SHALL BE OWNED AND MAINTAINED BY THE HOA FOR THE COMMUNITY AND A COMMON ACCESS EASEMENT SHALL BE RECORDED ON IT.
    - AN ADEQUATE TURNAROUND OR SIMILAR DESIGN AS APPROVED BY DEED, DPW, DFPS SHALL BE LOCATED AT THE END OF THE PRIVATE ROAD FOR EMERGENCY VEHICLES, TRASH HAULING SERVICES AND OTHER LARGE VEHICLES THAT NEED TURNAROUND SPACE. THE TURNAROUND SPACE SHALL BE SIGNED TO NOT ALLOW PARKING BY RESIDENTS IN THIS AREA.
    - THE DEVELOPER SHALL WORK WITH THE AUTUMN SPLENDOR COMMUNITY TO PLANT LANDSCAPING ON THEIR PROPERTY ADJACENT TO THE NEW PRIVATE ROAD TO FURTHER SCREEN THE ROAD.
    - THE DEVELOPER SHALL WORK WITH ABIDING SAVIOR CHURCH TO PROVIDE LANDSCAPING ON ITS PROPERTY TO BUFFER THE NEW PRIVATE ROAD.
    - THE SPECIMEN TREE TO BE REMOVED SHALL BE REPLACED WITH THE PLANTING OF TWO NEW RED OAK TREES ON THE PROPERTY AS MITIGATION.
    - ANY FENCE TO THE NORTH OF THE PRIVATE ROAD WILL REQUIRE A MAINTENANCE EASEMENT ON THE ADJOINING PROPERTY.
  - ON APRIL 4, 2017 THE CHIEF OF DEVELOPMENT ENGINEERING DIVISION APPROVED A DESIGN MANUAL WATER, VOLUME III, APPENDIX A, NOTE #5, APPROVED, DATED MARCH 17, 2017, REDUCTION IN PAVEMENT WIDTH FROM 26' TO 24' SUBJECT TO THE FOLLOWING CONDITIONS:
    - 24' WIDTH FOR THE ACCESS ROAD FROM OWEN BROWN ROAD TO THE END OF THE PIPESTEM PORTION OF THE PROPERTY (APPROXIMATELY 280') WHERE THE DRIVEWAY SHALL BE TRANSITIONED TO 20' FOR THE REMAINING PART OF THE DEVELOPMENT DUE TO THE 25' WIDTH OF THE PIPESTEM.
    - THE PROPOSED CURVES FROM THE PIPESTEM SHALL MEET THE MINIMUM 45' RADIUS FOR EMERGENCY VEHICLE ACCESS.
    - A TURNAROUND SHALL BE PROVIDED AT THE END OF THE ROAD. THE ENTIRE ROAD SHALL HAVE CURB AND GUTTER ALONG BOTH SIDES. FOR THE SIDES WITH GARAGE UNITS, THE CURB AND GUTTER CAN BE THE MODIFIED COMBINATION CURB AND GUTTER (R-3.01).
    - THE ENTRANCE CURB, WHERE THE PROPOSED ROAD MEETS OWEN BROWN ROAD, SHALL MEET CURRENT RADI REQUIREMENTS. IF THE CURB AND GUTTER ENCLOSES ONTO THE ADJACENT PROPERTIES, THE APPROPRIATE PRIVATE ACCESS EASEMENTS SHALL BE OBTAINED FROM THE APPROVAL OF THE SITE DEVELOPMENT PLAN.
    - THE ONSITE ROAD SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. NO PUBLIC MAINTENANCE SHALL BE PROVIDED FOR THE ROAD IN THIS DEVELOPMENT.
  - WP-17-132, A CONSIDERATION TO AN EXTENSION FOR RESUBMITTAL DUE TO EXTRAORDINARY HARDSHIP OR PRACTICAL DIFFICULTIES. IMPLEMENTATION OF ALTERNATIVE PROPOSAL, DETRIMENT TO THE PUBLIC INTERESTS AND NULLIFIES THE INTENT OR PURPOSE OF THE REGULATION WAS APPROVED BY THE DIRECTOR OF PLANNING & ZONING, ON AUGUST 15, 2017 SUBJECT TO THE FOLLOWING CONDITIONS:
    - THE REVISED PRELIMINARY EQUIVALENT SKETCH PLAN MUST BE SUBMITTED (90 DAYS FROM THE ORIGINAL SUBMITTAL DATE OF JUNE 30, 2017) ON OR BEFORE SEPTEMBER 21, 2017.
    - THE NEW INFORMATION REQUESTED FOR THE ALTERNATIVE COMPLIANCE REQUEST WP-17-099 MUST BE SUBMITTED 90 DAYS FROM THE RESUBMISSION DEADLINE OF JUNE 23, 2017 TO SEPTEMBER 21, 2017. CORRESPONDENCE OF EXTENSION MUST BE INCLUDED WITH RESUBMISSION MATERIAL.
    - INCLUDE ALTERNATIVE COMPLIANCE REQUEST NUMBER, DESCRIPTION, AND DECISION ON ALL ASSOCIATED AND FUTURE PLANS.
  - TRAFFIC CONTROL DEVICES:
    - THE R1-1 ("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
    - THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES. ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
    - ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MDMUTCD).
    - ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (1/2 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
  - MAINTENANCE OF TRAFFIC (MOT) FOR THIS SITE SHALL BE PROVIDED AT FINAL PLAN STAGE.
  - PER ZONING SECTION 108.0.E, 10% OF THE TOTAL NUMBER OF UNITS MUST BE DESIGNATED AS MIHUs. THE MIHU LOTS WILL BE DESIGNATED, AT THE FINAL PLAN STAGE OR A FEE-IN-LIEU SHALL BE PAID.
  - PER SECTION 120.0.D.1.a, THE MAXIMUM MAXIMUM LIMITATIONS SHALL APPLY:
    - PRINCIPLE STRUCTURE... 34 FT (HOWEVER, THE MAXIMUM HEIGHT FOR SINGLE FAMILY ATTACHED DWELLINGS WITH GABLE, HIP OR GAMBRIL ROOFS SHALL BE 40 FEET).
    - ACCESSORY STRUCTURES... 15 FEET.
  - APPLICABLE DPZ FILE NUMBERS: ECP-16-043, WP-17-099, WP-17-132, F-08-123, SDP-08-068.
  - A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON FEBRUARY 8, 2017 IN COMPLIANCE WITH SECTION 16.128 OF THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
  - FINANCIAL SURETY IN THE AMOUNT OF \$18,880 DOLLARS FOR THE REQUIRED PERIMETER LANDSCAPING AND FENCING SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPERS AGREEMENT WITH THE HOWARD COUNTY.

LOT COVERAGE CHART		
Lot #	Lot Area (SF)	Lot Coverage
1	3,151	26.8%
2	1,761	48.0%
3	1,710	49.5%
4	1,709	49.5%
5	1,709	49.5%
6	2,391	35.4%
7	2,391	35.4%
8	1,709	49.5%
9	1,709	49.5%
10	1,709	49.5%
11	1,709	49.5%
12	2,391	35.4%

UNIT DENSITY TABULATIONS						
Ho. Co.	ZONING	MIN. LOT SIZE	SITE ACREAGE			MAX No. of UNITS
			GROSS	100 YR. FP.	STEEP SLOPES	
SP-17-008	R-SC	4,769	1,652	0.049	3,068	4 UNITS PER NET ACRE
						MAX UNITS ALLOWED
						SFA PROVIDED

COORDINATE POINT TABLE		
POINT No.	NORTHING	EASTING
1	557898.8131	1345575.5768
2	557152.1700	1345837.8100
3	557120.3071	1345703.1574
4	557033.0487	1345475.6591
5	557683.4880	1345245.1600
6	557722.4248	1345264.0108
7	557528.9359	1345346.0042
8	557618.0182	1345699.9372
9	557609.5256	1345602.9163
10	557624.4222	1345645.3824
11	557886.9285	1345653.4880

ZONING SETBACK REQUIREMENTS	
SETBACK TYPE	SETBACK
FROM VICINAL PROPERTIES - FROM R-20	SINGLE FAMILY ATTACHED
Dwelling Units	75'
Other Structures and Uses	50'
IF PROJECT IS ADJACENT TO R-SC ZONING	
Dwelling Units	50'
Other Structures and Uses	20'
MIN. DISTANCE BETWEEN SING FAMILY ATTACHED BUILDINGS	
Face to Face	30'
Face to Side / Rear to Side	30'
Side to Side	15'
Rear to Rear	60'
Rear to Face	100'

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY, MARYLAND

*William J. Kelly* 3-7-18  
PLANNING DIRECTOR

OWNER/DEVELOPER:  
**KB COMPANIES, INC.**  
7 OLD CISTERN COURT  
CATONSVILLE, MD 21228  
PHONE: 703-556-9569  
ATTN: PATRICK BYRNE

PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 36065  
Exp. Date: 6-26-2018

**Phoenix Engineering**  
21132 Old York Road  
Parriston, MD 21120  
410.329.1150  
www.phoenix-eng.com

DESIGNER	DATE	DESCRIPTION	DATE
DES: K.P.M. N.A.F.			
DRN: K.P.M. N.A.F.			
CHK: K.M.W.			
BY	NO.	DESCRIPTION	DATE

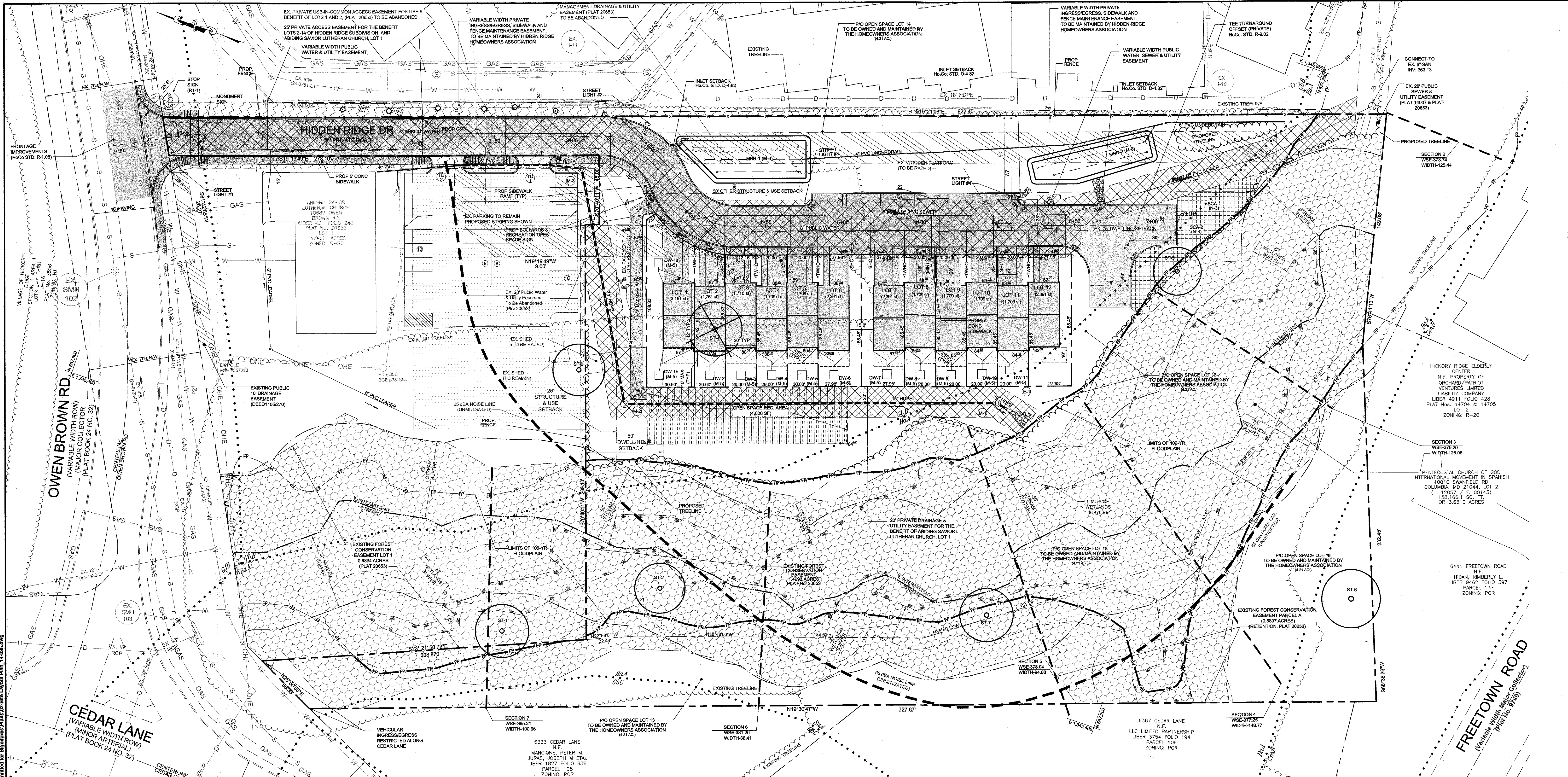
**HIDDEN RIDGE**  
LOTS 1-12 & OPEN SPACE LOT 13  
A RESUBDIVISION OF PLAT  
ABIDING SAVIOR LUTHERAN CHURCH  
LOT 2 & NON-BUILDABLE PARCEL 'A'  
PLAT #20652-53  
ZONING: R-SC-MEDIUM DENSITY RESIDENTIAL  
TAX MAP: 35 GRID: 18 PARCEL: 238 DISTRICT: 06  
ACCURACY: 454546 LIBER: 12057 FOLIO: 143 PLAT: 20652-53  
CENSUS TRACT: 605602 CENSUS BLOCK: 3

SCALE: 1" = 50'

DRAWING NO. 1 OF 6

600' SCALE MAP NO. 35 GRID NO. 18





**SITE LAYOUT PLAN**  
SCALE: 1"=30'

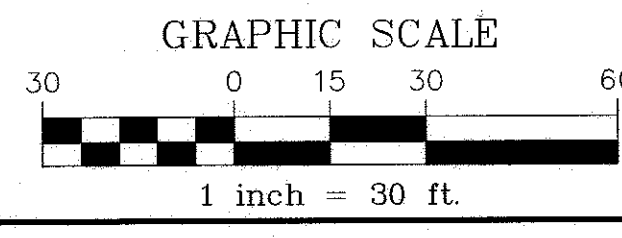
**LEGEND EXISTING**

- STRUCTURE
- PROJECT BOUNDARY
- CENTER LINE OF ROAD
- RIGHT OF WAY
- SETBACK (BRL)
- TREELINE
- CENTERLINE OF STREAM
- STREAM BUFFER
- WETLAND
- 100 YR. FLOODPLAIN
- SOILS DELINEATION
- SOIL SYMBOL
- WETLANDS BUFFER
- ACCESS EASEMENT
- UTILITY EASEMENT TO BE ABANDONED
- FOREST CONSERVATION
- POWER POLE
- EX. SPECIMEN TREE
- EX. ECIMEN TREE TO BE REMOVED

**LEGEND PROPOSED**

- DWELLING UNIT WITH DECK
- IMPERVIOUS SURFACE
- LOT BOUNDARY
- TREELINE
- SHEET FLOW TO CONSERVATION
- OPEN SPACE RECREATION AREA
- UTILITY EASEMENT
- PRIVATE INGRESS/EGRESS & SIDEWALK MAINTENANCE EASEMENT
- SIDEWALKS
- CROSSWALK
- 8" W WATER WATER
- TWIN WATER HOUSE CONNECTION
- FIRE HYDRANT
- WATER VALVE
- STORM DRAIN
- PROPOSED SEWER
- SANITARY HOUSE CONNECTION
- TRANSFORMER PAD
- PRIVACY FENCE
- STREET LIGHT

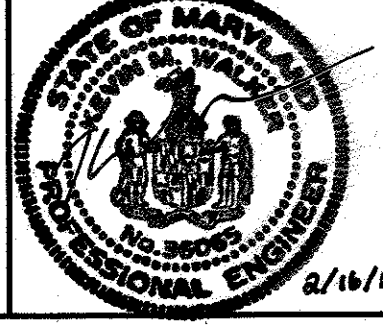
STREET LIGHT SCHEDULE		
STREET LIGHT	LOCATION	REMARKS
1	CL STA. 0+44.02, OFFSET RIGHT	LED-100 COLONIAL POST-TOP FIXTURE MOUNTED ON A 1" BLACK FIBERGLASS POLE
2	CL STA. 3+42.65, OFFSET LEFT	
3	CL STA. 4+75.58, OFFSET LEFT	
4	CL STA. 6+17.59, OFFSET LEFT	



PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 36065  
Exp. Date: 6-28-2018

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY, MARYLAND  
*Walter J. ...* 3-7-18  
PLANNING DIRECTOR DATE

OWNER/DEVELOPER:  
**KB COMPANIES, INC.**  
7 OLD CISTERN COURT  
CATONSVILLE, MD 21228  
PHONE: 703-559-9569  
ATTN: PATRICK BYRNE



ENGINEER:  
**Phoenix Engineering**  
21132 Old York Road  
Parkton, MD 21120  
410.329.1150  
www.phoenix-eng.com

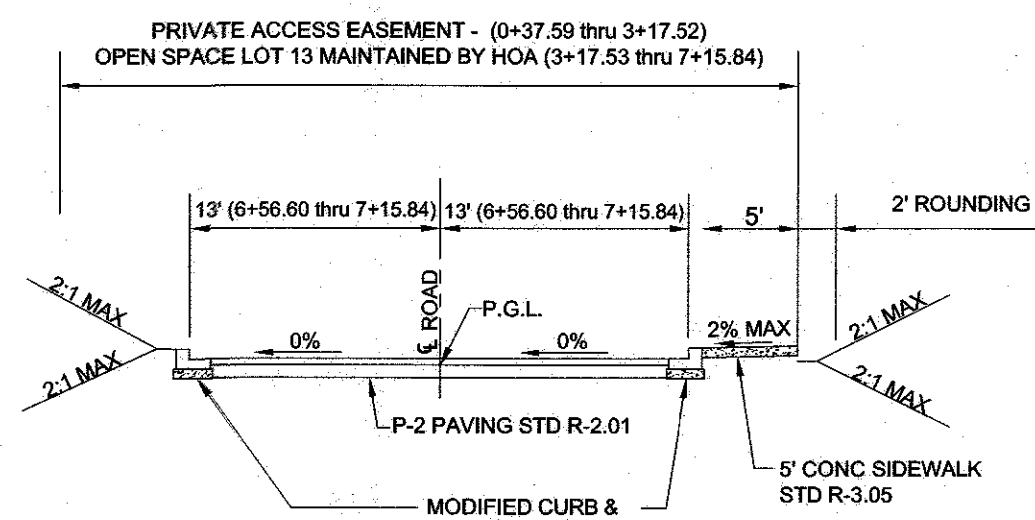
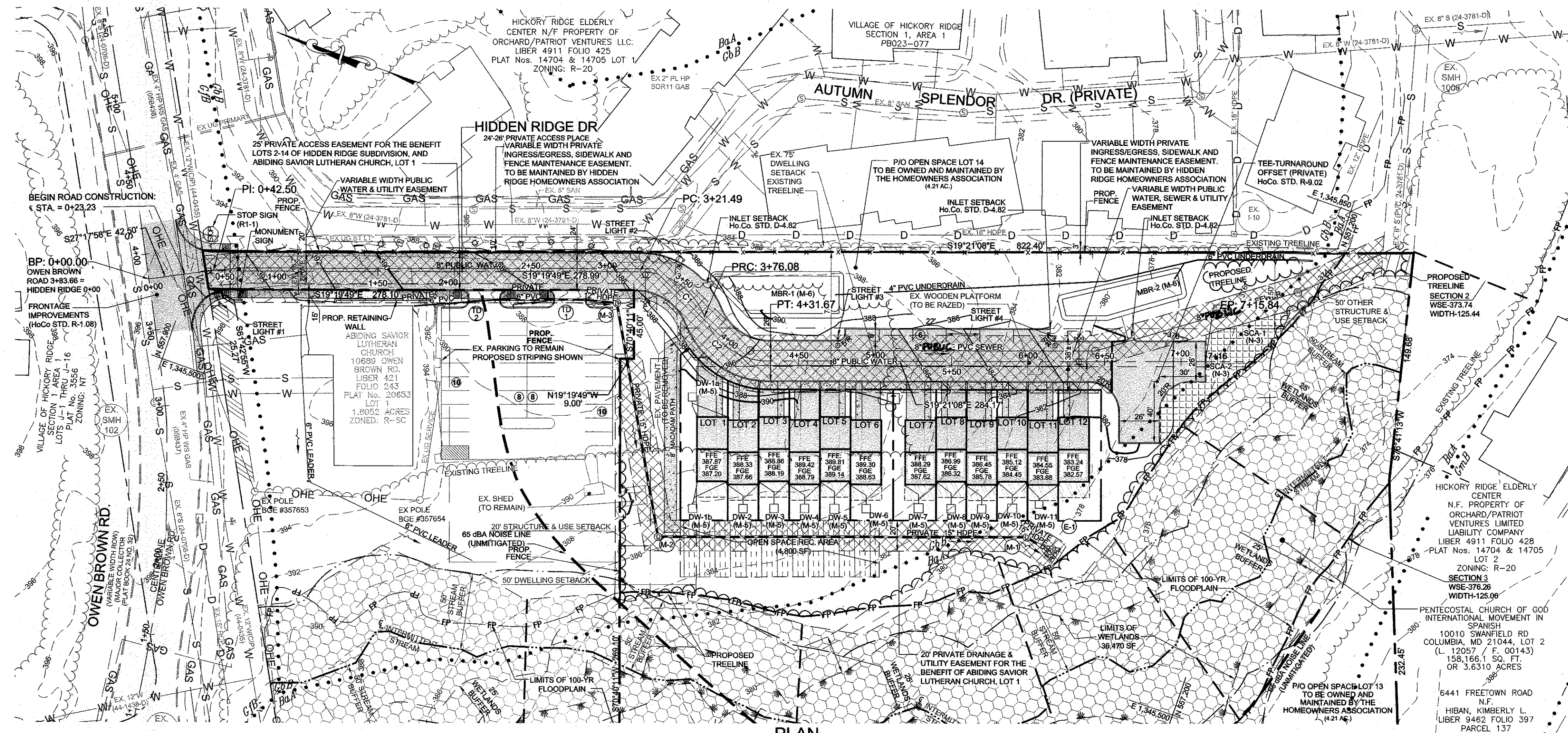
DES.	DRN.	CHK.	BY	NO.	DESCRIPTION	DATE
K.P.M.	K.P.M.	K.M.W.				

**SITE LAYOUT PLAN**  
600' SCALE MAP NO. 35 GRID NO. 18

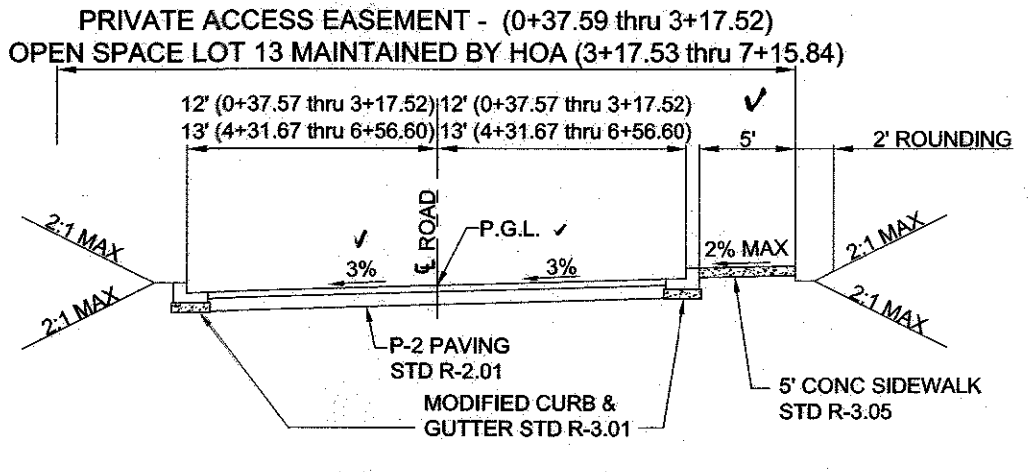
**HIDDEN RIDGE**  
LOTS 1-12 & OPEN SPACE LOT 13  
A RESUBDIVISION OF PLAT  
ABIDING SAVIOR LUTHERAN CHURCH  
LOT 2 & NON-BUILDABLE PARCEL 'A'  
PLAT #20652-53  
ZONING: R3C-MEDIUM DENSITY RESIDENTIAL  
TAX MAP: 35 GRID: 18 PARCEL: 238 DISTRICT: 05  
ACCOUNT #: 454549 LIBER: 12057/FOLIO: 143 PLAT: 20652-53  
CENSUS TRACT: 05062 CENSUS BLOCK: 3

SCALE: 1" = 30'  
DRAWING NO. 2 OF 6  
PROJ: 14-035 DATE: 01/19/2018





**TYPICAL ROADWAY SECTION**  
(DESIGNED AS A PUBLIC ACCESS STREET)  
DESIGN SPEED 20 MPH  
SCALE: 1" = 30'  
HIDDEN RIDGE ROAD

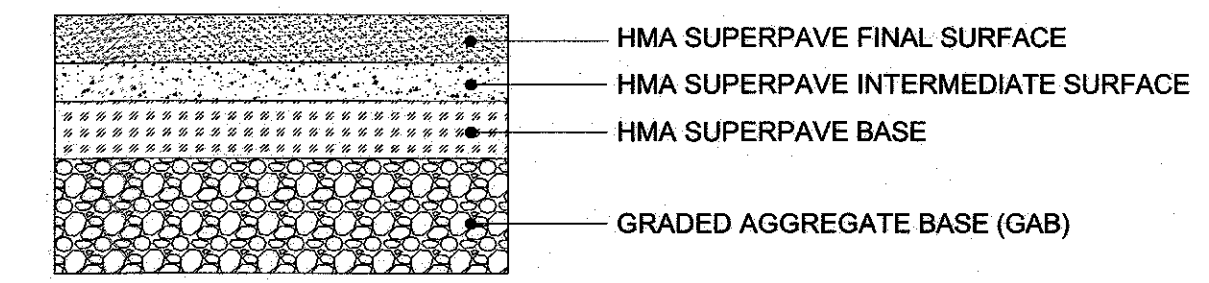


**TYPICAL ROADWAY SECTION**  
(DESIGNED AS A PUBLIC ACCESS STREET)  
DESIGN SPEED 20 MPH  
SCALE: 1" = 30'  
HIDDEN RIDGE ROAD

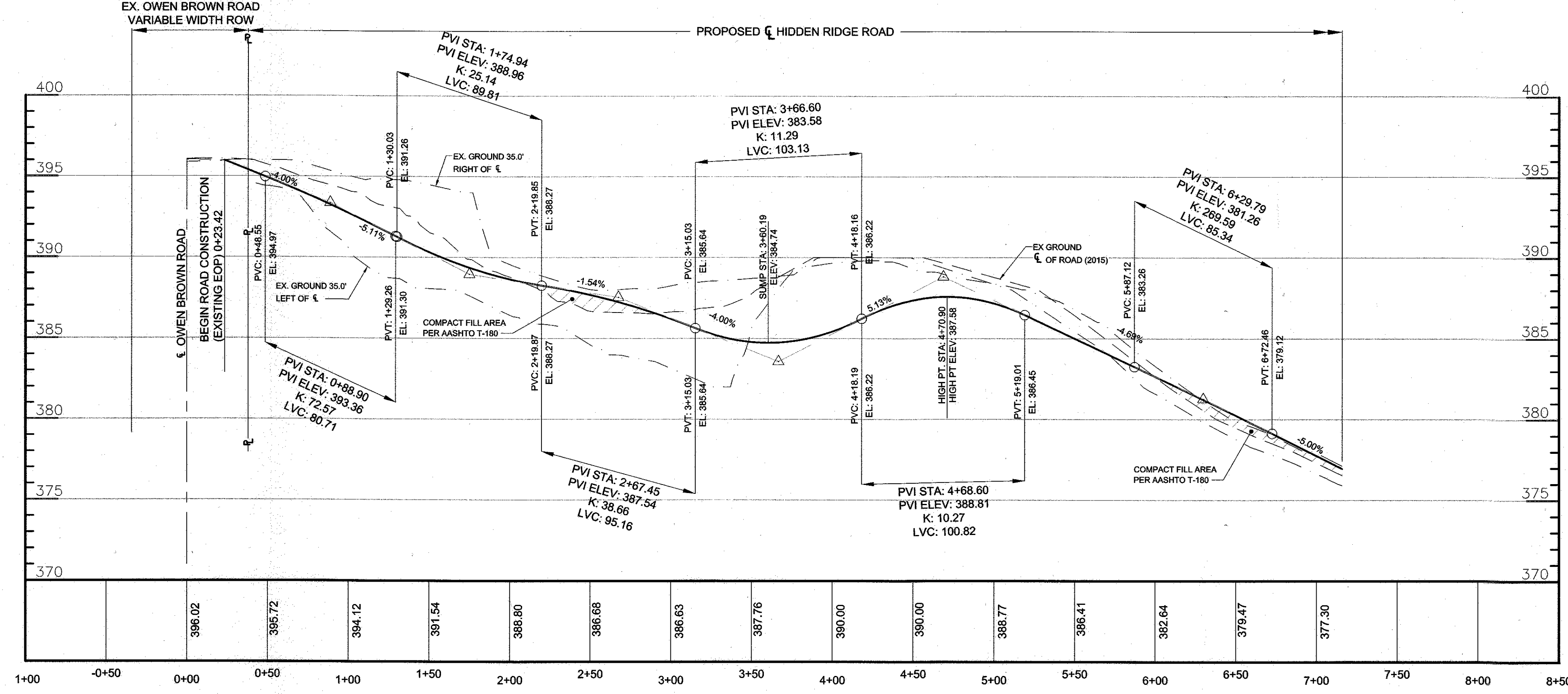
**PLAN**  
SCALE: 1" = 50'

**LEGEND**

- STRUCTURE
- PROJECT BOUNDARY
- EX. TREELINE
- PROPOSED TREELINE
- SHEET FLOW TO CONSERVATION
- OPEN SPACE RECREATION AREA
- UTILITY EASEMENT
- PRIVATE INGRESS/EGRESS & SIDEWALK MAINTENANCE EASEMENT
- SIDEWALKS
- CROSSWALK
- 380 EX. TOPOGRAPHY (DEC. 2015)
- 390 PROP. TOPOGRAPHY
- 376
- 8" W WALL
- WATER MAIN
- FIRE HYDRANT
- PROPOSED STORM DRAIN
- 8" SAN
- SANITARY MAIN
- TRANSFORMER PAD
- STREET LIGHT
- PRIVACY FENCE

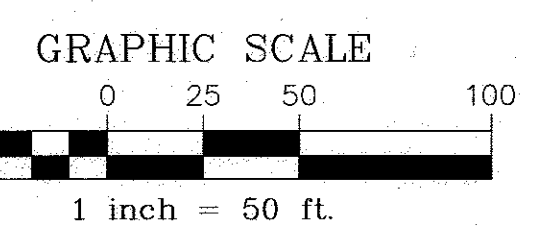


**TYPICAL PAVEMENT SECTION**  
P-2 PAVING SECTION  
NOT TO SCALE  
(PAVING SECTION BASED ON CBR (SEE BELOW))



**HIDDEN RIDGE ROAD PROFILE**

PRIVATE ACCESS PLACE  
DESIGN SPEED: 25 mph  
SCALE: H:1"=50'  
V:1"=5'

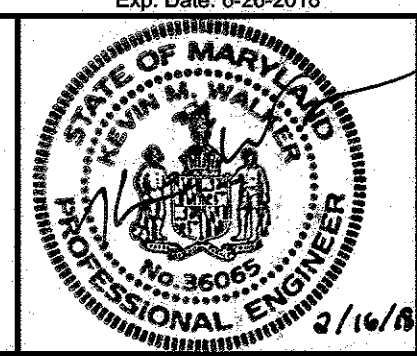


SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO <5			5 TO <7			>7		
			PAVEMENT MATERIAL (INCHES)	MIN HMA WITH GAB	HMA WITH CONSTANT GAB	MIN HMA WITH GAB	HMA WITH CONSTANT GAB	MIN HMA WITH GAB	HMA WITH CONSTANT GAB		
P-2	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET CUL-DE-SAC: RESEIDENTIAL	HMA SUPERPAVE FINAL SURFACE 9.5 MM PG 64-22, LEVEL 1 (LOW ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	
		HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM PG 64-22, LEVEL 1 (LOW ESAL)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	
		HMA SUPERPAVE BASE 9.5 MM PG 64-22, LEVEL 1 (LOW ESAL)	2.0	2.0	2.0	3.5	2.0	2.0			
		GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0			

CENTERLINE CURVE DATA								
CURVE	ALIGNMENT	STATION	RADIUS	ARC	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	HIDDEN RIDGE	54.59 TO 7+15.84	45.00	54.59'	69°30'08"	31.22'	S15°25'15"W	51.30'
C2	HIDDEN RIDGE	55.59 TO 7+15.84	45.03	55.59'	70°43'58"	31.96'	S14°47'48"W	52.12'

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY, MARYLAND  
*N. J. ...*  
PLANNING DIRECTOR  
3-7-18  
DATE

OWNER/DEVELOPER:  
**KB COMPANIES, INC.**  
7 OLD CISTERN COURT  
CATONVILLE, MD 21228  
PHONE: 703-556-9569  
ATTN: PATRICK BYRNE



ENGINEER:  
**Phoenix Engineering**  
21132 Old York Road  
Parkton, MD 21120  
410.329.1150  
www.phoenix-eng.com

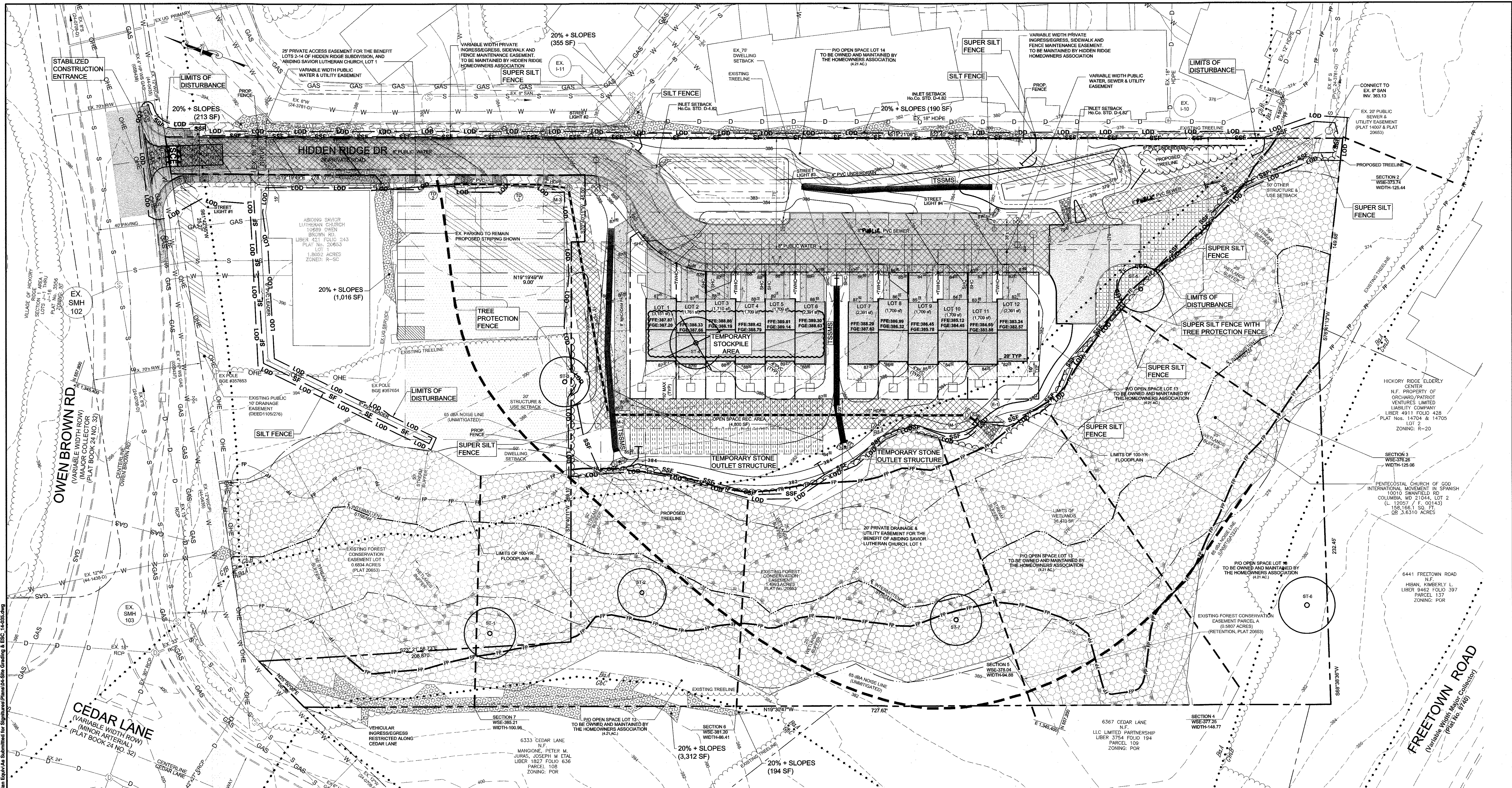
BY	NO.	DESCRIPTION	DATE
DES: K.P.M.	N.A.F.		
DRN: K.P.M.	N.A.F.		
CHK: K.M.W.			

**ROAD PLAN & PROFILE**  
600' SCALE MAP NO. 35 GRID NO. 18

**HIDDEN RIDGE**  
LOTS 1-12 & OPEN SPACE LOT 13  
A RESUBDIVISION OF PLAT  
ABIDING SAVIOR LUTHERAN CHURCH  
LOT 2 & NON-BUILDABLE PARCEL 'A'  
PLAT #20652-53  
ZONING: R-3C-MEDIUM DENSITY RESIDENTIAL  
TAX MAP: 35 GRID: 18 PARCEL: 238 DISTRICT: 05  
ACCOUNT #: 454549 LIBER: 12057/FOLIO: 143 PLAT: 20652-53  
CENSUS TRACT: 60502 CENSUS BLOCK: 3  
SCALE: 1" = 50'  
DRAWING NO. 3 OF 6  
PROJ: 14-035 DATE: 01/19/2018

PATH: G:\14-035 Kirby - 10688 Owen Brown Rd - Hidden Ridge\Plan\03-Road Plan\_14-035.dwg





**SITE GRADING & EROSION AND SEDIMENT CONTROL PLAN**

SCALE: 1"=30'

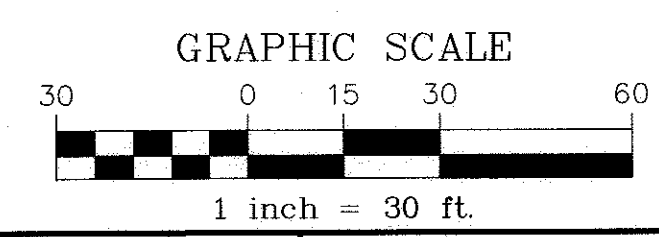
THE LIMITS OF DISTURBANCE DEPICTED IS FOR GRAPHIC DISPLAY PURPOSES ONLY. ACTUAL LIMITS OF DISTURBANCE SHALL BE EQUAL TO THE PERIMETER SEDIMENT CONTROL FEATURES SHOWN.

**LEGEND**

- PROJECT BOUNDARY
- - - EX. TOPOGRAPHY (DEC. 2015)
- - - PROP. TOPOGRAPHY
- EX. TREELINE
- PROP. TREELINE
- SOILS DELINEATION SOIL SYMBOL
- PRIVACY FENCE
- FLOW ARROW
- 90.00 SPOT ELEVATION
- SLOPES 20% OR GREATER
- LOD --- LIMIT OF DISTURBANCE (EFFECTIVE AREA)
- SF --- SILT FENCE
- SSF --- SUPER SILT FENCE
- TF --- TREE PROTECTION FENCING
- EROSION CONTROL MATTING
- TEMPORARY STONE OUTLET STRUCTURE
- STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM
- MOUNTABLE BERM
- TEMPORARY STOCKPILE AREA
- ST-# EX. SPECIMEN TREE
- ⊗ ST-# EX. ECIMEN TREE TO BE REMOVED

APPROVAL OF THIS PRELIMINARY EQUIVALENT SKETCH PLAN BY THE HOWARD COUNTY SCD DOES NOT PROVIDE APPROVAL OF THE SHOWN SEDIMENT CONTROLS

PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 36065  
Exp. Date: 6-26-2018



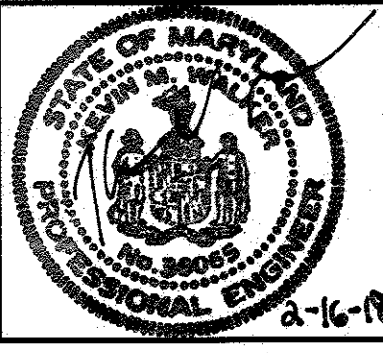
**NRCS SOILS CHART - HoCo Soils Map No. 27**

SYMBOL	HSG	Kw	HYDRIC	MAP UNIT NAME
BaA	D	.32	YES	BAILE SILT LOAM, 0 - 3%
GbB	B	.20		GLADSTONE LOAM, 3% - 8%
GbC	B	.20		GLADSTONE LOAM, 8% - 15%
GfB	B	.20		GLADSTONE LOAM, URBAN LAND COMPLEX 8% - 15%
GmB	C	.37	YES	GLENVILLE SILT LOAM, 3% - 8%

PLEASE NOTE: HIGHLY ERODIBLE, K=0.35, AND/OR 15% OR GREATER SLOPES TAKEN FROM THE NRCS WEB SOIL SURVEY.

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY, MARYLAND  
  
 PLANNING DIRECTOR DATE 3-7-18

OWNER/DEVELOPER:  
**KB COMPANIES, INC.**  
 7 OLD CISTERN COURT  
 CATONSVILLE, MD 21228  
 PHONE: 703-559-9569  
 ATTN: PATRICK BYRNE



ENGINEER:  
**Phoenix Engineering**  
 21132 Old York Road  
 Parkton, MD 21120  
 410.329.1150  
 www.phoenix-eng.com

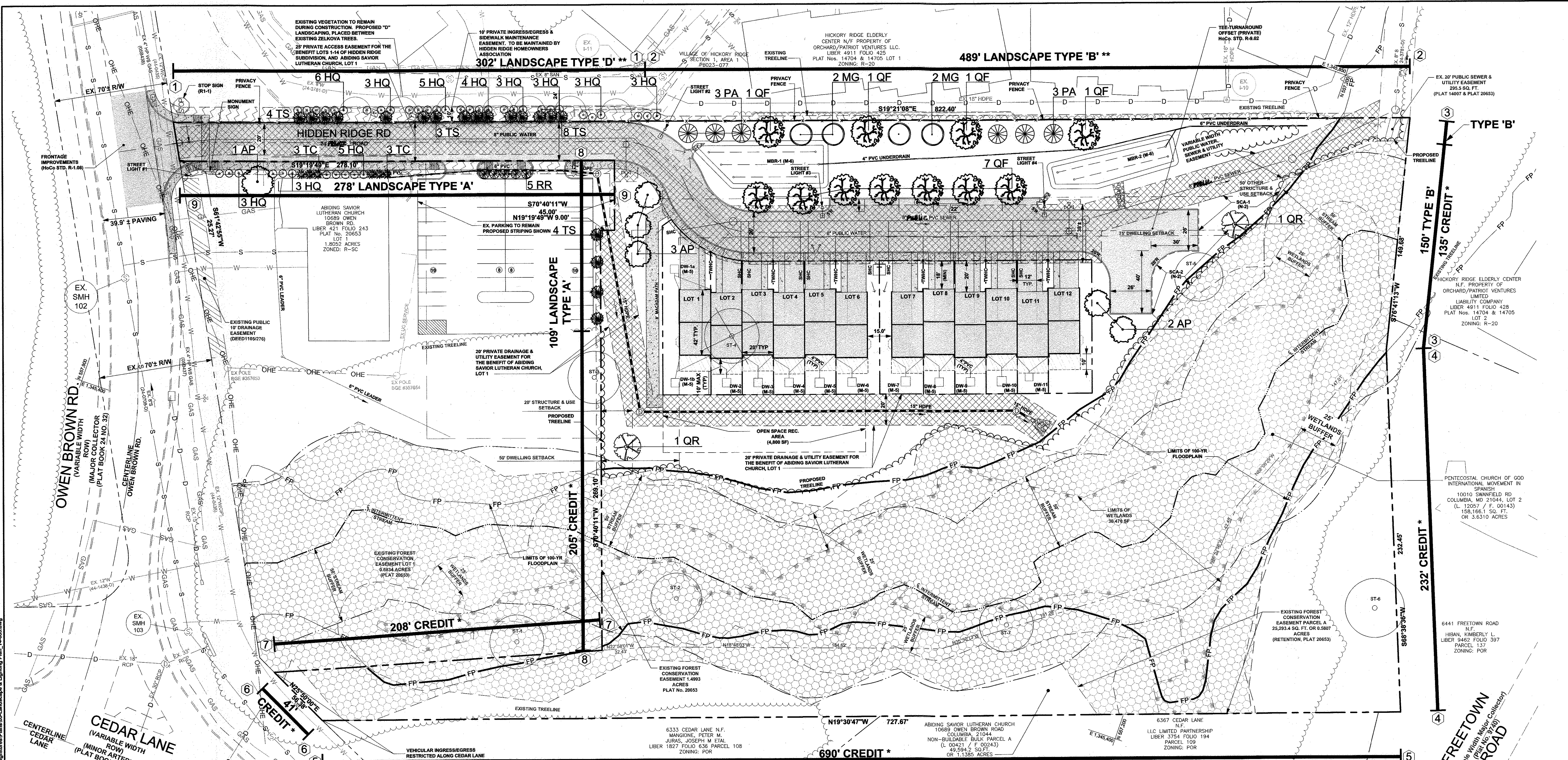
DES:	DRN:	CHK:	BY	NO.	DESCRIPTION	DATE
K.P.M.	K.P.M.	K.M.W.				
N.A.F.	N.A.F.					

**SITE GRADING & EROSION AND SEDIMENT CONTROL PLAN**  
 600' SCALE MAP NO. 35 GRID NO. 18

**HIDDEN RIDGE**  
 LOTS 1-12 & OPEN SPACE LOT 13  
 A RESUBDIVISION OF PLAT ABIDING SAVIOR LUTHERAN CHURCH LOT 2 & NON-BUILDABLE PARCEL 'A'  
 PLAT #20652-53  
 ZONING: R-8C-MEDIUM DENSITY RESIDENTIAL  
 TAX MAP: 35 GRID: 18 PARCEL: 238 DISTRICT: 05  
 ACCOUNT #: 454549 LIBER: 12067 FOLIO: 143 PLAT: 20652-53  
 CENSUS TRACT: 865602 CENSUS BLOCK: 3

SCALE: 1" = 30'  
 DRAWING NO. 4 OF 6  
 PROJECT: 18-04-035 DATE: 01/19/2018





**SCHEDULE A**  
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS										TOTAL
	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	
PERIMETER NO. / LANDSCAPE TYPE	1	2	3	4	5	6	7	8	9	10	A
LINEAR FEET OF PERIMETER FRONTAGE/PERIMETER CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	YES	YES	YES	YES	YES	YES	YES	YES	NO
LINEAR FEET OF REQUIRED PERIMETER LANDSCAPING (DESCRIBE BELOW IF NEEDED)	302'	489'	150'	0	0	0	0	0	0	0	278'
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	**YES	**YES	NO	NO	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED	3	5	5	5	5	5	5	5	5	5	15
SHADE TREES (A 1:80, B 1:50, D 1:60)	15	6	5	5	5	5	5	5	5	5	25
EVERGREEN TREES (2:1 SUBSTITUTION)	10	5	5	5	5	5	5	5	5	5	4
SHRUBS (10:1 SUBSTITUTION)	30	15	15	15	15	15	15	15	15	15	20
SHRUBS (10:1 SUBSTITUTION)	30	15	15	15	15	15	15	15	15	15	20

\* CREDIT FOR FOREST CONSERVATION EASEMENT  
\*\* 50% FENCE CREDIT (FENCE DESIGN AND CREDIT WILL BE EVALUATED ON THE FINAL PLAN.)  
Planting on Autumn Splendor's Property will require written approval from that community's HOA.

**PERIMETER LANDSCAPE TREE PLANTING LIST**

SYB.	QTY.	NAME	REMARKS	DESCRIPTION
MG	4	Magnolia grandiflora (LITTLE GEM DWARF SOUTHERN MAGNOLIA)	6'-8" HT. 20'H 10"-15'S	PERIMETER ORNAMENTAL TREES TO BE PROVIDED BY BUILDER
AP	1	Acer platanoides (COLLUMNAR NORWAY MAPLE)	2.5"-3" CAL. 50'H 15'S	PERIMETER SHADE TREES TO BE PROVIDED BY BUILDER
QF	4	Quercus robur (COLLUMNAR ENGLISH OAK)	2.5"-3" CAL. 50'H 20'S	PERIMETER SHADE TREES TO BE PROVIDED BY BUILDER
PA	6	Picea abies 'cupressina' (COLLUMNAR NORWAY SPRUCE)	5'-6" HT. 15'-20'H 15'S	PERIMETER EVERGREEN TREES TO BE PROVIDED BY BUILDER
TS	19	Thuja standishii x plicata (THUJA GREEN GIANT)	5'-6" HT. 30'H 5'S	PERIMETER EVERGREEN TREES TO BE PROVIDED BY BUILDER

**PERIMETER LANDSCAPE SHRUB PLANTING LIST**

SYB.	QTY.	NAME	REMARKS	DESCRIPTION
HQ	41	Hydrangea quercifolia (OKLEAF HYDRANGEA)	#7 Cont. 6" H&S	PERIMETER SHRUBS TO BE PROVIDED BY BUILDER
TC	6	Taxus cuspidata (DWARF JAPANESE YEW)	#5 Cont. 2"-3H 3"-6S	PERIMETER SHRUBS TO BE PROVIDED BY BUILDER
RR	5	Rosa Radkio (THE DOUBLE KNOCKOUT ROSE)	#5 Cont. 3'-4" H&S	PERIMETER SHRUBS TO BE PROVIDED BY BUILDER

Final distribution of shrubs shall be reviewed with the final plan.

**SCHEDULE C**  
RESIDENTIAL DEVELOPMENT  
INTERNAL LANDSCAPING

SYB.	QTY.	NAME	REMARKS	DESCRIPTION
QR	2	Quercus rubra (RED OAK)	2.5"-3" CAL. 50'-75'H&S	INTERNAL SHADE TREES TO BE PROVIDED BY BUILDER
AP	5	Acer platanoides (COLLUMNAR NORWAY MAPLE)	2.5"-3" CAL. 50'H&15'S	INTERNAL SHADE TREES TO BE PROVIDED BY BUILDER
QF	7	Quercus robur (COLLUMNAR ENGLISH OAK)	2.5"-3" CAL. 50'H&20'S	INTERNAL SHADE TREES TO BE PROVIDED BY BUILDER

**LANDSCAPE NOTES:**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWIT LISTED AND APPROVED FOR THE SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITH OUT THE PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATIONS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCE AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- FINANCIAL SURETY IN THE AMOUNT OF \$18,770 DOLLARS FOR THE REQUIRED PERIMETER LANDSCAPING AND FENCING SHALL BE POSTED BY THE DEVELOPER AS PART OF THE DPW DEVELOPER'S AGREEMENT.

PER THE HOWARD COUNTY LANDSCAPE MANUAL: SURETY FOR LANDSCAPE INSTALLATION.  
 - 19 SHADE TREES @ \$300.00 PER TREE = \$5,700  
 - 25 EVERGREEN TREES @ \$150.00 PER TREE = \$3,750  
 - 4 OTHER TREES @ \$150.00 PER TREE = \$600.00  
 - 50 SHRUBS @ \$30 PER SHRUB = \$1,500  
 - 722' FENCING @ \$10.00 PER L.F. = \$7,220  
 - TOTAL COST = \$18,770

**LEGEND:**

- PROPERTY LINE
- PROPOSED PRIVACY FENCE
- POWER POLE
- EX. SPECIMEN TREE
- EX. SPECIMEN TREE TO BE REMOVED

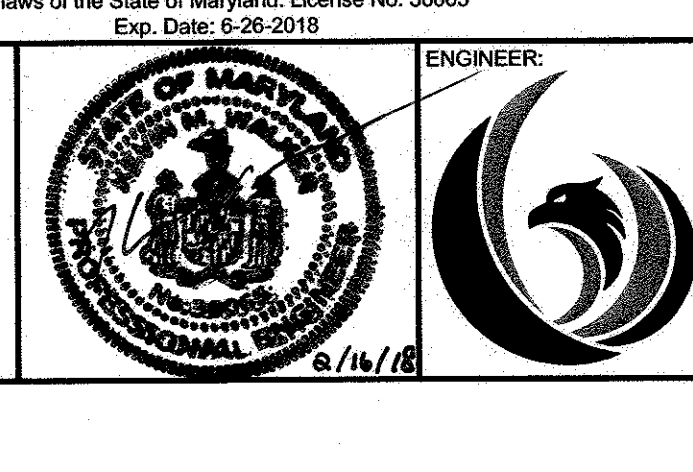
**SPECIMEN TREES**

NO.	SCIENTIFIC NAME	COMMON NAME	DBH	CONDITION	NOTES
ST-1	Liriodendron tulipifera	TULIP POPLAR	34.5"	Good	TO REMAIN
ST-2	Ulmus americana	AMERICAN ELM	32.5"	Good	TO REMAIN
ST-3	Quercus rubra	RED OAK	35.5"	Good	TO REMAIN
ST-4	Quercus rubra	RED OAK	35"	Good	TO BE REMOVED
ST-5	Quercus alba	WHITE OAK	33"	Good	TO REMAIN
ST-6	Quercus rubra	RED OAK	38"	Good	TO REMAIN
ST-7	Quercus coccinea	SCARLET OAK	34.5"	Good	TO REMAIN

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING COUNTY, MARYLAND

3-7-18  
PLANNING DIRECTOR

OWNER/DEVELOPER:  
**KB COMPANIES, INC.**  
7 OLD CISTERN COURT  
CATONSVILLE, MD 21228  
PHONE: 703-556-9569  
ATTN: PATRICK BYRNE



**Phoenix Engineering**  
21132 Old York Road  
Parkton, MD 21210  
410.329.1150  
www.phoenix-eng.com

DES: K.P.M.  
N.A.F.  
DRN: K.P.M.  
N.A.F.  
CHK: K.M.W.

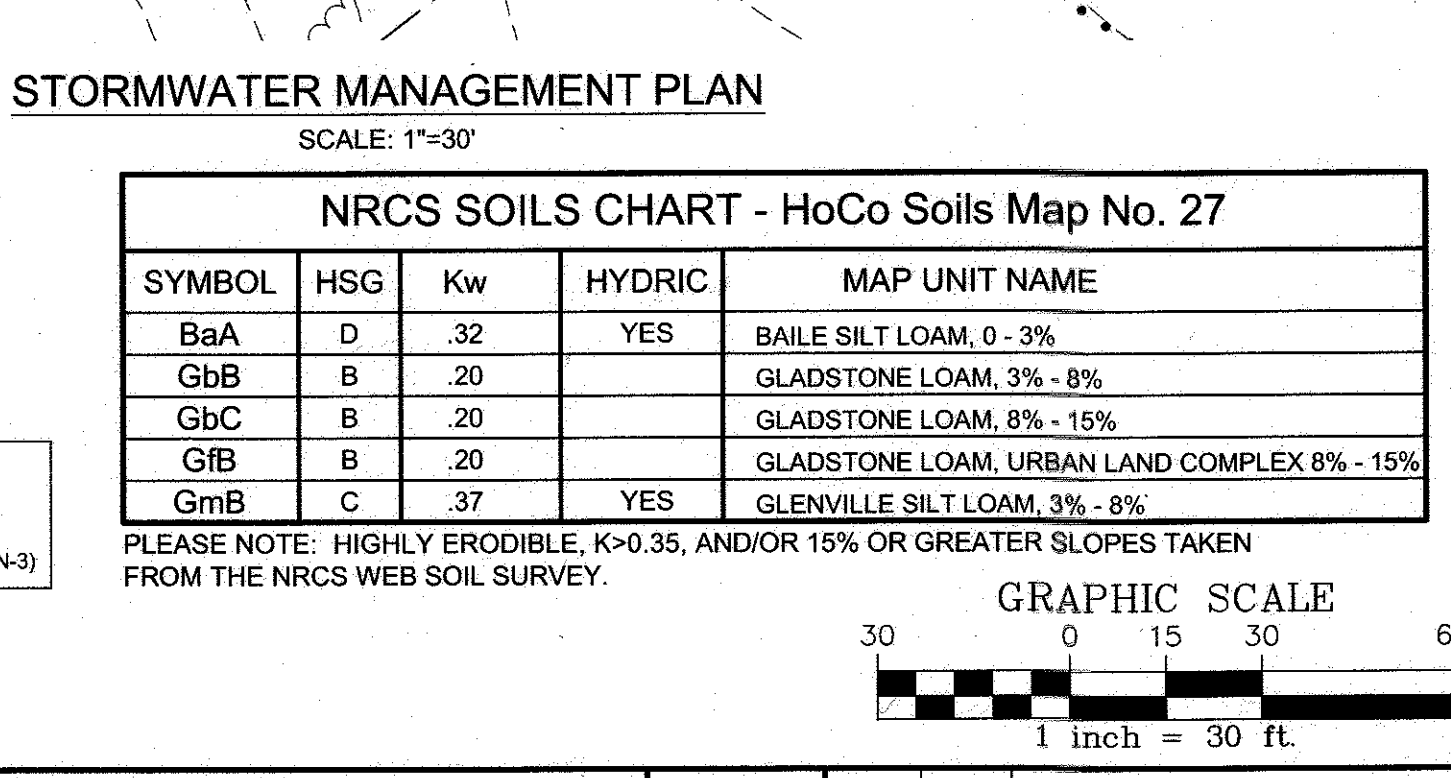
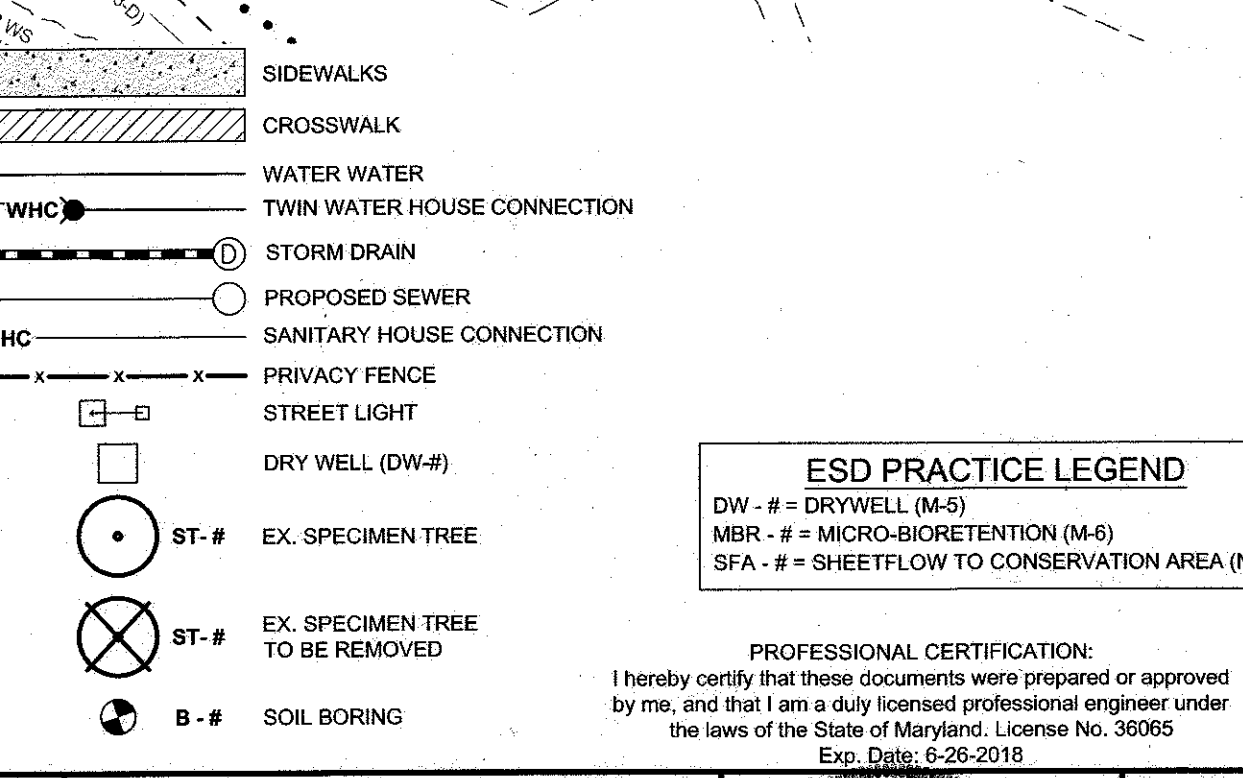
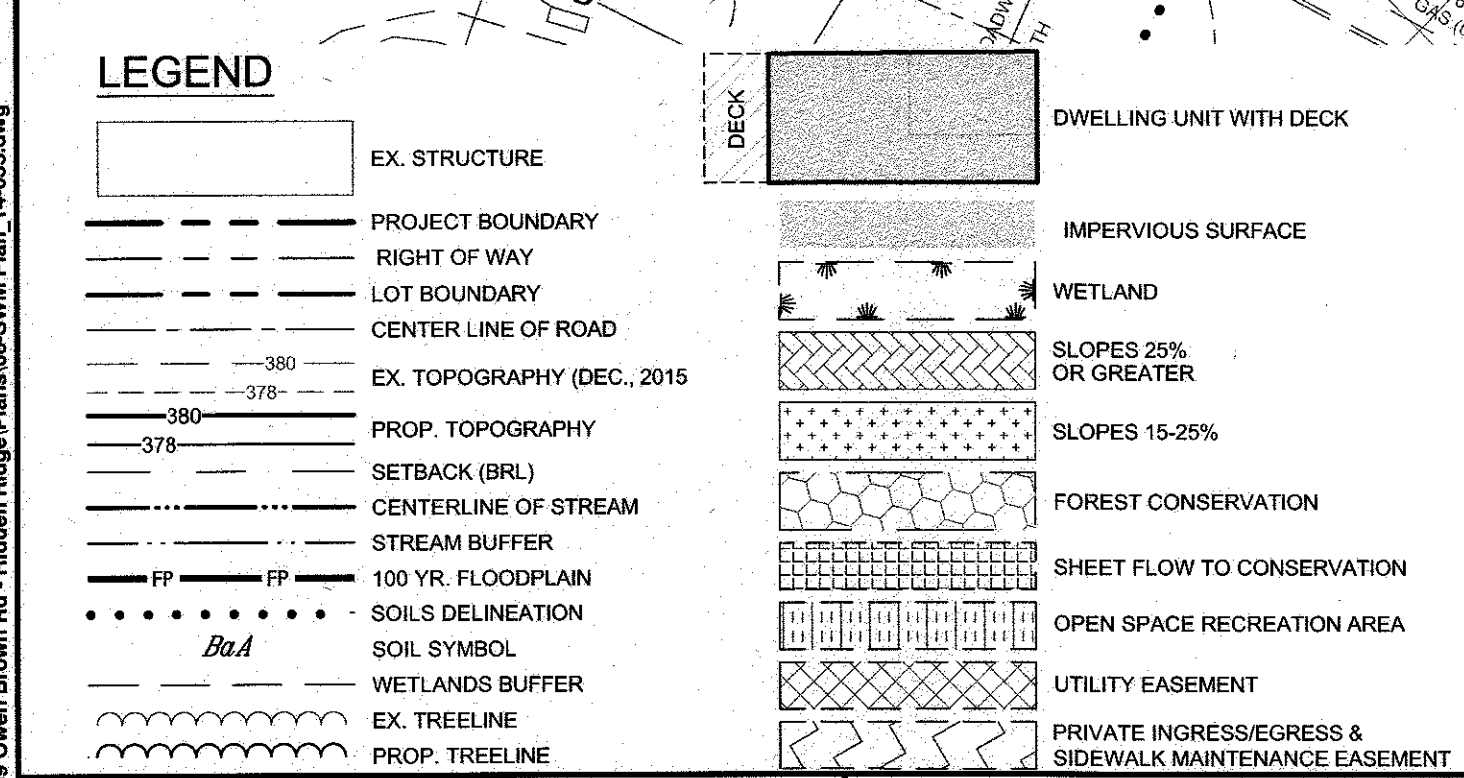
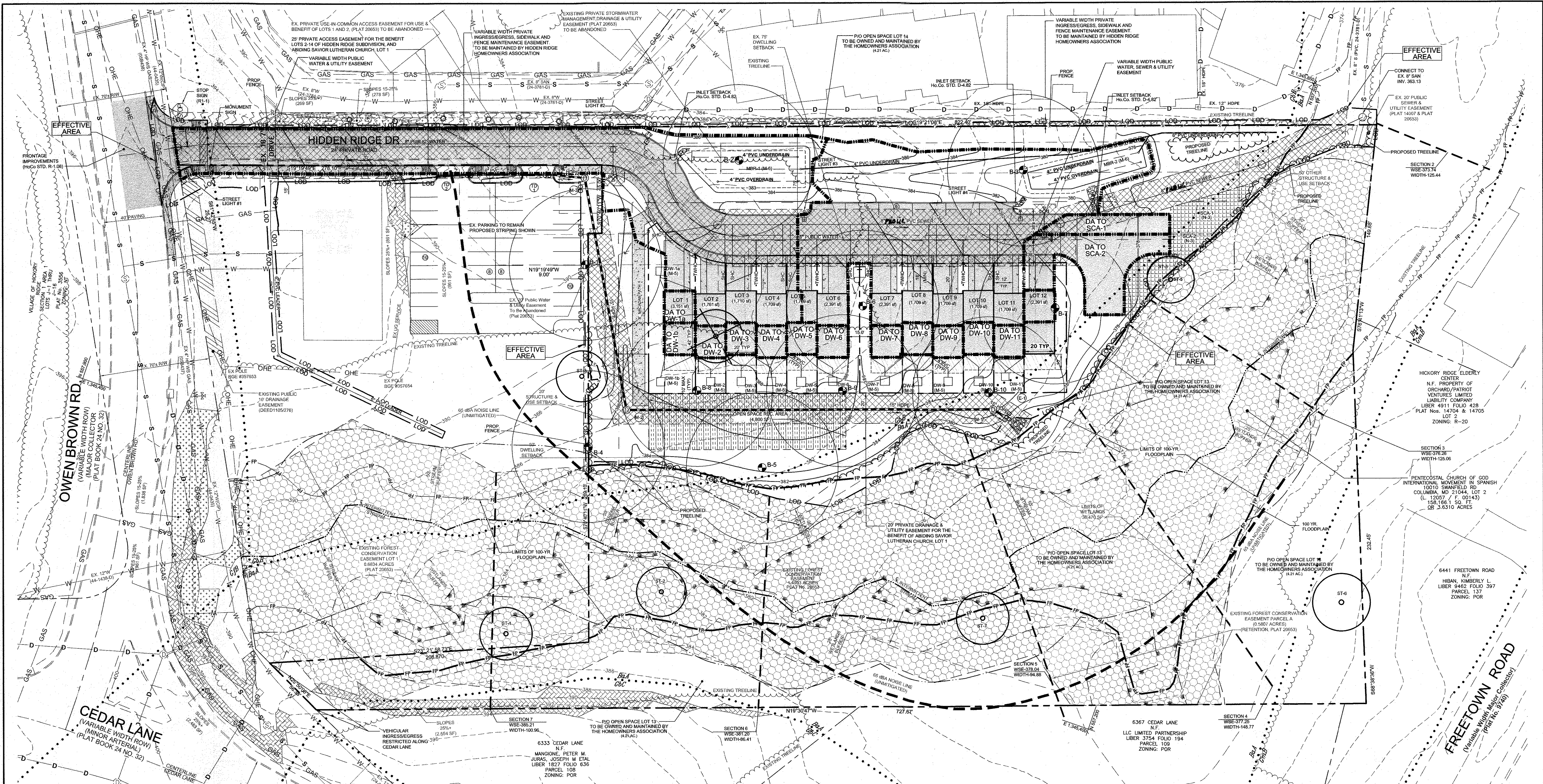
BY	NO.	DESCRIPTION	DATE

**LANDSCAPE PLAN**  
**NOTES AND DETAILS**  
600' SCALE MAP NO. 35 GRID NO. 18

**HIDDEN RIDGE**  
LOTS 1-12 & OPEN SPACE LOT 13  
A RESUBDIVISION OF PLAT  
ABIDING SAVIOR LUTHERAN CHURCH  
LOT 2 & NON-BUILDABLE PARCEL 'A'  
PLAT #20652-53  
ZONING: R-SC-MEDIUM DENSITY RESIDENTIAL  
TAX MAP: 35 GRID: 18 PARCEL: 238 DISTRICT: 05  
ACCOUNT # 45459 LIBER: 10057 FOLIO: 143 PLAT: 20652-53  
CENSUS TRACT: 65092 CENSUS BLOCK: 3

SCALE: 1" = 30'  
DRAWING NO. 5 OF 6  
DATE: 01/19/2018

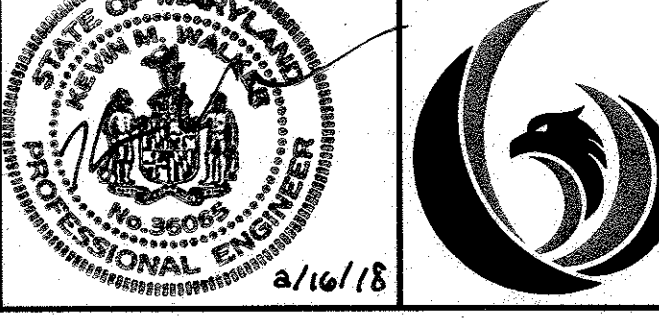




Facility	Per. #	1.7 inches DA to practice	0.68 inches Imp Area to practice	ESDv- Required	ESDv- Provided	2% DA? Required	ESDv- Provided	ESDv- Provided	Rev (ft)	Ownership
(M-6) MicroBiotretention	#1	21,996	16,390	440	1697	PASS	2246	2005	2.0	Private
(M-6) MicroBiotretention	#2	19,355	10,806	1515	1425	PASS	1515	1459	2.2	Private
(N-3) Sheet Flow to Conservation Area	#1	1,023	1,023	n/a	n/a	n/a	n/a	77	0.9	Private
(N-3) Sheet Flow to Conservation Area	#2	3,008	3,008	n/a	n/a	n/a	n/a	226	0.9	Private
(M-5) Drywell	1a	430	430	n/a	n/a	n/a	n/a	58	1.7	Private
(M-5) Drywell	1b	420	420	n/a	n/a	n/a	n/a	57	1.8	Private
(M-5) Drywell	2	420	420	n/a	n/a	n/a	n/a	57	1.8	Private
(M-5) Drywell	3	421	421	n/a	n/a	n/a	n/a	57	1.7	Private
(M-5) Drywell	4	420	420	n/a	n/a	n/a	n/a	57	1.7	Private
(M-5) Drywell	5	421	421	n/a	n/a	n/a	n/a	57	1.7	Private
(M-5) Drywell	6	424	424	n/a	n/a	n/a	n/a	57	1.8	Private
(M-5) Drywell	7	423	423	n/a	n/a	n/a	n/a	57	1.7	Private
(M-5) Drywell	8	421	421	n/a	n/a	n/a	n/a	57	1.7	Private
(M-5) Drywell	9	420	420	n/a	n/a	n/a	n/a	57	1.7	Private
(M-5) Drywell	10	421	421	n/a	n/a	n/a	n/a	57	1.8	Private
(M-5) Drywell	11	420	420	n/a	n/a	n/a	n/a	57	1.5	Private
<b>Total Treated</b>		<b>50,023</b>	<b>36,289</b>	<b>1,955</b>	<b>3,122</b>		<b>5,502</b>	<b>5,605</b>	<b>1.9</b>	
<b>Site Total</b>		<b>11,496</b>	<b>37,720</b>							

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY, MARYLAND  
 PLANNING DIRECTOR: *[Signature]* 3-7-18 DATE

OWNER/DEVELOPER:  
**KB COMPANIES, INC.**  
 7 OLD CISTERN COURT  
 CATONSVILLE, MD 21228  
 PHONE: 703-556-9569  
 ATTN: PATRICK BYRNE



**Phoenix Engineering**  
 21132 Old York Road  
 Parkton, MD 21150  
 410.329.1150  
 www.phoenix-eng.com

BY	NO.	DESCRIPTION	DATE
DES: K.P.M.	N.A.F.		
DRN: K.P.M.	N.A.F.		
CHK: K.M.W.			

**STORMWATER MANAGEMENT PLAN**  
 600' SCALE MAP NO. 35 GRID NO. 18

**HIDDEN RIDGE**  
 LOTS 1-12 & OPEN SPACE LOT 13  
 A RESUBDIVISION OF PLAT ABIDING SAVIOR LUTHERAN CHURCH LOT 2 & NON-BUILDABLE PARCEL 'A'  
 PLAT #20652-53  
 ZONING: R-20 MEDIUM DENSITY RESIDENTIAL  
 TAX MAP: 35 GRID: 18 PARCEL: 238 DISTRICT: 05  
 ACCOUNT #: 454549 LIBER: 12057/FOLIO: 143 PLAT: 20652-53  
 CENSUS TRACT: 65662 CENSUS BLOCK: 3

SCALE: 1" = 30'  
 DRAWING NO. 6 OF 6  
 PROJ: 14-035 DATE: 01/19/2018