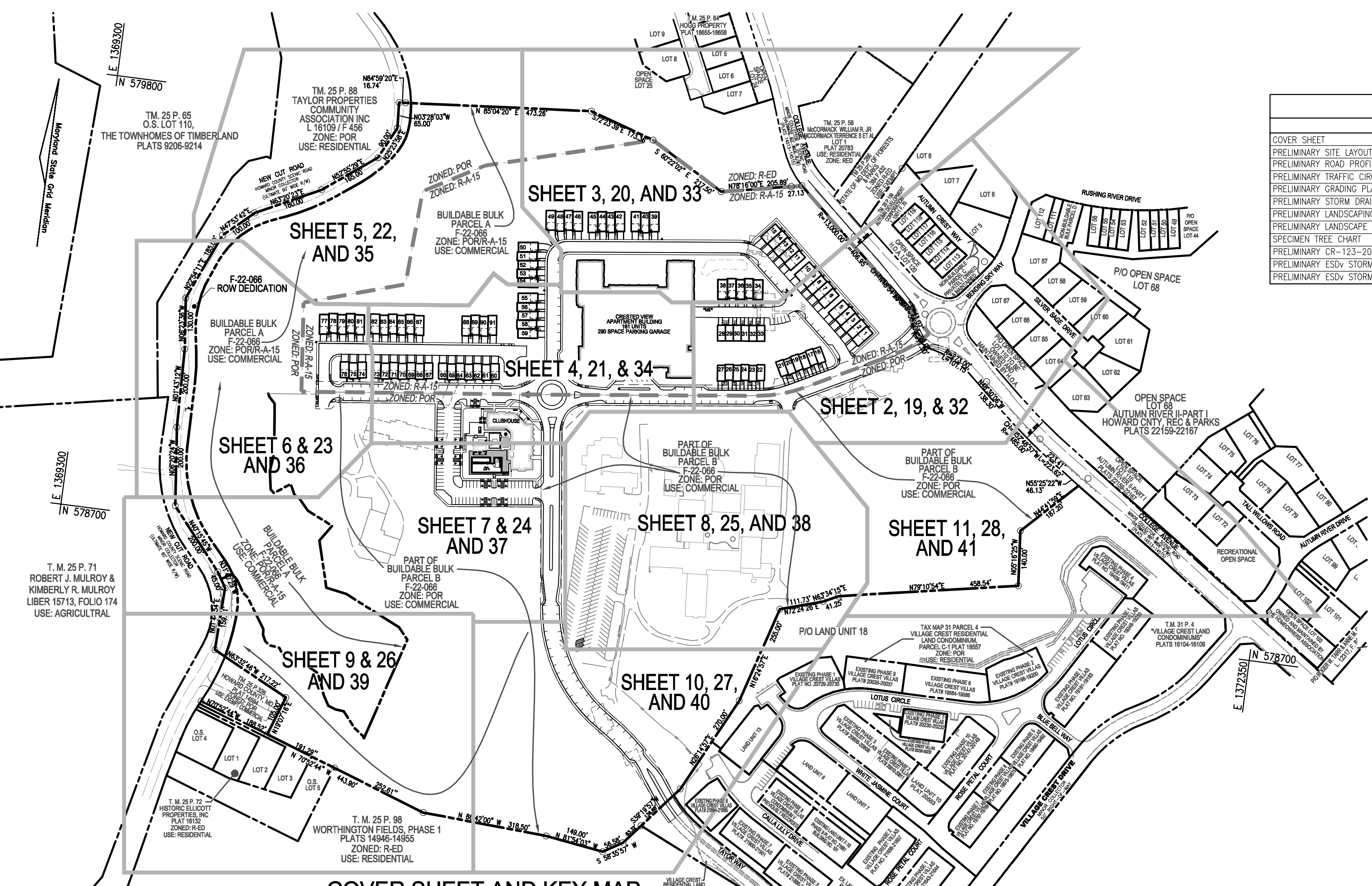


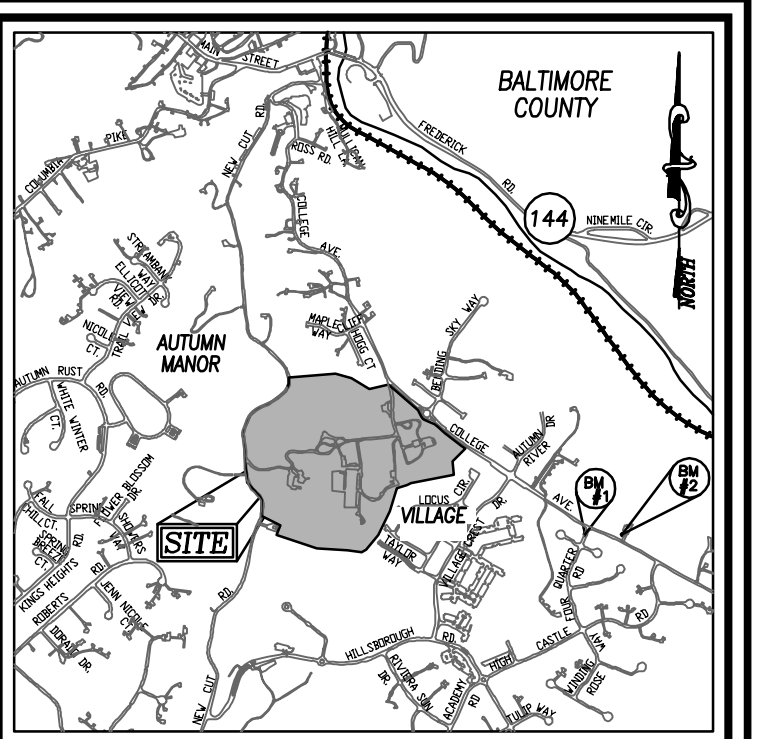
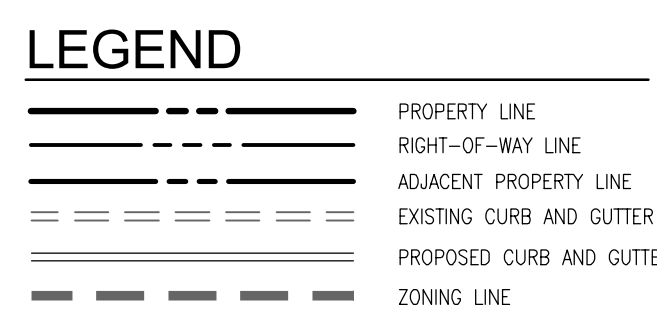
GENERAL NOTES:

1. PROJECT BACKGROUND: LOCATION: ELLICOTT CITY, MD.; TAX MAP 25 GRID 20, PARCEL 73, PARCEL 74 & PARCEL 93 ZONING: R-A-15/POR SUBDIVISION NAME: TAYLOR HIGHLANDS SECTION/AREA: 12/11 OVERALL PROJECT AREA: 64.63 ACRES PROJECT AREA: 29.11 ACRES DPT. REFERENCES: ECP-12-079, WP-17-048, AA-17-002, ECP-18-028, WP-19-072, CE-20-04, CE-20-05, WP-21-012 F-22-066, WP-21-068, WP-23-094, BOARD OF APPEALS D-04787-D

PRELIMINARY EQUIVALENT SKETCH PLAN TAYLOR HIGHLANDS-PHASE 1 LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"



BENCHMARKS table with columns: BENCHMARK, ELEV., CONC. MON., ELEV. 431.83, CONC. MON., ELEV. 404.48

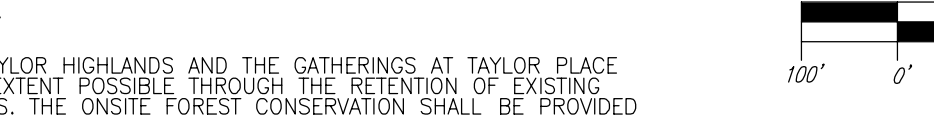


SHEET INDEX table with columns: SHEET NO., DESCRIPTION, SHEET NO. Includes entries for COVER SHEET, PRELIMINARY SITE LAYOUT, PRELIMINARY ROAD PROFILES AND SITE DETAILS, etc.

SITE ANALYSIS DATA CHART

SITE ANALYSIS DATA CHART table with columns: A. TOTAL TRACT AREA, B. TOTAL PROJECT AREA, C. AREA OF FLOODPLAIN, D. AREA OF STEEP SLOPES, E. AREA OF R/W DEDICATION, F. NET PROJECT AREA, G. H. I. J. K. L. M. N. O. P. Q. R. S. T. U. V. W. X. Y. Z. Includes various area and density calculations.

COVER SHEET AND KEY MAP



GENERAL NOTES: (continued...)

42. (CONT.) 4. THE FOREST CONSERVATION ALLOCATION FOR TAYLOR HIGHLANDS AND THE GATHERINGS AT TAYLOR PLACE SHALL BE SATISFIED ON-SITE TO THE MAXIMUM EXTENT POSSIBLE THROUGH THE RETENTION OF EXISTING FOREST AND PLANTING OF AFForestation AREAS. THE ON-SITE FOREST CONSERVATION SHALL BE PROVIDED AS A MINIMUM AS SHOWN ON THE ATTACHED COMPLIANCE PLAN EXHIBIT. THE "STEP" STEEP SLOPE WETLAND BUFFERS, STREAM BUFFERS AND SPECIEN TREES WILL BE THE HIGHEST PRIORITY AREAS FOR RETENTION AND/OR AFForestation. THE LOCATIONS OF THE FOREST CONSERVATION EASEMENTS WILL BE REVIEWED AND APPROVED BY DEP ON THE FOREST CONSERVATION PLAN.

DENSITY TABULATION CHART FOR THE RECEIVING PARCEL PLAT table with columns: SECTION, RECEIVING PARCEL INFORMATION, GROSS ACREAGE, 100-YEAR FLOODPLAIN, NET ACREAGE OF PARCEL, BONUS DENSITY, ALLOWED BONUS DENSITY PER SECTION 112.0.F, TOTAL ALLOWED DENSITY, PROPOSED DENSITY (UP TO 10% MORE UNITS THAN PERMITTED DENSITY), NEIGHBORHOOD PRESERVATION DENSITY EXCHANGE RIGHTS (NPER REQUIRED).

MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING table with columns: TOTAL NUMBER OF LOTS/UNITS PROPOSED, NUMBER OF MIHU REQUIRED, NUMBER OF MIHU PROVIDED ON-SITE, NUMBER OF APPO ALLOCATIONS REQUIRED, (REMAINING LOTS/UNITS), UNITS IN-LIEU, *ACTUAL UNITS TO BE DETERMINED WITH THE FUTURE SITE DEVELOPMENT PLAN OR FINAL PLA.

PARKING TABULATION table with columns: APARTMENTS, TOWNHOUSES, TOTAL RESIDENTIAL PARKING REQ'D, POOL, CLUBHOUSE (PUBLIC SPACES), CLUBHOUSE (LEASING/OFFICE), TOTAL POOL/CLUBHOUSE PARKING REQ'D, TOTAL PARKING PROVIDED, TOTAL RESIDENTIAL PARKING PROVIDED, ON-STREET STRIPPED PARKING, TOTAL STRIPPED PARKING PROVIDED, TOTAL PARKING PROVIDED, TOTAL TOWNHOUSE PARKING, APARTMENT BUILDINGS (CRESTED VIEW APARTMENTS), TOTAL STRIPPED PARKING PROVIDED, TOTAL PARKING PROVIDED, TOTAL TOWNHOUSE PARKING, APARTMENT BUILDINGS (CRESTED VIEW APARTMENTS).

RECREATIONAL OPEN SPACE TABULATION

RECREATIONAL OPEN SPACE REQUIRED (TAYLOR PLACE: R-A-15) APARTMENTS: 64,400 SF (161 UNITS X 400 SF/UNIT) SINGLE FAMILY ATTACHED: 36,400 SF (91 UNITS X 400 SF/UNIT) NON-USABLE REAR YARD PLATS 606-5214: 11,100 SF (37 UNITS X 300 SF/UNIT) UNITS 1-15, 17,19,21,22,24,26: 11,100 SF (37 UNITS X 300 SF/UNIT) TOTAL RECREATIONAL OPEN SPACE REQUIRED: 111,900 SF NOTE: FUTURE SITE DEVELOPMENT PLAN SHALL PROVIDE THE FINAL TABULATION

OPEN SPACE TABULATION

IN ACCORDANCE WITH SECTION 16.121(A)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS THE OPEN SPACE REQUIREMENTS FOR THE R-A-15 PROJECT IS 25% OF GROSS AREA. OPEN SPACE REQUIRED: 4.18 AC. (16.72 AC. GROSS AREA X 25%) CREDITED: OPEN SPACE LOT 97: 3,456 AC. AMENITY CREDIT: 479 SF. OPEN SPACE LOT 99: 9,298 AC. OPEN SPACE LOT 100: 2,607 AC. TOTAL CREDITED PROVIDED: 6,845 AC. (WITHIN R-A-15 ZONE)

AMENITY CREDIT NOTE:

THE 10 SF OF CREDIT/UNIT PROVIDED BY THE CLUBHOUSE AND POOL ARE BEING PROVIDED IN ACCORDANCE WITH THE OPEN SPACE POLICY OF JUNE 15, 2012 AND AMENITY CREDIT POLICY ADDENDUM DATED MAY 24, 2018.

DENSITY SENDING PARCELS table with columns: 1. TRINGA (BETHANY LANE), 2. GARDNER PROPERTY TM 24/PARCEL 858, 3. TBD, 4. MIHU REQUIREMENTS, 5. HEIGHT LIMITATIONS, 6. LOT COVERAGE FOR STRUCTURES. Includes details for each parcel.

OWNER PARCEL 73; OWNER PARCEL 74; OWNER PARCEL 93; DEVELOPER table with columns: OWNER, DEVELOPER, ADDRESS, PHONE.

NO. REVISION DATE table with columns: NO., REVISION, DATE.

PRELIMINARY EQUIVALENT SKETCH PLAN COVER SHEET TAYLOR HIGHLANDS PHASE 1 LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

VOGEL ENGINEERING TIMMONS GROUP 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 P: 410.461.7666 F: 410.461.8961 www.timmons.com

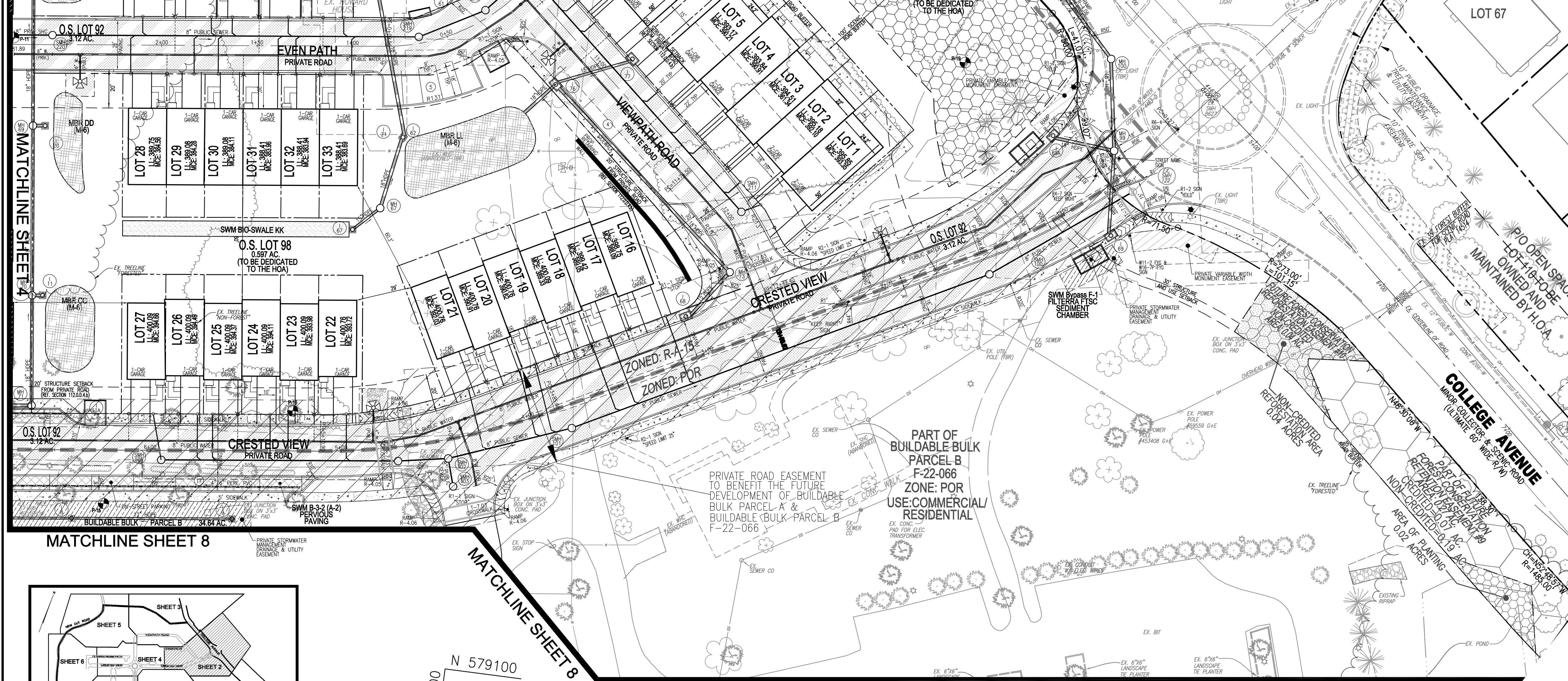
PROFESSIONAL CERTIFICATE section with fields for DESIGN BY, DRAWN BY, CHECKED BY, DATE, SCALE, and SHEET NO. Includes a professional seal for Robert Vogel, Professional Engineer, No. 1372/2023.

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY section with fields for PLANNING DIRECTOR, DATE, and a signature for David E. Bowers.

GENERAL NOTES: (continued...)

- THIS PROJECT WAS SUBJECT TO VIOLATION CE-20-04 AND CE-20-05, DATED 01/21/2020 TO HCPZ SECTIONS 16.106(a), 16.123(a)(2), 16.1202(a) and 16.1205(a)(7) BY CLEARING SPECIMEN TREES WITHOUT APPROVAL OF A FOREST CONSERVATION PLAN AND SUBDIVISION OR SITE DEVELOPMENT PLAN TO ABATE THIS VIOLATION. THE FOLLOWING ACTIONS MUST OCCUR:
 - THE DEVELOPER SHALL MITIGATE THE REMOVAL OF ALL SPECIMEN TREES BY PLANTING A MIX OF NATIVE SHADE TREES AT A 3:1 RATIO (IN OTHER WORDS, PLANTING OF THREE TREES FOR EVERY ONE TREE UNLAWFULLY REMOVED). THE PLANTINGS SHALL HAVE A CALIPER OF NO LESS THAN 3" AND WILL BE BONDED AS PART OF THE LANDSCAPING SURVEY WITH FUTURE SUBDIVISION OR SITE DEVELOPMENT PLANS. THE KINDS, SPECIES AND PLANTING SPECIFICATIONS WILL BE REVIEWED BY DPZ AS A CONDITION OF APPROVAL OF THE PRELIMINARY EQUIVALENT SKETCH PLAN. THE MITIGATION TREES WILL BE IN ADDITION TO ANY TREES REQUIRED PER THE AFFORESTATION PLANTING CALCULATIONS AND STREAM RESTORATION PLAN.
 - IN ADDITION TO THE MITIGATION PLANTING DESCRIBED ABOVE, THE PAVEMENT AND GRAVEL PILES ALONG THE EXISTING SERVICE ROAD EXTENDING FROM NEW CUT ROAD TO THE PROPOSED PRIVATE STREETS SHALL BE REMOVED AND THE AREA SHALL BE PLANTED AND PLACED WITHIN A FOREST CONSERVATION EASEMENT.
 - PLANTING SHALL BE INSTALLED ACCORDING TO THE PLANTING SCHEDULE APPROVED BY THE COUNTY. THE PLANTING SCHEDULE WILL BE DEVELOPED IN ACCORDANCE WITH A COUNTY APPROVED CONSTRUCTION PHASING PLAN AND MUST BE INCLUDED IN THE FINAL PLAN SET.
- A KNOX BOX IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. ITS LOCATION SHALL BE SHOWN ON THE FUTURE SITE DEVELOPMENT PLANS. THE BOX SHALL BE ELECTRONICALLY SUPERIMPOSED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSIBLE (INTEGRATED WITH THE FIRE ALARM SYSTEM).
 - A HYDRANT SHALL BE WITHIN 100 FEET OF THE APARTMENT BUILDING'S EDC, HOWEVER, NOT WITHIN 40' OF THE BUILDING AND NOT NEAR A PARKING GARAGE EGRESS.
 - THE PROPOSED APARTMENT BUILDINGS SHALL HAVE AN INSIDE METER SETTING. THE BUILDINGS WILL ALSO HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
 - LANDSCAPING NOT PERMITTED WITHIN 7'-1/2' OF EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NFPA-1 13.1.4.
 - FIRE LANES SHALL BE PROVIDED ON THE FUTURE SITE DEVELOPMENT PLAN TO ALLOW EMERGENCY VEHICLE ACCESS. EITHER FIRE LANE SIGNAGE SHALL BE INSTALLED, OR CURBING PAINTED IN RED AND STENCILED TO IDENTIFY THE FIRE LANE(S).
 - SIGNAGE SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS.
- THIS PLAN IS SUBJECT TO WR-17-048, ON 02/17/2018 BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING. APPROVED THE REQUEST FOR AN ALTERNATIVE COMPLIANCE REQUEST TO SECTION 16.120(C)(4) AND SECTION 16.1205(A)(7) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE PROPOSED PRIVATE STREETS WITHIN THE PROJECT AREA SHALL BE DESIGNED AND CONSTRUCTED TO PUBLIC ROAD STANDARDS IN ACCORDANCE WITH THE DESIGN MANUAL OR AS APPROVED BY THE DEVELOPMENT ENGINEERING DIVISION AND THE DEPARTMENT OF PUBLIC WORKS. THE PRIVATE STREETS WITHIN THE R-4-15 ZONED PORTION OF THE PROPERTY SHALL COMPLY WITH THE SETBACKS IN SECTION 112.0 OF THE ZONING REGULATIONS.
 - THE HOMEOWNERS ASSOCIATION SHALL OWN AND MAINTAIN THE PRIVATE STREETS WITHIN THIS DEVELOPMENT AND SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, DEBRIS COLLECTION AND SNOW REMOVAL.
 - THE PLANNED RESIDENTIAL LOTS SHALL FRONT ON AND OBTAIN ACCESS FROM THE PROPOSED PRIVATE STREETS. THE APPLICANT SHALL BE RESPONSIBLE FOR ESTABLISHING ACCESS TO ALL RESIDENTIAL LOTS.
 - SIDEWALKS AND STREET TREES SHALL BE PROVIDED ALONG THE PRIVATE STREETS IN ACCORDANCE WITH SECTIONS 16.124 AND 16.134 OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL.
 - THE DEVELOPER SHALL PROVIDE A STREAM RESTORATION PLAN AS PART OF THE FINAL CONSTRUCTION DRAWINGS FOR "STREAM #2" AS IDENTIFIED ON THE NATURAL RESOURCE INVENTORY/FOREST STAND DELINEATION PLAN DATED JUNE 24, 2016. THE RESTORATION PLAN SHALL INCLUDE DEBRIS REMOVAL, GRADE CONTROL, RIPARIAN PLANTING, LOG SKIMMING, SWAMP RESTORATION PRACTICES, OUTFITTING OF THE STREAM RESTORATION NARRATIVE DATED JANUARY 17, 2018. A FINAL AS-BUILT PLAN AND REPORT SHALL BE SUBMITTED TO DPZ UPON COMPLETION OF THE STREAM RESTORATION WORK. THE 2-YEAR SURVIVAL PERIOD FOR THE AFFORESTATION PLANTINGS WILL NOT BEGIN UNTIL THE AS-BUILT REPORT IS RECEIVED BY DPZ.
 - THE APPROVAL OF THIS ALTERNATIVE COMPLIANCE REQUEST APPLIES ONLY TO THE 72 SPECIMEN TREES AS SHOWN TO BE REMOVED ON THE PLAN EXHIBIT. THE REMOVAL OF ANY OTHER SPECIMEN TREES ON THE SUBJECT PROPERTY IS NOT PERMITTED UNDER THIS REQUEST UNLESS IT CAN BE SUFFICIENTLY DEMONSTRATED BY THE APPLICANT TO BE JUSTIFIED.
 - THE DEVELOPER SHALL MITIGATE THE REMOVAL OF 72 SPECIMEN TREES BY PLANTING A MIX OF NATIVE SHADE TREES AT A 2:1 RATIO, TOTALING 144 SHADE TREES. THE PLANTINGS SHALL HAVE A CALIPER OF NO LESS THAN 2"-1/2" AND WILL BE BONDED AS PART OF THE LANDSCAPING SURVEY WITH FUTURE PLANS AND PLANTING SPECIFICATIONS WILL BE REVIEWED BY DPZ AS PART OF THE FINAL LANDSCAPING PLAN. THE 144 TREES WILL BE IN ADDITION TO ANY TREES REQUIRED PER THE AFFORESTATION PLANTING CALCULATIONS AND STREAM RESTORATION PLAN.
 - THE PAVEMENT AND GRAVEL PILES ALONG THE EXISTING SERVICE ROAD EXTENDING FROM NEW CUT ROAD TO THE PROPOSED LIMIT OF DISTURBANCE SHALL BE REMOVED AND THE AREA SHALL BE PLANTED AND PLACED WITHIN A FOREST CONSERVATION EASEMENT.

MATCHLINE SHEET 3



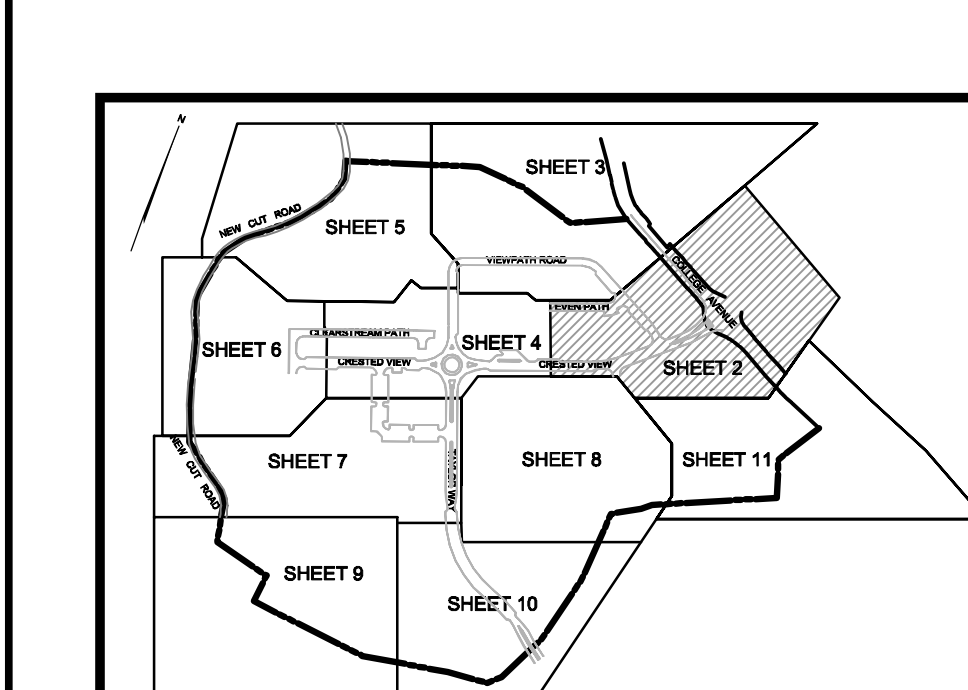
LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED TREELINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED RETAINING WALL
- ZONING LINE
- PROPOSED STREET LIGHT
- PROPOSED BORING
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- VARIABLE-WIDTH PUBLIC WATER SENER AND UTILITY EASEMENT
- PRIVATE STORMWATER MANAGEMENT DRAINAGE & UTILITY EASEMENT
- MICRO BIO RETENTION
- PERVIOUS PAVING
- PROPOSED STREET SIGN
- PROPOSED STREET LIGHT
- EXISTING SPECIMEN TREE

COLLEGE AVENUE ROUNDABOUT NOTE: FOR SIGNAGE AND STRIPPING/CROSSWALKS OF PROPOSED IMPROVEMENTS TO COLLEGE AVENUE ROUNDABOUT, SEE SHEET 18.

OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 73:	DEVELOPER
TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HISORIC ELLICOTT PROPERTIES INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

MATCHLINE SHEET 8



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

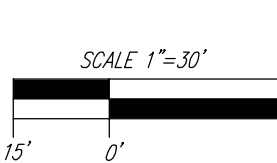
Designed by:
Lynda E. Boush
220663583@hdc.net

11/15/2023

PLANNING DIRECTOR

DATE

PLAN VIEW
SCALE: 1"=30'



ROAD	STATIONS	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
CRESTED VIEW	0+27.29-1+48.82	121.55'	300.00'	23°12'54"	61.62'	S50°40'13"W	120.72'
CRESTED VIEW	3+85.66-5+10.90	125.24'	350.00'	20°30'09"	63.30'	S72°31'44"W	124.58'
EVEN PATH	0+60.06-0+95.21	35.15'	175.00'	11°30'27"	17.63'	S12°58'25"E	35.09'
VIEWPATH ROAD	3+47.63-4+05.75	58.12'	37.00'	90°00'00"	37.00'	N37°46'49"E	52.33'
VIEWPATH ROAD	4+66.43-11+23.51	157.08'	100.00'	90°00'00"	100.00'	S52°13'11"E	141.42'
CLEARSTREAM PATH	9+95.81-10+55.49	59.68'	38.00'	89°59'30"	37.99'	N38°12'43"E	53.74'
TAYLOR WAY	6+62.80-8+00	137.20'	320.00'	24°33'59"	69.67'	S46°20'46"E	136.16'
TAYLOR WAY	8+00-10+33.15	233.15'	550.00'	24°17'19"	118.35'	S46°12'26"E	231.41'
TAYLOR WAY	10+33.15-13+67.81	334.66'	375.00'	51°07'54"	179.40'	S32°47'08"E	323.66'

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY SITE LAYOUT
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

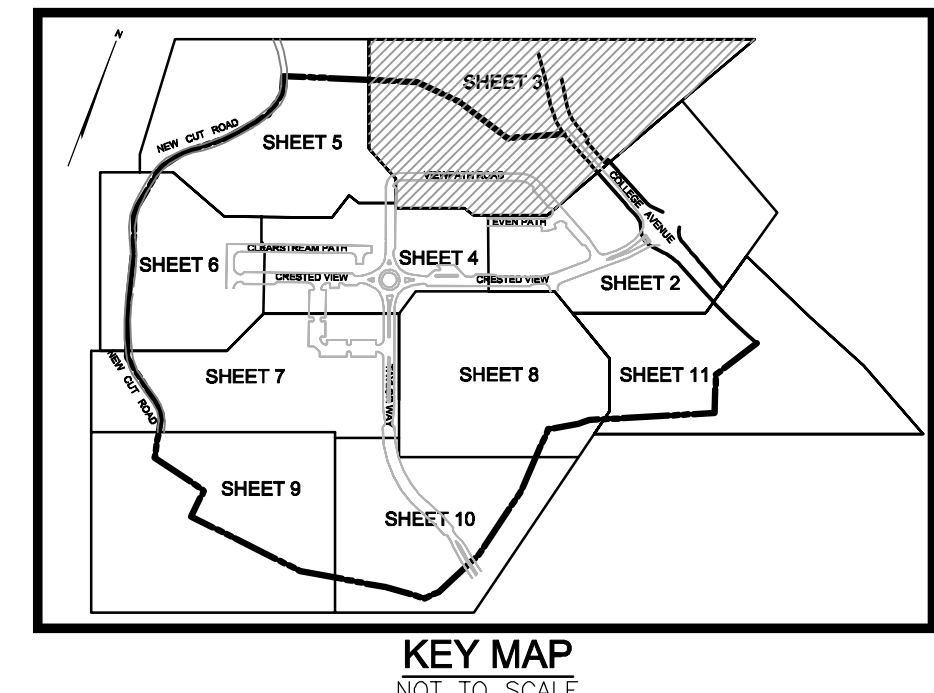
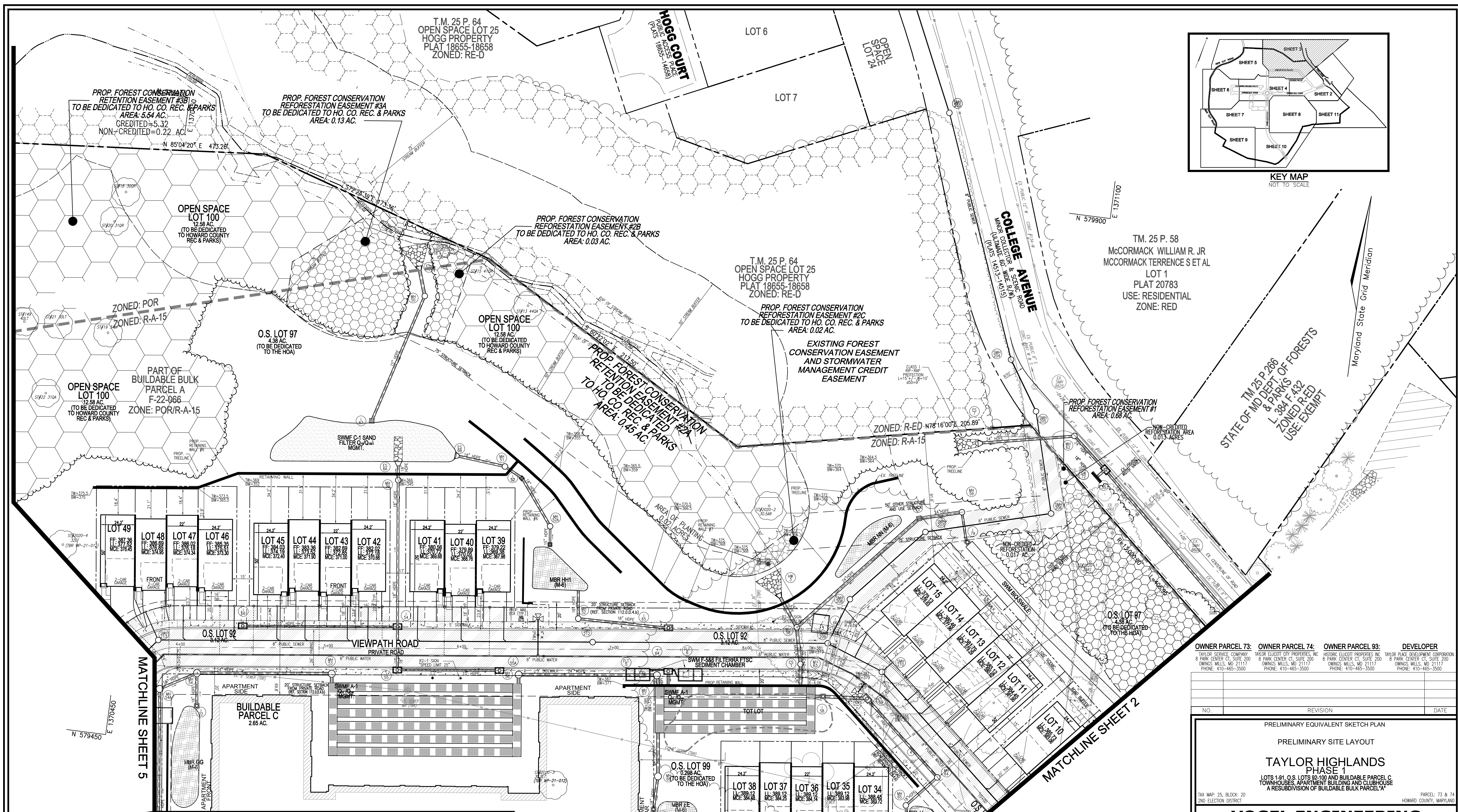
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

DESIGN BY: VETG.
DRAWN BY: VETG.
CHECKED BY: RHV.
DATE: OCTOBER 2023.
SCALE: AS SHOWN.
W.O. NO.: 09-39/2018121.

2 SHEET OF 50



TM. 25 P. 58
 MCCORMACK WILLIAM R. JR
 MCCORMACK TERENCE S ET AL
 LOT 1
 PLAT 20783
 USE: RESIDENTIAL
 ZONE: RED

STATE OF M.D. DEPT. OF FORESTS
 L. 384 F. 432
 ZONED P-ED
 USE: EXEMPT

OWNER PARCEL 73: TAYLOR SERVICE COMPANY
 OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC.
 OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES, INC.
 DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

LEGEND:

EXISTING CURB AND GUTTER	EXISTING FENCE	SAND FILTER AREA
EXISTING UTILITY POLE	PROPERTY LINE	VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
EXISTING LIGHT POLE	RIGHT-OF-WAY LINE	PERVIOUS PAVING
EXISTING SIGN	PROPOSED STORM DRAIN	EXISTING SPECIMEN TREE
EXISTING SANITARY MANHOLE	PROPOSED CURB	PROPOSED STREET SIGN
EXISTING SANITARY LINE	PROPOSED TREELINE	EXISTING FOREST CONSERVATION EASEMENT PLATS 14514 & 22159-22167
EXISTING CLEANOUT	PROPOSED SIDEWALK	EASEMENT PLATS 18654-18658
EXISTING FIRE HYDRANT	PROPOSED STORM DRAIN INLET	EASEMENT PLATS 18112-18114
EXISTING WATER LINE	ZONING RETAINING WALL	FOREST CONSERVATION EASEMENT RETENTION
EXISTING TREELINE (FOREST / FSD)	PROPOSED STREET LIGHT	FOREST CONSERVATION EASEMENT REFORESTATION
EXISTING TREELINE (NON FOREST)	MICRO BIO RETENTION	

PLAN VIEW
 SCALE: 1" = 30'
 SCALE 1" = 30'

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY SITE LAYOUT
TAYLOR HIGHLANDS PHASE 1
 LOTS 141, O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: VETG
 DRAWN BY: VETG
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

3 SHEET OF 50

DocuSigned by:
 Lynda Eganery
 11/15/2023
 PLANNING DIRECTOR DATE

GENERAL NOTES: (CONTINUED...)

47. THIS PLAN IS SUBJECT TO WF-23-068. ON 05/05/2023 THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING APPROVED THE REQUEST FOR AN ALTERNATIVE COMPLIANCE REQUEST TO SECTION 16.144(C)(2), SECTION 16.144(F) AND SECTION 16.144(G) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO EXTEND THE DEADLINE DATES TO COMPLETE DEVELOPER AGREEMENTS AND TO SUBMIT FINAL ORIGINALS FOR THE CONSOLIDATION PLAN F-22-066. TO RESUBMIT THE PRELIMINARY EQUIVALENT SKETCH PLAN FOR PHASE 1 (SP-16-013) AND TO RESUBMIT THE SKETCH PLAN FOR PHASE 2 (S-21-011). APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

- THE DEADLINE TO CONTACT THE REAL ESTATE SERVICES DIVISION CONCERNING THE PREPARATION AND EXECUTION OF A DEED FOR THE DEDICATION OF PUBLIC ROAD RIGHT-OF-WAY FOR ROAD WIDENING AND SUBMISSION OF FINAL PLAT DIGITAL INFORMATION FOR F-22-066 IS EXTENDED 120 DAYS FROM THE DATE OF THIS LETTER (ON OR BEFORE JULY 4, 2023).
- THE DEADLINE FOR SUBMISSION OF THE F-22-066 FINAL ORIGINALS FOR SIGNATURE AND RECORDATION IS EXTENDED 180 DAYS FROM THE DATE OF THIS LETTER (ON OR BEFORE SEPTEMBER 2, 2023). PLEASE PROVIDE A COPY OF THE ALTERNATIVE COMPLIANCE DECISION LETTER WHEN SUBMITTING THE FINAL PLAT ORIGINALS TO DPZ.
- THE DEADLINE FOR RESUBMISSION OF S-21-011 IS EXTENDED 60 DAYS FROM THE DATE OF THIS LETTER (ON OR BEFORE MAY 5, 2023). PLEASE PROVIDE A COPY OF THE ALTERNATIVE COMPLIANCE DECISION LETTER WHEN RESUBMITTING THE SKETCH PLAN TO DPZ.
- THE DEADLINE FOR RESUBMISSION OF SP-16-013 IS EXTENDED 60 DAYS FROM THE DATE OF THIS LETTER (ON OR BEFORE MAY 5, 2023). PLEASE PROVIDE A COPY OF THE ALTERNATIVE COMPLIANCE DECISION LETTER WHEN RESUBMITTING THE PRELIMINARY EQUIVALENT SKETCH PLAN TO DPZ.
- INCLUDE THE ALTERNATIVE COMPLIANCE FILE NUMBER (WP-23-068) IN THE GENERAL NOTES ON F-22-066, S-21-011 AND SP-16-013.

48. THIS PLAN IS SUBJECT TO WF-23-094. ON 05/04/2023 THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING APPROVED THE REQUEST FOR AN ALTERNATIVE COMPLIANCE REQUEST TO SECTION 16.125(C)(1) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO REDUCE THE PUBLIC ROAD FRONTAGE TO "D" FT FOR A PROPOSED APARTMENT BUILDING ON A PRIVATE ROAD. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

- THE APPROVAL OF THIS ALTERNATIVE COMPLIANCE REQUEST IS SPECIFIC TO THE APARTMENT BUILDING PROPOSED ON "BUILDABLE PARCEL C" ("CRESTED VIEW"), AS SHOWN ON THE ALTERNATIVE COMPLIANCE PLAN EXHIBIT FOR TAYLOR HIGHLANDS - PHASE 1 DATED MAY 2023.
- THE PROPOSED PRIVATE STREETS WITHIN THE PROJECT AREA SHALL BE DESIGNED AND CONSTRUCTED TO PUBLIC ROAD STANDARDS IN ACCORDANCE WITH THE DESIGN MANUAL OR AS APPROVED BY THE DEVELOPMENT ENGINEERING DIVISION AND THE DEPARTMENT OF PUBLIC WORKS. THE PRIVATE STREETS WITHIN THE R-A-15 ZONED PORTION OF THE PROPERTY SHALL COMPLY WITH THE SETBACKS IN SECTION 112.0 OF THE ZONING REGULATIONS.
- THE HOMEOWNER'S ASSOCIATION SHALL OWN AND MAINTAIN THE PRIVATE STREETS WITHIN THIS DEVELOPMENT AND SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, TRASH COLLECTION AND SNOW REMOVAL.
- THE PLANNED APARTMENT BUILDING SHALL FRONT ON AND OBTAIN ACCESS FROM THE PROPOSED PRIVATE STREETS. THE APPLICANTS SHALL BE RESPONSIBLE FOR ESTABLISHING SAFE VEHICULAR ACCESS TO THE APARTMENT BUILDING.
- SIDEWALKS AND STREET TREES SHALL BE PROVIDED ALONG THE PRIVATE STREETS IN ACCORDANCE WITH SECTIONS 16.124 AND 16.134 OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL.
- INCLUDE THIS ALTERNATIVE COMPLIANCE FILE NUMBER (WF-23-094) IN THE GENERAL NOTES ON THE PRELIMINARY-EQUIVALENT SKETCH PLAN (SP-16-013).

49. IN ACCORDANCE WITH SECTION 16.125(C)(5) OF THE HOWARD COUNTY CODE, THIS PLAN WAS PRESENTED TO THE HOWARD COUNTY PLANNING BOARD ON DECEMBER 1, 2022 AND DECEMBER 15, 2022. ON DECEMBER 15, 2022 THE BOARD DENIED THE PLAN IN ACCORDANCE WITH SECTION 16.125(C).

ON JULY 13, 2023, THE PROJECT HOWARD COUNTY PLANNING BOARD CONSIDERED THE SP-16-013 PRELIMINARY EQUIVALENT SKETCH PLAN FOR THE NEW MAJOR SUBDIVISION OF TAYLOR HIGHLANDS - PHASE 1 ON 28.9 + ACRES OF LAND ZONED "R-4-15" AND "POR" IN THE SECOND ELECTION DISTRICT OF HOWARD COUNTY, MARYLAND. AFTER EVALUATING THE PROPOSED INITIAL PLAN SUBMITTED USING THE CRITERIA SPECIFIED IN SECTION 16.125(C)(5) OF THE HOWARD COUNTY CODE AND AFTER CONSIDERING A VISUAL ASSESSMENT OF THE AFFECTED EXISTING ROAD, THE BOARD APPROVED THE PLAN, IN ACCORDANCE WITH SECTION 16.125(C), SUBJECT TO THE FOLLOWING REQUIREMENTS:

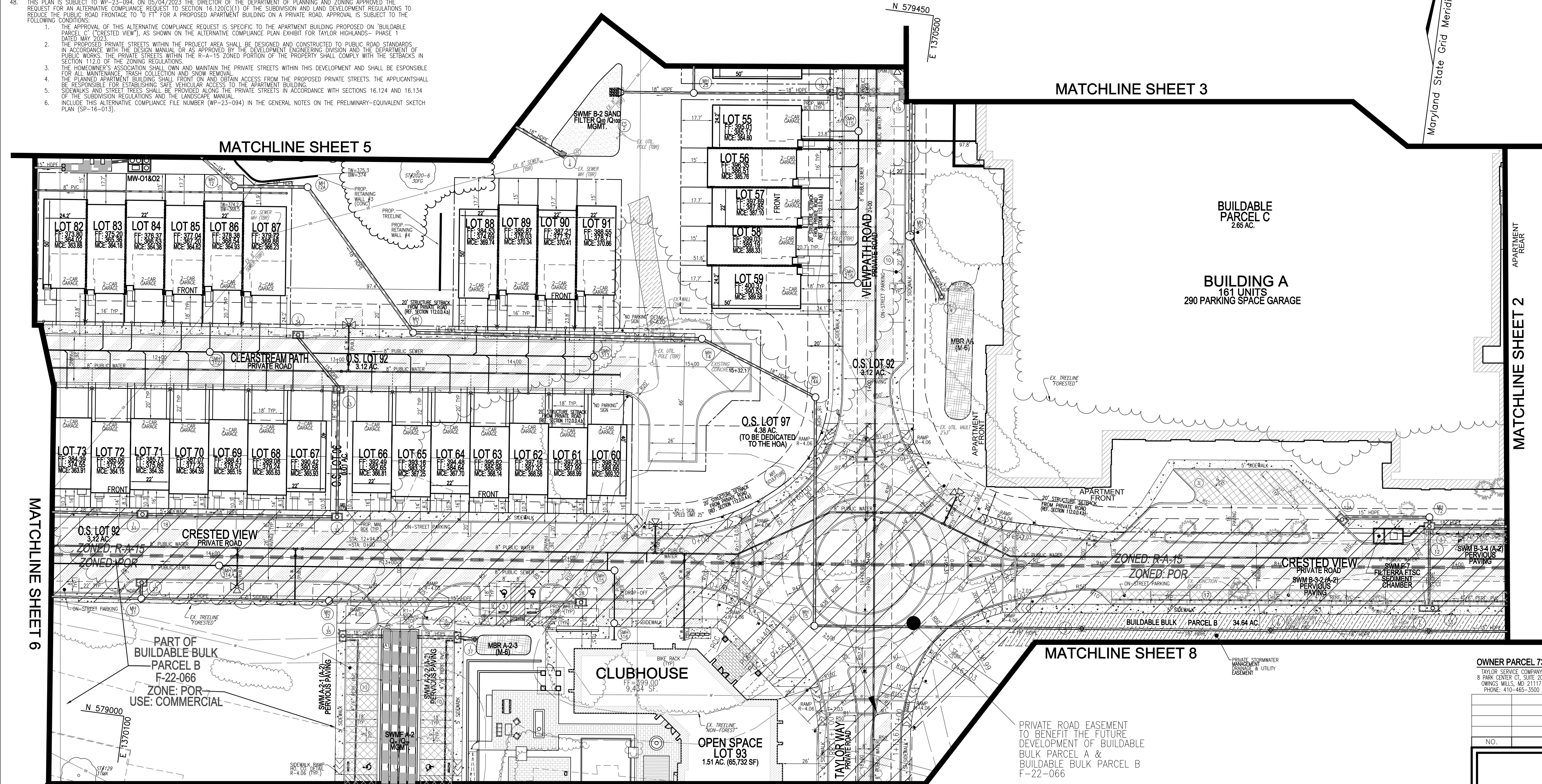
- EVALUATE ALTERNATIVES FOR THE LEAST INTRUSIVE ROUTE FOR THE STORMWATER OUTFALL TO NEW CUT ROAD.
- SCALE UP ALTERNATIVES FOR THE LEAST INTRUSIVE ROUTE FOR THE STORMWATER OUTFALL TO NEW CUT ROAD.
- REVERSE THE RETAINING WALL PROPOSED ALONG COLLEGE AVENUE TO ADHERE TO THE 10' BUFFER.
- DESIGN MANUAL WAIVERS FOR NON-STANDARD CENTERLINE RADIUS, INTERSECTION SPACING ETC. SHALL BE SUBMITTED WITH THE FUTURE SITE DEVELOPMENT PLAN. THE PRIVATE ROADS SHALL MEET PUBLIC ROAD STANDARDS.
- DRAINAGE COMPUTATIONS FOR THE EXISTING NEW CUT ROAD DRAINAGE CULVERTS SHALL BE FURTHER INVESTIGATED AS PART OF THE FUTURE SITE DEVELOPMENT PLAN.

50. THIS PROJECT IS SUBJECT TO NECESSARY DISTURBANCE REQUEST, APPROVED 10/25/2023, BY THE HOWARD COUNTY DEPARTMENT OF PLAN AND ZONING (IN CONSULTATION WITH THE DEPARTMENT OF PUBLIC WORKS AND THE OFFICE OF COMMUNITY SUSTAINABILITY) TO ALLOW THE STREAM AND STREAMBANK BUFFER DISTURBANCES NORTH OF LOTS 41 AND 42 AS ESSENTIAL OR NECESSARY DISTURBANCES IN ACCORDANCE WITH SECTION 16.116(C) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. APPROVAL OF THE NECESSARY DISTURBANCES ARE SUBJECT TO THE FOLLOWING CONDITIONS AND MITIGATION METHODS:

- THE STORMWATER MANAGEMENT OUTFALL SHALL ONLY DISTURB THOSE ENVIRONMENTAL AREAS AS STATED IN THE REQUEST AND AS DELINEATED ON THE PLAN EXHIBITS. ANY DISTURBANCES TO REGULATED ENVIRONMENTAL FEATURES BEYOND THIS REQUEST ARE NOT PERMITTED UNLESS THE APPLICANT SUBMITS A FORMAL REQUEST TO THE DEPARTMENT OF PLANNING & ZONING IN ACCORDANCE WITH SECTION 16.116(C).
- THE DISTURBED AREAS SHALL BE STABILIZED AND SEEDED AFTER CONSTRUCTION IS COMPLETE. DETAILS SHALL BE PROVIDED ON THE EROSION AND SEDIMENT CONTROL PLANS.
- THE APPLICANT WILL BE REQUIRED TO OBTAIN ALL NECESSARY APPROVALS AND AUTHORIZATIONS BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) AND THE U.S. ARMY CORPS OF ENGINEERS (USACE) FOR ACTIVITIES IN REGULATED AREAS PRIOR TO BEGINNING CONSTRUCTION.

LEGEND:

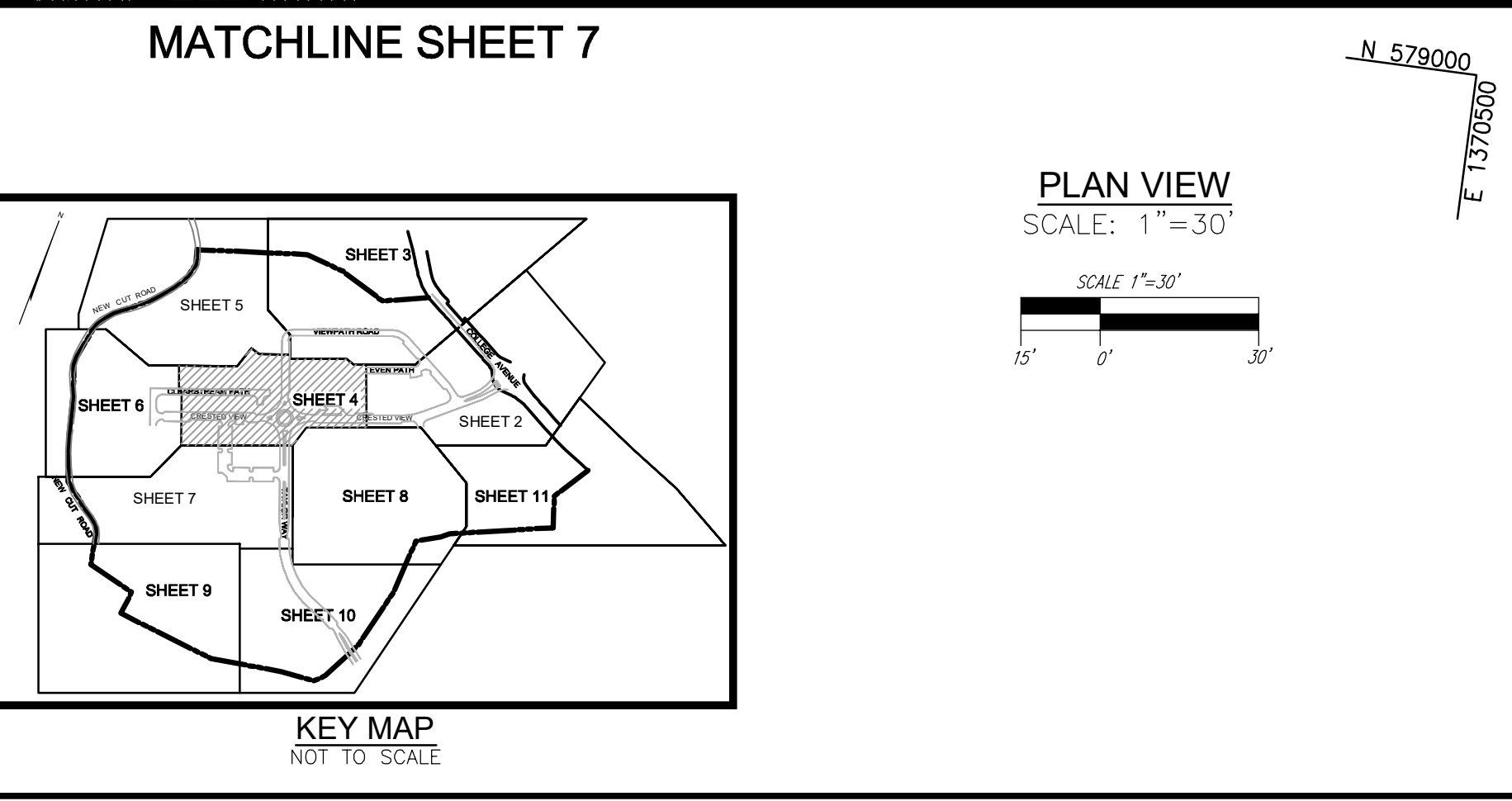
- EXISTING CURB AND GUTTER
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING FIRE LINE
- EXISTING TREETRINE (FOREST / FSD)
- EXISTING TREETRINE (NON FOREST)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED TREETRINE
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED RETAINING WALL
- ZONING LINE
- PROPOSED STREET LIGHT
- PROPOSED BORING
- MICRO BIO RETENTION
- PERVIOUS PAVING
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- PRIVATE STORMWATER MANAGEMENT DRAINAGE & UTILITY EASEMENT
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Designed by: *Lynda Eisenberg*
11/15/2023

PLANNING DIRECTOR DATE



CRESTED VIEW ROUNDABOUT NOTE:
FOR SIGNAGE AND STRIPING/CROSSWALKS OF CRESTED VIEW ROUNDABOUT, SEE SHEET 17.

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

DEVELOPER: TAYLOR ELLICOTT DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY SITE LAYOUT
TAYLOR HIGHLANDS
PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

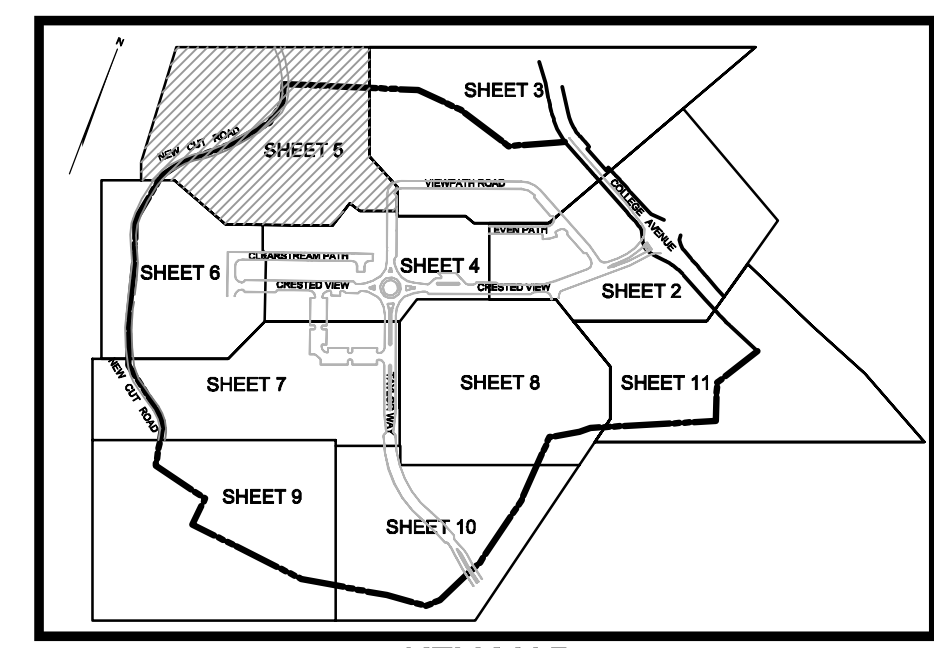
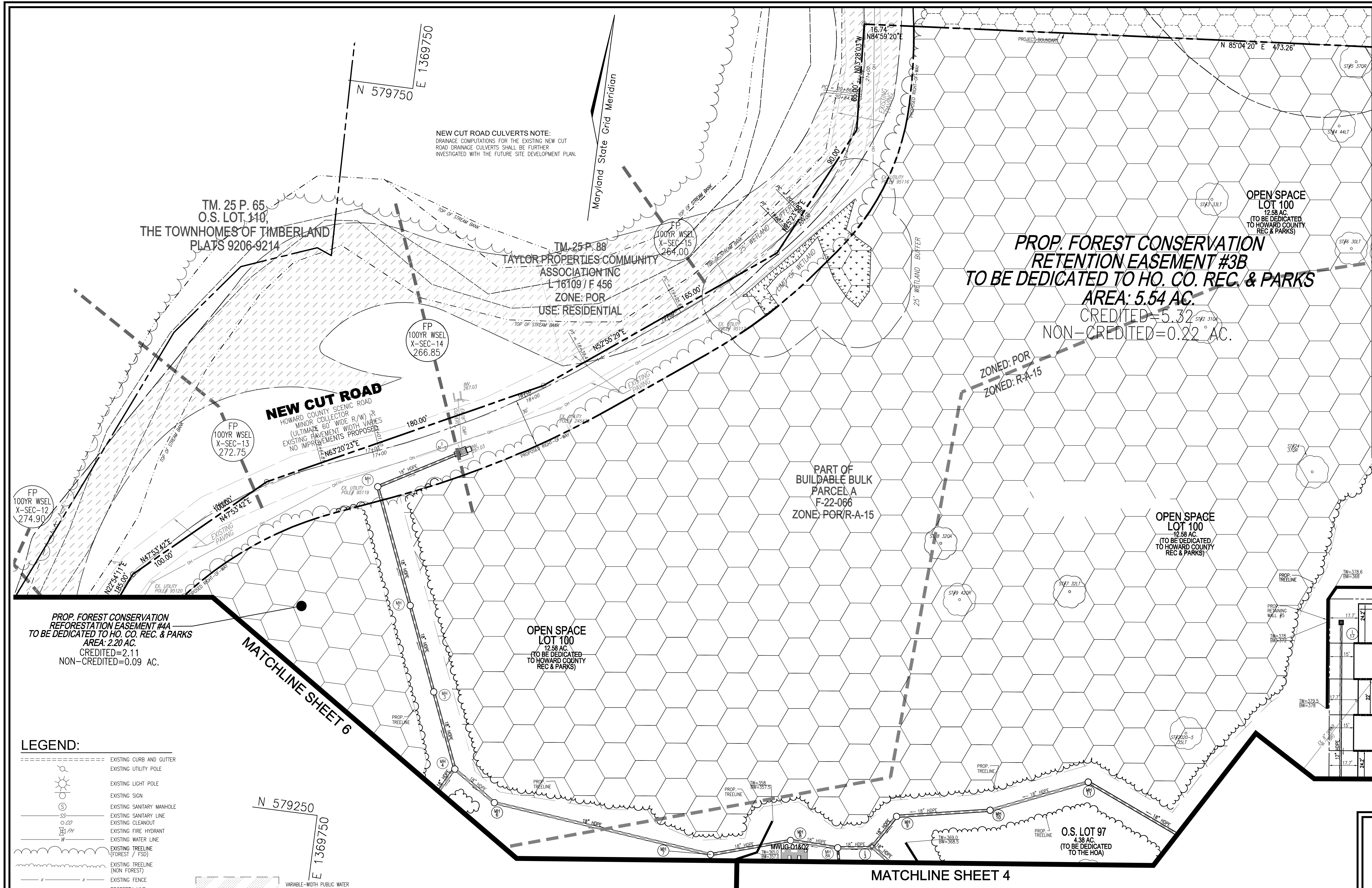
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2024

DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHV
DATE: OCTOBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

4 SHEET OF 50



KEY MAP NOT TO SCALE

TM. 25 P. 65
O.S. LOT 140,
THE TOWNHOMES OF TIMBERLAND
PLATS 9206-9214

TM. 25 P. 88
TAYLOR PROPERTIES COMMUNITY
ASSOCIATION INC
L 16109 / F 456
ZONE: POR
USE: RESIDENTIAL

**PROP. FOREST CONSERVATION
RETENTION EASEMENT #3B
TO BE DEDICATED TO HO. CO. REC. & PARKS**
AREA: 5.54 AC.
CREDITED = 5.32 AC.
NON-CREDITED = 0.22 AC.

PART OF
BUILDABLE BULK
PARCEL A
F-22-066
ZONE: POR/R-A-15

OPEN SPACE
LOT 100
12.88 AC.
(TO BE DEDICATED
TO HOWARD COUNTY
REC. & PARKS)

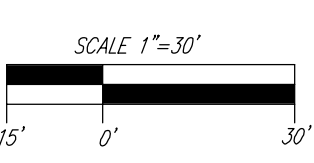
O.S. LOT 97
4.38 AC.
(TO BE DEDICATED
TO THE HOA)

**PROP. FOREST CONSERVATION
REFORESTATION EASEMENT #4A
TO BE DEDICATED TO HO. CO. REC. & PARKS**
AREA: 2.20 AC.
CREDITED = 2.11 AC.
NON-CREDITED = 0.09 AC.

LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED TREELINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- ZONING LINE
- PROPOSED RETAINING WALL
- MICRO BIO RETENTION
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE
- EX. FLOODPLAIN AREA
- FOREST CONSERVATION EASEMENT RETENTION

PLAN VIEW
SCALE: 1" = 30'



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Linda Eisinger
22009356839426
PLANNING DIRECTOR

11/15/2023
DATE

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC, 4100 COLLEGE AVENUE, ELLICOTT CITY, MD 21043, PHONE: 410-465-3500
DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 4100 COLLEGE AVENUE, ELLICOTT CITY, MD 21043, PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY SITE LAYOUT
**TAYLOR HIGHLANDS
PHASE 1**
LOTS 1-91 O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

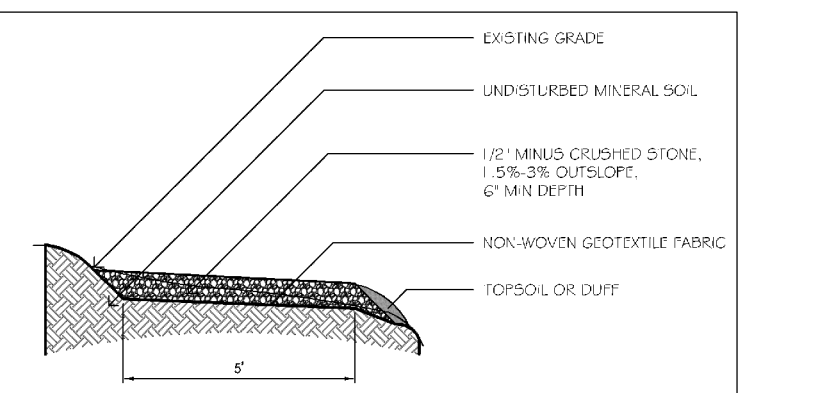
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

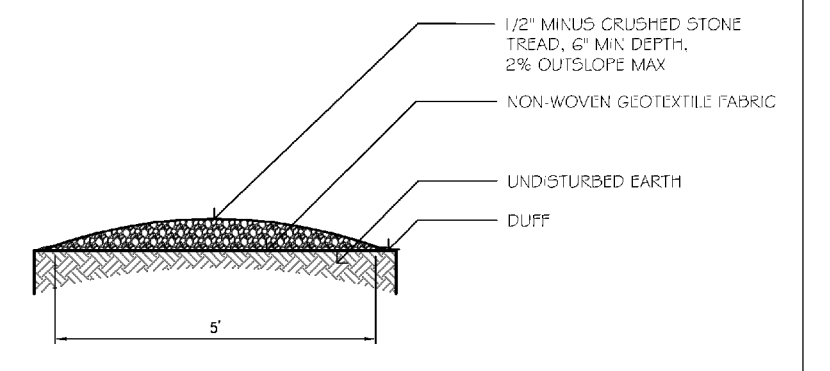
DESIGN BY: VETC
DRAWN BY: VETC
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

11/10/2022
10/26/2022
10/26/2022
10/26/2022

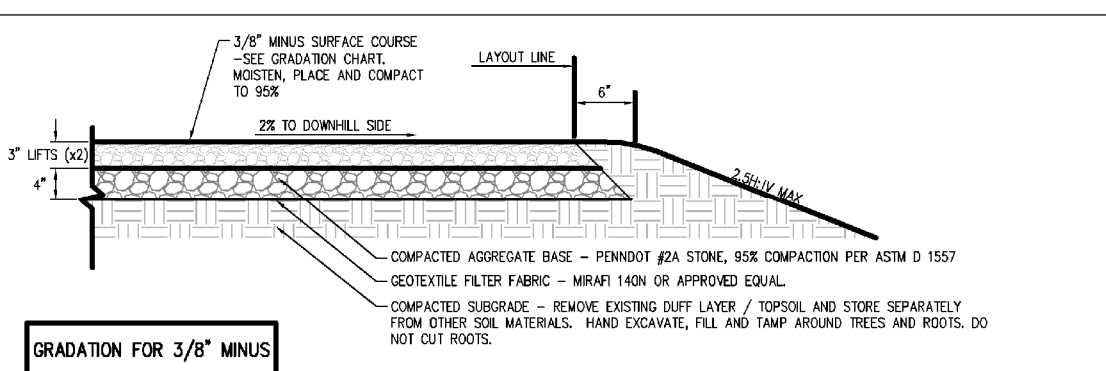
5 SHEET OF 50



Full Bench Crushed Stone Trail
NOT TO SCALE



Crowned Crushed Stone Trail
NOT TO SCALE

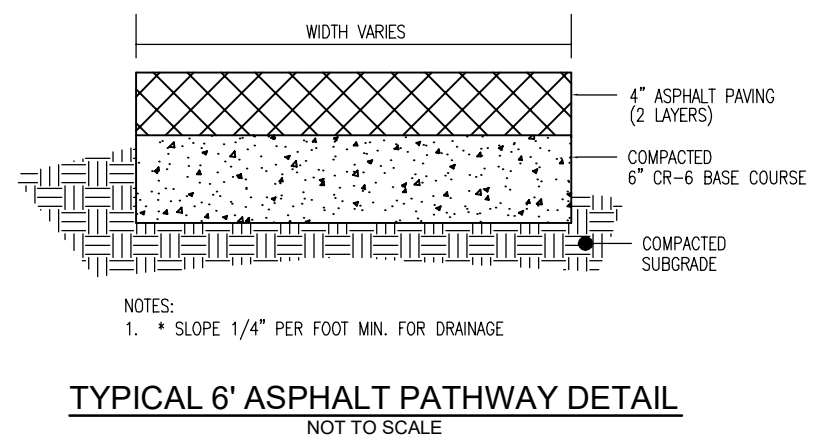


Trail Bed & Tread
NOT TO SCALE

**GRADATION FOR 3/8\"/>

SIEVE SIZE	PERCENT PASSING
3/8"	100
#20	90-100
#30	80-100
#40	60-100
#60	40-100
#100	25-100
#200	5-15

General Notes:
 1. AGGREGATE SHALL BE WASHED, NOT DRY. DO NOT APPLY OR COMPACT MATERIAL THAT IS WITHOUT MOISTURE THROUGH SO THAT SHEDDING DOES NOT OCCUR.
 2. USE SHARP AND STRONG METHODS TO APPLY CLOSE MATERIALS ON TRAIL.
 3. DO NOT OVERSOW/OVERSEED THE AGGREGATE WHICH MAY CAUSE SEED SEGREGATION.
 4. APPLY 1/2\"/>



TYPICAL 6\"/>

PATHWAY NOTES:
 PATHWAY SHALL BE PAVED SURFACE PER DETAIL HEREON.
 IN ACCORDANCE WITH SECTION 4.2.4 OF THE FOREST CONSERVATION MANAGED WALKS AND PATHS MAY BE PERMITTED WITHIN FOREST RETENTION EASEMENTS IF THE FOLLOWING REQUIREMENTS ARE MET:
 A. THE PATHWAY DOES NOT REQUIRE THE REMOVAL OF TREES OF 6-INCH DBH OR GREATER.
 B. THE PATHWAY IS CONSTRUCTED OF MATERIALS THAT CAN BE INSTALLED USING EQUIPMENT WITH A MAXIMUM WEIGHT OF 1/2 TON.
 C. THE PATHWAY IS THE MINIMUM WIDTH NECESSARY TO SERVE THEIR EXPECTED USE AND ARE NO WIDER THAN 8' (6' PROPOSED).
 D. THE PATHWAY IS PLACED NO CLOSER THAN 6' FROM THE BASE OF THE TRUNK OF ANY TREE OVER 12" DBH.
 E. THE PATHWAY IS CONSTRUCTED WITHOUT FILLING GREATER THAN 6\"/>

NOTE
 STREAM RESTORATION SHALL BE DETAILED ON FUTURE FINAL PLAN OR SITE DEVELOPMENT PLAN SUBMISSION FOR PHASE 1

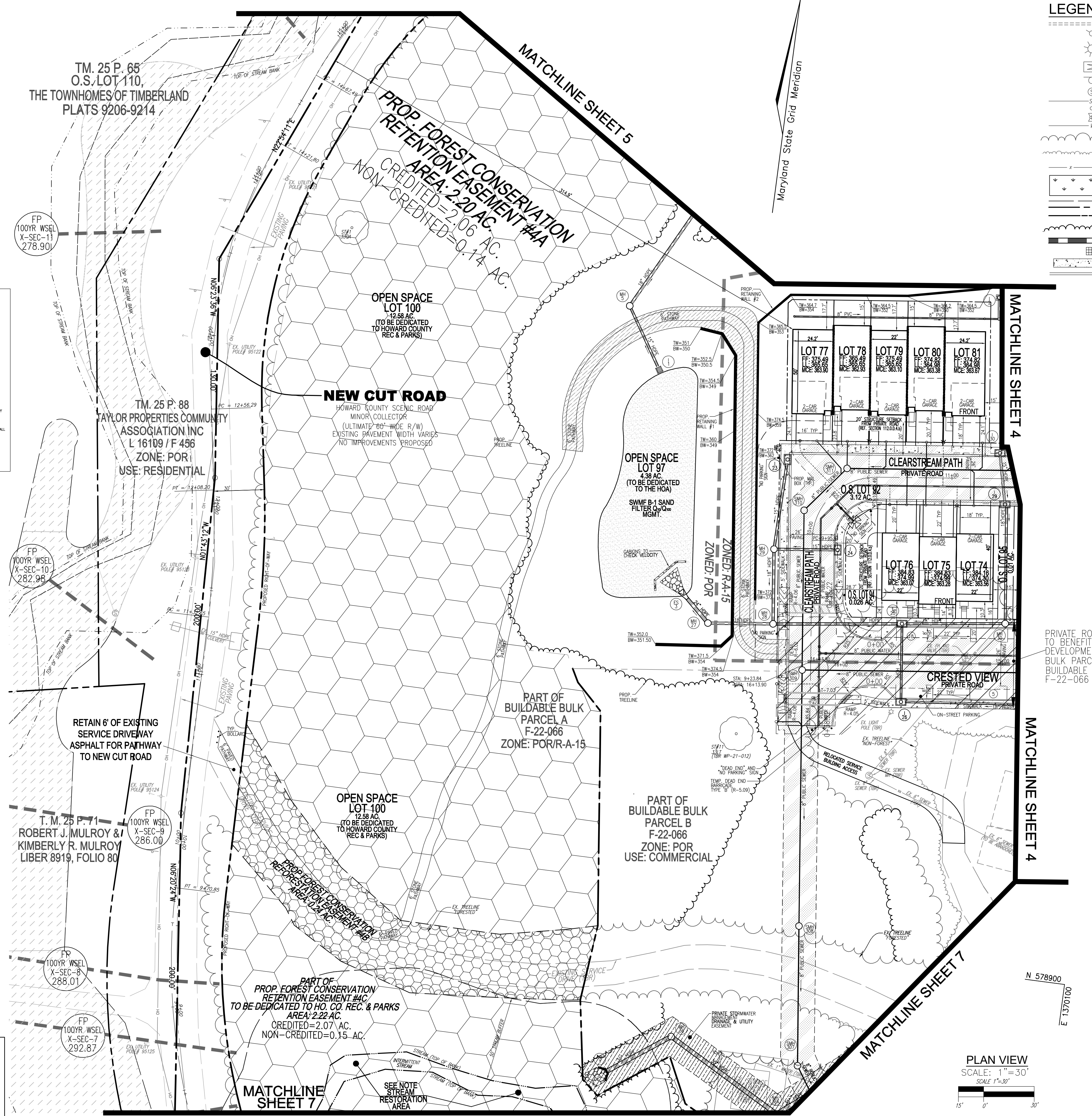
TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

Designed by: *Lynda Eisenberg*
 1209635803943E

11/15/2023

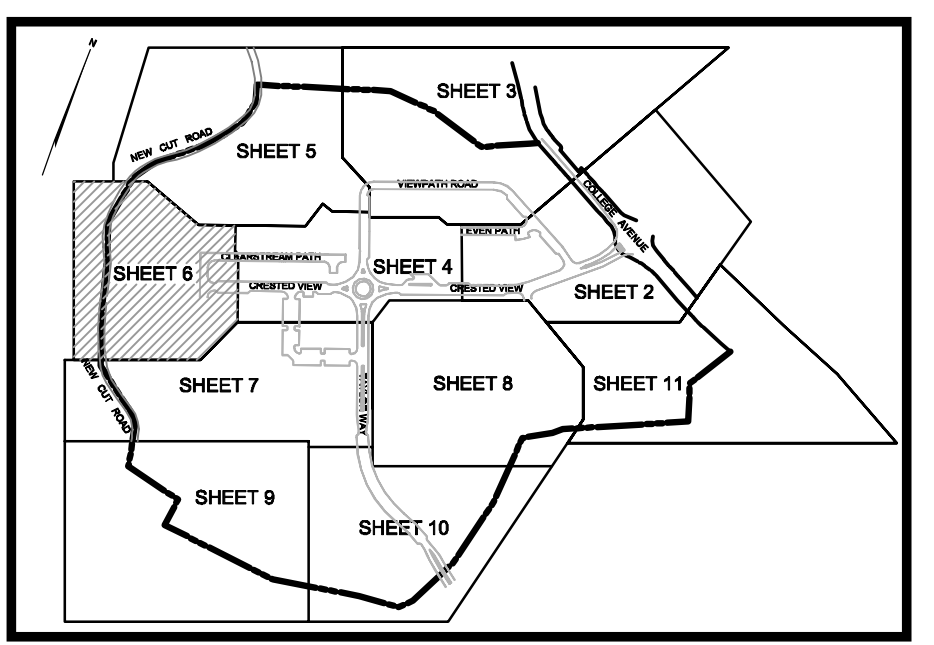
PLANNING DIRECTOR

DATE



LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING WATER LINE
- EXISTING TREETRINE (FOREST / FSD)
- EXISTING TREETRINE (NON FOREST)
- EXISTING FENCE
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED TREETRINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED RETAINING WALL
- ZONING LINE
- CENTERLINE OF EXISTING STREAM
- PROPOSED STREET LIGHT
- PROPOSED BORING
- SAND FILTER AREA
- PERVIOUS PAVING
- VARIABLE-WIDTH PUBLIC WATER SENER AND UTILITY EASEMENT
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- PRIVATE STORMWATER MANAGEMENT DRAINAGE & UTILITY EASEMENT
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE
- EX FLOORPLAN AREA
- FOREST CONSERVATION EASEMENT RETENTION
- FOREST CONSERVATION EASEMENT REFORESTATION



KEY MAP
NOT TO SCALE

OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 83:	DEVELOPER
TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR ELICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	WESTING ELICOTT PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY SITE LAYOUT
TAYLOR HIGHLANDS PHASE 1
 LOTS 1-81, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
 TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
 A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

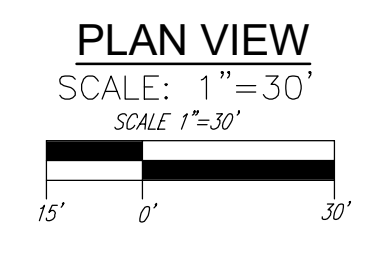
PROFESSIONAL CERTIFICATE

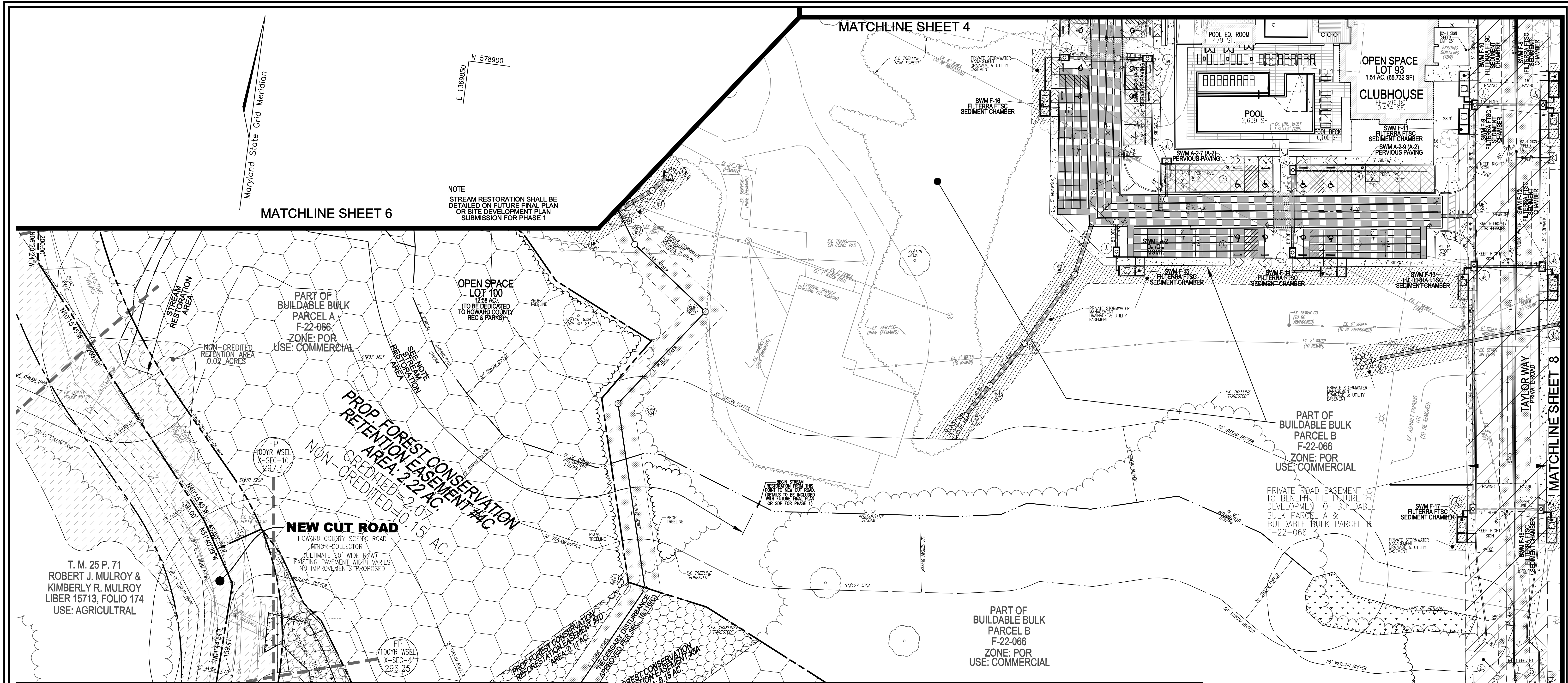
DESIGN BY: VETG.
 DRAWN BY: VETG.
 CHECKED BY: RHV.
 DATE: SEPTEMBER 2023.
 SCALE: AS SHOWN.
 W.O. NO.: 09-39/2018121.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024.

6 SHEET OF 50

STATE OF MARYLAND
 ROBERT HARRIS VOGEL
 REGISTERED PROFESSIONAL ENGINEER
 No. 16193





NOTE
STREAM RESTORATION SHALL BE
DETAILED ON FUTURE FINAL PLAN
OR SITE DEVELOPMENT PLAN
SUBMISSION FOR PHASE 1

NEW CUT ROAD
HOWARD COUNTY SCENIC ROAD
MINOR COLLECTOR
(ULTIMATE 60' WIDE B/W)
EXISTING PAVEMENT WIDTH VARIES
NO IMPROVEMENTS PROPOSED

**PROP FOREST CONSERVATION
AREA: 2.22 AC.**
NON-CREDITED = 0.15 AC.

**PART OF BUILDABLE BULK
PARCEL A
F-22-066
ZONE: POR
USE: COMMERCIAL**

**OPEN SPACE
LOT 100
12.98 AC.
(TO BE DEDICATED
TO HOWARD COUNTY
REC & PARKS)**

**OPEN SPACE
LOT 93
1.51 AC. (65,732 SF)
CLUBHOUSE
FT = 399.00
9,434 SF**

**POOL
2,639 SF**

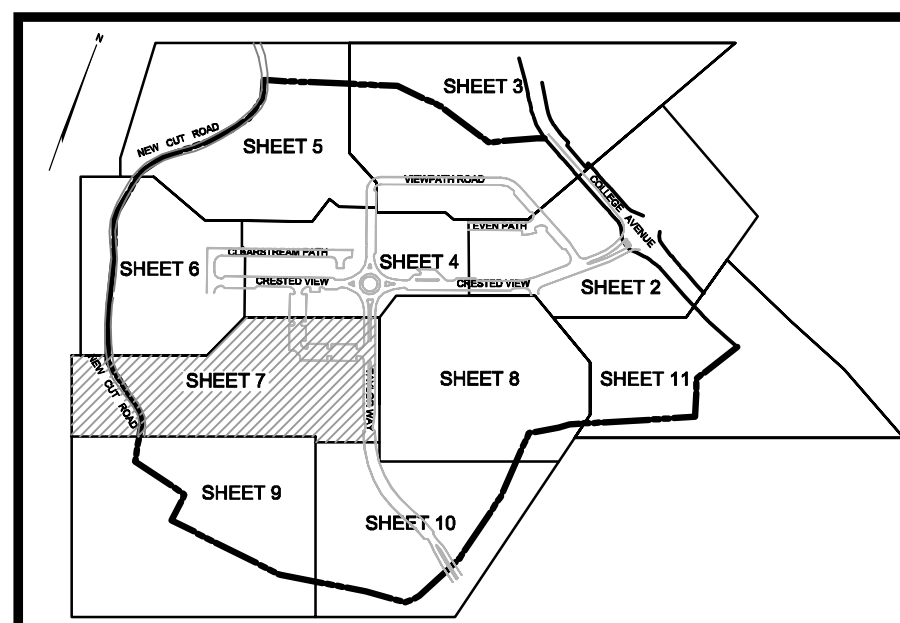
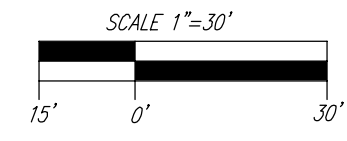
**T. M. 25 P. 71
ROBERT J. MULROY &
KIMBERLY R. MULROY
LIBER 15713, FOLIO 174
USE: AGRICULTURAL**

**PART OF
BUILDABLE BULK
PARCEL B
F-22-066
ZONE: POR
USE: COMMERCIAL**

**PART OF BUILDABLE BULK
PARCEL B
F-22-066
ZONE: POR
USE: COMMERCIAL**

**PRIVATE ROAD EASEMENT
TO BENEFIT THE FUTURE
DEVELOPMENT OF BUILDABLE
BULK PARCEL A &
BUILDABLE BULK PARCEL B
F-22-066**

**PLAN VIEW
SCALE: 1"=30'**



**KEY MAP
NOT TO SCALE**

LEGEND:

	EXISTING CURB AND GUTTER		VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
	EXISTING UTILITY POLE		PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
	EXISTING LIGHT POLE		PRIVATE STORMWATER MANAGEMENT DRAINAGE & UTILITY EASEMENT
	EXISTING MAILBOX		EXISTING WETLAND
	EXISTING SIGN		EXISTING WETLAND BUFFER
	EXISTING SANITARY MANHOLE		EXISTING STREAM
	EXISTING SANITARY LINE		EXISTING STREAM BUFFER
	EXISTING CLEANOUT		PERVIOUS PAVING
	EXISTING FIRE HYDRANT		PROPOSED STREET SIGN
	EXISTING WATER LINE		EXISTING SPECIMEN TREE
	EXISTING TREE LINE (FOREST / FSO)		EX. FLOODPLAIN AREA
	EXISTING TREE LINE (NON FOREST)		FOREST CONSERVATION EASEMENT RETENTION
	EXISTING FENCE		FOREST CONSERVATION EASEMENT REFORESTATION
	PROPERTY LINE		
	RIGHT-OF-WAY LINE		
	PROPOSED TREE LINE		
	PROPOSED STORM DRAIN		
	PROPOSED STORM DRAIN INLET		
	PROPOSED SIDEWALK		
	PROPOSED CURB		
	PROPOSED RETAINING WALL		
	PROPOSED STREET LIGHT		

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Designed by
Linda Eisenberg
12069356839426

11/15/2023
DATE

PLANNING DIRECTOR

OWNER PARCEL 73: TAYLOR SERVICE COMPANY
8 PARK CENTER CT, SUITE 200
OWINGS MILLS, MD 21117
PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC.
8 PARK CENTER CT, SUITE 200
OWINGS MILLS, MD 21117
PHONE: 410-465-3500

OWNER PARCEL 83: HISTORIC ELLICOTT PROPERTIES INC.
4100 COLLEGE AVENUE
ELLICOTT CITY, MD 21043
PHONE: 410-465-3500

DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION
4100 COLLEGE AVENUE
ELLICOTT CITY, MD 21043
PHONE: 410-465-3500

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY SITE LAYOUT
**TAYLOR HIGHLANDS
PHASE 1**
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

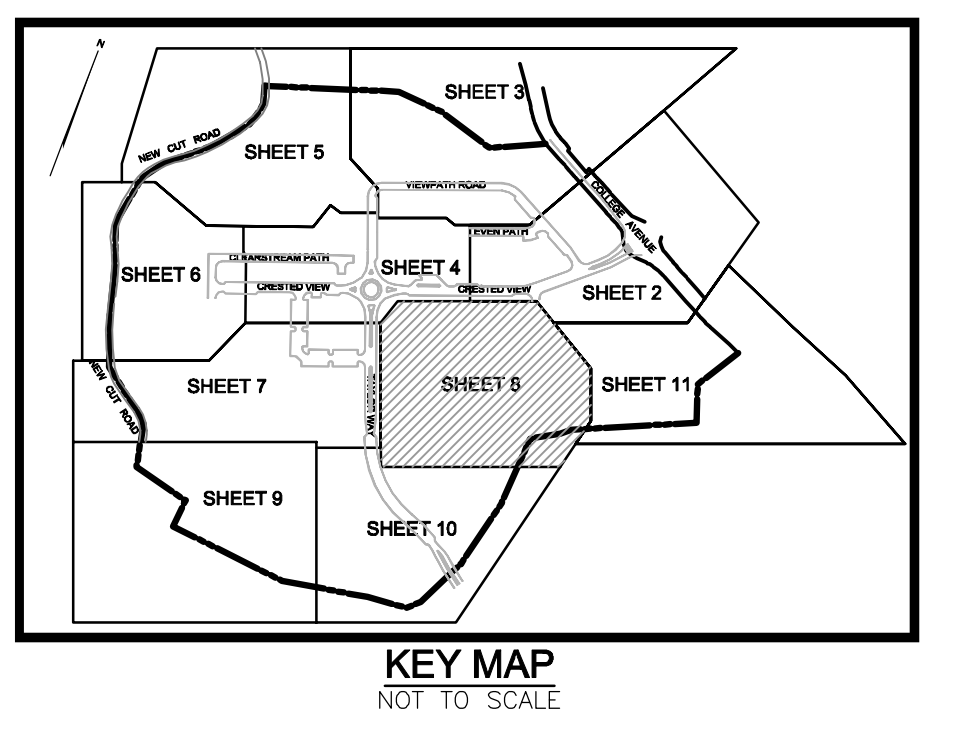
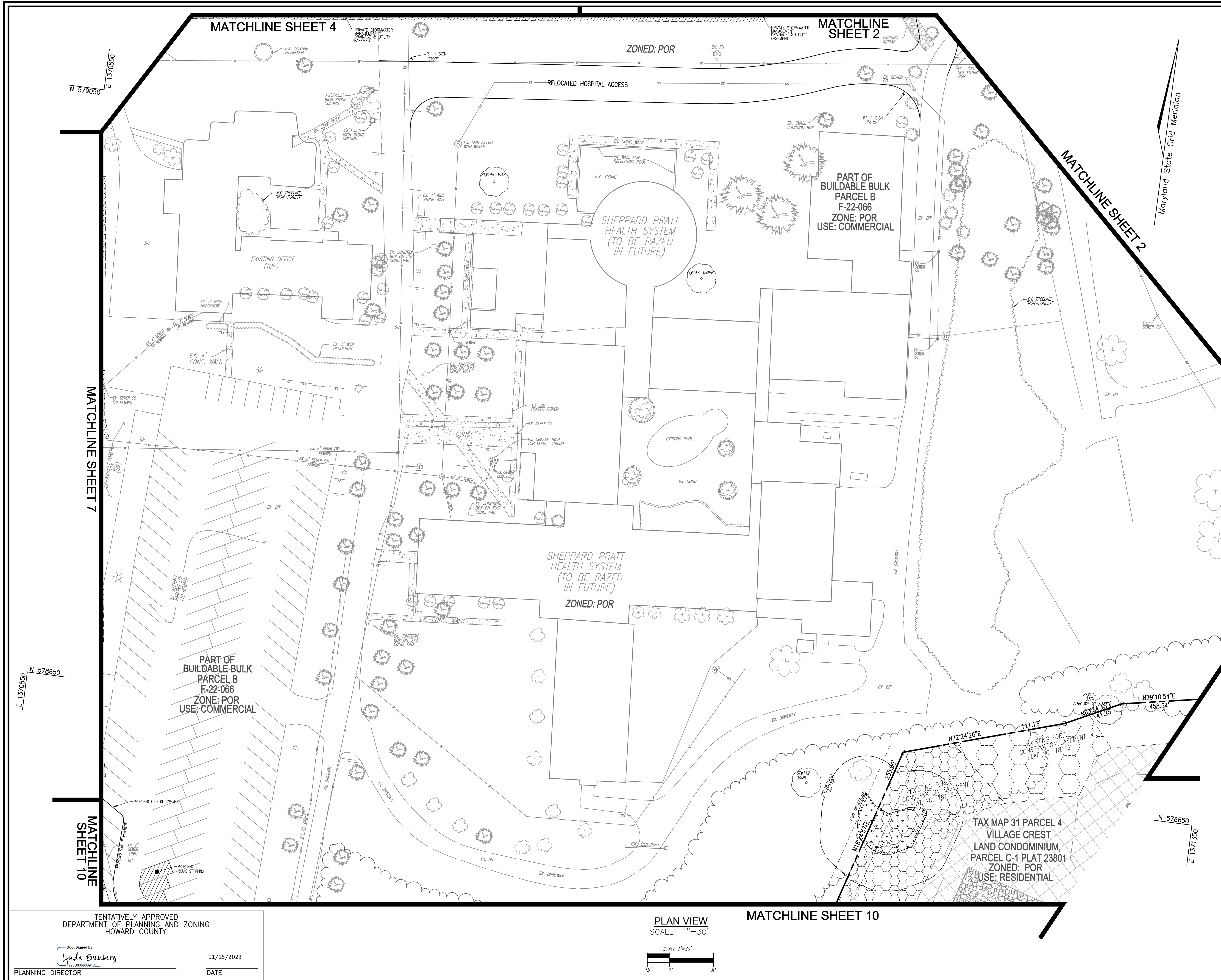
VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
DESIGN BY: _____ VETG.
DRAWN BY: _____ VETG.
CHECKED BY: _____ RHV.
DATE: _____ SEPTEMBER 2023
SCALE: _____ AS SHOWN
W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2024

7 SHEET
OF **50**

NO.	REVISION	DATE



LEGEND:

	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING TREELINE (FOREST / FSD)
	EXISTING TREELINE (NON FOREST)
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	PROPOSED PAVING
	PROPOSED STREET LIGHT
	PROPOSED BORING
	PROPOSED STREET SIGN
	EXISTING SPECIMEN TREE
	EXISTING FOREST CONSERVATION EASEMENT PLATS 18112-18114

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 93: HISORIC ELLICOTT PROPERTIES INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500
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NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY SITE LAYOUT
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 82-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE "A RESUBDIVISION OF BUILDABLE BULK PARCEL A"

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

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CHECKED BY: _____ RHV.
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SCALE: _____ AS SHOWN.
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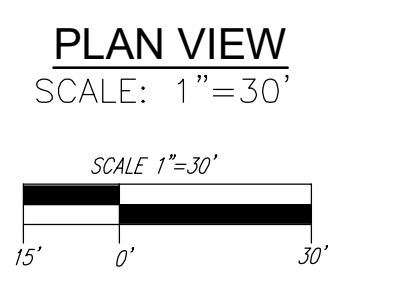
8 SHEET OF 50

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Linda Eisenberg
1220683863842E

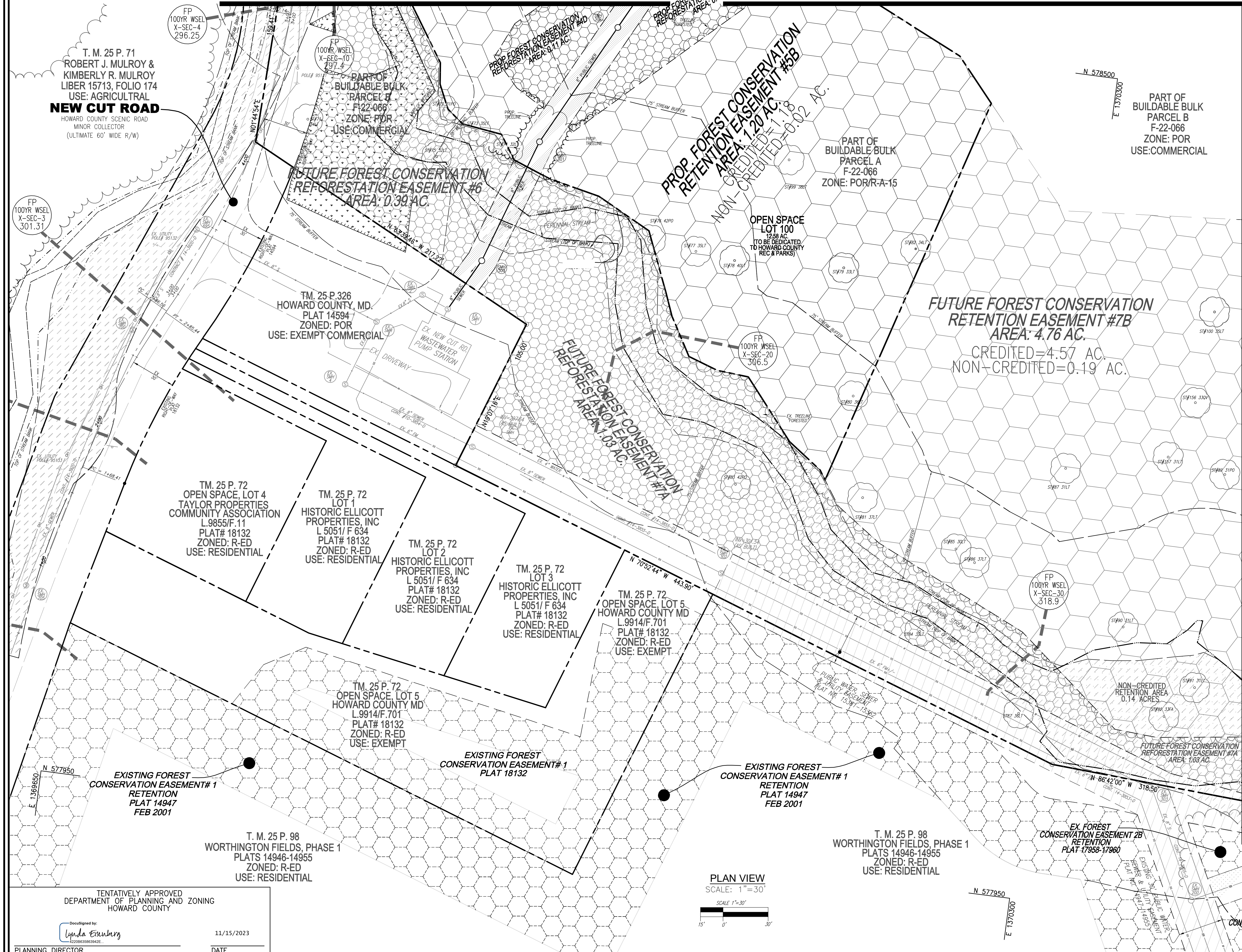
PLANNING DIRECTOR

11/15/2023
DATE



MATCHLINE SHEET 10

MATCHLINE SHEET 7

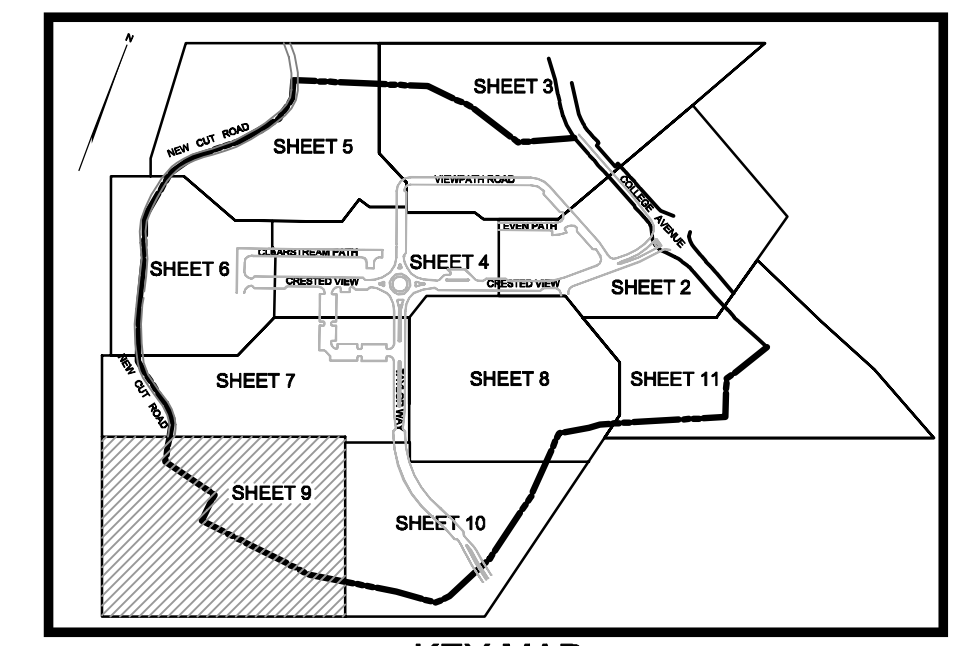


LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREE LINE (FOREST / FSD)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- EXISTING STREAM
- EXISTING STREAM BUFFER
- PROPOSED TREE LINE
- EXISTING SPECIMEN TREE
- FOREST CONSERVATION EASEMENT (RETENTION)
- EX. FOREST CONSERVATION EASEMENT (RETENTION)
- EXISTING FLOOD PLAN AREA
- FOREST CONSERVATION EASEMENT REFORESTATION

Maryland State Grid Meridian

MATCHLINE SHEET 10



KEY MAP NOT TO SCALE

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN

PRELIMINARY SITE LAYOUT

TAYLOR HIGHLANDS PHASE 1

LOTS 1, 91, 92, 100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

TAX MAP: 25, BLOCK 20, 2ND ELECTION DISTRICT. PARCEL: 73 & 74, HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

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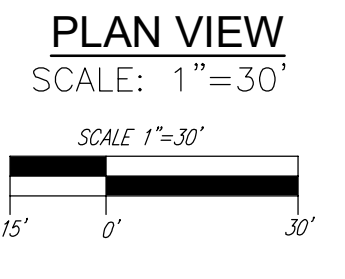
11/15/2023
DATE

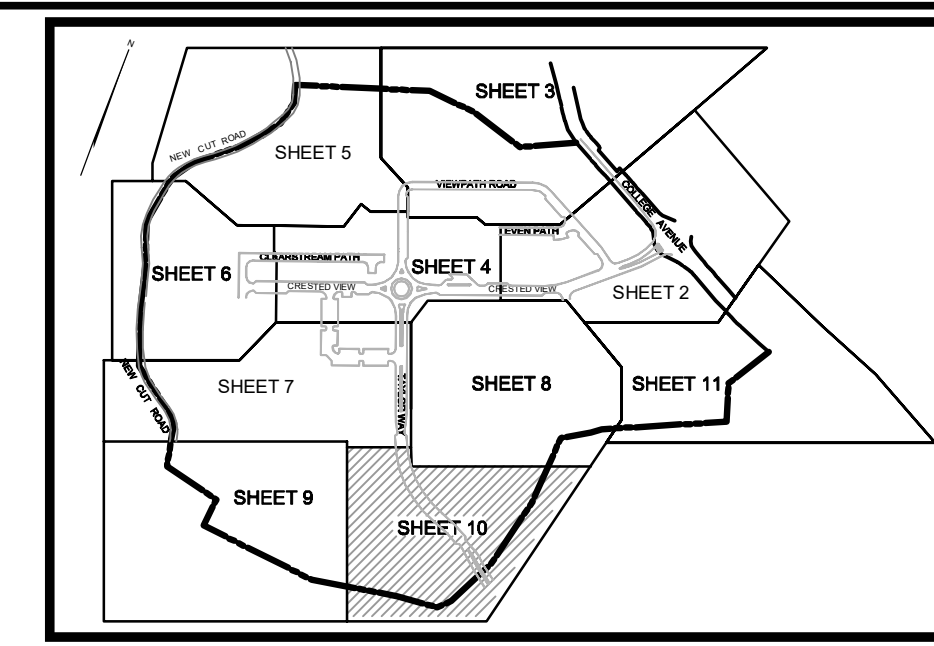
9 SHEET OF 50

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Designed by: *Lynda Eisinger*
PLANNING DIRECTOR

11/15/2023
DATE





KEY MAP NOT TO SCALE

LEGEND:

- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED RETAINING WALL
- ZONING LINE
- PROPOSED STREET LIGHT
- PROPOSED BORING
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- PRIVATE STORMWATER MANAGEMENT DRAINAGE & UTILITY EASEMENT
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- EXISTING STREAM
- EXISTING STREAM BUFFER
- EXISTING SPECIMEN TREE
- FOREST CONSERVATION EASEMENT RETENTION
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED TREELINE

OWNER PARCEL 73: TAYLOR SERVICE COMPANY
8 PARK CENTER CT, SUITE 200
OWINGS MILLS, MD 21117
PHONE: 410-465-3500

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PHONE: 410-465-3500

DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION
8 PARK CENTER CT, SUITE 200
OWINGS MILLS, MD 21117
PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY SITE LAYOUT
TAYLOR HIGHLANDS
PHASE 1
LOTS 1-91 O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

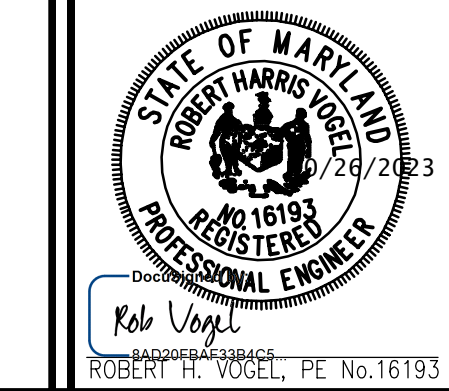
PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

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W.O. NO.: 09-39/2018121

10 SHEET OF 50



MATCHLINE SHEET 7

MATCHLINE SHEET 8

MATCHLINE SHEET 9

PART OF BUILDABLE BULK PARCEL B
F-22-066
ZONE: POR
USE: COMMERCIAL

PART OF BUILDABLE BULK PARCEL B
F-22-066
ZONE: POR
USE: COMMERCIAL

PART OF BUILDABLE BULK PARCEL B
F-22-066
ZONE: POR
USE: COMMERCIAL

FUTURE FOREST CONSERVATION RETENTION EASEMENT #7B
AREA: 4.76 AC.
CREDITED=4.57 AC.
NON-CREDITED=0.19 AC.

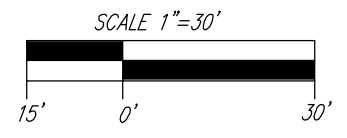
EX. PHASE 6
VILLAGE CREST VILLAS
PLAT# 21884-21885

EX. PHASE 1
VILLAGE CREST VILLAS
PLAT# 20728-20730

EXISTING FOREST CONSERVATION EASEMENT #5A
RETENTION
PLAT 17958-17960
F-06-077

EXISTING FOREST CONSERVATION EASEMENT #5B
RETENTION
PLAT 17958-17960
F-06-077

PLAN VIEW
SCALE: 1"=30'



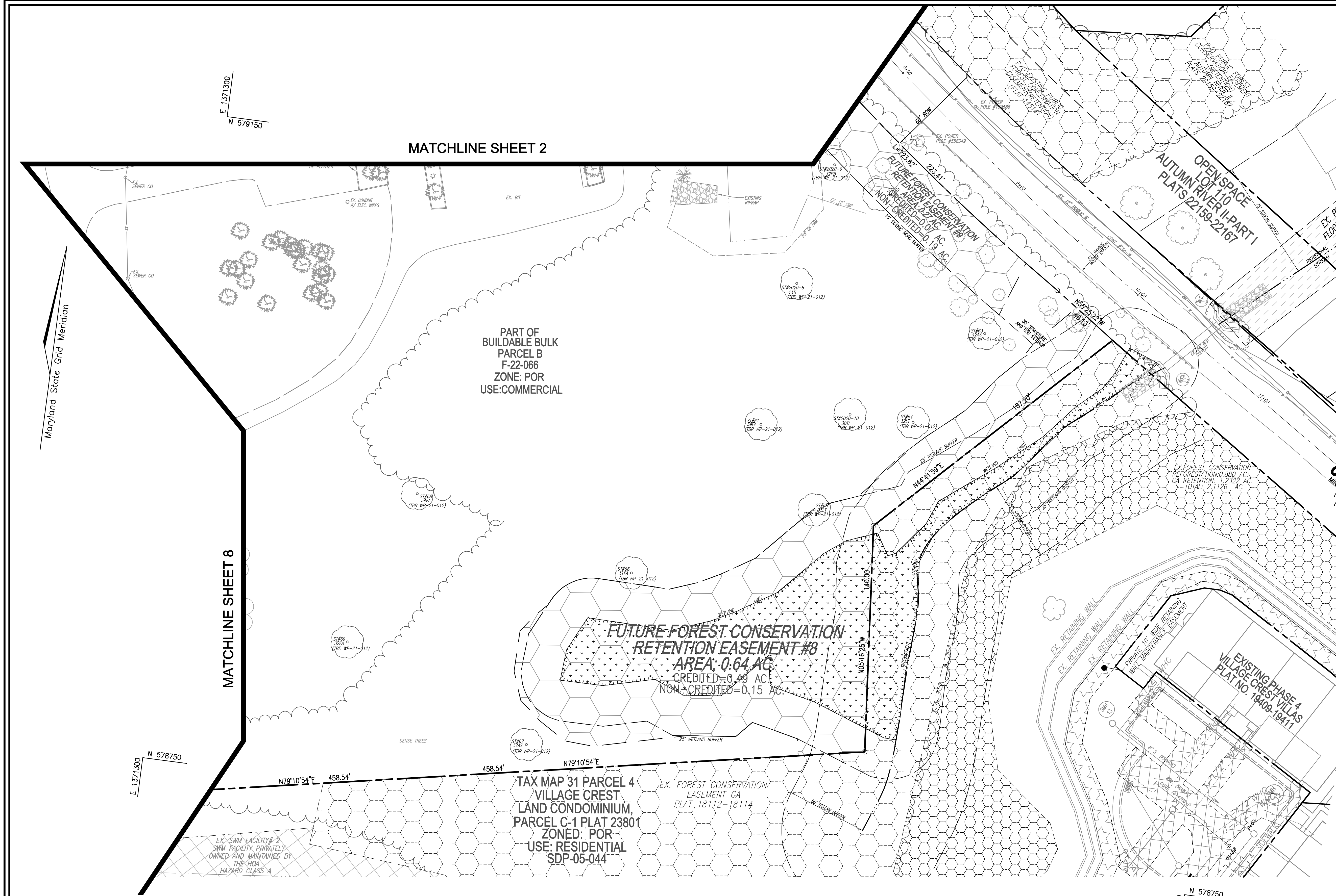
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Designed by:
Linda Eisenberg
PLANNING DIRECTOR

11/15/2023
DATE

LEGEND:

- - - - - EXISTING CONTOUR
- o 02.68 EXISTING SPOT ELEVATION
- == EXISTING CURB AND GUTTER
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING MAILBOX
- ⊕ EXISTING SIGN
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING SANITARY LINE
- ⊕ EXISTING CLEANOUT
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER LINE
- ~ ~ ~ EXISTING TREELINE (FOREST / FSD)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ▨ EXISTING WETLAND
- ▨ EXISTING WETLAND BUFFER
- ▨ EXISTING STREAM
- ▨ EXISTING STREAM BUFFER
- EXISTING SPECIMEN TREE
- PROPOSED STORM DRAIN
- ▨ EXISTING FOREST CONSERVATION EASEMENT PLATS 22159-22167
- ▨ EXISTING FOREST CONSERVATION EASEMENT PLATS 18112-18114
- ▨ FOREST CONSERVATION EASEMENT RETENTION



MATCHLINE SHEET 2

MATCHLINE SHEET 8

PART OF BUILDABLE BULK PARCEL B F-22-066 ZONE: POR USE: COMMERCIAL

FUTURE FOREST CONSERVATION RETENTION EASEMENT #8
 AREA: 0.64 AC
 CREDITED = 0.49 AC
 NON-CREDITED = 0.15 AC

TAX MAP 31 PARCEL 4 VILLAGE CREST LAND CONDOMINIUM, PARCEL C-1 PLAT 23801 ZONED: POR USE: RESIDENTIAL SDP-05-044

EX. FOREST CONSERVATION EASEMENT GA PLAT 18112-18114

EXISTING PHASE 4 VILLAGE CREST VILAS PLAT NO. 19409-19411

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500
---	--	---	---

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY SITE LAYOUT
TAYLOR HIGHLANDS PHASE 1
 LOTS 1-91 O.S. LOTS 82-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

TAX MAP: 25, BLOCK: 20 2ND ELECTION DISTRICT PARCEL: 73 & 74 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

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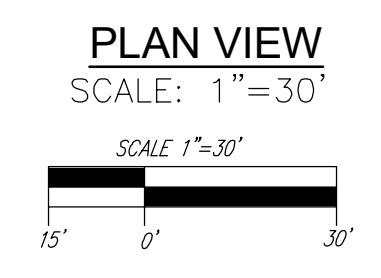
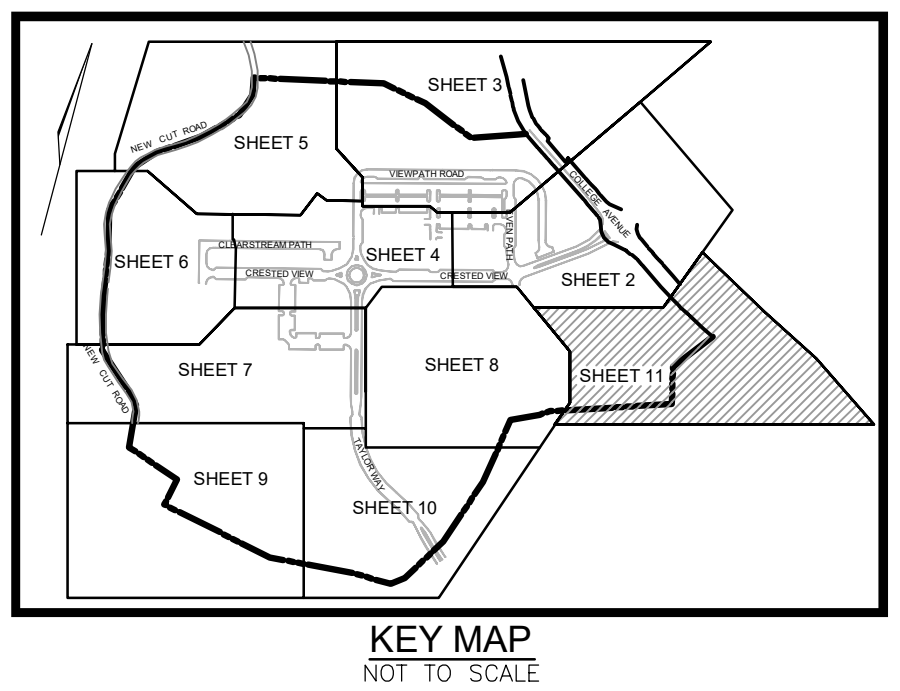
	DESIGN BY: _____ VETC	PROFESSIONAL CERTIFICATE I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024
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W.O. NO.: 09-39/2018121	11 SHEET OF 50	

TENTATIVELY APPROVED
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 HOWARD COUNTY

DocuSigned by:

 Linda Eschenberg
 PLANNING DIRECTOR

11/15/2023
 DATE

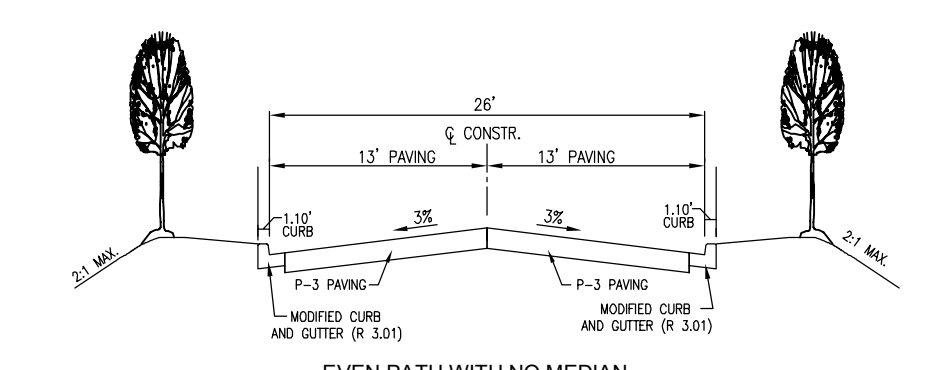
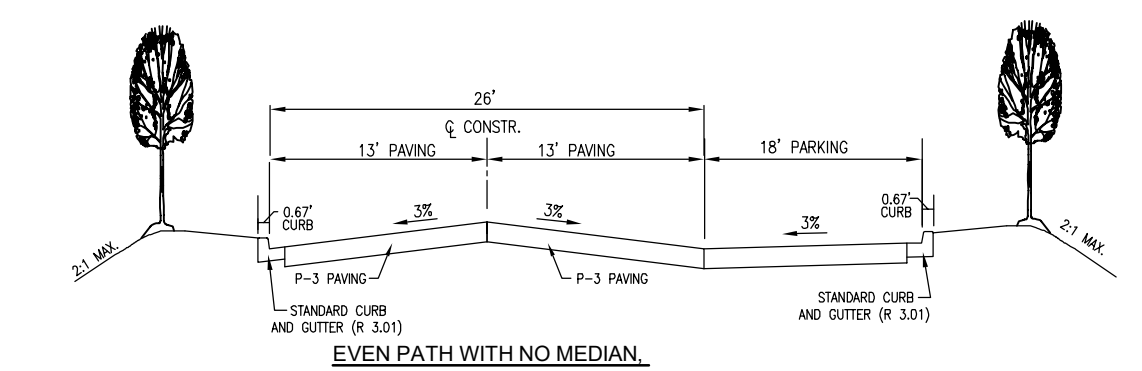
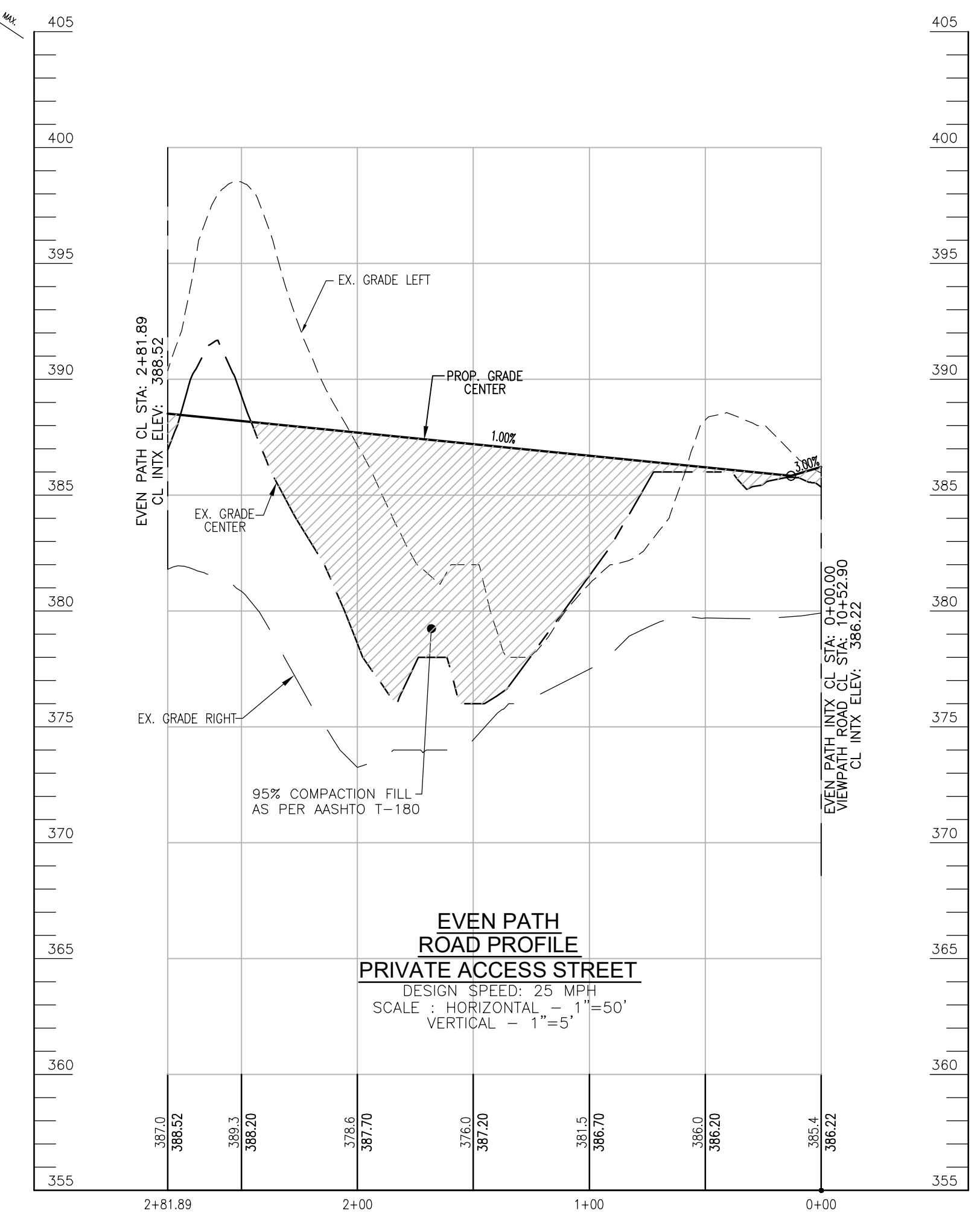
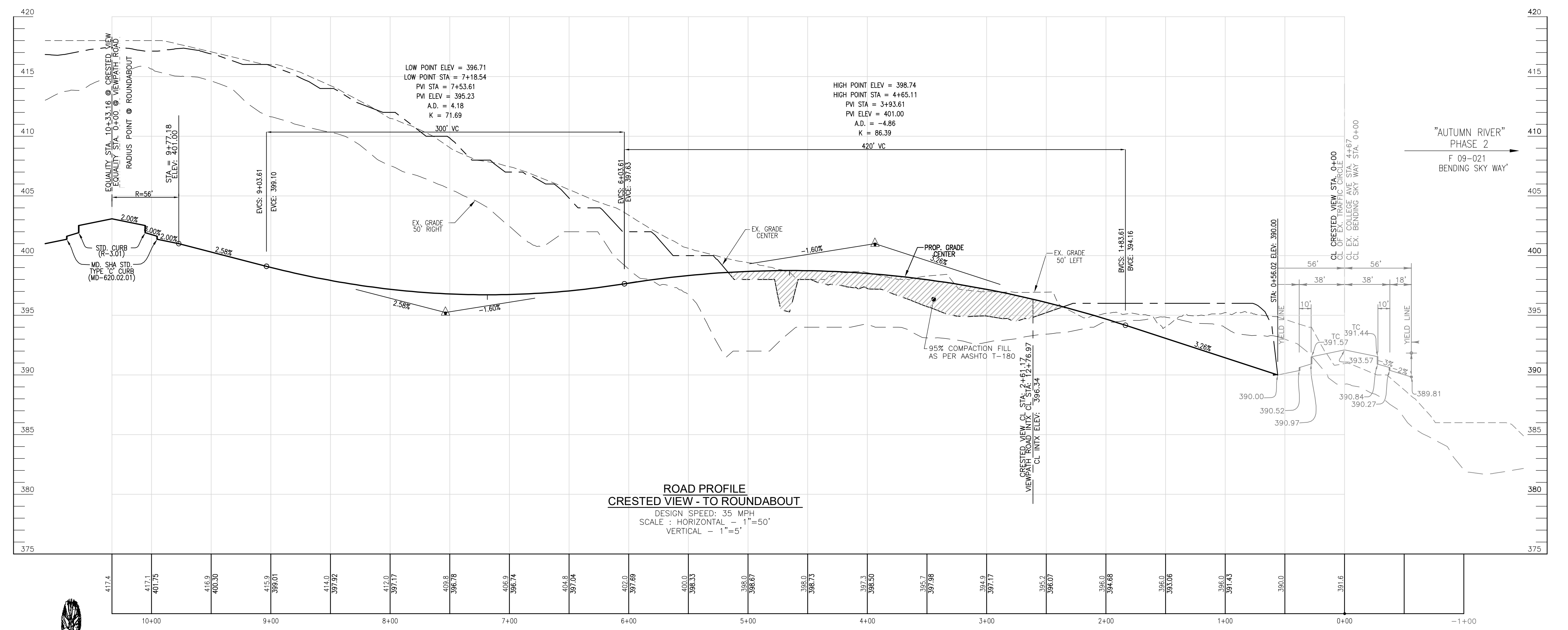
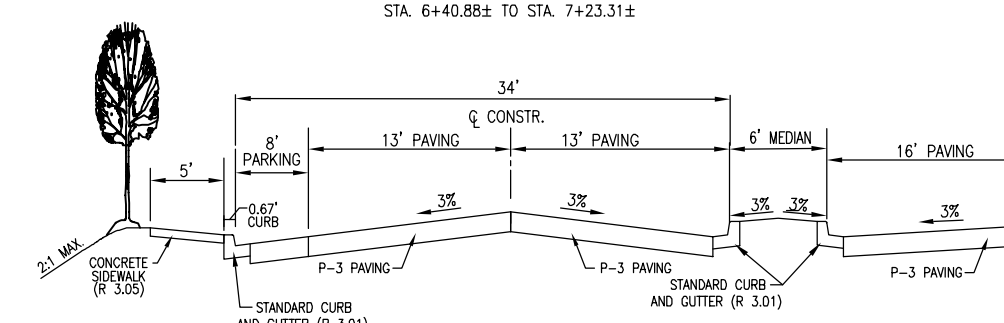
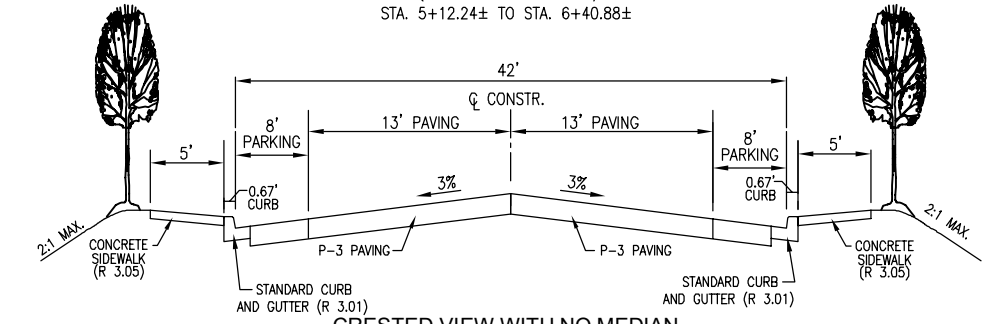
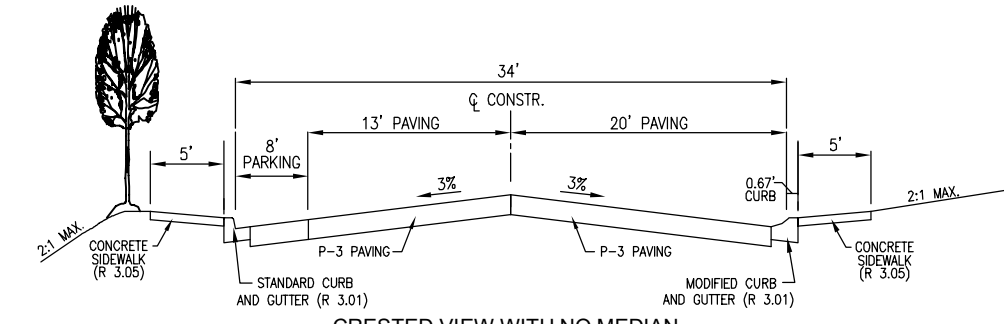
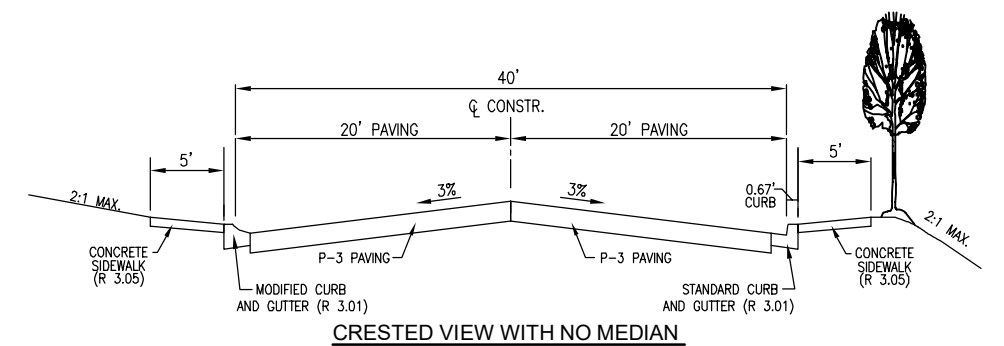
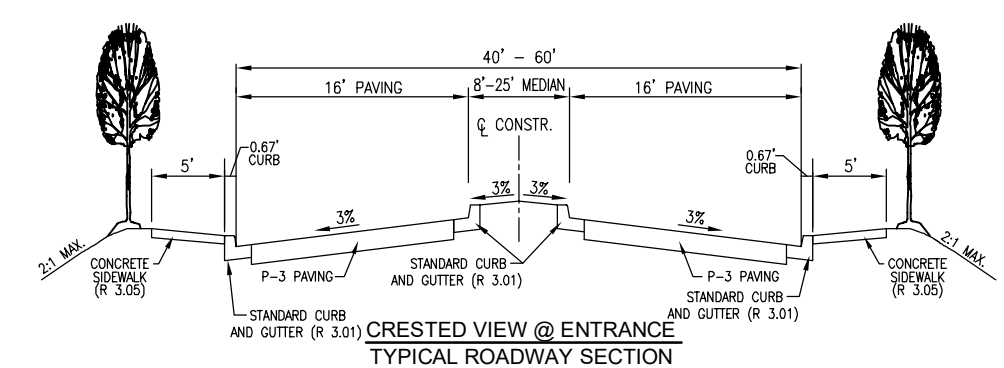


Maryland State Grid Meridian

E. 1371300
 N. 579150

E. 1371300
 N. 578750

E. 1371950
 N. 578750



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Linda Esenberg
11/15/2023

PLANNING DIRECTOR DATE

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY ROAD PROFILES

TAYLOR HIGHLANDS
PHASE 1
LOTS 1-91 O.S. LOTS 92-100 AND BUILDABLE PARCEL C.
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
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TAX MAP: 25, BLOCK: 20
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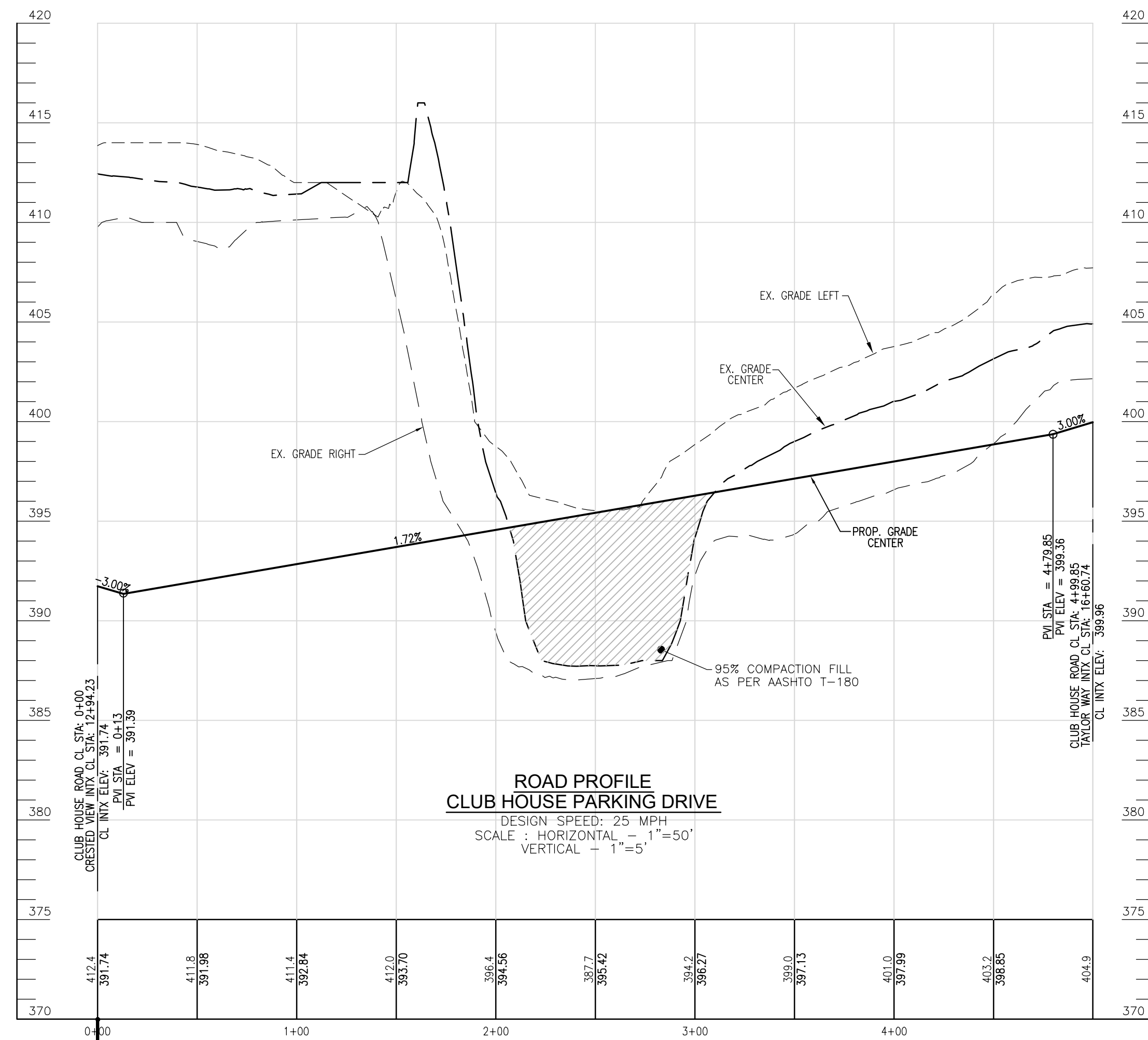
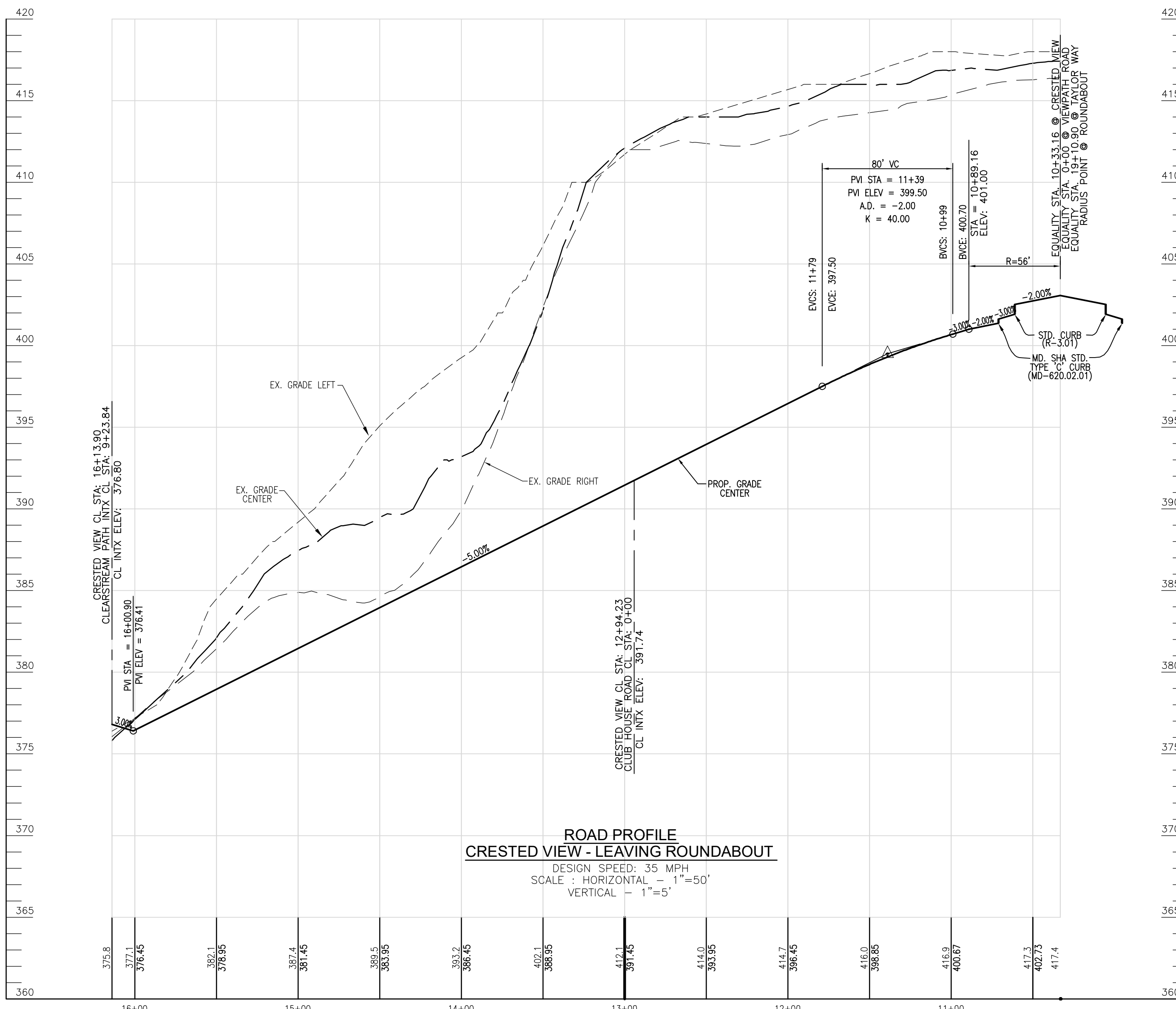
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12 SHEET OF **50**



NEIGHBORHOOD YIELD STREET

HOUSING TYPE	AVERAGE DAILY TRAFFIC	A	B	C	D	PAVING SECTION
SINGLE FAMILY	< 5,000 VEHICLES	12"	8"	8"	12"	P-2
MULTIFAMILY	5,000 - 10,000 VEHICLES	12"	8"	8"	12"	P-3
COMMERCIAL / INDUSTRIAL	> 10,000 VEHICLES	12"	8"	8"	12"	P-3
TRUCK TRAILERS / TRAILERS	> 10,000 VEHICLES	14"	8"	8"	12"	P-3

NOTES:
 1. TYPE OF CURB AND GUTTER (LOCATION) CONSTRUCTION CURB & GUTTER OR CONSTRUCTION CURB & GUTTER - SEE EXISTING RECORD PLANS.
 2. 4" CONCRETE SIDEWALK.
 3. TRAFFIC BARRIERS SHALL BE AS SHOWN ON DESIGN MANUAL, VOLUME 05.

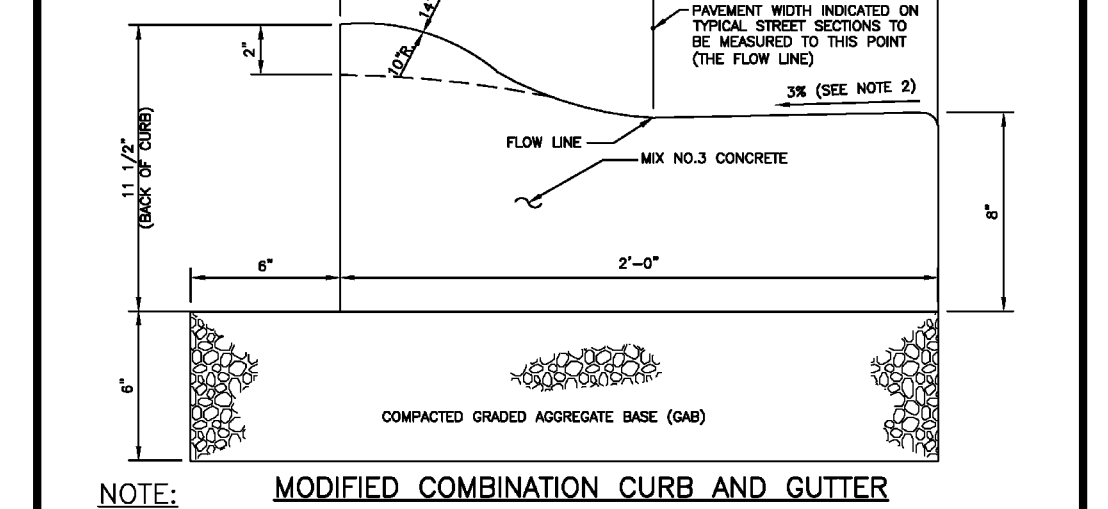
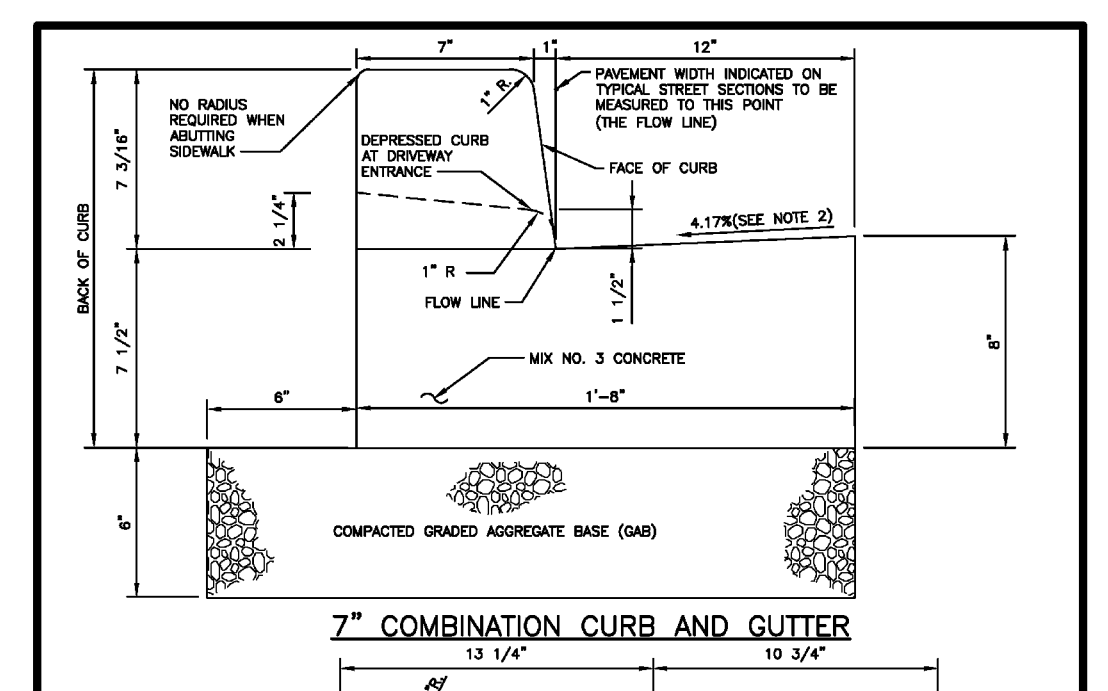
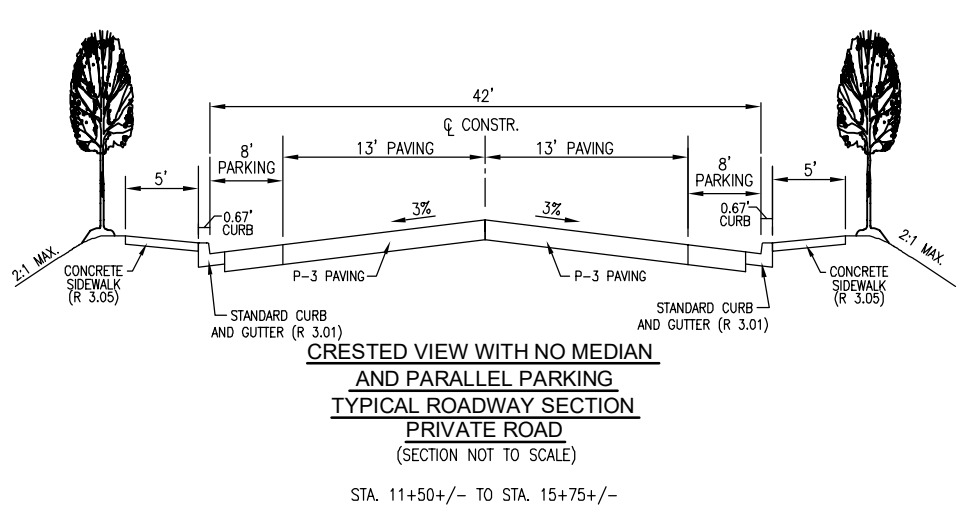
Howard County, Maryland
 Department of Public Works
 TYPICAL SECTIONS
 Neighborhood Yield Street
 Detail
 R-1.08

PAVING SECTIONS P-1 to P-4

SECTION NUMBER	ROAD AND STREET CLASSIFICATION / TYPE	CALIFORNIA BEARING RATIO (CBR)	3 TO 4.5	5 TO 7	2.7	3 TO 4.5	5 TO 7	2.7
P-1	NEW STREET TYPE	RESURFACING MATERIAL (INCHES)	MIN. SUPERFINE ASPHALT MIX WITH COARSEST	1.5	1.5	1.5	1.5	1.5
P-2	ALLEY	SUPERFINE ASPHALT MIX INTERMEDIATE SURFACE	1.5	1.5	1.5	1.5	1.5	1.5
P-3	RESIDENTIAL DEVELOPMENT STREET	SUPERFINE ASPHALT MIX INTERMEDIATE SURFACE	1.5	1.5	1.5	1.5	1.5	1.5
P-4	INDUSTRIAL STREET	SUPERFINE ASPHALT MIX INTERMEDIATE SURFACE	2.0	2.0	2.0	2.0	2.0	2.0

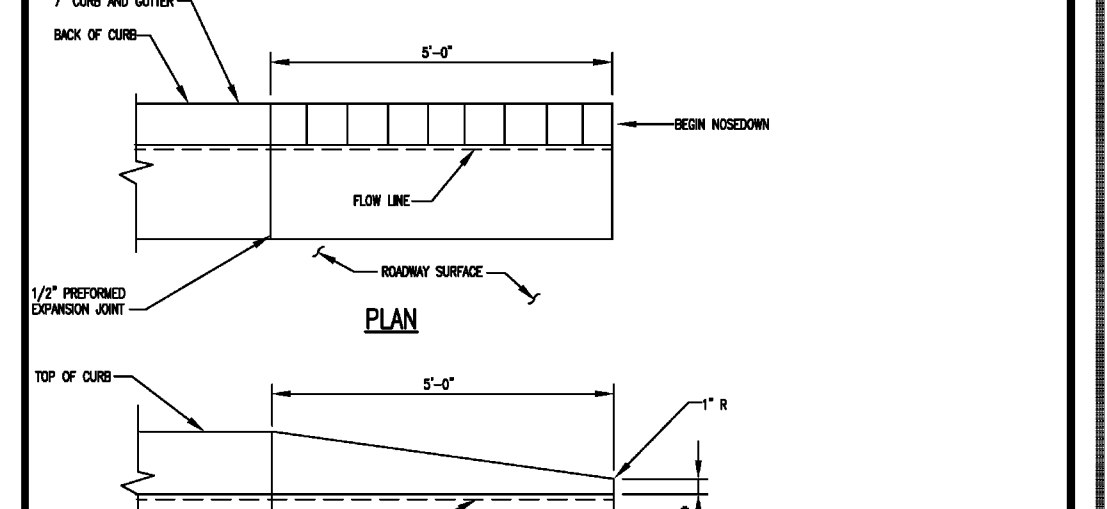
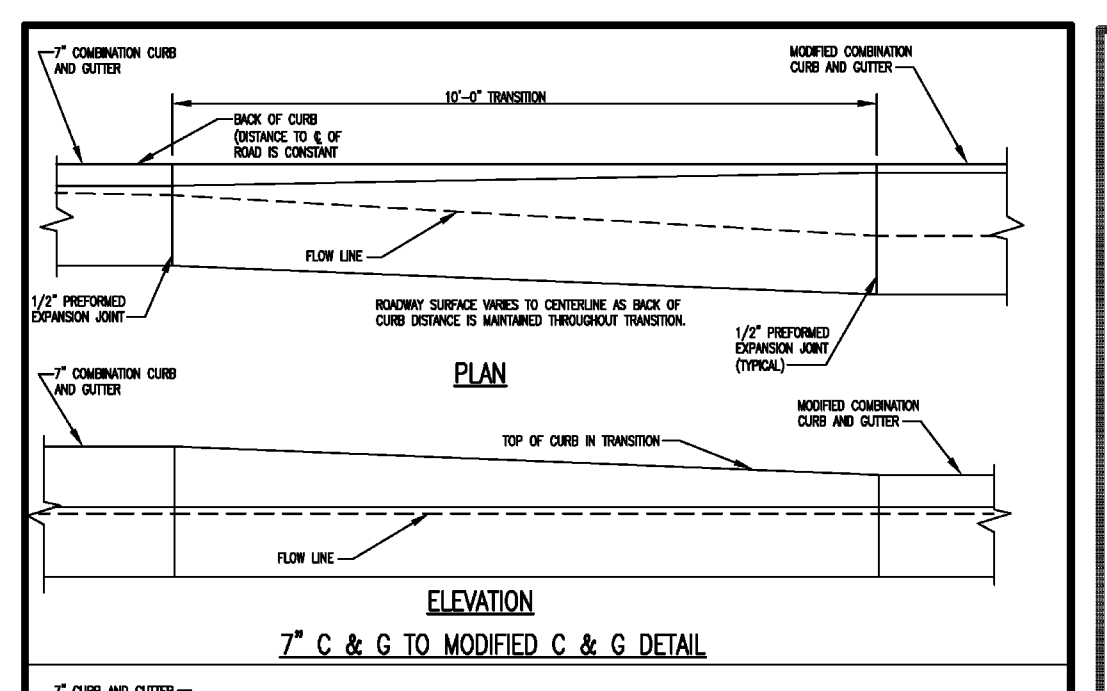
NOTES:
 1. ALL PAVING SHALL BE PLACED IN 4" LIFTS.
 2. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.
 3. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.
 4. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.
 5. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.
 6. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.
 7. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.
 8. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.
 9. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.
 10. SUPERFINE ASPHALT MIX SHALL BE PLACED IN 4" LIFTS.

Howard County, Maryland
 Department of Public Works
 PAVING SECTIONS
 P-1 to P-4
 Detail
 R-2.01

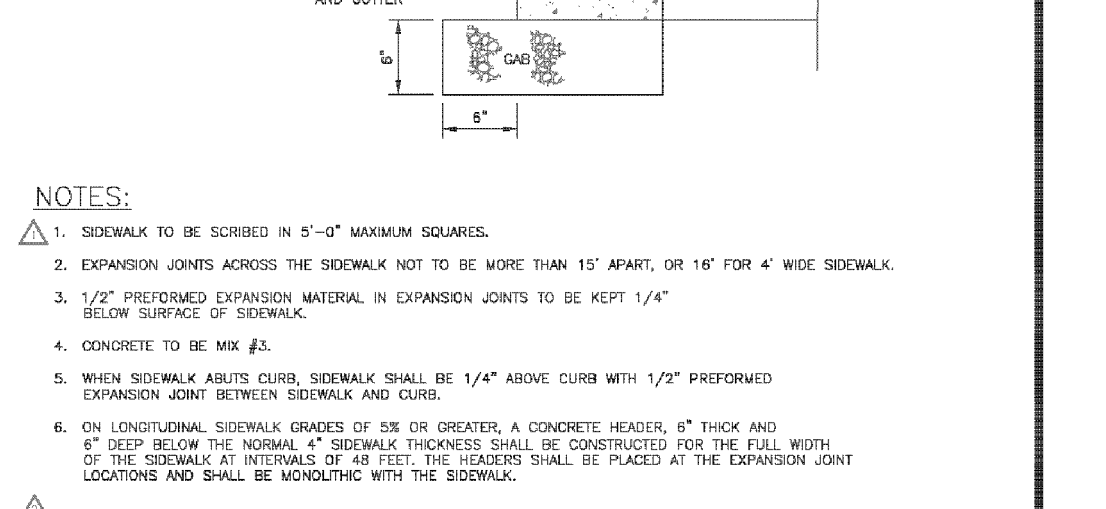
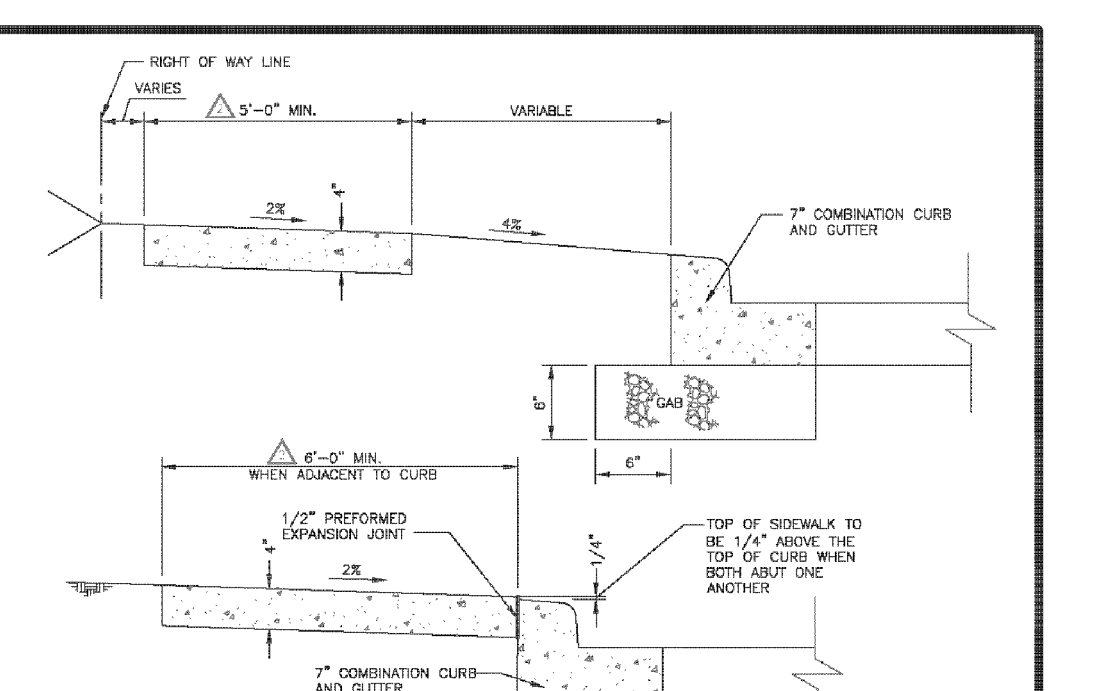


NOTE:
 1. A ROVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4:1% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED UNLESS THIS DRAINAGE CREATES A HAZARDOUS CONDITION.
 2. GUTTER PAN AT THE MEAN EDGE OF INTERMEDIATE MATERIALS ON THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE ADJACENT MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB & GUTTER.
 3. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED DIRT, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
 4. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

Howard County, Maryland Department of Public Works	CURB AND GUTTER 7" Modified	Detail R-3.01
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Howard County, Maryland Department of Public Works	CURB AND GUTTER 7" transition to Modified & Nose Down	Detail R-3.02
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NOTES:
 1. SIDEWALK TO BE SLOPED IN 5'-0" MAXIMUM SLOPES.
 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART, OR 18' FOR 4' WIDE SIDEWALK.
 3. 1/2" PREFORMED EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
 4. CONCRETE TO BE MIX #4.
 5. WHEN SIDEWALK ABUTS CURB, SIDEWALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED EXPANSION JOINT BETWEEN SIDEWALK AND CURB.
 6. ON LONGITUDINAL SIDEWALK GRADES OF 0.5% OR GREATER, A CONCRETE HEADER, 6" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE SUBMITTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET. THE HEADERS SHALL BE PLACED AT THE EXPANSION JOINT LOCATIONS AND SHALL BE WORKING WITH THE SIDEWALK.

Howard County, Maryland Department of Public Works	CONCRETE SIDEWALK	Detail R-3.05
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TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

DocuSigned by:
 Lynda Eisenberg
 2208835869342E

PLANNING DIRECTOR

11/15/2023
 DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY ROAD PROFILES

TAYLOR HIGHLANDS
 PHASE 1
 TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
 A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 TIMMONS GROUP

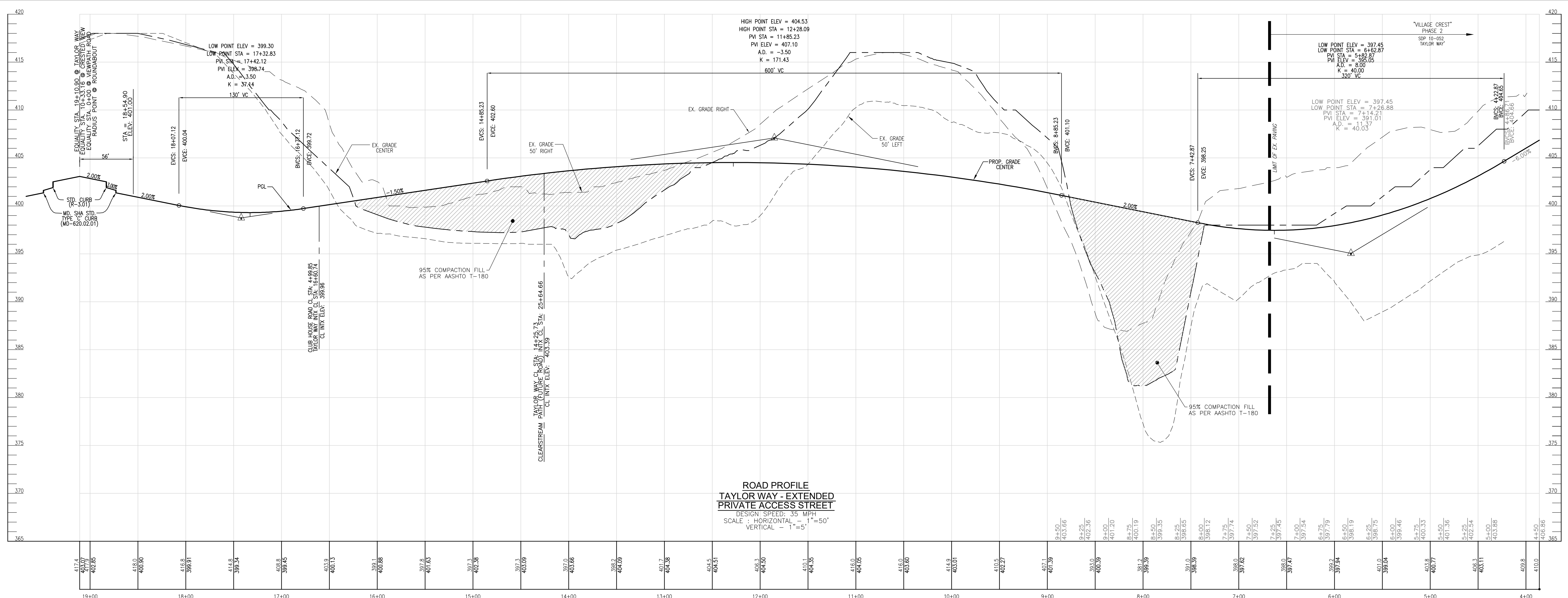
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

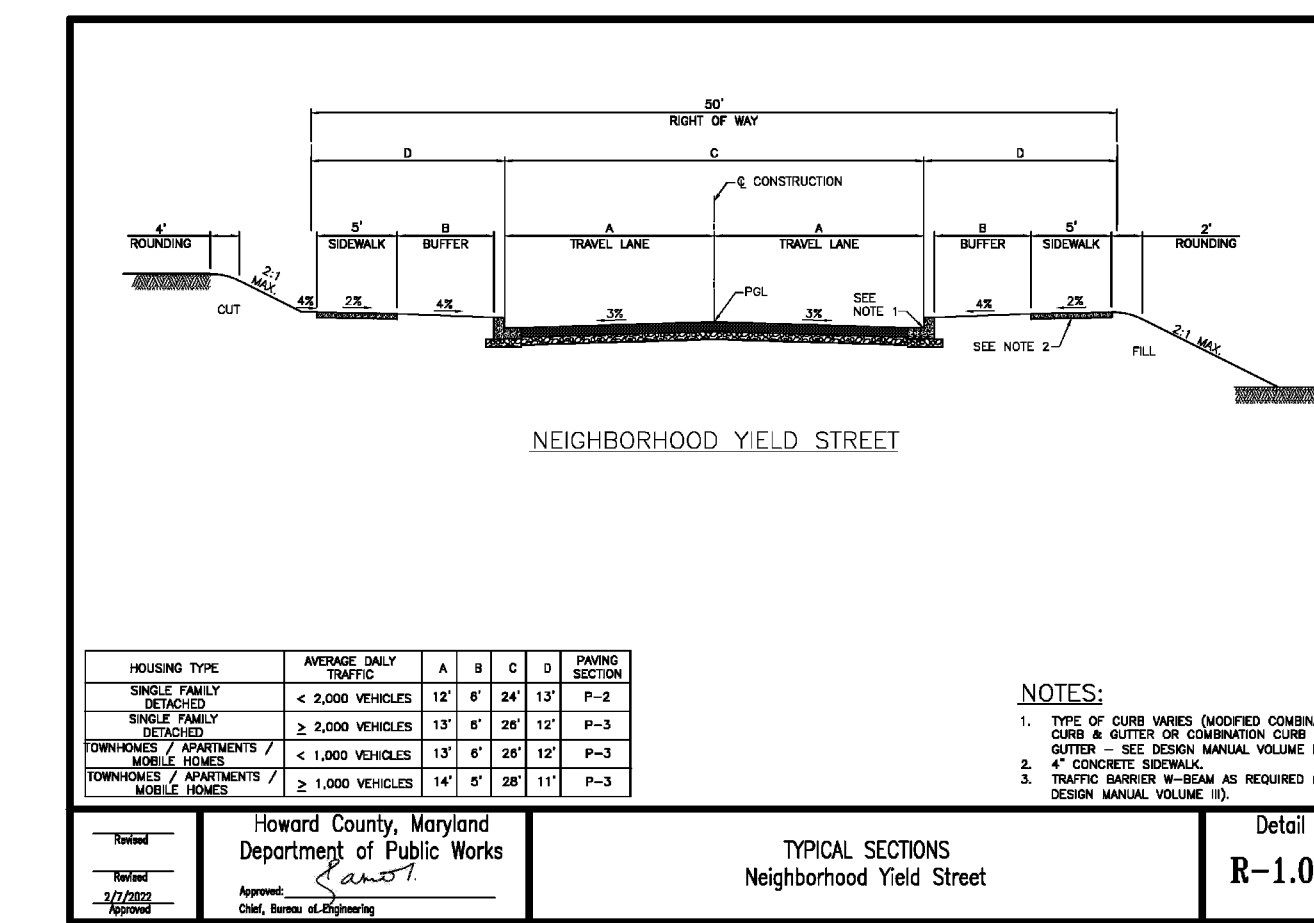
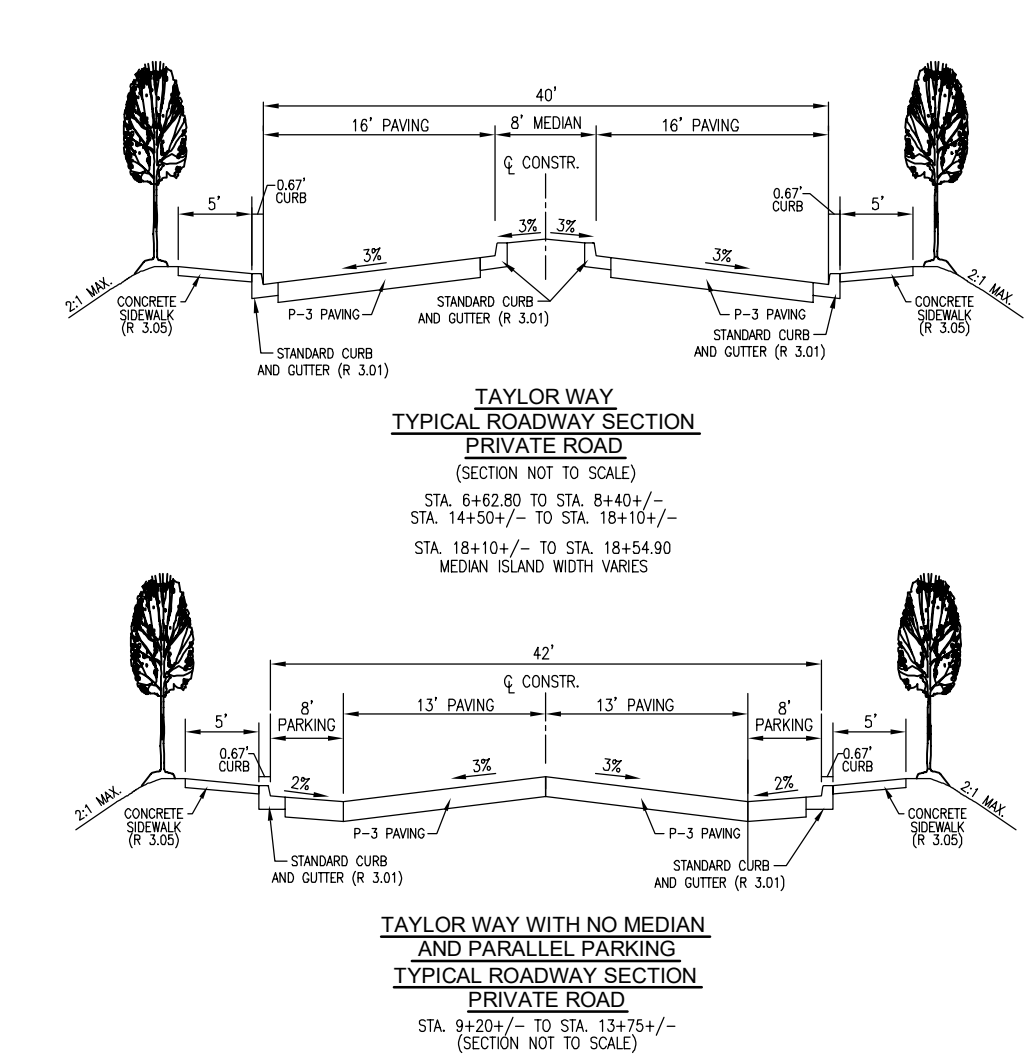
DESIGN BY: VETG
 DRAWN BY: VETG
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

13 SHEET OF 50



ROAD PROFILE
TAYLOR WAY - EXTENDED
PRIVATE ACCESS STREET
 DESIGN SPEED: 35 MPH
 SCALE: HORIZONTAL - 1"=50'
 VERTICAL - 1"=5'



SECTION NUMBER	ROAD AND STREET CLASSIFICATION / TYPE	CALIFORNIA BEARING RATIO (CBR)	3 TO <5	5 TO <7	7 TO <9	9 TO <12	12 TO <15	15 TO <20
P-1	NEW STREET TYPE RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY RESIDENTIAL	SUPERFINE ASPHALT MIX FINISH SURFACE 18.0 MM PG 64-228, LEVEL 1 (TOTAL) SUPERFINE ASPHALT MIX INTERMEDIATE SURFACE 18.0 MM PG 64-228, LEVEL 1 (TOTAL) GRADED AGGREGATE BASE (GAB)	1.5	1.5	1.5	1.5	1.5	1.5
P-2	ALLEY RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY LOCAL ROAD, PLACE, ACCESS STREET LOCAL ROAD, PLACE, ACCESS STREET LOCAL ROAD, PLACE, ACCESS STREET	SUPERFINE ASPHALT MIX FINISH SURFACE 18.0 MM PG 64-228, LEVEL 1 (TOTAL) SUPERFINE ASPHALT MIX INTERMEDIATE SURFACE 18.0 MM PG 64-228, LEVEL 1 (TOTAL) GRADED AGGREGATE BASE (GAB)	1.5	1.5	1.5	1.5	1.5	1.5
P-3	RURAL DEVELOPMENT STREET NEIGHBORHOOD YIELD STREET RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY LOCAL ROAD, PLACE, ACCESS STREET LOCAL ROAD, PLACE, ACCESS STREET LOCAL ROAD, PLACE, ACCESS STREET	SUPERFINE ASPHALT MIX FINISH SURFACE 18.0 MM PG 64-228, LEVEL 1 (TOTAL) SUPERFINE ASPHALT MIX INTERMEDIATE SURFACE 18.0 MM PG 64-228, LEVEL 1 (TOTAL) GRADED AGGREGATE BASE (GAB)	1.5	1.5	1.5	1.5	1.5	1.5
P-4	INDUSTRIAL STREET COMMERCIAL STREET LOCAL ROAD, PLACE, ACCESS STREET	SUPERFINE ASPHALT MIX FINISH SURFACE 18.0 MM PG 64-228, LEVEL 1 (TOTAL) SUPERFINE ASPHALT MIX INTERMEDIATE SURFACE 18.0 MM PG 64-228, LEVEL 1 (TOTAL) GRADED AGGREGATE BASE (GAB)	2.0	2.0	2.0	2.0	2.0	2.0

NOTES:
 1. HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARAGE TRUCKS.
 2. SUPERFINE ASPHALT MIX FINISH SURFACE SHALL BE PLACED TO A MINIMUM OF 2.0" MAX. UNLESS OTHERWISE NOTED.
 3. SUPERFINE ASPHALT MIX INTERMEDIATE SURFACE SHALL BE PLACED TO A MINIMUM OF 2.0" MAX. UNLESS OTHERWISE NOTED.
 4. THE INTERMEDIATE SURFACE COURSE SHALL BE PLACED WITHIN 3" OF THE TOP OF THE BASE COURSE, AND IS TO BE PLACED TO A MINIMUM OF 2.0" MAX. UNLESS OTHERWISE NOTED.
 5. ALL USES OF SUPERFINE ASPHALT MIX FINISH SURFACE SHALL BE FOR CONCRETE/INDUSTRIAL ENTRANCE APPROX WITHIN THE CURB OR AS NOTED TO THE RELEVANT TYPICAL SECTION OF THE INTERMEDIATE SURFACE.
 6. THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CURB VALUE FOR EACH ROADWAY.

DETAIL R-2.01
 HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 PAVING SECTIONS
 P-1 to P-4

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

Designed by: *Lynda Eisenberg*
 1220083580342E

11/15/2023

PLANNING DIRECTOR _____ DATE _____

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY ROAD PROFILES
 (TAYLOR WAY - EXTENDED)
TAYLOR HIGHLANDS
PHASE 1
 LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
 TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
 A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

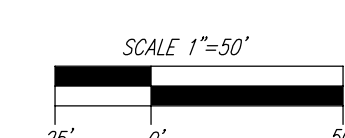
VOGEL ENGINEERING
 +
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410-461.7666 F: 410-461.8961 www.timmons.com

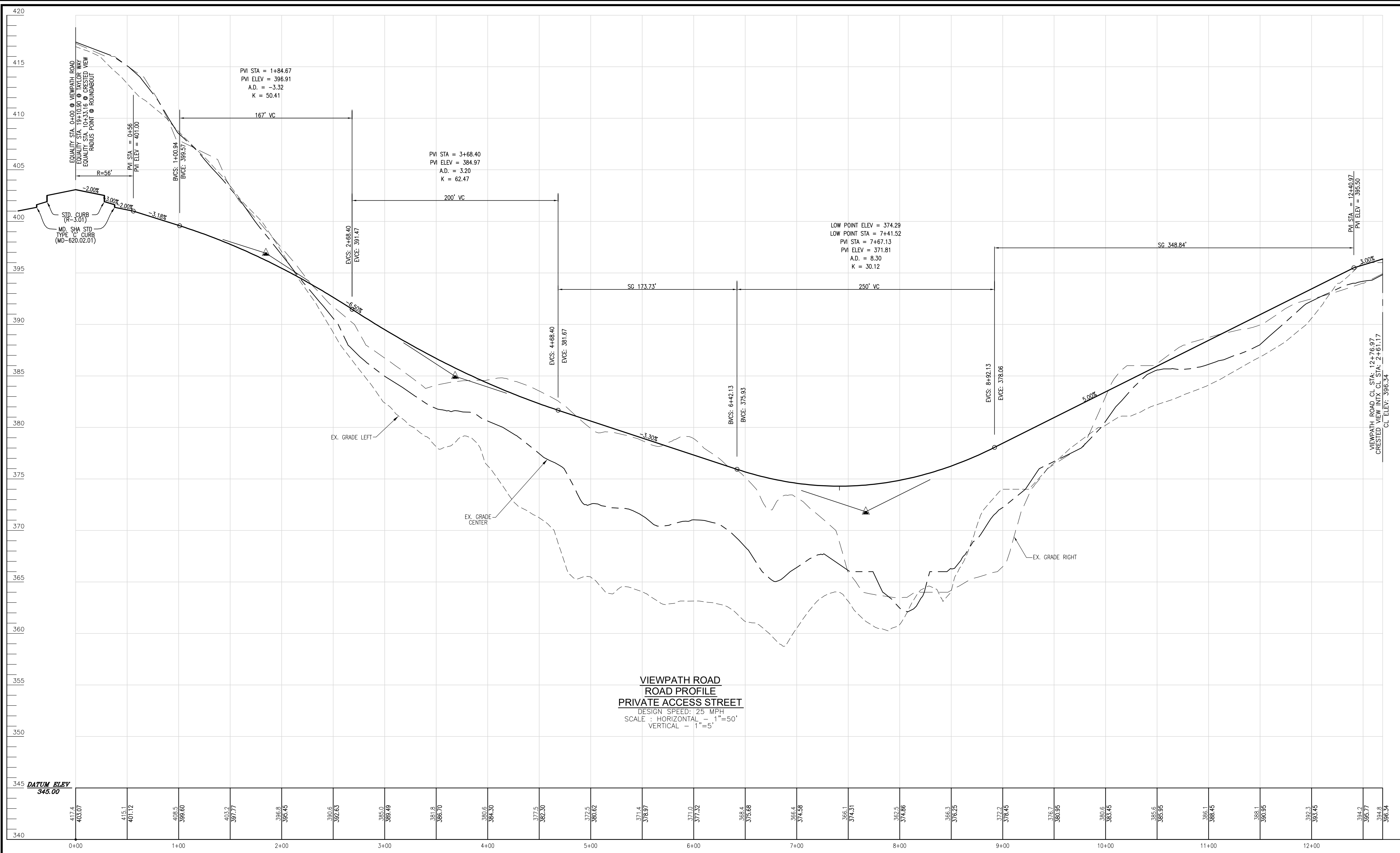
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

DESIGN BY: VETG
 DRAWN BY: VETG
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 09-39/2018121

Rob Vogel
 ROBERT H. VOGEL, PE No.16193

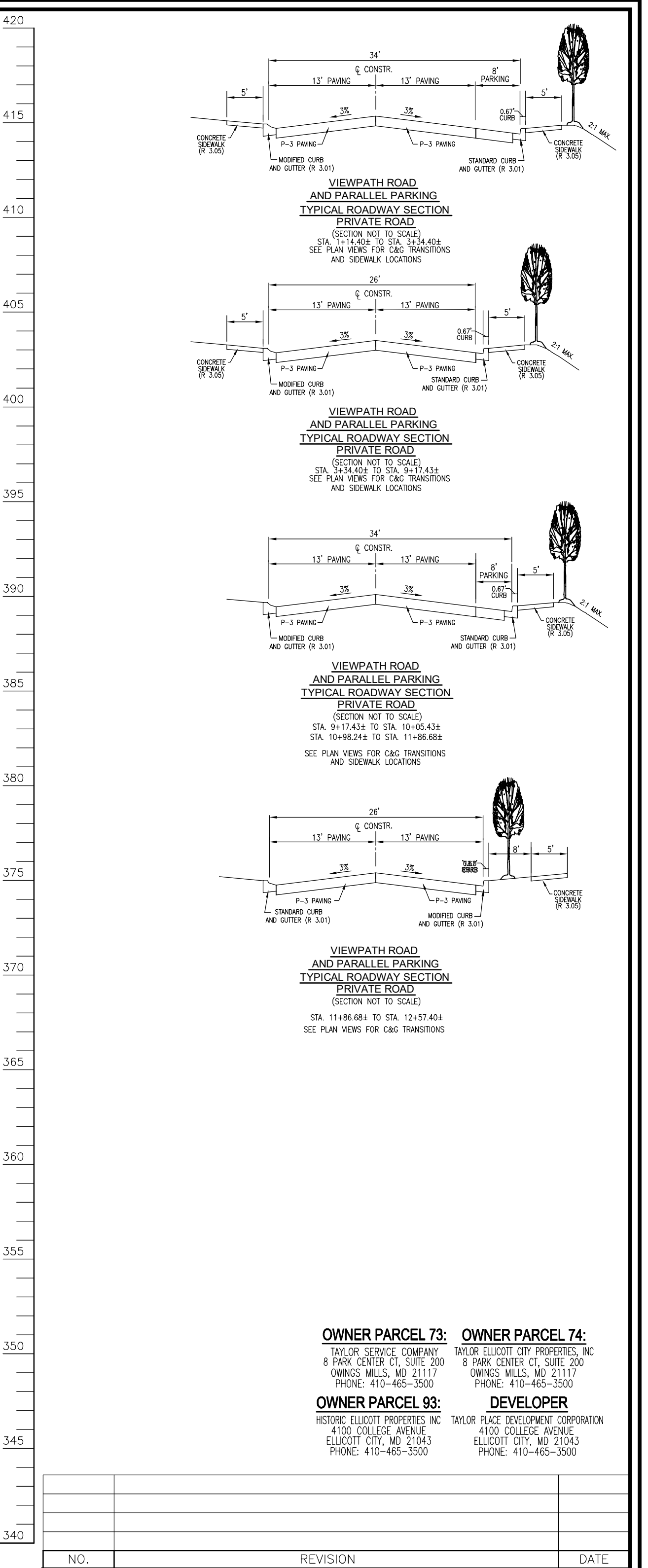
14 SHEET OF 50





**VIEWPATH ROAD
ROAD PROFILE
PRIVATE ACCESS STREET**
DESIGN SPEED: 25 MPH
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

345	DATUM ELEV	345.00
340		
		417.4
		403.07
		415
		401.12
		408.5
		399.60
		403.2
		397.77
		396.5
		395.45
		390.6
		392.63
		385.0
		388.49
		381.8
		386.70
		386.5
		384.00
		377.5
		382.30
		372.5
		380.62
		371.4
		378.97
		371.0
		377.92
		368.4
		375.68
		366.4
		374.58
		366.1
		374.31
		362.5
		374.96
		366.3
		376.25
		372.2
		378.45
		376.7
		380.95
		380.6
		383.45
		385.6
		385.95
		386.1
		388.45
		388.1
		390.95
		392.3
		393.45
		394.2
		394.8
		396.34

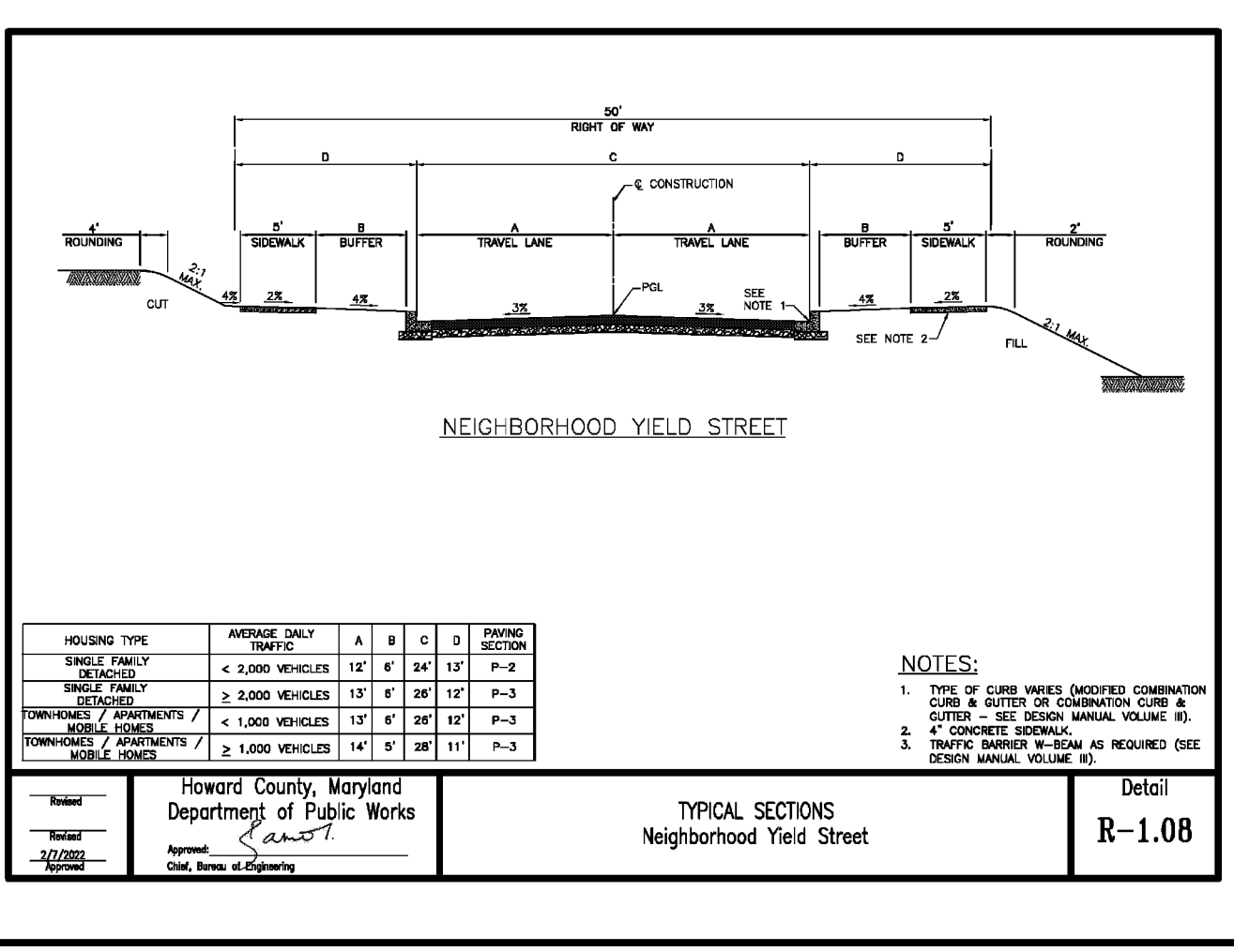


OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC, 4100 COLLEGE AVENUE, ELLICOTT CITY, MD 21043, PHONE: 410-465-3500
DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 4100 COLLEGE AVENUE, ELLICOTT CITY, MD 21043, PHONE: 410-465-3500

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynnda Eisenberg
PLANNING DIRECTOR

11/15/2023
DATE



SECTION NUMBER	ROAD AND STREET CLASSIFICATION / TYPE	CALIFORNIA BEARING RATIO (CBR)	3 TO 45	5 TO 47	2.7	3 TO 45	4 TO 47	2.7
P-1	NEW STREET TYPE	PAVEMENT MATERIAL (INCHES)	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE
P-2	ALLEY	PAVEMENT MATERIAL (INCHES)	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE
P-3	RESIDENTIAL DEVELOPMENT STREET	PAVEMENT MATERIAL (INCHES)	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE
P-4	INDUSTRIAL STREET	PAVEMENT MATERIAL (INCHES)	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE	MIN. SUPERPAVE ASPHALT MIX WITH COURSE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY ROAD PROFILES
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A'

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

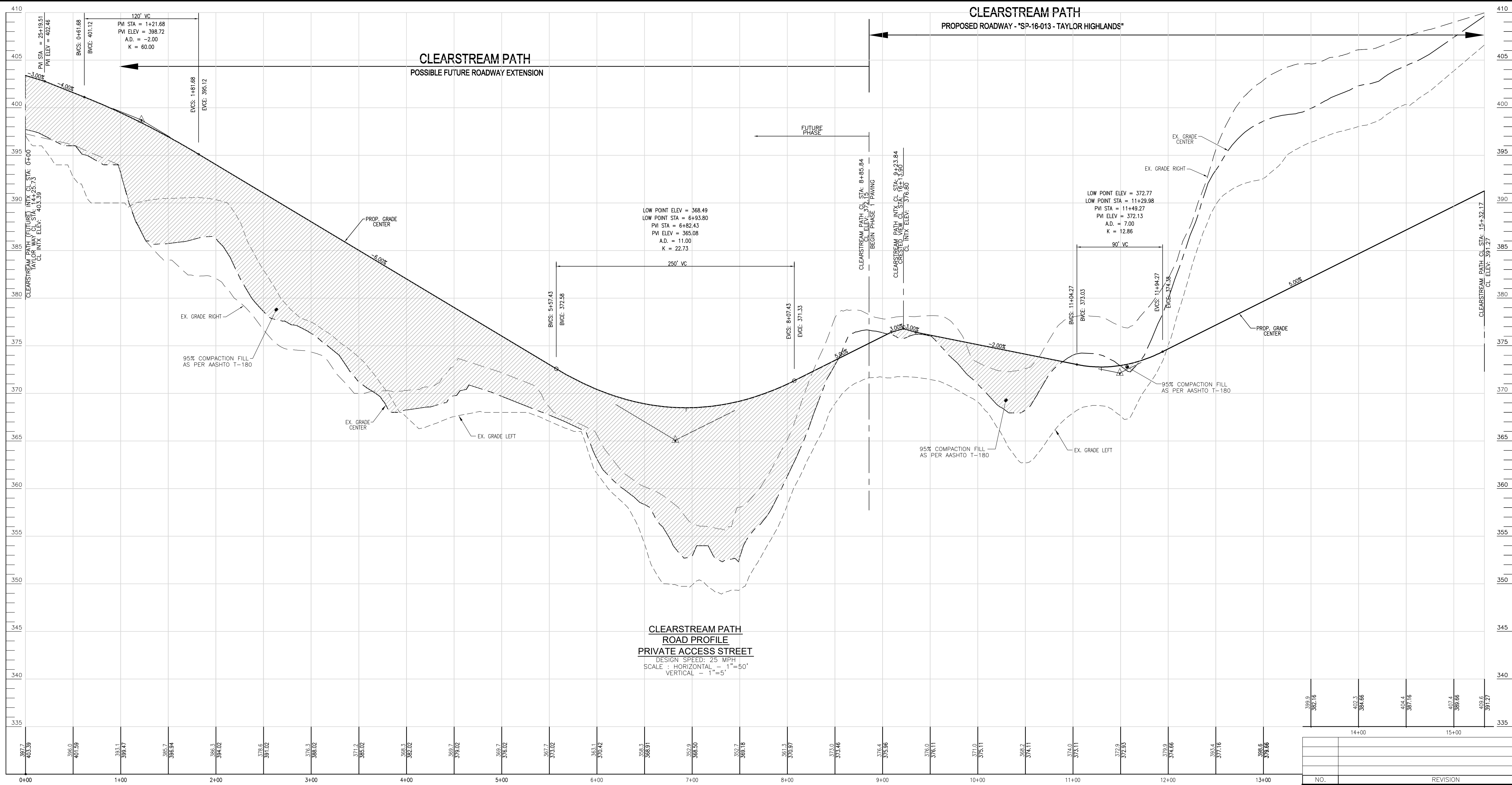
PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410-461.7666 F: 410-461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
DESIGN BY: **VEIG**
DRAWN BY: **VEIG**
CHECKED BY: **RHV**
DATE: **SEPTEMBER 2023**
SCALE: **AS SHOWN**
W.O. NO.: **09-39/2018121**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

15 SHEET OF **50**



NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY ROAD PROFILES
TAYLOR HIGHLANDS
PHASE 1
LOTS 1-91 O.S. LOTS 92-100 AND BUILDABLE PARCEL C,
TOWNHOMES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A'

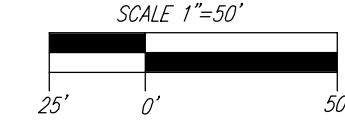
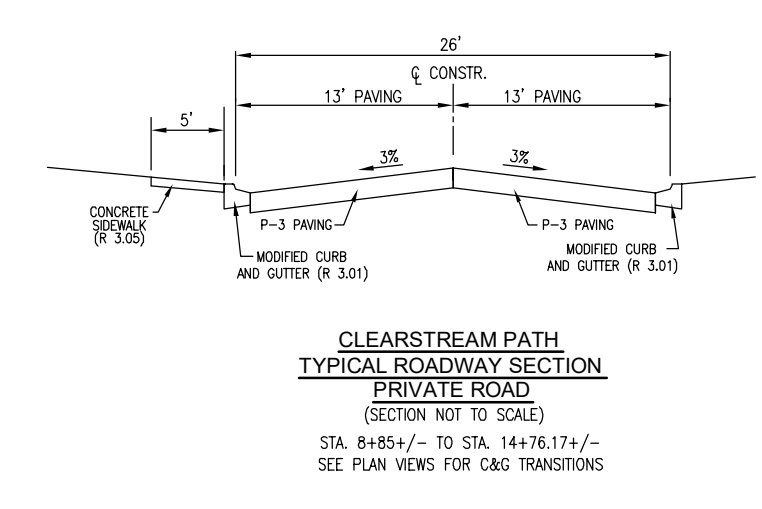
TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT
PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

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3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21103
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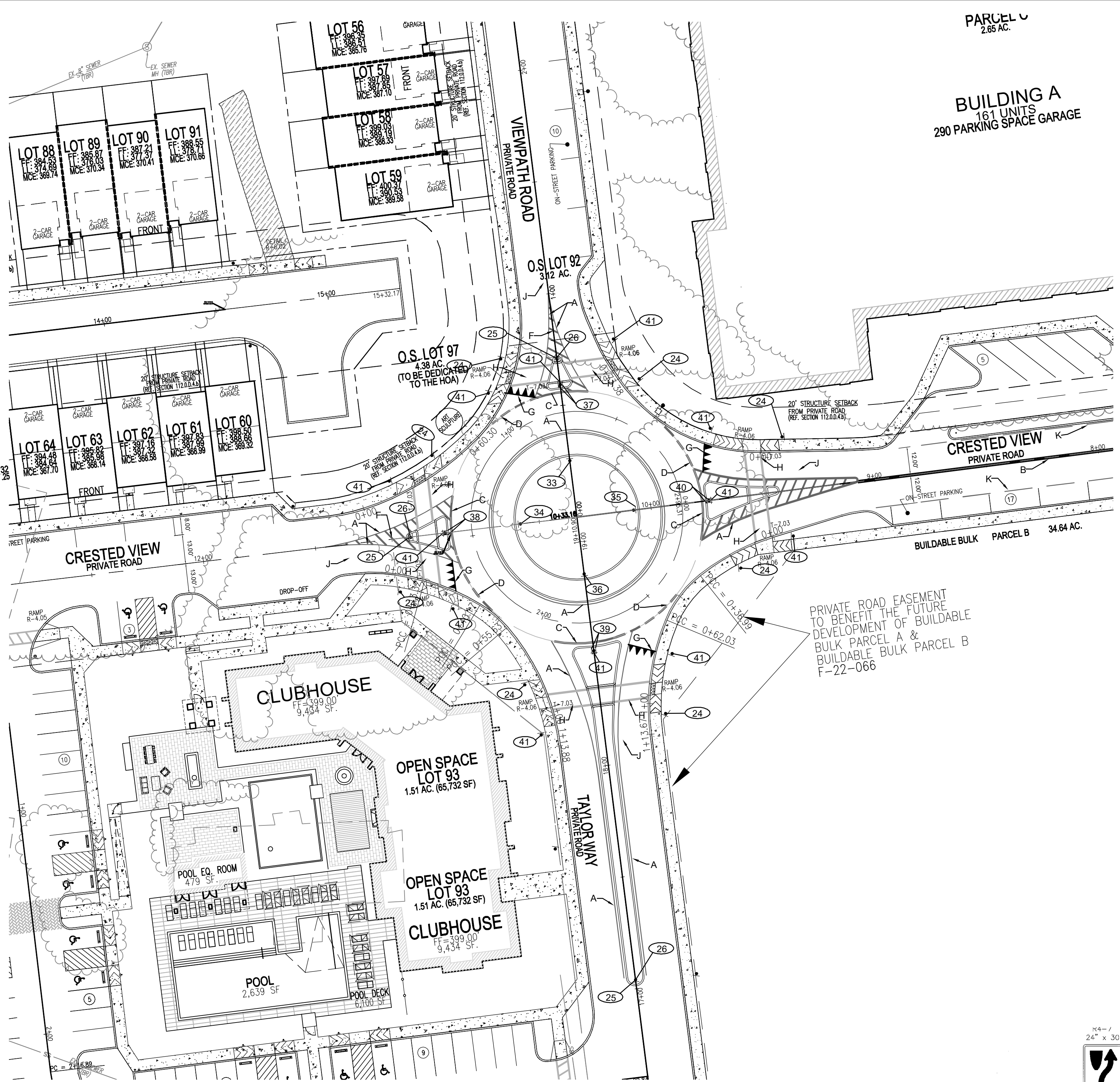
DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

16 SHEET OF 50

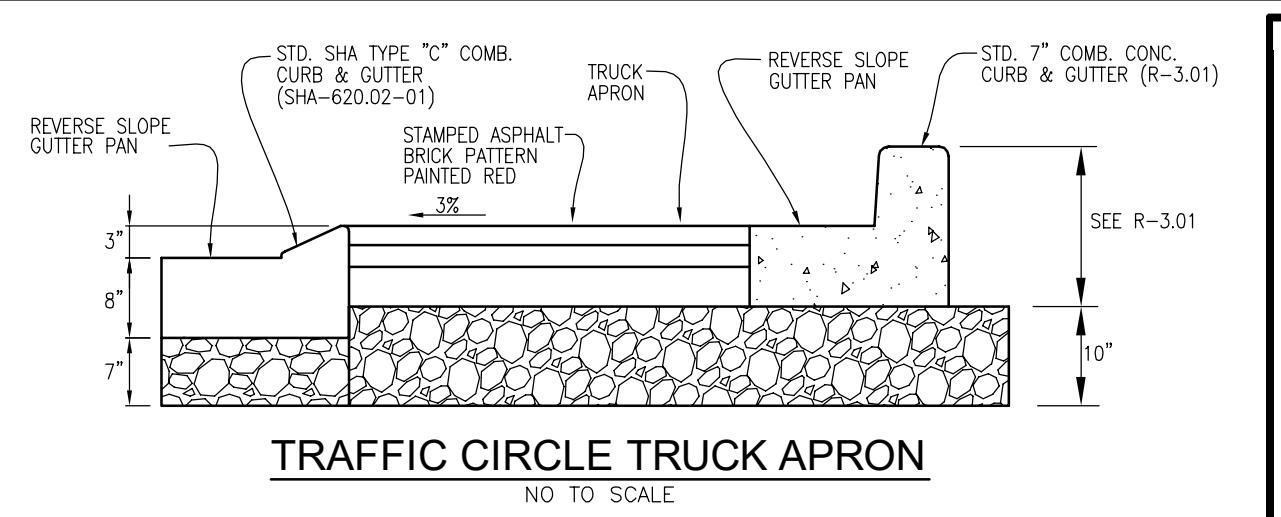


TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

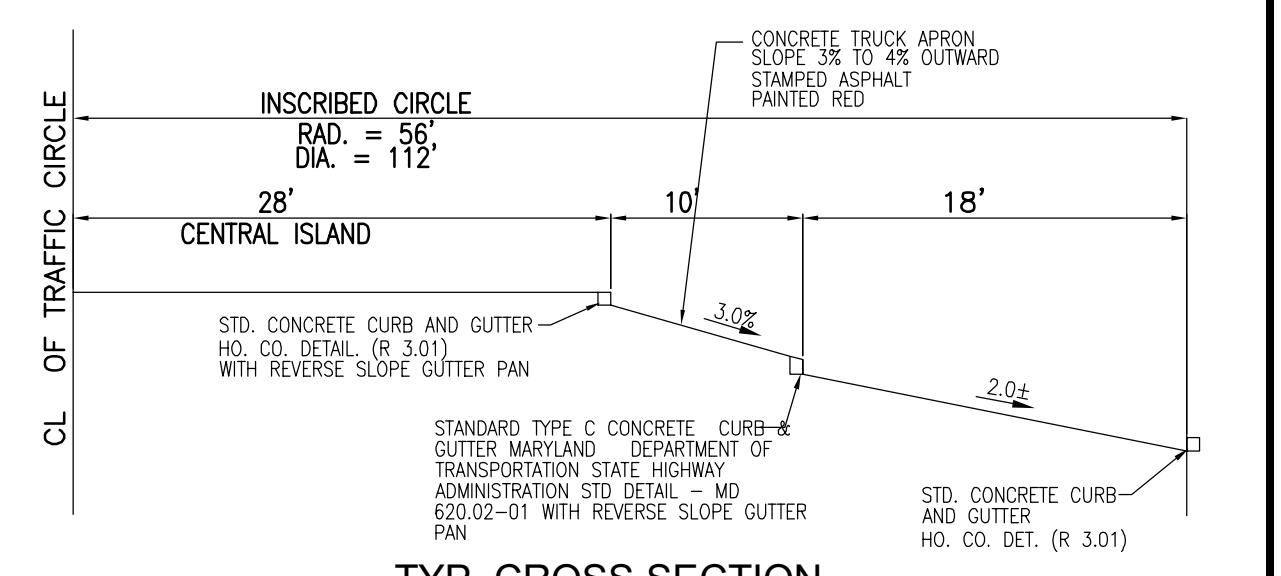
DocuSigned by:
Lynnda Eschberg
11/15/2023
PLANNING DIRECTOR DATE



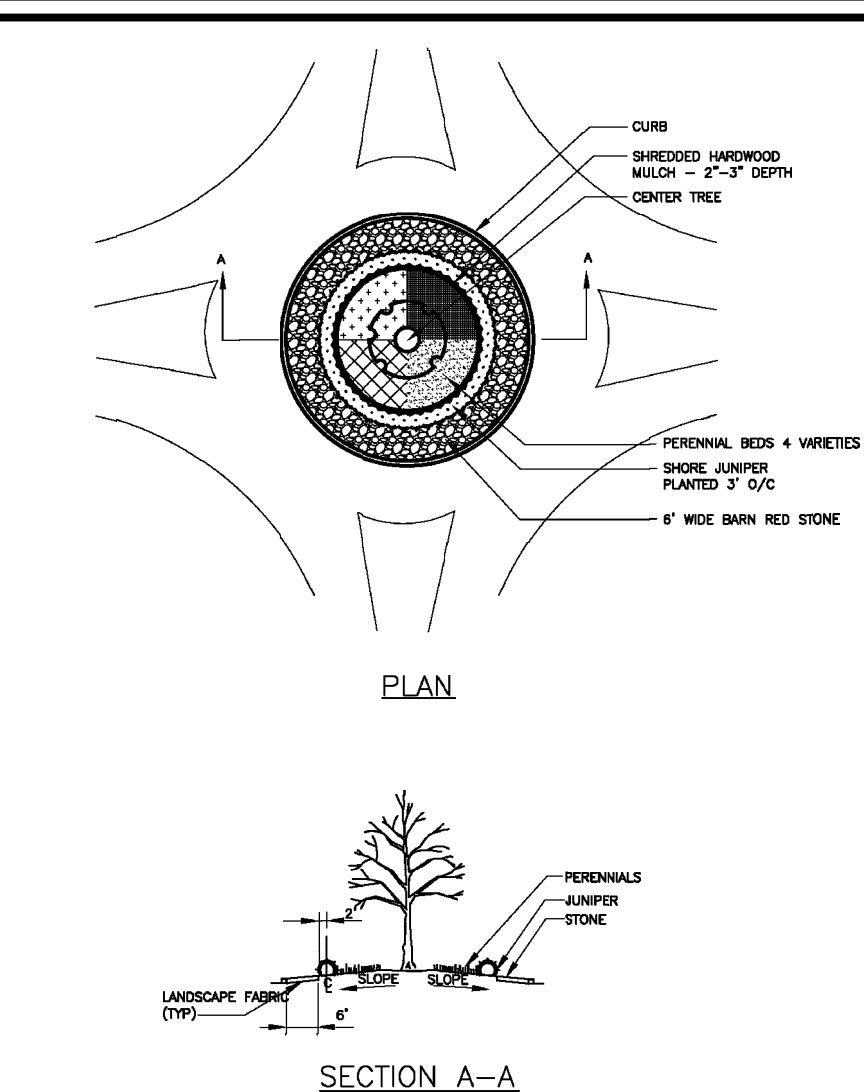
TRAFFIC CIRCLE - PLAN VIEW
SCALE: 1"=30'



TRAFFIC CIRCLE TRUCK APRON
NOT TO SCALE



TYP. CROSS SECTION
TRAFFIC CIRCLE AT
INTERSECTIONS
NOT TO SCALE



SECTION A-A

1. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES AND SHALL WORK WITH THE COUNTY FOR THE BEST PRACTICES FOR THE PROJECT.

2. ALL EXISTING PLANT MATERIAL SHALL BE REMOVED FROM ISLANDS.

3. THE 3'-0" WIDTH OF THE ISLAND SHALL BE TO THE DEPTH OF THREE INCHES.

4. LANDSCAPE FABRIC SHALL BE COMPACTED AND GO UP TO THE INNER SOIL CODE JOINTS IN PAVING SHALL OVERLAP BY A FOOT.

5. MAIN AND TRUNK 3"-6" INCHES IN DIA SHALL BE ADDED TO THE COVERED AREA AND TO THE INSIDE OF THE ISLAND SHALL BE LOCATED TO A ONE-FOOT DEPTH.

6. THE INNER CIRCLE OF ISLAND SHALL BE LOCATED TO A ONE-FOOT DEPTH.

7. 3 INCHES THICK OF LEAFLESS OVER TOP SHALL BE TILLED INTO TOP 6 INCHES.

8. SPREADS SHOWN IN THE CENTER OF THE ISLAND.

9. PLANTS SHALL BE PLANTED TO THE DEPTH OF 2-3 INCHES WITH IT NOT TOUCHING THE BASE OF PLANTS.

10. PLANTS SHALL BE PLANTED TO THE DEPTH OF 2-3 INCHES WITH IT NOT TOUCHING THE BASE OF PLANTS.

11. PLANTS SHALL BE PLANTED TO THE DEPTH OF 2-3 INCHES WITH IT NOT TOUCHING THE BASE OF PLANTS.

12. PLANTS SHALL BE PLANTED TO THE DEPTH OF 2-3 INCHES WITH IT NOT TOUCHING THE BASE OF PLANTS.

13. A CENTER TREE (2-6 FT IN HEIGHT AND 1.5 INCH GAUBITY) SHALL BE SELECTED FROM THE FOLLOWING LIST:

ACEE GINKGO	ARBOREUS	ASH	MAHONIE
AGAVE PALM	ARBOREUS	ASPEN	MORNING GLORY
ALYPTUS	ARBOREUS	AVOCADO	NORFOLK ISLAND
ALYPTUS	ARBOREUS	AVOCADO	OLYMPIA
ALYPTUS	ARBOREUS	AVOCADO	OLYMPIA
ALYPTUS	ARBOREUS	AVOCADO	OLYMPIA
ALYPTUS	ARBOREUS	AVOCADO	OLYMPIA
ALYPTUS	ARBOREUS	AVOCADO	OLYMPIA
ALYPTUS	ARBOREUS	AVOCADO	OLYMPIA

DATE: 10/20/22	PROJECT: Traffic Circle Generic Landscape Design Layout	DRAWN BY: D.P. VOGEL	SCALE: L-1.03
DATE: 10/20/22	PROJECT: Traffic Circle Generic Landscape Design Information	DRAWN BY: D.P. VOGEL	SCALE: L-1.02

TRAFFIC CONTROL SIGN SCHEDULE

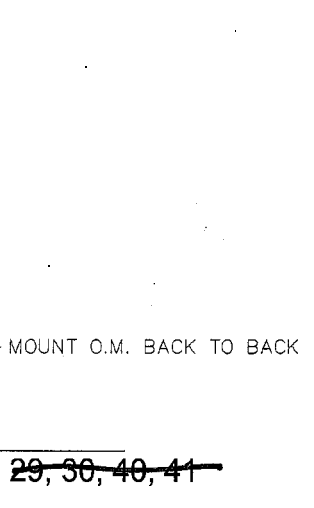
NO.	SIGN TYPE / DESCRIPTION
24	W11-2 (30x30) FPG / W16-7P (24x12) FYG
25	R4-7 KEEP RIGHT (SEE DETAIL)
26	(2) YELLOW O.M. (O.M.1-3) BACK TO BACK
27	W11-2 (30x30) FPG / W16-7P (24x12) FYG
28	W2-6 ROUNDABOUT SIGN
33	R6-4 MOUNT BOTTOM 4" FROM ROAD SURFACE
34	R6-4 MOUNT BOTTOM 4" FROM ROAD SURFACE
35	R6-4 MOUNT BOTTOM 4" FROM ROAD SURFACE
36	R6-4 MOUNT BOTTOM 4" FROM ROAD SURFACE
37	"VIEWPATH ROAD" STREET SIGN
38	"CRESTED VIEW" STREET SIGN
39	TAYLOR WAY STREET SIGN
40	"CRESTED VIEW" STREET SIGN
41	R1-2 YIELD

PAVEMENT MARKING LEGEND

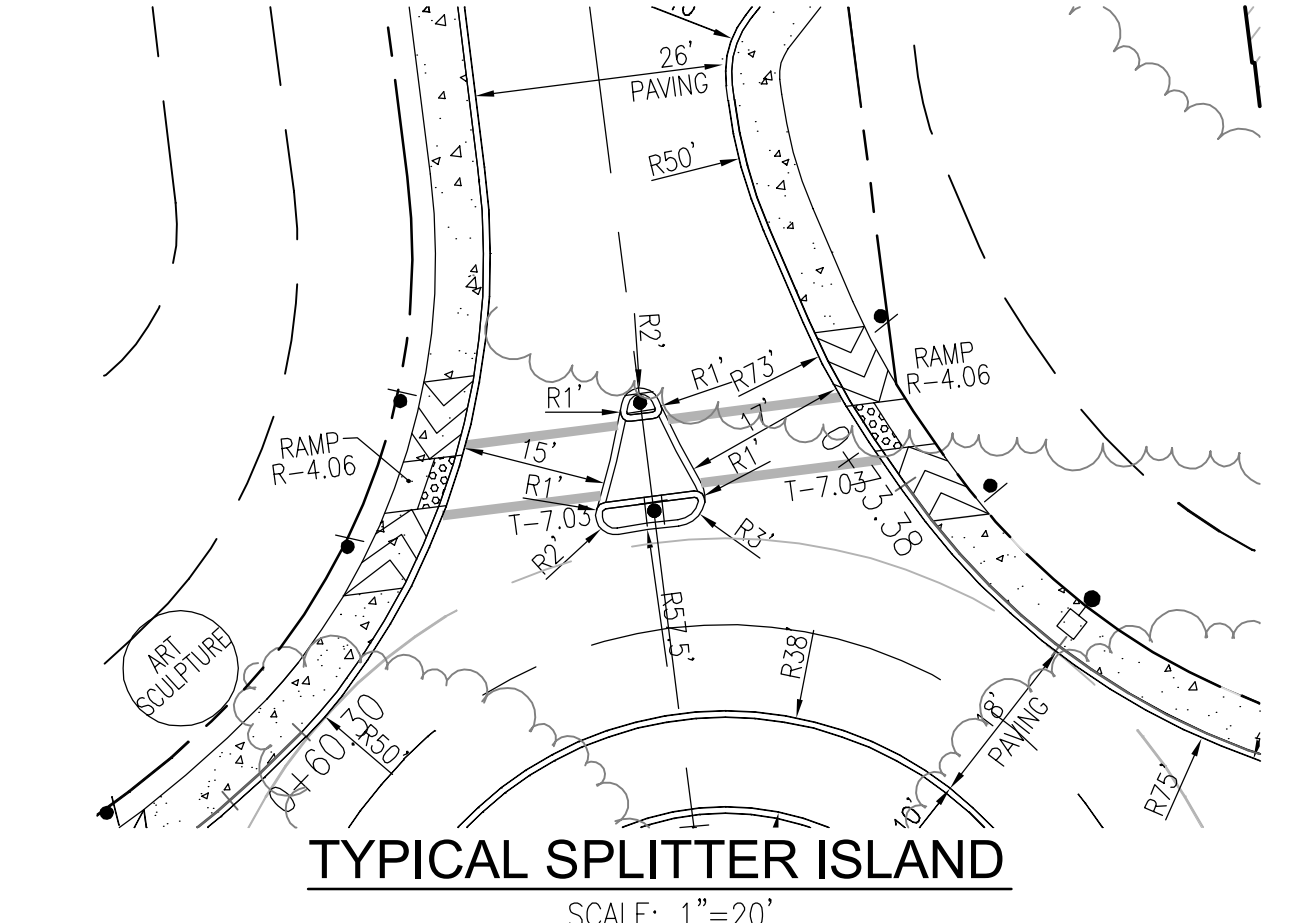
A)	INSTALL 5" WIDE YELLOW SOLID PAVEMENT MARKING FOR LANE LINE
B)	INSTALL 5" WIDE DOUBLE YELLOW PAVEMENT MARKING - FOR CENTER LINE
C)	12" WHITE THERMOPLASTIC
D)	12" x 3'-0" WHITE THERMOPLASTIC
F)	10" WIDE YELLOW HATCH MARKINGS-PAINT
G)	SHARKS TEETH: WHITE THERMOPLASTIC
H)	HOWARD COUNTY CROSSWALK
J)	PVC STREET LIGHT CONDUIT LOCATIONS (4" PVC SCHED 40 S/PULL STRING)
K)	INSTALL 5" WIDE YELLOW SOLID PAVEMENT MARKING FOR LANE LINE

- TRAFFIC CONTROL NOTES:
- TRAFFIC CONTROL DEVICES:
 - THE R1-(STOP) SIGNS AND STREET NAME SIGN (SNS) ASSEMBLIES FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETE.
 - THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 - ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
 - ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED, ("QUICK PUNCH") SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE - 3' LONG). THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON THE TOP OF EACH POST.

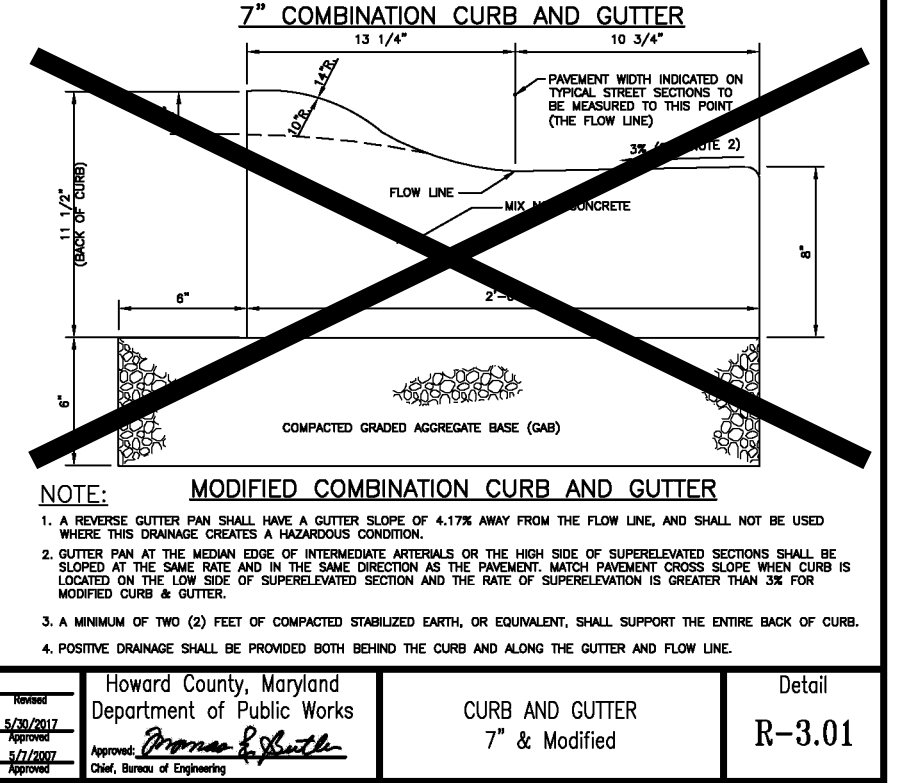
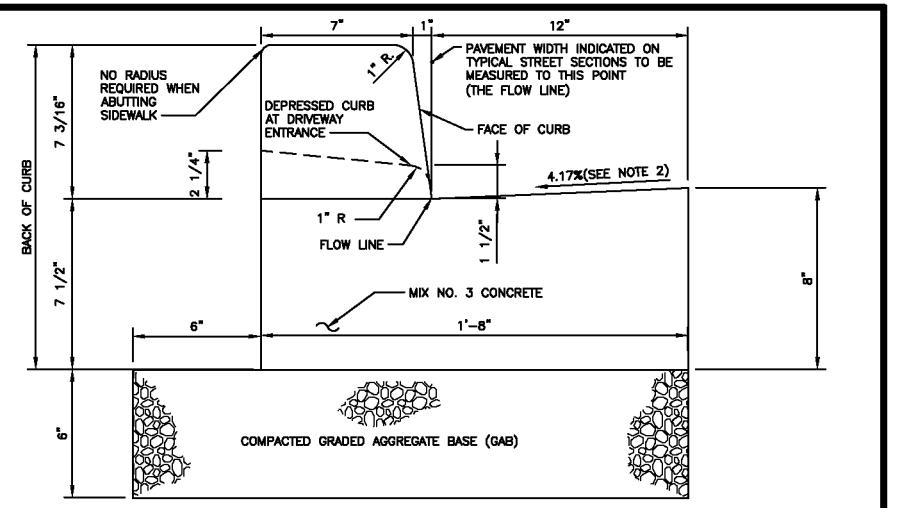
- GENERAL NOTES:
- THE CONSTRUCTION OF THE TRAFFIC CIRCLE, SPLITTER ISLANDS, PAVEMENT MARKINGS AND SIGNS WILL OCCUR AT THE SAME TIME.
 - FOR FUTURE DETAILING, REFER SUBSEQUENT FINAL PLAN.



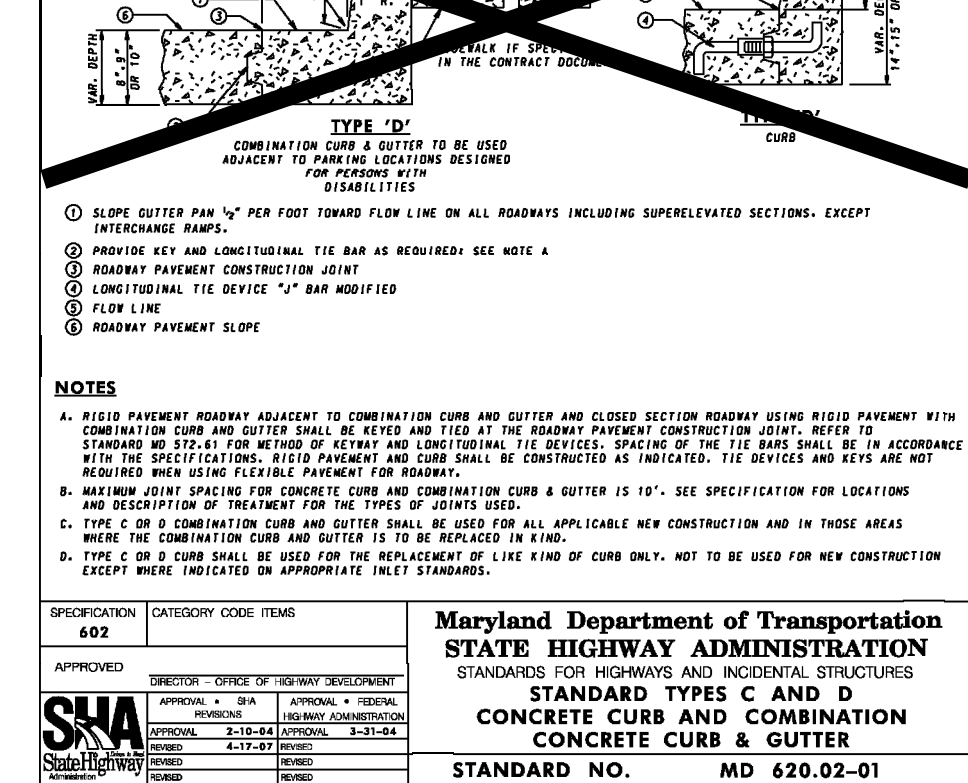
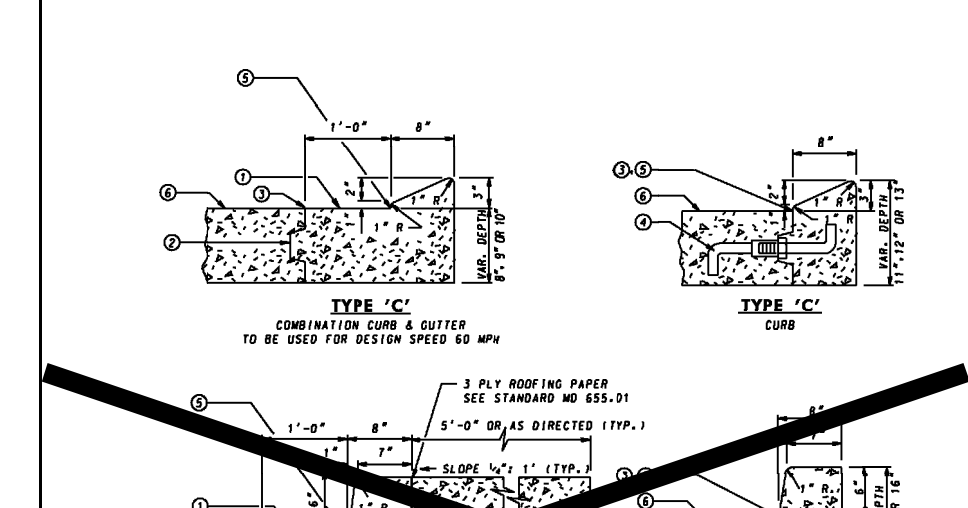
DETAIL - SIGN # 25, 26, 29, 30, 40, 41



TYPICAL SPLITTER ISLAND
SCALE: 1"=20'



MODIFIED COMBINATION CURB AND GUTTER
7" & Modified
R-3.01



TYPE 'D' CURB

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynda Beunberg
120226383002

11/15/2023
DATE

NO.	REVISION	DATE

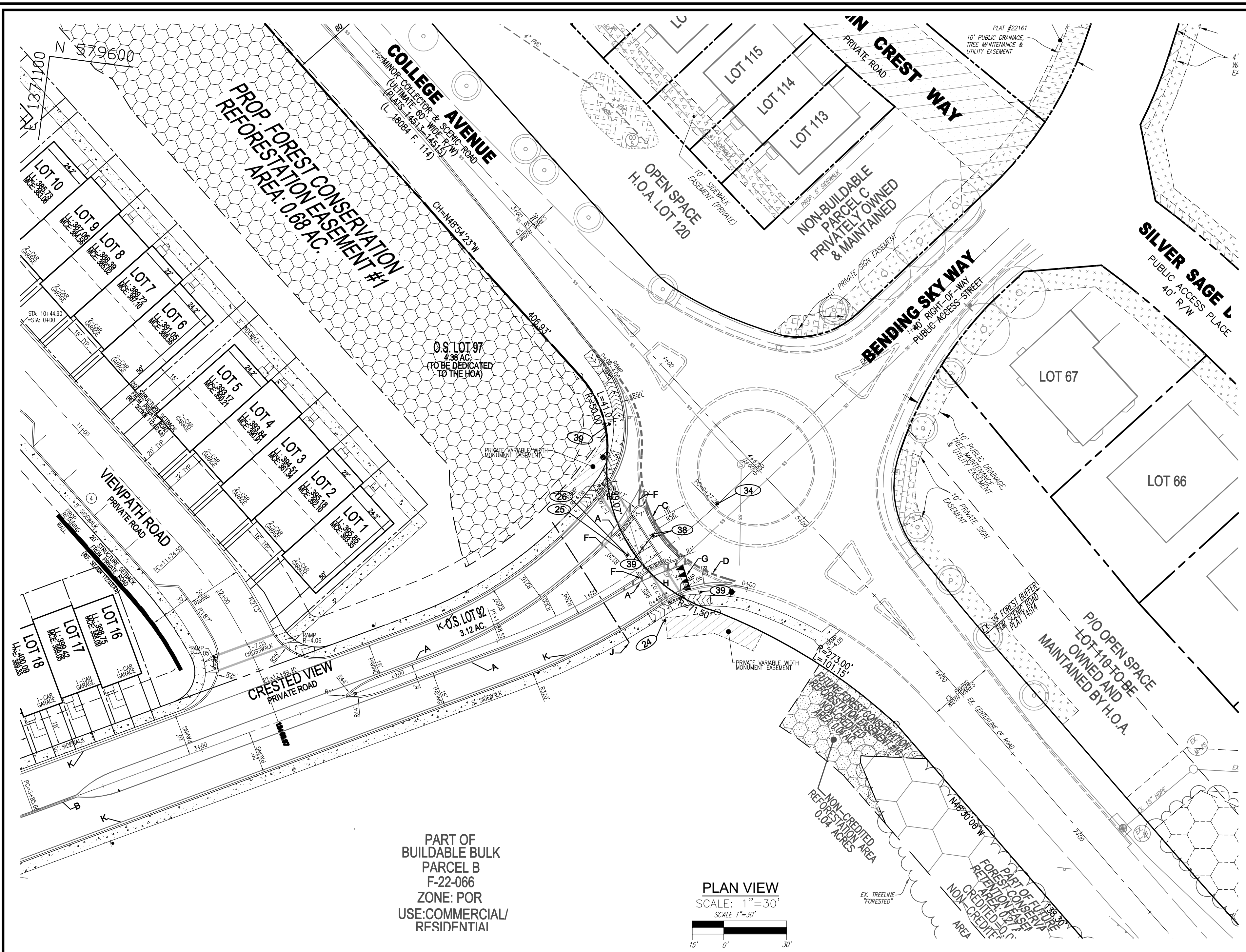
PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY CRESTED VIEW
TRAFFIC CIRCLE DETAILS,
PAVEMENT MARKING AND SIGNAGE PLAN
TAYLOR HIGHLANDS
PHASE I
LOTS 1-91 O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

<p>ROBERT H. VOGEL, PE No. 16193</p>	DESIGN BY: VETG DRAWN BY: VETG CHECKED BY: RHV DATE: SEPTEMBER 2023 SCALE: AS SHOWN W.O. NO.: 09-39/2018121	I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024
	17 SHEET OF 50	PROFESSIONAL CERTIFICATE



PART OF BUILDABLE BULK PARCEL B F-22-066 ZONE: POR USE: COMMERCIAL/ RESIDENTIAL

TRAFFIC CONTROL SIGN SCHEDULE

NO.	SIGN TYPE / DESCRIPTION
24	W11-2 (30x30) FYG / W16-7P (24x12) FYG
25	R4-7 KEEP RIGHT (SEE DETAIL)
26	(2) YELLOW O.M. (OMI-3) BACK TO BACK
27	W11-2 (30x30) FYG / W16-7P (24x12) FYG
28	W2-6 ROUNDABOUT SIGN
33	R6-4 MOUNT BOTTOM 4' FROM ROAD SURFACE
34	R6-4 MOUNT BOTTOM 4' FROM ROAD SURFACE
35	R6-4 MOUNT BOTTOM 4' FROM ROAD SURFACE
36	R6-4 MOUNT BOTTOM 4' FROM ROAD SURFACE
38	"CRESTED VIEW" STREET SIGN
39	R1-2 YIELD

PAVEMENT MARKING LEGEND

- A) INSTALL 5" WIDE YELLOW SOLID PAVEMENT MARKING FOR LANE LINE
- B) INSTALL 5" WIDE DOUBLE YELLOW PAVEMENT MARKING - FOR CENTER LINE
- C) 12" WHITE THERMOPLASTIC
- D) 12" x 3'-0" WHITE THERMOPLASTIC
- F) 10" WIDE YELLOW HATCH MARKINGS-PAINT
- G) SHARKS' TEETH WHITE THERMOPLASTIC
- H) HOWARD COUNTY CROSSWALK T-7.03
- J) PVC STREET LIGHT CONDUIT LOCATIONS (4" PVC SCHD 40 S/PULL STRING)
- K) INSTALL 5" WIDE YELLOW SOLID PAVEMENT MARKING FOR LANE LINE

SIGNAGE NOTES

1. ALL SIGN LOCATIONS ARE APPROXIMATE. HOWARD COUNTY TRAFFIC SHALL FIELD APPROVE OR MARK ALL SIGN LOCATIONS PRIOR TO ANY SIGNS BEING INSTALLED. CALL 410-313-5752.
2. ALL ROUNDABOUT MARKINGS SHALL BE LAID OUT BY HOWARD COUNTY TRAFFIC.
3. TOTAL NUMBER OF "SHARKS' TEETH" NEEDED WILL BE DETERMINED IN THE FIELD.
4. STREET NAME SIGNS WILL BE MOUNTED ON THE R1-2 SIGNS IN THE ROUNDABOUT AS DIRECTED BY THE COUNTY TRAFFIC ENGINEER.
5. "NO PARKING" SIGNS TO BE INSTALLED AS NEEDED NEAR ROUNDABOUT. TRAFFIC DIVISION WILL FIELD DETERMINE LOCATIONS. 6. IN THE DIRECTION FACING A TRAFFIC CONTROL SIGN:
 - 1) THERE SHALL BE A MINIMUM OF 35' BETWEEN THE SIGN FACE AND CLOSEST TREE FOR ALL STOP SIGNS.
 - 2) THERE SHALL BE A MINIMUM OF 40' BETWEEN THE SIGN FACE AND CLOSEST TREE FOR ALL SIGNS OTHER THAN A STOP SIGN.

TRAFFIC CONTROL NOTES:

1. TRAFFIC CONTROL DEVICES:
 - A. THE R1-1 (STOP) SIGNS AND STREET NAME SIGN (SNS) ASSEMBLIES FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETE.
 - B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 - C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
 - D. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, "QUICK PUNCH" SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE - 3' LONG). THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON THE TOP OF EACH POST.

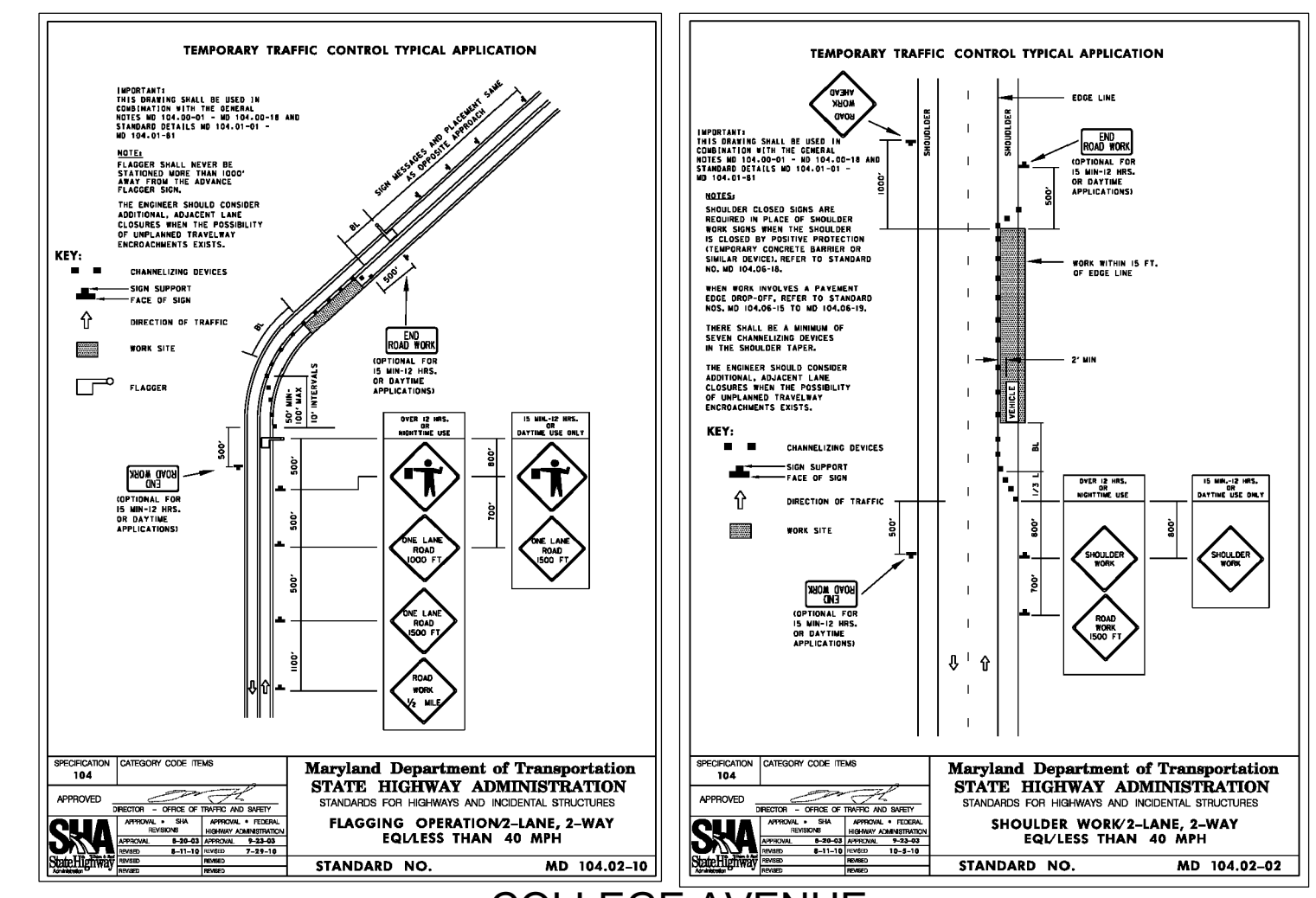
GENERAL NOTES:

1. THE CONSTRUCTION OF THE TRAFFIC CIRCLE, SPLITTER ISLANDS, PAVEMENT MARKINGS AND SIGNS WILL OCCUR AT THE SAME TIME.
2. FOR FUTURE DETAILING, REFER SUBSEQUENT FINAL PLAN.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Linda Eisenberg
PLANNING DIRECTOR

11/15/2023
DATE



COLLEGE AVENUE TYPICAL WORK ZONE TRAFFIC CONTROL DETAILS

ALL WORK WITHIN THE COLLEGE AVENUE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE STANDARD MARYLAND STATE HIGHWAY ADMINISTRATION DETAILS: MD 104.02-02 & MD 104.02-10 OR AS DIRECTED BY THE HOWARD COUNTY - TRAFFIC ENGINEERING DIVISION.

TRAFFIC ALONG COLLEGE AVENUE SHALL REMAIN UNINTERRUPTED AT ALL TIMES.

OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 93:	DEVELOPER:
TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HISTORIC ELLICOTT PROPERTIES INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY COLLEGE AVENUE TRAFFIC CIRCLE
DETAILS, PAVEMENT MARKING AND SIGNAGE PLAN

TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP

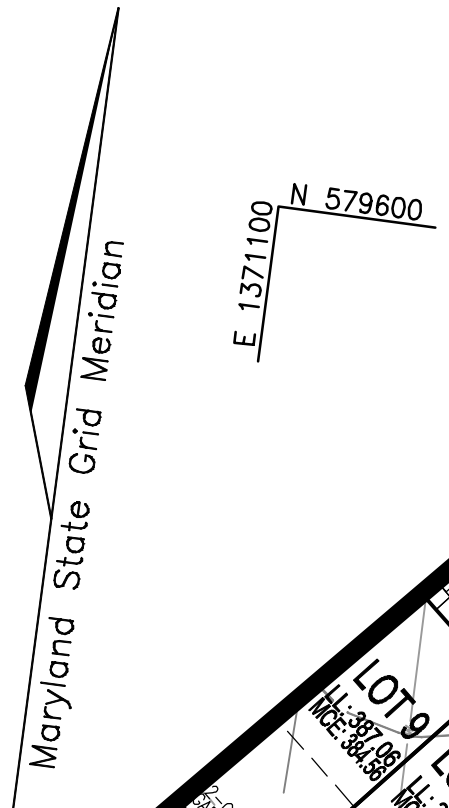
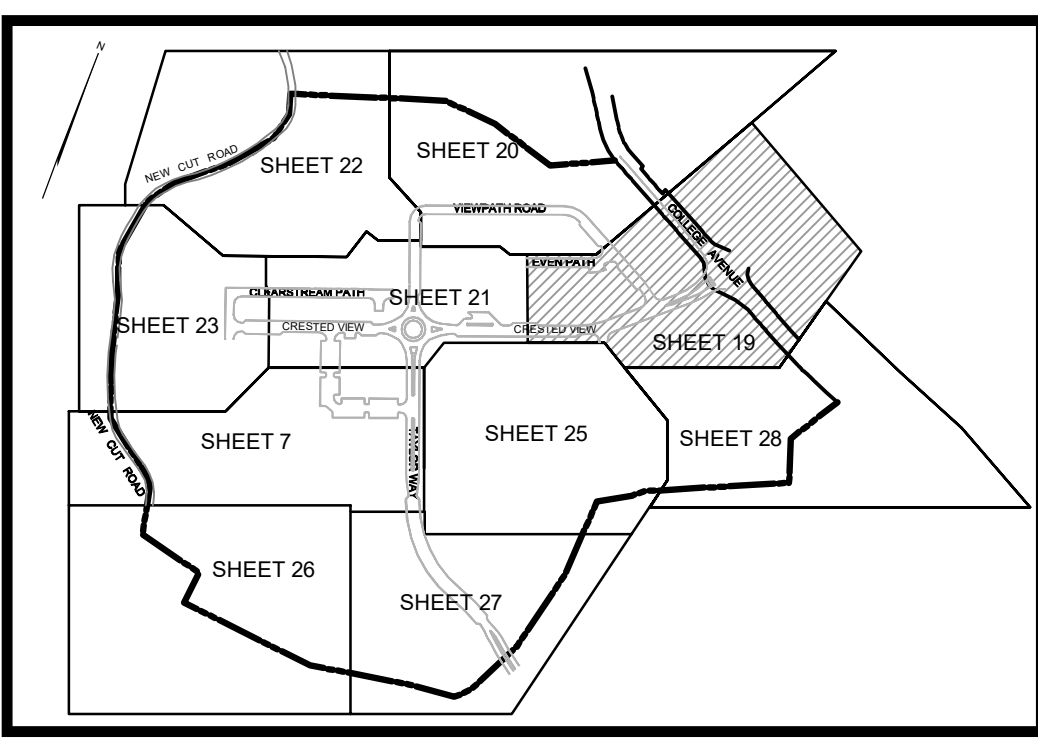
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: VETG.
DRAWN BY: VETG.
CHECKED BY: RHV.
DATE: SEPTEMBER, 2023.
SCALE: AS SHOWN.
W.O. NO.: 09-39/2018121.

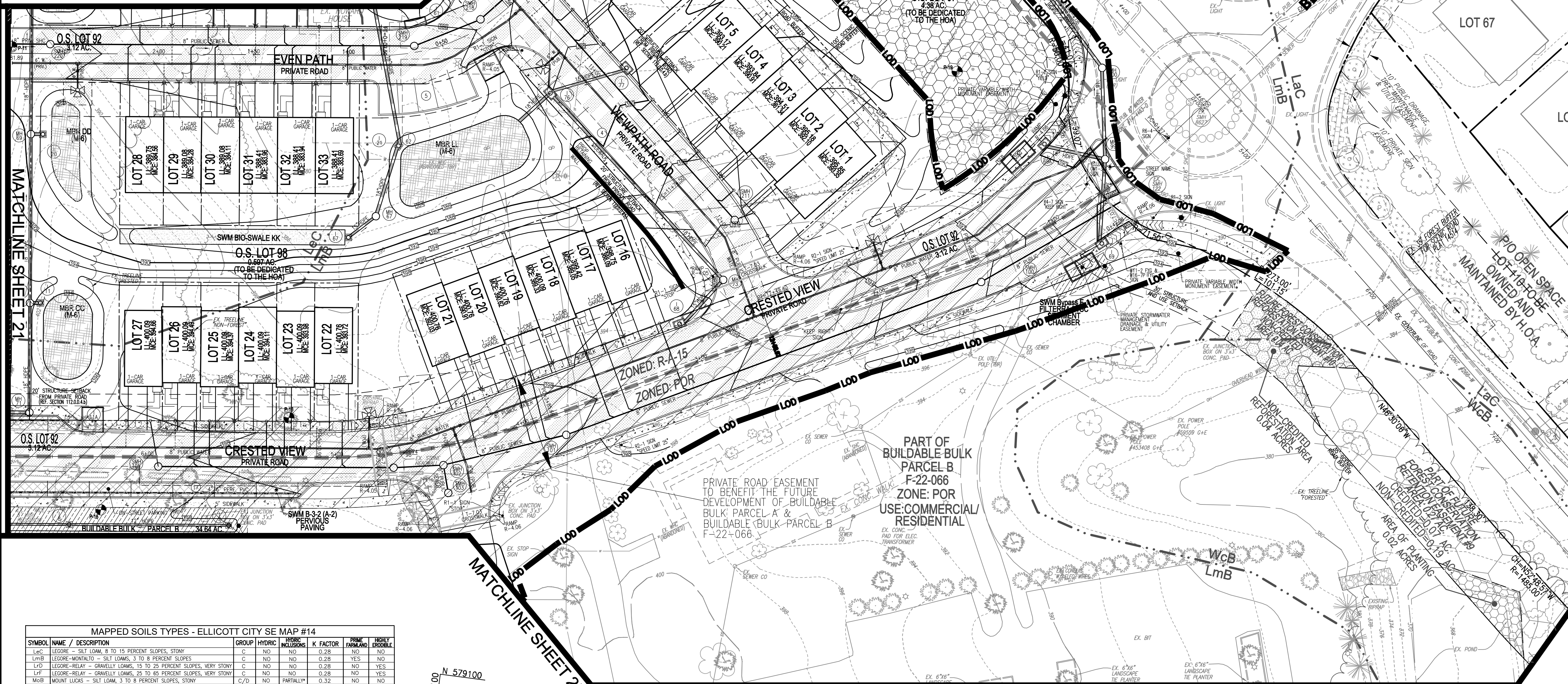
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18 SHEET **50**
OF



LEGEND:

- 0.00' --- EXISTING CONTOUR
- 0.00' --- PROPOSED CONTOUR
- + 0.268' --- PROPOSED SPOT ELEVATION
- 0.00' --- EXISTING SPOT ELEVATION
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING MAILBOX
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- M1B2
- M1D3
- L00
- PROPOSED RETAINING WALL
- PROPOSED TREELINE
- ZONING LINE
- PROPOSED STREET LIGHT
- PROPOSED BORING
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- MICRO-BIORETENTION
- PERVIOUS PAVING
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE
- FOREST CONSERVATION EASEMENT RETENTION
- FOREST CONSERVATION EASEMENT REFORESTATION



MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT SAND	K FACTOR	PERCENT CLAY	PERCENT ROCK	PERCENT STONY
LcC	LEGGRE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C	NO	NO	0.28	NO	NO	NO
LmB	LEGGRE-MONTAILE - SILT LOAMS, 3 TO 8 PERCENT SLOPES	C	NO	NO	0.28	YES	NO	NO
LcD	LEGGRE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	C	NO	NO	0.28	NO	YES	NO
LtF	LEGGRE-RELAY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	C	NO	NO	0.28	NO	YES	YES
MdB	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C/D	NO	PARTIALLY	0.32	NO	NO	NO
WcB	WATCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C/D	YES	YES	0.28	NO	NO	NO

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION 4-3.1, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NRCS SOIL SURVEY MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K A GREATER THAN 0.28 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHEAPUNK AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.



OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 93:	DEVELOPER
TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HISTORIC ELLICOTT PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR PLAZA DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY GRADING PLAN AND SOILS MAP
TAYLOR HIGHLANDS PHASE 1
LOTS 1-81 O.S. LOTS 82-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: VETC
DRAWN BY: VETC
CHECKED BY: RHV
DATE: OCTOBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

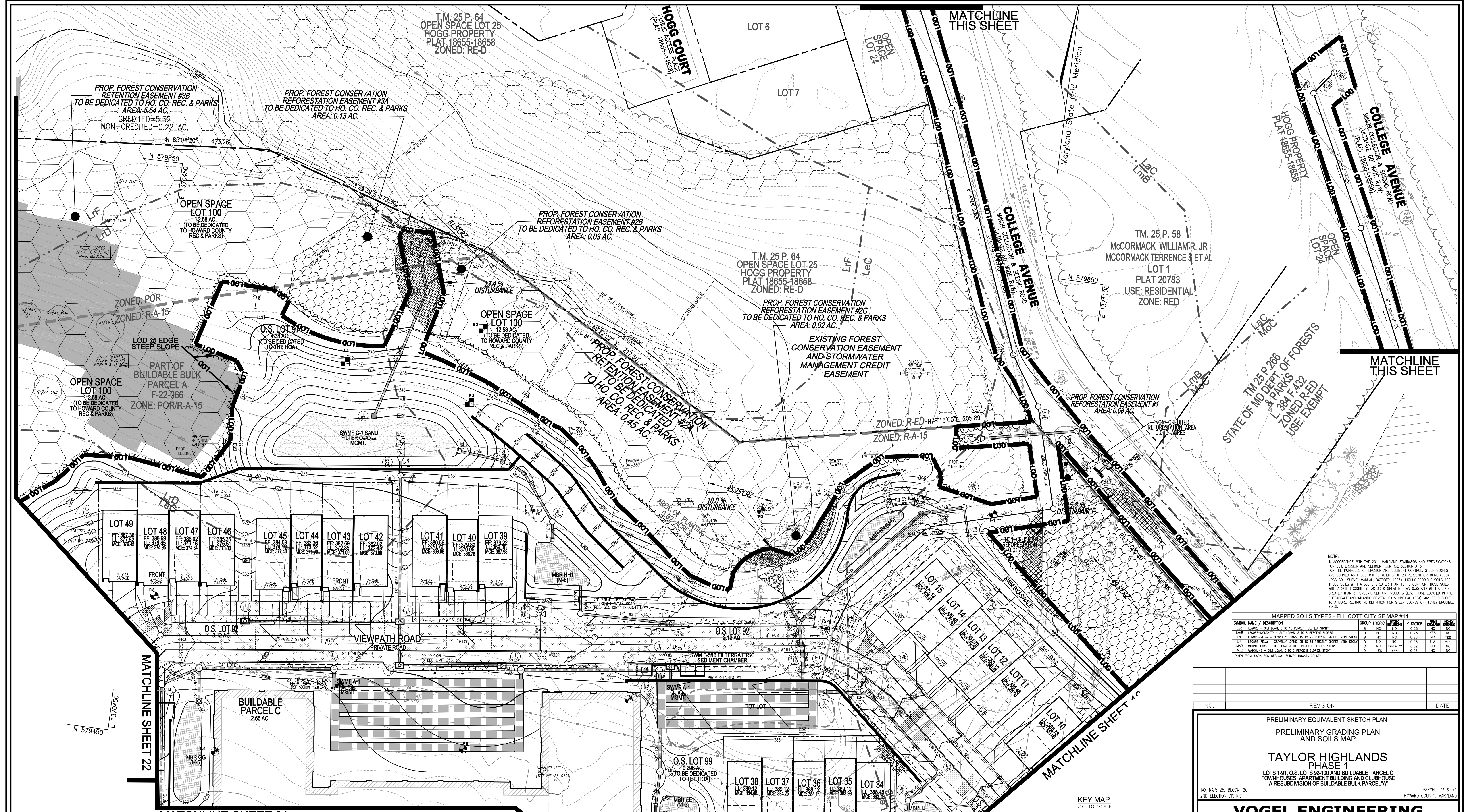
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19 SHEET OF 50

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Documented by: *Uarda Eisenberg*
11/15/2023

PLANNING DIRECTOR DATE



PROP. FOREST CONSERVATION RETENTION EASEMENT #3B TO BE DEDICATED TO HO. CO. REC. & PARKS AREA: 5.64 AC. CREDITED=5.32 NON-CREDITED=0.22 AC.

PROP. FOREST CONSERVATION REFORESTATION EASEMENT #3A TO BE DEDICATED TO HO. CO. REC. & PARKS AREA: 0.13 AC.

PROP. FOREST CONSERVATION REFORESTATION EASEMENT #2B TO BE DEDICATED TO HO. CO. REC. & PARKS AREA: 0.03 AC.

T.M. 25 P. 64 OPEN SPACE LOT 25 HOGG PROPERTY PLAT 18655-18658 ZONED: RE-D

PROP. FOREST CONSERVATION REFORESTATION EASEMENT #2C TO BE DEDICATED TO HO. CO. REC. & PARKS AREA: 0.02 AC.

T.M. 25 P. 58 McCORMACK WILLIAM R. JR. McCORMACK TERENCE & ET AL LOT 1 PLAT 20783 USE: RESIDENTIAL ZONE: RED

PROP. FOREST CONSERVATION REFORESTATION EASEMENT #1 TO BE DEDICATED TO HO. CO. REC. & PARKS AREA: 0.45 AC.

STATE OF MD DEPT. OF FORESTS L-388 F-432 ZONED R-ED USE: EXEMPT

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NRCS SOIL SURVEY MANUAL, OCTOBER, 1983). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G., THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREAS) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14									
SYMBOL NAME / DESCRIPTION	GROUP	HYDRO	PERCENT	K FACTOR	PERCENT	ERODIBLE	CRITICAL	CRITICAL	CRITICAL
L-1C LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO
L-1D LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO
L-1E LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO
L-1F LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO
M-1B MOUNT LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO
M-1C MOUNT LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO
M-1D MOUNT LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO
M-1E MOUNT LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO
M-1F MOUNT LEONARD - SET LOAM & TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO

TAKEN FROM: USDA, SSC-WEB SOIL SURVEY, HOWARD COUNTY

OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT PROPERTIES, INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY

DocuSigned by: **Lynda Eisenberg** 22068383942E

11/15/2023

PLANNING DIRECTOR DATE

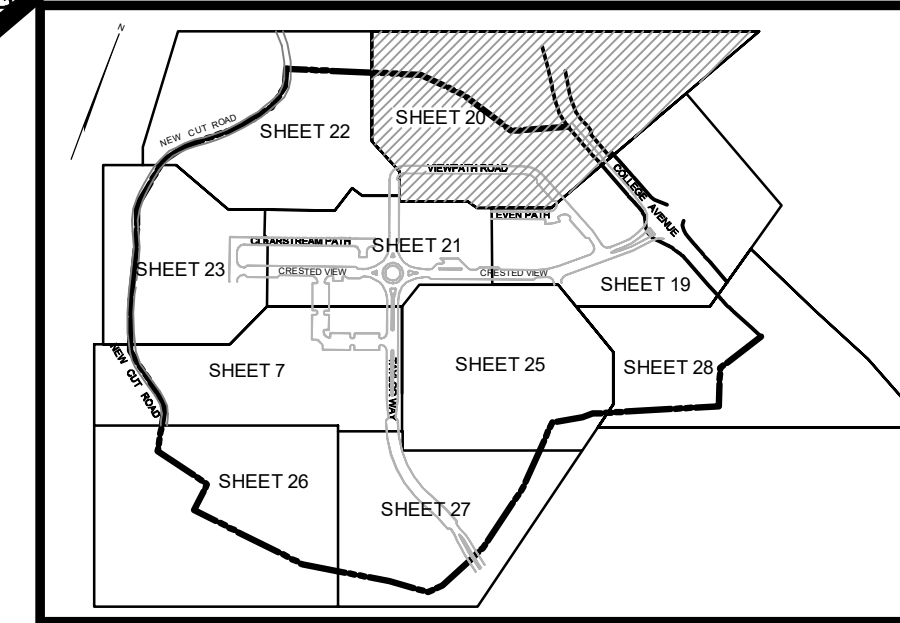
LEGEND:

	EXISTING CONTOUR		EXISTING TREE LINE (FOREST / F30)
	PROPOSED CONTOUR		EXISTING TREE LINE (NON-FOREST)
	PROPOSED SPOT ELEVATION		PROPERTY LINE
	EXISTING SPOT ELEVATION		RIGHT-OF-WAY LINE
	EXISTING CURB AND GUTTER		SOILS BOUNDARY
	PROPOSED CURB AND GUTTER		STEEP SLOPE (>25%)
	EXISTING UTILITY POLE		LIMIT OF DISTURBANCE
	EXISTING LIGHT POLE		PROPOSED RETAINING WALL
	EXISTING SIGN		ZONING LINE
	EXISTING SANITARY MANHOLE		PROPOSED STREET LIGHT
	EXISTING SANITARY LINE		PROPOSED BORING
	EXISTING FIRE HYDRANT		EXISTING STREAM
	EXISTING WATER LINE		EXISTING STREAM BUFFER
	EXISTING FENCE		

MATCHLINE SHEET 19 PLAN VIEW SCALE: 1"=30'

SCALE 1"=30'

15' 0' 30'



NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY GRADING PLAN AND SOILS MAP

TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 92-109 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20 2ND ELECTION DISTRICT PARCEL: 73 & 74 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
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PROFESSIONAL CERTIFICATE

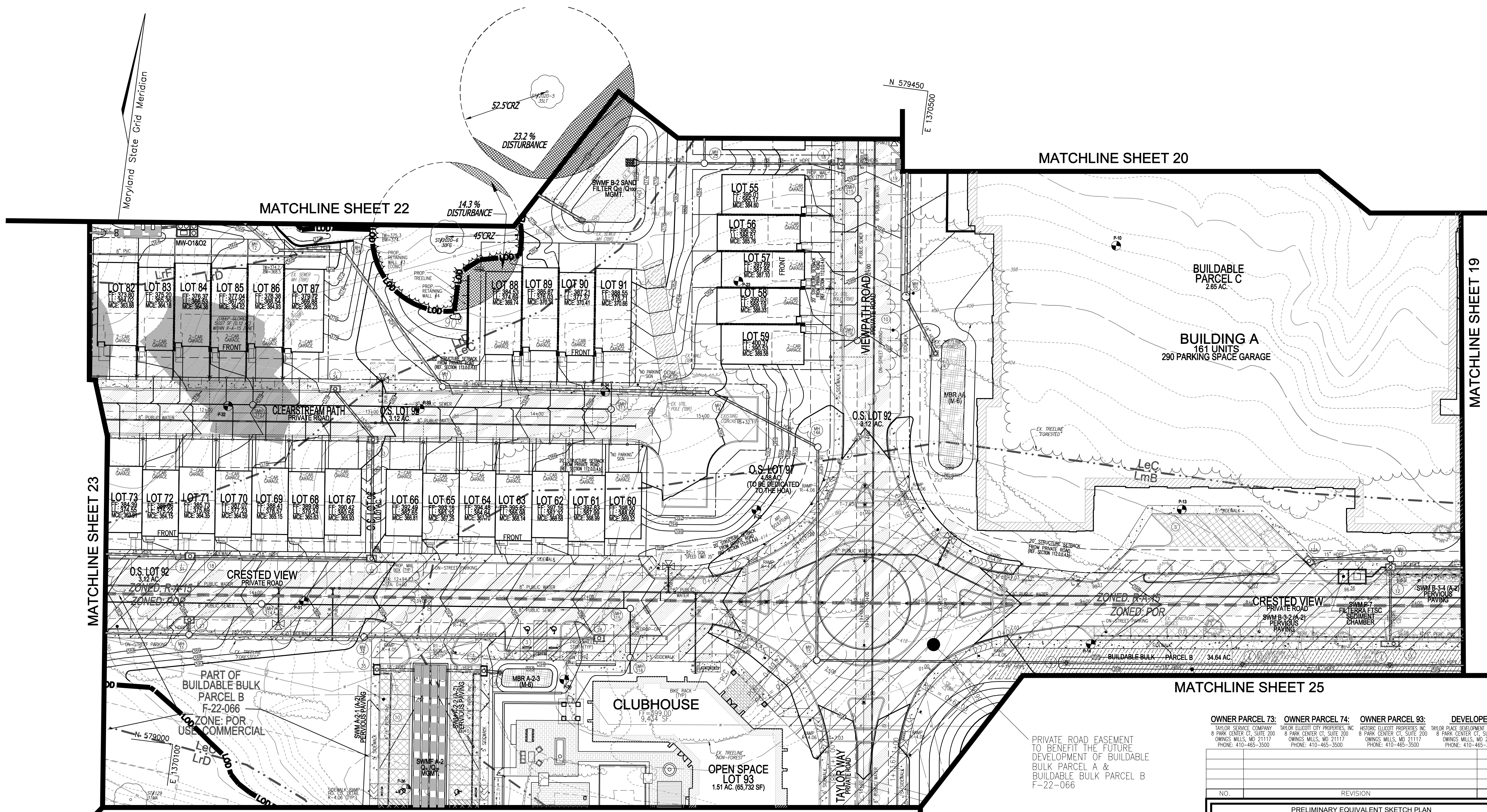
DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHV
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W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16943 EXPIRATION DATE: 09-27-2024

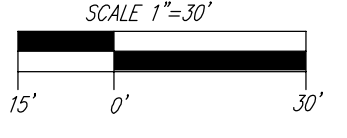
20 SHEET OF **50**

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- STEEP SLOPE (>25%)
- LIMIT OF DISTURBANCE
- PROPOSED RETAINING WALL
- ZONING LINE
- PROPOSED TREELINE
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED STREET LIGHT
- PROPOSED BORING
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- MICRO BIO RETENTION
- PERVIOUS PAVING
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE



PLAN VIEW
SCALE: 1" = 30'



SYMBOL NAME / DESCRIPTION	GROUP	HYDRIC	PERVIOUS	K FACTOR	FLANDR	HEAVY ERODIBLE
LeC LEGGORE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LPHB LEGGORE-MONTICLO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LQD LEGGORE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LRF LEGGORE-RELAY - GRAVELLY LOAMS, 25 TO 65 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MOB MOUNTAIN LOAMS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY*	0.32	NO	NO
WCF WATCHDOG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY
NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NRCS SOIL SURVEY MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.28 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHEAPSKING AND ATLANTIC COASTAL SANDS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	DEVELOPER TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500
--	--	--	---

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY GRADING PLAN
AND SOILS MAP

TAYLOR HIGHLANDS
PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT
PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

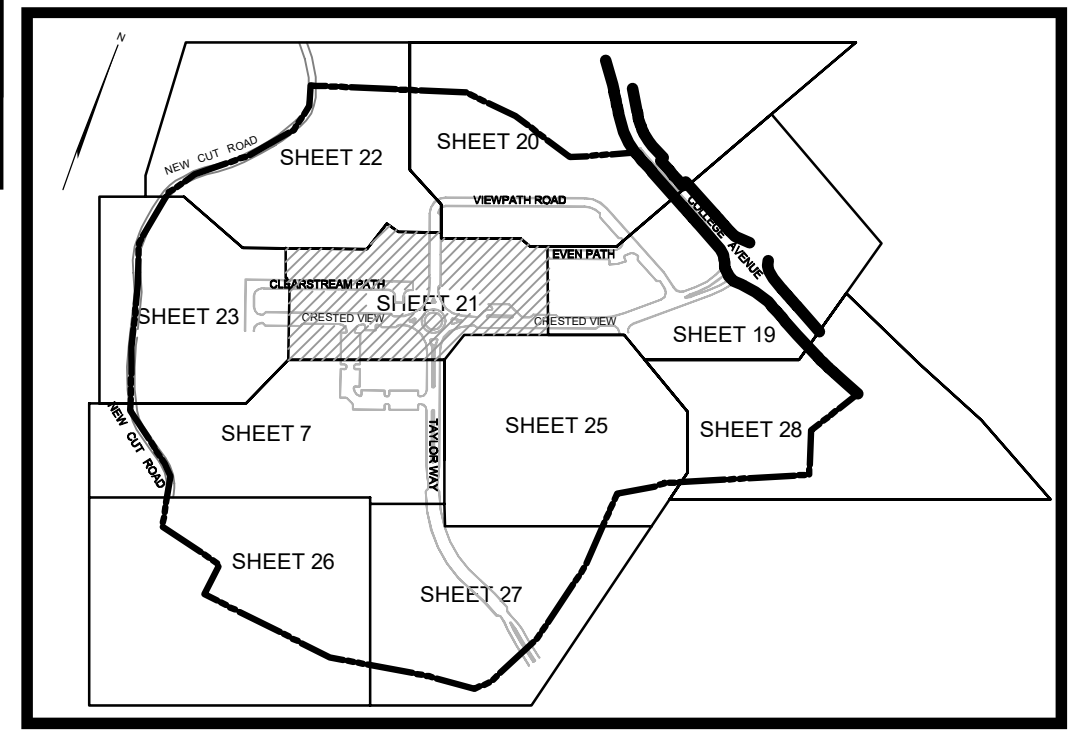
DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

21 SHEET OF 50

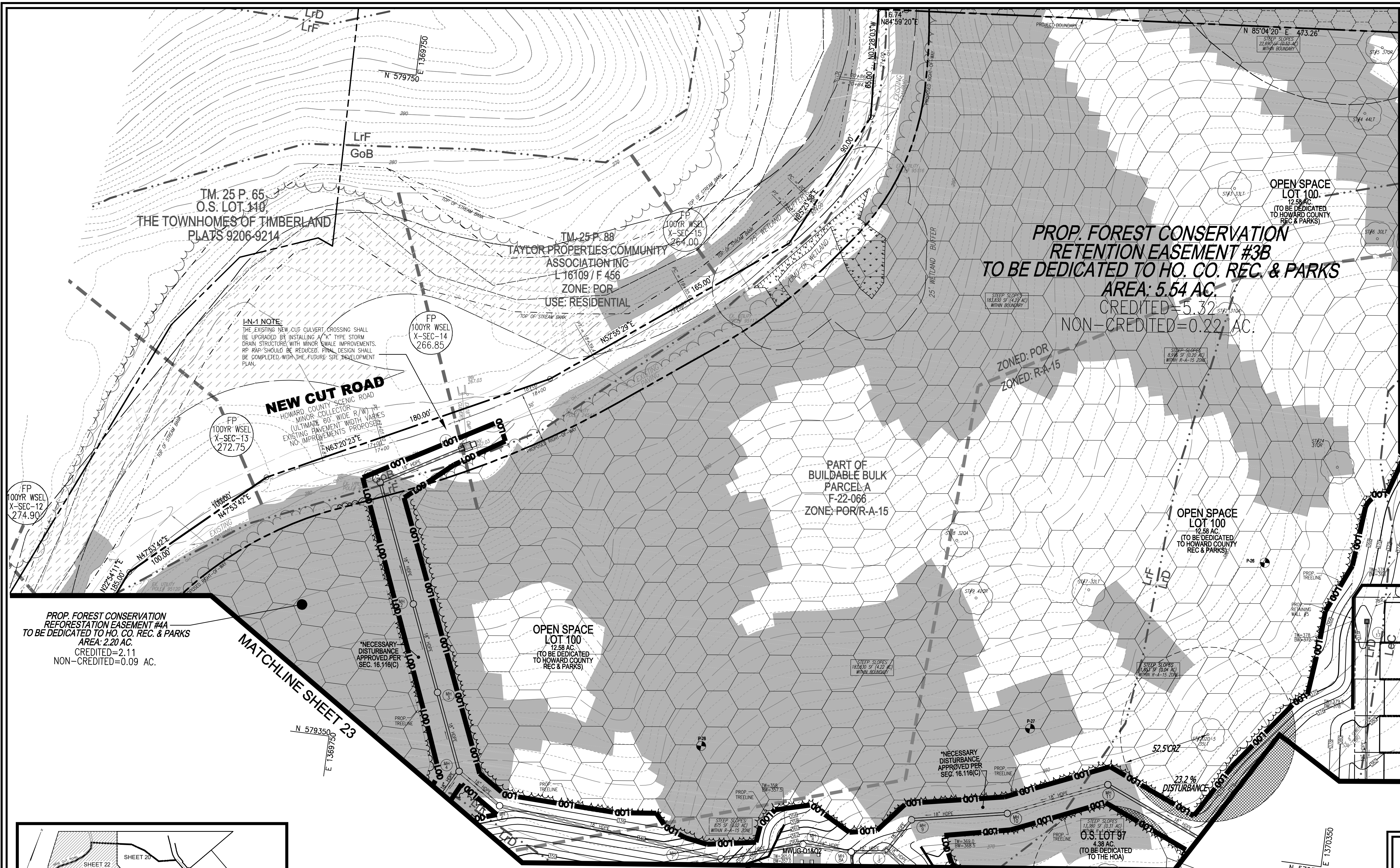
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Linda Eisinger
11/15/2023

PLANNING DIRECTOR DATE

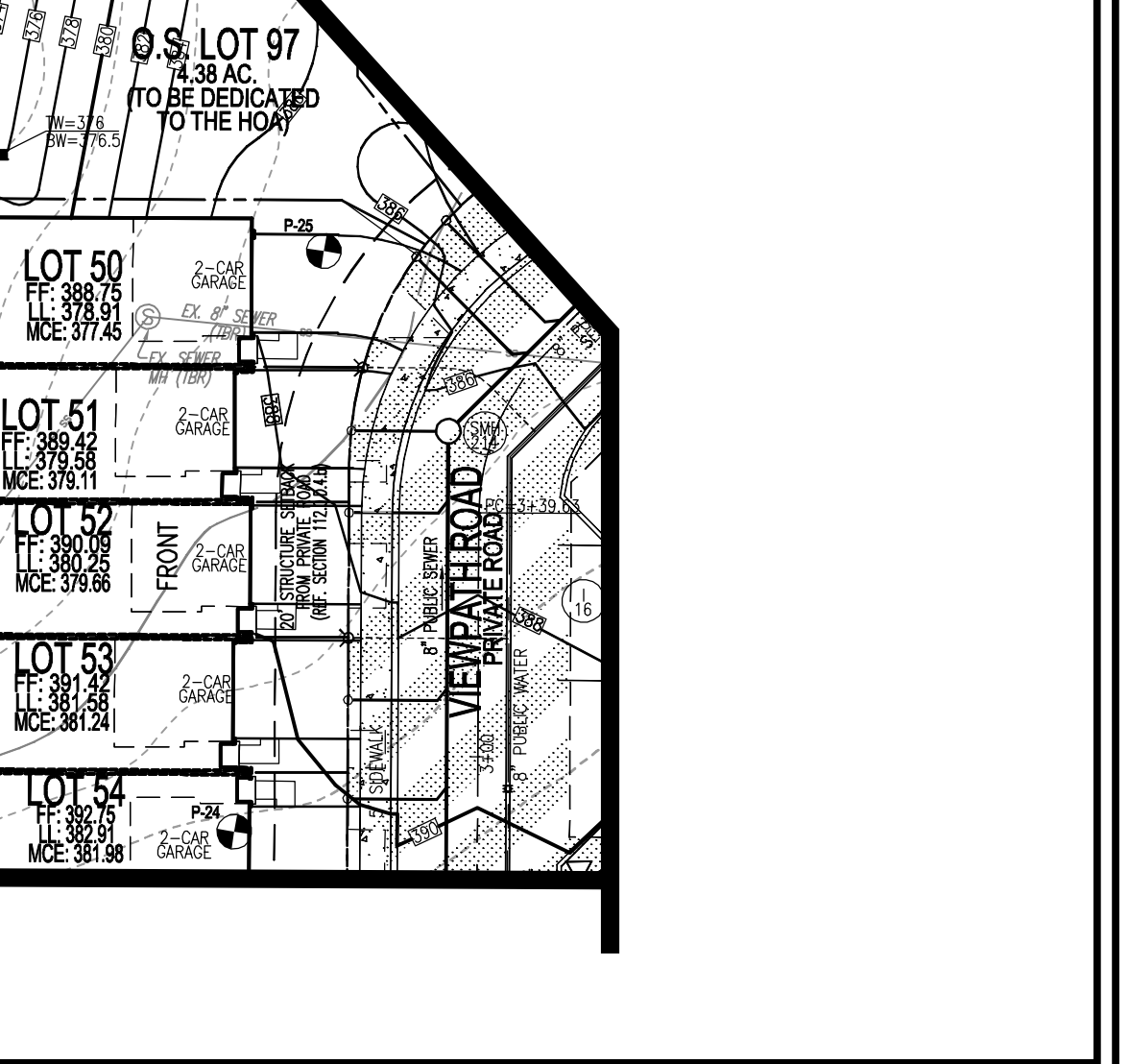


KEY MAP
NOT TO SCALE



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- PROPOSED TREELINE
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- STEEP SLOPE (>25%)
- LIMIT OF DISTURBANCE
- PROPOSED TREELINE
- PROPOSED RETAINING WALL
- ZONING LINE
- PROPOSED BORING
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- MICRO BIO RETENTION
- BIO RETENTION AREA
- PERVIOUS PAVING
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE
- FOREST CONSERVATION EASEMENT (RETENTION)
- EX. FLOODPLAIN AREA



PROP. FOREST CONSERVATION REFORESTATION EASEMENT #4A
 TO BE DEDICATED TO HO. CO. REC. & PARKS
 AREA: 2.20 AC.
 CREDITED=2.11
 NON-CREDITED=0.09 AC.

PROP. FOREST CONSERVATION RETENTION EASEMENT #3B
 TO BE DEDICATED TO HO. CO. REC. & PARKS
 AREA: 5.54 AC.
 CREDITED=5.32
 NON-CREDITED=0.22 AC.

LN-1 NOTE:
 THE EXISTING NEW CUT CULVERT CROSSING SHALL BE UPGRADED BY INSTALLING A "C" TYPE STORM DRAIN STRUCTURE WITH MINOR GRADE IMPROVEMENTS. RP RAMP SHOULD BE REDUCED. FINAL DESIGN SHALL BE COMPLETED WITH THE FUTURE SITE DEVELOPMENT PLAN.

NEW CUT ROAD
 HOWARD COUNTY SCENIC ROAD
 MINOR COLLECTOR
 MINOR GO-WIDE R/W'S
 (ULTIMATE PAVEMENT WIDTH VARIES)
 EXISTING IMPROVEMENTS PROPOSED
 NO IMPROVEMENTS PROPOSED

PART OF BUILDABLE BULK PARCEL A
 F-22-066
 ZONE: POR/R-A-15

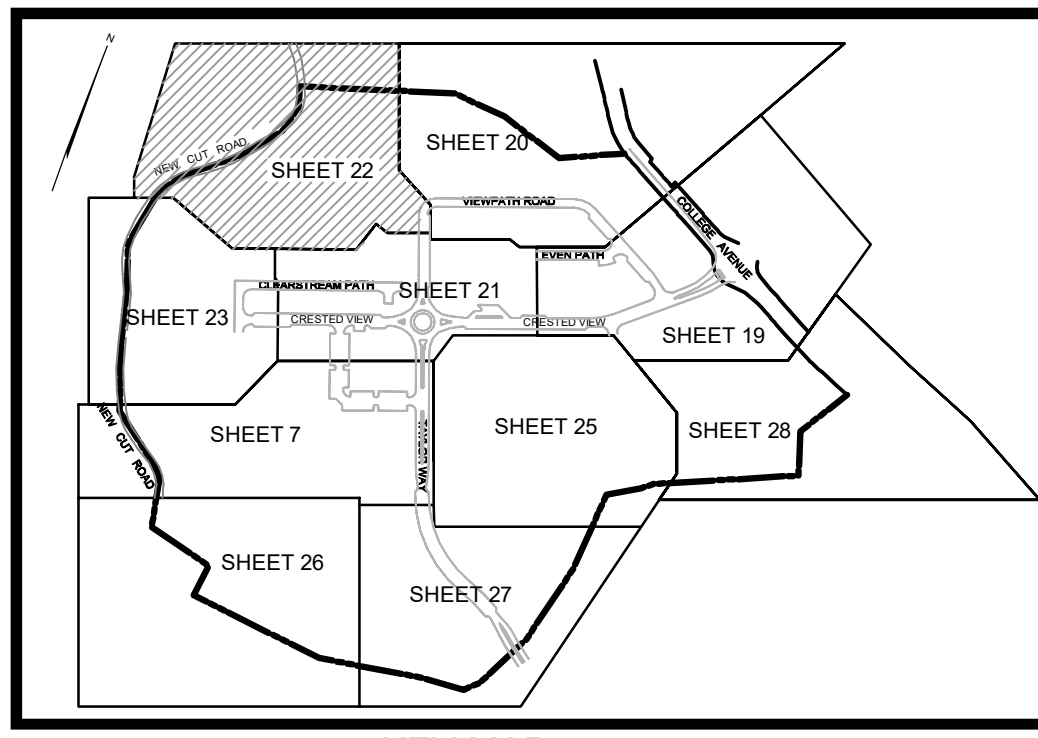
OPEN SPACE LOT 100
 12.58 AC.
 TO BE DEDICATED TO HOWARD COUNTY REC & PARKS

O.S. LOT 97
 4.38 AC.
 TO BE DEDICATED TO THE HOA

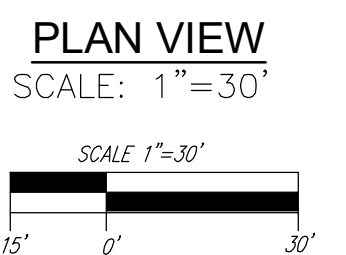
NECESSARY DISTURBANCE APPROVED PER SEC. 16.116(C)

NECESSARY DISTURBANCE APPROVED PER SEC. 16.116(C)

NECESSARY DISTURBANCE APPROVED PER SEC. 16.116(C)



NEW CUT ROAD CULVERTS NOTE:
 DRAINAGE COMPUTATIONS FOR THE EXISTING NEW CUT ROAD DRAINAGE CULVERTS SHALL BE FURTHER INVESTIGATED WITH THE FUTURE SITE DEVELOPMENT PLAN.



MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14						
SYMBOL NAME / DESCRIPTION	GROUP	HYDRIC	TOXIC INCLUSIONS	K FACTOR	POSS. FLOODING	HIGHLY ERODIBLE
LAC LEGGEE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.25	NO	NO
LMB LEGGEE-MONTAILE - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LFD LEGGEE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LTF LEGGEE-RELAY - GRAVELLY LOAMS, 25 TO 65 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MOB MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY*	0.32	NO	NO
WCB WATCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE:
 IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NCS SOIL SURVEY MANUAL, OCTOBER 1994). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 14 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.28 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

Designed by: *Linda Eisenberg*
 11/15/2023
 PLANNING DIRECTOR DATE

OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 93:	DEVELOPER
TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR ELLICOTT CITY PROPERTIES, INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HISTORIC ELLICOTT CITY PROPERTIES INC 4100 COLLEGE AVENUE ELLICOTT CITY, MD 21043 PHONE: 410-465-3500	TAYLOR PLACE DEVELOPMENT CORPORATION 4100 COLLEGE AVENUE ELLICOTT CITY, MD 21043 PHONE: 410-465-3500
NO.	REVISION	DATE	

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY GRADING PLAN AND SOILS MAP

TAYLOR HIGHLANDS PHASE 1
 LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
 TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
 A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A'

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

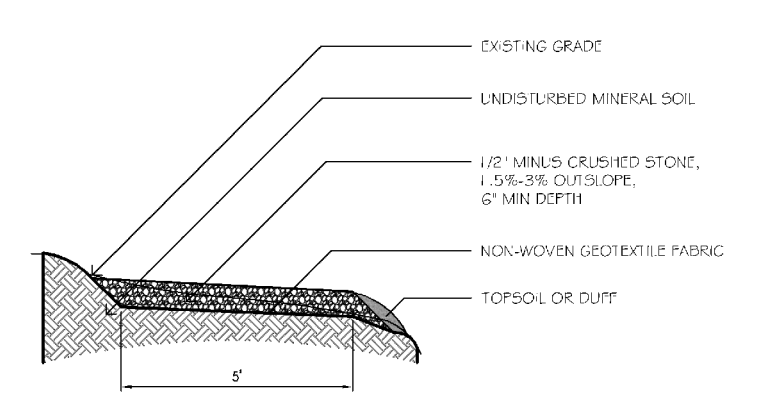
VOGEL ENGINEERING
 +
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

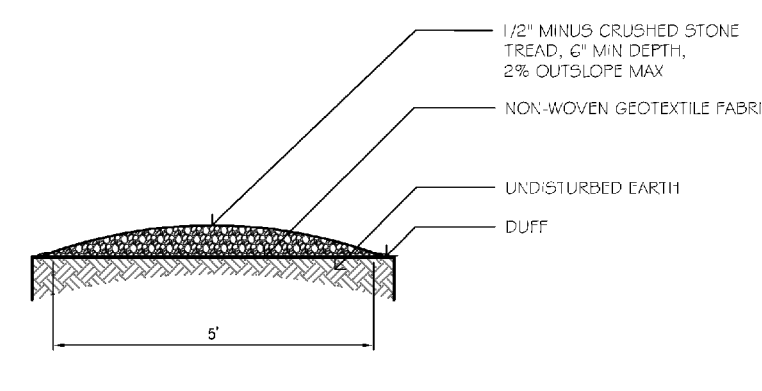
DESIGN BY: VETG
 DRAWN BY: VETG
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 09-39/201812L

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

22 SHEET OF 50



Full Bench Crushed Stone Trail NOT TO SCALE



Crowned Crushed Stone Trail NOT TO SCALE

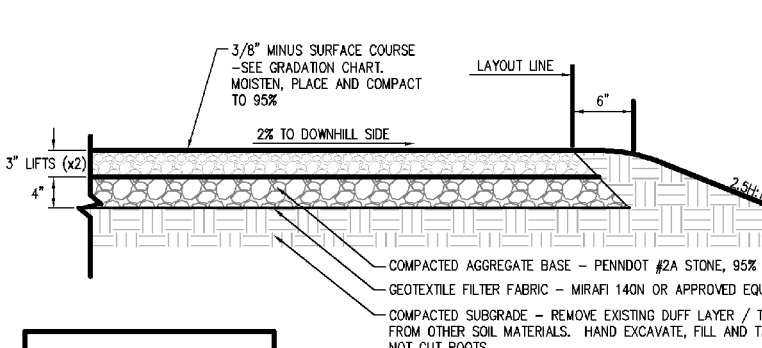
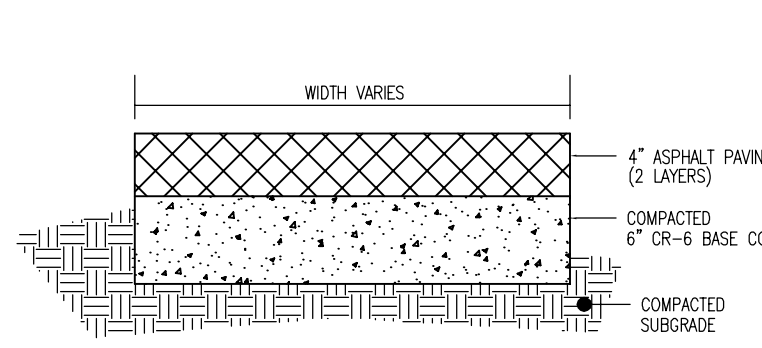


Table with 2 columns: Sieve Size, Percent Passing. Rows include 3/8", #4, #10, #20, #40, #60, #100.

Trail Bed & Tread NOT TO SCALE



TYPICAL 6' ASPHALT PATHWAY DETAIL NOT TO SCALE



TYPICAL 6' ASPHALT PATHWAY DETAIL NOT TO SCALE

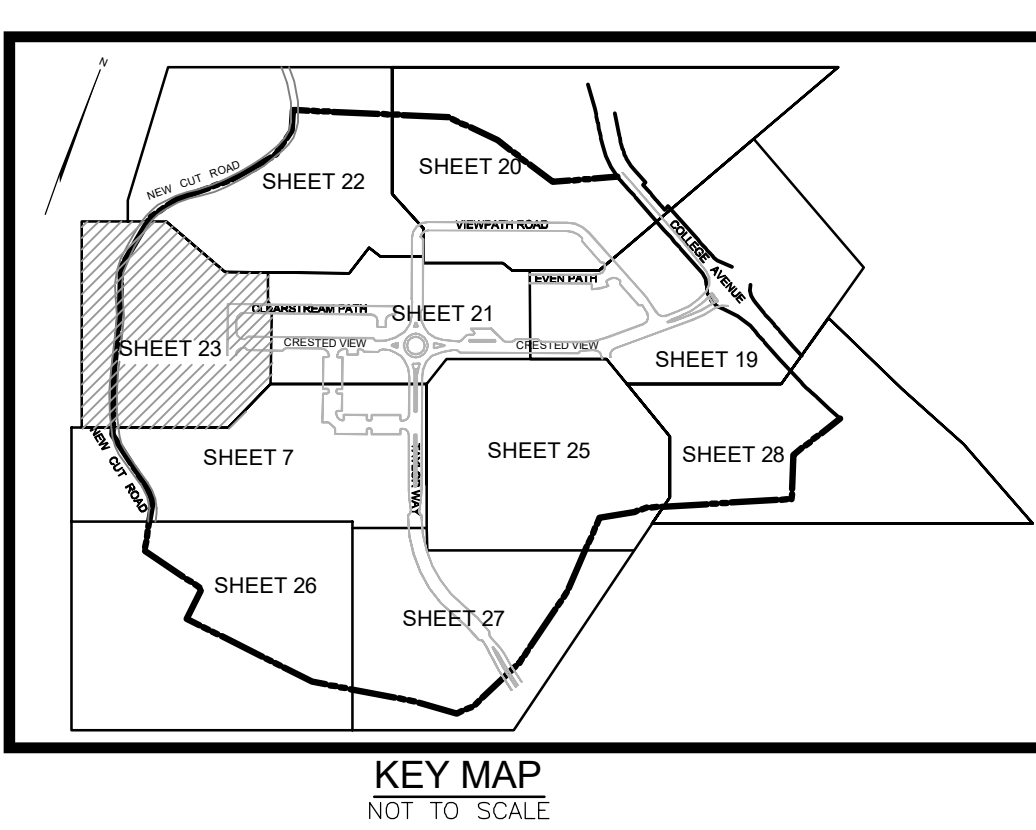
PATHWAY NOTES:

PATHWAY SHALL BE PAVED SURFACE PER DETAIL HEREON. IN ACCORDANCE WITH SECTION 4.2.4 OF THE FOREST RESTORATION MANUAL, PAVED WALKS AND PATHS MAY BE PERMITTED WITHIN FOREST RETENTION EASEMENTS IF THE FOLLOWING REQUIREMENTS ARE MET:

NOTE: STREAM RESTORATION SHALL BE DETAILED ON FUTURE FINAL PLAN OR SITE DEVELOPMENT PLAN SUBMISSION FOR PHASE 1

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY

DocuSigned by: Linda Eisenberg 12/28/2023 11/15/2023 DATE



LEGEND: Table listing symbols for existing and proposed contours, elevations, trails, easements, and other site features.

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14. Table with columns: SYMBOL, NAME, DESCRIPTION, GROUP, HYDRIC, MAPPING, K, FACTOR, P, H, H, H, H.

PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B F-22-066

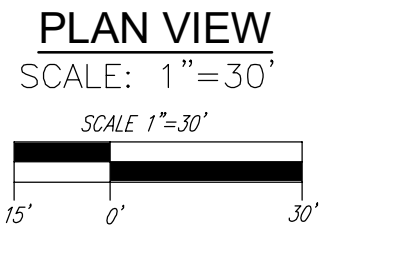
OWNER PARCEL 73: OWNER PARCEL 74: OWNER PARCEL 93: DEVELOPER. Contact information for Taylor Service Company, Historic Ellicott Properties Inc, and Taylor Place Development Corporation.

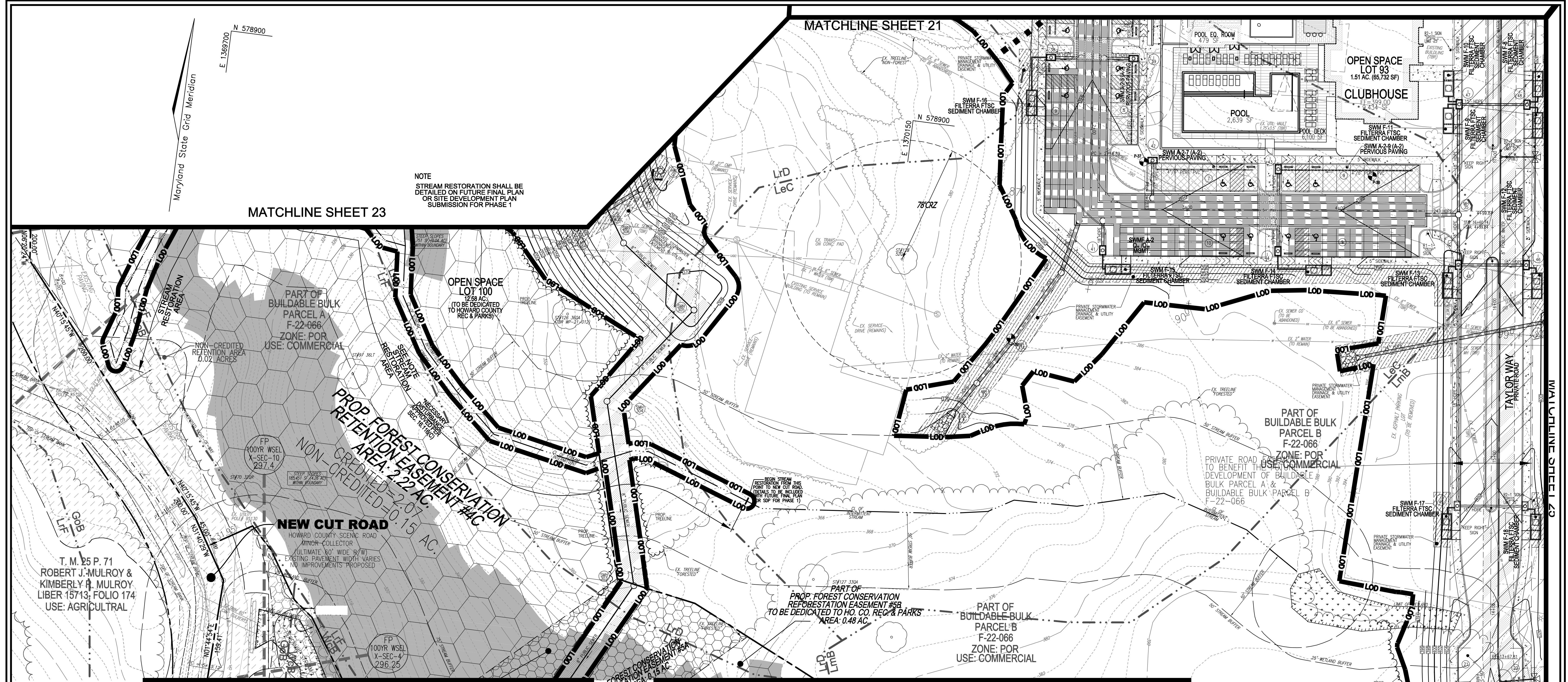
Table with columns: NO., REVISION, DATE. Revision history table.

PRELIMINARY EQUIVALENT SKETCH PLAN. PRELIMINARY GRADING PLAN AND SOILS MAP. TAYLOR HIGHLANDS PHASE 1. TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE. A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

VOGEL ENGINEERING. TIMMONS GROUP. 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043. P: 410.461.7666 F: 410.461.8961 www.timmons.com

Professional Engineer seal for Robert Vogel, State of Maryland, License No. 16193. Includes design, draw, check, and date information.





NOTE
 STREAM RESTORATION SHALL BE
 DETAILED ON FUTURE FINAL PLAN
 OR SITE DEVELOPMENT PLAN
 SUBMISSION FOR PHASE 1

MATCHLINE SHEET 23

MATCHLINE SHEET 21

MATCHLINE SHEET 26

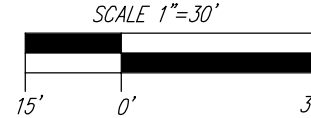
MATCHLINE SHEET 26

MATCHLINE SHEET 27

NEW CUT ROAD
 CULVERTS NOTE:
 DRAINAGE COMPUTATIONS FOR THE
 EXISTING NEW CUT ROAD DRAINAGE
 CULVERTS SHALL BE FURTHER
 INVESTIGATED WITH THE FUTURE SITE
 DEVELOPMENT PLAN.

PROP FOREST CONSERVATION
 REFORESTATION EASEMENT #4D
 AREA: 0.11 AC.

PLAN VIEW
 SCALE: 1"=30'



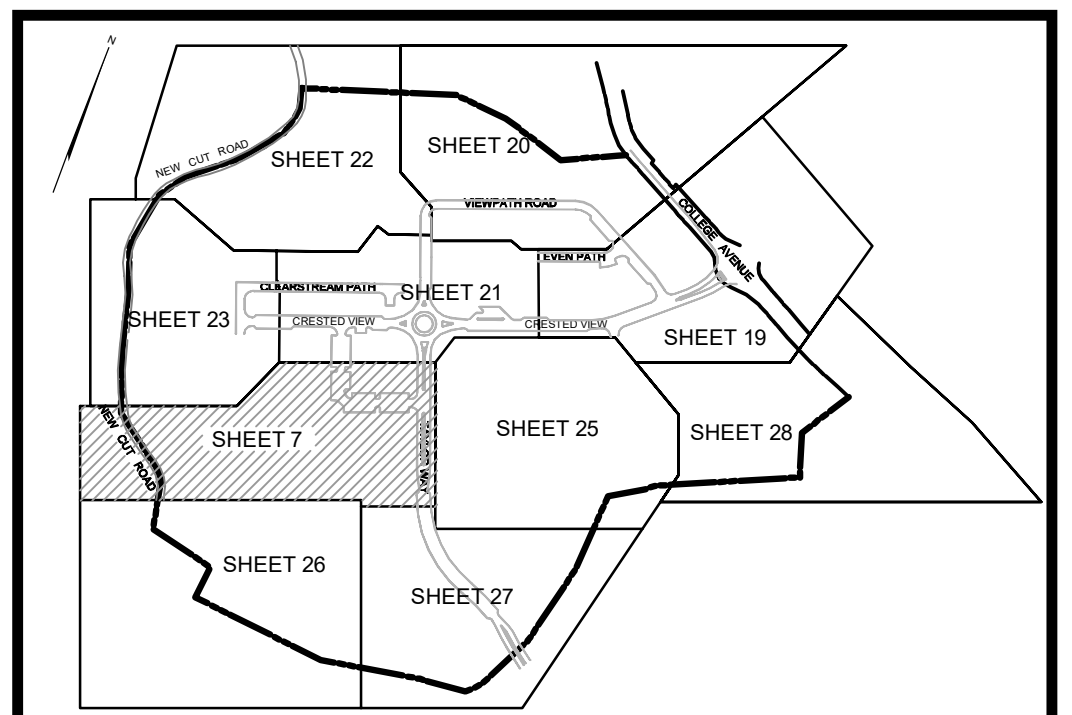
LEGEND:

- 0.00' --- EXISTING CONTOUR
- 0.00' --- PROPOSED CONTOUR
- 0.00' --- PROPOSED SPOT ELEVATION
- 0.00' --- EXISTING SPOT ELEVATION
- 0.00' --- EXISTING CURB AND GUTTER
- 0.00' --- PROPOSED CURB AND GUTTER
- 0.00' --- EXISTING UTILITY POLE
- 0.00' --- EXISTING LIGHT POLE
- 0.00' --- EXISTING SIGN
- 0.00' --- EXISTING SANITARY MANHOLE
- 0.00' --- EXISTING SANITARY LINE
- 0.00' --- EXISTING CLEANOUT
- 0.00' --- EXISTING FIRE HYDRANT
- 0.00' --- EXISTING WATER LINE
- 0.00' --- EXISTING TREELINE (FOREST / FSD)
- 0.00' --- EXISTING TREELINE (NON FOREST)
- 0.00' --- EXISTING FENCE
- 0.00' --- PROPERTY LINE
- 0.00' --- RIGHT-OF-WAY LINE
- 0.00' --- SOILS BOUNDARY
- 0.00' --- EX. FLOODPLAIN AREA
- 0.00' --- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- 0.00' --- PROPOSED STORMDRAIN
- 0.00' --- PROPOSED STORMDRAIN INLET
- 0.00' --- PROPOSED SIDEWALK
- 0.00' --- PROPOSED TREELINE
- 0.00' --- LIMIT OF DISTURBANCE
- 0.00' --- PROPOSED RETAINING WALL
- 0.00' --- ZONING LINE
- 0.00' --- PROPOSED STREET LIGHT
- 0.00' --- PROPOSED BORING
- 0.00' --- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- 0.00' --- MICRO BIO RETENTION
- 0.00' --- PERVIOUS PAVING
- 0.00' --- EXISTING WETLAND
- 0.00' --- EXISTING WETLAND BUFFER
- 0.00' --- PROPOSED STREET SIGN
- 0.00' --- EXISTING SPECIMEN TREE
- 0.00' --- FOREST CONSERVATION EASEMENT (RETENTION)
- 0.00' --- CENTERLINE OF EXISTING STREAM

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL NAME / DESCRIPTION	GROUP	H2OIC	PERCENT SAND	K FACTOR	PERCENT CLAY	PERCENT ROCK
LdC LEGGERS - SILT LOAMS, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB LEGGERS-MONTALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LfD LEGGERS-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LfF LEGGERS-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MdB MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO
WcB WATCHING - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE:
 IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NCRS SOIL SURVEY MANUAL, OCTOBER, 1993). HEAVILY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 8 PERCENT. CERTAIN PRODUCTS (E.G. THOSE LOCATED IN THE CHEAPSKAPE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HEAVILY ERODIBLE SOILS.



KEY MAP
 NOT TO SCALE

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT PROPERTIES, INC, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC, 4100 COLLEGE AVENUE, ELLICOTT CITY, MD 21043, PHONE: 410-465-3500

DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 4100 COLLEGE AVENUE, ELLICOTT CITY, MD 21043, PHONE: 410-465-3500

REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY GRADING PLAN
 AND SOILS MAP

**TAYLOR HIGHLANDS
 PHASE 1**

LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
 TOWNHOMES, APARTMENT BUILDING AND CLUBHOUSE
 A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 +
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: VETG.
 DRAWN BY: VETG.
 CHECKED BY: RHV.
 DATE: SEPTEMBER 2023.
 SCALE: AS SHOWN.
 W.O. NO.: 09-39/2018121

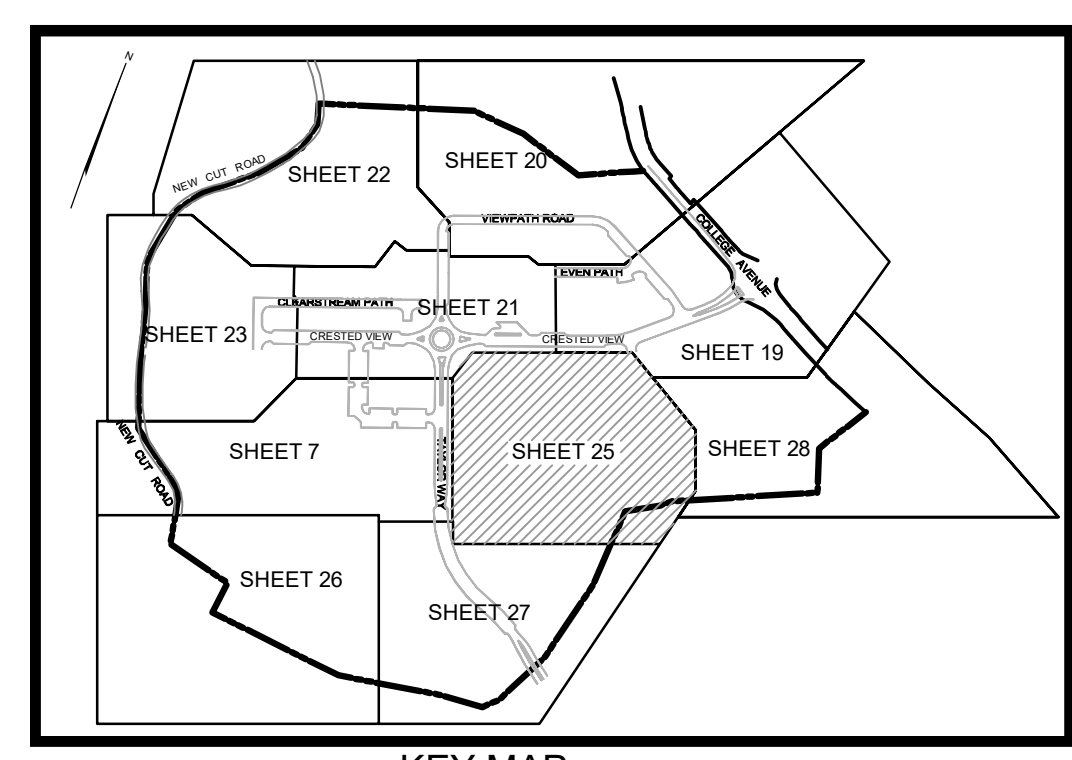
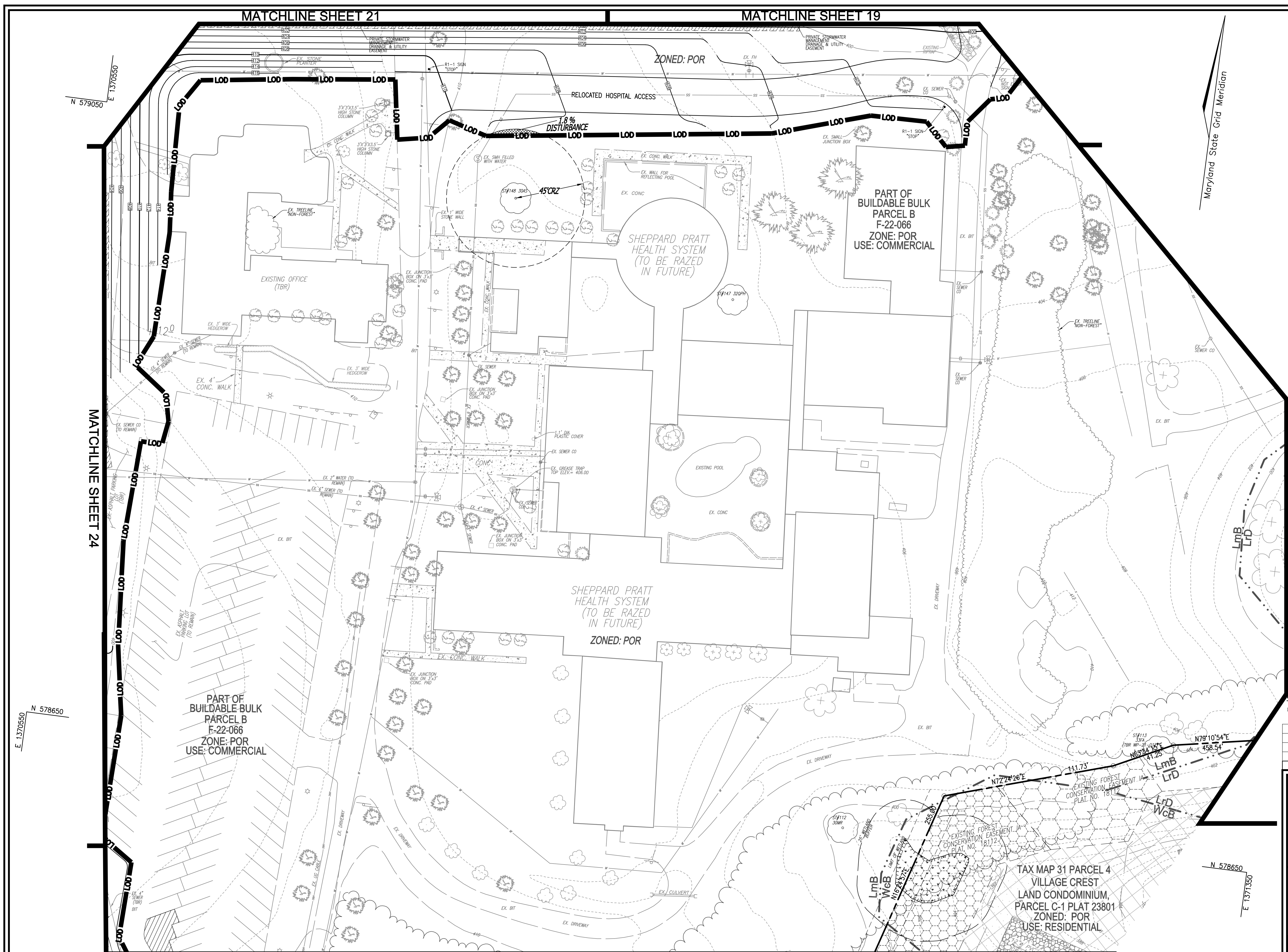
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19163 EXPIRATION DATE: 09-27-2024

24 SHEET OF 50

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

DocuSigned by:
 Lynda Esenberg
 11/15/2023

PLANNING DIRECTOR DATE



LEGEND:

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- + 02.88 EXISTING SPOT ELEVATION
- + 02.88 PROPOSED SPOT ELEVATION
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED PAVING
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE (FOREST / PSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- M1B2 SOILS BOUNDARY
- M1D3 SOILS BOUNDARY
- LIMIT OF DISTURBANCE
- PROPOSED STREET LIGHT
- EXISTING SPECIMEN TREE

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500
---	--	--	---

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY GRADING PLAN
 AND SOILS MAP

**TAYLOR HIGHLANDS
 PHASE 1**
 TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
 A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 +
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PROFESSIONAL CERTIFICATE

DESIGN BY: _____ VETC
 DRAWN BY: _____ VETC
 CHECKED BY: _____ RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

25 OF 50

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

DocuSigned by:
 Lynda Eisinger
 122086356036426

PLANNING DIRECTOR

DATE: 11/15/2023



MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

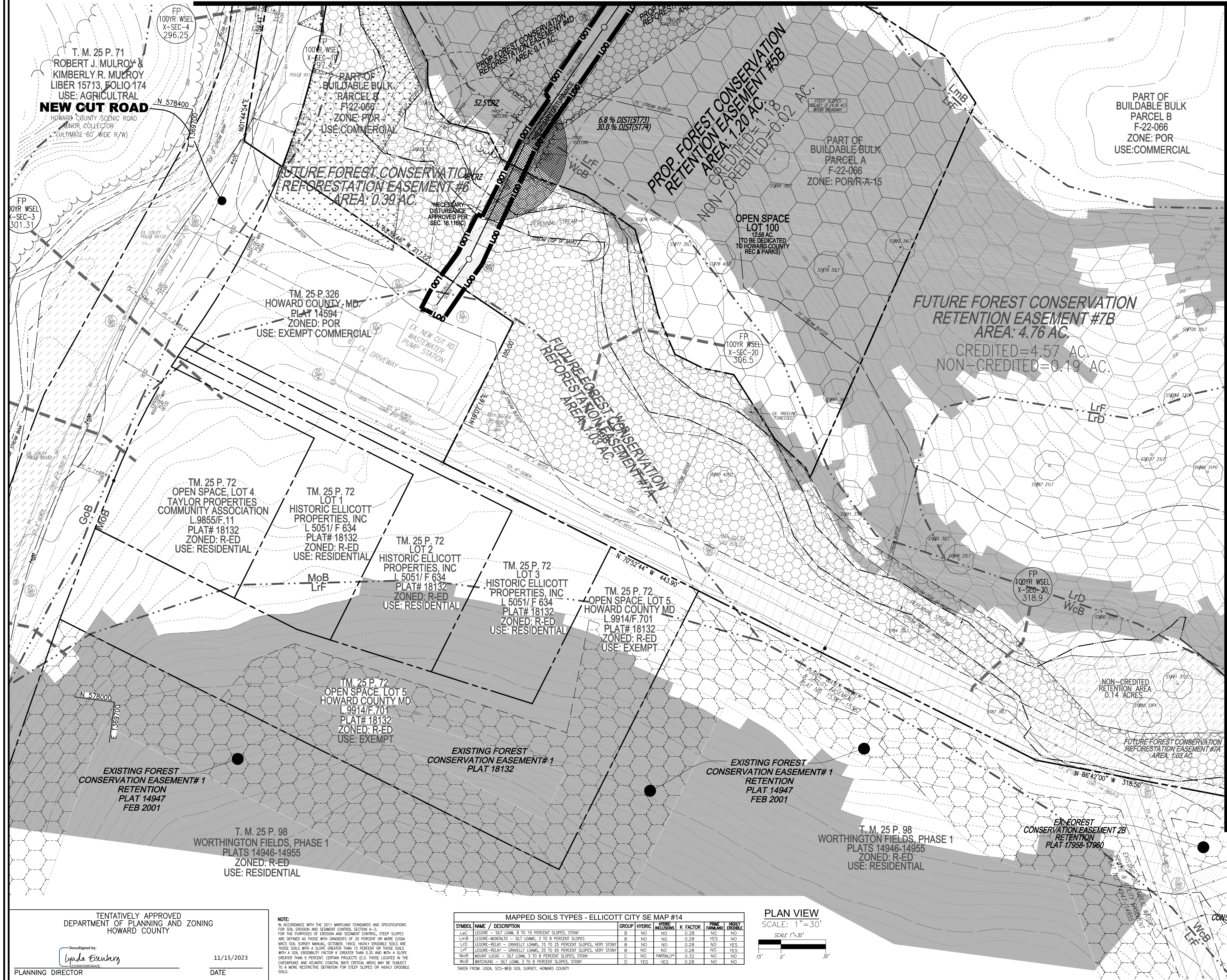
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	TOXIC INCLUSIONS	K FACTOR	PRIME FARMLAND	HIGHLY ERODIBLE
L1S	LEOCCO - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB	LEOCCO-MONTALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LpD	LEOCCO-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LfF	LEOCCO-RELAY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
M1B	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO
W1B	WATCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY

**TAX MAP 31 PARCEL 4
 VILLAGE CREST
 LAND CONDOMINIUM,
 PARCEL C-1 PLAT 23801
 ZONED: POR
 USE: RESIDENTIAL**

NOTE:
 IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION 4-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NRC 504 SOIL EROSION MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL STABILITY FACTOR K GREATER THAN 0.32 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G., THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL DRAIN ORIGIN AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

MATCHLINE SHEET 24

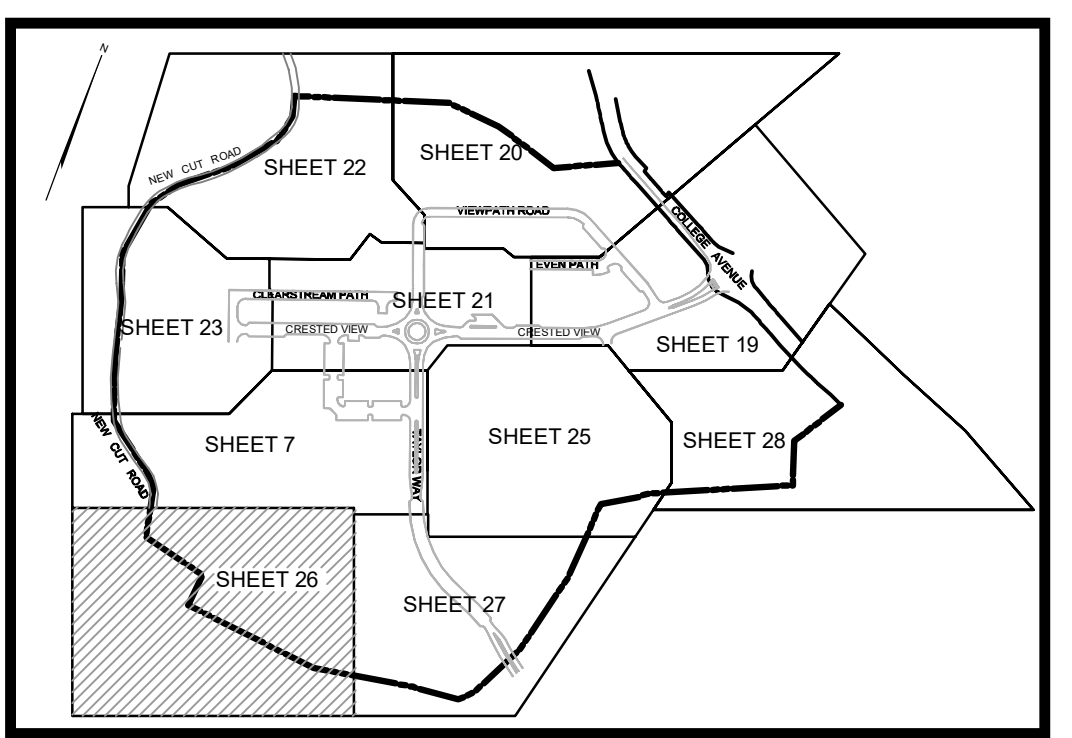


LEGEND:

- 250 --- EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- + 02.88 PROPOSED SPOT ELEVATION
- --- EXISTING SPOT ELEVATION
- --- EXISTING CURB AND GUTTER
- --- EXISTING UTILITY POLE
- --- EXISTING LIGHT POLE
- --- EXISTING MAILBOX
- --- EXISTING SIGN
- --- EXISTING SANITARY MANHOLE
- --- EXISTING SANITARY LINE
- --- EXISTING CLEANOUT
- --- EXISTING FIRE HYDRANT
- --- EXISTING WATER LINE
- --- EXISTING TREE LINE (FOREST / FSD)
- --- EXISTING TREE LINE (NON FOREST)
- --- EXISTING FENCE
- --- PROPERTY LINE
- --- RIGHT-OF-WAY LINE
- --- SOILS BOUNDARY
- --- STEEP SLOPE (>25%)
- --- LIMIT OF DISTURBANCE
- --- PROPOSED BORING
- --- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- --- EXISTING WETLAND
- --- EXISTING WETLAND BUFFER
- --- EXISTING STREAM
- --- EXISTING STREAM BUFFER
- --- PROPOSED TREE LINE
- --- EXISTING SPECIMEN TREE
- --- FOREST CONSERVATION EASEMENT (RETENTION)
- --- EX. FOREST CONSERVATION EASEMENT (RETENTION)
- --- FOREST CONSERVATION EASEMENT REFORESTATION
- --- EX. FLOODPLAIN AREA

Maryland State Grid Meridian

MATCHLINE SHEET 27



OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500
---	--	--	---

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY GRADING PLAN AND SOILS MAP
TAYLOR HIGHLANDS PHASE
LOTS 1&11 O.S. LOTS 82, 100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATE

DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

26 OF 50

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	PROBE INCLUSIONS	K FACTOR	PERCENT STONY	USDA LIKELY DRAINAGE
LcC	LEGORE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB	LEGORE-MONTANO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	NO	NO
LrD	LEGORE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LrF	LEGORE-RELAY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MoB	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO
MoB	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

TAKEN FROM USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY

PLAN VIEW
SCALE: 1"=30'
SCALE 1"=30'

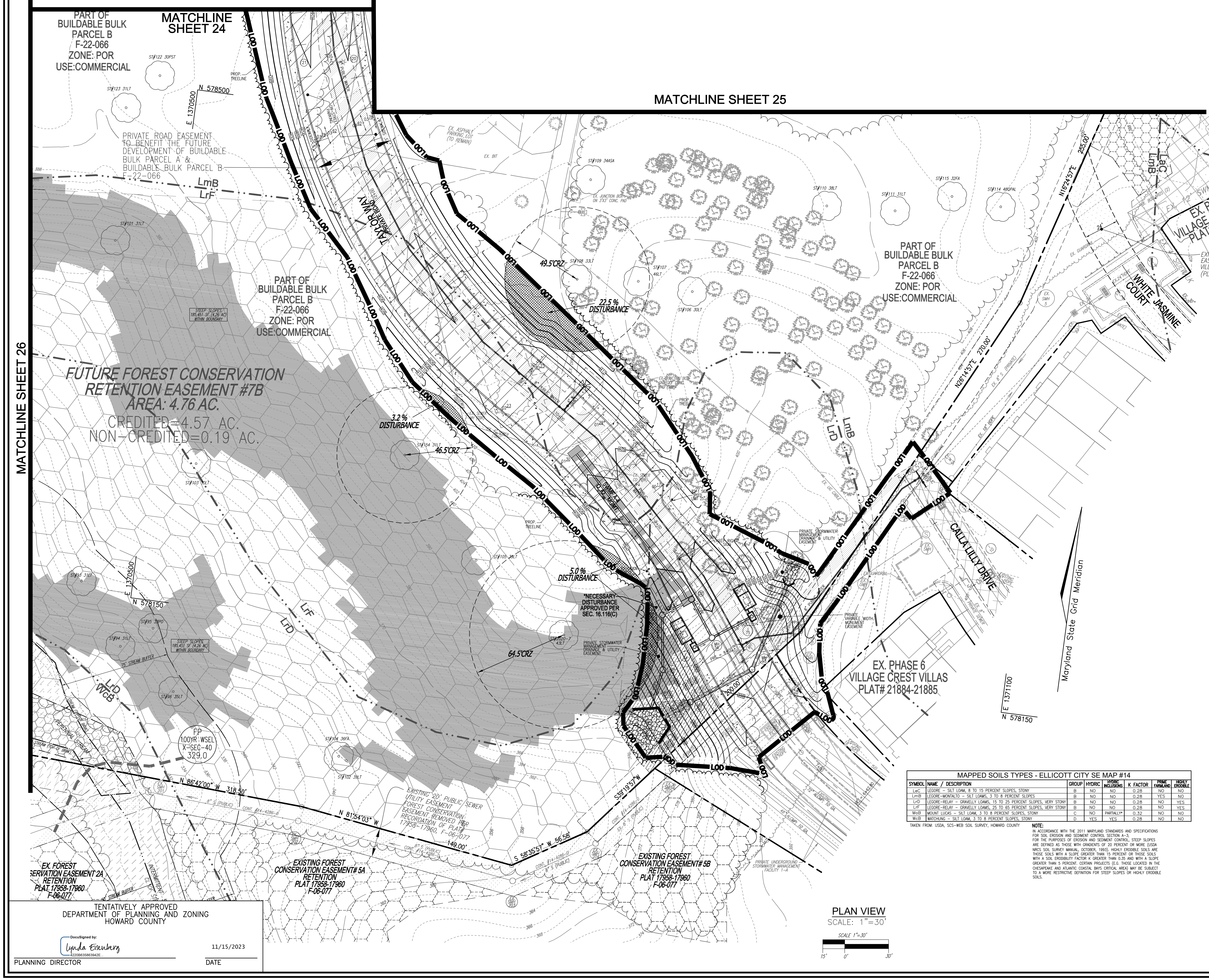
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Linda Eauxing
0209835883426

PLANNING DIRECTOR

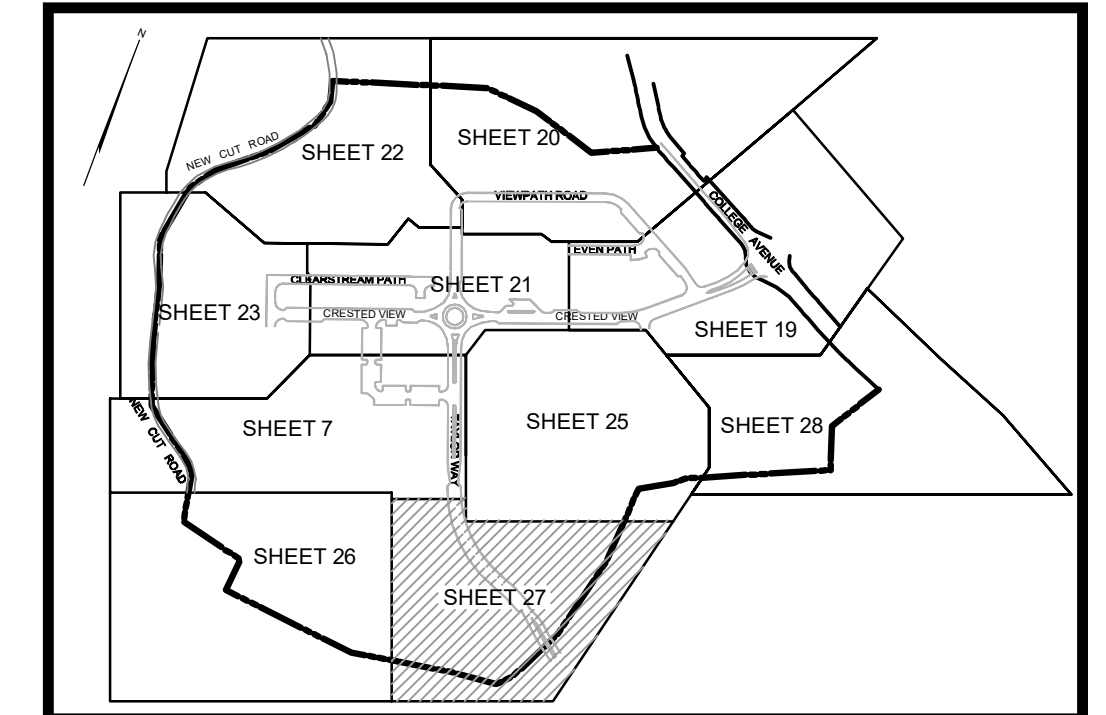
DATE: 11/15/2023

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NOTES: SOIL SLOPE MANUAL, OCTOBER, 1990). HEAVY EROSION SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL DRAINABILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OF HIGHLY EROSION SOILS.



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- + 0.28' EXISTING SPOT ELEVATION
- + 0.28' PROPOSED SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREETRINE (FOREST / FSD)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- MIB2
- M1D3
- SOILS BOUNDARY
- STEEP SLOPE (>25%)
- L00
- LIMIT OF DISTURBANCE
- PROPOSED STREET LIGHT
- P-1
- PROPOSED BORING
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- EXISTING STREAM
- EXISTING STREAM BUFFER
- PROPOSED TREETRINE
- EXISTING SPECIMEN TREE
- FOREST CONSERVATION EASEMENT (RETENTION)
- EX. FLOORPLAN AREA
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK



KEY MAP NOT TO SCALE

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 93: HISTORIC ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY GRADING PLAN AND SOILS MAP
TAYLOR HIGHLANDS PHASE
 LOTS 1-91 O.S. LOTS 82-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"
 PARCEL: 73 & 74 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: VETG
 DRAWN BY: VETG
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

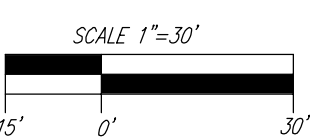
27 SHEET OF 50

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL NAME / DESCRIPTION	GROUP	HYDRIC	HYDRIC INCLUSIONS	K FACTOR	PERME (IN/HR)	EROSION (POUNDS/ACR)
LcC LEGGERS - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB LEGGERS-MONTVALLO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LrD LEGGERS-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LrF LEGGERS-RELAY - GRAVELLY LOAMS, 25 TO 65 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MbB MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO
WcB MATCHING - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE:
 IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH CONDITIONS OF 20 PERCENT OR MORE (USDA NRCS SOIL SURVEY MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OF THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.25 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHEAPUNK AND ATLANTIC COASTAL BAYS CRITICAL AREAS) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

PLAN VIEW SCALE: 1"=30'



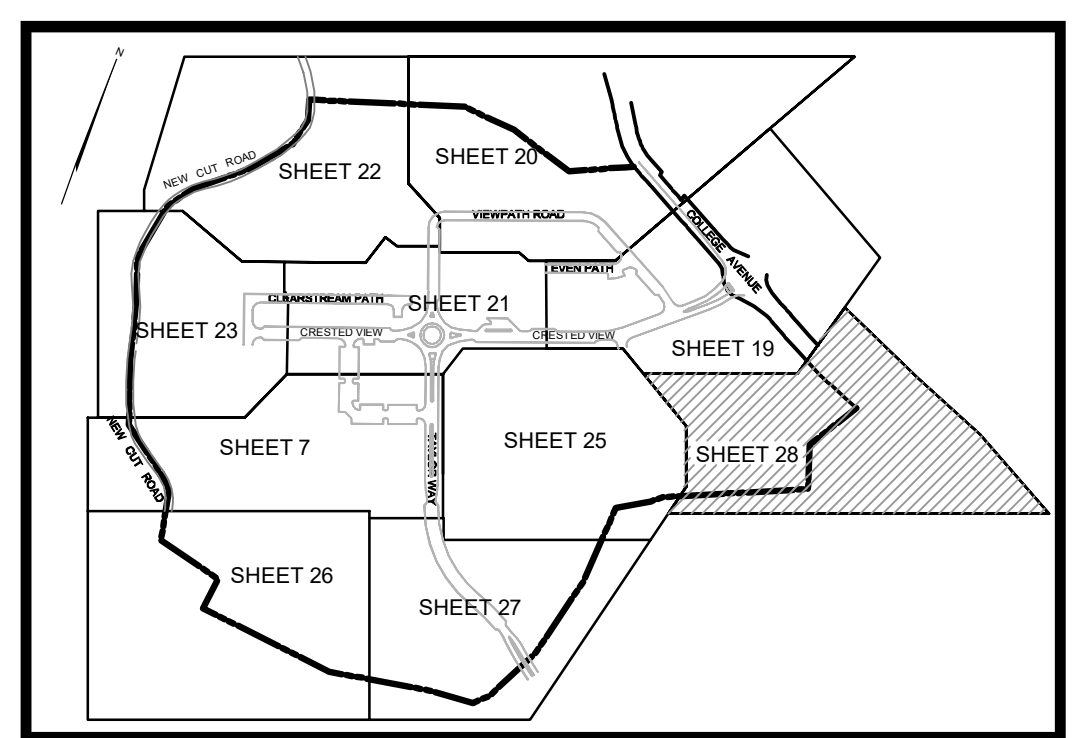
MATCHLINE SHEET 26

MATCHLINE SHEET 25

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY

DocuSigned by: **Lynda Esenberg**
 11/15/2023

PLANNING DIRECTOR DATE



MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT MOISTURE	K FACTOR	PERCENT PANSARE	PERCENT ERODIBLE
LcC	LEGRE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB	LEGRE-MONTVALD - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	NO	NO
LrD	LEGRE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LrF	LEGRE-RELAY - GRAVELLY LOAMS, 25 TO 65 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
Mch	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIAL**	0.32	NO	NO
Web	WATKINS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE:
IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3.3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NRC'S SOIL SURVEY MANUAL, OCTOBER, 1983). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.30 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PRODUCTS (E.G. THOSE LOCATED IN THE CHEMURK AND ATLANTIC COASTAL BAY) CRITICAL AREA MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

LEGEND:

- 2.00' --- EXISTING CONTOUR
- 0.028' --- EXISTING SPOT ELEVATION
- == == EXISTING CURB AND GUTTER
- --- EXISTING UTILITY POLE
- --- EXISTING LIGHT POLE
- --- EXISTING MAILBOX
- --- EXISTING SIGN
- --- EXISTING SANITARY MANHOLE
- --- EXISTING SANITARY LINE
- --- EXISTING CLEANOUT
- --- EXISTING FIRE HYDRANT
- --- EXISTING WATER LINE
- --- EXISTING TREE LINE (FOREST / FSO)
- --- EXISTING FENCE
- --- PROPERTY LINE
- --- RIGHT-OF-WAY LINE
- M1B2 --- SOILS BOUNDARY
- M1D3 --- SOILS BOUNDARY
- --- EXISTING SPECIMEN TREE
- --- EXISTING WETLAND
- --- EXISTING WETLAND BUFFER
- --- EXISTING STREAM
- --- EXISTING STREAM BUFFER
- --- EX. FOREST CONSERVATION
- --- EX. FOREST CONSERVATION PLAT #18112-18114
- --- FOREST CONSERVATION EASEMENT (RETENTION)

MATCHLINE SHEET 19

MATCHLINE SHEET 25

PART OF BUILDABLE BULK PARCEL B F-22-066 ZONE: POR USE: COMMERCIAL

FUTURE FOREST CONSERVATION RETENTION EASEMENT #8 AREA: 0.64 AC CREDITED=0.49 AC NON-CREDITED=0.15 AC

TAX MAP 31 PARCEL 4 VILLAGE CREST LAND CONDOMINIUM, PARCEL C-1 PLAT 23801 ZONED: POR USE: RESIDENTIAL SDP-05-044

OPEN SPACE AUTUMN RIVER II-PART I PLATS 22159-22167

COLLEGE AVENUE

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT CRY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY GRADING PLAN AND SOILS MAP

TAYLOR HIGHLANDS PHASE 1
LOTS 181, O.S. LOTS 82, 100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

TAX MAP: 25, BLOCK 20 2ND ELECTION DISTRICT

PARCEL: 73 & 74 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

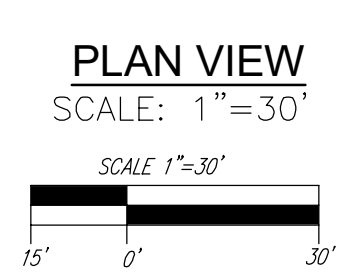
28 SHEET OF 50

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynda Eisenberg
120863680942E

11/15/2023
DATE

PLANNING DIRECTOR



Maryland State Grid Meridian

E. 1371.300 N 578750

N79°10'54"E 458.54'

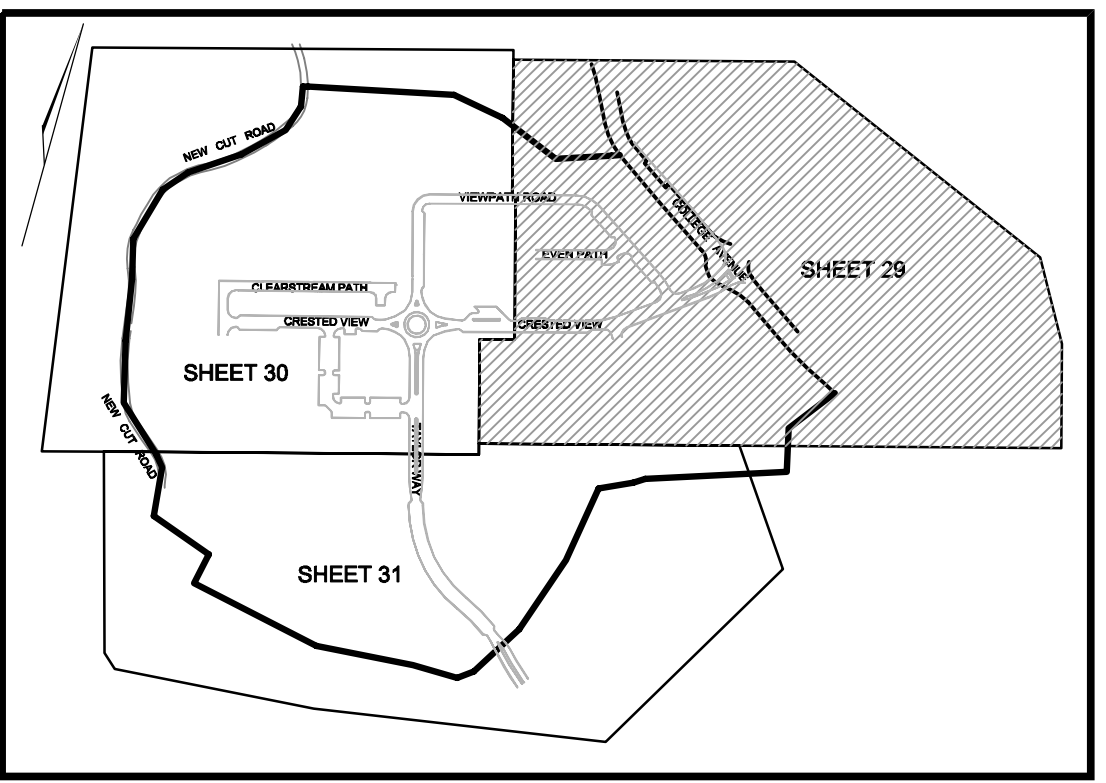
N79°10'54"E 458.54'

N79°10'54"E 458.54'

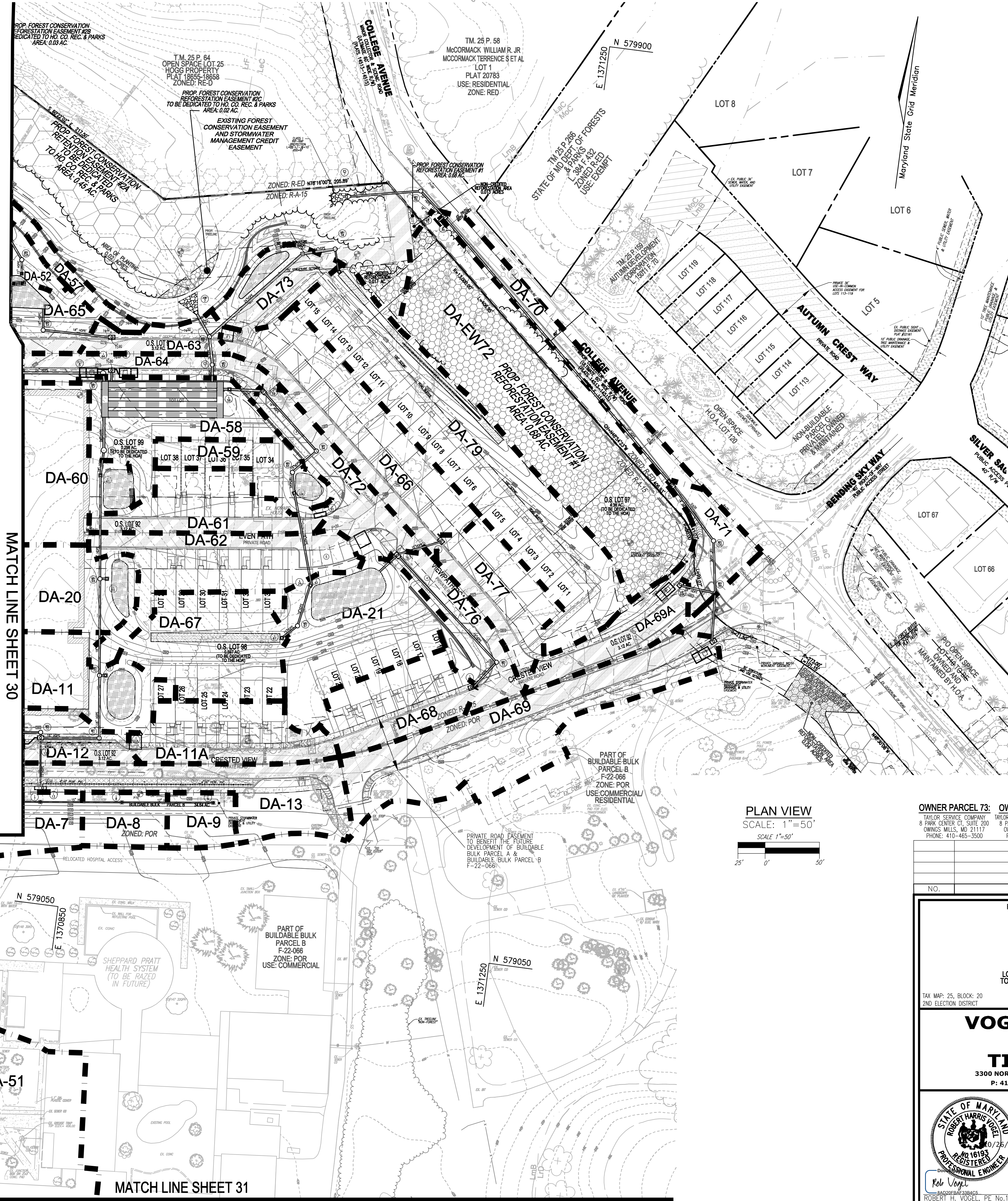
E. 1371.950 N 578750

SD Drainage Area Chart

DRAINAGE AREA ID	ASSOCIATED STR. ID	AREA AC	C
DA-1	I-1	0.54	0.72
DA-2	I-2	0.32	0.79
DA-3	I-3	0.16	0.72
DA-4	I-4	0.62	0.77
DA-5	I-5	0.14	0.72
DA-6	I-6	0.16	0.74
DA-7	I-7	0.10	0.74
DA-8	I-8	0.09	0.72
DA-9	I-9	0.07	0.72
DA-11	I-11	0.28	0.82
DA-11A	I-11A	0.20	0.84
DA-12	I-12	0.34	0.81
DA-12A	I-12A	0.14	0.78
DA-13	I-13	0.51	0.83
DA-14	I-14	0.57	0.83
DA-16	I-16	0.21	0.78
DA-17	I-17	0.09	0.81
DA-18	I-18	0.24	0.85
DA-19	I-19	0.15	0.84
DA-20	I-20	0.33	0.83
DA-21	I-21	0.34	0.75
DA-22	I-22	0.39	0.86
DA-23	I-23	0.06	0.86
DA-24	I-24	0.07	0.82
DA-25	I-25	0.15	0.84
DA-26	I-26	0.14	0.80
DA-27	I-27	0.28	0.81
DA-28	I-28	0.15	0.83
DA-29	I-29	0.35	0.84
DA-30	I-30	0.38	0.86
DA-31	I-31	0.14	0.84
DA-32	I-32	0.28	0.85
DA-33	I-33	0.38	0.81
DA-34	I-34	0.24	0.82
DA-35	I-35	0.10	0.86
DA-36	I-36	0.09	0.86
DA-37	I-37	0.68	0.83
DA-38	I-38	0.12	0.85
DA-39	I-39	0.08	0.84
DA-41	I-41	0.09	0.86
DA-42	I-42	0.07	0.86
DA-43	I-43	0.09	0.85
DA-44	I-44	0.09	0.85
DA-45	I-45	0.11	0.84
DA-46	I-46	0.10	0.85
DA-47	I-47	0.29	0.83
DA-48	I-48	0.42	0.78
DA-49	I-49	0.14	0.86
DA-50	I-50	0.13	0.86
DA-51	I-51	2.69	0.72
DA-52	I-52	0.40	0.77
DA-54	I-54	0.18	0.85
DA-55	I-55	0.17	0.80
DA-55A	I-55A	0.24	0.75
DA-56	I-56	0.34	0.84
DA-57	I-57	0.31	0.72
DA-58	I-58	0.25	0.72
DA-59	I-59	0.13	0.81
DA-60	I-60	0.43	0.85
DA-61	I-61	0.19	0.85
DA-62	I-62	0.29	0.82
DA-63	I-63	0.08	0.83
DA-64	I-64	0.15	0.84
DA-65	I-65	0.24	0.80
DA-66	I-66	0.36	0.85
DA-67	I-67	0.29	0.78
DA-68	I-68	0.19	0.85
DA-69	I-69	0.46	0.79
DA-69A	I-69A	0.46	0.83
DA-70	I-70	0.14	0.82
DA-71	I-71	0.11	0.84
DA-72	I-72	0.17	0.84
DA-73	I-73	0.12	0.74
DA-74	I-74	0.35	0.83
DA-75	I-75	0.43	0.81
DA-76	I-76	0.14	0.82
DA-77	I-77	0.18	0.85
DA-79	I-79	0.61	0.79



SWM KEY MAP
NOT TO SCALE



LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- MICRO BIORETENTION (M-B)
- BIO-SWALE (M-B)
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- EX. FLOODPLAIN AREA
- PERVIOUS PAVING
- SOILS
- EXISTING TREELINE (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING TREES (FIELD LOCATED)
- EXISTING FENCE
- CENTERLINE OF EXISTING STREAM
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED TREELINE
- PROPOSED CURB
- PROPOSED STREET LIGHT
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- DRAINAGE DIVIDE
- PROPOSED STREET SIGN
- FOREST CONSERVATION EASEMENT RETENTION
- FOREST CONSERVATION EASEMENT REFORESTATION

PLAN VIEW
SCALE: 1"=50'
SCALE 1"=50'

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY STORM DRAIN DRAINAGE AREA MAP
TAYLOR HIGHLANDS PHASE 1
 LOTS 1-91, O.S. LOTS 82-100 AND BUILDABLE PARCEL C, TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE, A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"
 TAX MAP: 25, BLOCK: 20, 2ND ELECTION DISTRICT
 PARCEL: 73 & 74, HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

DESIGN BY: _____ VETC
 DRAWN BY: _____ VETC
 CHECKED BY: _____ RHV
 DATE: _____ OCTOBER 2023
 SCALE: _____ AS SHOWN
 W.O. NO.: _____ 09-39/2018121

Robert H. Vogel, PE No. 16193

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

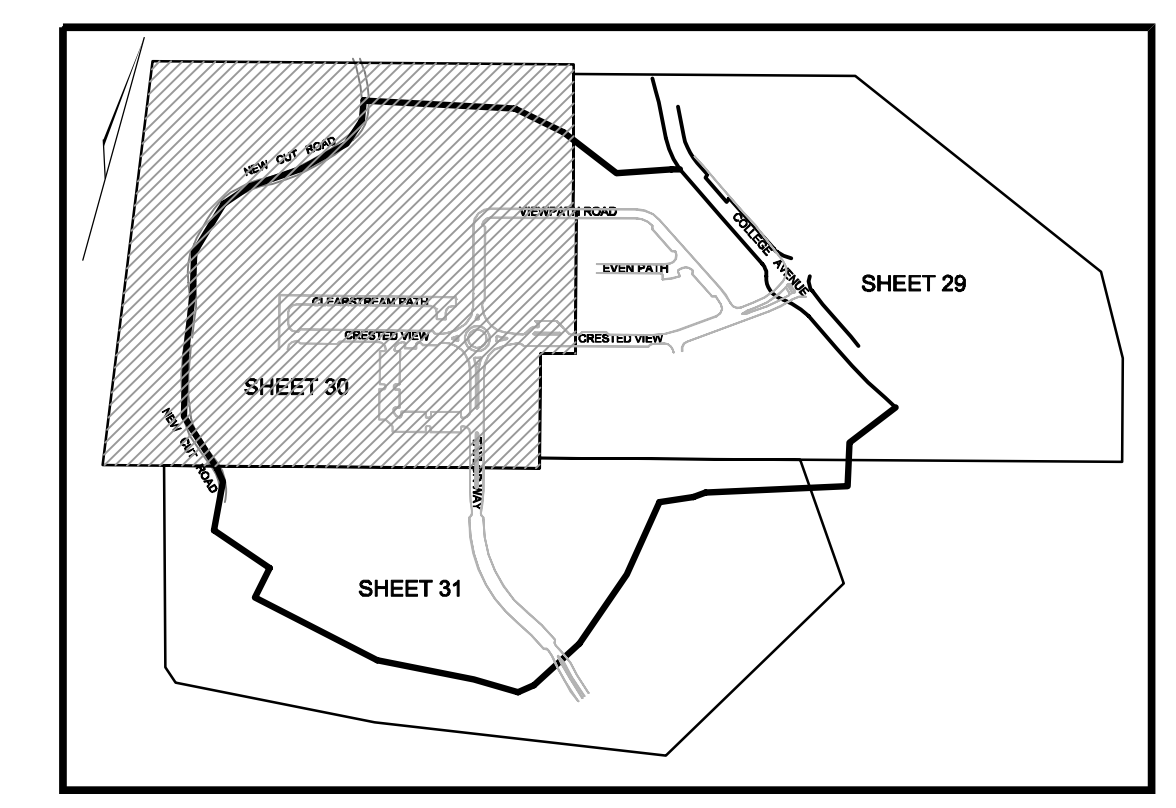
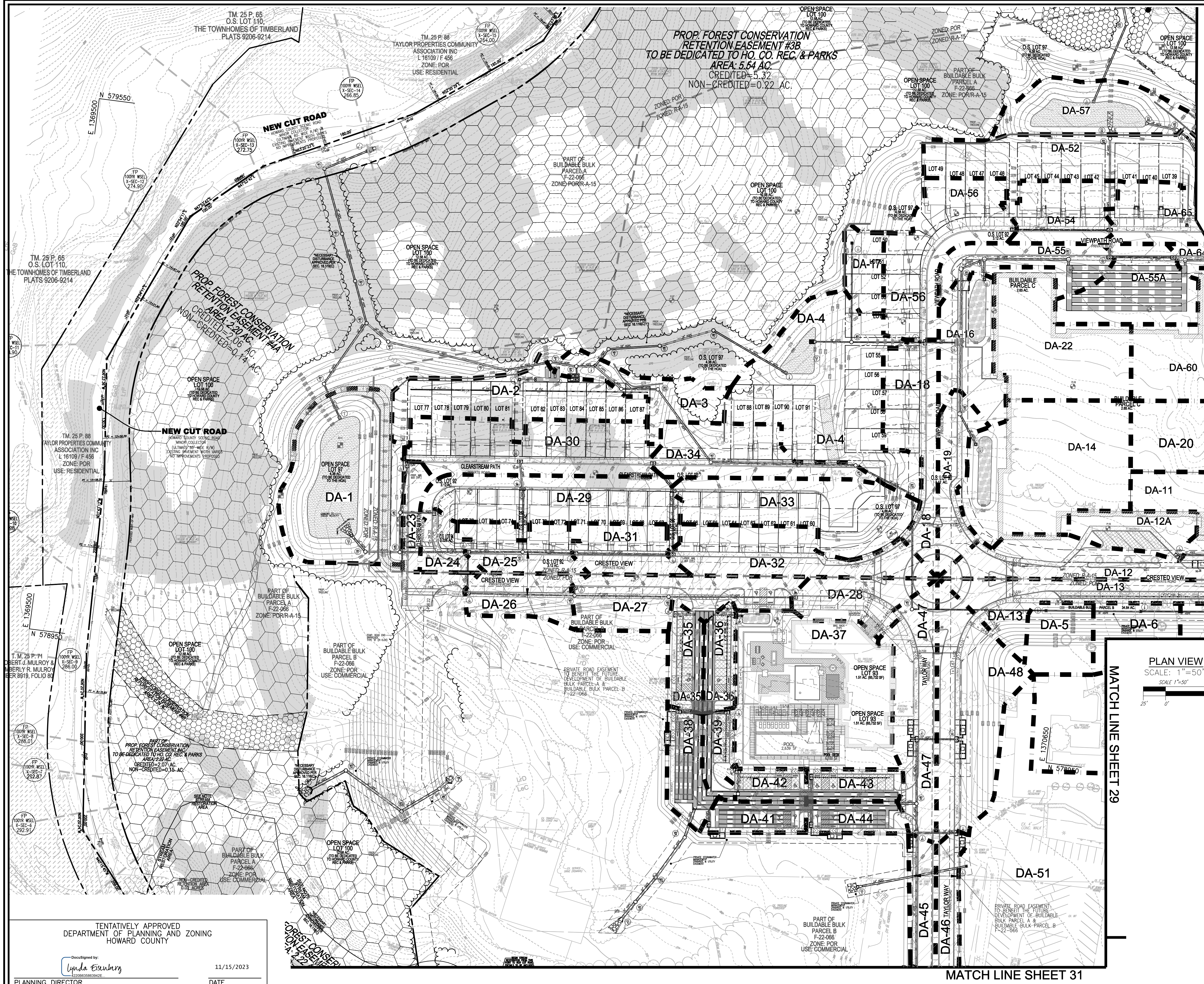
DocuSigned by:
 Lynda Eisenberg
 12208635803842E

PLANNING DIRECTOR

11/15/2023
 DATE

MATCH LINE SHEET 30

MATCH LINE SHEET 31



LEGEND:

	EXISTING CURB AND GUTTER		EXISTING WETLAND
	PROPOSED CONTOUR		EXISTING WETLAND BUFFER
	PROPOSED SPOT ELEVATION		BIO RETENTION AREA
	EXISTING SPOT ELEVATION		MICRO BIO RETENTION
	EXISTING UTILITY POLE		PERVIOUS PAVING
	EXISTING LIGHT POLE		SAND FILTER AREA
	EXISTING SIGN		PROPOSED STREET SIGN
	EXISTING SANITARY MANHOLE		PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
	EXISTING CLEANOUT		VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
	EXISTING FIRE HYDRANT		EX. FLOODPLAIN AREA
	EXISTING WATER LINE		DRAINAGE DIVIDE
	EXISTING TREE LINE (FOREST / FSD)		FOREST CONSERVATION EASEMENT (RETENTION)
	EXISTING TREE LINE (NON FOREST)		FOREST CONSERVATION EASEMENT (REFORESTATION)
	EXISTING FENCE		
	PROPERTY LINE		
	RIGHT-OF-WAY LINE		
	PROPOSED STORM DRAIN		
	PROPOSED STORM DRAIN INLET		
	PROPOSED SIDEWALK		
	PROPOSED CURB		
	PROPOSED RETAINING WALL		
	PROPOSED STREET LIGHT		
	PROPOSED BORING		
	EXISTING TREES (FIELD LOCATED)		

MATCH LINE SHEET 29

PLAN VIEW
SCALE: 1"=50'
25' 0" 50'

MATCH LINE SHEET 29

MATCH LINE SHEET 31

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 74: TAYLOR ELICOTT CITY PROPERTIES INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 93: HISTORIC ELICOTT CITY PROPERTIES INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500
---	---	---	---

NO.	REVISION	DATE
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PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY STORM DRAIN DRAINAGE AREA MAP
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91 O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A"

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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PROFESSIONAL CERTIFICATE
DESIGN BY: VETC
DRAWN BY: VETC
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

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EXPIRATION DATE: 09-27-2024

30 SHEET OF 50

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

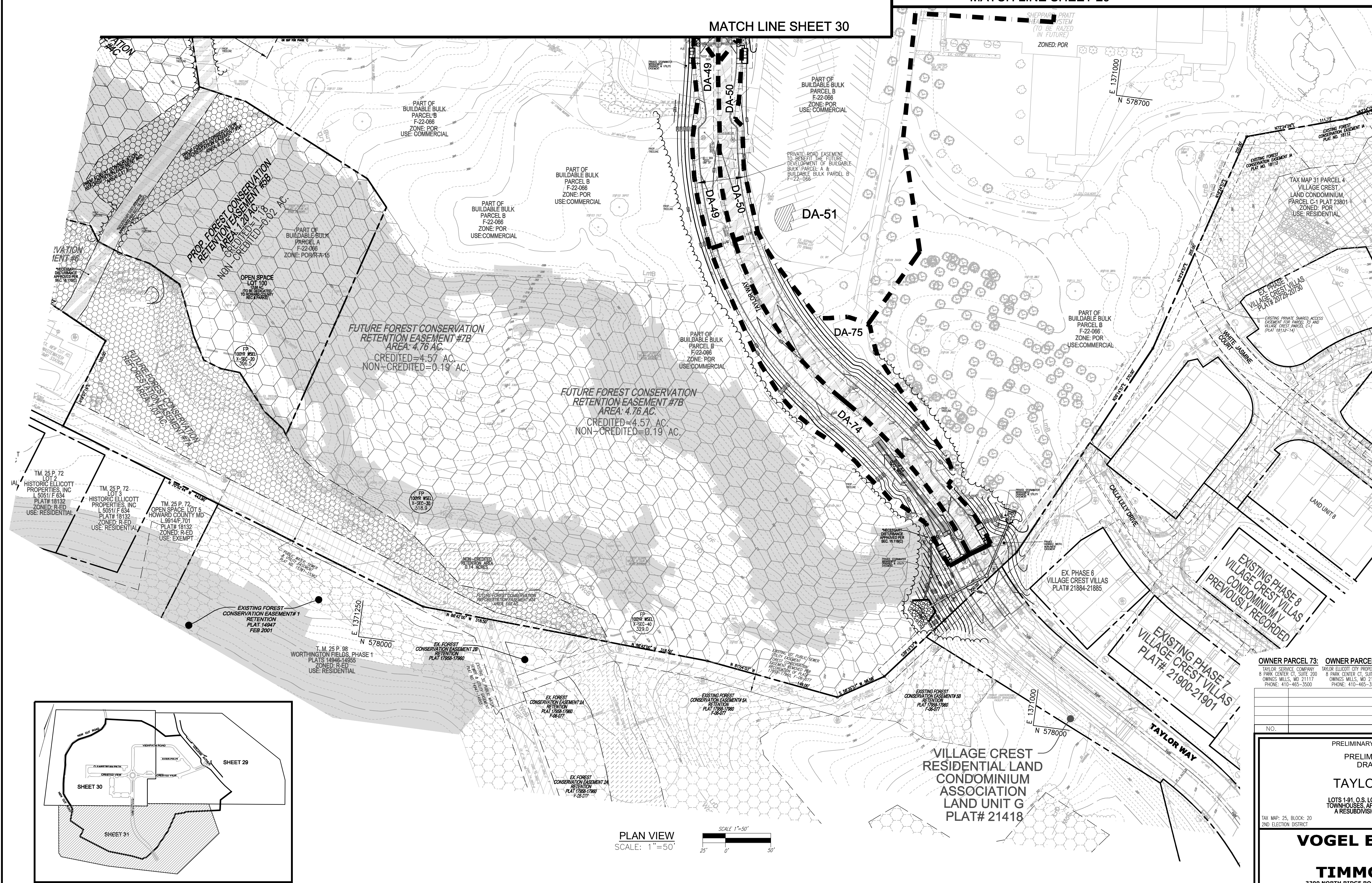
DocuSigned by:
Linda Bunting
120288388242E

11/15/2023
DATE

PLANNING DIRECTOR

LEGEND:

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE (FOREST / F30)
- EXISTING TREELINE (NON FOREST)
- EXISTING TREES (FIELD LOCATED)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED BORING
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- PROPOSED STREET SIGN
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- VARIABLE-WIDTH PUBLIC WATER SENIOR AND UTILITY EASEMENT
- EX. FLOODPLAIN AREA
- DRAINAGE DIVIDE
- FOREST CONSERVATION EASEMENT RETENTION
- FOREST CONSERVATION EASEMENT REFORESTATION



OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 93:	DEVELOPER
TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HISTORIC ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HISTORIC ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

NO.	REVISION	DATE

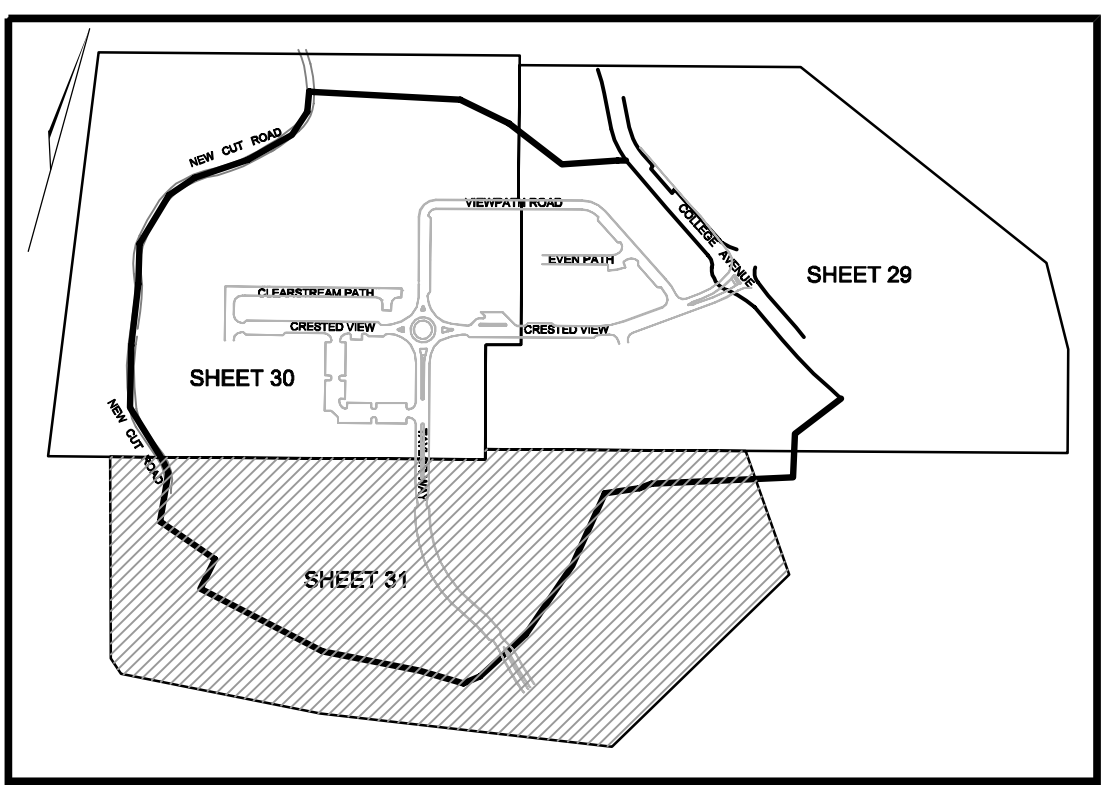
PRELIMINARY EQUIVALENT SKETCH PLAN
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TAYLOR HIGHLANDS PHASE 1
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 TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

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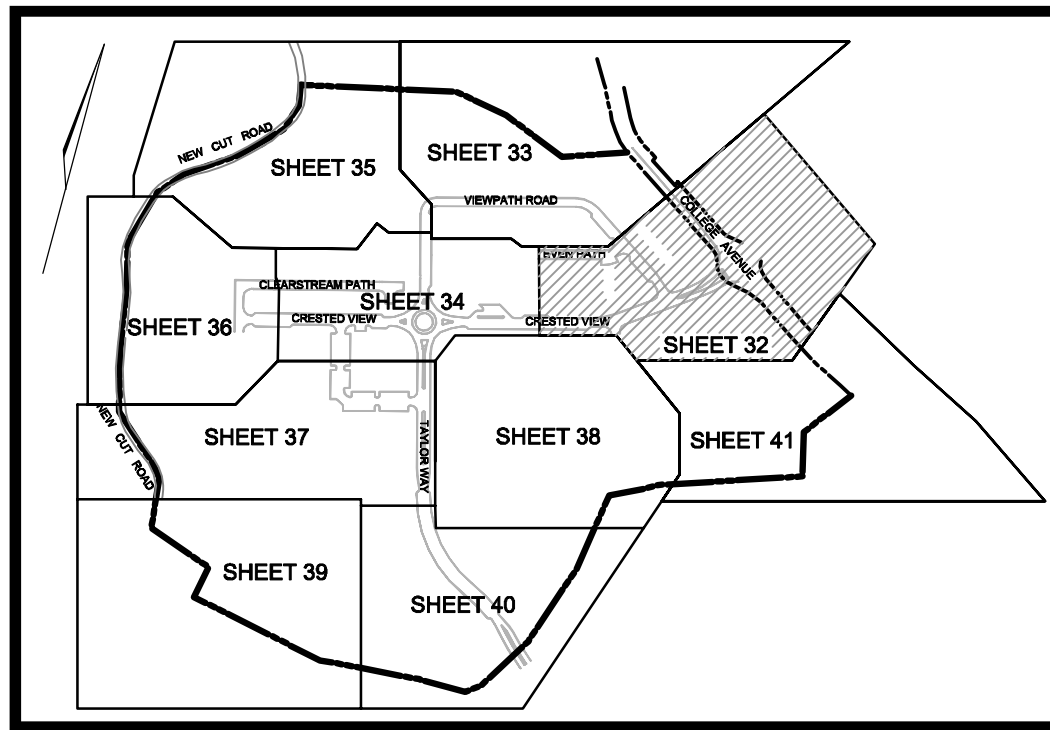
31 SHEET OF 50



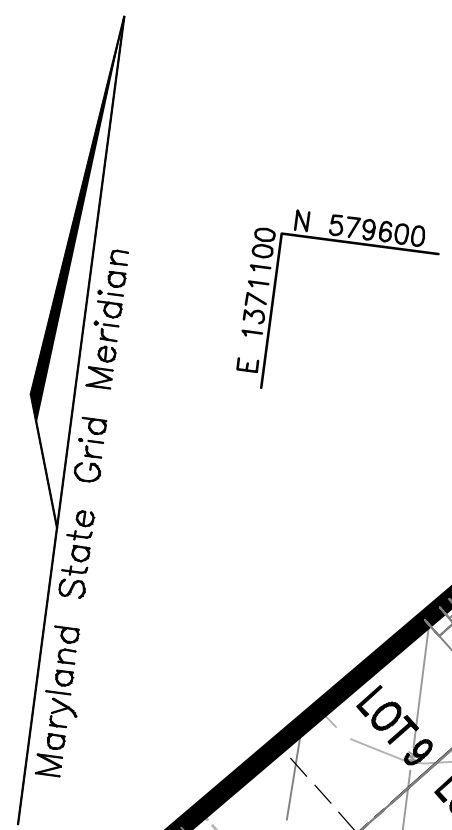
PLAN VIEW
 SCALE: 1"=50'
 25' 0' 50'

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

DocuSigned by:
 Lynda Eisenberg
 11/15/2023
 PLANNING DIRECTOR DATE



KEY MAP
NOT TO SCALE



MARYLAND STATE GRID MERIDIAN

MATCHLINE SHEET 34

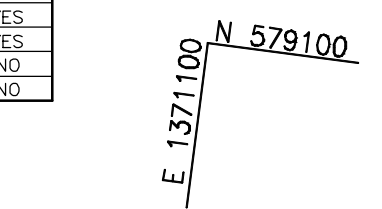


- LEGEND:**
- PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - EX. WETLAND
 - EX. WETLAND BUFFER
 - MICRO BIORETENTION (MBR) (M-6)
 - PERVIOUS PAVING
 - PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
 - VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
 - SOILS
 - EXISTING TREE LINE (FOREST / FSD)
 - EXISTING TREE LINE (NON FOREST)
 - EXISTING TREES (FIELD LOCATED)
 - EXISTING FENCE
 - CENTERLINE OF EXISTING STREAM
 - PROPOSED RETAINING WALL
 - ZONING LINE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - PROPOSED SIDEWALK
 - PROPOSED TREE LINE
 - PROPOSED CURB
 - PROPOSED STREET LIGHT
 - PROPOSED 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - PROPOSED STREET SIGN
 - EXISTING SPECIMEN TREE
 - PROPOSED LANDSCAPING
 - PROPOSED TREE
 - PROPOSED MITIGATION TREES
 - PROPOSED BORING

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRO	HYDRO INCLUSIONS	K FACTOR	PERM. FARMLAND	HIGHLY ERODIBLE
L1C	LEOORE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
L1M	LEOORE-MONTALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
L1D	LEOORE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
L1F	LEOORE-RELAY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
M1B	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO
W1B	WATCHING - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NCSL SOIL SURVEY MANUAL, OCTOBER, 1983). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL STABILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G., THOSE LOCATED IN THE CHEAPAKEE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

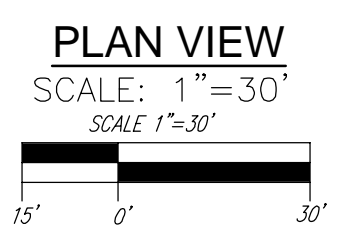


MARYLAND STATE GRID MERIDIAN

J. Brody McAllister
 J. Brody McAllister
 ISA Certified Arborist
 Cert ID: MA04714
 MD DNR, PCA Qualified Professional

Eco-Science Professionals, Inc.
 CONSULTING PROFESSIONALS
 1100 WOODBINE FIELD DRIVE, ELLICOTT CITY, MD 21117
 TEL: 410-461-7666 FAX: 410-461-8961

NOTE 1:
 IN ACCORDANCE WITH SECTION 16.1209.B.4, A 35' SETBACK SHALL BE PROVIDED FROM THE REAR AND SIDE LOT LINES FOR AN ATTACHED DWELLING UNIT AND ANY ONSITE OR OFFSITE PLANTED FOREST CONSERVATION EASEMENT. THE SETBACK MAY BE ELIMINATED IF LARGER STOCK (TWO ROWS OF 1" MINIMUM CALIPER) IS PLANTED ALONG THE EDGE OF THE FOREST CONSERVATION EASEMENT.
 THE FUTURE SITE DEVELOPMENT PLAN SHALL DETAIL THE REQUIRED SPECIES TO BE PLANTED IN FCE#1. NO PLANT SUBSTITUTIONS WILL BE PERMITTED IN FOREST CONSERVATION EASEMENT #1.



FOREST CONSERVATION LEGEND:

- EXISTING FOREST CONSERVATION EASEMENT PLATS 14514 & 22159-22167
- FOREST CONSERVATION EASEMENT RETENTION
- FOREST CONSERVATION EASEMENT REFORESTATION
- EXISTING SOD IMPERVIOUS AREAS

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

DocuSigned by:

 Linda Eisenberg
 120863583942E

11/15/2023
 DATE

PLANNING DIRECTOR

NO.	REVISION	DATE

OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 93:	DEVELOPER
TAYLOR SERVICES COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HESORE ELLICOTT PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HESORE ELLICOTT PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY LANDSCAPE AND FOREST CONSERVATION PLAN
TAYLOR HIGHLANDS PHASE 1
 LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
 TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
 A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

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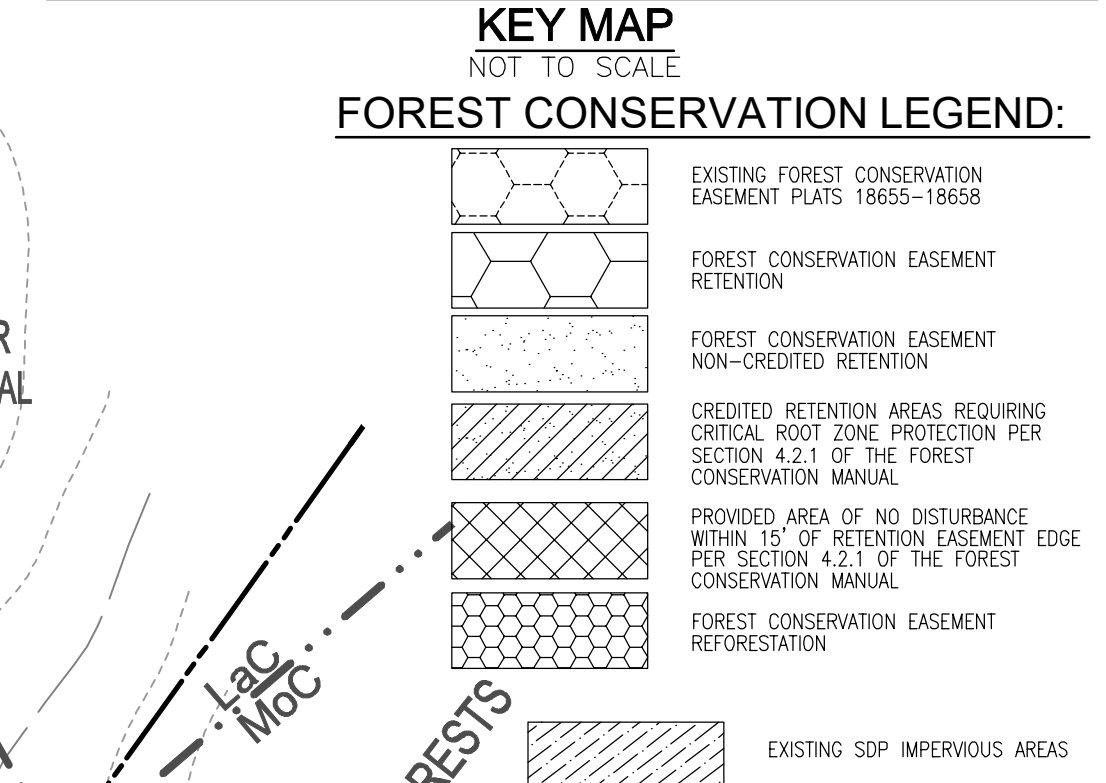
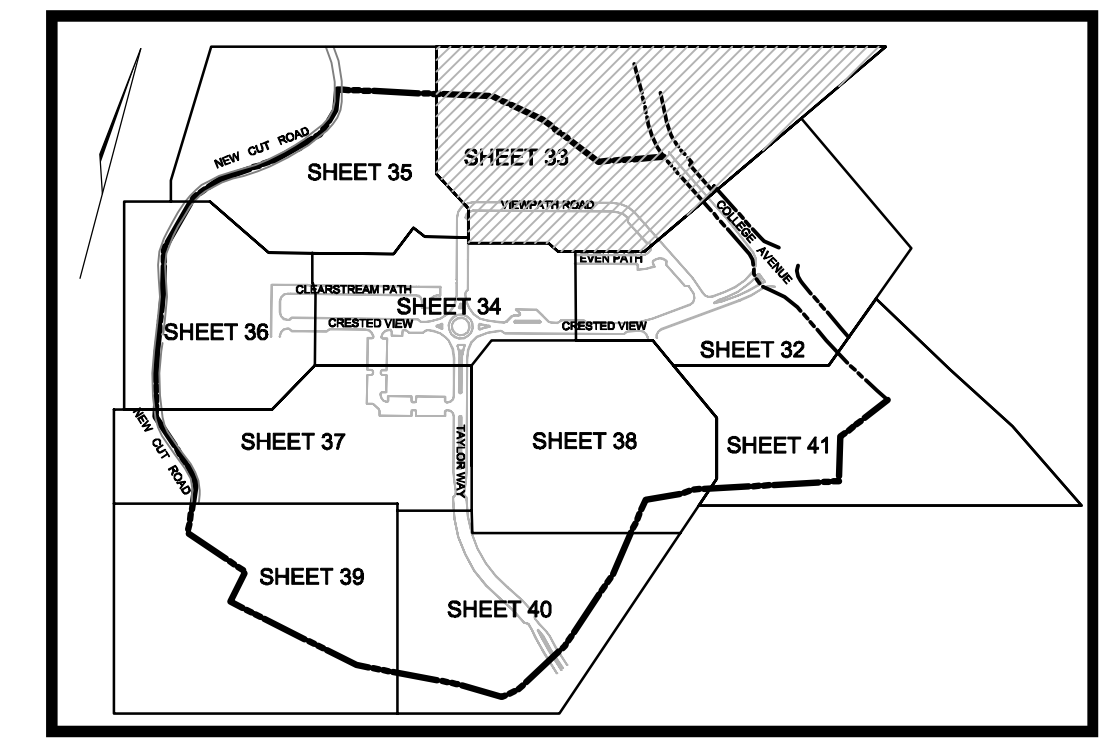
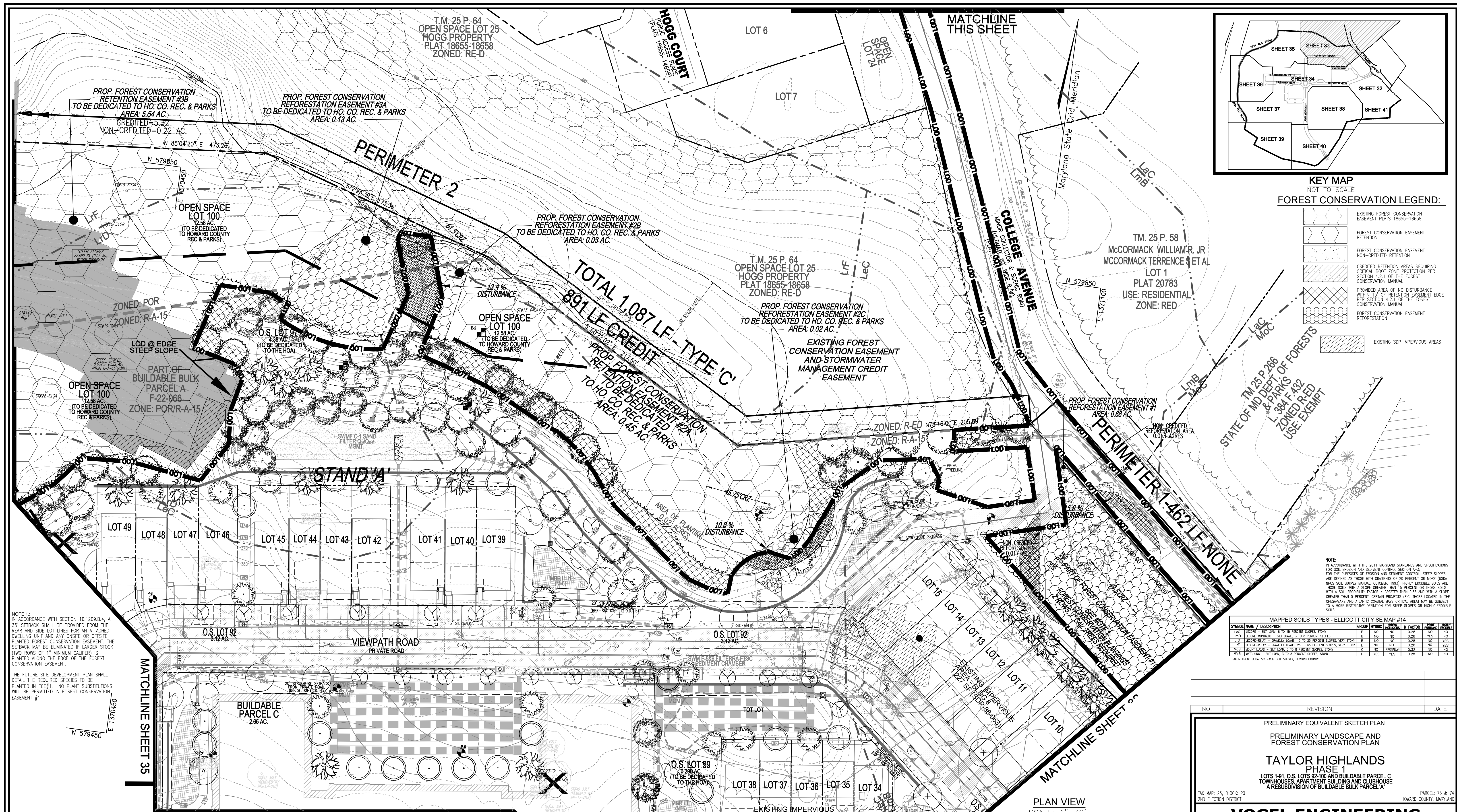
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DESIGN BY: VETG
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 CHECKED BY: RHV
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 W.O. NO.: 09-39/2018121

Rob Vogel
 ROBERT VOGEL, PE No.16193

32 SHEET OF 50



NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NCS SOIL SURVEY MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.25 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PRODUCTS (E.G., THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OF HIGHLY ERODIBLE SOILS.

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14									
SYMBOL NAME / DESCRIPTION		GROUP	HYDRO	PERCENT	K FACTOR	PERCENT	PERCENT	PERCENT	PERCENT
L-1	LOOSE - SALT TANK 2 TO 15 PERCENT SLOPE	B	NO	NO	0.28	NO	NO	NO	NO
L-2	LOOSE - MUCKY - SOIL TANK 2 TO 15 PERCENT SLOPE	B	NO	NO	0.28	NO	NO	NO	NO
L-3	LOOSE - MUCKY - GRASSY TANK 15 TO 25 PERCENT SLOPE, VERY STONY	B	NO	NO	0.28	NO	NO	NO	NO
L-4	LOOSE - MUCKY - GRASSY TANK 25 TO 35 PERCENT SLOPE, VERY STONY	B	NO	NO	0.28	NO	NO	NO	NO
L-5	MOIST LEAN - SILT TANK 3 TO 5 PERCENT SLOPE, STONY	C	NO	PARTIALLY	0.32	NO	NO	NO	NO
L-6	MOIST LEAN - SILT TANK 5 TO 8 PERCENT SLOPE, STONY	D	YES	YES	0.28	NO	NO	NO	NO

NOTE 1: IN ACCORDANCE WITH SECTION 16.1209.B.4, A 35' SETBACK SHALL BE PROVIDED FROM THE REAR AND SIDE LOT LINES FOR AN ATTACHED DWELLING UNIT AND ANY ONSITE OR OFFSITE PLANTED FOREST CONSERVATION EASEMENT. THE SETBACK MAY BE ELIMINATED IF LARGER STOCK (TWO ROWS OF 1" MINIMUM CALIBER) IS PLANTED ALONG THE EDGE OF THE FOREST CONSERVATION EASEMENT.

THE FUTURE SITE DEVELOPMENT PLAN SHALL DETAIL THE REQUIRED SPECIES TO BE PLANTED IN FC#1. NO PLANT SUBSTITUTIONS WILL BE PERMITTED IN FOREST CONSERVATION EASEMENT #1.

OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

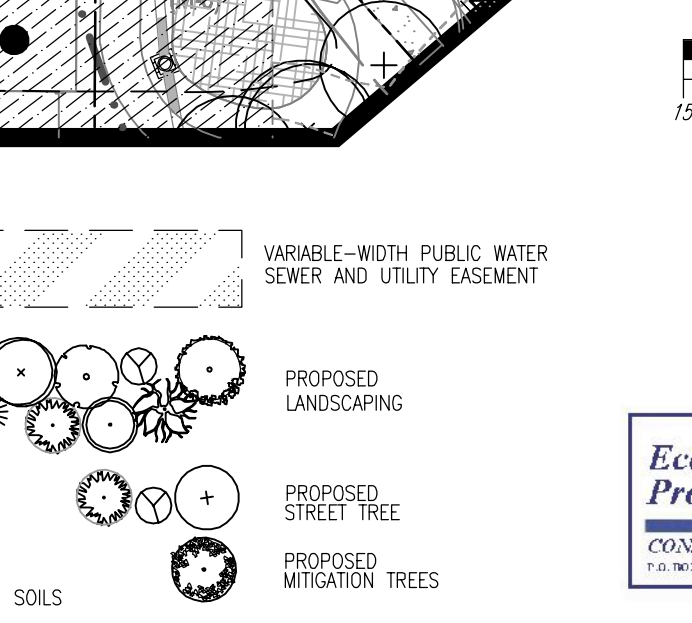
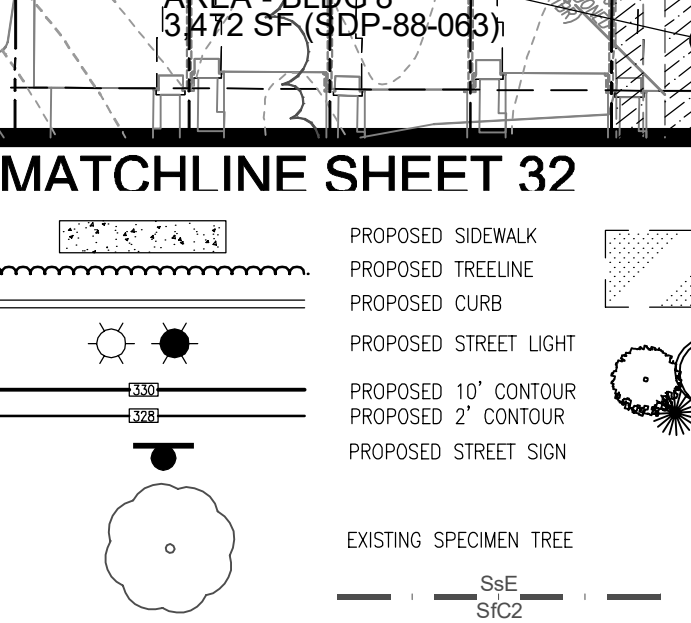
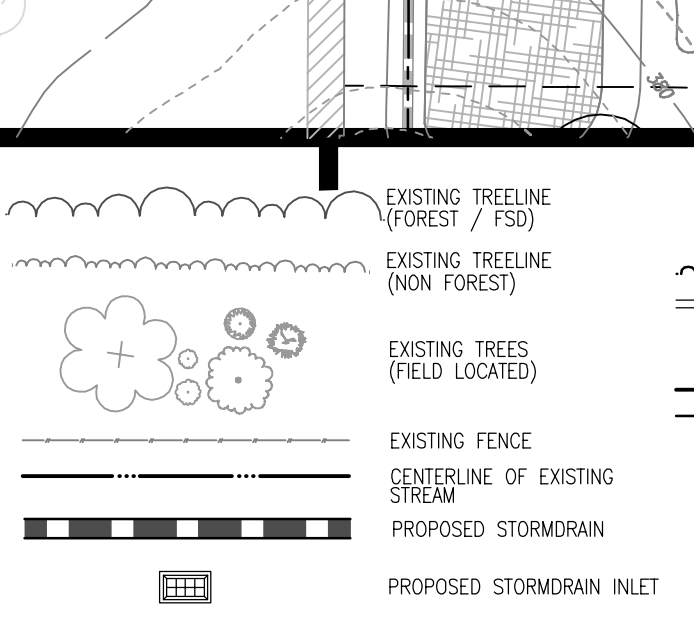
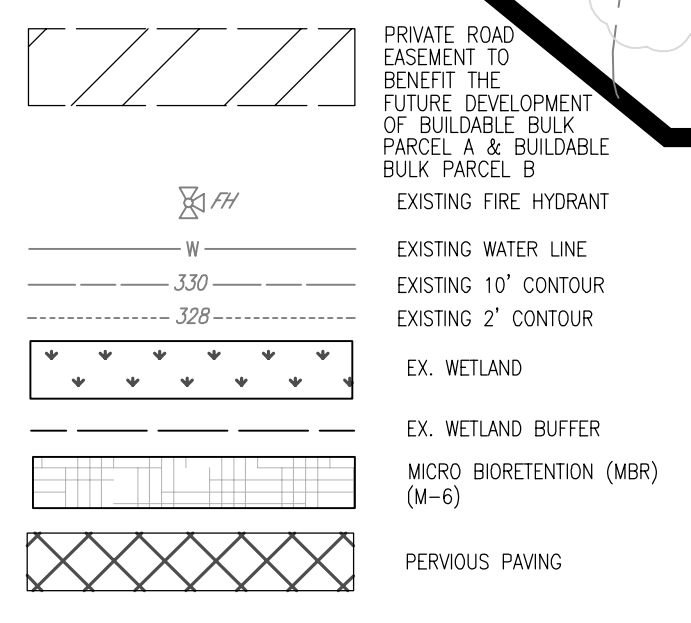
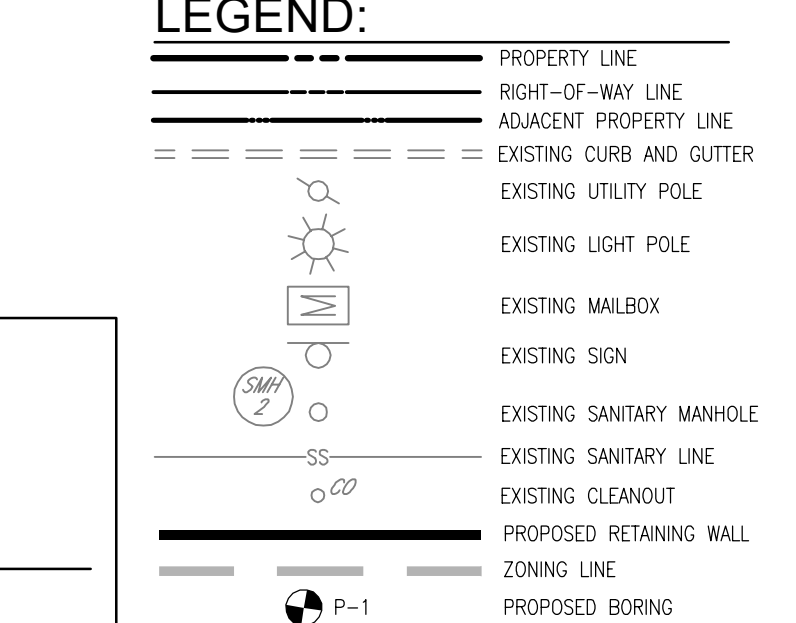
OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

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DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

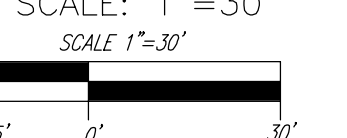
DocuSigned by:
Linda Eisenberg
22068389344E

PLANNING DIRECTOR

DATE: 11/15/2023



PLAN VIEW
SCALE: 1" = 30'



J. Brody McAllister
ISA Certified Arborist
Cert ID: 1048471A
MD CNR FCA Qualified Professional

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
10 WOOD HAVEN GATEWAY DRIVE, SUITE 100
OWINGS MILLS, MD 21117
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www.ecosciencesolutions.com

NO.	REVISION	DATE

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PRELIMINARY LANDSCAPE AND FOREST CONSERVATION PLAN
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TAX MAP: 25, BLOCK: 20
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ROBERT H. VOGEL, PE No. 16193

33 SHEET OF 50

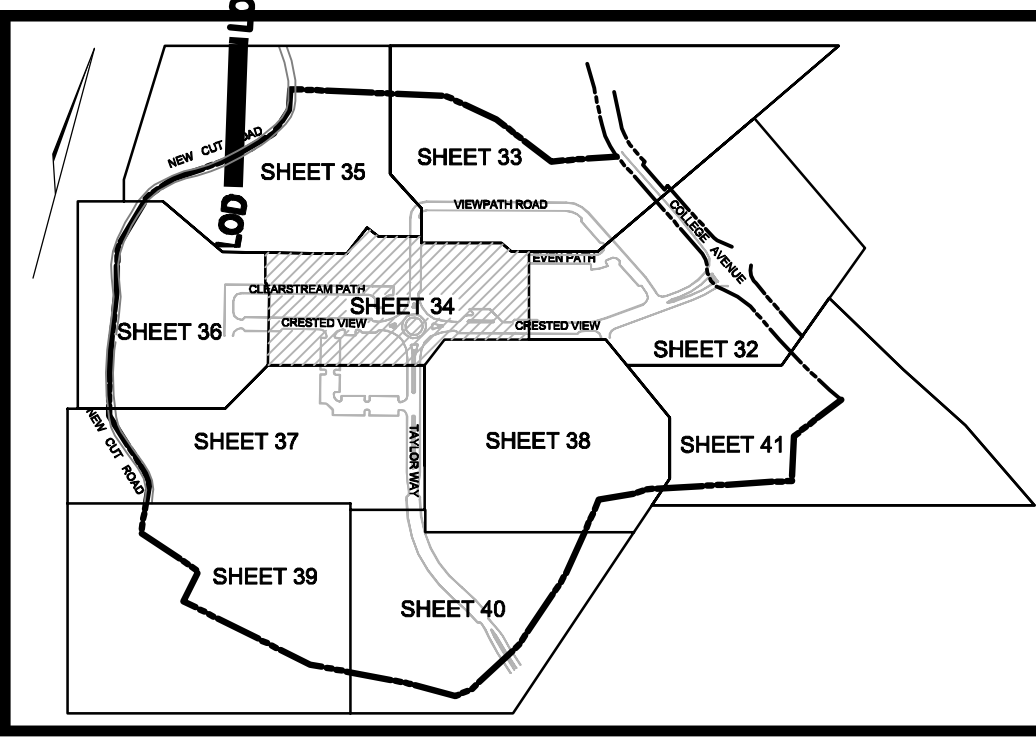
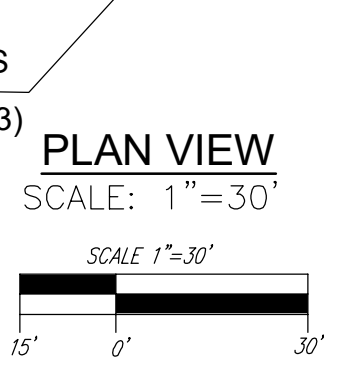
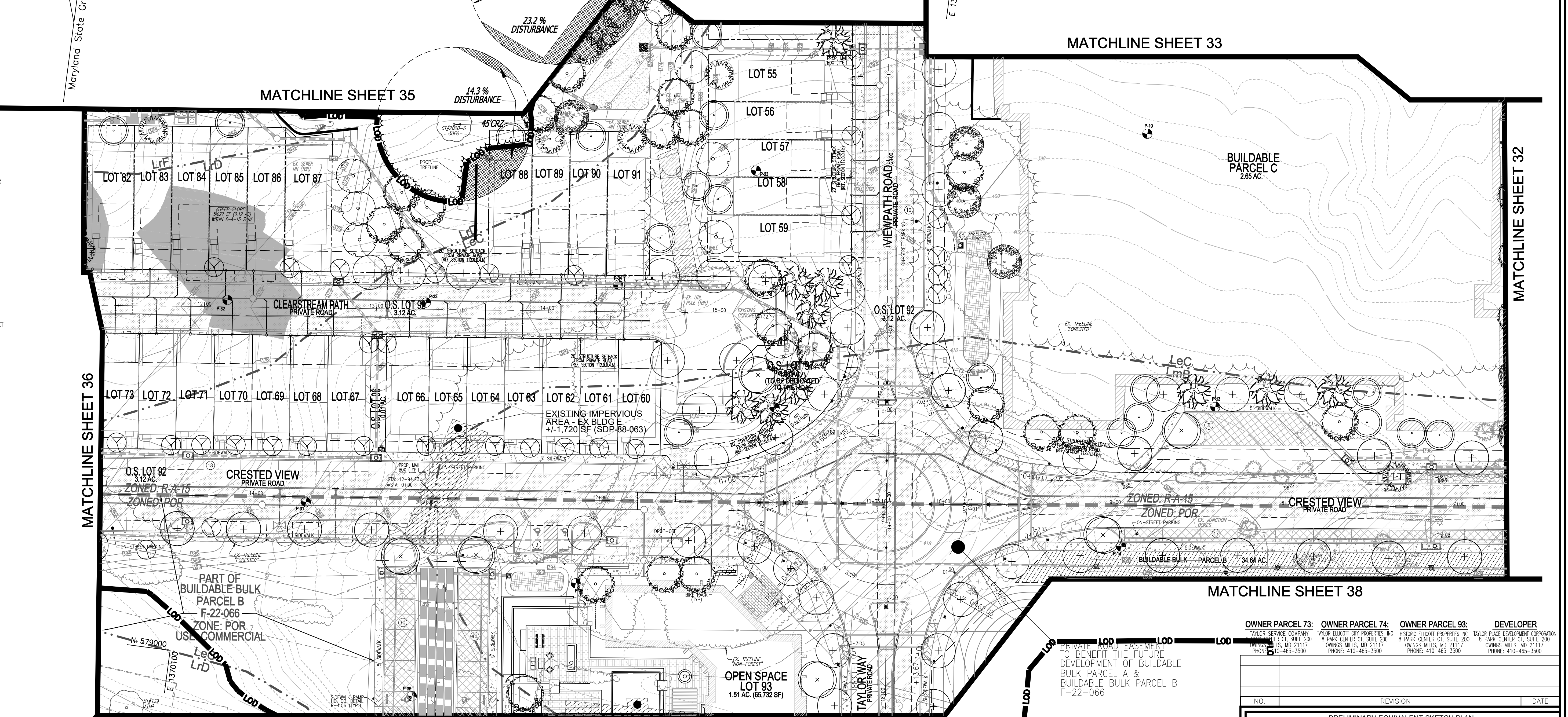
LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED RETAINING WALL
- ZONING LINE
- PROPOSED BORING
- MICRO BIORETENTION (MBR) (M-6)
- PERVIOUS PAVING
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- SOILS
- EXISTING TREELINE (FOREST / F30)
- EXISTING TREELINE (NON FOREST)
- EXISTING TREES (FIELD LOCATED)
- EXISTING FENCE
- CENTRALINE OF EXISTING STREAM
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED TREELINE
- PROPOSED CURB
- PROPOSED STREET LIGHT
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE
- PROPOSED LANDSCAPING
- PROPOSED STREET TREE
- PROPOSED MITIGATION TREES

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	TOXIC INCLUSIONS	K FACTOR	PRONE TO EROSION	HEAVY EXPOSURE
LcC	LEGORE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB	LEGORE-MONTALO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LfD	LEGORE-RELAY - CRACKLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LfF	LEGORE-RELAY - CRACKLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MsB	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY*	0.32	NO	NO
WbB	WAUCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NCS'S SOIL SURVEY MANUAL, OCTOBER, 1983). HEAVY EXPOSURE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.32 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HEAVY EXPOSURE SOILS.



OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 93: HISTORIC ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	DEVELOPER TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500
--	---	---	---

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY LANDSCAPE AND FOREST CONSERVATION PLAN
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024.

DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHY
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

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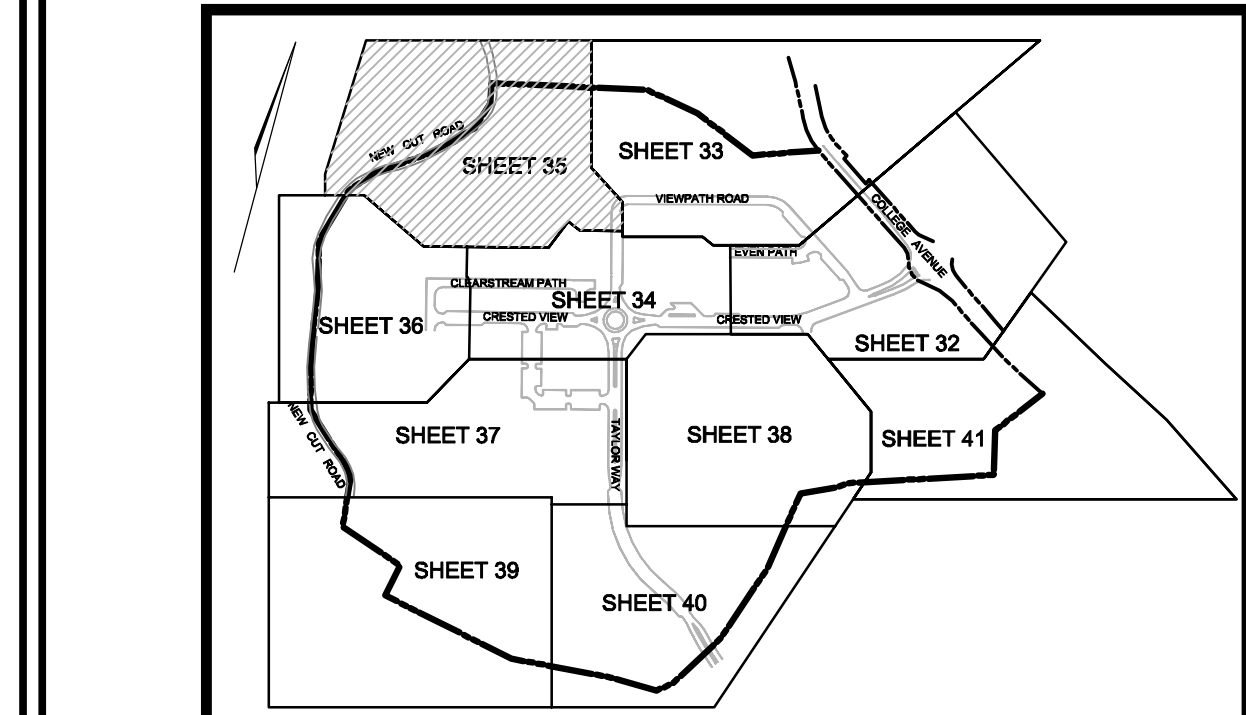
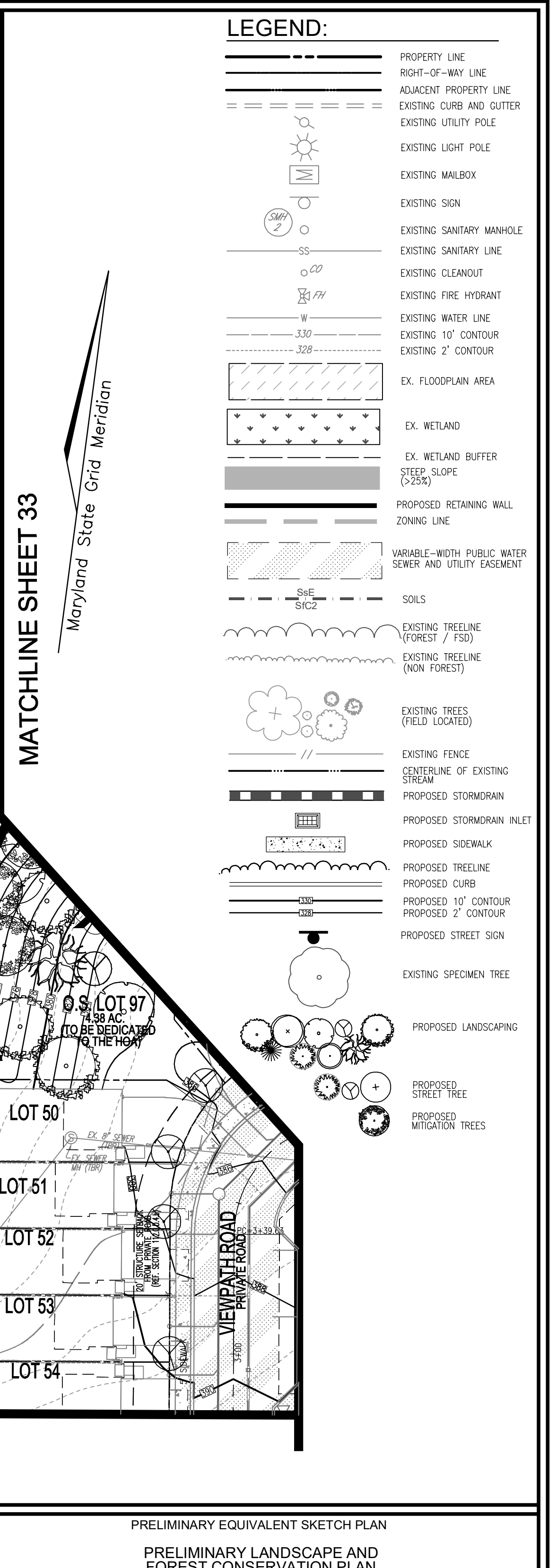
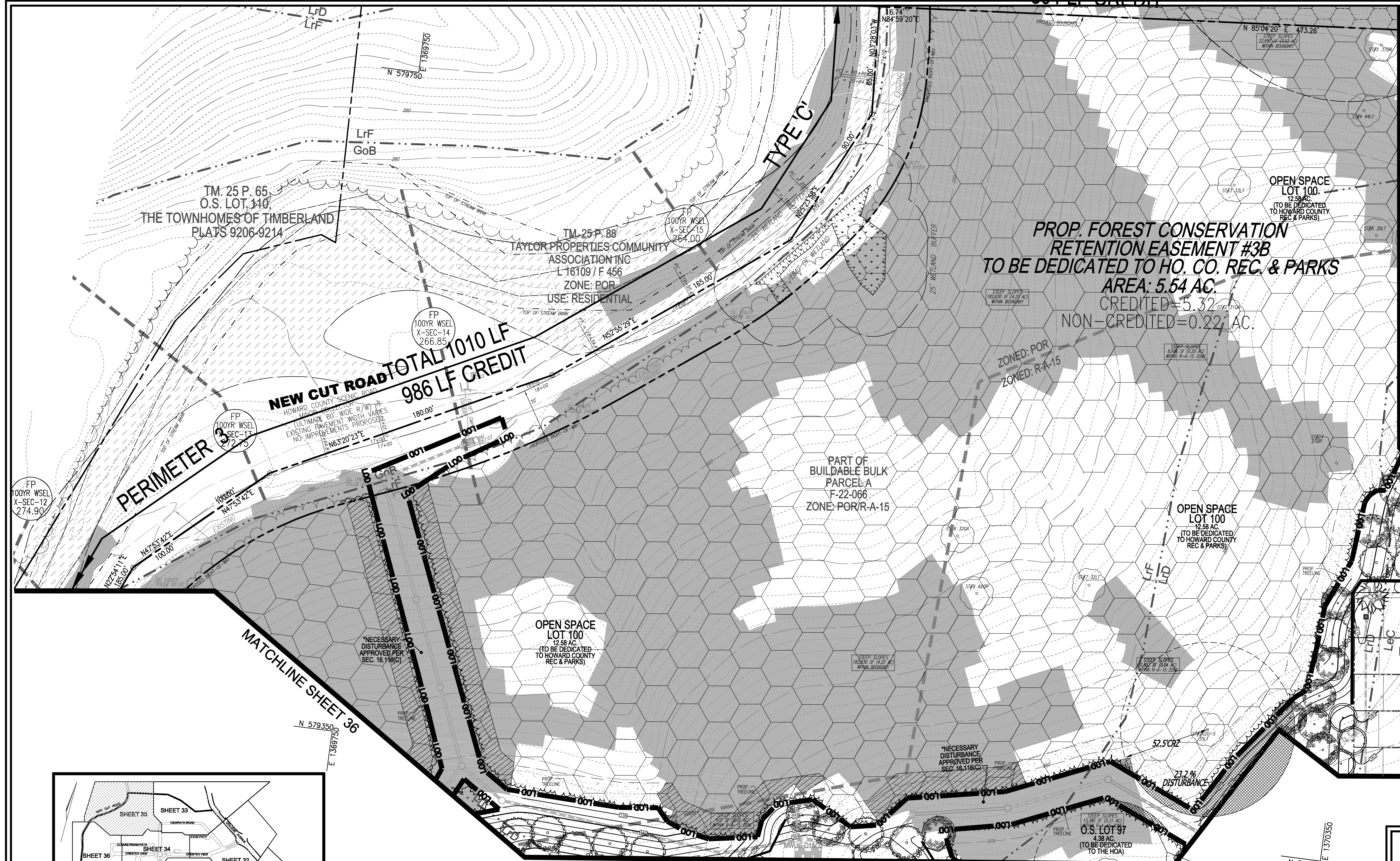
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DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Designed by: *Linda Eisenberg*
PLANNING DIRECTOR

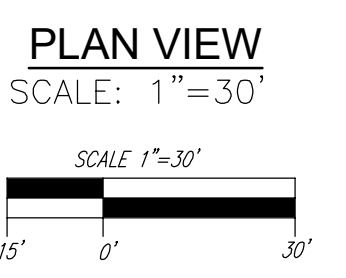
11/15/2023
DATE

J. Brody McAllister
ISA Certified Arborist
Cert ID: 18464718
MD DNIR FCA Qualified Professional

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
P.O. BOX 4088, 1615 WING ROAD, ELICOTT CITY, MD 21043
Tel: 410-461-7666 Fax: 410-461-8961 www.ecosciencemaryland.com



FOREST CONSERVATION LEGEND: A table defining symbols for existing forest conservation easements, retention areas, and credited retention areas requiring critical root zone protection.



MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14. A table with columns for SYMBOL, NAME / DESCRIPTION, GROUP, HYDRIC, HYDRIC INCLUSIONS, K. FACTOR, PRAIRIE FARMLAND, and HIGHLY ERODIBLE. It lists soil types like LcC, LmB, LrD, LrF, MoB, and WcB.

OWNER PARCEL 73: TAYLOR SERVICE COMPANY... OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC... OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC... DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION

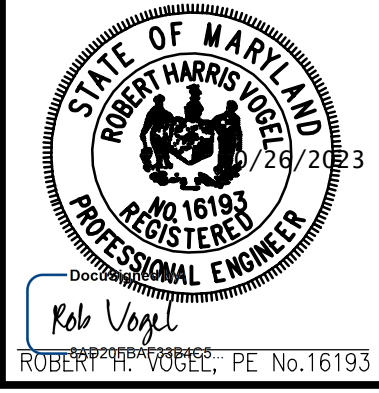
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TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A

VOGEL ENGINEERING + TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410-461.7666 F: 410-461.8961 www.timmons.com

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CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
PLANNING DIRECTOR: Linda Ewing
DATE: 11/15/2023

J. Brody McAllister
ISA Certified Arborist
Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS



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LEGEND:

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- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED RETAINING WALL
- ZONING LINE
- STEEP SLOPE (>25%)
- MICRO BIORETENTION (MBR) (M-6)
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- SOILS
- EXISTING TREELINE (FOREST / FSO)
- EXISTING TREELINE (NON FOREST)
- EXISTING TREES (FIELD LOCATED)
- EXISTING FENCE
- COVERLINE OF EXISTING STREAM
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED TREELINE
- PROPOSED CURB
- PROPOSED STREET LIGHT
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE
- PROPOSED LANDSCAPING
- PROPOSED STREET TREE
- PROPOSED MITIGATION TREES

PATHWAY WITHIN FCE 4A & 4B NOTES:

- PATHWAY SHALL BE PAVED SURFACE PER DETAIL HEREIN, SEE SH2 23.
- IN ACCORDANCE WITH SECTION 4.2.4 OF THE FOREST CONSERVATION MANUAL, PAVED WALKS AND PATHS MAY BE PERMITTED WITHIN FOREST RETENTION EASEMENTS IF THE FOLLOWING REQUIREMENTS ARE MET:
 - A. THE PATHWAY DOES NOT REQUIRE THE REMOVAL OF TREES OF 6-INCH DBH OR GREATER.
 - B. THE PATHWAY IS CONSTRUCTED OF MATERIALS THAT CAN BE INSTALLED USING EQUIPMENT WITH A MAXIMUM WEIGHT OF 1/2 TON.
 - C. THE PATHWAY IS THE MINIMUM WIDTH NECESSARY TO SERVE THEIR EXPECTED USE AND ARE NO WIDER THAN 6' (6' PROPOSED).
 - D. THE PATHWAY IS PLACED NO CLOSER THAN 6" FROM THE BASE OF THE TRUNK OF ANY TREE OVER 12" DBH.
 - E. THE PATHWAY IS CONSTRUCTED WITHOUT FILLING GREATER THAN 6".

NOTE
STREAM RESTORATION SHALL BE DETAILED ON FUTURE FINAL PLAN OR SITE DEVELOPMENT PLAN SUBMISSION FOR PHASE 1

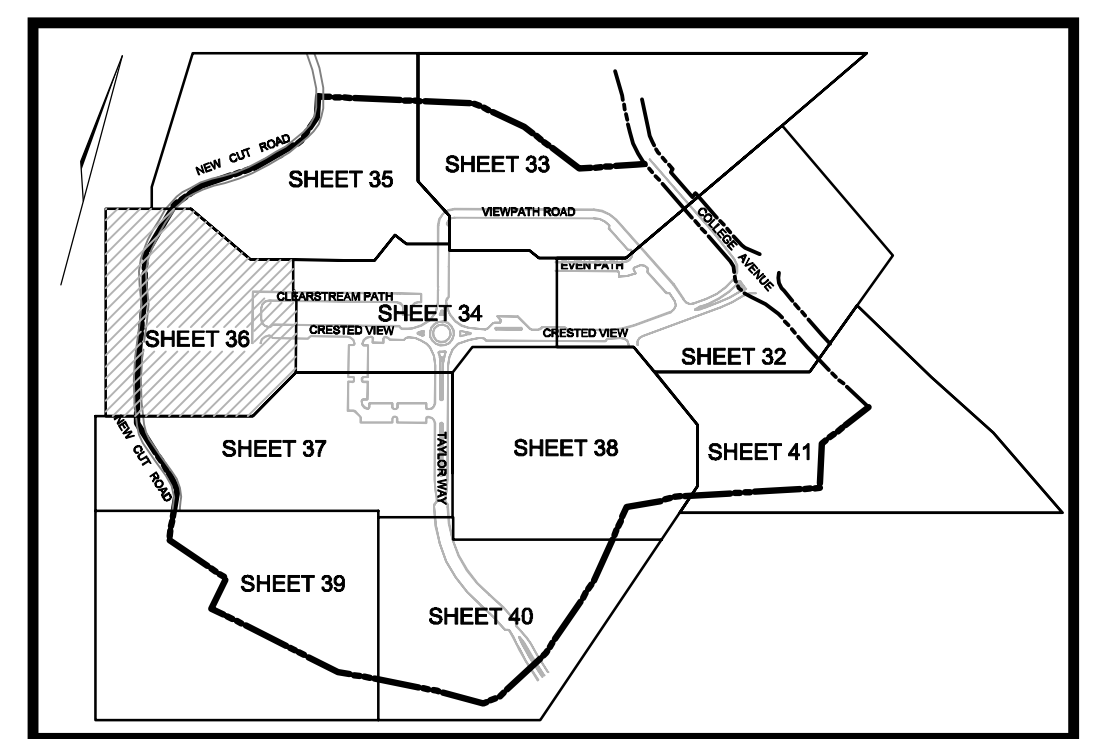
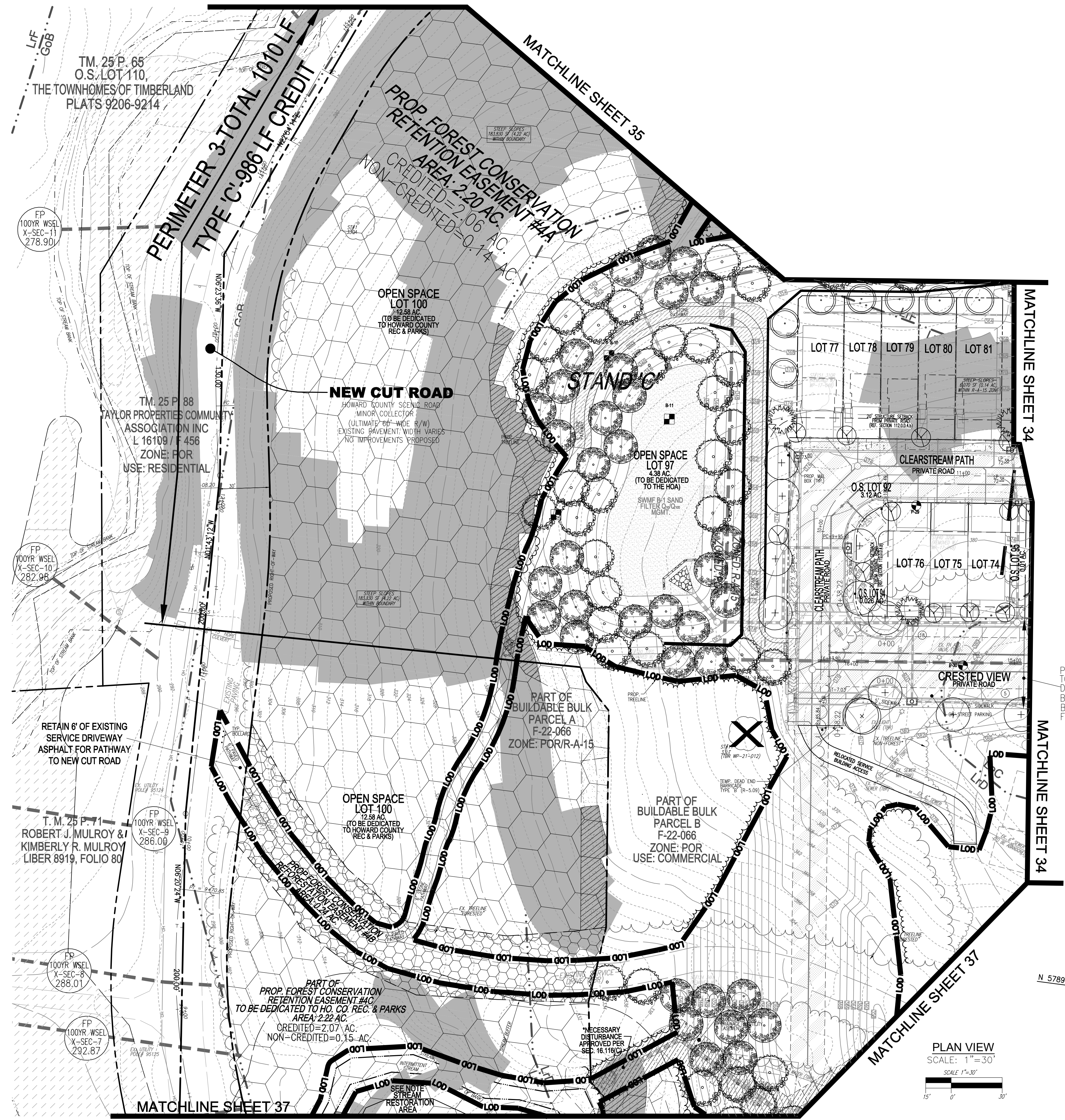
J. Brody McAllister
ISA Certified Arborist
Code ID: WAK877A
MD DNR FCA Qualified Professional

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
7400 ROCKY HILL ROAD, SUITE 100, ROCKY HILL, MD 21151
Tel: 410-465-3500 Fax: 410-465-3502

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynda Ewenberg
PLANNING DIRECTOR

11/15/2023
DATE



KEY MAP
NOT TO SCALE

FOREST CONSERVATION LEGEND:

- EXISTING FOREST CONSERVATION EASEMENT PLATS 18655-18658
- FOREST CONSERVATION EASEMENT RETENTION
- FOREST CONSERVATION EASEMENT NON-CREDITED RETENTION
- CREDITED RETENTION AREAS REQUIRING CRITICAL ROOT ZONE PROTECTION PER SECTION 4.2.1 OF THE FOREST CONSERVATION MANUAL
- FOREST CONSERVATION EASEMENT REFORESTATION

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL NAME / DESCRIPTION	GROUP	HYDRO	HYDRO INCLUSIONS	K FACTOR	PRIME FARMLAND	HEAVILY ERODIBLE
L4C LEGURE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
L4D LEGURE-MONTALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	NO	NO
L4F LEGURE-RELAY - DRABLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	NO
L4G LEGURE-RELAY - DRABLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	NO
M4B MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO
W4B WATCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE:
IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NACS SOIL SURVEY MANUAL, OCTOBER 1993). HEAVILY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.32 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HEAVILY ERODIBLE SOILS.

PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B F-22-066

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY LANDSCAPE AND FOREST CONSERVATION PLAN
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

STATE OF MARYLAND
ROBERT HARRIS VOGEL
P. 101893
REGISTERED PROFESSIONAL ENGINEER

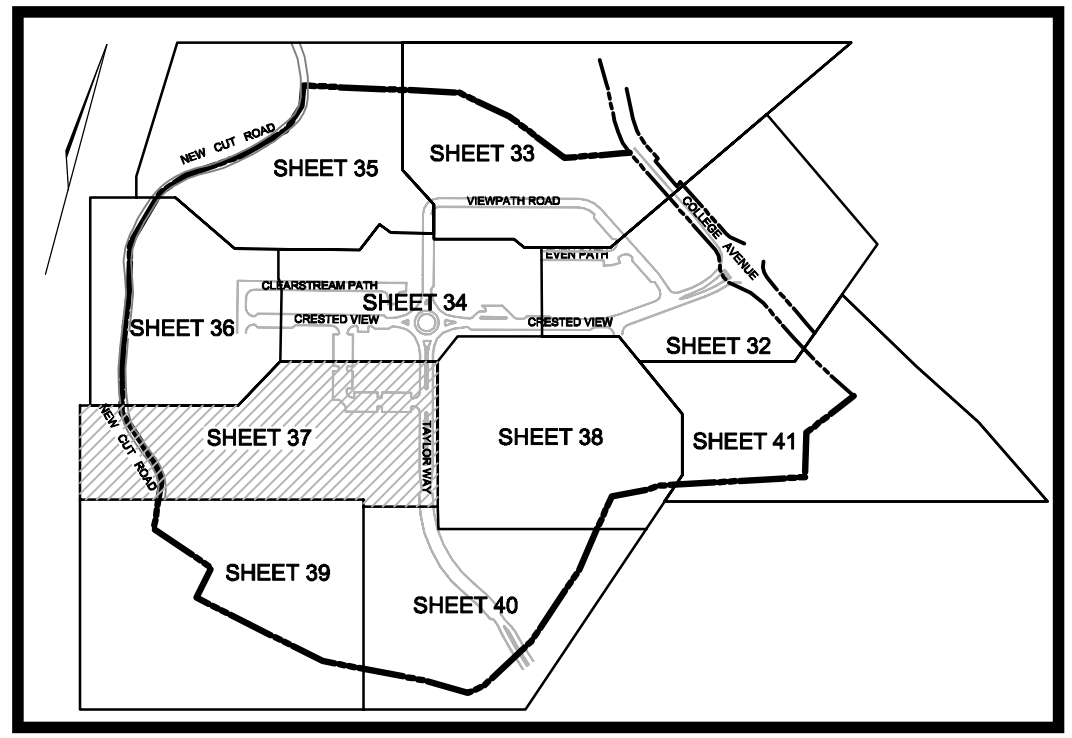
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DRAWN BY: VETG
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DATE: SEPTEMBER 2023
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W.O. NO.: 09-39/2018121

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36 SHEET OF 50

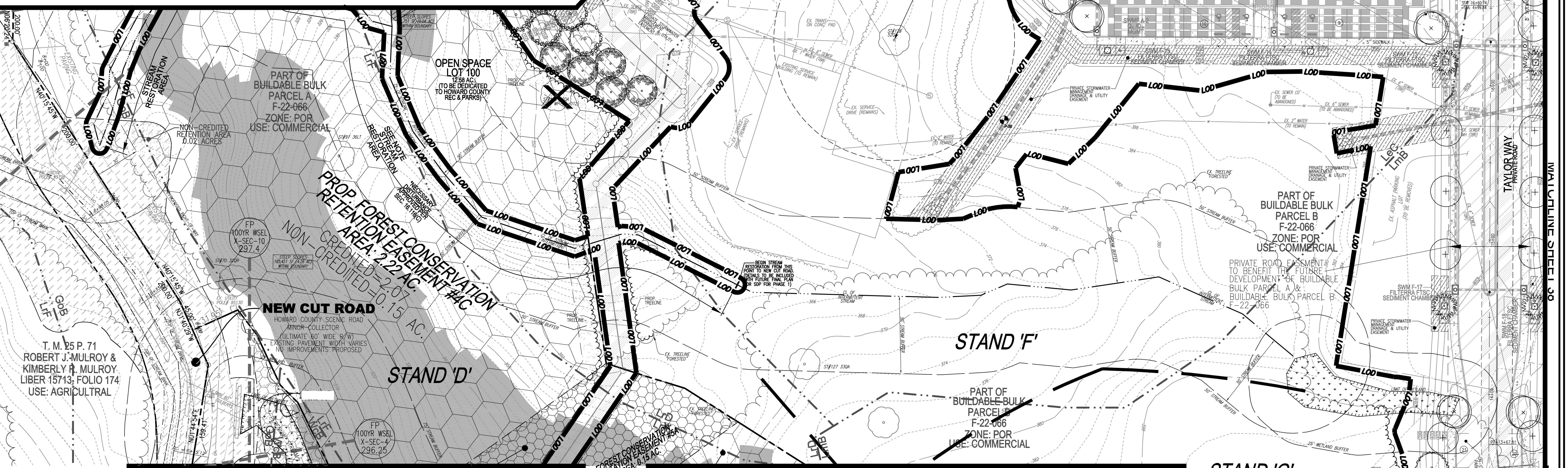
PLAN VIEW
SCALE: 1" = 30'
SCALE: 1" = 30'
15' 0' 30'

N 578900
E 1369700



NOTE
STREAM RESTORATION SHALL BE
DETAILED ON FUTURE FINAL PLAN
OR SITE DEVELOPMENT PLAN
SUBMISSION FOR PHASE 1

MATCHLINE SHEET 36



MATCHLINE SHEET 39

MATCHLINE SHEET 39

STAND 'G'
MATCHLINE SHEET 40

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDROIC	THICK INCLUSIONS	K FACTOR	PERME. FACILITATION	SEEP. PROBABLE
LcC	LEGONRE - SILT LOAM, 3 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB	LEGONRE-MONTALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LrD	LEGONRE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LrF	LEGONRE-RELAY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MmB	MOUNTAIN LOAMS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO
MmD	MOUNTAIN LOAMS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE:
IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NINE'S SOIL SURVEY MANUAL, OCTOBER, 1983). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS, E.G., THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

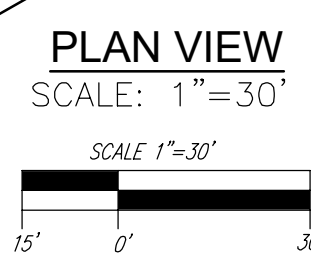
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynda Eisenberg
PLANNING DIRECTOR

11/15/2023
DATE

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EX. WETLAND
- EX. WETLAND BUFFER
- PERVIOUS PAVING
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL B
- SOILS
- EXISTING TREELINE (FOREST / FSU)
- EXISTING TREELINE (NON FOREST)
- EXISTING TREES (FIELD LOCATED)
- EXISTING FENCE
- CENTERLINE OF EXISTING STREAM
- PROPOSED STORMDRAIN
- PROPOSED SIDEWALK
- PROPOSED TREELINE
- PROPOSED CURB
- PROPOSED STREET LIGHT
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED STREET SIGN
- PRIVATE STORMWATER MANAGEMENT EASEMENT & UTILITY EASEMENT
- EX. FLOODPLAIN AREA
- EXISTING SPECIMEN TREE
- PROPOSED LANDSCAPING
- PROPOSED STREET TREE
- PROPOSED MITIGATION TREES



PART OF
PROP. FOREST CONSERVATION
RETENTION EASEMENT #5B
AREA: 1.20 AC.
CREDITED=1.18
NON-CREDITED=0.02 AC.

FOREST CONSERVATION LEGEND:

- FOREST CONSERVATION EASEMENT RETENTION
- FOREST CONSERVATION EASEMENT NON-CREDITED RETENTION
- CREDITED RETENTION AREAS REQUIRING CRITICAL ROOT ZONE PROTECTION PER SECTION 4.2.1 OF THE FOREST CONSERVATION MANUAL
- FOREST CONSERVATION EASEMENT REFORESTATION

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
1100 COLLEGE AVENUE
ELLICOTT CITY, MD 21043
PHONE: 410-465-3500

J. Brody McAllister
ISA Certified Arborist
Cert ID: MA6671A
MD DNR FCK Qualified Professional

OWNER PARCEL 73: TAYLOR SERVICE COMPANY
8 PARK CENTER CT, SUITE 200
OWINGS MILLS, MD 21117
PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC
8 PARK CENTER CT, SUITE 200
OWINGS MILLS, MD 21117
PHONE: 410-465-3500

OWNER PARCEL 93: HISTORIC ELLICOTT CITY PROPERTIES INC
4100 COLLEGE AVENUE
ELLICOTT CITY, MD 21043
PHONE: 410-465-3500

DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION
4100 COLLEGE AVENUE
ELLICOTT CITY, MD 21043
PHONE: 410-465-3500

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY LANDSCAPE AND
FOREST CONSERVATION PLAN
TAYLOR HIGHLANDS
PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL 73 & 74
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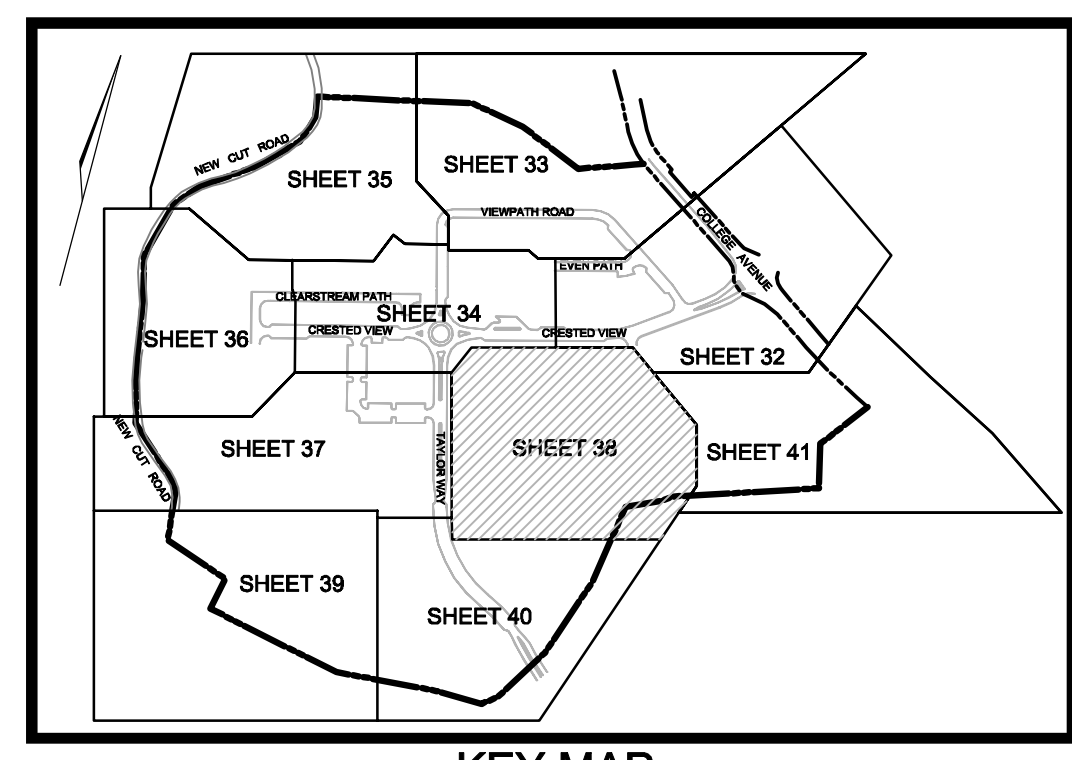
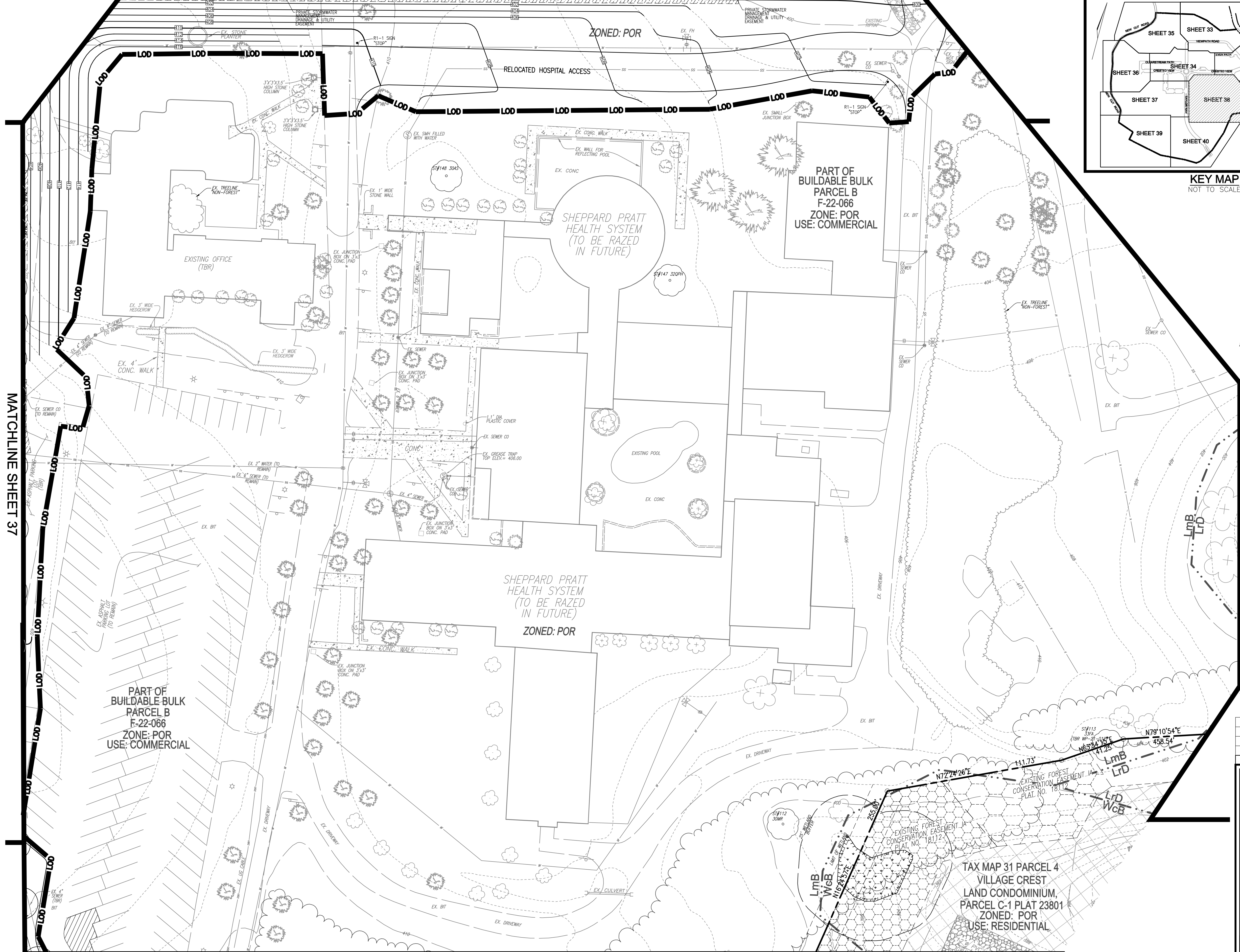
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CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

37 SHEET OF 50

MATCHLINE SHEET 34

MATCHLINE SHEET 32



PLAN VIEW
SCALE: 1" = 30'
15' 0' 30'

- LEGEND:**
- PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING CURB AND GUTTER
 - EXISTING UTILITY POLE
 - ☀ EXISTING LIGHT POLE
 - ☐ EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING WATER LINE
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - EX. WETLAND
 - EX. WETLAND BUFFER
 - SoE SICZ SOILS
 - EXISTING TREELINE (FOREST / FSD)
 - EXISTING TREELINE (NON FOREST)
 - ☀ EXISTING TREES (FIELD LOCATED)
 - EXISTING FENCE
 - CENTERLINE OF EXISTING STREAM
 - PROPOSED 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - PROPOSED STREET SIGN
 - EXISTING SPECIMEN TREE
 - ☀ PROPOSED LANDSCAPING
 - ☀ PROPOSED STREET TREE
 - ☀ PROPOSED MITIGATION TREES

FOREST CONSERVATION LEGEND:

- EXISTING FOREST CONSERVATION EASEMENT PLATS 18112-18114

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3000
 OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3000
 OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3000
 DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3000

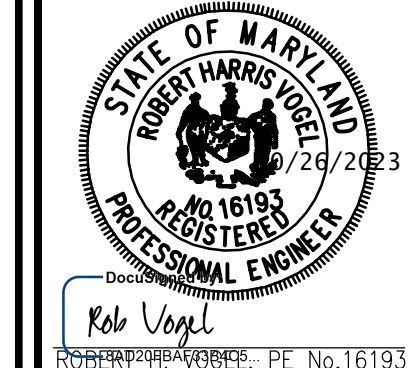
NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY LANDSCAPE AND FOREST CONSERVATION PLAN
TAYLOR HIGHLANDS PHASE 1
 LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL A
 TAX MAP: 25, BLOCK: 20, 2ND ELECTION DISTRICT
 PARCEL: 73 & 74, HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410-461.7666 F: 410-461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024
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 DRAWN BY: VETG
 CHECKED BY: RHV
 DATE: SEPTEMBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 09-39/2018121



MATCHLINE SHEET 37

MATCHLINE SHEET 41

MATCHLINE SHEET 40

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT INCLUSIONS	K FACTOR	PERM PERMABLE	HEAVY ERODIBLE
LcC LEGGERS - SILT LOAMS, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB LEGGERS-MONTALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LfD LEGGERS-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LfF LEGGERS-RELAY - GRAVELLY LOAMS, 25 TO 65 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MdB MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY*	0.32	NO	NO
WcB WASHINGTON - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY

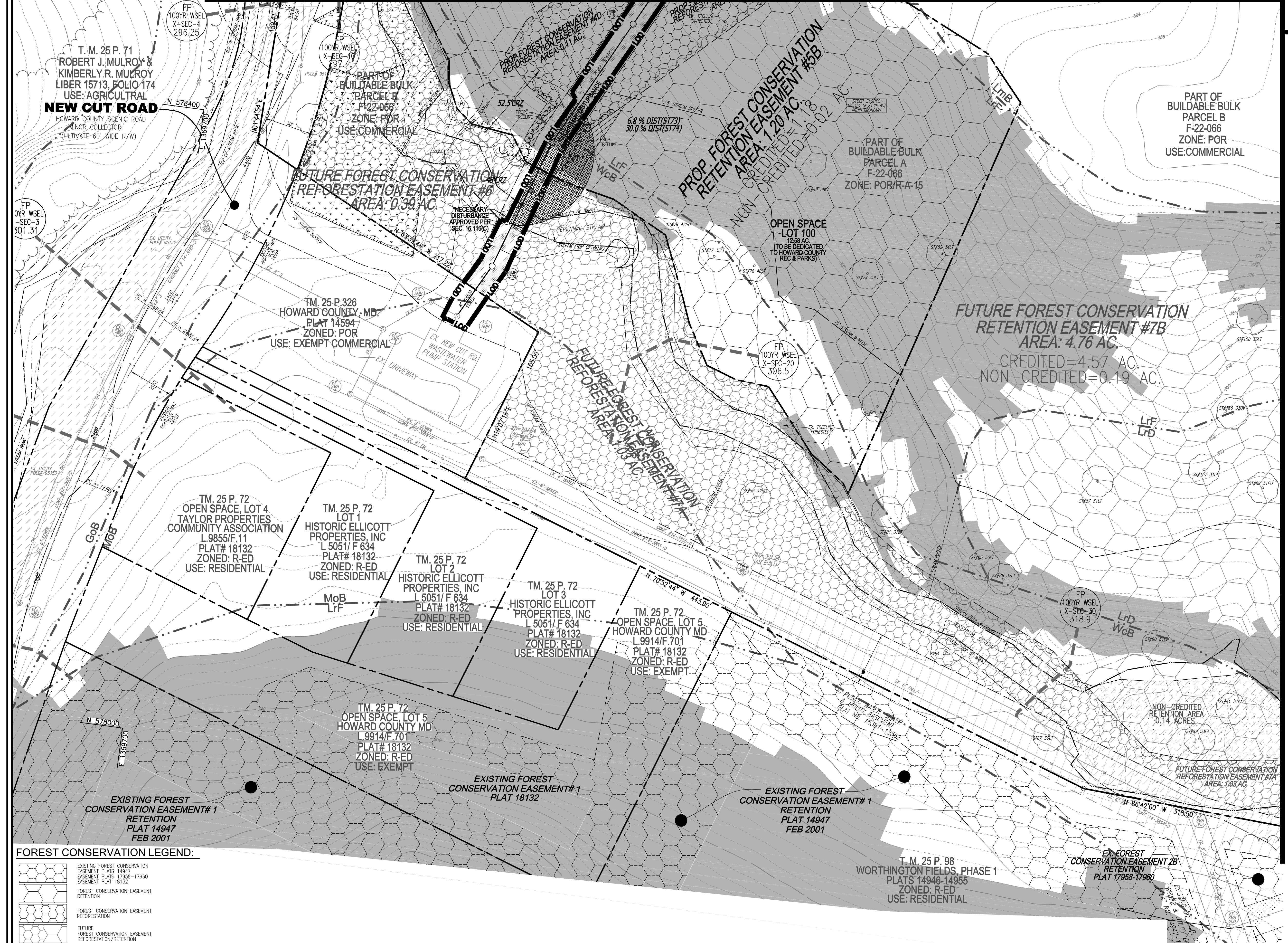
NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NILES SOIL SURVEY MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLURRY GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 4 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY
 DocuSigned by:
 Linda Eisenberg
 11/15/2023
 PLANNING DIRECTOR
 DATE

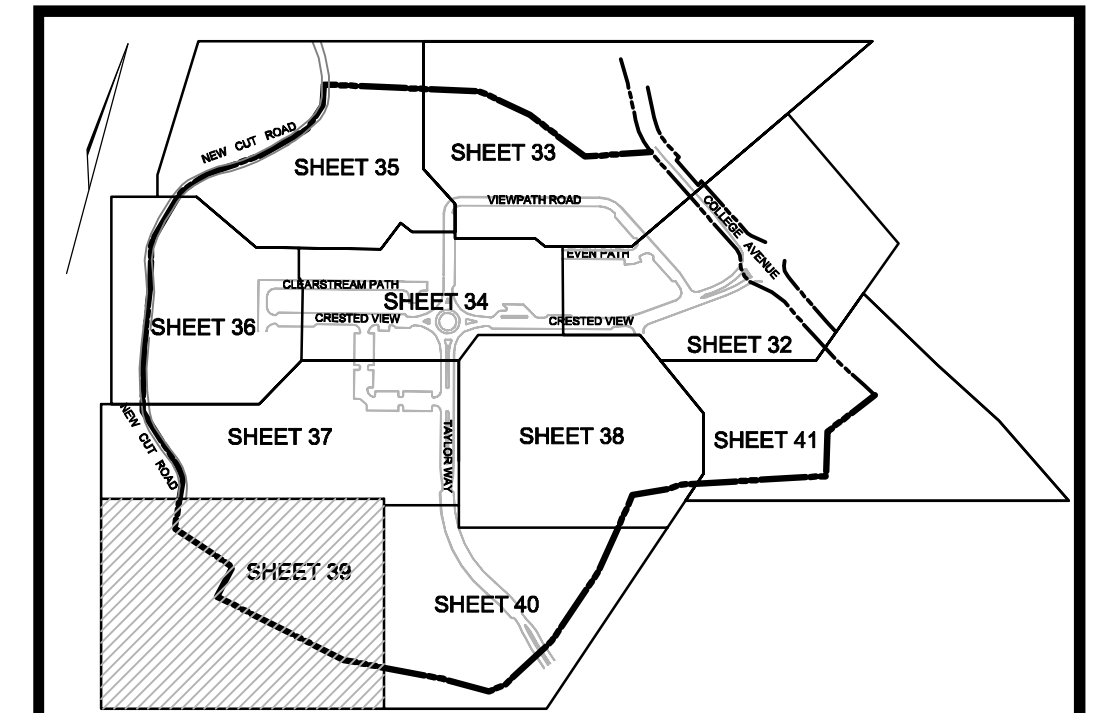
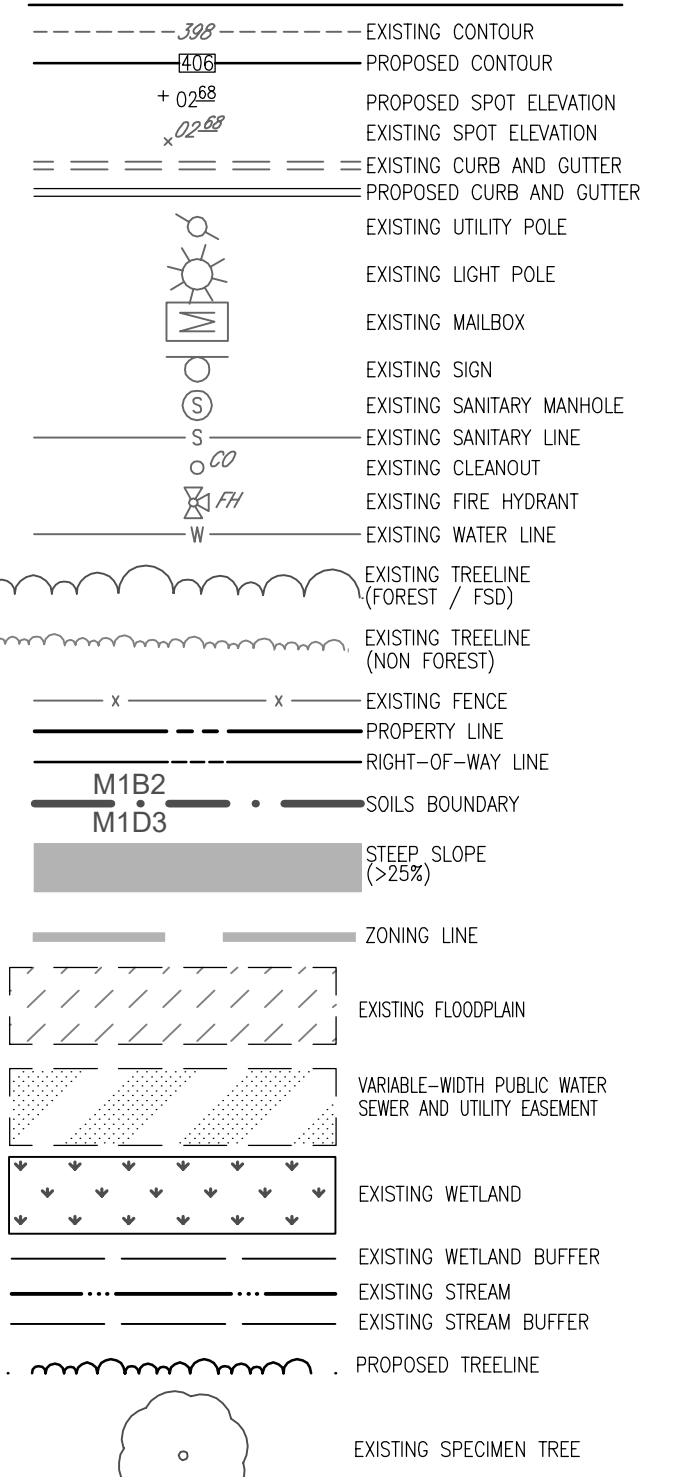
Eco-Science Professionals, Inc.
 CONSULTING ECOLOGISTS
 P.O. BOX 584 GREEN ARLEN, MARYLAND 21047
 Telephone (410) 653-7948
 www.ecoscienceresearch.com

J. Brody McAllister
 ISA Certified Arborist
 Cert ID: 18494714
 MD DNR FQA Qualified Professional

MATCHLINE SHEET 37



LEGEND:



PLAN VIEW
SCALE: 1"=30'
SCALE 1"=30'

OWNER PARCEL 73: TAYLOR SERVICE COMPANY
OWNER PARCEL 74: HISTORIC ELLICOTT PROPERTIES, INC
OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES, INC
DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION

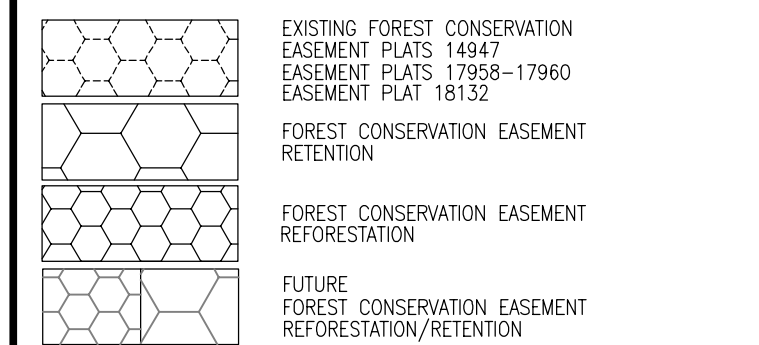
NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY LANDSCAPE AND FOREST CONSERVATION PLAN
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

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CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

FOREST CONSERVATION LEGEND:



NOTE:
IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND STORM CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND STORM CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NRCS SOIL SURVEY MANUAL, OCTOBER, 1989). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 1% PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (I.E., THOSE LOCATED IN THE CHESTER AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT SAND	K FACTOR	PERCENT CLAY	PERCENT ROCK
LwC LEGORE - Silt loam, 8 to 15 percent slopes, stony	B	NO	NO	0.28	NO	NO
LmB LEGORE-MONOTALE - Silt loams, 3 to 8 percent slopes	B	NO	NO	0.28	YES	NO
LvD LEGORE-RELAY - Gravelly loams, 15 to 25 percent slopes, very stony	B	NO	NO	0.28	NO	YES
LrF LEGORE-RELAY - Gravelly loams, 25 to 45 percent slopes, very stony	B	NO	NO	0.28	NO	YES
MoB MOUNT LOCAS - Silt loam, 3 to 8 percent slopes, stony	C	NO	PARTIAL	0.32	NO	NO
WcB WICKIANG - Silt loam, 3 to 8 percent slopes, stony	D	YES	YES	0.28	NO	NO

TAKEN FROM USDA, SCS-WEBS SOIL SURVEY, HOWARD COUNTY

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
PLANNING DIRECTOR
Linda Eisenberg
11/15/2023
DATE

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
11490 WOODBURN RD. #100
ELICOTT CITY, MD 21043
TEL: 410.855.7400
WWW.ECOSCIENCEPROF.COM

J. Brody McAllister
ISA Certified Arborist
Cert ID: 166571A
MD DNR PCA Qualified Professional

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

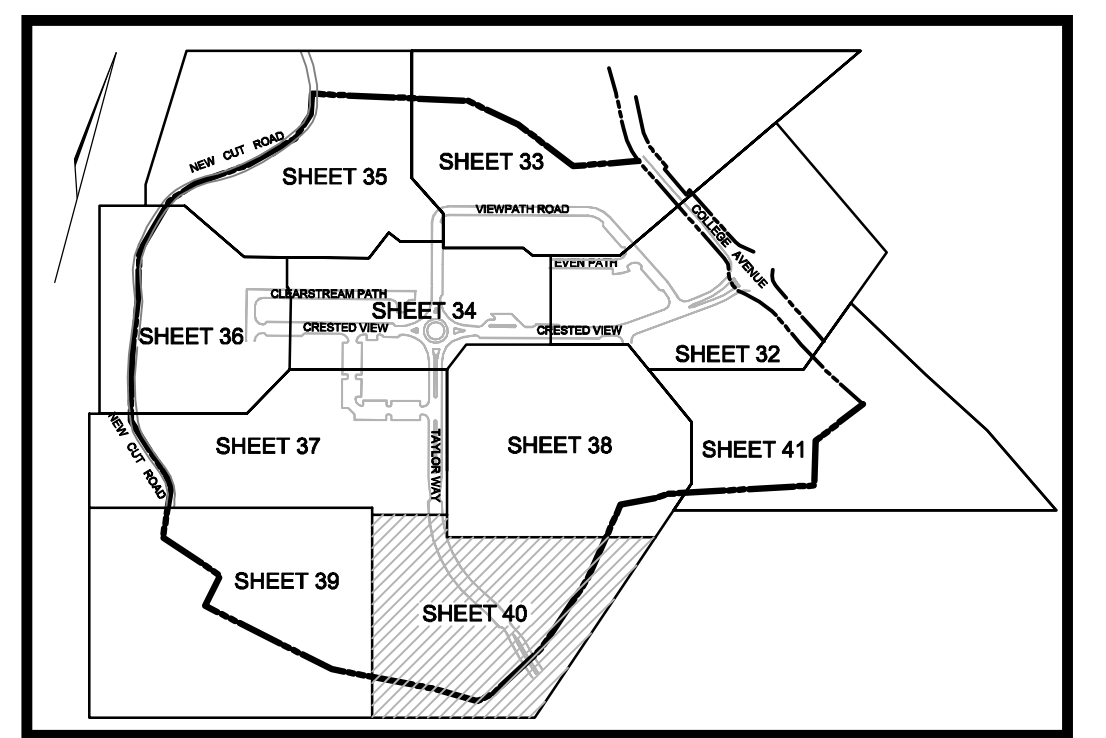
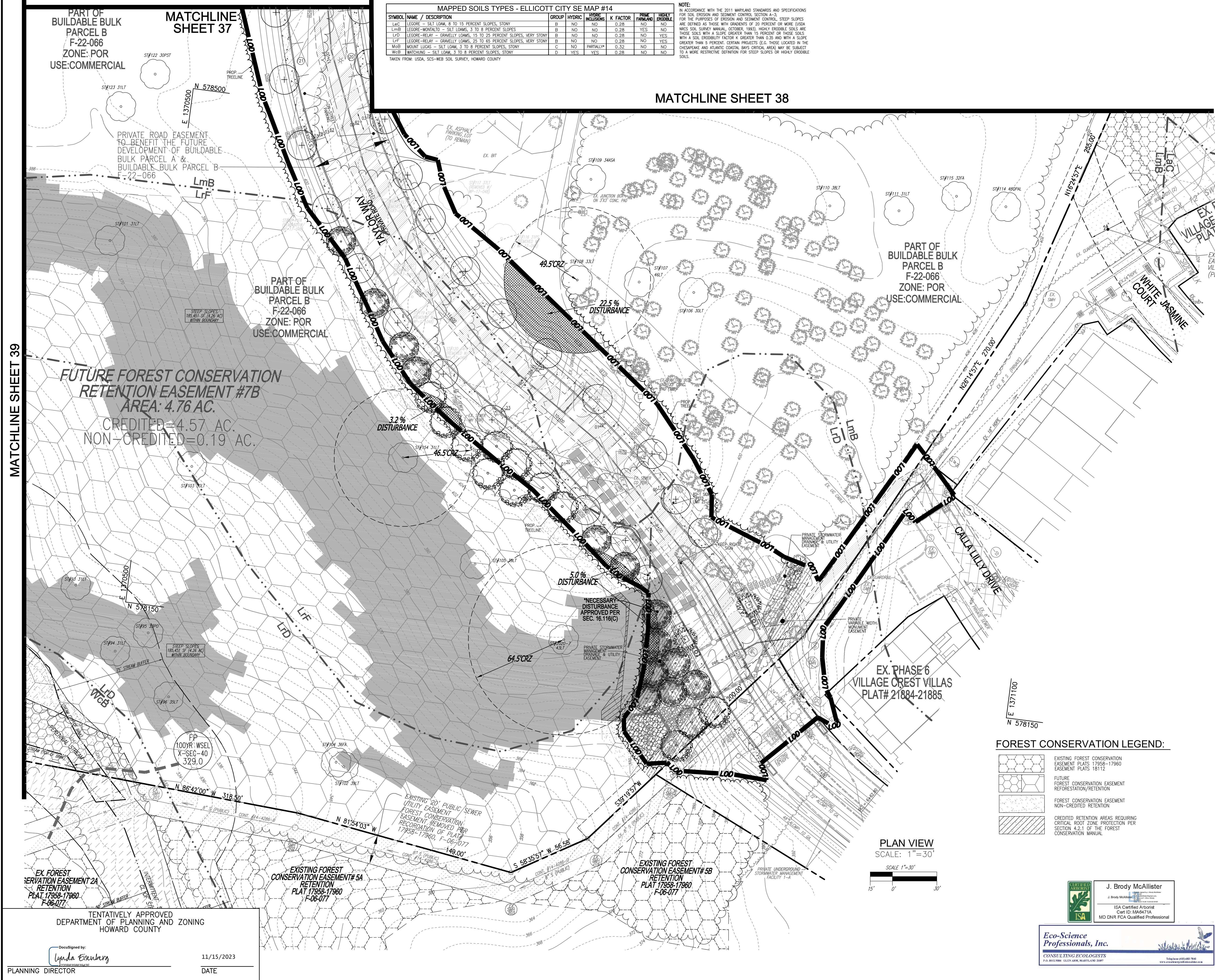
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	TOXIC INCLUSIONS	K FACTOR	PAVE PARALLELS	HIGHLY ERODIBLE
LmC	LEGORE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB	LEGORE-MONTALO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LrF	LEGORE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LrT	LEGORE-RELAY - GRAVELLY LOAMS, 25 TO 65 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MmB	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY*	0.32	NO	NO
MmC	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

TAKEN FROM: USDA, SCS-WE8 SOIL SURVEY, HOWARD COUNTY

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION 4-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NRCS SOIL SURVEY MANUAL, OCTOBER 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

LEGEND:

- 300' --- EXISTING CONTOUR
- 100' --- PROPOSED CONTOUR
- + 02.88' --- PROPOSED SPOT ELEVATION
- --- EXISTING CURB AND GUTTER
- --- PROPOSED CURB AND GUTTER
- --- EXISTING UTILITY POLE
- --- EXISTING LIGHT POLE
- --- EXISTING MAILBOX
- --- EXISTING SIGN
- --- EXISTING SANITARY MANHOLE
- --- EXISTING SANITARY LINE
- --- EXISTING CLEANOUT
- --- EXISTING FIRE HYDRANT
- --- EXISTING WATER LINE
- --- EXISTING TREETRINE (FOREST / FSD)
- --- EXISTING TREETRINE (NON FOREST)
- --- EXISTING FENCE
- --- PROPERTY LINE
- --- RIGHT-OF-WAY LINE
- M1B2 --- SOILS BOUNDARY
- M1D3 --- SOILS BOUNDARY
- --- STEEP SLOPE (>25%)
- --- VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
- --- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- --- EXISTING STREAM
- --- EXISTING STREAM BUFFER
- --- PROPOSED TREETRINE
- --- EXISTING SPECIMEN TREE
- --- PROPOSED STREET TREE
- --- PROPOSED MITIGATION TREES



OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 93:	DEVELOPER
TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HISTORIC ELLICOTT PROPERTIES INC 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500

NO.	REVISION	DATE

FOREST CONSERVATION LEGEND:

- EXISTING FOREST CONSERVATION EASEMENT PLATS 17958-17960 EASEMENT PLATS 18112
- FUTURE FOREST CONSERVATION EASEMENT REFORESTATION/RETENTION
- FOREST CONSERVATION EASEMENT NON-CREDITED RETENTION
- CREDITED RETENTION AREAS REQUIRING CRITICAL ROOT ZONE PROTECTION PER SECTION 4.2.1 OF THE FOREST CONSERVATION MANUAL

PLAN VIEW
SCALE: 1"=30'

J. Brody McAllister
ISA Certified Arborist
Cert ID: MA0471A
MD DNR PCA Qualified Professional

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
P.O. BOX 1998, OLNEY, MARYLAND 20857

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY LANDSCAPE AND FOREST CONSERVATION PLAN
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91 O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

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DRAWN BY: VETG
CHECKED BY: RHV
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

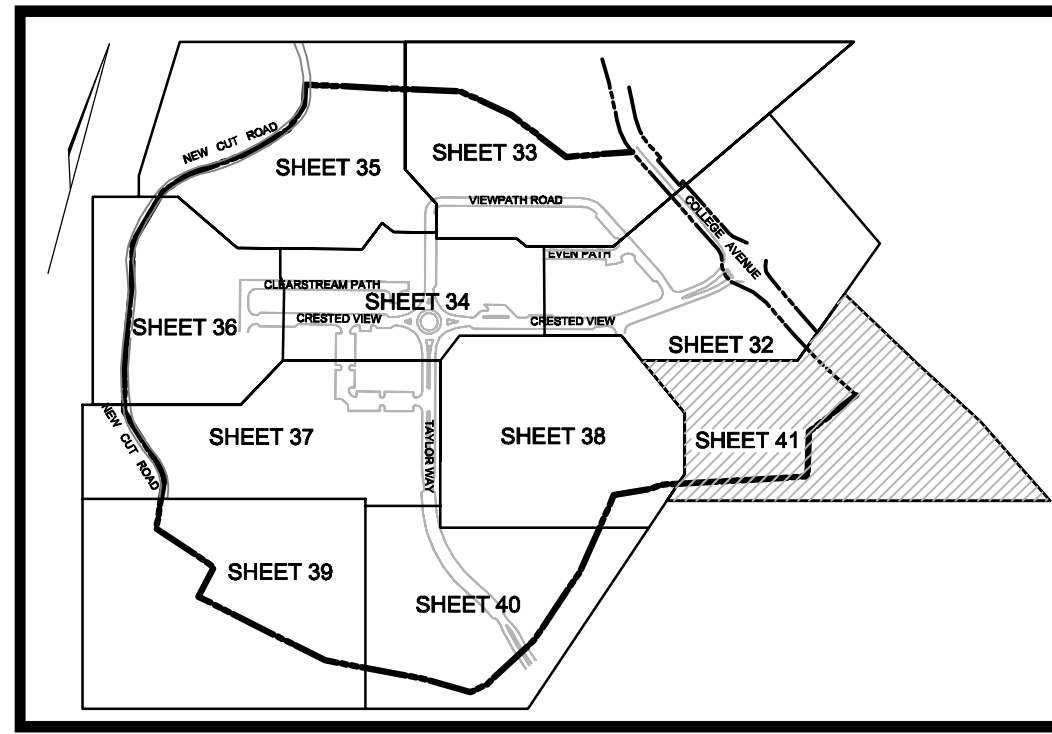
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40 SHEET OF 50

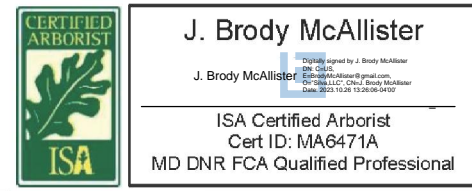
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Designed by: **Lynnda Eisenberg**
PLANNING DIRECTOR

11/15/2023
DATE



E 1371300
N 579150



Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
P.O. BOX 5686 GLEN ARM, MARYLAND 21857
Telephone: 410-465-7548
www.ecosciencetopofecofirm.com

FOREST CONSERVATION LEGEND:

- EXISTING FOREST CONSERVATION EASEMENT PLATS 14514, 22159-22167 PLATS 18112-18114
- FUTURE FOREST CONSERVATION EASEMENT RETENTION
- FOREST CONSERVATION EASEMENT NON-CREDITED RETENTION

LEGEND:

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREELINE (FOREST / FSD)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- M1B2
- M1D3
- SOILS BOUNDARY
- EXISTING SPECIMEN TREE
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- EXISTING STREAM
- EXISTING STREAM BUFFER

MATCHLINE SHEET 32

MATCHLINE SHEET 38

PART OF BUILDABLE BULK PARCEL B F-22-066 ZONE: POR USE: COMMERCIAL

FUTURE FOREST CONSERVATION RETENTION EASEMENT #8
AREA: 0.64 AC
CREDITED = 0.49 AC
NON-CREDITED = 0.15 AC

TAX MAP 31 PARCEL 4 VILLAGE CRÉST LAND CONDOMINIUM, PARCEL C-1 PLAT 23801 ZONED: POR USE: RESIDENTIAL SDP-05-044

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
OWNER PARCEL 74: HISTORIC ELLICOTT PROPERTIES INC, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

NO.	REVISION	DATE

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TAX MAP: 25, BLOCK: 20 2ND ELECTION DISTRICT
PARCEL: 73 & 74 HOWARD COUNTY, MARYLAND

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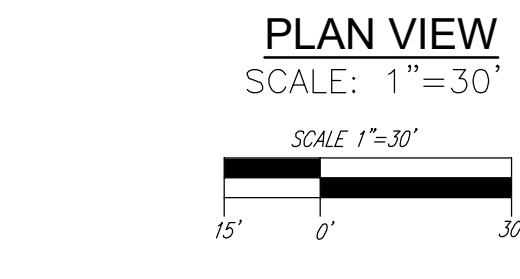
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41 SHEET OF 50

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT HUMUS	K FACTOR	PERCENT ORGANIC MATTER	PERCENT ROCK	PERCENT SAND	PERCENT SILT	PERCENT CLAY	PERCENT STONE
L4C	LEGGRE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO	NO	NO
L4B	LEGGRE-MONTAIGO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO	NO	NO	NO	NO
L4D	LEGGRE-RELY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES	NO	NO	NO	NO
L4F	LEGGRE-RELY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES	NO	NO	NO	NO
M4B	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO	NO	NO	NO	NO
W4B	WATCHING - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO	NO	NO	NO	NO

TAKEN FROM USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Documented by: **Linda Eisner**
120983863426
11/15/2023
DATE

PLANNING DIRECTOR

TAYLOR HIGHLANDS (RESUBDIVISION OF BUILDABLE BULK PARCEL A)

FOREST CONSERVATION WORKSHEET FOR

Net Tract Area		A = 35.60 (1)
A. Total (Gross) Tract Area	B = 0.20	B
B. Area within 100-year Floodplain	C = 0.20 (2)	C
C. Other Deductions (Identify)	D = 35.20	D
D. Net Tract Area		

Land Use Category
Insert the number "1" under the appropriate land use (limit to only one entry)

Resid	Resid	Resid	Inst /	Retal/Ind	Mixed Use/
Rural LD	Rural MD	Suburban	Linear	Office	PUD
0	0	1	0	0	0

E. Afforestation Threshold (Net Tract Area x 15%) E = 5.30
 F. Reforestation Threshold (Net Tract Area x 20%) F = 7.00

G. Existing Forest Cover within the Net Tract Area G = 21.80 (3)
 H. Area of Forest above Afforestation Threshold H = 16.50
 I. Area of Forest above Reforestation Threshold I = 14.80

J. Break Even Point J = 11.93
 K. Forest Clearing Permitted without Mitigation K = 9.97

L. Total Area of Forest to be Cleared L = 10.70 (3)
 M. Total Area of Forest to be Retained M = 11.10

Planting Requirements Inside Watershed
 N. Reforestation for Clearing above the Reforestation Threshold N = 5.40
 O. Reforestation for Clearing below the Reforestation Threshold O = 0.00
 P. Credit for Retention above the Reforestation Threshold P = 4.10
 Q. Total Reforestation Required Q = 1.30
 R. Total Afforestation Required R = 0.00
 S. Total Reforestation and Afforestation Requirement S = 1.30
 T. 75% of Total Obligation (Retention + Planting) T = 9.90
 U. Planting Required Onsite to meet 75% Obligation U = 0.00

Planting Requirements Outside Watershed
 W. Total Planting within Development Site Watershed W = 1.30
 X. Total Afforestation Required X = 0.00
 Y. Remaining Planting within Watershed for Reforestation Credit Y = 1.30
 Z. Reforestation for Clearing above the Reforestation Threshold Z = 0.00
 AA. Reforestation for Clearing below the Reforestation Threshold AA = 0.00
 BB. Credit for Retention above the Reforestation Threshold BB = 0.00
 CC. Total Reforestation Required CC = 0.00
 DD. Total Afforestation and Reforestation Requirement DD = 0.00

(1) TOTAL (GROSS) TRACT AREA 35.6 AC (BUILDABLE BULK PARCEL A 30.19 AC) INCLUDES THE AREA OF DISTURBANCE (5.37 AC) WITHIN BUILDABLE BULK PARCEL B TO CONSTRUCT / GRADE THE PHASE 1 – "RA-15 DEVELOPMENT" IMPROVEMENTS.

(2) IN ACCORDANCE WITH SECTION 16.1202(b)(1)(iv) IMPERVIOUS AREAS OF PREVIOUS SITE DEVELOPMENT PLANS, SDP--88--063

(3) A. EXISTING FOREST ON BUILDABLE BULK PARCEL A = 20.69 AC.
 B. 1.1 ACRES OF EXISTING FOREST, TO BE CLEARED, IS WITHIN THIS 5.37 AC AREA OF DISTURBANCE ON BUILDABLE BULK PARCEL B. COMPUTATIONS ABOVE REFLECT THE ADDITIONAL DISTURBANCE AREA, EXISTING FOREST AND FOREST TO BE CLEARED.
 C. THE FOREST CONSERVATION OBLIGATION FOR THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL B WILL BE REDUCED BY THE 5.37 GROSS AREA, THE 1.1 ACRES OF CLEARED FOREST AND FOREST TO BE CLEARED ON BUILDABLE BULK PARCEL B.

FOREST CONSERVATION EASEMENTS WILL BE ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION MANUAL. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
 - PHASE 1 – "RA-15 DEVELOPMENT" MDE 12-DIGIT WATERSHED #021309061017
 - THE REQUIRED FOREST CONSERVATION WILL BE PROVIDED ON THE OPEN SPACE LOTS AND SHALL MEET THE INTENT OF SECTION 16.117 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 - TOTAL FOREST CONSERVATION OBLIGATION OF THIS PORTION OF THE PROJECT TO BE FULFILLED BY:
 - 11.6 ACRES OF ON-SITE RETENTION (NO SURETY REQ)
 (11.09 CREDITED RETENTION AND 0.52 NON-CREDITED RETENTION)
 - 1.3 ACRES OF ON-SITE REFORESTATION
 (1.33 CREDITED REFORESTATION AND 0.03 NON-CREDITED REFORESTATION)

- IN ACCORDANCE WITH SECTION 4.2.1 OF THE FOREST CONSERVATION MANUAL, THIS PLAN DETAILS AREAS OF CREDITED AND NON-CREDITED FOREST RETENTION, LOCATED 15' FROM THE LIMITS OF DISTURBANCE INTO THE FOREST RETENTION EASEMENTS. NON-CREDITED RETENTION AREAS ARE AREAS WITHIN 15' OF THE LDD AND CREDITED AREA REQUIRING CRITICAL ROOT ZONE PROTECTION WILL BE PROVIDED ADJACENT TO PRIORITY RETENTION AREAS PER SECTION 4.2.1 OF THE FOREST CONSERVATION MANUAL. FINAL DELINEATION AND DETAILING WILL BE PROVIDED WITH THE FUTURE SITE DEVELOPMENT PLAN SUBMISSION.

SEQUENCE OF CONSTRUCTION-FOREST CONSERVATION

1. CONDUCT A PRECONSTRUCTION MEETING/SITE WALK WITH CONTRACTORS AND OTHER RESPONSIBLE PARTIES TO DEFINE PROTECTION MEASURES TO BE UTILIZED AND TO POINT OUT PARTICULAR TREES TO BE SAVED.
2. STAKE OUT LIMITS OF DISTURBANCE AND TREE PROTECTION FENCING LOCATIONS.
3. INSTALL TREE PROTECTION FENCING. FENCING TO BE INSPECTED BY THE PROJECT ENGINEER OR THE PROJECT ECOLOGIST AND HOWARD COUNTY PLANNING AND ZONING.
4. PROCEED WITH TREE REMOVAL AND SITE IMPROVEMENTS AS PER APPROVED SEDIMENT CONTROL PLAN – TO BE INSPECTED BY HOWARD COUNTY PLANNING AND ZONING.
5. TEMPORARY TREE PROTECTION DEVICES SHALL BE REMOVED AFTER ALL FINISHED GRADING AND UTILITY CONSTRUCTION HAS OCCURRED AND WITH APPROVAL FROM THE HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

FOREST RETENTION AREAS AND NOTES

1. WETLANDS, STREAMS AND THEIR REQUIRED BUFFERS SHOWN ON THESE PLANS ARE BASED ON DELINEATION AND REPORT PREPARED BY ECOTONE, INC. SEAN McDONOUGH, ENVIRONMENTAL SCIENTIST, MAY 2016.
- AN UPDATED REPORT TITLED WETLAND, FOREST STAND DELINEATION AND PRELIMINARY FOREST CONSERVATION PLAN REPORT WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC., MS. MYRA BROSIUS – ISA CERTIFIED ARBORIST, CERT. ID. M45411A, TREE RISK ASSESSMENT QUALIFIED, MD DNR FCA QUALIFIED PROFESSIONAL, DATED DECEMBER 15, 2021.
- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON THIS SITE.
- CHANGES IN GRADING AND RUNOFF WITHIN CONSTRUCTION/INSTALLATION AREAS WILL NOT ADVERSELY AFFECT THE SOILS WITHIN THE FOREST RETENTION AREA. SEDIMENT CONTROL MEASURES WILL REDIRECT CONCENTRATED FLOW RUNOFF TO STORMWATER MANAGEMENT FACILITIES, RETAIN SEDIMENT WITHIN THE CONSTRUCTION SITE, AND/OR REDIRECT CLEAN WATER AWAY FROM CONSTRUCTION AREAS.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

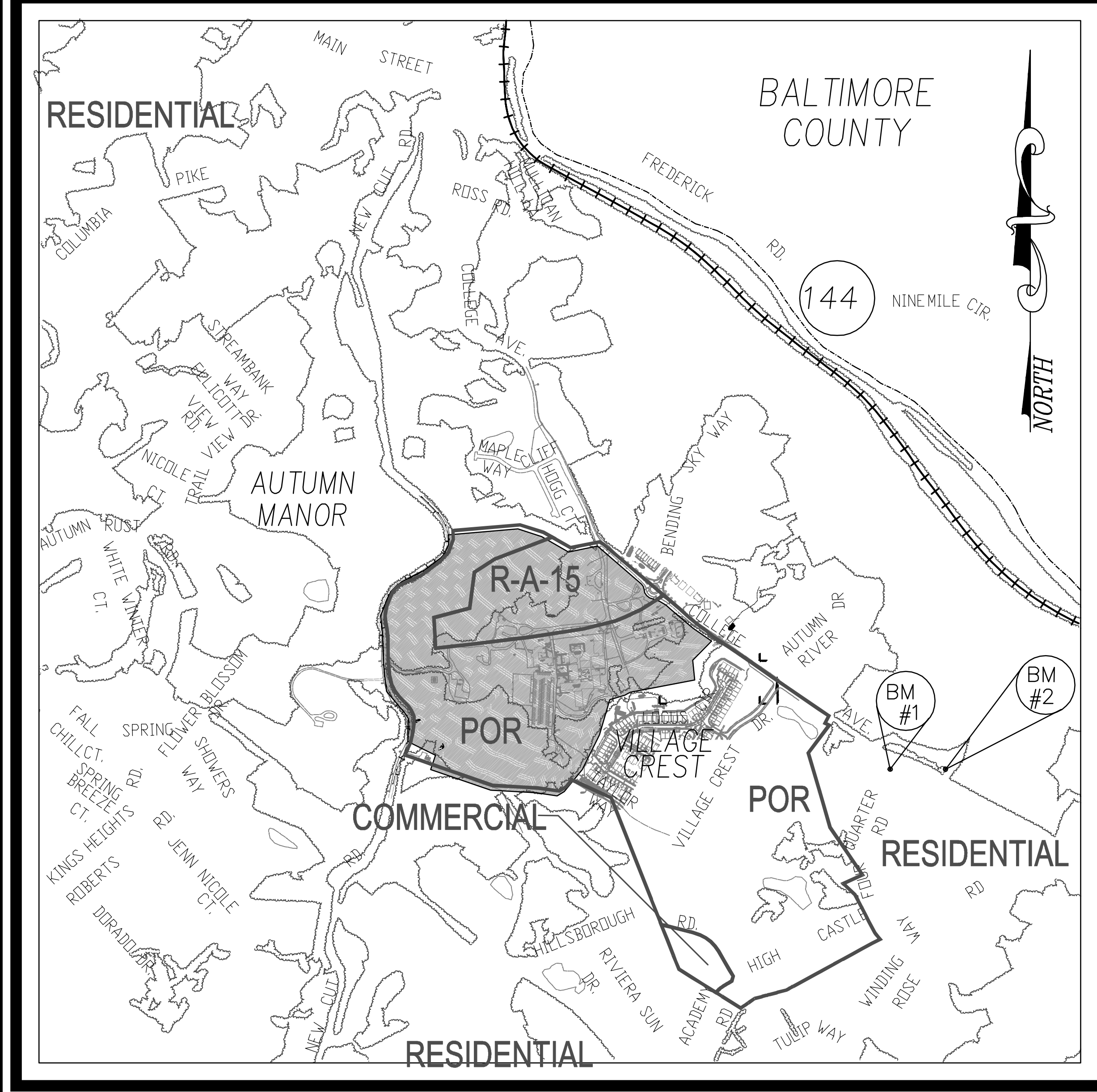
CONSTRUCTION PERIOD PROTECTION AND MANAGEMENT NOTES FOR FOREST CONSERVATION

- PRE-CONSTRUCTION PHASE**
1. FOR RETENTION AREAS, INSTALL BLAZE ORANGE FENCE AND RETENTION SIGNS BEFORE CONSTRUCTION BEGINS.
 - FENCING SHALL BE MAINTAINED IN GOOD CONDITION AND PROMPTLY REPAIRED OR RESTORED AS THE SITUATION WARRANTS.
 - A QUALIFIED TREE CARE EXPERT SHALL DETERMINE IF ROOT PRUNING IS REQUIRED ALONG THE LIMIT OF DISTURBANCE. ROOT PRUNE TREES AS REQUIRED. WATER ANY ROOT-PRUNED TREES IMMEDIATELY AFTER ROOT-PRUNING AND MONITOR FOR SIGNS OF STRESS DURING CONSTRUCTION.

- CONSTRUCTION PHASE**
1. NO DISTURBANCE OR DUMPING IS ALLOWED INSIDE THE TREE RETENTION AREA.
 - NO EQUIPMENT SHALL BE OPERATED INSIDE THE TREE RETENTION AREA INCLUDING TREE CANOPIES.
 - IN THE EVENT OF DROUGHT, THE PROTECTED TREES SHALL BE MONITORED FOR SIGNS OF STRESS AND WATERED AS NEEDED.

- POST-CONSTRUCTION PHASE**
1. AT THE DISCRETION OF A QUALIFIED TREE CARE EXPERT, DAMAGES TO RETAINED TREES SHALL BE REPAIRED BY THE CONTRACTOR.
 - FENCE REMOVAL AND STABILIZATION SHALL BE AS PER THE SEDIMENT AND EROSION CONTROL PLAN.
 - DO NOT REMOVE SIGNS.

KEY	A. TYPE OF DISTURBANCE	B. ACPA (SQ)	C. SOIL INFORMATION	D. DISTURBANCE INFORMATION	E. STAKE COORDINATES	F. FOREST AREA (AC)	G. INSTANT VALUE
A	Upland Mixed Hardwood Forest	6.10	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	6.10	6.10
B	Upland Mixed Hardwood Forest	3.34	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	3.34	3.34
C	Upland Mixed Hardwood Forest	5.01	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	5.01	5.01
D	Upland Mixed Hardwood Forest	2.82	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	2.82	2.82
E	Upland Mixed Hardwood Forest	1.04	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	1.04	1.04
F	Upland Mixed Hardwood Forest	3.01	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	3.01	3.01
G	White Pine Forest	1.8	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	1.8	1.8
H	Upland Mixed Hardwood Forest	3.28	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	3.28	3.28
I	Upland Mixed Hardwood Forest	2.15	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	2.15	2.15
J	Upland Mixed Hardwood Forest	2.19	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	2.19	2.19
K	Upland Mixed Hardwood Forest	3.88	L-10 Oak, pine, hick paper	80	1415.56 1715.56 1415.56 1715.56	3.88	3.88



VICINITY MAP
SCALE 1"=600'
ADC MAP COORDINATE: PG. 4815 G3

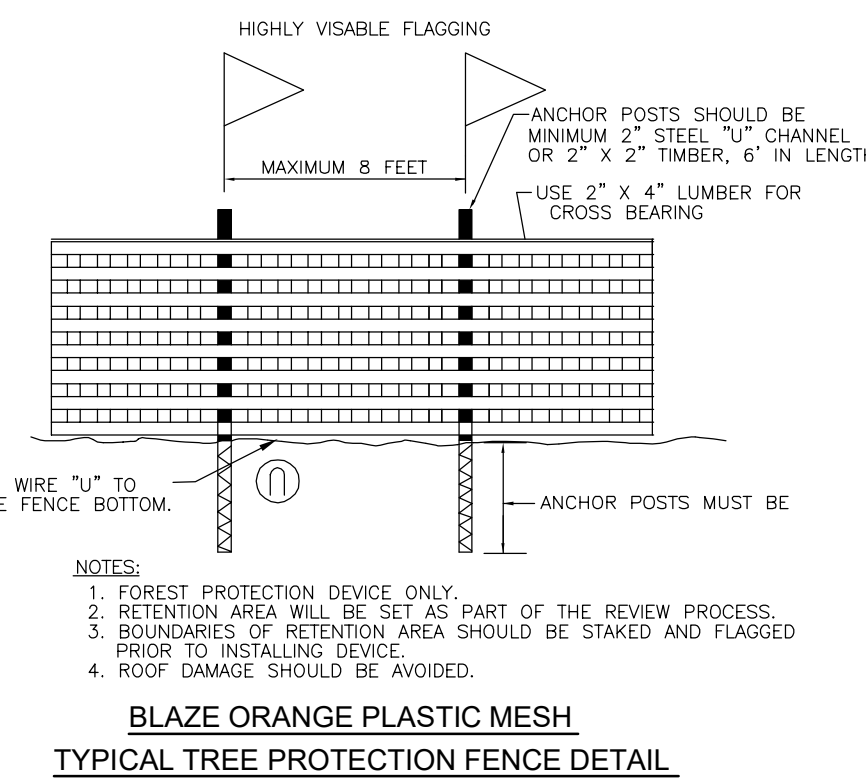
BENCHMARKS
HOWARD COUNTY BENCHMARK 2411 (CONC. MON.)
N 577298.65' E 1366075.16' ELEV. 437.12'
HOWARD COUNTY BENCHMARK 2413 (CONC. MON.)
N 580648.90' E 1364974.47' ELEV. 463.77'

GENERAL NOTES

- WATERSHED NAME: PATAPSCO RIVER
 WATERSHED NUMBER: MDE 8-DIGIT 02130906
 MDE 12-DIGIT WATERSHED #021309061017
- GROSS SITE AREA (BULK PARCEL A): 35.6 AC
 - NET SITE AREA: 35.2 AC
 - AREA OF 100-YEAR FLOODPLAIN: 0.2 AC
 - AREA OF WETLANDS AND BUFFERS(ONSITE): 0.00 AC
 - AREA OF STREAM AND BUFFERS(ONSITE): 1.60 AC
 - AREA OF > 25% STEEP SLOPES: 0.56 WITHIN R-A-15
4.99 AC
 - EXISTING FOREST: 1.05 WITHIN R-A-15
20.69 AC (BPA)
R-A-15 / POR
 - ZONED: RESIDENTIAL
 - EXISTING USE: RESIDENTIAL
 - PROPOSED USE: RESIDENTIAL

OWNER PARCEL 73: TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500
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Easement LABEL	Retention CREDITED	Retention NON-CREDITED	Reforestation Table		Total
			CREDITED	NON-CREDITED	
PHASE 1					
FCE #1	0	0	0.65	0.03	0.68
FCE #2A	0.45	0	0	0	0.45
FCE #2B	0	0	0.03	0	0.03
FCE #2C	0	0	0.02	0	0.02
FCE #3A	0	0	0.13	0	0.13
FCE #3B	5.32	0.22	0	0	5.54
FCE #4A	2.06	0.14	0	0	2.20
FCE #4B	0	0	0.24	0	0.24
FCE #4C	2.07	0.15	0	0	2.22
FCE #4D	0	0	0.11	0	0.11
FCE #5A	0	0	0.15	0	0.15
FCE #5B	1.18	0.02	0	0	1.20
TOTAL	11.1	0.5	1.3	0.03	13.0
PHASE 1 TOTALS 13.0					



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by: Linda Brubaker 122083938942E	11/15/2023
PLANNING DIRECTOR	DATE

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
P.O. BOX 886 GLEN AIRM. MARYLAND 21087
Tel: 410-652-7588
www.ecosciencepros.com

STATE OF MARYLAND
ROBERT H. VOGEL, PE No. 16193
PROFESSIONAL ENGINEER

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHV
DATE: OCTOBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

42 SHEET OF 50

REFORESTATION AND AFFORESTATION PLANTING PLANS

A. PLANTING PLAN AND METHODS

PLANT SPECIES SELECTION WAS BASED ON OUR KNOWLEDGE REGARDING PLANT COMMUNITIES IN MARYLAND'S PIEDMONT PLATEAU AND INFORMATION PROVIDED IN THE SOIL SURVEY ON TYPICAL VEGETATION FOR THE SOIL TYPE ON THE PLANTING SITE...

REFORESTATION AND AFFORESTATION WILL BE ACCOMPLISHED THROUGH A MIXED PLANTING OF 1" CAL. TREES.

PRIOR TO PLANTING THE PROPOSED FOREST CONSERVATION EASEMENTS ALL MULTIFLORA ROSE IN THE PLANTING AREA SHALL BE REMOVED. REMOVAL OF THE ROSE MAY BE PERFORMED WITH MOWING AND HERBICIDE TREATMENTS...

B. PLANTING AND SOIL SPECIFICATIONS

PLANT MATERIAL WILL BE INSTALLED IN ACCORDANCE WITH THE PLANTING DETAIL AND PLANTING SPECIFICATIONS SHOWN ON THE FOREST CONSERVATION PLAN...

AMENDMENTS TO EXISTING SOIL WILL BE IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS SHOWN ON THE FOREST CONSERVATION PLAN...

C. MAINTENANCE OF PLANTINGS

FOR INFORMATION REGARDING MAINTENANCE OF THE REFORESTATION AND AFFORESTATION PLANTINGS, SEE SECTION VIII B.

D. GUARANTEE REQUIREMENTS

IF, AFTER ONE GROWING SEASON, THE POSSIBILITY EXISTS THAT THE ORIGINAL PLANTING WILL NOT MEET SURVIVAL STANDARDS, THE APPLICANT SHOULD ESTABLISH REINFORCEMENT PLANTINGS...

IF EXTENSIVE REPLANTING IS NEEDED TO MEET THE 75% SURVIVAL RATE AT THE END OF THE THIRD GROWING SEASON, THE MAINTENANCE PERIOD WILL BE EXTENDED...

E. SECURITY FOR REFORESTATION AND AFFORESTATION

SECTION 16-1209 OF THE HOWARD COUNTY FOREST CONSERVATION ACT REQUIRES THAT A DEVELOPER SHALL POST A SECURITY (BOND, LETTER OF CREDIT, ETC.) WITH THE COUNTY TO INSURE THAT ALL WORK IS DONE IN ACCORDANCE WITH THE FCP.

CONSTRUCTION PERIOD PROTECTION PROGRAM

A. FOREST PROTECTION TECHNIQUES

1. SOIL PROTECTION AREA (CRITICAL ROOT ZONE)
THE SOIL PROTECTION AREA, OR CRITICAL ROOT ZONE, OF A TREE IS THAT PORTION OF THE SOIL COLUMN WHERE MOST OF A ITS ROOTS MAY BE FOUND...

2. FENCING AND SIGNAGE
EXISTING FOREST LIMITS OCCURRING WITHIN 25 FEET OF THE LIMITS OF DISTURBANCE SHALL BE PROTECTED USING TEMPORARY PROTECTIVE FENCING...

3. STORAGE FACILITIES/EQUIPMENT CLEANING
ALL EQUIPMENT STORAGE, PARKING, SANITARY FACILITIES, MATERIAL STOCKPIILING, ETC. ASSOCIATED WITH CONSTRUCTION OF THE PROJECT WILL BE RESTRICTED TO THOSE AREAS OUTSIDE THE PROPOSED FOREST CONSERVATION EASEMENT...

D. SEQUENCE OF CONSTRUCTION
THE FOLLOWING TIMETABLE REPRESENTS THE PROPOSED TIMETABLE FOR DEVELOPMENT. THE ITEMS OUTLINED IN THE FOREST CONSERVATION PLAN WILL BE ENACTED WITHIN TWO (2) YEARS OF SUBDIVISION APPROVAL.

E. CONSTRUCTION MONITORING
A QUALIFIED PROFESSIONAL DESIGNATED BY THE DEVELOPER, WILL MONITOR CONSTRUCTION OF THE PROJECT TO ENSURE THAT ALL ACTIVITIES ARE IN COMPLIANCE WITH THE FOREST CONSERVATION PLAN.

F. POST-CONSTRUCTION MEETING
UPON COMPLETION OF CONSTRUCTION, A QUALIFIED PROFESSIONAL DESIGNATED BY THE DEVELOPER, WILL NOTIFY THE COUNTY THAT CONSTRUCTION HAS BEEN COMPLETED AND ARRANGE FOR A POST-CONSTRUCTION MEETING TO REVIEW THE PROJECT SITE...

POST-CONSTRUCTION MANAGEMENT PLAN

HOWARD COUNTY REQUIRES A THREE YEAR POST-CONSTRUCTION MANAGEMENT PLAN TO BE PREPARED AS PART OF THE FOREST CONSERVATION PLAN. THE PLAN GOES INTO EFFECT UPON ACCEPTANCE OF THE CONSTRUCTION CERTIFICATION OF COMPLETION BY THE COUNTY...

A. FENCING AND SIGNAGE
PERMANENT SIGNAGE INDICATING THE LIMITS OF THE RETENTION/REFORESTATION/AFFORESTATION AREA SHALL BE MAINTAINED.

B. GENERAL SITE INSPECTIONS/MAINTENANCE OF PLANTINGS
SITE INSPECTIONS WILL BE PERFORMED A MINIMUM OF THREE TIMES DURING THE GROWING SEASON, THE PURPOSE OF THE INSPECTIONS WILL BE TO ASSESS THE HEALTH OF THE REFORESTATION/AFFORESTATION PLANTINGS...

C. EDUCATION
THE DEVELOPER WILL PROVIDE APPROPRIATE MATERIALS TO PROPERTY OWNERS INFORMING THEM OF THE LOCATION AND PURPOSE OF THE REFORESTATION/AFFORESTATION AREA...

D. FINAL INSPECTION
AT THE END OF THE THREE YEAR POST-CONSTRUCTION MANAGEMENT PLAN, A QUALIFIED PROFESSIONAL WILL SUBMIT TO THE ADMINISTRATOR OF THE HOWARD COUNTY FOREST CONSERVATION PROGRAM CERTIFICATION THAT ALL RETENTION/REFORESTATION/AFFORESTATION REQUIREMENTS HAVE BEEN MET...

PLANTING NOTES:

- PLANTING DENSITY BASED SPACING REQUIREMENTS.
- PLANTING MAY BE MADE IN A CURVILINEAR FASHION ALONG CONTOUR. THE PLANTING SHOULD AVOID A GRID APPEARANCE BUT SHOULD BE SPACED TO FACILITATE MAINTENANCE.

1. INSTALLATION OF BAREROOT/PLUG PLANT STOCK SHALL TAKE PLACE BETWEEN MARCH 15 - APRIL 20; B&B/CONTAINER STOCK MARCH 15 - MAY 30 OR SEPTEMBER 15 - NOVEMBER 15.

2. DISTURBED AREAS SHALL BE SEEDED AND STABILIZED AS PER GENERAL CONSTRUCTION PLAN FOR PROJECT. PLANTING AREAS NOT IMPACTED BY SITE GRADING SHALL HAVE NO ADDITIONAL TOPSOIL INSTALLED.

3. BAREROOT PLANTS SHALL BE INSTALLED SO THAT THE TOP OF ROOT MASS IS LEVEL WITH THE TOP OF EXISTING GRADE. ROOTS SHALL BE COVERED IN AN ANTI-DESICCANT GEL PRIOR TO PLANTING.

4. FERTILIZER SHALL CONSIST OF AGRIFORM 22-8-2, OR EQUIVALENT, APPLIED AS PER MANUFACTURER'S SPECIFICATIONS FOR WOODY PLANTS.

5. PLANT MATERIAL SHALL BE TRANSPORTED TO THE SITE IN A TARPED OR COVERED TRUCK. PLANTS SHALL BE KEPT MOST PRIOR TO PLANTING.

6. THE CONTRACTOR SHALL REMOVE ALL NON-ORGANIC DEBRIS ASSOCIATED WITH THE PLANTING OPERATION FROM THE SITE.

7. SEEDING CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH GENERAL CONSTRUCTION PLAN FOR SITE.

8. PLANTS SHALL BE INSTALLED AS PER PLANT SCHEDULE AND THE PLANTING/SOIL SPECIFICATIONS FOR THE PROJECT.

9. UPON COMPLETION OF THE PLANTING, SIGNAGE SHALL BE INSTALLED AS SHOWN REQUIRMENTS FOR PROJECT.

10. MAINTENANCE OF PLANTINGS SHALL LAST FOR A PERIOD OF THREE YEARS.

11. PLANTINGS MUST RECEIVE 2 GALLONS OF WATER, EITHER THROUGH PRECIPITATION OR WATERING, WEEKLY DURING THE 1ST GROWING SEASON, AS NEEDED.

12. INVASIVE EXOTICS AND NOXIOUS WEEDS WILL BE REMOVED, AS REQUIRED, FROM PLANTING AREAS MECHANICALLY AND/OR WITH LIMITED HERBICIDE. OLD FIELD SUCCESSIONAL SPECIES WILL BE RETAINED.

13. PLANTS SHALL BE EXAMINED A MINIMUM TWO TIMES DURING THE GROWING SEASON FOR SERIOUS PLANT PESTS AND DISEASES. SERIOUS PROBLEMS WILL BE TREATED WITH THE APPROPRIATE AGENT.

14. DEAD BRANCHES WILL BE PRUNED FROM PLANTINGS.

15. GUARANTEE REQUIREMENTS

1. IF PLANT MORTALITY OF REFORESTATION OR AFFORESTATION EXCEEDS 10% OF PLANTED MATERIAL AT THE END OF THE FIRST GROWING SEASON, REPLACEMENT PLANTING SHOULD BE DONE TO BRING THE TOTAL NUMBER OF TREES TO 80% OF THE ORIGINAL TOTAL...

2. IF AT THE END OF THE SECOND GROWING SEASON, THE SURVIVAL RATE DROPS BELOW 75%, SUCH MATERIAL AS NEEDED TO GUARANTEE A 75% SURVIVAL RATE SHOULD BE INSTALLED...

3. IF EXTENSIVE REPLANTING IS NEEDED TO MEET THE 75% SURVIVAL RATE AT THE END OF THE THIRD GROWING SEASON, THE MAINTENANCE PERIOD WILL BE EXTENDED...

EDUCATION OF NEW OCCUPANTS

1. THE DEVELOPER SHALL PROVIDE EDUCATIONAL INFORMATION TO ALL PROPERTY OWNERS WITHIN THE NEW DEVELOPMENT/HOME ABOUT THE PROPER USE OF FOREST CONSERVATION AREAS.

FINAL INSPECTION AND RELEASE OF OBLIGATIONS

1. AT THE END OF THE POST-CONSTRUCTION MANAGEMENT AND PROTECTION PERIOD THE DEVELOPER SHALL SUBMIT A CERTIFICATION TO THE COUNTY THAT ALL FOREST CONSERVATION AREAS HAVE REMAINED INTACT OR HAVE BEEN RESTORED TO APPROPRIATE CONDITION...

PLANTING TO BE PROVIDED

1.3 ACRES
1" CALIPER TREES
260 TREES @ 200 TREES PER ACRE OR EQUAL

FOREST CONSERVATION EASEMENT TABLE

Table with 2 columns: EASEMENT and REFORESTATION. Rows include FCE#1 (0.65 AC), FCE#2B (0.03 AC), FCE#2C (0.02 AC), FCE#3A (0.13 AC), FCE#4B (0.24 AC), FCE#4D (0.11 AC), FCE#5A (0.15 AC), and TOTAL (1.3 AC).

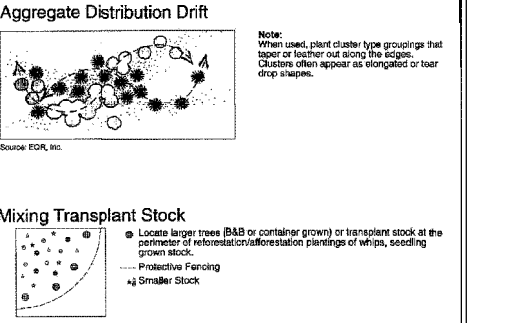
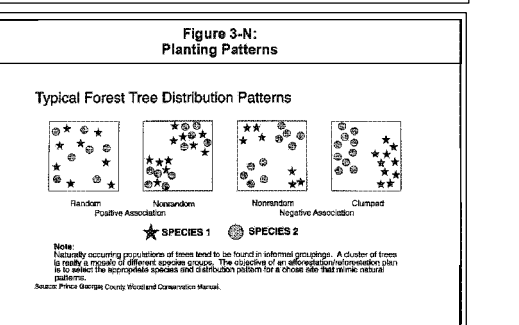
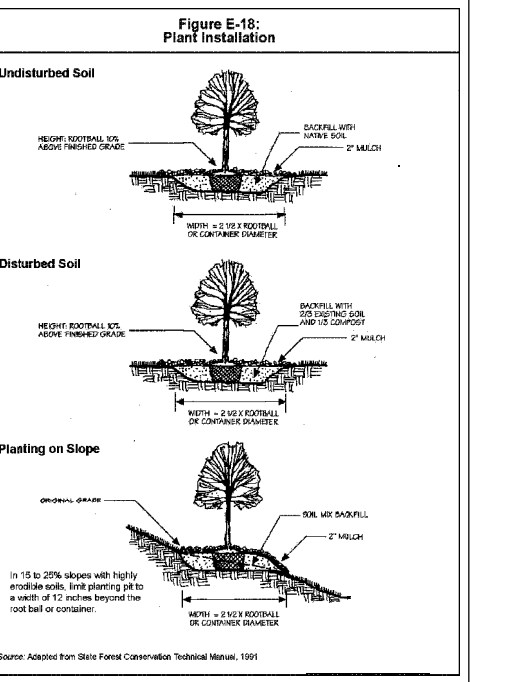
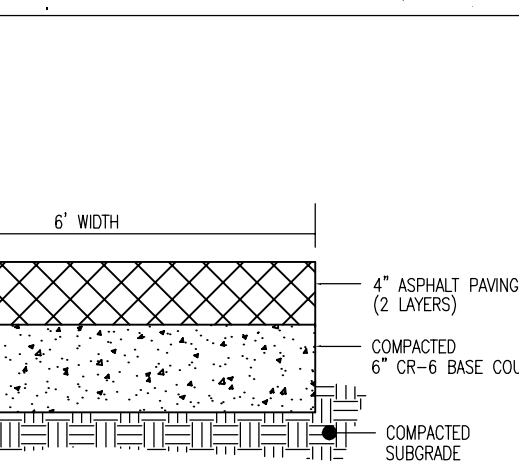


Table with columns: Size, Number Required, Approximate Spacing, and Recommendations. Rows include Oak Tree (6" to 10"), Cedar Tree (6" to 10"), and Spruce Tree (6" to 10").



TYPICAL SECTION DETAIL ASPHALT PATHWAY

NOT TO SCALE

FCE 4A & 4B - TRAIL NOTE

THE PATHWAY THROUGH ANY CREATED FOREST CONSERVATION AREA SHALL BE: 1. 6 FEET WIDE, 2. MAXIMUM CROSS-SLOPE SHALL NOT EXCEED 2%, 3. LIMITED TO THE ALIGNMENT AND GRADE SHOWN TO LIMIT DISTURBANCE AND ENSURE CANOPY IS MAINTAINED, 4. BE ADJUSTED TO MINIMIZE IMPACTS TO SPECIMEN TREES.

THE PATHWAY IS SHOWN ALONG THE EXISTING SERVICE DRIVEWAY ALIGNMENT UP TO CLEARSTREAM PATH FOR THE DESIRED CONNECTION TO NEW CUD ROAD.

IN ACCORDANCE WITH WP-21-012, THE EXISTING PAVED SERVICE DRIVEWAY SHALL BE REMOVED TO A REDUCED WIDTH OF 6 FEET. THIS IS IN CONFORMANCE WITH THE REQUIREMENTS OUTLINED IN THE FOREST CONSERVATION MANUAL AND PROVIDES THE DESIRED CONNECTION.

A MITIGATION TRACKING CHART FOR THE 248 (216 + 32) SPECIMEN TREES MITIGATION SHALL BE PROVIDED ON THE SUBSEQUENT PLANS. THE SPECIMEN TREE MITIGATION SHALL BE PROVIDED IN OPEN AREAS THROUGHOUT THE OVERALL TAYLOR HIGHLANDS PROJECT.

REFER TO: SHEET 1 GENERAL NOTE 42 - WP-21-012, BA-#787-D GENERAL NOTE 44 - CE-20-04 & CE-20-05 SHEET 2 GENERAL NOTE 46 - WP-17-048

SCHEDULE A PERIMETER LANDSCAPE EDGE table with columns: CATEGORY, ADJACENT TO ROADWAYS AND PERIMETER PRIORITIES, and TOTAL. Includes rows for PERIMETER LANDSCAPE DESIGNATION, CREDIT FOR EXISTING VEGETATION, and NUMBER OF PLANTS REQUIRED.

LANDSCAPE NOTES:

1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL...

2. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS...

3. SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS...

4. PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE FINAL PLAN.

5. SURETY FOR THE PROPOSED LANDSCAPING SHALL BE BASED ON THE NUMBER OF PLANTINGS REQUIRED.

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE LANDSCAPING SHOWN IS CONCEPTUAL. THE FINAL LANDSCAPING PLAN WILL BE REVIEWED AT THE FINAL PLAN OR SDP STAGE.

2. PUBLIC STREET TREES ARE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(c)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. STREET TREES WILL BE REVIEWED AT THE FINAL PLAN OR SDP STAGE.

3. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS...

4. WETLANDS, STREAMS AND THEIR REQUIRED BUFFERS SHOWN ON SITE ARE BASED ON DELINEATION AND REPORT PREPARED BY ECOTONE, INC., SEAN McDONOUGH, ENVIRONMENTAL SCIENTIST, MAY 2016.

5. NO GRADING, REMOVAL OF VEGETATIVE COVER, TREES, FENCES AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS...

6. THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED MARCH 27, 2010.

7. THE EXISTING TOPOGRAPHY SHOWN HEREON IS TAKEN FROM AERIAL TOPOGRAPHIC SURVEY WITH 2 FOOT CONTOUR MARCH 27, 2010 AND SUPPLEMENTED WITH FIELD-RUN TOPOGRAPHY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC. AND VOGEL ENGINEERING - TIMMONS GROUP.

8. FOREST STAND DELINEATION AND SPECIMEN TREE IDENTIFICATION PLAN PREPARED BY ECOTONE, INC., SEAN McDONOUGH, ENVIRONMENTAL SCIENTIST, MAY 2016.

9. AN UPDATED REPORT TITLED WETLAND, FOREST STAND DELINEATION AND PRELIMINARY FOREST CONSERVATION PLAN REPORT WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC., MS. MYRA BROSIUS - ISA CERTIFIED ARBORIST, CERT. ID. MA54114. TREE RISK ASSESSMENT QUALIFIED, MD DNR FCA QUALIFIED PROFESSIONAL, DATED DECEMBER 15, 2021.

10. THE REMOVAL OF TREES 30" OR GREATER DBH IS PROHIBITED WITHOUT COUNTY APPROVAL. NO STATE CHAMPION TREES OR TREES 75% OF THE DIAMETER OF A STATE CHAMPION TREE EXISTS ON SITE.

SPECIMEN TREE NOTE:

1. THIS PLAN CALLS FOR 72 OF THE EXISTING SPECIMEN TREES TO BE REMOVED (REF. WP-17-048). MITIGATION FOR THE REMOVAL OF 72 SPECIMEN TREES SHALL BE PROVIDED AT A 3:1 RATIO (TOTALING 216 SHADE TREES) REFER TO CE-20-04 AND CE-20-05, THE PLANTINGS SHALL HAVE A CALIPER OF NO LESS THAN 3" AND WILL BE BONDED AS PART OF THE LANDSCAPING SURETY WITH FUTURE PLANS.

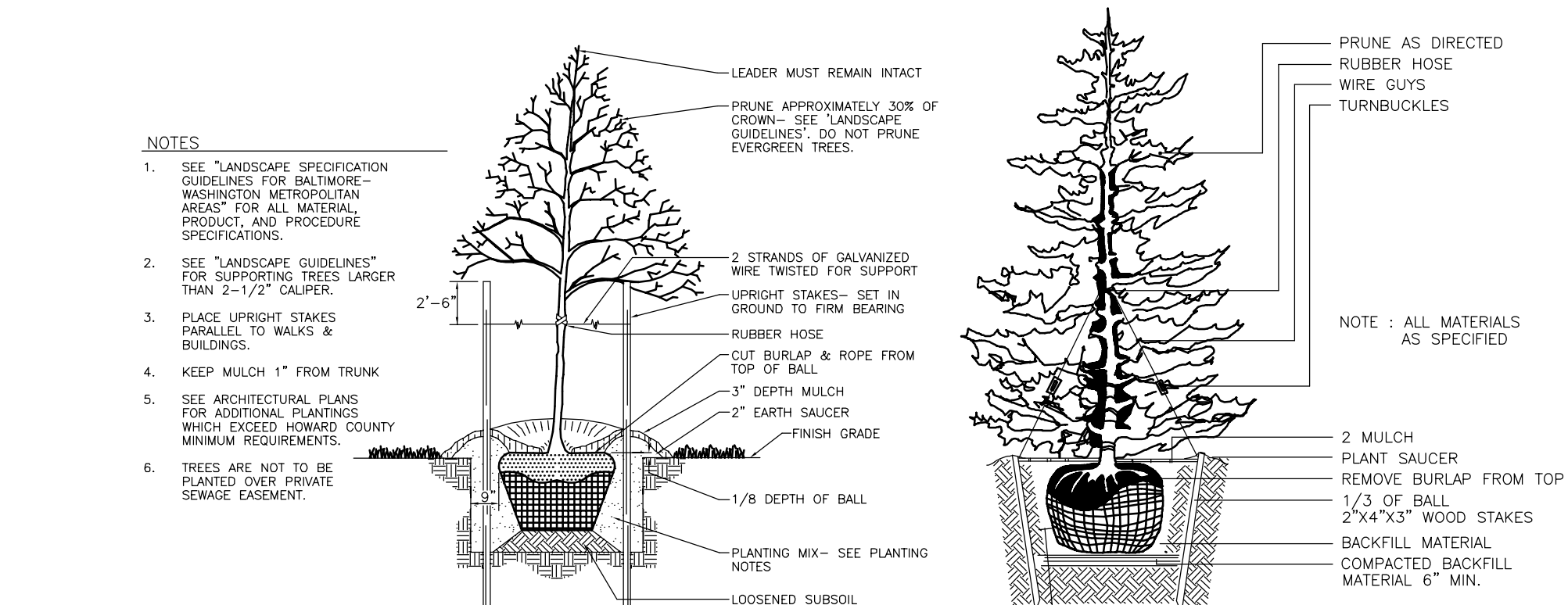
IN 2020, ADDITIONAL SPECIMEN TREES WERE IDENTIFIED. THIS OVERALL PROJECT ALSO CALLS FOR THE REMOVAL OF 16 EXISTING SPECIMEN TREES (REF. WP-21-012 AND BOARD OF APPEALS D-04#787-00). MITIGATION FOR THE REMOVAL OF THE 16 SPECIMEN TREES SHALL BE PROVIDED AT A 2:1 RATIO (TOTALING 32 SHADE TREES). THE PLANTINGS SHALL BE BONDED AS PART OF THE LANDSCAPING SURETY WITH FUTURE PLANS.

SPECIMEN TREE MITIGATION

Table with 2 columns: SPECIMEN TREE MITIGATION and TOTAL. Rows include NUMBER OF SPECIMEN TREES TO BE REMOVED, NUMBER OF SPECIMEN TREES TO BE REPLACED, SHADE TREES TO BE REQUIRED, and NUMBER OF REPLACEMENT TREES REQUIRED (MITIGATION).

A MITIGATION TRACKING CHART FOR THE 248 (216 + 32) SPECIMEN TREES MITIGATION SHALL BE PROVIDED ON THE SUBSEQUENT PLANS. THE SPECIMEN TREE MITIGATION SHALL BE PROVIDED IN OPEN AREAS THROUGHOUT THE OVERALL TAYLOR HIGHLANDS PROJECT.

REFER TO: SHEET 1 GENERAL NOTE 42 - WP-21-012, BA-#787-D GENERAL NOTE 44 - CE-20-04 & CE-20-05 SHEET 2 GENERAL NOTE 46 - WP-17-048



TREE PLANTING AND STAKING

DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

LANDSCAPE SCHEDULE NOTE:

1. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL. CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRO PLANTING SPECIFICATIONS.

2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.

3. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLANT DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

STREET TREE CALCULATIONS table with columns: STREET NAME, LINEAR FEET, NO. REQUIRED, NO. PROVIDED. Rows include CRESTED VIEW, VIEWPATH ROAD, CLEARSTREAM PATH, EVEN PATH, TAYLOR WAY.

PARKING LOT INTERNAL LANDSCAPING table with columns: NUMBER OF PARKING SPACES, NUMBER OF TREES REQUIRED, SHADE TREES, OTHER TREES. Rows include 184 total spaces and 19 total trees.

LANDSCAPE SCHEDULE 'C' table with columns: NUMBER OF DWELLING UNITS, NUMBER OF TREES REQUIRED, OTHER TREES, SHRUBS. Rows include 91 SFA / 161 APT* and 147 total trees.

SP-16-013b = 161 APT (PHASE 1) S-21-0011 = 7 APT (PHASE 2) TOTAL 167 APT UNITS

DPZ'S POLICIES GOVERNING THE PLACEMENT OF LANDSCAPING AND STREET TREES IN PROXIMITY TO BGE'S POWER LINES OR TRANSMISSION RIGHT-OF-WAY ARE BASED ON BGE'S PUBLISHED 'PLANTING ZONE CONCEPT' WHICH STIPULATES THE MAXIMUM ALLOWABLE SIZE OF PLANT MATERIALS FOR THREE DEFINED ZONES...

Table with columns: ZONE, DISTANCE FROM THE BGE POWER LINE OR TRANSMISSION RIGHT-OF-WAY, MAXIMUM HEIGHT OF VEGETATION. Rows include GREEN (0 to 20 FEET), YELLOW (BETWEEN 20 FEET AND 45 FEET), and RED (BEYOND 45 FEET).

B & E NOTES:

1. BGE RESERVES THE RIGHT TO TRIM, TOP OR CUT DOWN ANY TREE IN PROXIMITY TO THE LINE THAT IN THE OPINION OF BGE SHALL BE DEEMED A HAZARD TO THE SAFE AND RELIABLE DELIVERY OF ELECTRICITY.

2. THE DEPARTMENT OF PLANNING AND ZONING MAY AUTHORIZE THE TRIMMING OR REMOVAL OF TREES OR VEGETATION IMMEDIATELY ADJACENT TO THE BGE R/W OR EASEMENT, IF BGE DETERMINES THE TREES ARE COMPROMISING THE SAFETY OR A TRANSMISSION LINE LOCATED WITHIN THEIR UTILITY R/W OR EASEMENT...

3. CALL MISS UTILITY TO MARK UP THE LOCATION OF EXISTING GAS LINE BEFORE PLANTING STREET TREES ALONG COLLEGE AVENUE & NEW CUT ROAD & PLANT STREET TREES 10' AWAY FROM EXISTING GASLINE AS REQUIRED.

OWNER PARCEL 73, OWNER PARCEL 74, OWNER PARCEL 93, DEVELOPER. Includes contact information for Taylor Service Company, Taylor Elliott Properties Inc., and Taylor Place Development Corporation.

Table with columns: NO., REVISION, DATE. Includes revision 1 on 07/27/2023.

PRELIMINARY EQUIVALENT SKETCH PLAN

PRELIMINARY LANDSCAPE & FOREST CONSERVATION NOTES & DETAILS

TAYLOR HIGHLANDS PHASE 1

LOTS 1-91 O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOMES APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

TAX MAP: 25, BLOCK: 20, 2ND ELECTION DISTRICT, PARCEL: 73 & 74, HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING



TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043, P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: VETG, DRAWN BY: VETG, CHECKED BY: RHV, DATE: SEPTEMBER 2023, SCALE: AS SHOWN, W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

43 SHEET OF 50

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY. Planning Director: Linda Benzler, Date: 11/15/2023

Logo for Eco-Science Professionals, Inc. Consulting Ecologists. P.O. Box 990, Glen Arden, Maryland 21887. J. Brody McAllister, ISA Certified Arborist, Cert ID: MA6471A, MD DNR FCA Qualified Professional.

Logo for J. Brody McAllister, ISA Certified Arborist, Cert ID: MA6471A, MD DNR FCA Qualified Professional.

Typical Central Mail Delivery Box (CBU) or Approved Equal diagram showing dimensions and a note from Mailbox.com: Visit us at: www.mailboxes.com

Table with 10 columns: NUMBER, FSO/REPORT, COMMON NAME, SPECIES, DBH, CRZ, CONDITION, COMMENTS, REMOVAL APPROVED UNDER (WP-17-048), REMOVAL APPROVED UNDER (WP-21-012 AND BA-787-0). Rows 1-60.

Table with 10 columns: NUMBER, FSO/REPORT, COMMON NAME, SPECIES, DBH, CRZ, CONDITION, COMMENTS, REMOVAL APPROVED UNDER (WP-17-048), REMOVAL APPROVED UNDER (WP-21-012 AND BA-787-0). Rows 61-120.

Table with 10 columns: NUMBER, FSO/REPORT, COMMON NAME, SPECIES, DBH, CRZ, CONDITION, COMMENTS, REMOVAL APPROVED UNDER (WP-17-048), REMOVAL APPROVED UNDER (WP-21-012 AND BA-787-0). Rows 121-200.

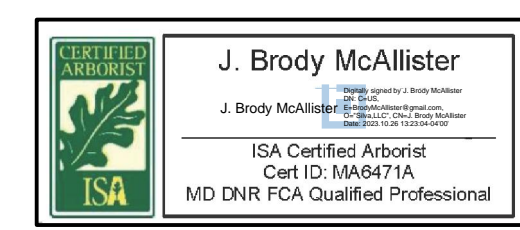
SPECIMEN TREES LISTED HEREON ARE FROM THE FOREST STAND DELINEATION AND SPECIMEN TREE IDENTIFICATION PLAN PREPARED BY ECOTONE, INC., SEAN McDONOUGH, ENVIRONMENTAL SCIENTIST, MAY 2016. AND AS UPDATED IN THE REPORT TITLED WETLAND, FOREST STAND DELINEATION AND PRELIMINARY FOREST CONSERVATION PLAN REPORT PREPARED BY ECO-SCIENCE PROFESSIONALS, INC., MS. MYRA BROSIUS - ISA CERTIFIED ARBORIST, CERT. ID. MA5411A, TREE RISK ASSESSMENT QUALIFIED, MD DNR FCA QUALIFIED PROFESSIONAL, DATED DECEMBER 15, 2021.

STUDIES IDENTIFYING SPECIMEN TREES VALID TO DECEMBER 2026 PER SECTION 16.1204(C)

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500. OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500. OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500. DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500.

Table with 3 columns: NO., REVISION, DATE.

PRELIMINARY EQUIVALENT SKETCH PLAN. SPECIMEN TREE CHART. TAYLOR HIGHLANDS PHASE 1. LOTS 1-9, 0.5 LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL "A". TAX MAP: 25, BLOCK: 20, 2ND ELECTION DISTRICT. PARCEL: 73 & 74, HOWARD COUNTY, MARYLAND. VOGEL ENGINEERING + TIMMONS GROUP. 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043. P: 410.461.7666 F: 410.461.8961 www.timmons.com



Eco-Science Professionals, Inc. CONSULTING ECOLOGISTS. P.O. BOX 506 GREEN SPRING, MARYLAND 21087. Telephone (410) 653-7540 www.eco-scienceofprofs.com

PROFESSIONAL CERTIFICATE. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024. DESIGN BY: VETG. CHECKED BY: RHY. DATE: OCTOBER 2023. SCALE: AS SHOWN. W.O. NO.: 09-39/2018121. 44 SHEET OF 50.

TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY. DocuSigned by: Lynda Eberly, PLANNING DIRECTOR. 11/15/2023 DATE

TAYLOR HIGHLANDS - PRELIMINARY EQUIVALENT SKETCH PLAN
CR-123-2019 STORMWATER MANAGEMENT
PRELIMINARY PROJECT SUMMARY
STUDY POINT A

STORM EVENT	EXISTING CONDITIONS	PROPOSED CONDITIONS SW/ SWM
1-YEAR	32.2	17.9
10-YEAR	47.6	52.8
100-YEAR	93.2	93.6
3.53HR / 6.6" FLOOD	155.0	159.0

TAYLOR HIGHLANDS - PRELIMINARY EQUIVALENT SKETCH PLAN
CR-123-2019 STORMWATER MANAGEMENT
PRELIMINARY PROJECT SUMMARY
STUDY POINT C

STORM EVENT	EXISTING CONDITIONS	PROPOSED CONDITIONS SW/ SWM
1-YEAR	59.8	17.4
10-YEAR	74.5	55.6
100-YEAR	141.8	115.7
3.53HR / 6.6" FLOOD	235.4	189.4

TAYLOR HIGHLANDS - PRELIMINARY EQUIVALENT SKETCH PLAN
CR-123-2019 STORMWATER MANAGEMENT
PRELIMINARY PROJECT SUMMARY
TOTAL DISCHARGE TO TIBER BRANCH WATERSHED

STORM EVENT	EXISTING CONDITIONS	50% REDUCTION	ADJUSTED EXISTING CONDITIONS	PRELIMINARY PROPOSED CONDITIONS SW/ SWM
1-YEAR	30.9	3.1	27.8	31.4
10-YEAR	119.5	12.0	107.6	101.3
100-YEAR	230.9	23.1	207.8	200.4
3.53HR / 6.6" FLOOD	384.2	38.4	345.8	340.9

NOTES: 1. THE PRELIMINARY HYDROLOGIC AND HYDRAULIC COMPUTATIONS PROVIDED HEREIN RESULT IN AN ESTIMATE OF THAT REQUIRED TO PROVIDE QUANTITY MANAGEMENT AS REQUIRED BY CR-123-2019.
2. IN ACCORDANCE WITH CR-123-2019, THE MODELLED EXISTING CONDITIONS REPRESENT "WOODS IN GOOD CONDITION" WHICH HAVE BEEN FURTHER REDUCED BY 10%.
NOTE: SUBJECT TO CHANGE WITH FINAL SWM DESIGN

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- MICRO BIORETENTION (MBR) (M-6)
- BIO-SWALE (M-8)
- BIORETENTION (BR)
- PERMEABLE SURFACE (A-2)
- SAND FILTER AREA
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- SOILS
- EXISTING TREELINE (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING TREES (FIELD LOCATED)
- EXISTING FENCE
- CENTERLINE OF EXISTING STREAM
- CENTERLINE OF EXISTING STREAM
- EX STEEP SLOPES
- DRAINAGE AREA LABEL
- DRAINAGE DIVIDE
- EXISTING SPECIMEN TREE

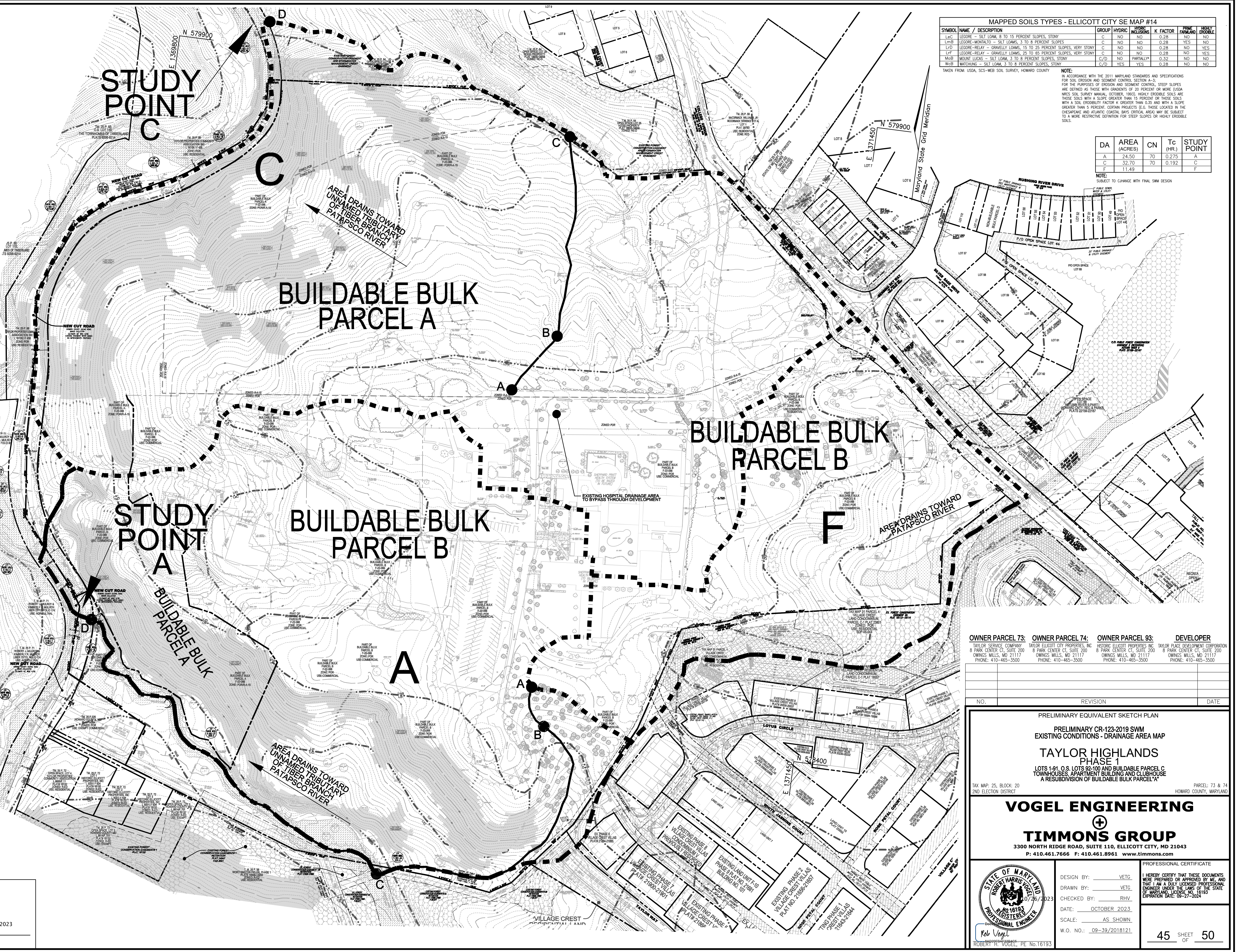
CR-123-2019 QUANTITY STORMWATER MANAGEMENT DRAINAGE AREA MAP
SCALE: 1" = 100'
SCALE 1"=100'

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

DocuSigned by:
Lynnda Eisenberg
202835883942E

11/15/2023

PLANNING DIRECTOR DATE



MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT HUMUS	K FACTOR	PERCENT SAND	PERCENT STONE
LmC	LEGORE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C	NO	NO	0.28	NO	NO
LmB	LEGORE-MONTALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	C	NO	NO	0.28	YES	NO
LpD	LEGORE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	C	NO	NO	0.28	NO	YES
LpF	LEGORE-RELAY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	C	NO	NO	0.28	NO	YES
MmB	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C/D	NO	PARTIALLY*	0.32	NO	NO
WmB	WATCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C/D	YES	YES	0.28	NO	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NEDS SOIL SURVEY MANUAL, OCTOBER 1980). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL SUSCEPTIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHEAPSTEAK AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

DA	AREA (ACRES)	CN	Tc (HR)	STUDY POINT
A	24.50	70	0.275	A
C	32.70	70	0.192	C
F	11.49	70	0.192	F

NOTE: SUBJECT TO CHANGE WITH FINAL SWM DESIGN

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
 OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
 OWNER PARCEL 83: HISTORIC ELLICOTT PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500
 DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
EXISTING CONDITIONS - DRAINAGE AREA MAP
TAYLOR HIGHLANDS PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

STATE OF MARYLAND
ROBERT H. VOGEL
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 07/26/2023

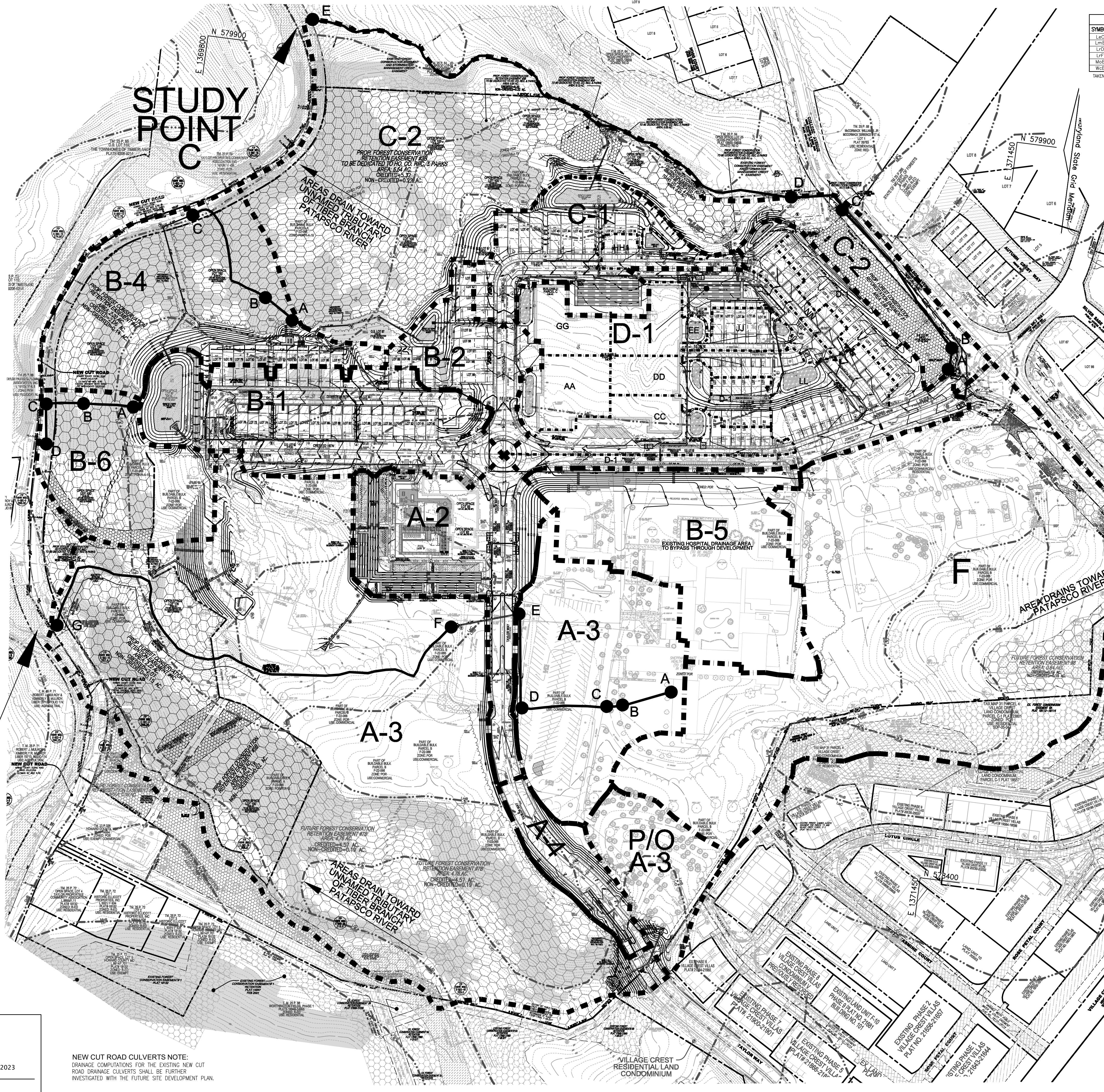
DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHV
DATE: OCTOBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

45 SHEET OF 50

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- MICRO BIORETENTION (MBR) (M-6)
- BIO-SWALE (M-6)
- BIORETENTION (BR)
- PERMEABLE SURFACE (A-2)
- SAND FILTER AREA
- PRIVATE ROAD EASEMENT TO BENEFIT THE FUTURE DEVELOPMENT OF BUILDABLE BULK PARCEL A & BUILDABLE BULK PARCEL B
- SOILS
- EXISTING TREELINE (FOREST / FSD)
- EXISTING TREELINE (NON FOREST)
- EXISTING TREES (FIELD LOCATED)
- EXISTING FENCE
- CENTERLINE OF EXISTING STREAM
- CENTERLINE OF EXISTING STREAM
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED TREELINE
- PROPOSED CURB
- PROPOSED STREET LIGHT
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- EX STEEP SLOPES
- DRAINAGE AREA LABEL
- DRAINAGE DIVIDE
- VARIABLE-WIDTH PUBLIC WATER SENSER AND UTILITY EASEMENT
- PROPOSED STREET SIGN
- EXISTING SPECIMEN TREE
- FOREST CONSERVATION EASEMENT (RETENTION)



MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT HUMUS	K FACTOR	PERCENT SAND	PERCENT SILT	PERCENT CLAY	PERCENT ROCK
LAC	LEGORE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C	NO	NO	0.28	NO	NO	NO	NO
LMB	LEGORE-MONTALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	C	NO	NO	0.28	YES	NO	NO	NO
LVD	LEGORE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	C	NO	NO	0.28	NO	NO	NO	YES
LVP	LEGORE-RELAY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	C	NO	NO	0.28	NO	NO	NO	YES
MBS	MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C/D	NO	PARTIAL**	0.32	NO	NO	NO	NO
WBS	WATCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C/D	YES	YES	0.28	NO	NO	NO	NO

NOTES:
 1. IN ACCORDANCE WITH THE 2011 WETLAND STANDARDS AND SPECIFICATIONS FOR SOIL EXPOSURE AND SEEDING CONTROL, SECTION A-3.3 FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NCS-2 SOIL SURVEY MANUAL, OCTOBER 1983). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL DRAINABILITY FACTOR K GREATER THAN 0.33 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PRODUCTS (E.G. THOSE LOCATED IN THE CHEAPSHAKE AND ATLANTIC COASTAL BAYS DRIFTAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

DA	AREA (ACRES)	CN	Tc (HR)	STUDY POINT
A2	2.80	93	0.100	A
A3	20.75	75	0.282	A
A4	0.75	91	0.100	A
B1	3.40	90	0.100	C
B2	1.20	83	0.100	C
B4	3.60	72	0.100	C
B5	2.87	85	0.100	C
B6	2.00	71	0.174	C
C1	1.66	84	0.100	C
C1HH	0.31	89	0.100	C
C2	8.29	71	0.16	C
D1	1.80	90	0.100	C
MBRRA	0.58	93	0.100	C
MBRCC	0.48	93	0.100	C
MBRDD	0.40	90	0.100	C
MBREE	0.43	95	0.100	C
MBRGC	0.52	93	0.100	C
MBRLL	1.10	90	0.100	C
MBRNL	1.04	88	0.100	C
MBRUJ	0.32	94	0.100	C
F	11.8			F

NOTE:
SUBJECT TO CHANGE WITH FINAL SWM DESIGN

TAYLOR HIGHLANDS - PRELIMINARY EQUIVALENT SKETCH PLAN
CR-123-2019 STORMWATER MANAGEMENT
PRELIMINARY PROJECT SUMMARY

STORM EVENT	EXISTING CONDITIONS		* PRELIMINARY PROPOSED CONDITIONS W/ SWM	
	EXISTING	REDUCTION	EXISTING	PROPOSED
1-YEAR	22.2		17.9	
10-YEAR	47.6		52.8	
100-YEAR	98.2		93.6	
3.55yr / 6.6' FLOOD	155.0		159.0	

TAYLOR HIGHLANDS - PRELIMINARY EQUIVALENT SKETCH PLAN
CR-123-2019 STORMWATER MANAGEMENT
PRELIMINARY PROJECT SUMMARY

STORM EVENT	EXISTING CONDITIONS		* PRELIMINARY PROPOSED CONDITIONS W/ SWM	
	EXISTING	REDUCTION	EXISTING	PROPOSED
1-YEAR	19.8		17.4	
10-YEAR	74.5		55.6	
100-YEAR	141.8		115.7	
3.55yr / 6.6' FLOOD	235.4		189.4	

TAYLOR HIGHLANDS - PRELIMINARY EQUIVALENT SKETCH PLAN
CR-123-2019 STORMWATER MANAGEMENT
PRELIMINARY PROJECT SUMMARY

STORM EVENT	EXISTING CONDITIONS		ADJUSTED EXISTING CONDITIONS		* PRELIMINARY PROPOSED CONDITIONS W/ SWM	
	EXISTING	REDUCTION	EXISTING	ADJUSTED	EXISTING	PROPOSED
1-YEAR	30.8	3.1	27.8	31.4	31.4	
10-YEAR	119.4	12.0	107.6	109.3	109.3	
100-YEAR	290.9	23.1	267.8	260.4	260.4	
3.55yr / 6.6' FLOOD	384.2	38.4	345.8	345.8	345.8	

NOTES:
 1. THE PRELIMINARY HYDROLOGIC AND HYDRAULIC COMPUTATIONS PROVIDED HEREIN RESULT IN AN ESTIMATE OF THAT REQUIRED TO PROVIDE QUANTITY MANAGEMENT AS REQUIRED BY CR-123-2019.
 2. IN ACCORDANCE WITH CR-123-2019, THE MODELED EXISTING CONDITIONS REPRESENT "WOODS IN GOOD CONDITION" WHICH HAVE BEEN FURTHER REDUCED BY 30%.

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3000
OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3000
OWNER PARCEL 93: HISTORIC ELLICOTT PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3000
DEVELOPER: TAYLOR PLACE DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3000

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY CR-123-2019 SWM
 PROPOSED CONDITIONS - DRAINAGE AREA MAP
TAYLOR HIGHLANDS PHASE 1
 LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
 TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
 A RESUBDIVISION OF BUILDABLE BULK PARCEL 'A'

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT
 PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: VETG
 DRAWN BY: VETG
 CHECKED BY: RHV
 DATE: OCTOBER 2023
 SCALE: AS SHOWN
 W.O. NO.: 09-39/2018121

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2024

46 SHEET OF 50

CR-123-2019 QUANTITY STORMWATER MANAGEMENT DRAINAGE AREA MAP
 SCALE: 1"=100'
 SCALE: 1"=100'

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

Designed by: *Lynda Eisenberg*
 PLANNING DIRECTOR

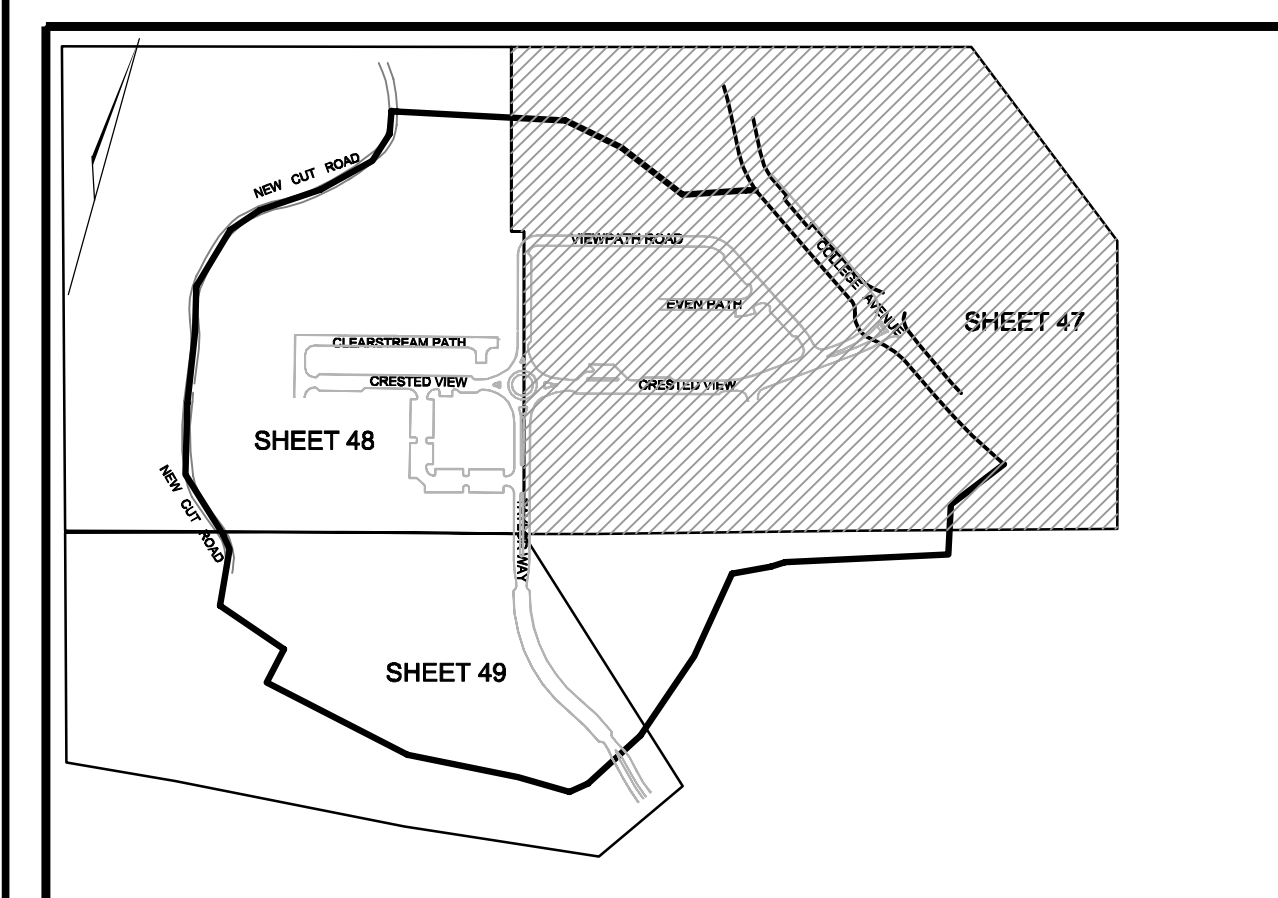
11/15/2023
 DATE

NEW CUT ROAD CULVERTS NOTE:
 DRAINAGE COMPUTATIONS FOR THE EXISTING NEW CUT ROAD DRAINAGE CULVERTS SHALL BE FURTHER INVESTIGATED WITH THE FUTURE SITE DEVELOPMENT PLAN.

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL / DESCRIPTION	GROUP	HYDRIC	PERCENT	K FACTOR	PERCENT	PERCENT	PERCENT	PERCENT
LcC LEGRE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO
LmB LEGRE-MOUNTAIN - SILT LOAM, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	NO	NO	NO	NO
LrD LEGRE-RELAY - GRAVELLY LOAM, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	NO	NO	NO
LrF LEGRE-RELAY - GRAVELLY LOAM, 25 TO 65 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	NO	NO	NO
MdM MOUNT LUCAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO	NO	NO
WbB WASHINGTON - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO	NO	NO

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION 4-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NRCS SOIL SURVEY MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.50 AND WITH A SLOPE GREATER THAN 5 PERCENT. CERTAIN PROJECTS (E.G. THOSE LOCATED IN THE CHEAPSKINE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

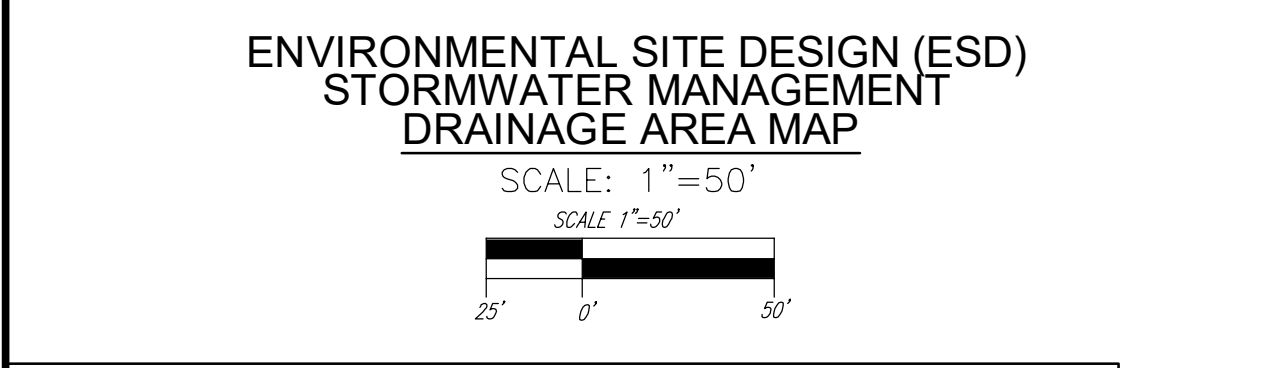


UNDERGROUND SWM FACILITIES
QUANTITY MANAGEMENT - CR-123-2019 (Q₁₀₀, Q₁₀₀₀)
PIPE STORAGE SYSTEMS

SWMF SAND FILTERS
HAZARD CLASS A
QUANTITY MANAGEMENT - CR-123-2019 (Q₁₀₀, Q₁₀₀₀)
SAND FILTER ESDV

THE PROJECT IS LOCATED IN AN UPSTREAM DRAINAGE AREA OF THE TIBER BRANCH ABOVE THE PATAPSCO RIVER, DRAINAGE BASIN, PER THE REQUIREMENTS OF CR-123-2019, A RESOLUTION AMENDING HOWARD COUNTY DESIGN MANUAL - VOLUME 1 (STORM DRAINAGE), 10-YEAR, 100-YEAR AND FLOOD PEAK MANAGEMENT PER CR-123-2019 IS REQUIRED.

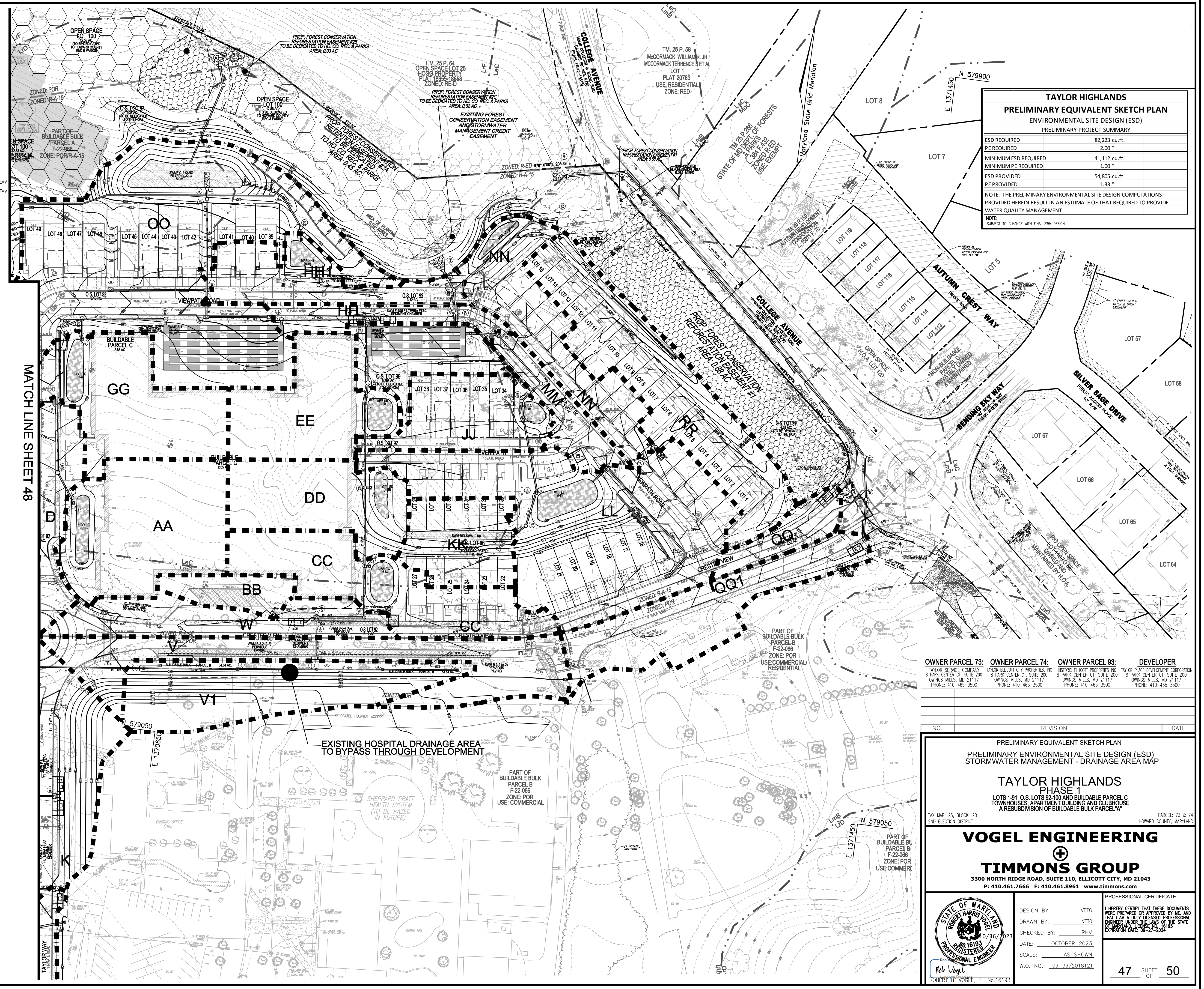
COMBINATION ESDV / QUALITY SAND FILTER AND QUANTITY CONTROL FACILITIES ARE PROPOSED.



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Documented by: *Linda Eisenberg*
PLANNING DIRECTOR

11/15/2023
DATE



TAYLOR HIGHLANDS
PRELIMINARY EQUIVALENT SKETCH PLAN
ENVIRONMENTAL SITE DESIGN (ESD)
PRELIMINARY PROJECT SUMMARY

ESD REQUIRED	82,223 cu.ft.
PE REQUIRED	2.00"
MINIMUM ESD REQUIRED	41,112 cu.ft.
MINIMUM PE REQUIRED	1.00"
ESD PROVIDED	54,805 cu.ft.
PE PROVIDED	1.33"

NOTE: THE PRELIMINARY ENVIRONMENTAL SITE DESIGN COMPUTATIONS PROVIDED HEREIN RESULT IN AN ESTIMATE OF THAT REQUIRED TO PROVIDE WATER QUALITY MANAGEMENT
NOTE: SUBJECT TO CHANGE WITH FINAL SWM DESIGN

OWNER PARCEL 73: TAYLOR SERVICE COMPANY, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

OWNER PARCEL 93: HISTORY: ELLICOTT PROPERTIES INC., 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION, 8 PARK CENTER CT, SUITE 200, OWINGS MILLS, MD 21117, PHONE: 410-465-3500

NO.	REVISION	DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY ENVIRONMENTAL SITE DESIGN (ESD)
STORMWATER MANAGEMENT - DRAINAGE AREA MAP

TAYLOR HIGHLANDS
PHASE 1
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

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PROFESSIONAL CERTIFICATE

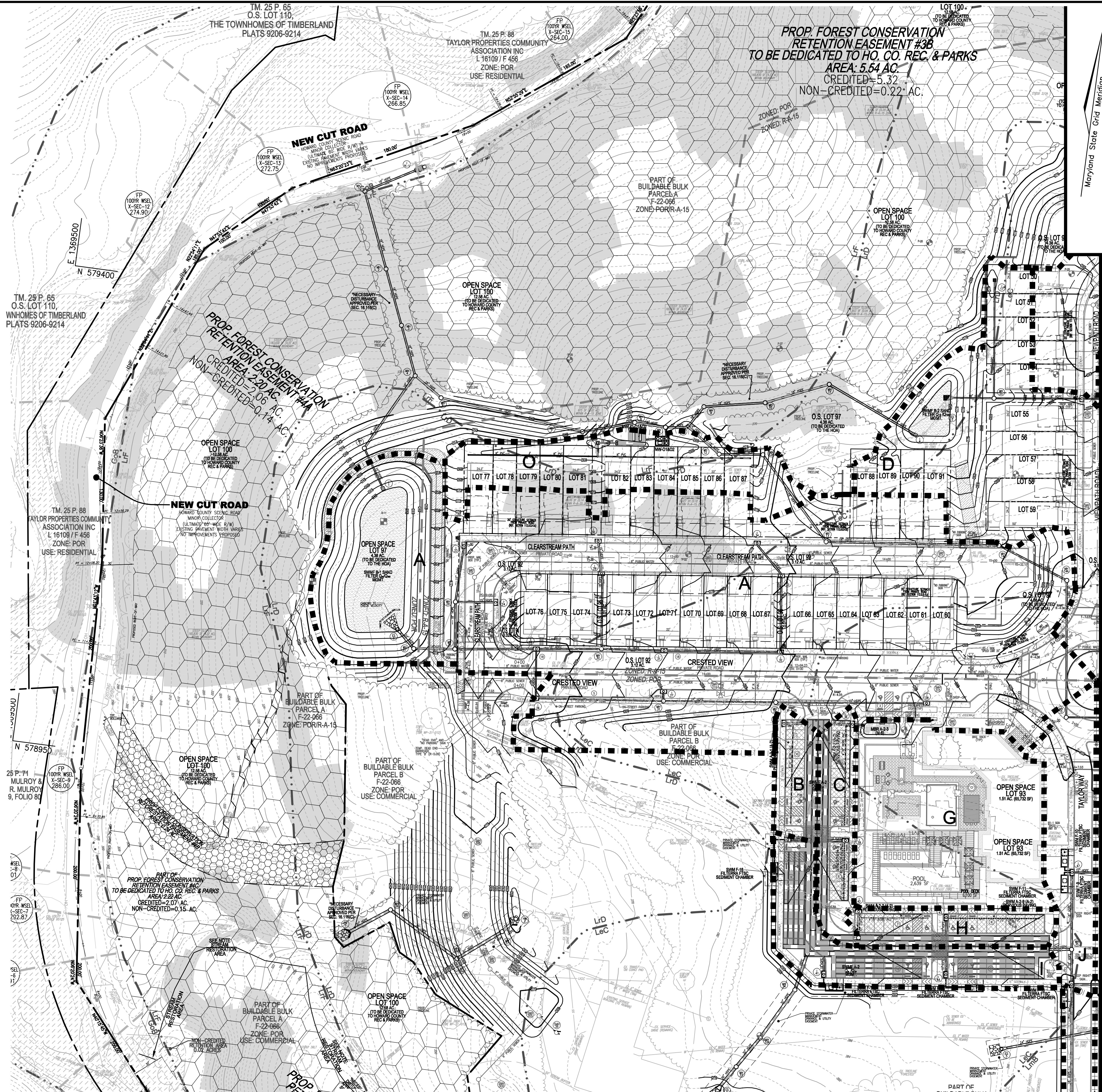
DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHW
DATE: OCTOBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

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47 SHEET OF 50

TAYLOR HIGHLANDS PRELIMINARY EQUIVALENT SKETCH PLAN ENVIRONMENTAL SITE DESIGN (ESD) PRELIMINARY PROJECT SUMMARY	
ESD REQUIRED	82,223 cu. ft.
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NOTE: THE PRELIMINARY ENVIRONMENTAL SITE DESIGN COMPUTATIONS PROVIDED HEREIN RESULT IN AN ESTIMATE OF THAT REQUIRED TO PROVIDE WATER QUALITY MANAGEMENT
NOTE:
SUBJECT TO CHANGE WITH FINAL SWM DESIGN



MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14									
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT	K FACTOR	RISK	ERODIBLE	USDA	USDA
L1C	LEGRE - SILT CLAY, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO	NO	NO
L1B	LEGRE-MONTAUDO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO	NO	NO
L1D	LEGRE-REAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	NO	NO	NO
L1F	LEGRE-REAY - GRAVELLY LOAMS, 25 TO 65 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	NO	NO	NO
M1B	MOUNT UZIAS - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	NO	0.32	NO	NO	NO	NO
W1B	WATCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO	NO	NO

TAKEN FROM: USDA, SCS-WE8 SOIL SURVEY, HOWARD COUNTY

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL SECTION A-1, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NCS SLOPE SURVEY MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OF THOSE SOILS WITH A SOIL EROSION FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 8 PERCENT OF THOSE SOILS (E.G. THOSE LOCATED IN THE CHESAPEAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HIGHLY ERODIBLE SOILS.

LEGEND:	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EX. WETLAND
	EX. WETLAND BUFFER
	MICRO BIORRETENTION (MBR)
	BIORRETENTION (BR)
	PERMEABLE SURFACE
	SAND FILTER
	EXISTING TREELINE (FOREST / FSD)
	EXISTING TREELINE (NON FOREST)
	EXISTING TREES (FIELD LOCATED)
	EXISTING FENCE
	EXISTING STREAM
	PROPOSED STORMDRAIN
	PROPOSED STORMDRAIN INLET
	PROPOSED SIDEWALK
	PROPOSED TREE LINE
	PROPOSED CURB
	PROPOSED STREET LIGHT
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	EX STEEP SLOPES
	Drainage Area Label (A-2-1)
	Drainage Divide
	VARIABLE-WIDTH PUBLIC WATER SEWER AND UTILITY EASEMENT
	PROPOSED STREET SIGN
	EX. FLOODPLAIN AREA (A-2)

UNDERGROUND SWM FACILITIES

QUANTITY MANAGEMENT - CR-123-2019 (Q₁₀, Q₁₀₀, Q₁₀₀₀)
PIPE STORAGE SYSTEMS

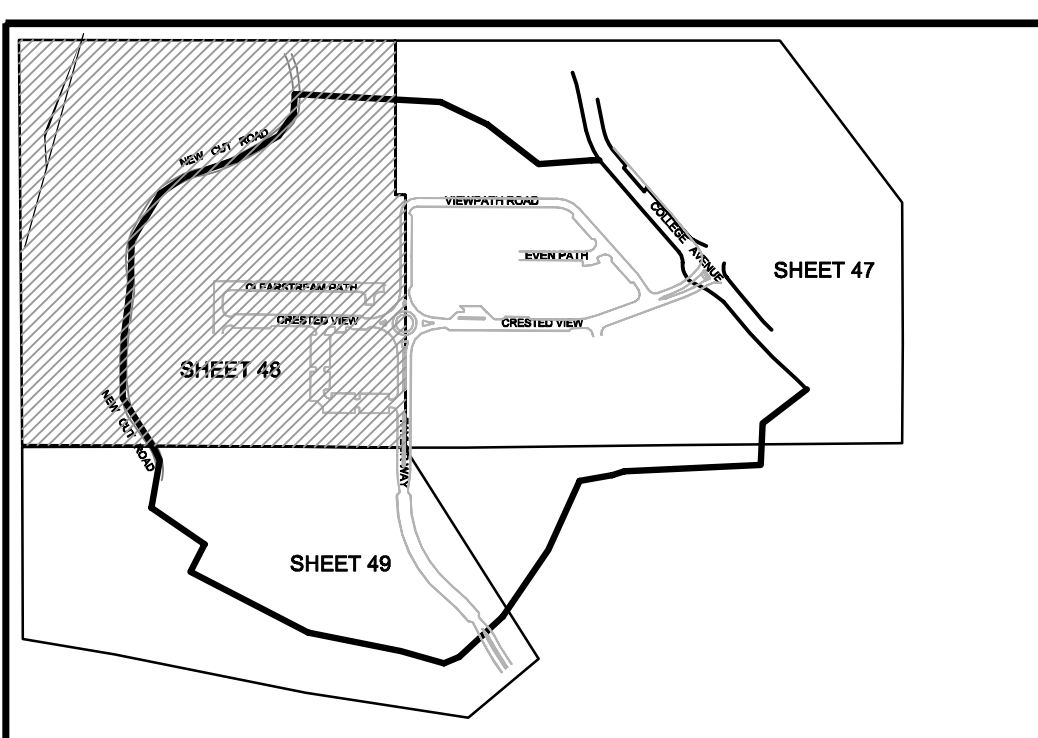
SWMF SAND FILTERS

HAZARD CLASS A
QUANTITY MANAGEMENT SAND FILTER ESDv

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COMBINATION ESDv / QUALITY SAND FILTER AND QUANTITY CONTROL FACILITIES ARE PROPOSED.

OWNER PARCEL 73:	OWNER PARCEL 74:	OWNER PARCEL 93:	DEVELOPER
TAYLOR SERVICE COMPANY 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR ELLICOTT CITY PROPERTIES, INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	HISTORIC ELLICOTT PROPERTIES INC. 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500	TAYLOR PLACE DEVELOPMENT CORPORATION 8 PARK CENTER CT, SUITE 200 OWINGS MILLS, MD 21117 PHONE: 410-465-3500



SWM KEY MAP
NOT TO SCALE

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

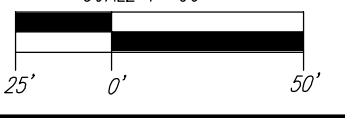
Designed by:
Lynnda Eisenberg
20200535883942E

PLANNING DIRECTOR

11/15/2023
DATE

ENVIRONMENTAL SITE DESIGN (ESD)
STORMWATER MANAGEMENT
DRAINAGE AREA MAP

SCALE: 1"=50'



MATCH LINE SHEET 49

NO. _____ REVISION _____ DATE _____

PRELIMINARY EQUIVALENT SKETCH PLAN
PRELIMINARY ENVIRONMENTAL SITE DESIGN (ESD)
STORMWATER MANAGEMENT - DRAINAGE AREA MAP

**TAYLOR HIGHLANDS
PHASE 1**
LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C
TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE
A RESUBDIVISION OF BUILDABLE BULK PARCEL A'

TAX MAP: 25, BLOCK: 20
2ND ELECTION DISTRICT

PARCEL: 73 & 74
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

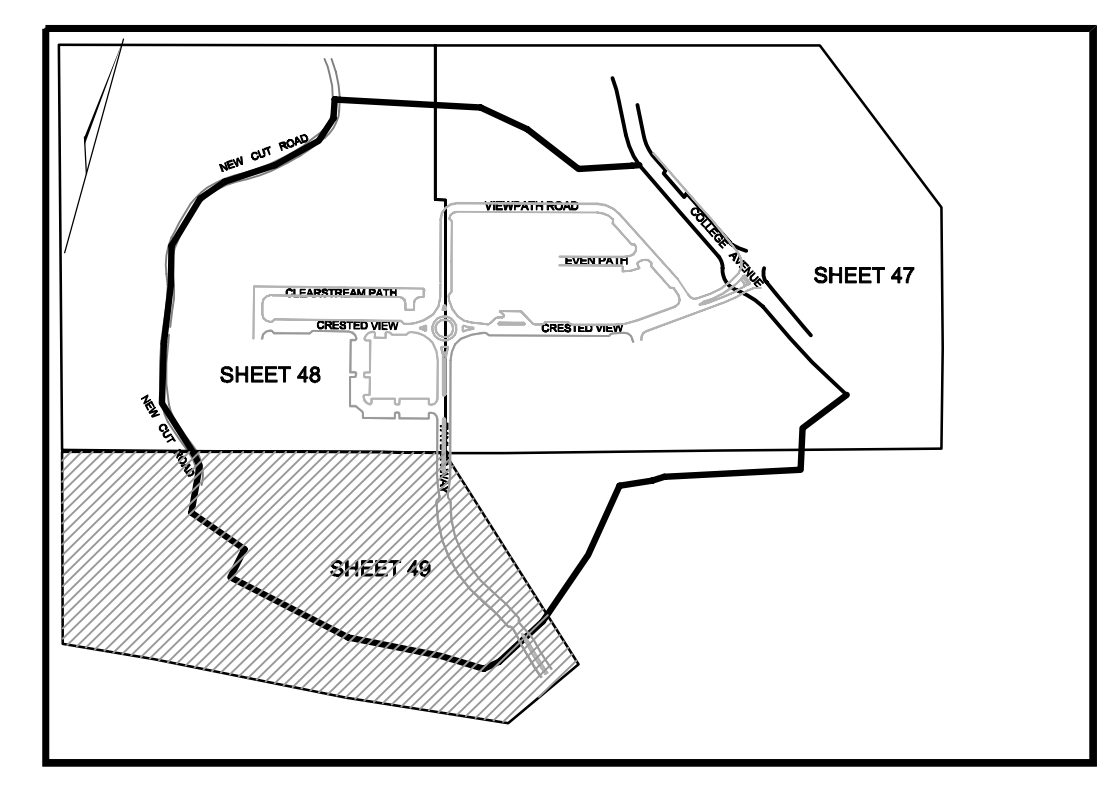
DESIGN BY: VETG
DRAWN BY: VETG
CHECKED BY: RHW
DATE: SEPTEMBER 2023
SCALE: AS SHOWN
W.O. NO.: 09-39/2018121

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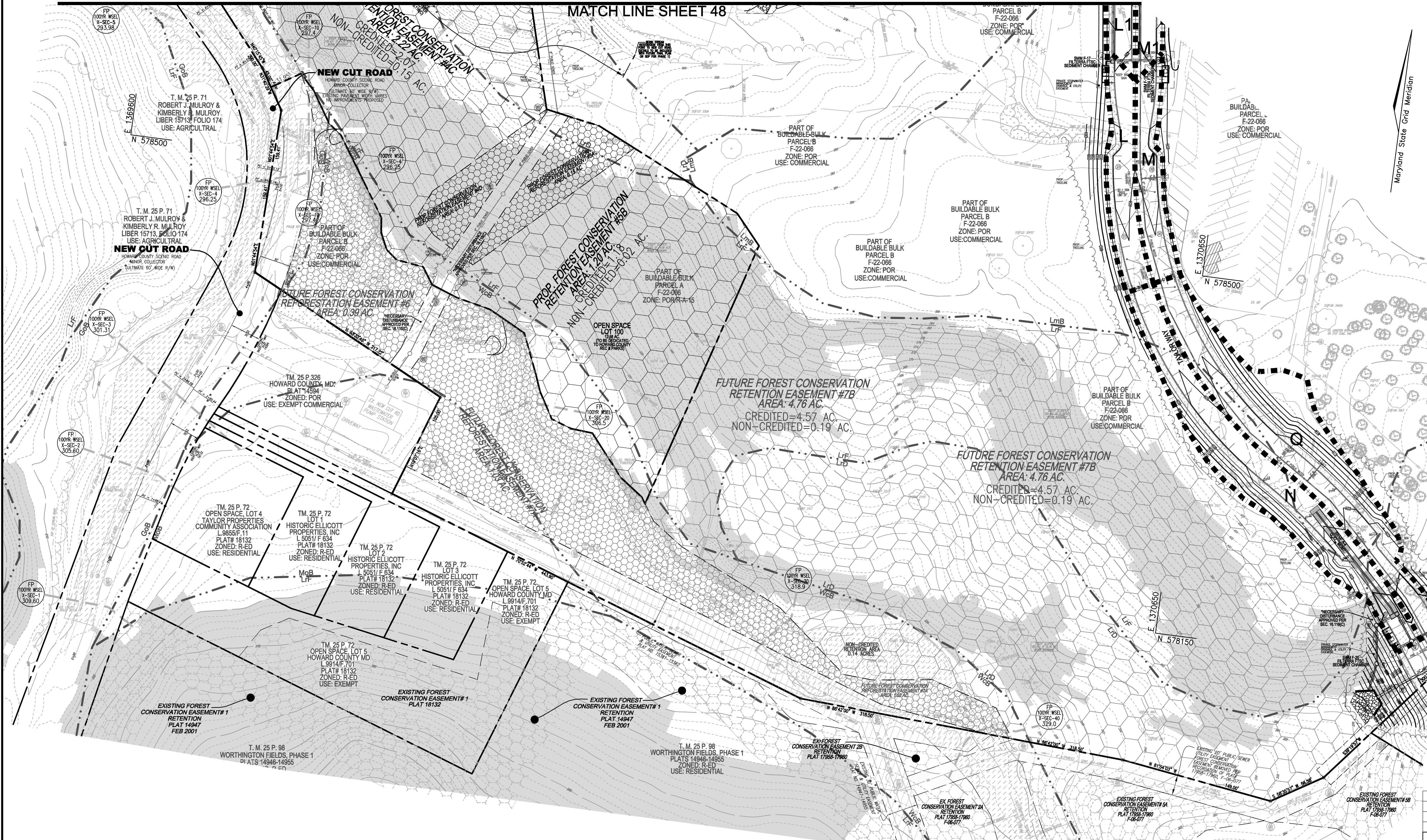
Robert H. Vogel
ROBERT H. VOGEL, PE No.16193

48 SHEET OF 50

MATCH LINE SHEET 48



SWM KEY MAP NOT TO SCALE

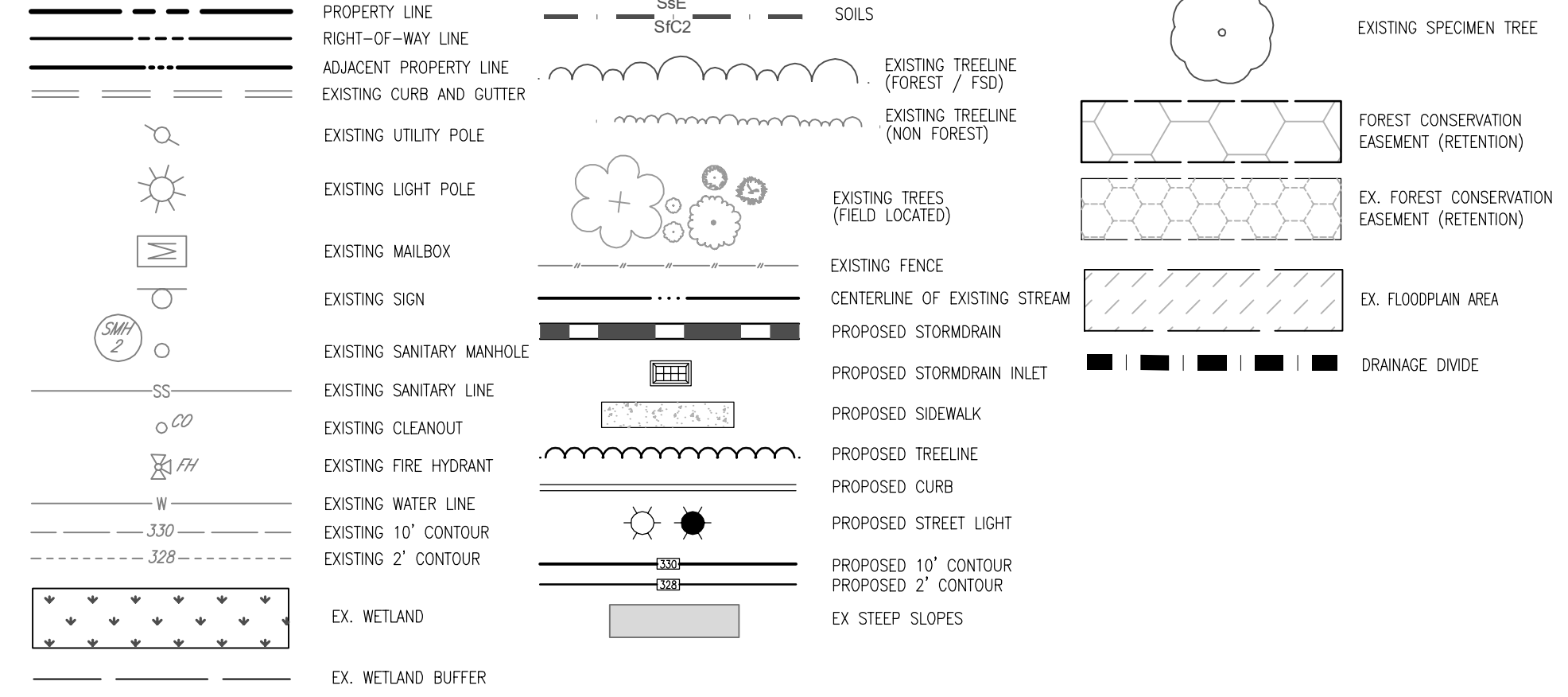


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UNDERGROUND SWM FACILITIES
 QUANTITY MANAGEMENT - CR-123-2019 (Q₁₀, Q₅₀, Q₁₀₀₀)
 PIPE STORAGE SYSTEMS

ENVIRONMENTAL SITE DESIGN (ESD) STORMWATER MANAGEMENT DRAINAGE AREA MAP
 SCALE: 1"=50'

LEGEND:



SWMF SAND FILTERS
 HAZARD CLASS A QUANTITY MANAGEMENT - CR-123-2019 (Q₁₀, Q₅₀, Q₁₀₀₀) SAND FILTER ESDv
 THE PROJECT IS LOCATED IN AN UPSTREAM DRAINAGE AREA OF THE TIGER BRANCH ABOVE THE PATAPSCO RIVER, DRAINAGE BASIN, PER THE REQUIREMENTS OF CR-123-2019, A RESOLUTION AMENDING HOWARD COUNTY DESIGN MANUAL - VOLUME 1 (STORM DRAINAGE), 10-YEAR, 100-YEAR AND FLOOD PEAK MANAGEMENT PER CR-123-2019 IS REQUIRED.
 COMBINATION ESDv / QUALITY SAND FILTER AND QUANTITY CONTROL FACILITIES ARE PROPOSED.

MAPPED SOILS TYPES - ELLICOTT CITY SE MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRO	WATER INCLUSIONS	K FACTOR	POSS. FARMLAND	HIGHLY ERODIBLE
LcC	LEGUE - SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	NO	0.28	NO	NO
LmB	LEGUE-MONTVALTO - SILT LOAMS, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.28	YES	NO
LfD	LEGUE-RELAY - GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
LfF	LEGUE-RELAY - GRAVELLY LOAMS, 25 TO 45 PERCENT SLOPES, VERY STONY	B	NO	NO	0.28	NO	YES
MbB	MOUNT LIGON - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	C	NO	PARTIALLY	0.32	NO	NO
WcB	WATCHUNG - SILT LOAM, 3 TO 8 PERCENT SLOPES, STONY	D	YES	YES	0.28	NO	NO

NOTE: IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION A-3, FOR THE PURPOSES OF EROSION AND SEDIMENT CONTROL, STEEP SLOPES ARE DEFINED AS THOSE WITH GRADIENTS OF 20 PERCENT OR MORE (USDA NCS SURVEY MANUAL, OCTOBER, 1993). HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 8 PERCENT. CERTAIN PRODUCTS (E.G. THOSE COATED IN THE CHEESEPAKE AND ATLANTIC COASTAL BAYS CRITICAL AREA) MAY BE SUBJECT TO A MORE RESTRICTIVE DEFINITION FOR STEEP SLOPES OR HEAVY ERODIBLE SOILS.

TAYLOR HIGHLANDS PRELIMINARY EQUIVALENT SKETCH PLAN ENVIRONMENTAL SITE DESIGN (ESD) PRELIMINARY PROJECT SUMMARY

ESD REQUIRED	82,223 cu. ft.
PE REQUIRED	2.00"
MINIMUM ESD REQUIRED	41,112 cu. ft.
MINIMUM PE REQUIRED	1.00"
ESD PROVIDED	54,805 cu. ft.
PE PROVIDED	1.33"

NOTE: THE PRELIMINARY ENVIRONMENTAL SITE DESIGN COMPUTATIONS PROVIDED HEREIN RESULT IN AN ESTIMATE OF THAT REQUIRED TO PROVIDE WATER QUALITY MANAGEMENT

NOTE: SUBJECT TO CHANGE WITH FINAL SWM DESIGN

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

DocuSigned by:
 Linda Eisenberg
 11/15/2023

PLANNING DIRECTOR DATE

PRELIMINARY EQUIVALENT SKETCH PLAN
 PRELIMINARY ENVIRONMENTAL SITE DESIGN (ESD) STORMWATER MANAGEMENT - DRAINAGE AREA MAP

TAYLOR HIGHLANDS PHASE 1
 LOTS 1-91, O.S. LOTS 92-100 AND BUILDABLE PARCEL C TOWNHOUSES, APARTMENT BUILDING AND CLUBHOUSE A RESUBDIVISION OF BUILDABLE BULK PARCEL A*

TAX MAP: 25, BLOCK: 20
 2ND ELECTION DISTRICT

PARCEL: 73 & 74
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 +
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 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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PROFESSIONAL CERTIFICATE

DESIGN BY: _____ VETG.
 DRAWN BY: _____ VETG.
 CHECKED BY: _____ RHY.
 DATE: _____ SEPTEMBER 2023.
 SCALE: _____ AS SHOWN.
 W.O. NO.: 09-39/2018121.

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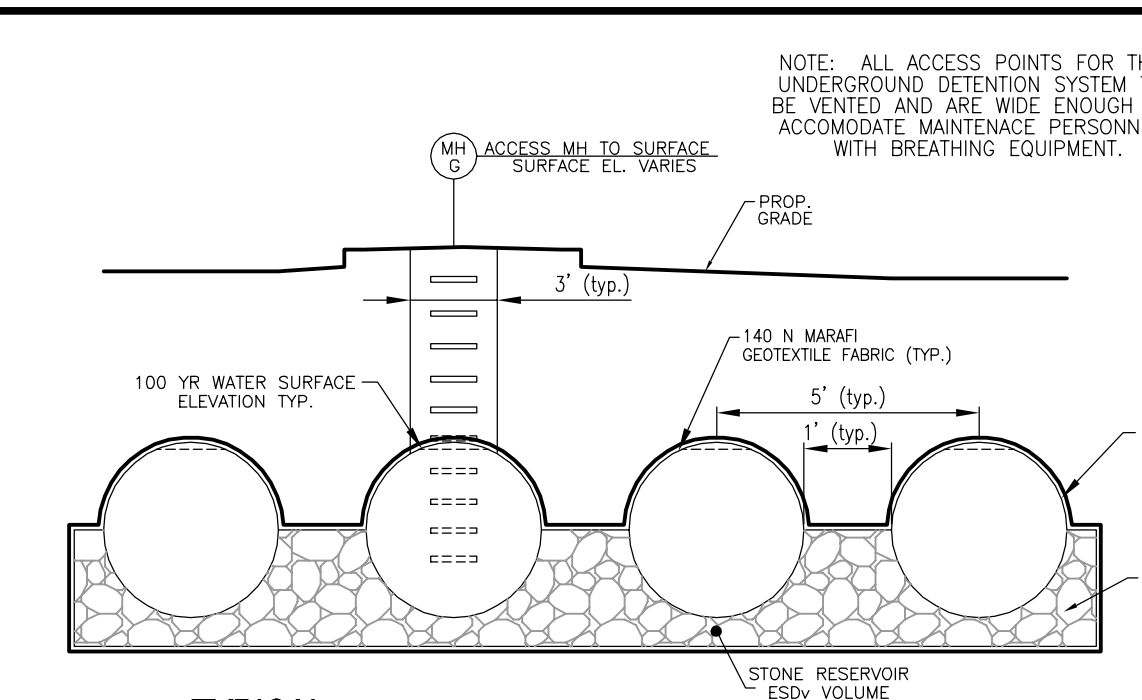
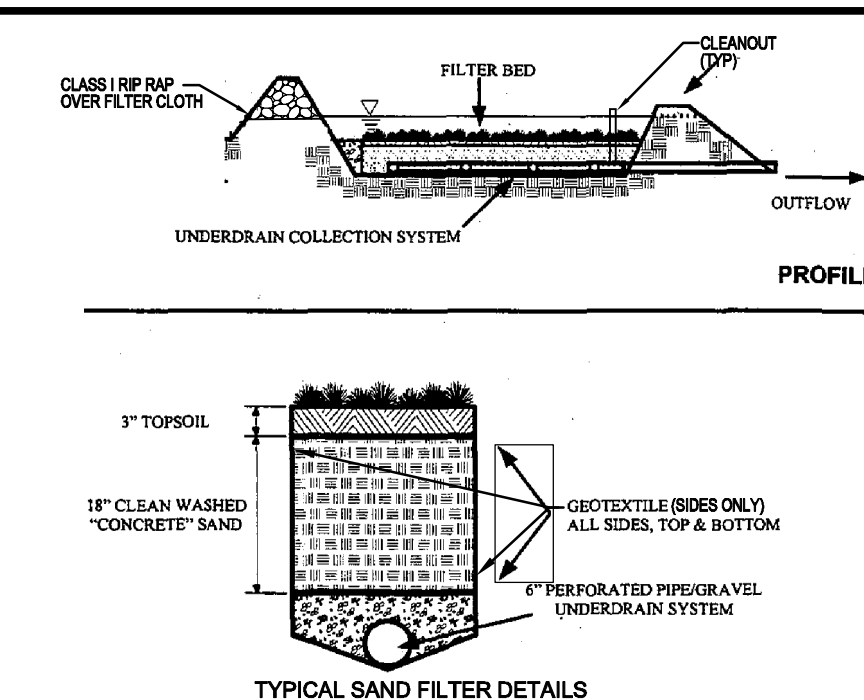
49 SHEET OF 50

APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

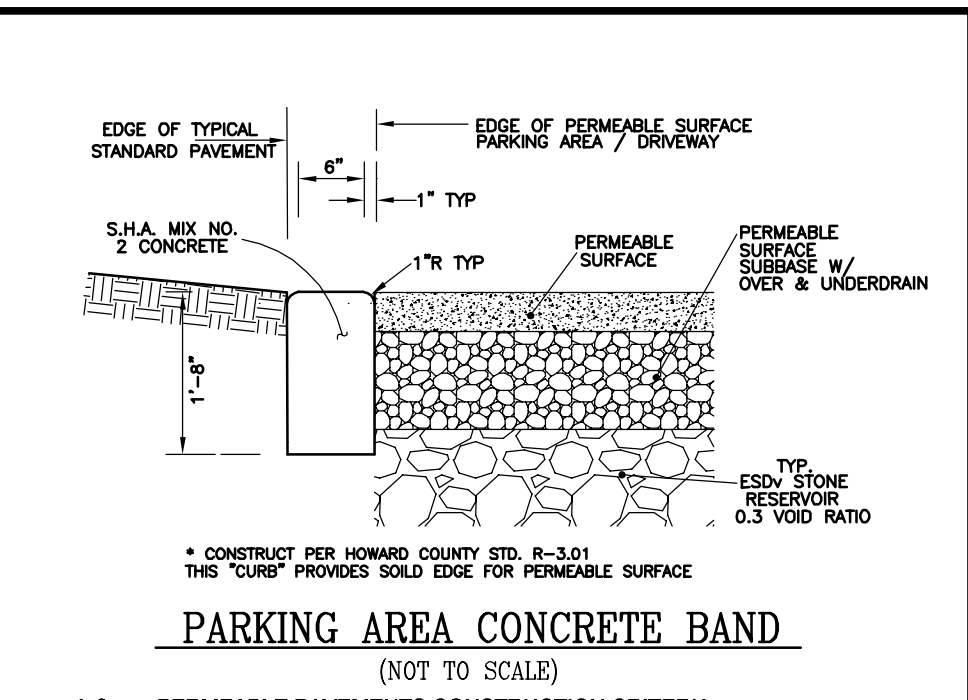
1. MATERIAL SPECIFICATIONS
2. FILTERING MEDIA OR PLANTING SOIL
3. COMPACTION
4. PLANT MATERIAL
5. PLANT INSTALLATION

Table B.3.1 Material Specifications for Sand Filters

Table with 4 columns: Material, Specification/Test Method, Size, Notes. Lists materials like sand, pea gravel, geotextile fabric, etc.



B.4.B SPECIFICATIONS FOR PERMEABLE PAVEMENTS & REINFORCED TURF
1. PERVIOUS CONCRETE SPECIFICATIONS
2. PERMEABLE INTERLOCKING CONCRETE PAVEMENTS (PICP)
3. REINFORCED TURF



Appendix B.4. Construction Specifications for Environmental Site Design Practices

Table B.4.1 Materials Specifications for Micro-Bioretenion, Rain Gardens & Landscape Infiltration

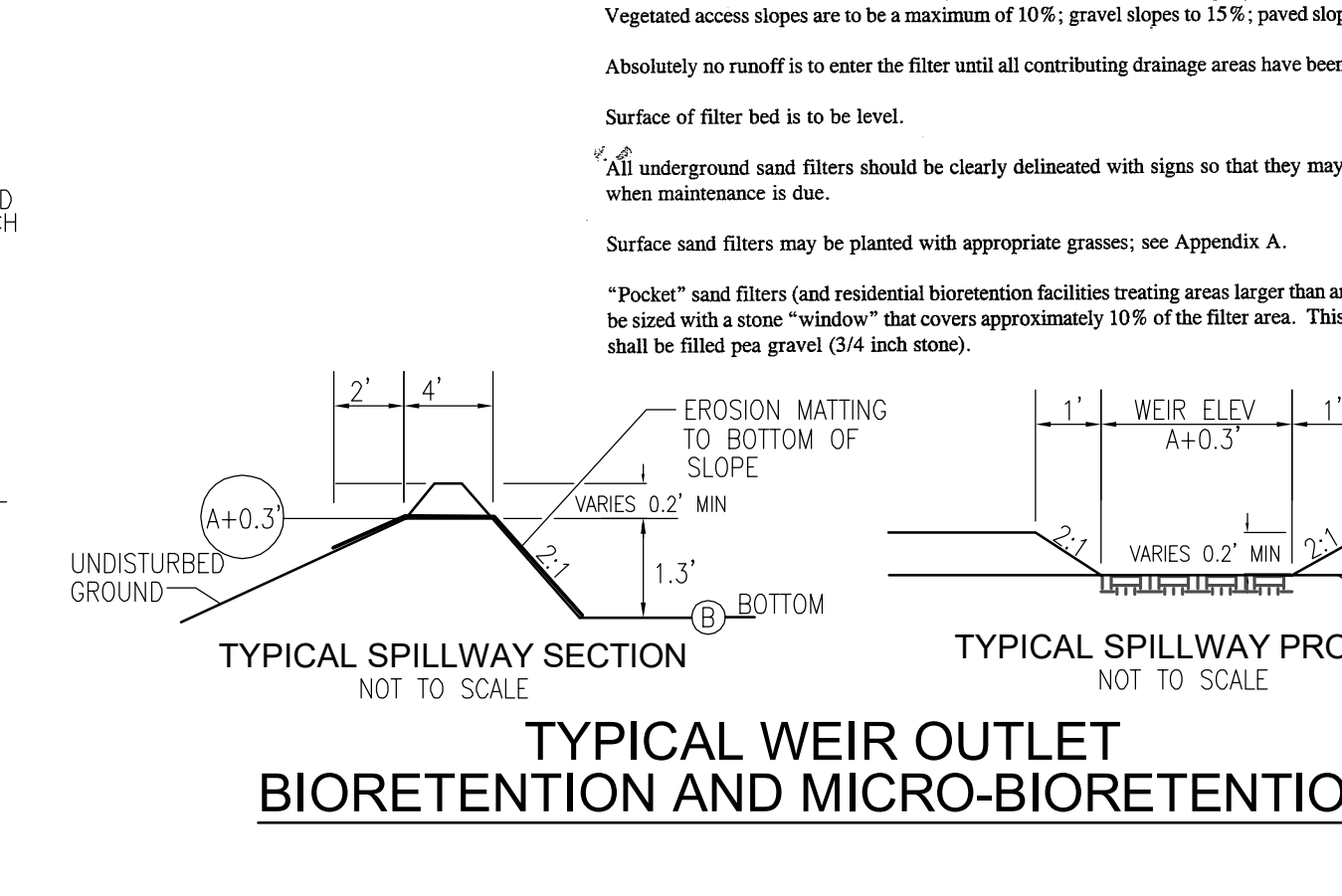
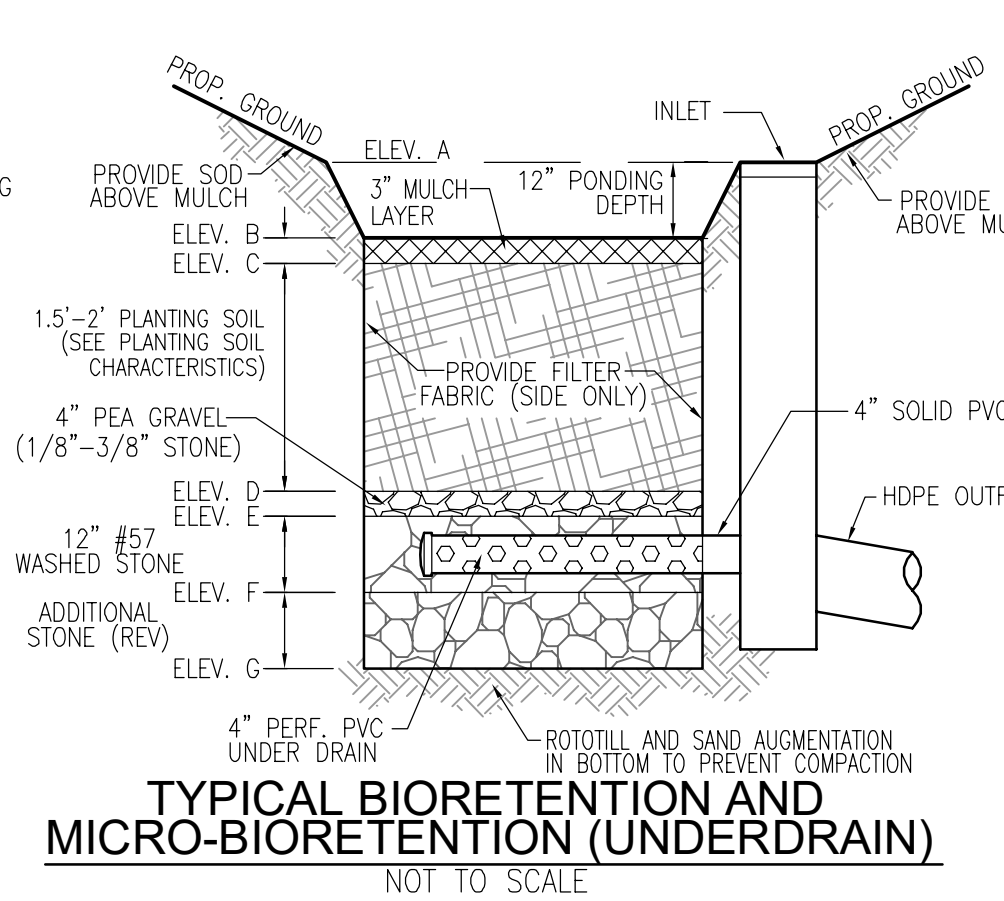
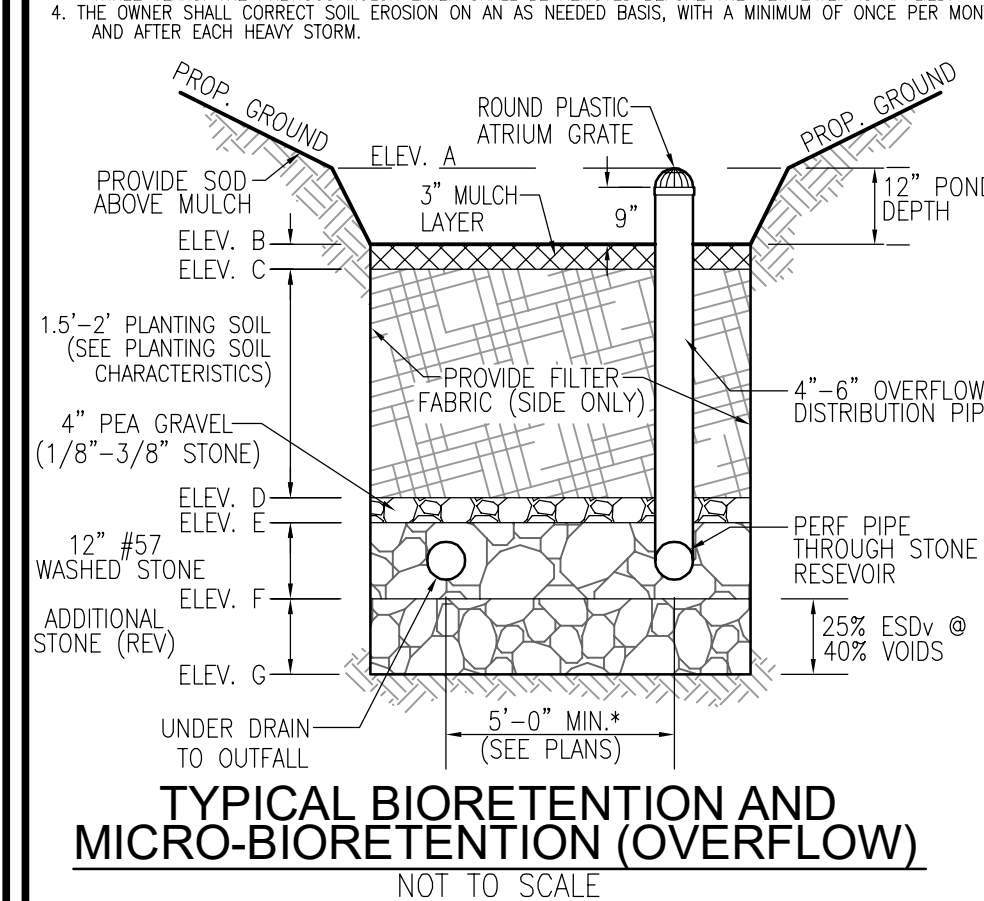
Table with 4 columns: Material, Specification, Size, Notes. Lists materials like mulch, pea gravel, geotextile, etc.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED SURFACE STORMWATER FILTRATION SYSTEMS

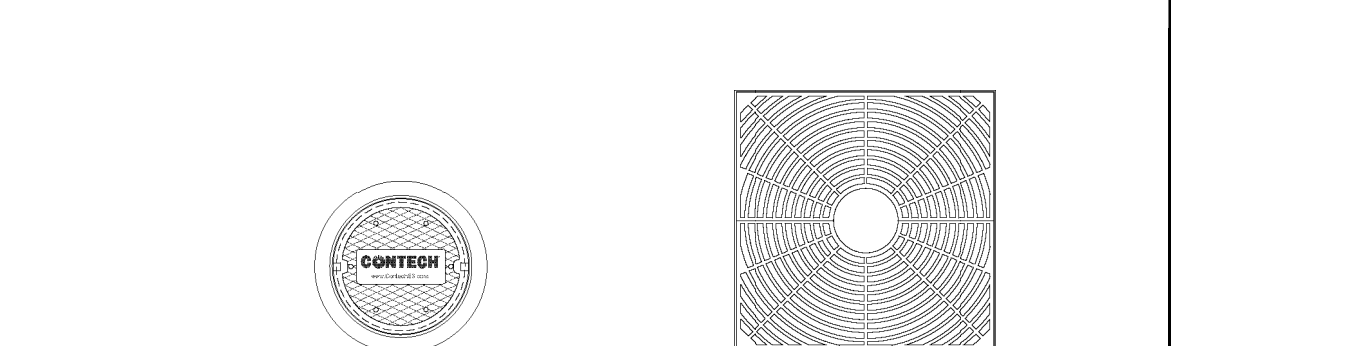
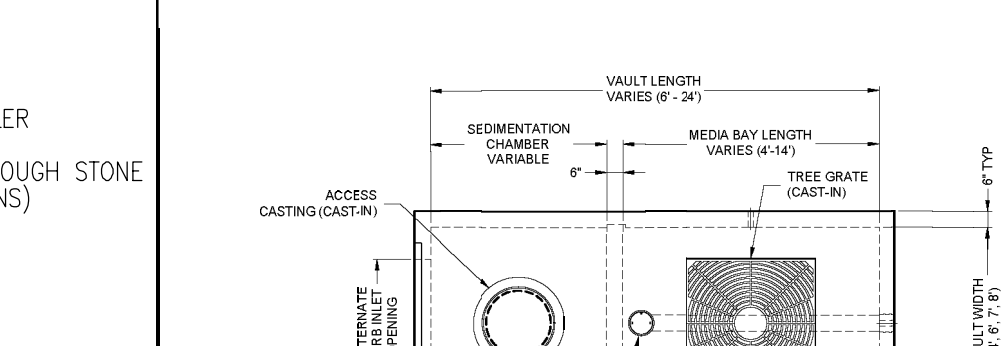
1. THE STORMWATER METEOROLOGY SHALL BE INSPECTED ANNUALLY...
2. THE TOP SURFACE OF THE EMBRASMENT SHALL BE MAINTAINED...
3. FILTERS THAT HAVE A GRASS COVER SHALL BE MAINTAINED...
4. DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MOWING...
5. VISIBLE SIGNS OF EROSION IN THE FACILITY SHALL BE REPAIRED AS SOON AS IT IS NOTICED...
6. REMOVE SILT WHEN IT EXCEEDS FOUR (4) INCHES DEEP IN THE FOREBAY...
7. WHEN WATER POUNDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS...
8. A LOOKBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS...
9. THE MAINTENANCE LOOKBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION...
10. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION SYSTEM HAVE BEEN VERIFIED...
Appendix B.3. Construction Specifications for Sand Filters, Bioretention and Open Channels
B.3.A Sand Filter Specifications
1. Material Specifications for Sand Filters
The allowable materials for sand filter construction are detailed in Table B.3.1.
2. Sand Filter Testing Specifications
Underground sand filters, facilities within sensitive groundwater aquifers, and filters designed to serve urban hot spots are to be tested for water tightness prior to placement of filter media. Entrances and exits should be plugged and the system completely filled with water to demonstrate water tightness. Water tightness means no leakage for a period of 8 hours.
All overflow weirs, multiple orifices and flow distribution slots are to be field-tested to verify adequate distribution of flows.
3. Sand Filter Maintenance Specifications
Provide sufficient maintenance access (i.e., 12-foot-wide road with legally recorded easement). Vegetated access slopes are to be a maximum of 10%; gravel slopes to 15%; paved slopes to 25%. Absolutely no runoff is to enter the filter until all contributing drainage areas have been stabilized. Surface of filter bed is to be level.
All underground sand filters should be clearly delineated with signs so that they may be located when maintenance is due.
Pocket sand filters (small residential bioretention facilities treating areas larger than an acre) shall be sized with a stone "window" that covers approximately 10% of the filter area. This "window" shall be filled pea gravel (3/4 inch stone).
Surface sand filters may be planted with appropriate grasses; see Appendix A.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES

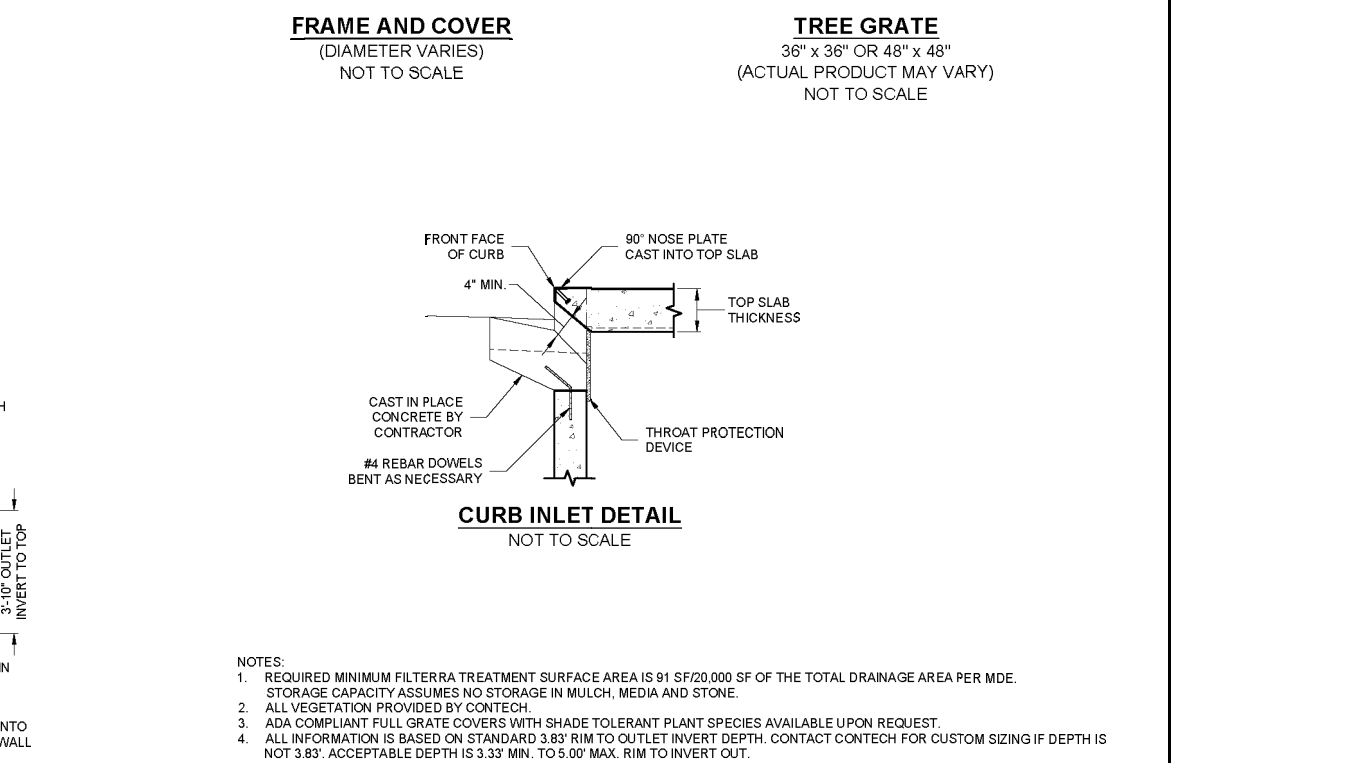
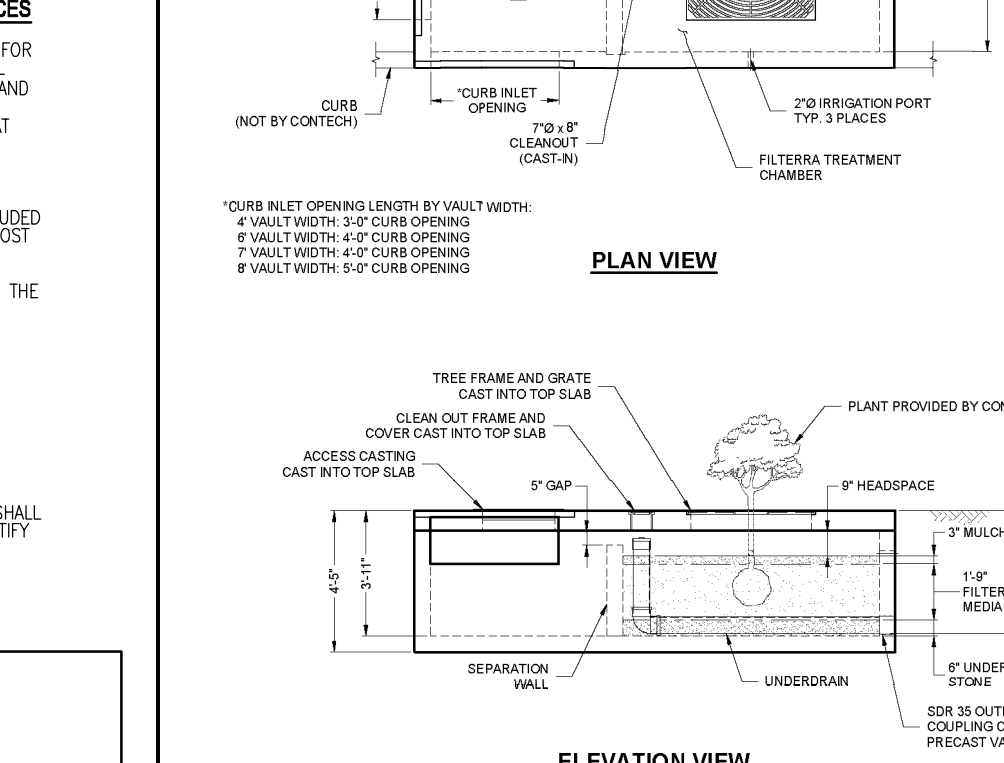
A. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION...
B. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFLOW IS OBSERVED, THE FACILITY SHALL BE CLEANED...
C. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER RETROLEUO SPILLS...
D. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID...
E. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS...
Appendix B.3. Construction Specifications for Sand Filters, Bioretention and Open Channels
B.3.A Sand Filter Specifications
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2. Sand Filter Testing Specifications
Underground sand filters, facilities within sensitive groundwater aquifers, and filters designed to serve urban hot spots are to be tested for water tightness prior to placement of filter media. Entrances and exits should be plugged and the system completely filled with water to demonstrate water tightness. Water tightness means no leakage for a period of 8 hours.
All overflow weirs, multiple orifices and flow distribution slots are to be field-tested to verify adequate distribution of flows.
3. Sand Filter Maintenance Specifications
Provide sufficient maintenance access (i.e., 12-foot-wide road with legally recorded easement). Vegetated access slopes are to be a maximum of 10%; gravel slopes to 15%; paved slopes to 25%. Absolutely no runoff is to enter the filter until all contributing drainage areas have been stabilized. Surface of filter bed is to be level.
All underground sand filters should be clearly delineated with signs so that they may be located when maintenance is due.
Pocket sand filters (small residential bioretention facilities treating areas larger than an acre) shall be sized with a stone "window" that covers approximately 10% of the filter area. This "window" shall be filled pea gravel (3/4 inch stone).
Surface sand filters may be planted with appropriate grasses; see Appendix A.



MICROBIORETENTION NOTES:
1. ONLY THE SIDES OF MICROBIORETENTION ARE TO BE WRAPPED IN FILTER FABRIC...
2. WRAP THE PERFORATED MBR UNDERDRAIN PIPE WITH 1/4" MESH (4x4) OR SMALLER GALVANIZED HARDWARE CLOTH...
3. PROVIDE 5' MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFORATED PIPE THROUGH STONE RESERVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM WITH SMALL BIOS. (SEE PLANS)



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED FILTERRA DEVICES
1. THE INFILTRATION OF THE FILTERRA UNIT IS PERFORMED ONLY BY THE SUPPLIER...
2. ANNUAL MAINTENANCE CONSISTS OF A MINIMUM OF (2) SCHEDULED VISITS...
3. FOREIGN DEBRIS, SILT, MULCH & TRASH REMOVAL...
4. DISPOSITION OF ALL MAINTENANCE REFUSE ITEMS...
5. THE BEGINNING AND ENDING DATE OF THE SUPPLIER'S OBLIGATION TO MAINTAIN THE INSTALLED SYSTEM SHALL BE DETERMINED BY THE SUPPLIER AT THE TIME THE SYSTEM IS ACTIVATED...
TENTATIVELY APPROVED DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY

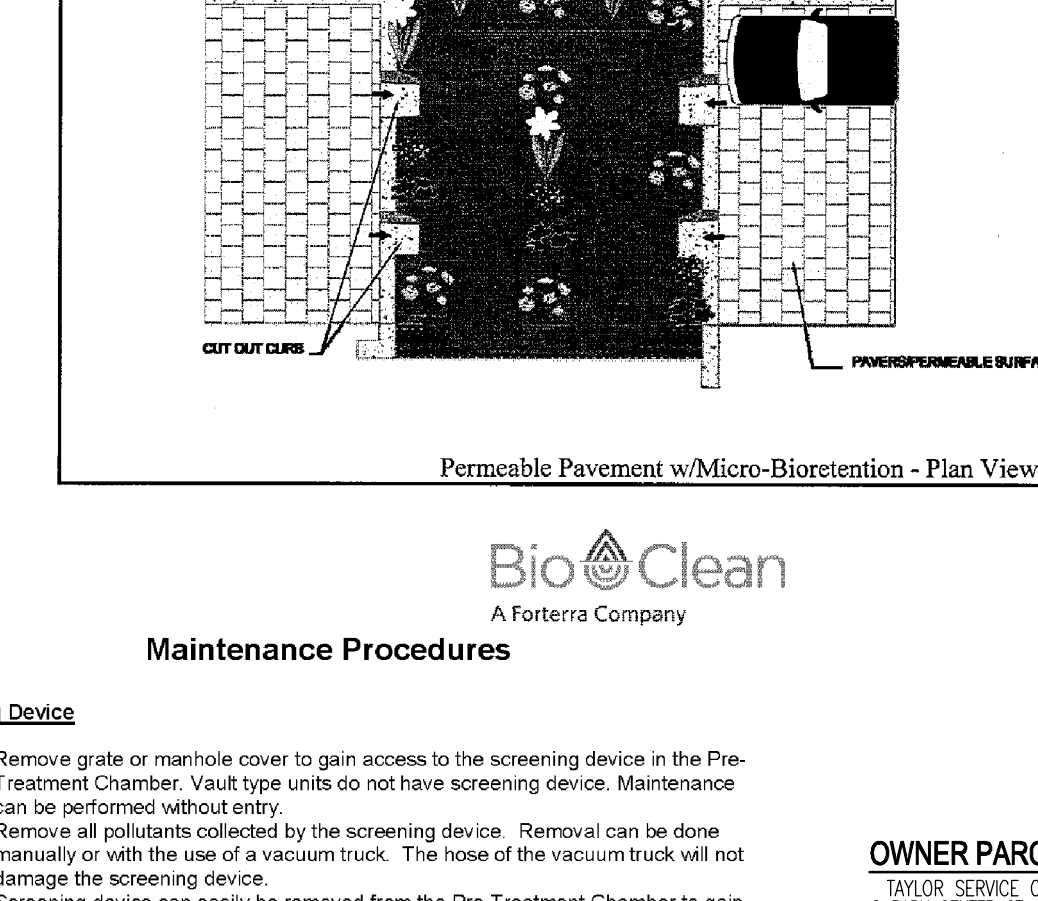
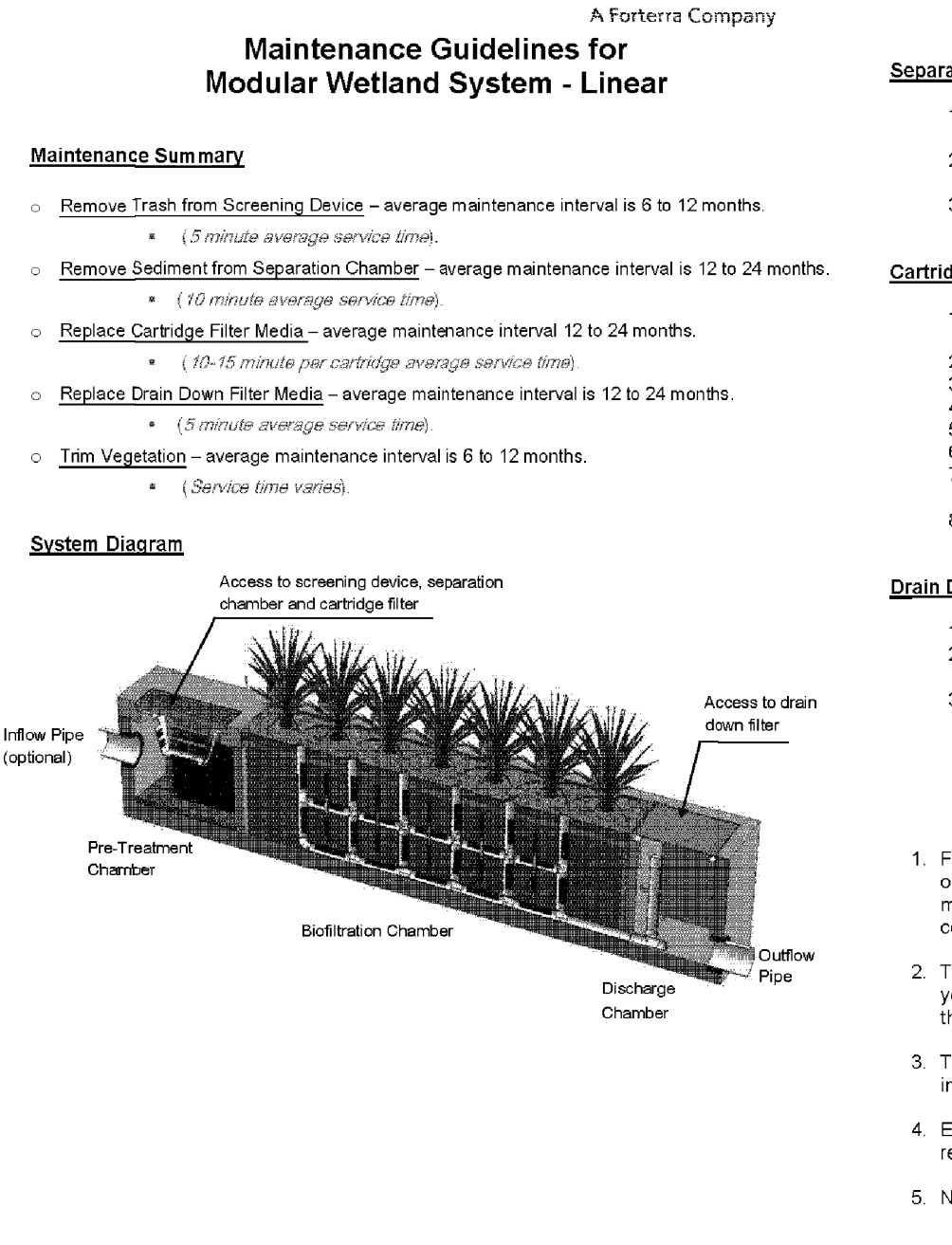


DocuPrepared by: Lynda Eschenberg
PLANNING DIRECTOR
DATE: 11/15/2023

filterra logo and contact information.

CONTECH ENGINEERS SOLUTIONS LLC
FILTERRA SEDIMENTATION CHAMBER (FTC) CONFIGURATION DETAIL MARYLAND

Maintenance Guidelines for Modular Wetland System - Linear
Maintenance Summary
1. Remove Trash from Screening Device - average maintenance interval is 8 to 12 months.
2. Remove Sediment from Separation Chamber - average maintenance interval is 12 to 24 months.
3. Replace Cartridge Filter Media - average maintenance interval 12 to 24 months.
4. Replace Drain Down Filter Media - average maintenance interval is 12 to 24 months.
5. Trim Vegetation - average maintenance interval is 6 to 12 months.
System Diagram
Access to screening device, separation chamber and cartridge filter.
Biofiltration Chamber.
Discharge Chamber.
Inflow Pipe (optional).
Outflow Pipe.
Maintenance Notes
1. Following maintenance and/or inspection, it is recommended the maintenance operator prepare a maintenance/inspection record...
2. The owner should keep maintenance/inspection records for a minimum of five years...
3. Transport all debris, trash, organics and sediments to approved facility for disposal...
4. Entry into chambers may require confined space training based on state and local regulations.
5. No fertilizer shall be used in the Biofiltration Chamber.



Maintenance Procedures
Screening Device
1. Remove grate or manhole cover to gain access to the screening device in the Pre-Treatment Chamber...
2. Enter separation chamber...
3. Remove all pollutants collected by the screening device...
4. Remove each of 4 to 8 media cages holding the media...
5. Spray down the cartridge filter to remove any accumulated pollutants...
6. Vacuum out old media and accumulated pollutants...
7. Reinstall media cages and fill with new media from manufacturer or outside supplier...
Separation Chamber
1. Perform maintenance procedures of screening device listed above before maintaining the separation chamber...
2. Enter separation chamber...
3. Unscrew the two bolts holding the lid on each cartridge filter and remove lid...
4. Remove each of 4 to 8 media cages holding the media...
5. Spray down the cartridge filter to remove any accumulated pollutants...
6. Vacuum out old media and accumulated pollutants...
7. Reinstall media cages and fill with new media from manufacturer or outside supplier...
Drain Down Filter
1. Remove hatch or manhole cover over discharge chamber and enter chamber...
2. Unlock and lift drain filter housing and remove old media block...
3. Enter chamber and replace hatch or manhole cover...
Maintenance Notes
1. Following maintenance and/or inspection, it is recommended the maintenance operator prepare a maintenance/inspection record...
2. The owner should keep maintenance/inspection records for a minimum of five years...
3. Transport all debris, trash, organics and sediments to approved facility for disposal...
4. Entry into chambers may require confined space training based on state and local regulations.
5. No fertilizer shall be used in the Biofiltration Chamber.

OWNER PARCEL 73: TAYLOR SERVICE COMPANY
OWNER PARCEL 74: TAYLOR ELLICOTT CITY PROPERTIES, INC.
OWNER PARCEL 93: HISTORIC ELICOTT PROPERTIES, INC.
DEVELOPER: TAYLOR PLAZA DEVELOPMENT CORPORATION

Professional engineering stamp for Robert H. Vogel, PE No. 16193, and Timmons Group logo and contact information.