

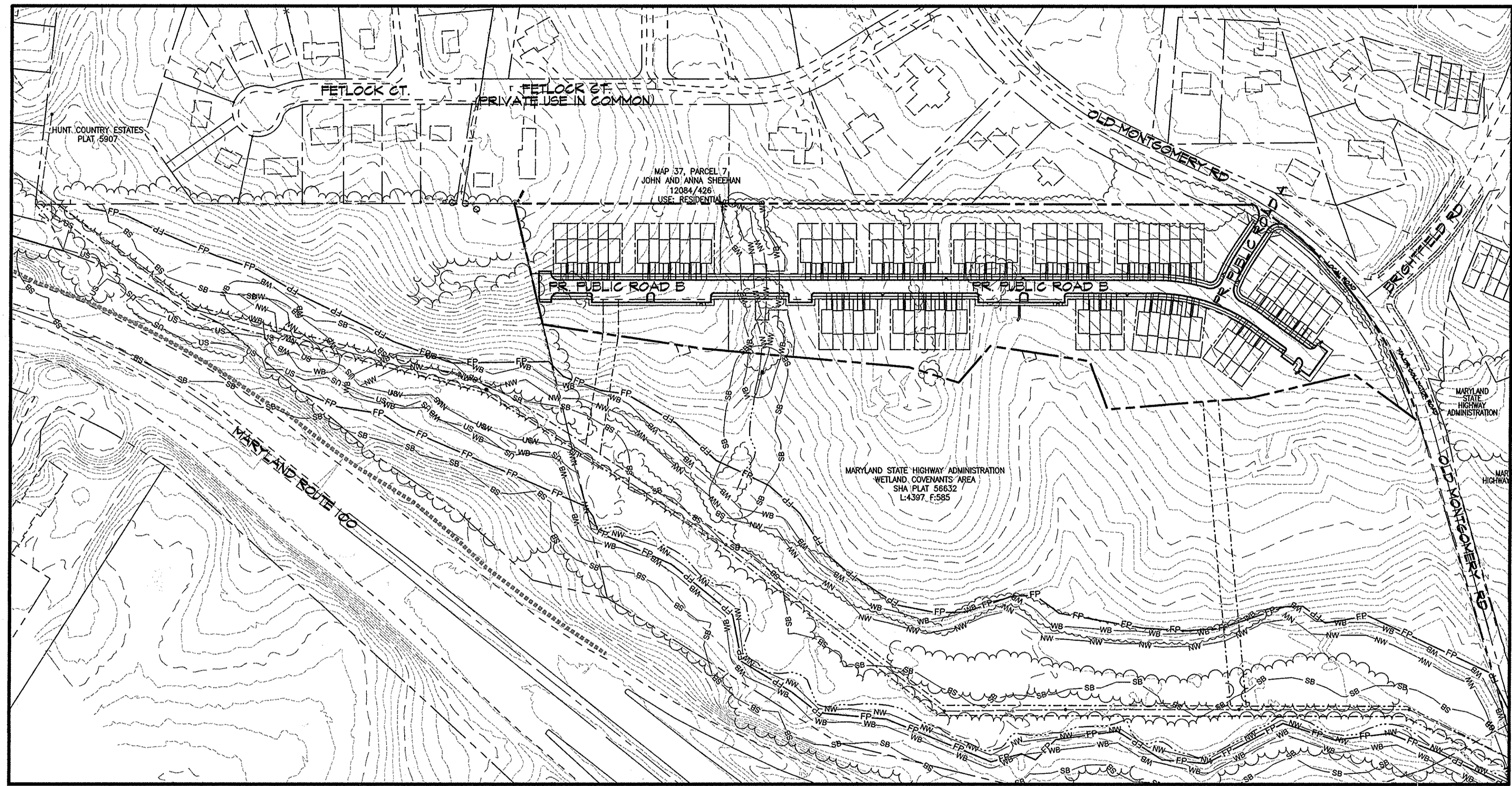
GENERAL NOTES

- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH 2 FOOT CONTOUR INTERVALS PREPARED BY A.B. CONSULTANTS, INC. IN OCTOBER 2011.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 37BM1 AND 37DM3 WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NUMBER #320-W.
- SEWER IS PUBLIC. CONTRACT NUMBER #546-S, PATAPSCO WASTE WATER TREATMENT PLANT.
- THE STORMWATER MANAGEMENT SYSTEM SHOWN ON THESE PLANS IS AN APPROXIMATION OF THE SIZE, SHAPE AND LOCATION. IT IS UNDERSTOOD THAT THIS SYSTEM HAS NOT BEEN DESIGNED AND THE ACTUAL DESIGN MAY CHANGE, ALTERING THE NUMBER OF UNITS ALLOCATED FOR THIS DEVELOPMENT.
- PROJECT SHALL BE DEVELOPED AS ONE PHASE.
- PRIOR DPZ CASES: ECP-15-020, WP-15-042, WP-15-085, WP-16-081.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON SHA PLAT NO. 56632.
- A FOREST STAND DELINEATION WAS PERFORMED BY GEO-TECHNOLOGY ASSOCIATES, INC. IN 2007 AND RECONFIRMED/REVISED BY FIELD INVESTIGATION IN OCTOBER 2014.
- A TRAFFIC STUDY WAS PREPARED BY TRAFFIC GROUP, ENTITLED "TRAFFIC IMPACT ANALYSIS", IN MARCH 2015.
- A NOISE STUDY WAS PERFORMED BY PHOENIX NOISE AND VIBRATION, LLC, ENTITLED "TROTTER'S KNOLL PHASE 1 NOISE ANALYSIS", IN MARCH 2015.
- THE FLOODPLAIN SHOWN ON THE SUBJECT PROPERTY IS PER SHA PLAT NO. 54587.
- WETLANDS AND WATERS OF U.S. SHOWN HEREON WERE DELINEATED AND GPS LOCATED BY GEO-TECHNOLOGY ASSOCIATES, INC. ON FEBRUARY 20, 2011 AND RECONFIRMED ON AUGUST 24, 2011.
- THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC., DATED JUNE 17, 2015.
- EXISTING UTILITIES ARE BASED ON WATER CONTRACT #320-W AND SEWER CONTRACT #546-S.
- THE SUBJECT PROPERTY IS ZONED R-SA-8 PER THE 10/9/2013 COMPREHENSIVE ZONING PLAN.
- ON 10/16/2014 A WAIVER PETITION, WP-15-042, TO SECTION 16.116(c)(1) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WAS APPROVED TO ALLOW DISTURBANCE IN THE WETLANDS AND WETLAND BUFFERS FOR CONSTRUCTION OF A PUBLIC ROAD. APPROXIMATELY 1.14 AC. OF WETLANDS AND WETLAND BUFFERS TO THE DISTURBANCE TO THE WETLAND AND WETLAND BUFFER SHOULD BE LIMITED TO WHAT IS REQUIRED FOR THE CONSTRUCTION OF THE PUBLIC ROADWAY. ALL DISTURBED AREAS MUST BE STABILIZED, AS APPROPRIATE; (2) THE APPLICANT MUST CONTACT MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) FOR ANY NECESSARY PERMITS FOR DISTURBANCES TO THE ENVIRONMENTAL FEATURES. THE MDE TRACKING PERMIT NUMBER SHALL BE REFERENCED ON ALL PLAN SUBMISSIONS; (3) APPROVAL OF THIS WAIVER IS CONTINGENT UPON SUBMISSION OF THE APPROPRIATE DEVELOPMENT PLANS TO THE DEPARTMENT OF PLANNING AND ZONING BASED ON THE PROPOSED LAYOUT AS SHOWN ON THE WAIVER PETITION EXHIBIT. IF THE PLAN SHOULD DRASTICALLY CHANGE, A NEW WAIVER PETITION MAY BE REQUIRED IN ORDER TO REEVALUATE THE ENVIRONMENTAL ENCROACHMENT. ALSO, ON ALL FUTURE SUBMISSION PLANS, SITE PLANS AND BUILDING PERMIT PLANS PROVIDE A GENERAL NOTE THAT ONES A BRIEF DESCRIPTION OF THE WAIVER PETITION REQUEST, SECTION OF THE REGULATIONS WAIVED, DATE OF APPROVAL AND ANY CONDITIONS OF APPROVAL.
- ON 02/18/15 A WAIVER PETITION, WP-15-085, TO SECTION 16.1205(c)(7)&(10) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WAS APPROVED TO REMOVE SPECIMEN TREE #4, BUT DENIED THE REQUEST TO REMOVE SPECIMEN TREE #5. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: (1) SPECIMEN TREE #5 MUST BE SAVED, PROTECTED AND MAINTAINED AS SHOWN ON THE REVISED ENVIRONMENTAL CONCEPT PLAN UPLOADED TO PROJECTDOX. IN ORDER TO FURTHER PROTECT DISTURBANCE TO THE CRITICAL ROOT ZONE FOR SPECIMEN TREE #5, PZ2 RECOMMENDS THE APPLICANT MOVE UNITS 95 & 96 AND RELOCATED THEM NEXT TO UNIT 27. THIS EXCHANGE SHOULD BE CONSIDERED AND EVALUATED DURING THE DESIGN AND REVIEW OF THE SUBDIVISION PLAN; (2) IN ACCORDANCE WITH THE DEPARTMENT OF RECREATION AND PARKS COMMENTS DATED JANUARY 21, 2015 - SPECIMEN TREE #5 SHOULD BE PROTECTED DURING CONSTRUCTION AND ALTERNATIVE DESIGNS OF THE SITE LAYOUT MUST BE CONSIDERED BY THE CONSULTANT IN ORDER TO MINIMIZE ROOT DAMAGE; (3) EFFORTS SHOULD BE MADE TO SAVE AND PROTECT SPECIMEN TREE #4 DURING CONSTRUCTION. HOWEVER SHOULD GRADING CONDITIONS ASSOCIATED WITH THE PLAN PROHIBIT THE SAVING OF THIS SPECIMEN TREE, THE REMOVAL OF SPECIMEN TREE #4 IS APPROVED UNDER THIS WAIVER REQUEST. THE REMOVAL OF SPECIMEN TREE #4 WILL REQUIRE MITIGATION ONE 3" - 4" CALIPER TREE. THE MITIGATED TREE SHALL BE OF SIMILAR SPECIES AS THE REMOVED TREE, BE SHOWN AS PART OF THE LANDSCAPE PLAN, AND SHALL BE BONDED WITH THE LANDSCAPE OBLIGATION.
- FOREST CONSERVATION SHALL BE MET THROUGH A COMBINATION OF ON-SITE AFFORESTATION AND AN OFF-SITE FOREST MITIGATION BANK. THE ON-SITE AFFORESTATION SHALL TOTAL 0.56 AC. THE REMAINING 1.14 AC. SHALL BE ADDRESSED WITH 1.14 AC. IN AN OFF-SITE FOREST MITIGATION BANK.
- ON 12/16/15 A WAIVER PETITION, WP-16-081, TO SECTION 16.134(c)(1) & SECTION 16.134(c) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WAS APPROVED TO ALLOW PARTIAL RELIEF FROM SIDEWALK FRONTAGE IMPROVEMENT. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: (1) AS SHOWN ON THE WAIVER PETITION EXHIBIT, THE DEVELOPER SHALL CONSTRUCT A PORTION OF THE SIDEWALK ALONG THE PROPERTY FRONTAGE AS NECESSARY TO PROVIDE A CONNECTION TO THE EXISTING SIDEWALK AT THE INTERSECTION OF OLD MONTGOMERY ROAD AND BRIGHTFIELD ROAD. (2) THE DEVELOPER SHALL PAY A FEE-IN-LIEU OF SIDEWALK FRONTAGE AND STREET LIGHTS IMPROVEMENTS FOR THE UNIMPROVED PORTION OF THE PROPERTY FRONTAGE IN COMPLIANCE WITH THE ATTACHED DEVELOPMENT ENGINEERING DIVISION COMMENTS DATED DECEMBER 7, 2015. A COST ESTIMATE FOR THE ADDITIONAL IMPROVEMENTS SHALL BE FORWARDED TO THE DEPARTMENT OF PLANNING AND ZONING, DEVELOPMENT ENGINEERING DIVISION. THE FEE-IN-LIEU MUST BE PAID PRIOR TO THE SUBMISSION PLAT RECORDED. (3) APPROVAL OF THIS WAIVER PETITION IS SUBJECT TO THE REVIEW AND APPROVAL SP-16-002 AND ALL SUBSEQUENT DEVELOPMENT PLANS.
- A WETLAND PERMIT, #201561582, HAS BEEN SUBMITTED TO MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR THE PROPOSED DISTURBANCE TO THE WETLANDS AND WETLAND BUFFERS.
- ON NOVEMBER 3, 2015 THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING PLANNING DIRECTOR APPROVED THE REQUEST FOR AN INCREASED BUILDING LENGTH PER SECTION 111.0.D.1(E) OF THE ZONING REGULATOR SUBJECT TO THE FOLLOWING CONDITIONS:
 - EACH TOWNHOUSE UNIT SHALL HAVE THE 2' JOG BETWEEN THE BUILDING FACADES OF EACH UNIT AND ADJACENT UNITS AS PROPOSED BY THE APPLICANT.
 - EACH UNIT SHALL HAVE THE DIFFERENT ARCHITECTURAL CHARACTER AS PROPOSED BY THE APPLICANT TO INCLUDE BUILDING MATERIALS, COLOR PALETTE AND/OR ARCHITECTURAL FEATURES. ADDITIONALLY, THE APPLICANT SHALL VARY THE ARCHITECTURAL CHARACTER OF THE ROOF DESIGN TO INCLUDE VARYING HEIGHTS, SHINGLE COLOR, DORMERS, ETC.
 - A FINAL DETERMINATION OF THE BUILDING ARCHITECTURAL DESIGN AND VISUAL IMPACT OF THE BUILDING LENGTH SHALL BE FURTHER EVALUATED BY THIS OFFICE WITH THE REVIEW AND APPROVAL OF THE SITE DEVELOPMENT PLAN.
- A PRE-SUBMISSION COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON JUNE 2, 2015. A SECOND COMMUNITY MEETING WAS HELD JANUARY 12, 2016.
- OPEN SPACE LOTS 78, 80, 81, AND 83 WILL BE DEDICATED TO THE HOME OWNERS ASSOCIATION.

SITE ANALYSIS DATA

1. ZONING:	R-SA-8
2. GROSS AREA:	11.56 AC.
3. ONE YEAR FLOODPLAIN:	0.00 AC.
4. STEEP SLOPES (ONLY 25%+):	0.00 AC.
5. NET AREA:	11.56 AC.
6. TOTAL AREA OF PROPOSED LOTS:	3.90 AC.
7. AREA OF PROPOSED ROADS:	2.00 AC.
8. AREA OF PROPOSED OPEN SPACE:	5.48 AC.
9. RIGHT-OF-WAY DEDICATION:	0.18 AC.
10. PROPOSED USE:	RESIDENTIAL (SINGLE FAMILY ATTACHED)
11. NO. OF UNITS ALLOWED:	82 (8 DWELLING UNITS/NET ACRE)
12. NO. OF UNITS PROPOSED:	77
13. NO. OF LOTS PROPOSED:	83

REQUIRE	PROVIDED
A. GENERAL BULK REGULATIONS:	
1. MAXIMUM DENSITY:	8 DWELLING UNITS/ NET ACRE
2. MAXIMUM HEIGHT:	6.7 DWELLING UNITS/ NET ACRE
2.1. PRINCIPAL STRUCTURE:	40'
2.2. ACCESSORY STRUCTURES:	15'
3. MAXIMUM LOT COVERAGE FOR STRUCTURES WITHIN SINGLE-FAMILY ATTACHED PROJECTS DEVELOPED WITH ONE DWELLING UNIT PER LOT:	40%
4. MAXIMUM UNITS PER STRUCTURE:	8
5. MAXIMUM BUILDING LENGTH:	120'
*APPROVED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING & ZONING.	
B. MINIMUM SETBACK REQUIREMENTS:	
1. FROM ARTERIAL OR MAJOR COLLECTOR:	
1.1. STRUCTURES:	
1.1.1. FRONT OR SIDE:	30'
1.1.2. REAR:	50'
1.2. USES:	30'
2. FROM OTHER PUBLIC STREET RIGHT-OF-WAY OR PRIVATE STREET:	
2.1. STRUCTURES:	
2.1.1. FRONT OR SIDE:	20'
2.1.2. REAR TO PUBLIC STREET:	40'
2.2. USES:	20'
3. FROM VICINAL PROPERTIES:	
3.1. FROM AN RC, RR, R-20, R-12, R-ED, OR R-SO DISTRICT OR A SINGLE-FAMILY LAND USE AREA OF A NT, PGCC, OR MDD DISTRICT:	
3.1.1. SINGLE-FAMILY ATTACHED DWELLINGS:	50'
3.1.2. OTHER STRUCTURES OR USES:	50'
3.2 BETWEEN MULTI-FAMILY BUILDINGS:	
3.2.1 FACE TO FACE:	30'
3.2.2 SIDE TO SIDE:	MIN. 92' MIN. 28'



LOCATION PLAN
SCALE: 1" = 150'

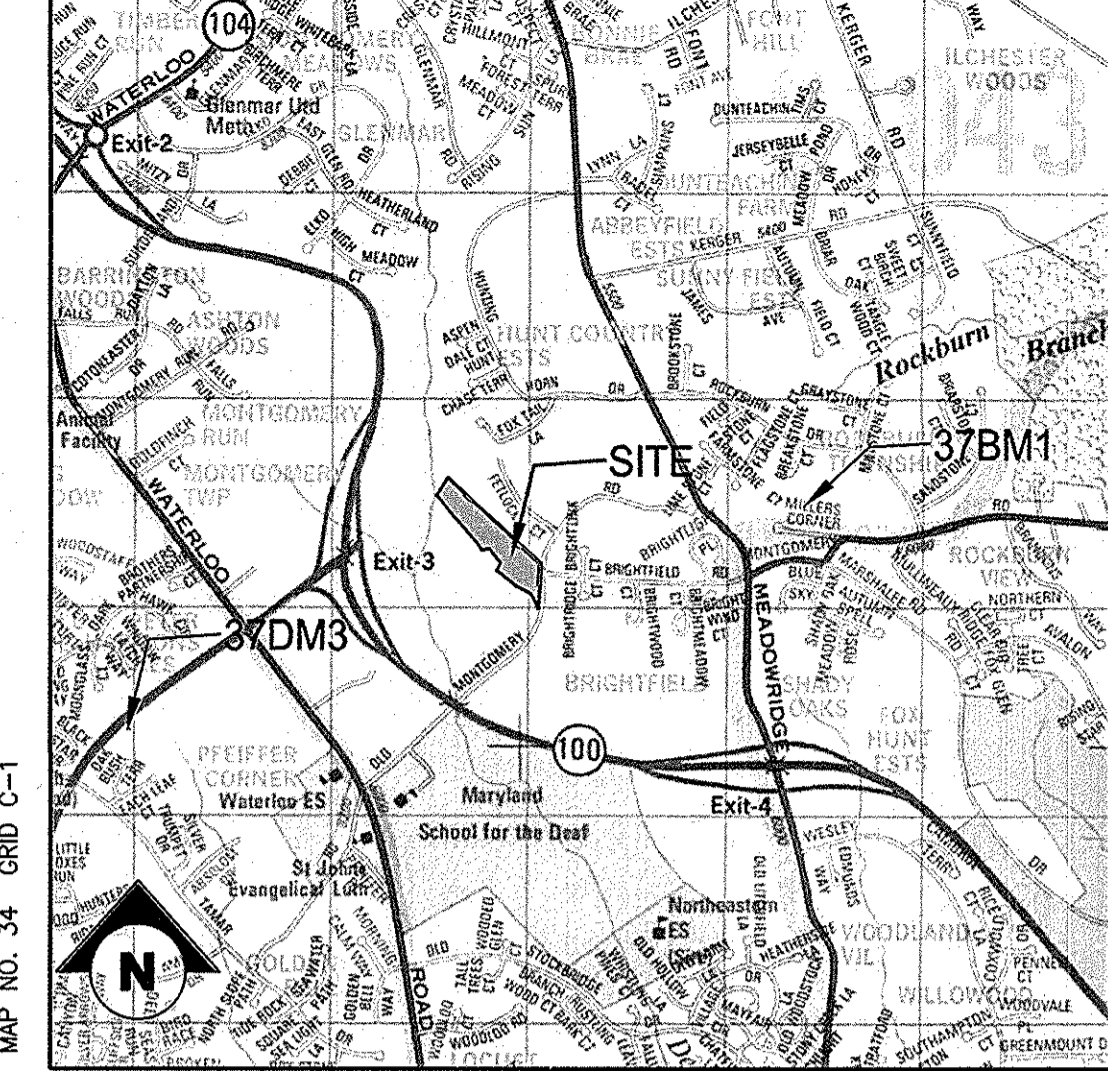
REQUIRE	PROVIDED
C. MODERATE INCOME HOUSING UNITS	
AT LEAST 10% (7.7 UNITS) OF THE DWELLINGS IN EACH R-SA-8 DEVELOPMENT SHALL BE MODERATE INCOME HOUSING UNITS.	10% (7.7 UNITS)
D. OPEN SPACE:	
1. REQUIRED OPEN SPACE:	25% (2.89 AC.)
2. PROVIDED OPEN SPACE:	47% (5.48 AC.)
3. REQUIRED RECREATIONAL OPEN SPACE:	30,800 SF (400 SF/SFA UNIT)
4. PROVIDED RECREATIONAL OPEN SPACE:	30,920 SF
-OPEN SPACE LAND AREA: 15,520 SF	
-RECREATIONAL AMENITY CREDIT: 15,400 SF	
- 2 GAZEBOS: 4,000 SF	
- 7 BENCHES: 1,400 SF	
- 2 TOT LOTS: 4,000 SF	
- 12 PICNIC TABLES WITH BENCHES: 6,000 SF	
PARKING REQUIREMENTS:	
A. REQUIRED PARKING (77 SINGLE-FAMILY ATTACHED):	193 SPACES TOTAL
1. RESIDENTIAL UNITS (2 SPACES PER DWELLING UNIT)	154 SPACES
2. VISITOR PARKING (0.5 PER DWELLING UNIT)	39 SPACES
B. PROVIDED PARKING:	202 TOTAL SPACES
1. SINGLE FAMILY ATTACHED GARAGE SPACES:	77 SPACES
2. SINGLE FAMILY ATTACHED DRIVEWAY SPACES:	77 SPACES
3. OFF-STREET / GUEST SPACES:	48 SPACES
3.1 REQUIRED HANDICAPPED:	2 SPACES (2 SPACES PER 26-50 PARKING SPACES REQUIRED)
3.2 PROVIDED HANDICAPPED PARKING:	3 SPACES

STORMWATER MANAGEMENT PRACTICE CHART			
LABEL	TYPE	LABEL	TYPE
SWM#1	M-8: Bio-Swale	SWM#16	M-8: Micro-Bioretentation
SWM#2	M-8: Micro-Bioretentation	SWM#17	M-8: Micro-Bioretentation
SWM#3	M-8: Micro-Bioretentation	SWM#18	M-8: Micro-Bioretentation
SWM#4	A-2: Porous-Pavement	SWM#19	M-8: Micro-Bioretentation
SWM#5	A-2: Porous-Pavement	SWM#20	M-8: Micro-Bioretentation
SWM#6	M-8: Bio-Swale	SWM#21	M-8: Bio-Swale
SWM#7	M-8: Bio-Swale	SWM#22	M-8: Micro-Bioretentation
SWM#8	M-8: Micro-Bioretentation	SWM#23	M-8: Micro-Bioretentation
SWM#9	M-8: Micro-Bioretentation	SWM#24	M-8: Micro-Bioretentation
SWM#10	M-8: Bio-Swale	SWM#25	M-8: Micro-Bioretentation
SWM#11	A-2: Porous-Pavement	SWM#26	M-8: Micro-Bioretentation
SWM#12	M-8: Micro-Bioretentation	SWM#27	M-8: Micro-Bioretentation
SWM#13	M-8: Micro-Bioretentation	SWM#28	M-8: Micro-Bioretentation
SWM#14	M-8: Micro-Bioretentation	SWM#29	M-8: Micro-Bioretentation
SWM#15	M-8: Micro-Bioretentation	SWM#30	M-8: Micro-Bioretentation

BENCH MARKS

37BM1
N 563,400.0583 E 1,374,319.8700
NAD 83 (Adj 07)
NAVD 88

37DM3
N 561,077.4764 E 1,367,289.7870
NAD 83 (Adj 07)
NAVD 88



VICINITY MAP
SCALE: 1" = 2,000'

SHEET INDEX

1	COVER SHEET
2-3	LAYOUT PLANS
4-6	SOIL MAP, GRADING, EROSION AND SEDIMENT CONTROL PLANS
7-9	ROAD PLANS, PROFILES, AND CROSS SECTIONS
10	STORM DRAIN DRAINAGE AREA MAP
11-12	SCHEMATIC LANDSCAPE PLANS
13-14	FOREST CONSERVATION PLANS

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
748	8090 OLD MONTGOMERY ROAD, ELLICOTT CITY MD

OWNER/DEVELOPER: TAX MAP 37, PARCEL 748 (HORSE FARM PROPERTY)
HORSE FARM LLC
C/O LOVELL AMERICA
9200 RUMSEY ROAD
SUITE 200
COLUMBIA, MD 21045

CONTACT: RICHARD HAYWARD
410-997-7222

PETITIONER'S ATTORNEY:
OFFIT KURMAN PA
8171 MAPLE LAWN BLVD.
SUITE 200
MAPLE LAWN, MD 20759

CONTACT: WILLIAM E. ERSKINE
410-738-1563
WERSKINE@OFFITKURMAN.COM

LEGEND

PR. LOT LINE	EX. ELECTRIC CONDUIT
PR. BUILDING FOOTPRINT	EX. LIGHT POLES
PR. BUILDING SETBACK	EX. GAS LINE
PR. CURB AND GUTTER	EX. STORM DRAIN
PR. SIDEWALK	EX. CONDUIT
PR. RETAINING WALL	EX. FIBER OPTIC
EX. PROPERTY LINE	EX. TV LINE
EX. ADJACENT PROPERTY LINE	EX. ELECTRIC MANHOLE
EX. RIGHT OF WAY	EX. TELEPHONE MANHOLE
EX. EASEMENT	EX. BORING LOCATION
EX. ZONING LINE	EX. NON TIDAL WETLANDS
EX. BUILDING	EX. NON TIDAL WETLANDS
EX. CONCRETE	EX. 25' WETLAND BUFFER
EX. PAVEMENT	EX. FLOODPLAIN
EX. ROAD CENTERLINE	EX. STREAMS OF THE US
EX. FENCE	EX. STREAM BUFFER
EX. OVERHEAD LINE	EX. 2' CONTOUR
EX. WATER LINE	EX. 10' CONTOUR
EX. SEWER LINE	
EX. STREAM BUFFER	
EX. TREE LINE	
EX. GUARD RAIL	

SHEET:
PESP-01



MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE
LAUREL, MD 20707
(410) 792-9792 / (301) 776-1690
FAX: (410) 792-7395
MRAGTA.COM

TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY

COVER SHEET

TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:	15368 x 02
		SCALE:	1" = 50'
		DATE:	03/09/2016
		DRAWN BY:	ATS
		DESIGN BY:	ATS
		REVIEW BY:	TCN
		SHEET:	1 OF 14

OWNER / APPLICANT / DEVELOPER:

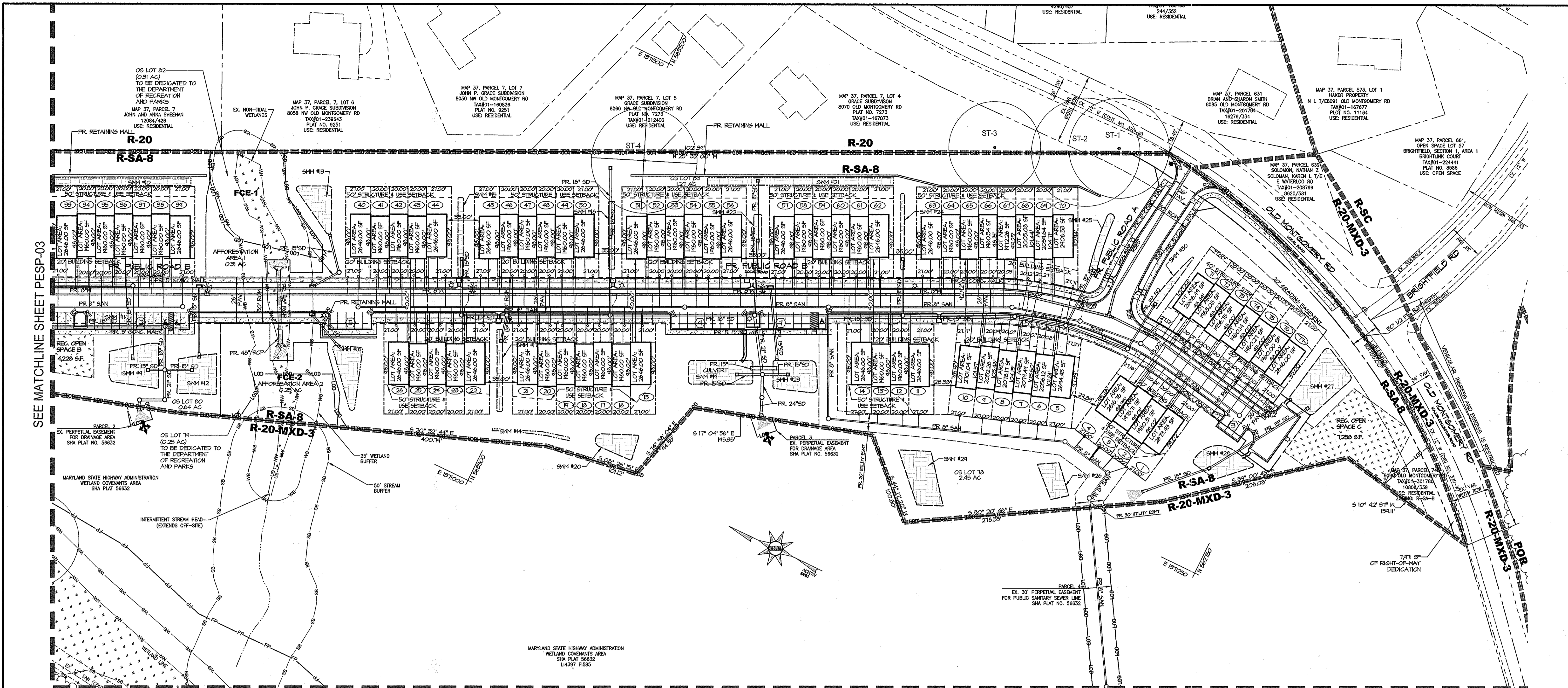
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ADDRESS: 9200 RUMSEY ROAD, SUITE 200
COLUMBIA, MD 21045
CONTACT: RICHARD HAYWARD
PHONE: 410-997-7222

MD PROFESSIONAL CERTIFICATION: 3-10-16

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29203, EXPIRATION DATE: 06/16/2017.

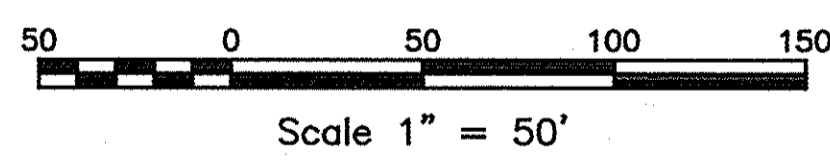
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Richard Hayward
PLANNING DIRECTOR NY 3-31-16 DATE



SEE MATCHLINE SHEET PESP-03

SEE MATCHLINE SHEET PESP-06



LAYOUT PLAN
SCALE: 1"=50'

LEGEND

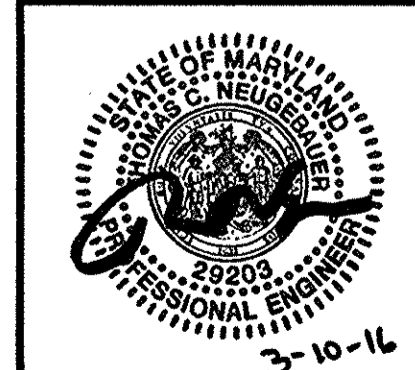
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|--|---|
| <ul style="list-style-type: none"> --- EX. PROPERTY LINE --- EX. ADJACENT PROPERTY LINE --- EX. RIGHT OF WAY --- EX. EASEMENT --- EX. ZONING LINE --- EX. BUILDING --- EX. CONCRETE --- EX. PAVEMENT --- EX. ROAD CENTERLINE --- EX. FENCE --- EX. OVERHEAD LINE --- EX. WATER LINE --- EX. SEWER LINE --- EX. STREAM --- EX. STREAM BUFFER --- EX. TREE LINE --- EX. GUARD RAIL --- EX. ELECTRIC CONDUIT --- EX. LIGHT POLES --- EX. GAS LINE --- EX. STORM DRAIN --- EX. CONDUIT --- EX. FIBER OPTIC --- EX. TV LINE --- EX. ELECTRIC MANHOLE --- EX. TELEPHONE MANHOLE --- EX. BORING LOCATION --- EX. NON TIDAL WETLANDS --- EX. NON TIDAL WETLANDS --- EX. 25' WETLAND BUFFER --- EX. FLOODPLAIN --- EX. WATERS OF THE US --- EX. STREAM BUFFER --- EX. SPECIMEN TREE | <ul style="list-style-type: none"> --- PR. LOT LINE --- PR. BUILDING FOOTPRINT --- PR. BUILDING SETBACK --- PR. CURB AND GUTTER --- PR. SIDEWALK --- PR. LINE OF SIGHT --- PR. RECREATIONAL OPEN SPACE --- PR. POROUS PAVEMENT --- PR. PUBLIC ROAD PAVEMENT --- PR. PUBLIC ROAD MILL & OVERLAY --- PR. STREET LIGHT (LED-100 COLONIAL) --- PR. STREET LIGHT (LED-150 COLONIAL) --- PR. LIMITS OF DISTURBANCE --- PR. LIMITS OF DISTURBANCE WITH TREE PROTECTION --- PR. STORMWATER MANAGEMENT FACILITY --- PR. BIOSWALE --- PR. AFFORESTATION & FOREST CONSERVATION EASEMENT --- PR. 8" SEWER LINE --- PR. 8" WATER LINE --- PR. WATER HOUSE CONNECTION --- PR. SEWER HOUSE CONNECTION |
|--|---|

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

[Signature]
PLANNING DIRECTOR

3-316
DATE

OWNER / APPLICANT / DEVELOPER:
HORSE FARM, LLC
ADDRESS: 9200 RUMSEY ROAD, SUITE 200
COLUMBIA, MD 21045
CONTACT: RICHARD HAYWARD
PHONE: 410-997-7222



MD PROFESSIONAL
CERTIFICATION

I HEREBY CERTIFY THAT
THESE DOCUMENTS WERE
PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY
LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND,
LICENSE NO. 29203,
EXPIRATION DATE:
06/16/2017.

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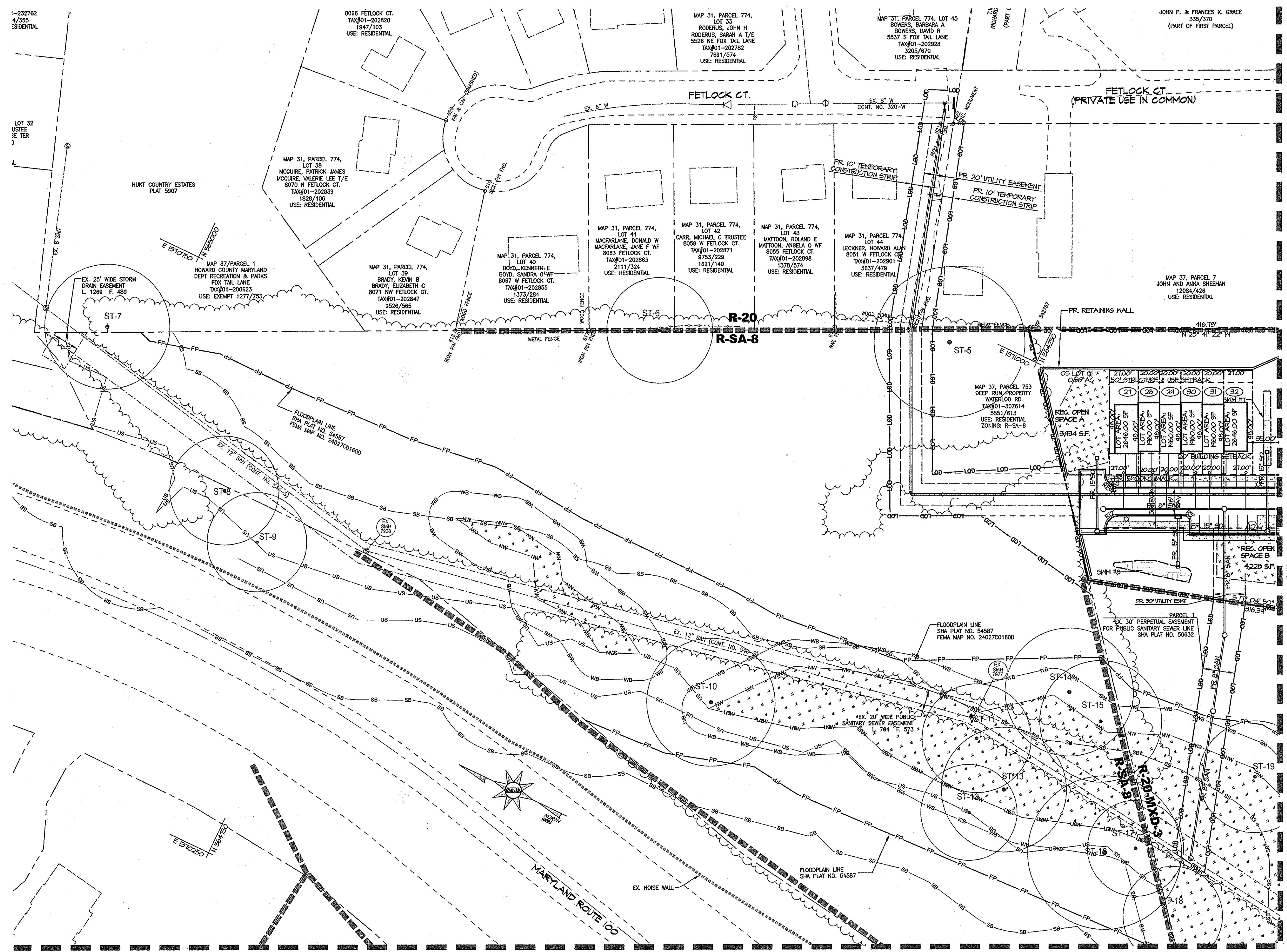
SHEET:
PESP-02

SP-16-002

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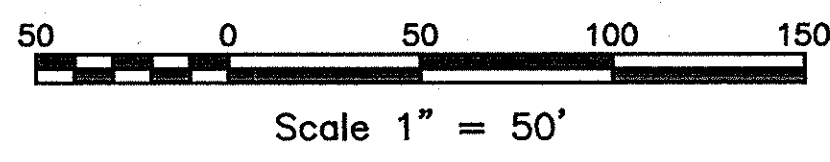
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- - - PR. WATER HOUSE CONNECTION
- - - PR. SEWER HOUSE CONNECTION



SEE MATCHLINE SHEET PESP-02

SEE MATCHLINE SHEET PESP-06

LAYOUT PLAN
SCALE: 1"=50'



TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

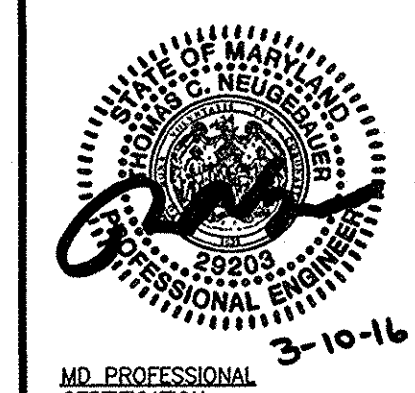
[Signature]
PLANNING DIRECTOR

3-31-16
DATE

OWNER / APPLICANT / DEVELOPER:
HORSE FARM, LLC
ADDRESS: 9200 RUMSEY ROAD, SUITE 200
COLUMBIA, MD 21045
CONTACT: RICHARD HAYWARD
PHONE: 410-997-7222



MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE
LAUREL, MD 20707
(410) 792-9792 / (301) 776-1690
FAX: (410) 792-7395
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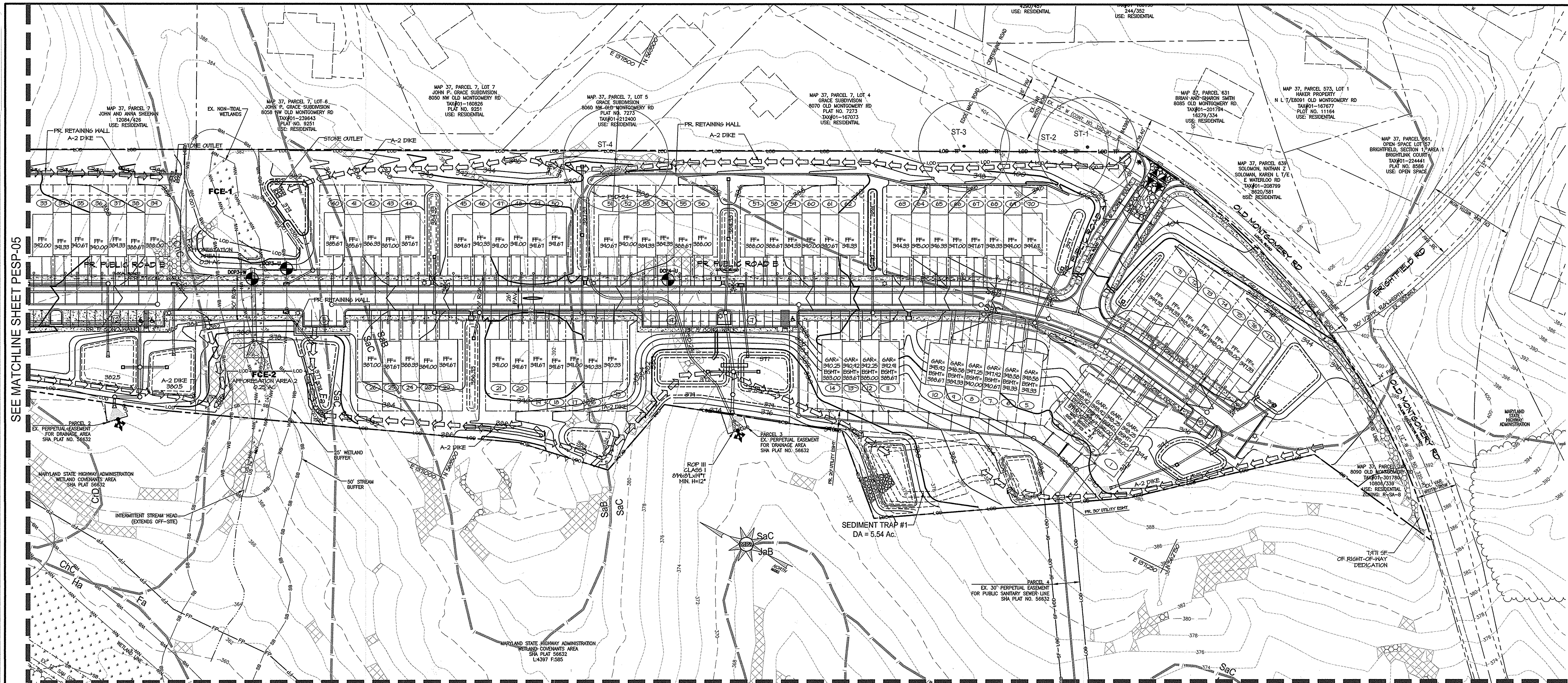
TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY

LAYOUT PLAN

TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:
		15368 x 02
		SCALE: 1" = 50'
		DATE: 03/09/2016
		DRAWN BY: ATS
		DESIGN BY: ATS
		REVIEW BY: TON
		SHEET: 3 OF 14

SHEET: PESP-03

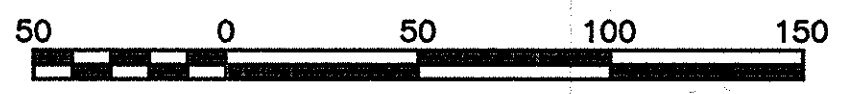


SEE MATCHLINE SHEET PESP-05

SEE MATCHLINE SHEET PESP-06

SOILS MAP, GRADING, EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 50'



Scale 1" = 50'

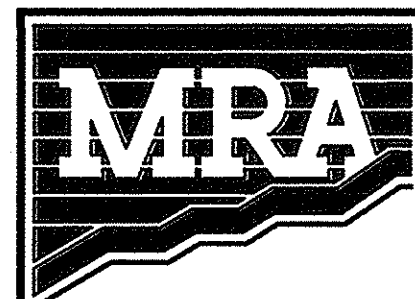
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- | | |
|---|--|
| <ul style="list-style-type: none"> --- EX. PROPERTY LINE --- EX. ADJACENT PROPERTY LINE --- EX. RIGHT OF WAY --- EX. EASEMENT --- EX. ZONING LINE --- EX. BUILDING --- EX. CONCRETE --- EX. PAVEMENT --- EX. ROAD CENTERLINE --- EX. FENCE --- EX. OVERHEAD LINE --- EX. WATER LINE --- EX. SEWER LINE --- EX. STREAM --- EX. STREAM BUFFER --- EX. TREE LINE --- EX. GUARD RAIL --- EX. ELECTRIC CONDUIT --- EX. LIGHT POLES --- EX. GAS LINE --- EX. STORM DRAIN --- EX. CONDUIT --- EX. FIBER OPTIC --- EX. TV LINE --- EX. ELECTRIC MANHOLE --- EX. TELEPHONE MANHOLE --- EX. BORING LOCATION --- EX. NON TIDAL WETLANDS --- EX. NON TIDAL WETLANDS --- EX. 25' WETLAND BUFFER --- EX. FLOODPLAIN --- EX. WATERS OF THE US --- EX. STREAM BUFFER --- EX. SPECIMEN TREE --- EX. 2' CONTOUR --- EX. 10' CONTOUR --- EX. 15-25% SLOPES --- EX. 25%+ SLOPES | <ul style="list-style-type: none"> --- EX. SOILS --- PR. LOT LINE --- PR. BUILDING FOOTPRINT --- PR. BUILDING SETBACK --- PR. CURB AND GUTTER --- PR. SIDEWALK --- PR. RETAINING WALL --- PR. POROUS PAVEMENT --- PR. PUBLIC ROAD PAVEMENT --- PR. PUBLIC ROAD MILL & OVERLAY --- PR. STREET LIGHT (LED-100 COLONIAL) --- PR. STREET LIGHT (LED-150 COLONIAL) --- PR. 5' CONTOUR --- PR. 1' CONTOUR --- PR. 2' CONTOUR --- PR. 10' CONTOUR --- PR. LIMITS OF DISTURBANCE WITH TREE PROTECTION --- PR. 8" SEWER LINE --- PR. 8" WATER LINE --- PR. WATER HOUSE CONNECTION --- PR. SEWER HOUSE CONNECTION |
|---|--|

SOILS LEGEND		
SYMBOL	NAME/DESCRIPTION	SOIL TYPE 'K' VALUE
ChC	CHILLUM-RUSSET LOAMS, 5-10% SLOPES	B 0.10-0.37
CrD	CROOM AND EVESBORO SOILS, 10-15% SLOPES	C 0.15-0.37
Fa	FALLSINGTON SANDY LOAM, 0-2% SLOPES	D 0.02-0.24
Ha	HATBORO-CORDORUS SILT LOAMS, 0-3% LOAMS	D 0.20-0.37
JaB	JACKLAND SILT LOAM, 3-8%	D 0.15-0.55
LaC	LEGORE SILT LOAM, 8-15% SLOPES	B 0.02-0.43
SaB	SASSAFRAS LOAM, 2-5% SLOPES	B 0.17-0.37
SaC	SASSAFRAS LOAM, 5-10% SLOPES	B 0.17-0.32
UsB	URBAN LAND-FALLSINGTON COMPLEX, 0-2% SLOPES	D 0.17-0.37

HOWARD COUNTY SOIL CONSERVATION DISTRICT MAP NUMBER 14-036

OWNER / APPLICANT / DEVELOPER:
 HORSE FARM, LLC
 ADDRESS: 9200 RUMSEY ROAD, SUITE 200
 COLUMBIA, MD 21045
 CONTACT: RICHARD HAYWARD
 PHONE: 410-997-7222



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 MRAGTA.COM

TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY
 SOILS MAP, GRADING,
 EROSION AND SEDIMENT CONTROL PLAN

TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
 1ST ELECTION DISTRICT
 HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:
		15368 x 02
		SCALE: 1" = 50'
		DATE: 03/09/2016
		DRAWN BY: ATS
		DESIGN BY: ATS
		REVIEW BY: TON
		SHEET: 4 OF 14

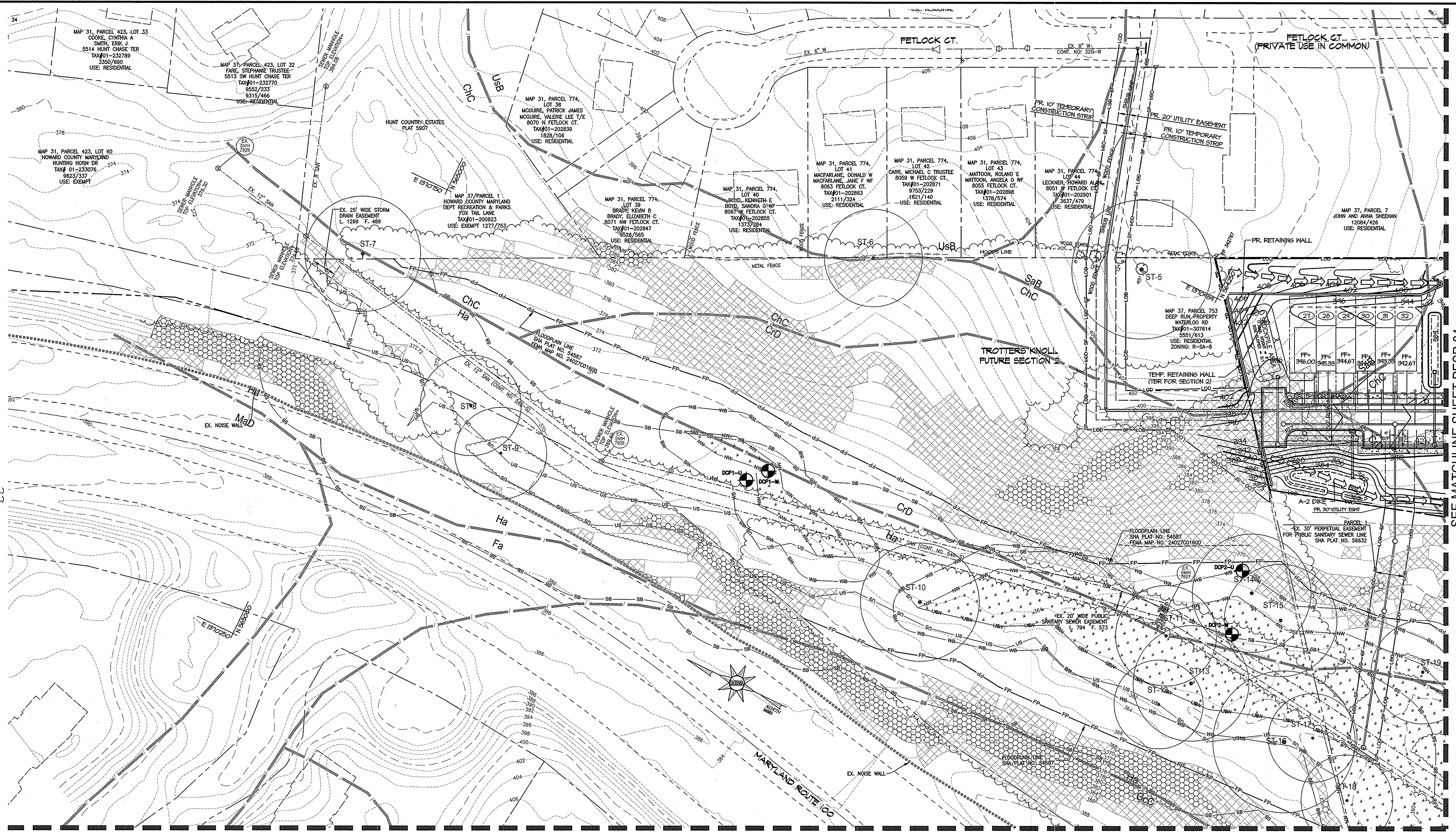
TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

 PLANNING DIRECTOR
 3-31-16
 DATE

SHEET:
PESP-04

LEGEND

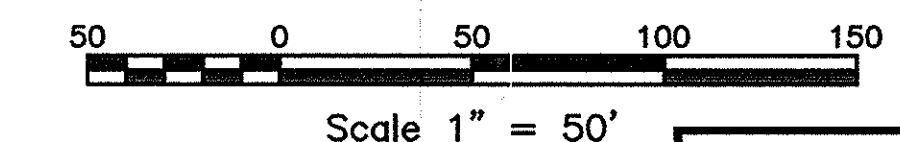
- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY
- EX. EASEMENT
- EX. ZONING LINE
- EX. BUILDING
- EX. CONCRETE
- EX. PAVEMENT
- EX. ROAD CENTERLINE
- EX. FENCE
- EX. OVERHEAD LINE
- EX. WATER LINE
- EX. SEWER LINE
- EX. STREAM
- EX. STREAM BUFFER
- EX. TREE LINE
- EX. GUARD RAIL
- EX. ELECTRIC CONDUIT
- EX. LIGHT POLES
- EX. GAS LINE
- EX. STORM DRAIN
- EX. CONDUIT
- EX. FIBER OPTIC
- EX. TV LINE
- EX. ELECTRIC MANHOLE
- EX. TELEPHONE MANHOLE
- EX. BORING LOCATION
- EX. NON TIDAL WETLANDS
- EX. 25' WETLAND BUFFER
- EX. FLOODPLAIN
- EX. WATERS OF THE US
- EX. STREAM BUFFER
- EX. SPECIMEN TREE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. 15-25% SLOPES
- EX. 25%+ SLOPES
- EX. SOILS
- PR. LOT LINE
- PR. BUILDING FOOTPRINT
- PR. BUILDING SETBACK
- PR. CURB AND GUTTER
- PR. SIDEWALK
- PR. RETAINING WALL
- PR. POROUS PAVEMENT
- PR. PUBLIC ROAD PAVEMENT
- PR. PUBLIC ROAD MILL & OVERLAY
- PR. STREET LIGHT (LED-100 COLONIAL)
- PR. STREET LIGHT (LED-150 COLONIAL)
- PR. 5' CONTOUR
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 10' CONTOUR
- PR. LIMITS OF DISTURBANCE WITH TREE PROTECTION
- PR. 8" SEWER LINE
- PR. 8" WATER LINE
- PR. WATER HOUSE CONNECTION
- PR. SEWER HOUSE CONNECTION



SEE MATCHLINE SHEET PESP-06

SOILS MAP, GRADING, EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1"=50'

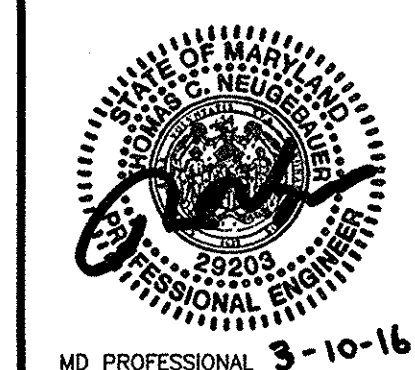


Scale 1" = 50'

SHEET: PESP-05



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TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY
 SOILS MAP, GRADING,
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TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
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		15368 x 02
		SCALE: 1" = 50'
		DATE: 03/09/2016
		DRAWN BY: ATS
		DESIGN BY: ATS
		REVIEW BY: TCN
		SHEET: 5 OF 14

OWNER / APPLICANT / DEVELOPER:
 HORSE FARM, LLC
 ADDRESS: 9200 RUMSEY ROAD, SUITE 200
 COLUMBIA, MD 21045
 CONTACT: RICHARD HAYWARD
 PHONE: 410-997-7222

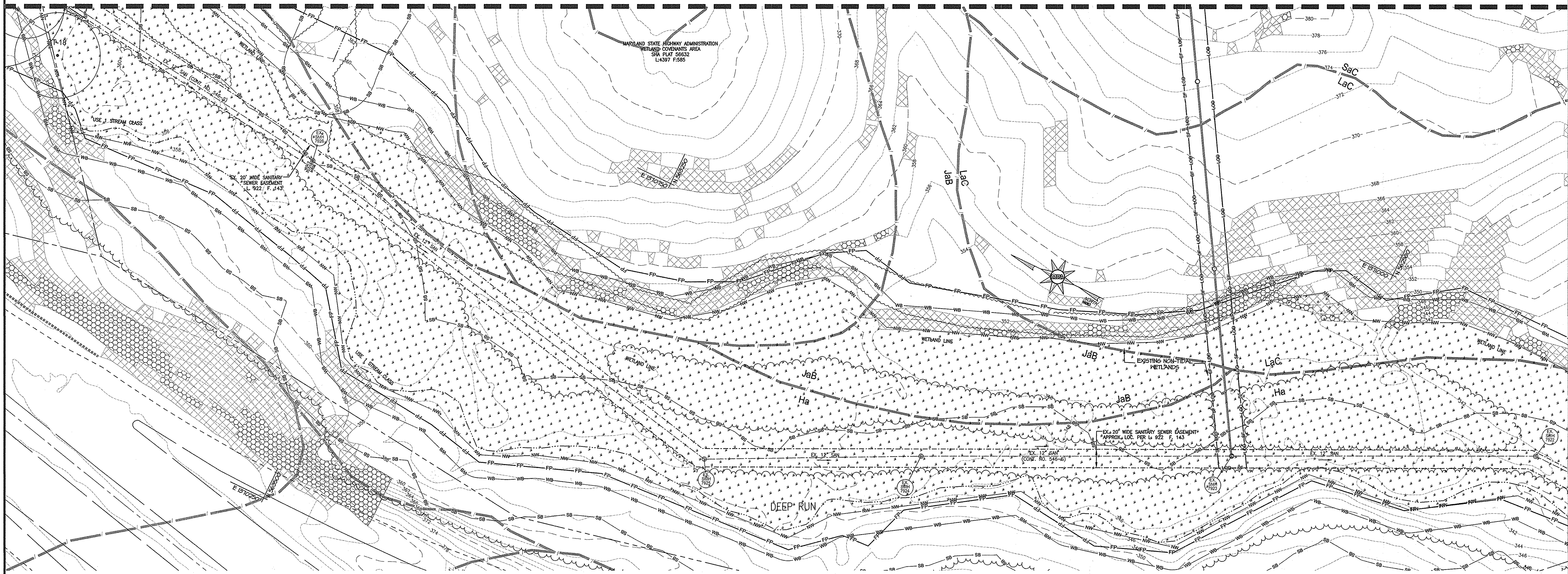
MD PROFESSIONAL ENGINEER
 3-10-16
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29203, EXPIRATION DATE: 06/16/2017.

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

[Signature]
 PLANNING DIRECTOR

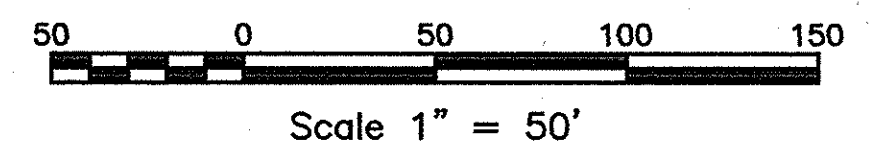
3-2-16
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SEE MATCHLINE SHEETS SP-02 THROUGH SP-05



SOILS MAP, GRADING, EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1"=50'



LEGEND

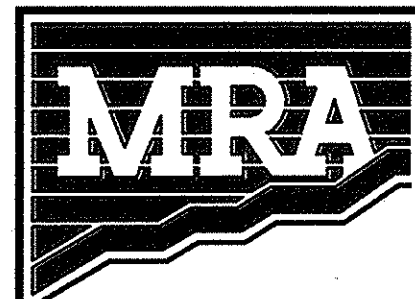
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TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

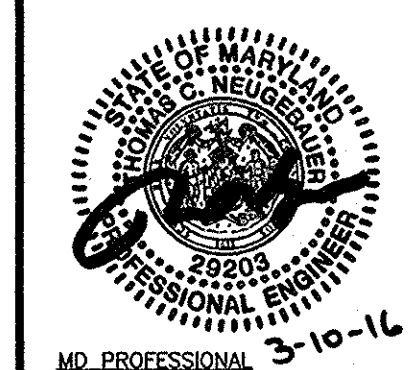
[Signature]
PLANNING DIRECTOR

3-21-16
DATE

OWNER / APPLICANT / DEVELOPER:
HORSE FARM, LLC
ADDRESS: 9200 RUMSEY ROAD, SUITE 200
COLUMBIA, MD 21045
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PHONE: 410-997-7222



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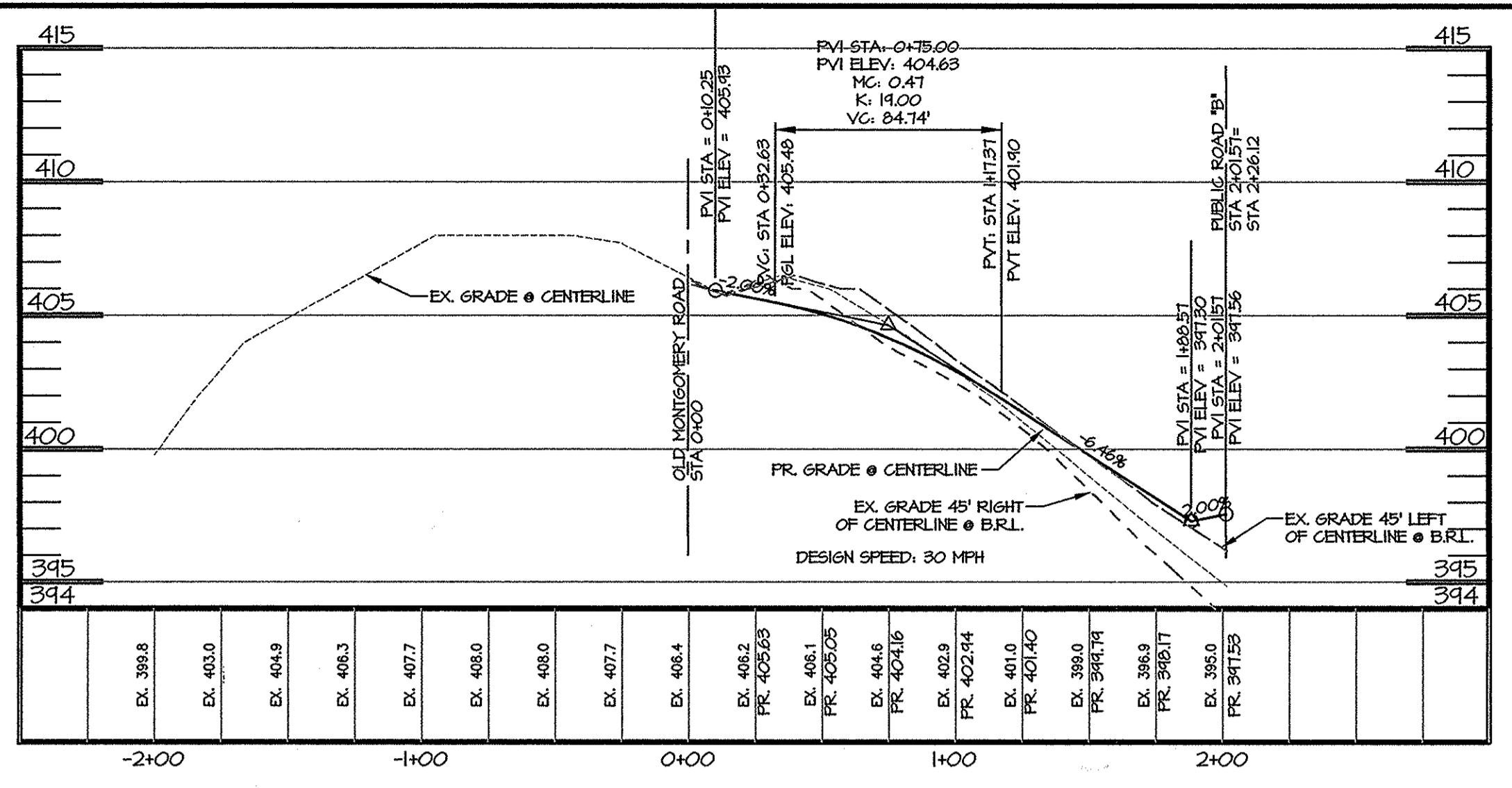


TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY
SOILS MAP, GRADING,
EROSION AND SEDIMENT CONTROL PLAN

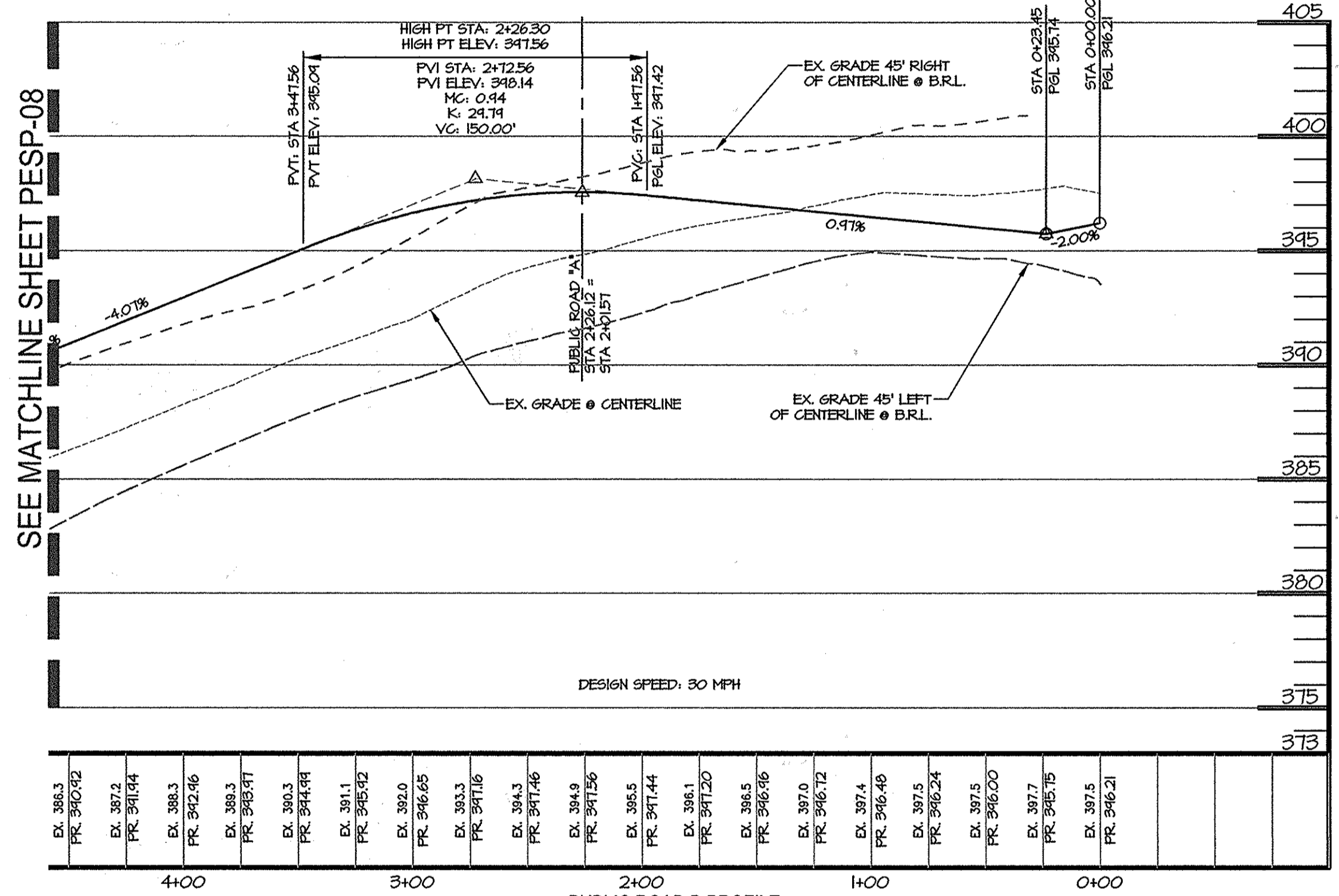
TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:
		15368 x 02
		SCALE: 1" = 50'
		DATE: 03/09/2016
		DRAWN BY: ATS
		DESIGN BY: ATS
		REVIEW BY: TCN
		SHEET: 6 OF 14

SHEET:
PESP-06



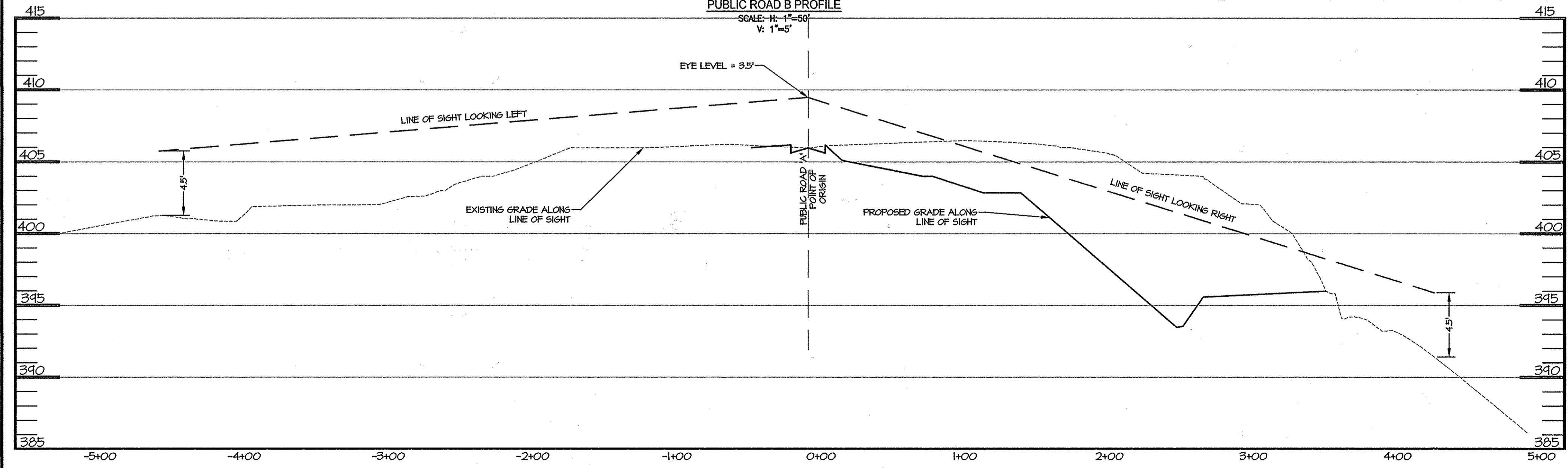
PUBLIC ROAD A PROFILE
SCALE: H: 1"=50'
V: 1"=5'



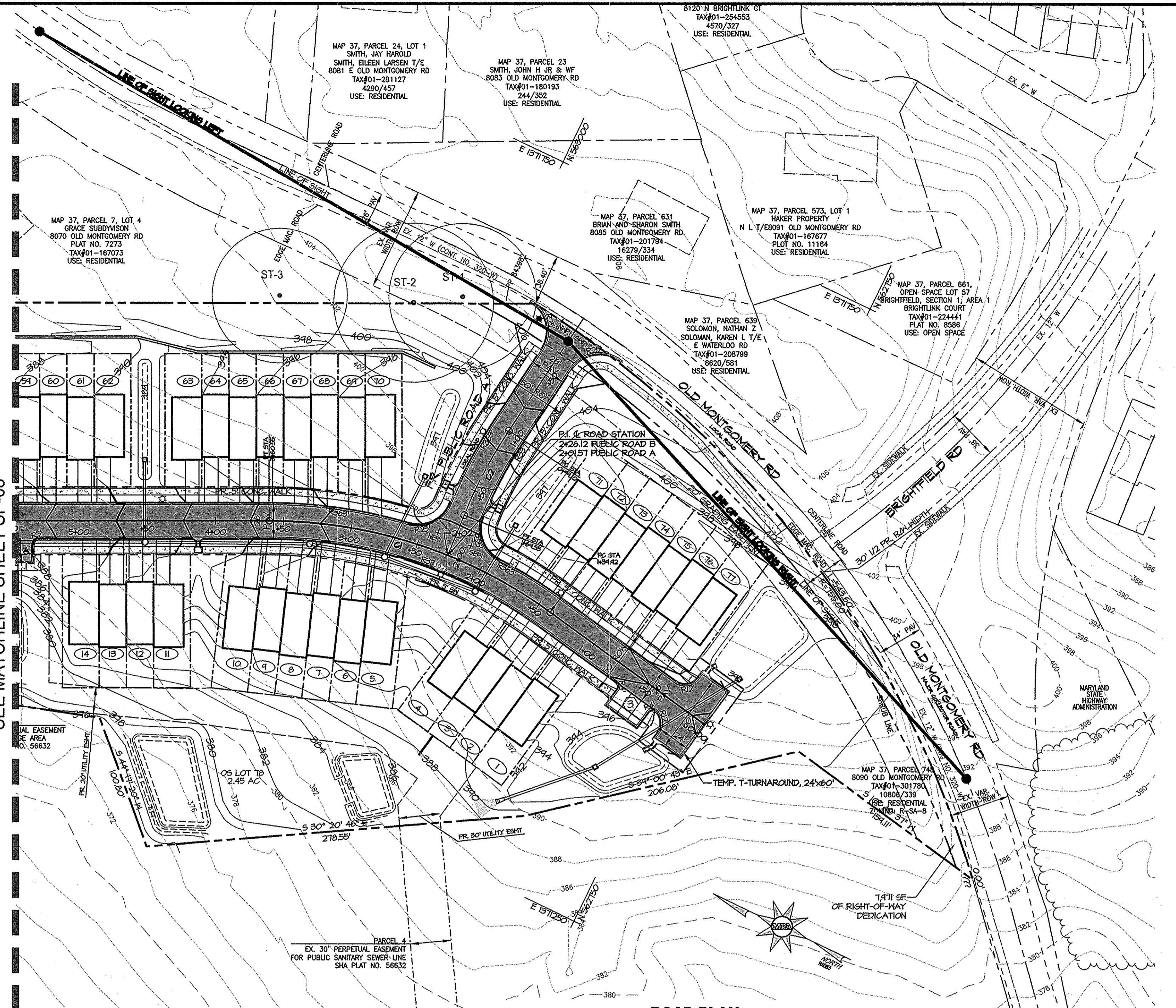
PUBLIC ROAD B PROFILE
SCALE: H: 1"=50'
V: 1"=5'

LEGEND

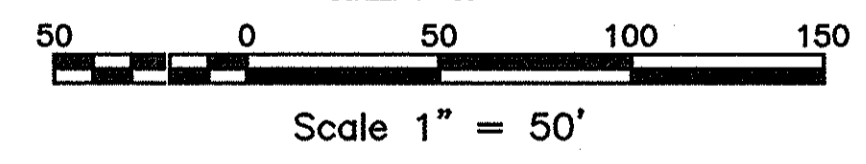
- EX. PROPERTY LINE
- - - EX. ADJACENT PROPERTY LINE
- - - EX. RIGHT OF WAY
- - - EX. EASEMENT
- - - EX. ZONING LINE
- - - EX. BUILDING
- - - EX. CONCRETE
- - - EX. PAVEMENT
- - - EX. ROAD CENTERLINE
- - - EX. FENCE
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- - - EX. WATER LINE
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- - - EX. TELEPHONE MANHOLE
- - - EX. NON TIDAL WETLANDS
- - - EX. NON TIDAL WETLANDS
- - - EX. 25' WETLAND BUFFER
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- - - EX. WATERS OF THE US
- - - EX. STREAM BUFFER
- - - PR. LOT LINE
- - - PR. BUILDING FOOTPRINT
- - - PR. BUILDING SETBACK
- - - PR. CURB AND GUTTER
- - - PR. SIDEWALK
- - - PR. RETAINING WALL
- - - PR. LINE OF SIGHT
- - - PR. 5' CONTOUR
- - - PR. 1' CONTOUR
- - - PR. 2' CONTOUR
- - - PR. 10' CONTOUR
- - - EX. 2' CONTOUR
- - - EX. 10' CONTOUR



OLD MONTGOMERY ROAD VERTICAL SIGHTLINE PROFILE
SCALE: H: 1"=50'
V: 1"=5'



ROAD PLAN
SCALE: 1"=50'



HORIZONTAL CURVE TABLE

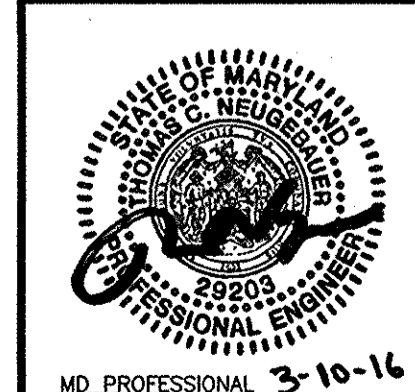
CURVE #	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT	DELTA
C1	350.00	220.63	N 07° 51' 51" W	216.41	114.12	036° 01' 02"
C2	350.00	70.45	N 87° 55' 00" W	70.23	35.34	011° 31' 50"

INTERSECTION SIGHT DISTANCE ANALYSIS*
(OPERATING SPEED = 45 MPH NB, 41 MPH SB)

REQUIRED	ISDL	ISDR	SSD
LEFT TURN	452'	446'	310'
RIGHT TURN	392'	N/A	310'
PROVIDED	452'	446'	446'

* PER HOWARD COUNTY DESIGN MANUAL VOLUME III - 2.5.B.9 AND AASHTO CHAPTER 9
NOTE: EXISTING GRADE OF OLD MONTGOMERY ROAD AT THE PROPOSED INTERSECTION IS 1% - ADJUSTMENT FACTORS FOR APPROACH GRADES ALONG OLD MONTGOMERY ROAD WERE APPLIED (+8.0% = 0.9 AND -2.2% = 1.0) TO DETERMINE THE REQUIRED INTERSECTION SIGHT DISTANCES.

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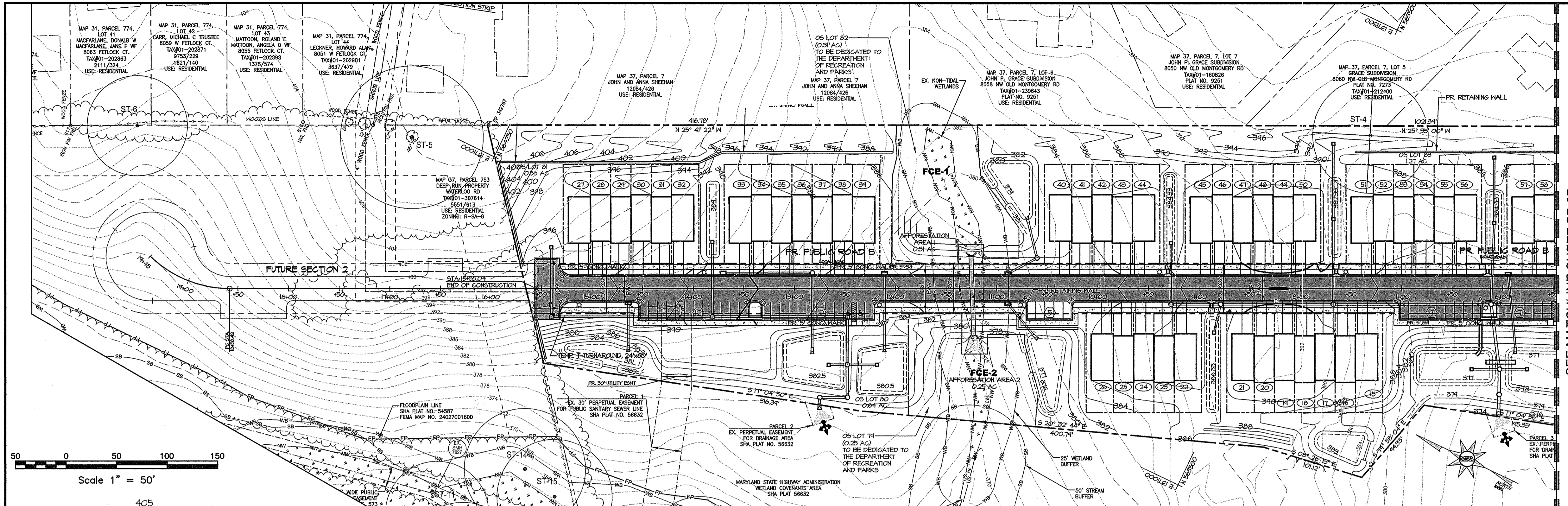
TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY

ROAD PLAN AND PROFILE
TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

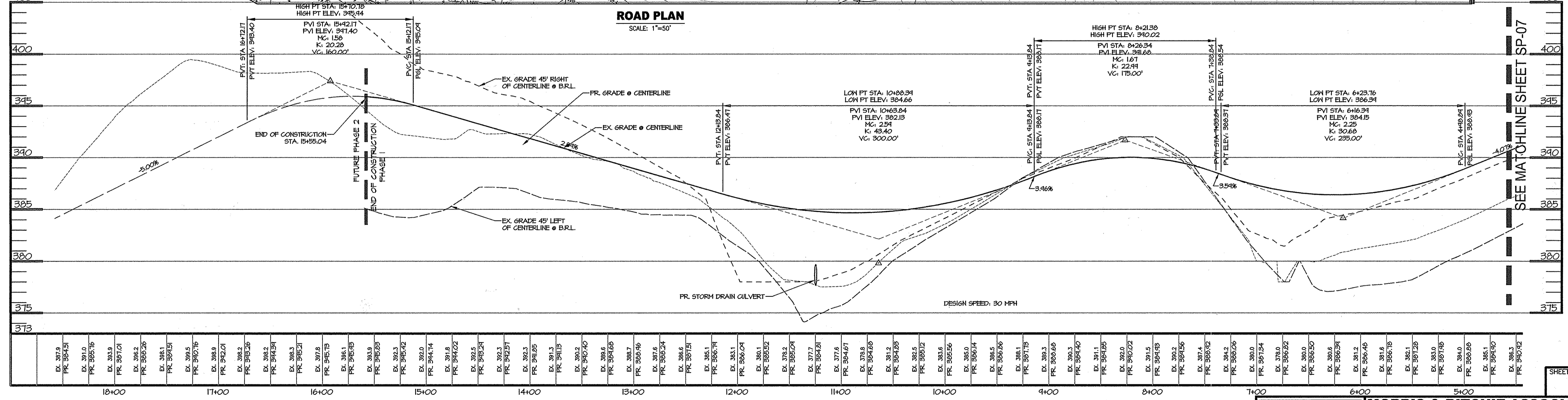
DATE	REVISIONS	JOB NO.:
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		DESIGN BY: ATS
		REVIEW BY: TON
		SHEET: 7 OF 14

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
[Signature]
PLANNING DIRECTOR
DATE: 3-31-16

SHEET: PESP-07



Scale 1" = 50'



ROAD PLAN
SCALE: 1"=50'

- LEGEND**
- EX. PROPERTY LINE
 - - - EX. ADJACENT PROPERTY LINE
 - - - EX. RIGHT OF WAY
 - - - EX. EASEMENT
 - - - EX. ZONING LINE
 - - - EX. BUILDING
 - - - EX. CONCRETE
 - - - EX. PAVEMENT
 - - - EX. ROAD CENTERLINE
 - - - EX. FENCE
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 - - - EX. WATER LINE
 - - - EX. SEWER LINE
 - - - EX. STREAM
 - - - EX. STREAM BUFFER
 - - - EX. TREE LINE
 - - - EX. GUARD RAIL
 - - - EX. ELECTRIC CONDUIT
 - - - EX. LIGHT POLES
 - - - EX. GAS LINE
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 - EX. NON TIDAL WETLANDS
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 - EX. FLOODPLAIN
 - EX. WATERS OF THE US
 - EX. STREAM BUFFER
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 - PR. RETAINING WALL
 - PR. LINE OF SIGHT
 - PR. 5' CONTOUR
 - PR. 1' CONTOUR
 - PR. 2' CONTOUR
 - PR. 10' CONTOUR

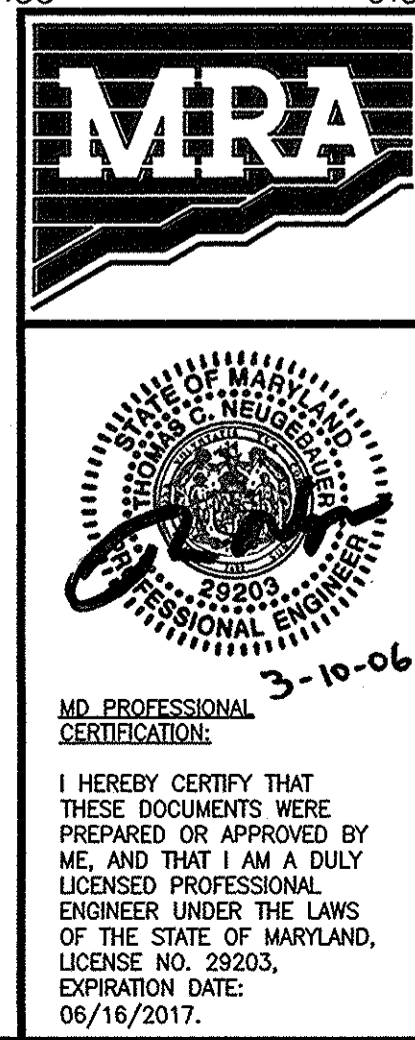
PUBLIC ROAD B PROFILE
SCALE: H: 1"=50'
V: 1"=5'

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

PLANNING DIRECTOR

DATE: 3-31-16

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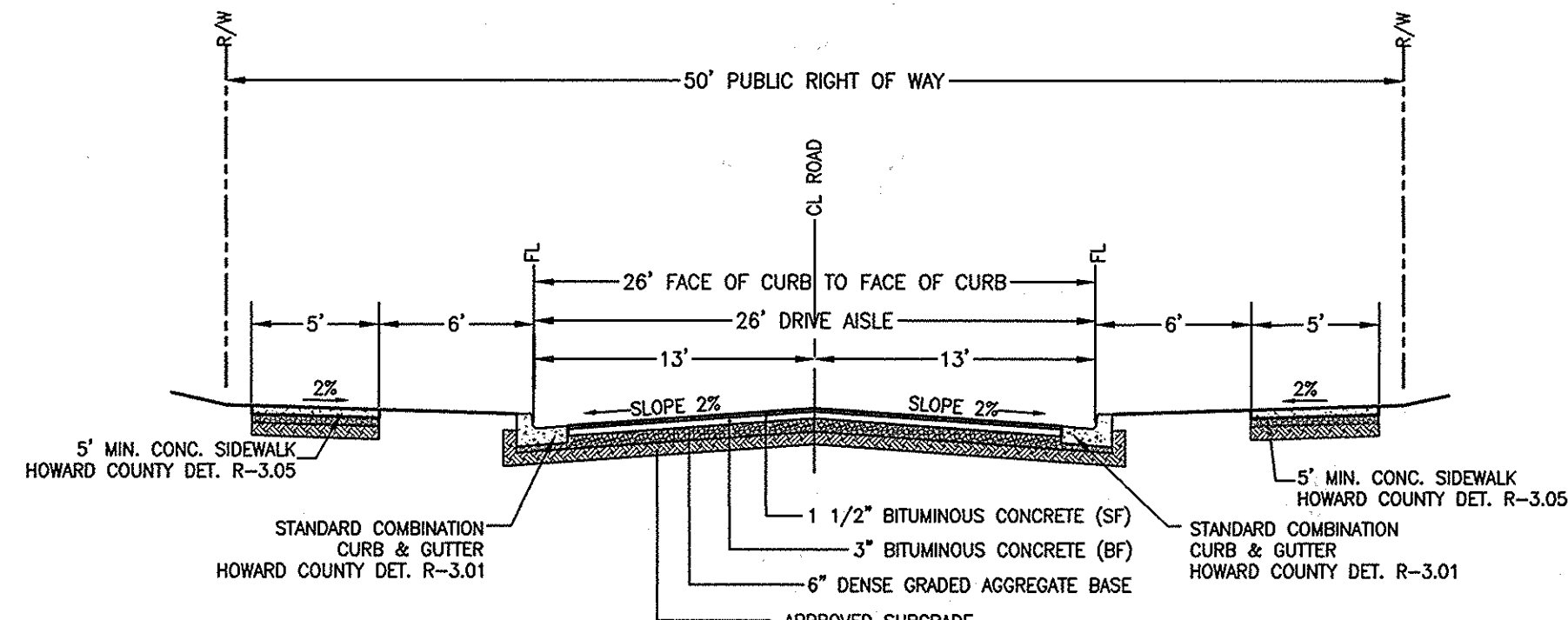
TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY

ROAD PLAN AND PROFILE

TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
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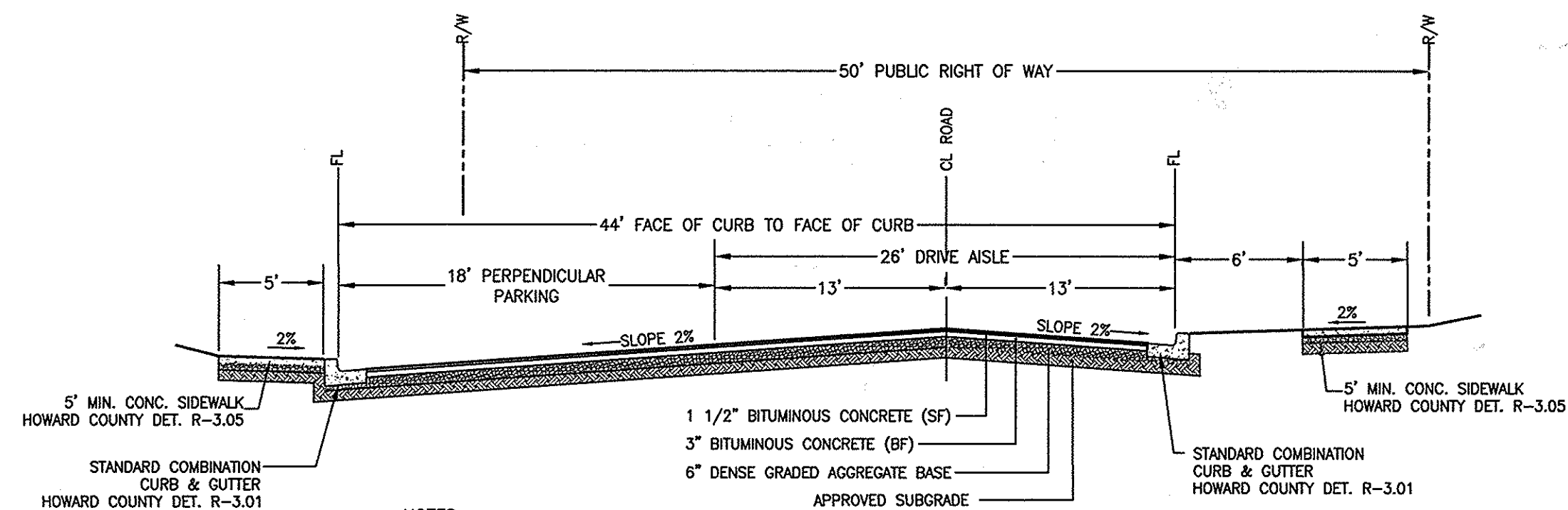
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		SHEET: 8 OF 14

SP-16-002



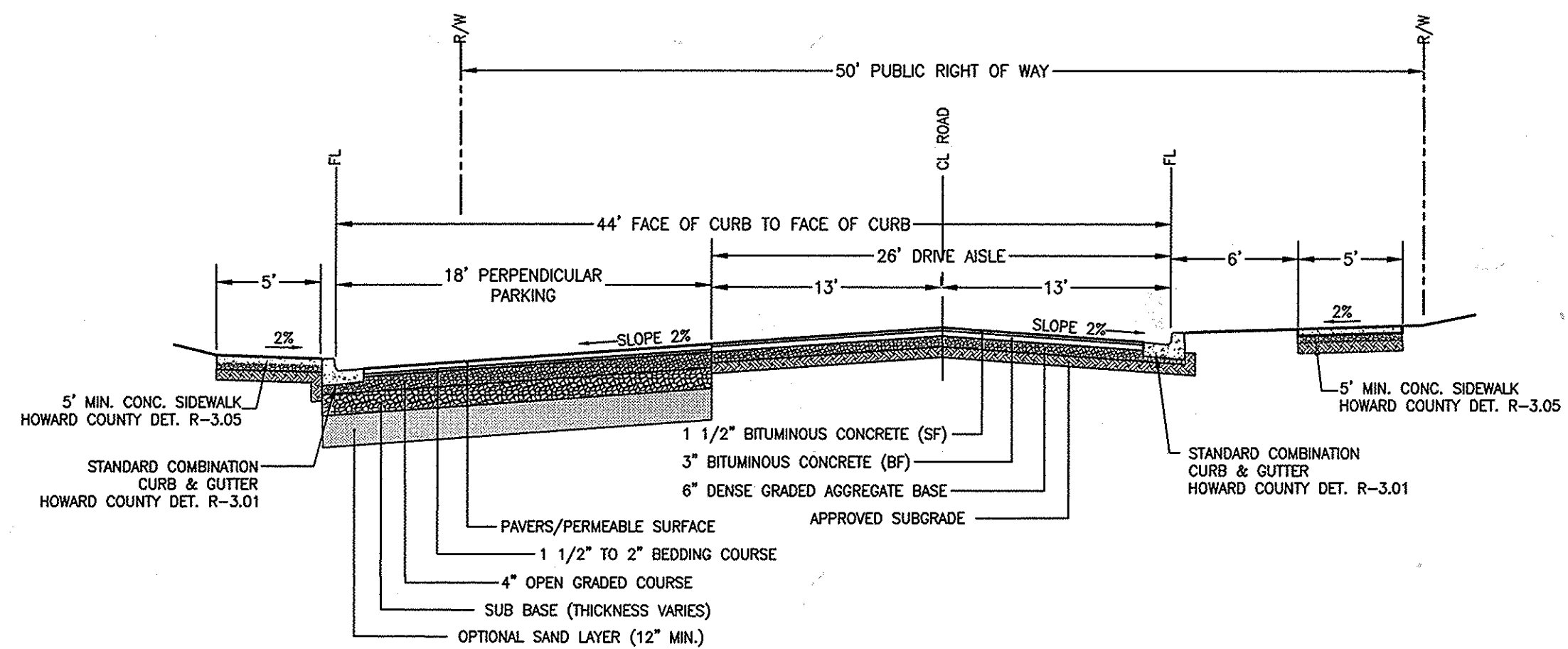
NOTES:
1. DEPRESSED CURB TO BE USED AT ALL DRIVEWAY LOCATIONS, SEE PLAN VIEWS.

TYPICAL SECTION PROPOSED PUBLIC ROAD B
STA. 0+00 TO STA. 5+32
STA. 7+02 TO STA. 12+22
STA. 14+53 TO STA. 15+57
ROAD A STA. 0+00 TO STA. 2+01
NOT TO SCALE

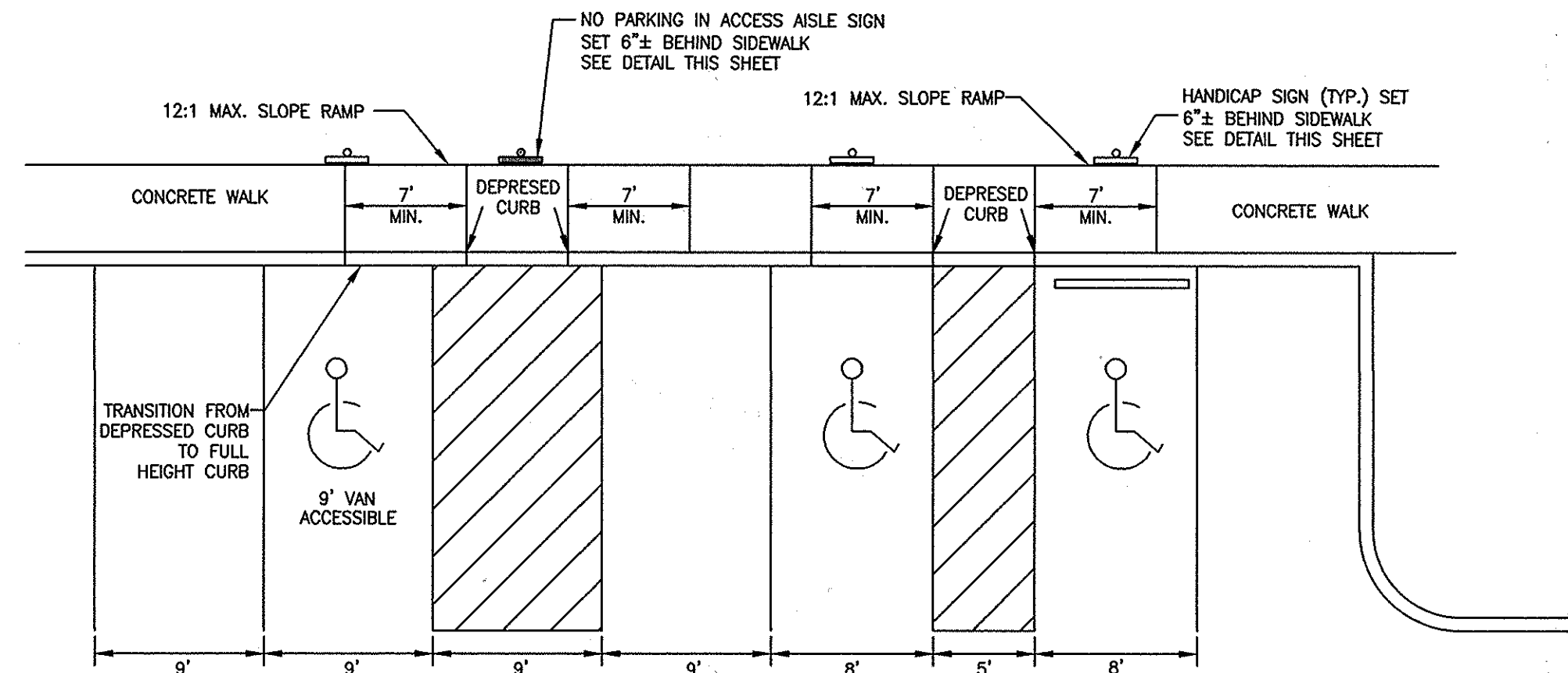


NOTES:
1. DEPRESSED CURB TO BE USED AT ALL DRIVEWAY LOCATIONS, SEE PLAN VIEWS.

TYPICAL SECTION PROPOSED PUBLIC ROAD B
STA. 5+32 TO 7+02
STA. 13+92 TO 14+53
NOT TO SCALE

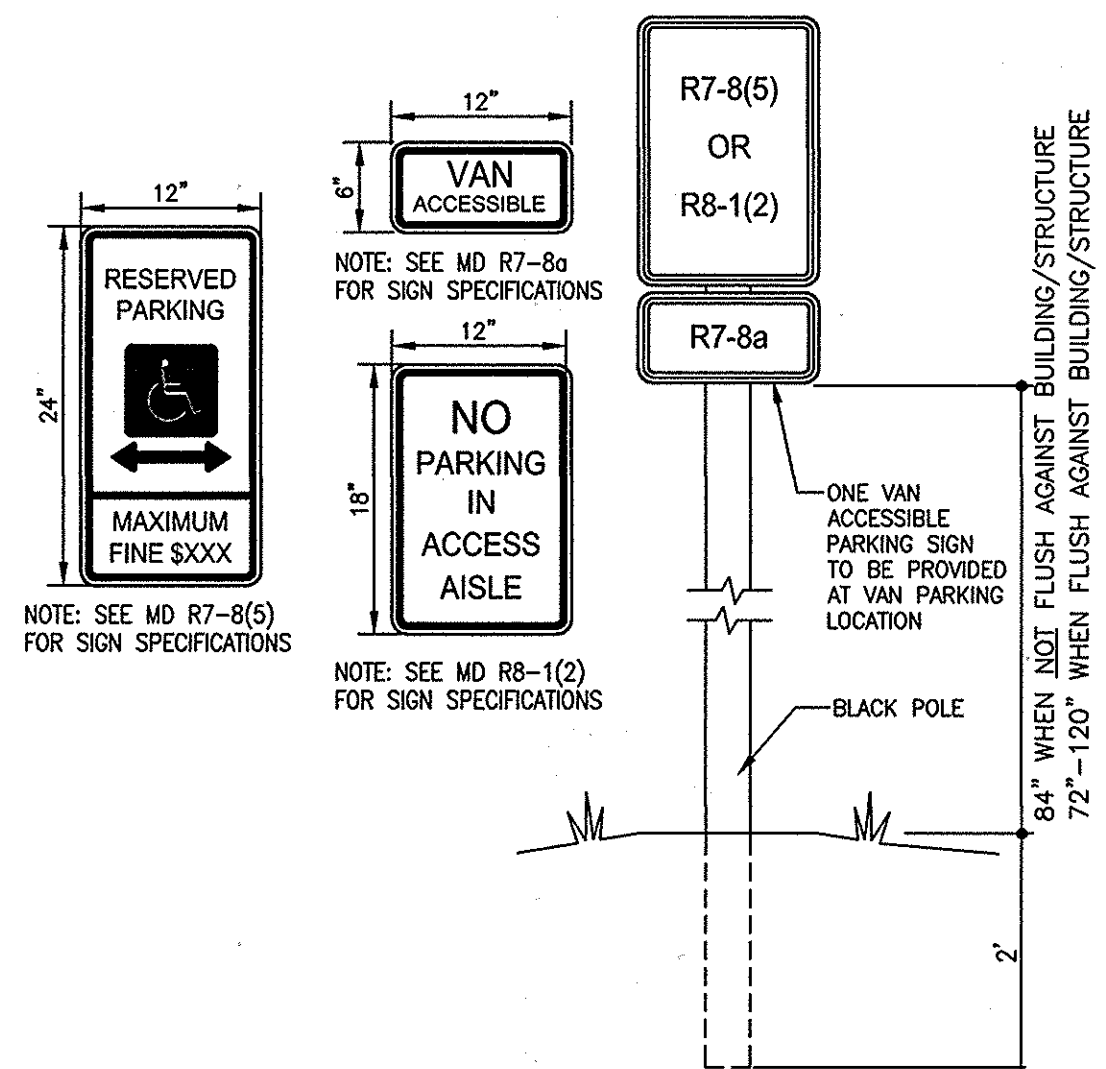


TYPICAL SECTION PROPOSED PUBLIC ROAD B
STA. 12+22 TO 13+92
NOT TO SCALE

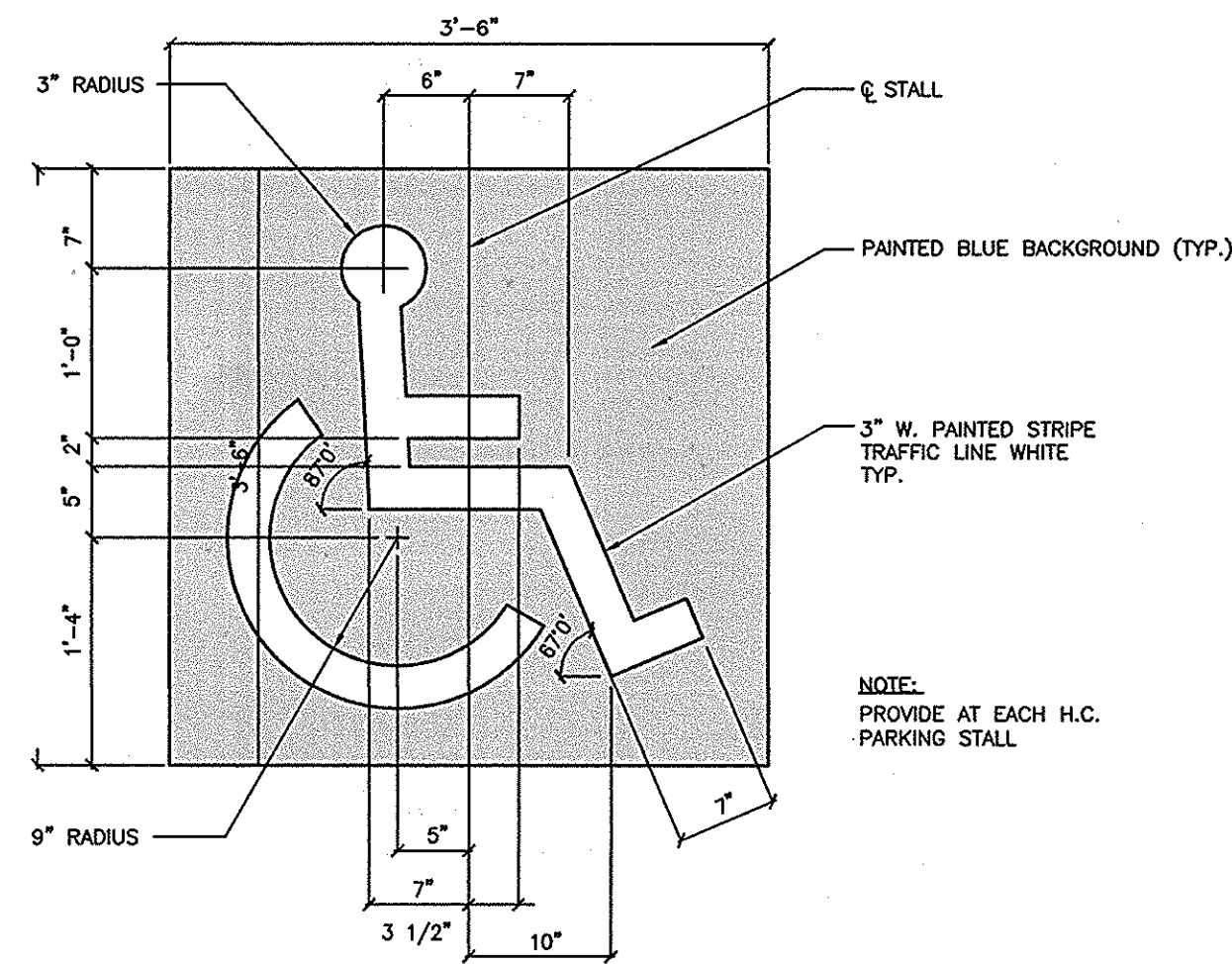


CONCRETE IN THIS AREA TO HAVE EXPOSED AGGR. OR HAVE A BROOM FINISH. DEPRESSED CURB IS TO BE LOCATED BEHIND THE HANDICAP SPACES AS SHOWN.
2% MAX. SLOPE ON ALL PAVED SURFACES EXCEPT AS NOTED.

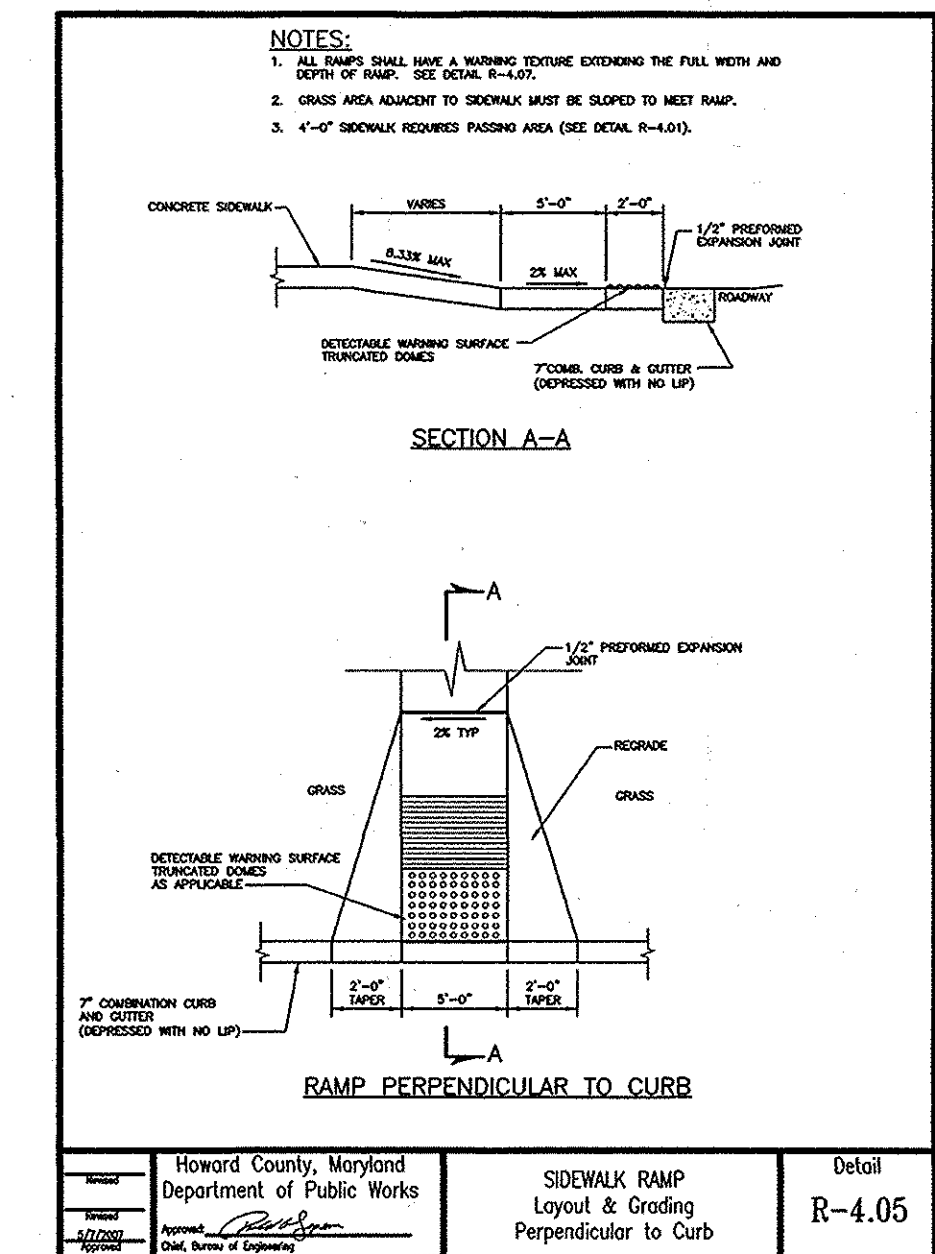
HANDICAP PARKING DETAIL
NOT TO SCALE



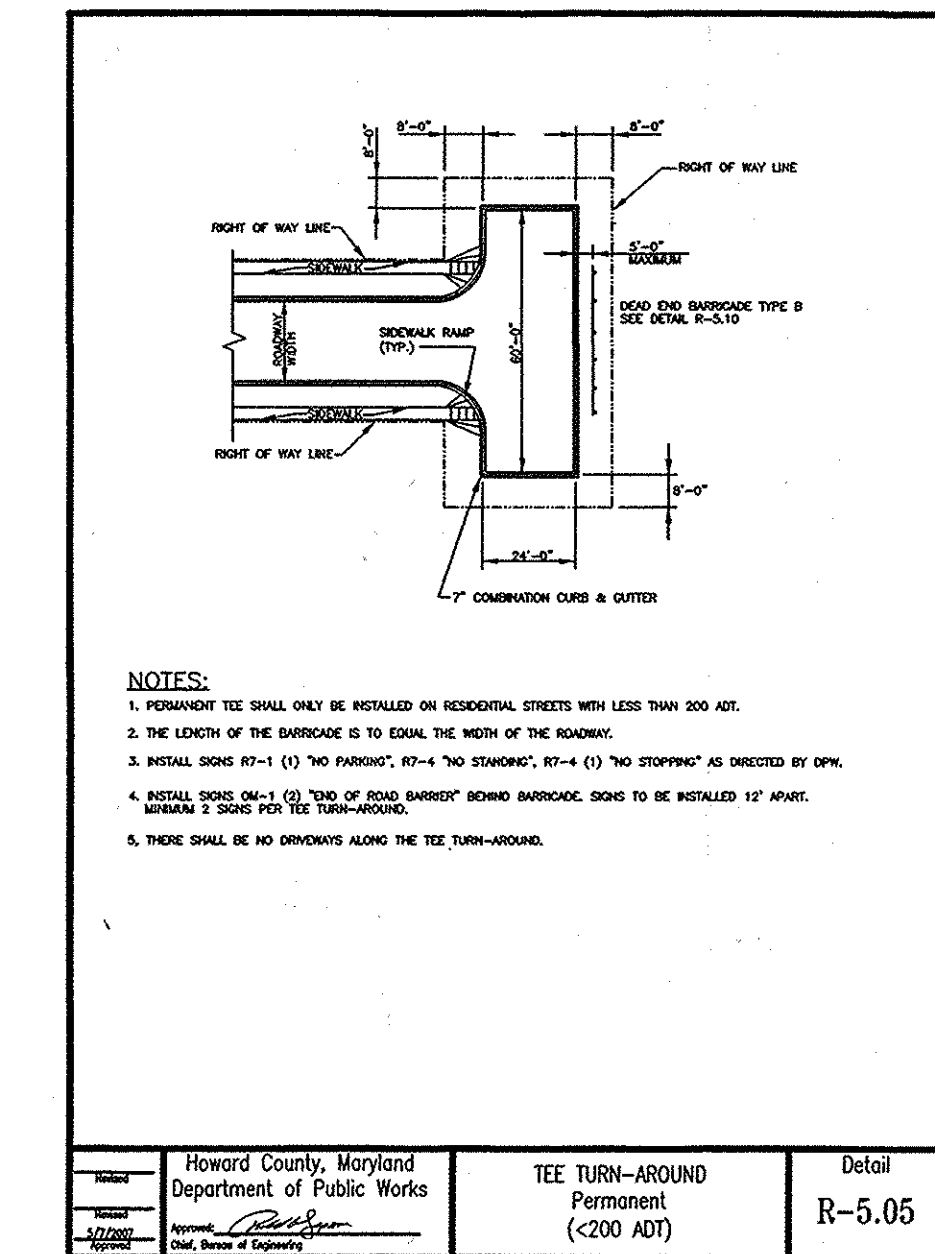
HANDICAP SIGN DETAIL
NOT TO SCALE



HANDICAP SYMBOL
NOT TO SCALE



RAMP PERPENDICULAR TO CURB
NOT TO SCALE



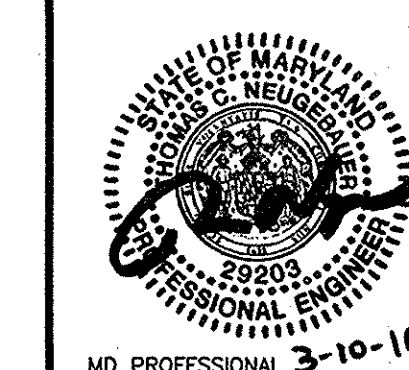
TEE TURN-AROUND
PERMANENT (<200 ADT)
NOT TO SCALE

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
PLANNING DIRECTOR
DATE: 3-31-16

OWNER / APPLICANT / DEVELOPER:
HORSE FARM, LLC
ADDRESS: 9200 RUMSEY ROAD, SUITE 200
COLUMBIA, MD 21045
CONTACT: RICHARD HAYWARD
PHONE: 410-897-7222



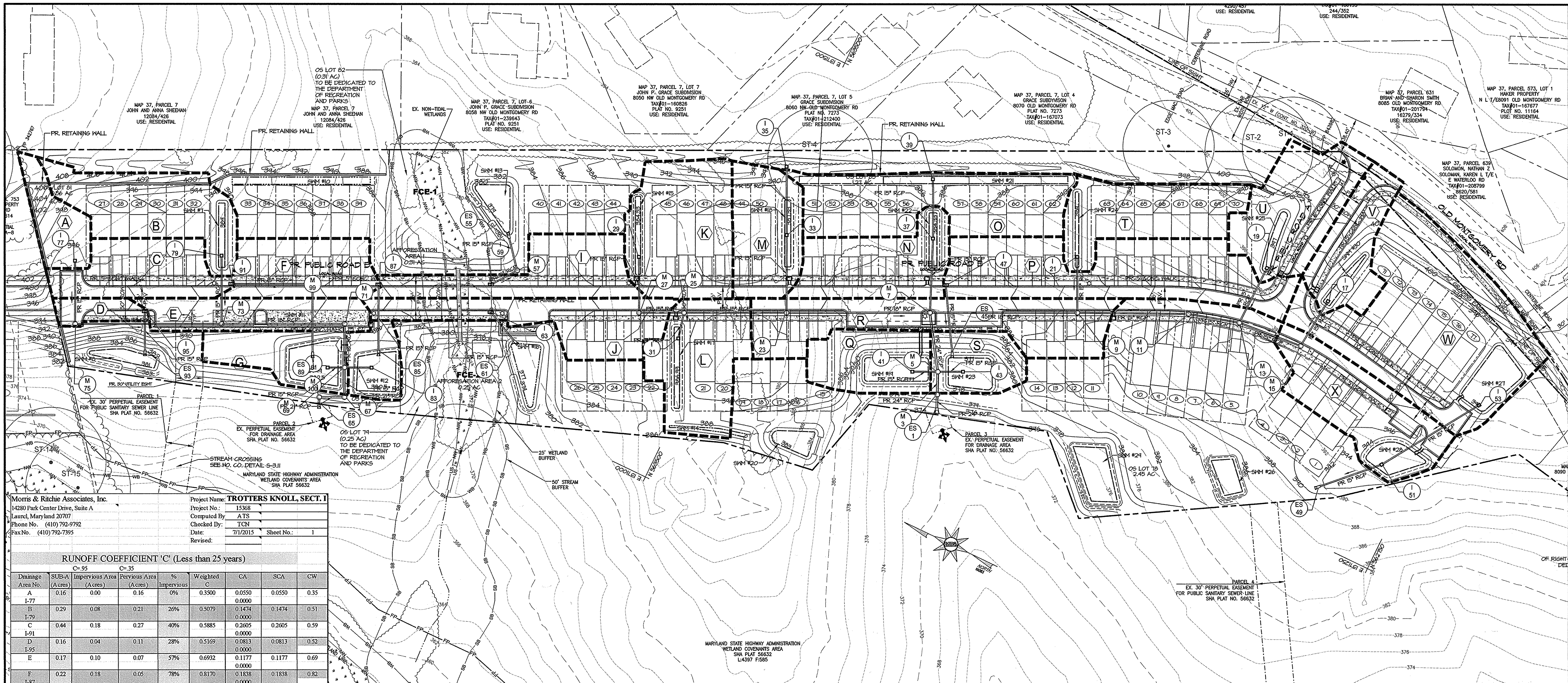
MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE
LAUREL, MD 20707
(410) 792-9792 / (301) 776-1690
FAX: (410) 792-7395
MRAGTA.COM



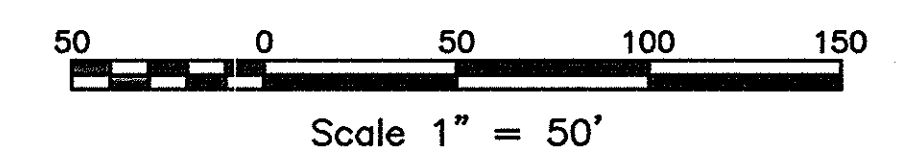
TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY
ROAD SECTIONS
TAX MAP 37 GRIDS 2 PARCEL 74B ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:
		15368 x 02
		SCALE: 1" = 50'
		DATE: 03/09/2016
		DRAWN BY: ATS
		DESIGN BY: ATS
		REVIEW BY: TCN
		SHEET: 9 OF 14

SHEET: PESP-09



STORM DRAIN DRAINAGE AREA MAP
SCALE: 1"=50'



Morris & Ritchie Associates, Inc.
14280 Park Center Drive, Suite A
Laurel, Maryland 20707
Phone No. (410) 792-9792
Fax No. (410) 792-7395

Project Name: **TROTTERS KNOLL, SECT. I**
Project No.: 15368
Computed By: ATS
Checked By: TCN
Date: 7/1/2015 Sheet No.: 1
Revised:

RUNOFF COEFFICIENT 'C' (Less than 25 years)								
C=95		C=35						
Drainage Area No.	SUB-A (Acres)	Impervious Area (Acres)	PerVIOUS Area (Acres)	% Impervious	Weighted C	CA	SCA	CW
A	0.16	0.00	0.16	0%	0.3500	0.0550	0.0550	0.35
1-77						0.0000		
B	0.29	0.08	0.21	26%	0.5079	0.1474	0.1474	0.51
1-79						0.0000		
C	0.44	0.18	0.27	40%	0.5885	0.2605	0.2605	0.59
1-91						0.0000		
D	0.16	0.04	0.11	28%	0.5109	0.0813	0.0813	0.52
1-95						0.0000		
E	0.17	0.10	0.07	57%	0.6932	0.1177	0.1177	0.69
F	0.22	0.18	0.05	78%	0.8170	0.1838	0.1838	0.82
1-87						0.0000		
G	0.13	0.00	0.13	0%	0.3500	0.0438	0.0438	0.35
1-81						0.0000		
H	0.10	0.00	0.10	0%	0.3500	0.0355	0.0355	0.35
1-83						0.0000		
I	0.27	0.18	0.08	69%	0.7652	0.2031	0.2031	0.77
1-59						0.0000		
J	0.28	0.21	0.07	76%	0.8041	0.2223	0.2223	0.80
1-63						0.0000		
K	0.39	0.17	0.22	44%	0.6168	0.2427	0.2427	0.62
1-29						0.0000		
L	0.30	0.11	0.19	36%	0.5689	0.1696	0.1696	0.57
1-31						0.0000		
M	0.21	0.06	0.14	31%	0.5363	0.1108	0.1108	0.54
1-33						0.0000		
N	0.27	0.19	0.08	69%	0.7652	0.2031	0.2031	0.77
1-57						0.0000		
O	0.44	0.14	0.29	33%	0.5480	0.2400	0.2400	0.55
1-39						0.0000		
P	0.47	0.36	0.11	77%	0.8093	0.3819	0.3819	0.81
1-47						0.0000		
Q	0.20	0.00	0.20	0%	0.3500	0.0695	0.0695	0.35
1-41						0.0000		
R	0.43	0.37	0.06	87%	0.8693	0.3713	0.3713	0.87
S	0.15	0.00	0.15	0%	0.3500	0.0523	0.0523	0.35
1-43						0.0000		
T	0.30	0.09	0.21	29%	0.5264	0.1567	0.1567	0.53
1-21						0.0000		
U	0.32	0.10	0.22	30%	0.5325	0.1714	0.1714	0.53
1-19						0.0000		
V	0.20	0.10	0.11	47%	0.6307	0.1286	0.1286	0.63
1-17						0.0000		
W	0.80	0.33	0.47	41%	0.5983	0.4777	0.4777	0.60
1-53						0.0000		
X	0.33	0.18	0.15	55%	0.6787	0.2272	0.2272	0.68
1-51						0.0000		

LEGEND

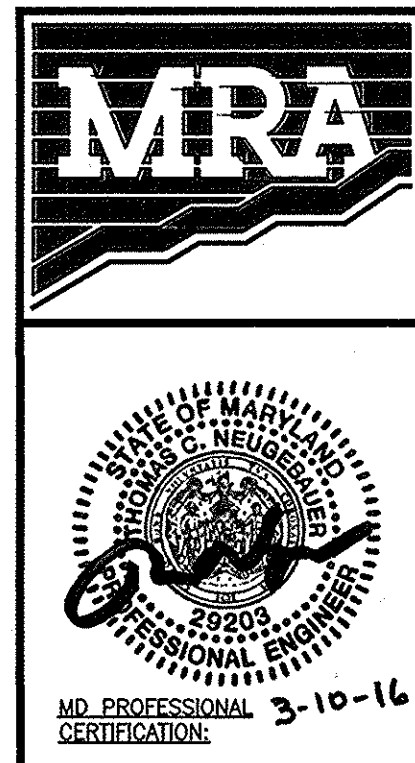
- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY
- EX. EASEMENT
- EX. ZONING LINE
- EX. BUILDING
- EX. CONCRETE
- EX. PAVEMENT
- EX. ROAD CENTERLINE
- EX. FENCE
- EX. OVERHEAD LINE
- EX. WATER LINE
- EX. SEWER LINE
- EX. STREAM
- EX. STREAM BUFFER
- EX. TREE LINE
- EX. GUARD RAIL
- EX. ELECTRIC CONDUIT
- EX. LIGHT POLES
- EX. GAS LINE
- EX. STORM DRAIN
- EX. CONDUIT
- EX. FIBER OPTIC
- EX. TV LINE
- EX. ELECTRIC MANHOLE
- EX. TELEPHONE MANHOLE
- EX. BORING LOCATION
- EX. NON TIDAL WETLANDS
- EX. NON TIDAL WETLANDS
- EX. 25' WETLAND BUFFER
- EX. FLOODPLAIN
- EX. WATERS OF THE US
- EX. STREAM BUFFER
- EX. SPECIMEN TREE
- PR. LOT LINE
- PR. BUILDING FOOTPRINT
- PR. BUILDING SETBACK
- PR. CURB AND GUTTER
- PR. SIDEWALK
- PR. RETAINING WALL
- PR. LINE OF SIGHT
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- PR. STORM DRAIN
- PR. SANITARY PIPE
- PR. WATER LINE
- PR. 5' CONTOUR
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 10' CONTOUR
- PR. SD DRAINAGE AREA DIVIDE
- PR. SD DRAINAGE AREA LABEL

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

[Signature]
PLANNING DIRECTOR

3-31-16
DATE

OWNER / APPLICANT / DEVELOPER:
HORSE FARM, LLC
ADDRESS: 9200 RUMSEY ROAD, SUITE 200
COLUMBIA, MD 21045
CONTACT: RICHARD HAYWARD
PHONE: 410-997-7222



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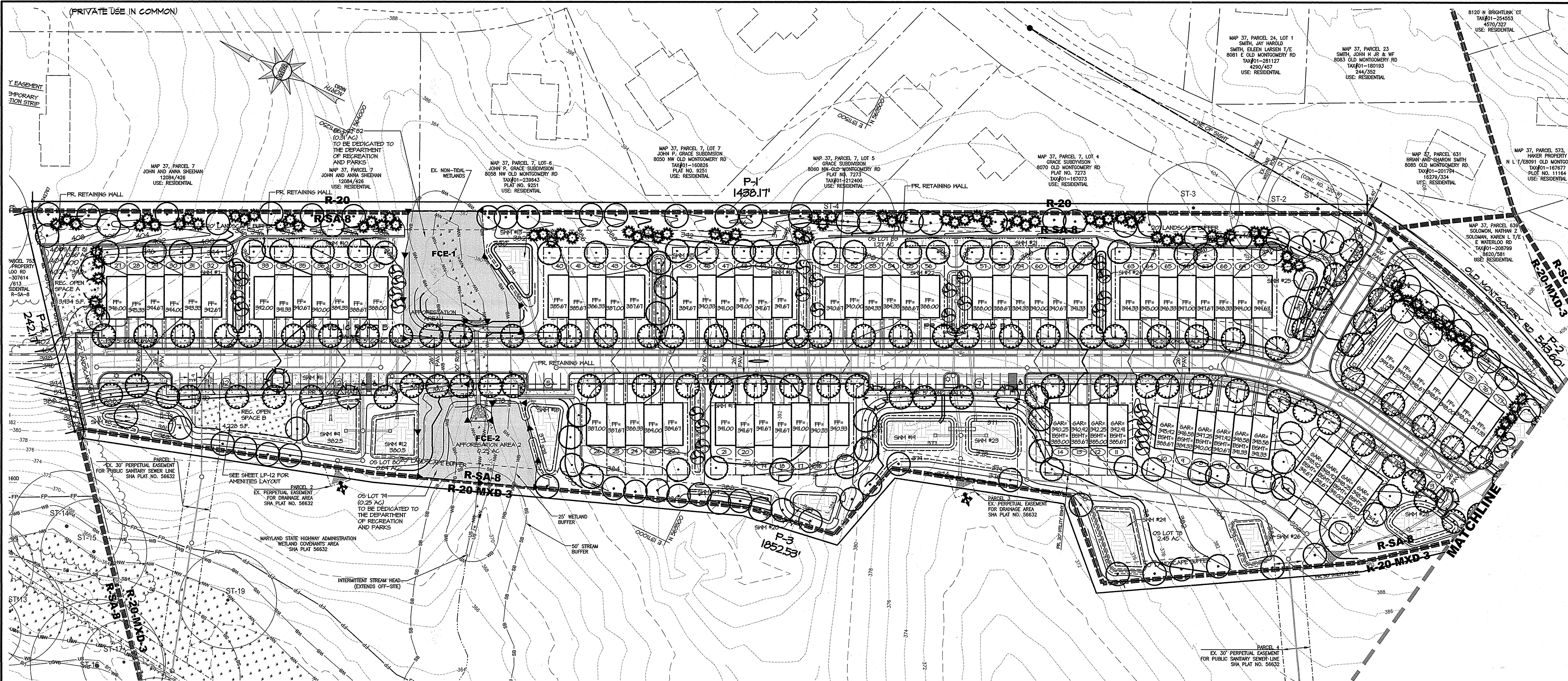
TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY

STORM DRAIN DRAINAGE AREA MAP

TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:
		15368 x 02
		SCALE: 1" = 50'
		DATE: 03/09/2016
		DRAWN BY: ATS
		DESIGN BY: ATS
		REVIEW BY: TCN
		OF 14

(PRIVATE USE IN COMMON)

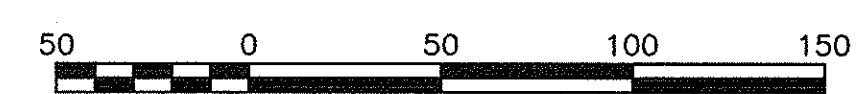


LANDSCAPE PLAN

SCALE: 1"=50'

LEGEND

- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY
- EX. EASEMENT
- EX. ZONING LINE
- EX. BUILDING
- EX. CONCRETE
- EX. PAVEMENT
- EX. ROAD CENTERLINE
- EX. FENCE
- EX. OVERHEAD LINE
- EX. WATER LINE
- EX. SEWER LINE
- EX. STREAM
- EX. STREAM BUFFER
- EX. TREE LINE
- EX. GUARD RAIL
- EX. ELECTRIC CONDUIT
- EX. LIGHT POLES
- EX. GAS LINE
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- EX. CONDUIT
- EX. FIBER OPTIC
- EX. TV LINE
- EX. ELECTRIC MANHOLE
- EX. TELEPHONE MANHOLE
- EX. NON TIDAL WETLANDS
- EX. NON TIDAL WETLANDS
- EX. 25' WETLAND BUFFER
- EX. FLOODPLAIN
- EX. WATERS OF THE US
- EX. STREAM BUFFER
- EX. SPECIMEN TREE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- PR. 5' CONTOUR
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 10' CONTOUR
- PR. LIMITS OF DISTURBANCE
- PR. LIMITS OF DISTURBANCE WITH TREE PROTECTION
- PR. LOT LINE
- PR. BUILDING FOOTPRINT
- PR. BUILDING SETBACK
- PR. CURB AND GUTTER
- PR. SIDEWALK
- PR. RETAINING WALL
- PR. LINE OF SIGHT
- PR. RECREATIONAL OPEN SPACE
- PR. POROUS PAVEMENT
- PR. PUBLIC ROAD PAVEMENT
- PR. PUBLIC ROAD MILL & OVERLAY
- PR. STREET LIGHT (LED-100 COLONIAL)
- PR. STREET LIGHT (LED-150 COLONIAL)
- PR. 8" SEWER LINE
- PR. 8" WATER LINE
- PR. WATER HOUSE CONNECTION
- PR. SEWER HOUSE CONNECTION
- PR. STORMWATER MANAGEMENT FACILITY
- PR. BIOSWALE
- PR. AFFORESTATION & FOREST CONSERVATION EASEMENT
- PR. REFORESTATION SIGN
- PR. STREET SHADE TREE
- PR. PARKING SHADE TREE
- PR. BUFFER SHADE TREE
- PR. BUFFER EVERGREEN TREE
- PR. RESIDENTIAL SHADE TREE
- PR. RESIDENTIAL ORNAMENTAL TREE



Scale 1" = 50'

SHEET: PESP-11



MORRIS & RITCHIE ASSOCIATES, INC.
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TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY

SCHEMATIC LANDSCAPE PLAN

TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:
		15368 x 02
		SCALE: 1" = 50'
		DATE: 03/09/2016
		DRAWN BY: CRM
		DESIGN BY: CRM
		REVIEW BY: CMG
		SHEET: 11 OF 14

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

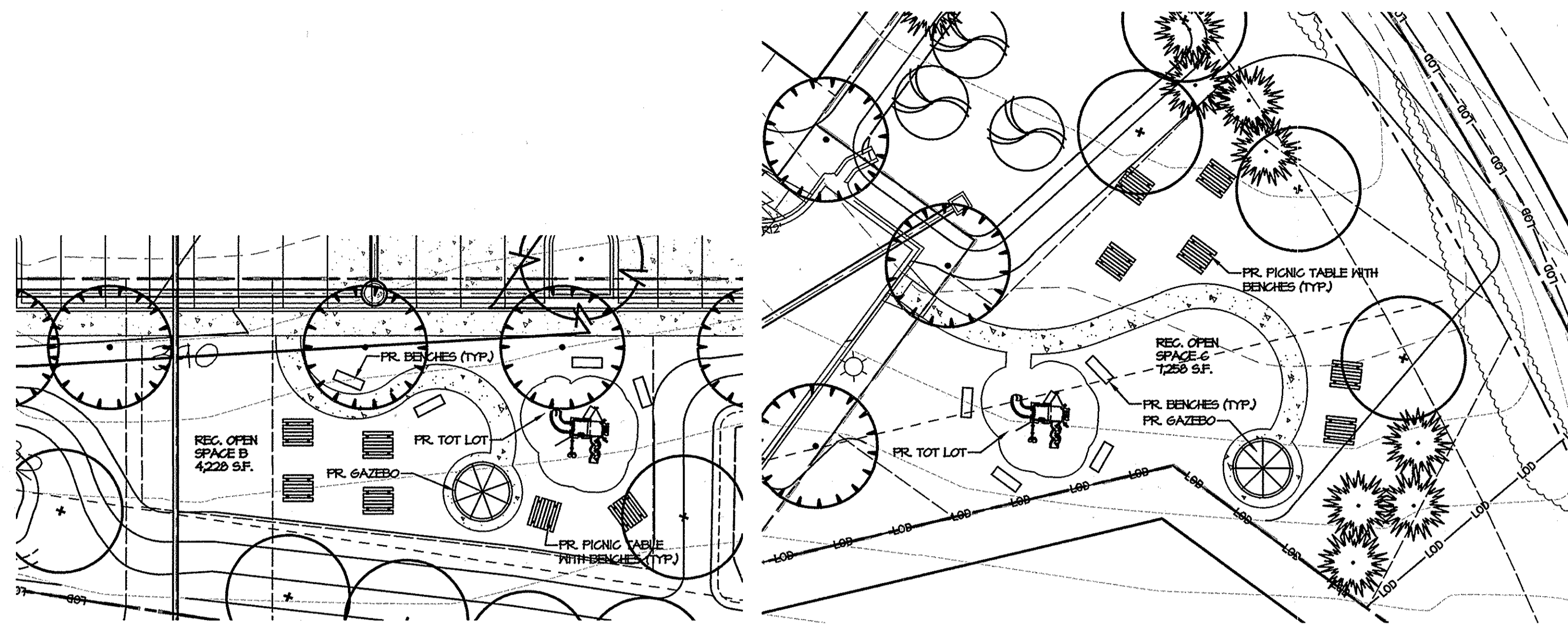
[Signature]
 PLANNING DIRECTOR

3-31-14
 DATE

OWNER / APPLICANT / DEVELOPER:
 HORSE FARM, LLC
 ADDRESS: 9200 RUMSEY ROAD, SUITE 200
 COLUMBIA, MD 21045
 CONTACT: RICHARD HAYWARD
 PHONE: 410-997-7222

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE 'AMERICAN STANDARD FOR NURSERY STOCK' (ANSI Z60.1), LATEST EDITION, AND ALL ADDENDA PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABIT, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
- TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
- TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
- THE LANDSCAPE CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) FULL YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS, UNSATISFACTORY GROWTH, DISEASE OR DEATH. UNSATISFACTORY, UNHEALTHY, DYING OR DEAD PLANT MATERIAL (IN THE OPINION OF THE LANDSCAPE ARCHITECT) SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES.
- IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPED AREAS, WHICH SHALL INCLUDE WATERING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND FERTILIZING TO MAINTAIN HEALTHY GROWTH FOR THE WARRANTY PERIOD.
- THE LANDSCAPE CONTRACTOR SHALL STAKEOUT PLANT LOCATIONS IN THE FIELD. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE SHALL OBSERVE THESE LOCATIONS PRIOR TO COMMENCING PLANT PIT EXCAVATION. THE LANDSCAPE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUESTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT SAUCERS AND PLANT BEDS SHALL BE MULCHED WITH DOUBLE SHREDDED HARDWOOD MULCH, A MINIMUM OF 3" IN DEPTH.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THIS SHALL APPLY TO SUBSTITUTIONS OF SPECIES, LOCATION, SIZE, AND QUANTITY.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD BARK MULCH TO A DEPTH OF 3" UNDER AND SURROUNDING ALL NEW LANDSCAPED MASS PLANTING AREAS TO PROVIDE A UNIFORM AND CONTINUOUS SURFACE AND APPEARANCE BETWEEN AND AROUND ALL PLANT MATERIAL, BUILDING LINES AND PAVED AREAS. IN GENERAL, THIS PERTAINS TO ALL PLANT MATERIAL THAT IS PLANTED CLOSER THAN SIX (6) FEET CENTER TO CENTER. IT IS THE INTENT OF THIS CONTRACT TO INSTALL LANDSCAPE MAT UNDER THE ENTIRE AREA OF SHREDDED BARK MULCH.
- TREES SHALL BE LOCATED A MINIMUM OF 3' FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES, WATER AND SEWER LINES.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- CONTRACTOR SHALL SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.
- TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN PLUMB AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- ALL TREE PITS, SHRUB BEDS, AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTING) THAN ADJACENT SOIL.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- TREES SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS: BETWEEN MARCH 15 AND MAY 15 AND BETWEEN AUGUST 15 AND NOVEMBER 15 OR AS APPROVED BY OWNERS REPRESENTATIVE.
- ALL TREE STAKING AND GUYING SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TREES ARE ESTABLISHED.
- SEEDED AREAS THAT WASH OUT MUST BE FILLED AND GRADED AS NECESSARY AND THEN RESEED. SOME TYPE OF ANCHORING METHOD SHOULD THEN BE USED TO HOLD SEED AND MULCH IN PLACE, THIS IS ESPECIALLY IMPORTANT AROUND WATER COURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, AND ON SLOPES.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIAL SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
- AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- A FINAL LANDSCAPE PLAN SHALL BE INCLUDED WITH THE FINAL SUBDIVISION PLAN.



RECREATION OPEN SPACE B AMENITIES

SCALE: 1"=20'

RECREATION OPEN SPACE C AMENITIES

SCALE: 1"=20'

PERIMETER LANDSCAPE BUFFER REQUIREMENTS				
CATEGORY	P-1 ADJACENT TO SINGLE FAMILY DETACHED	P-2 ADJACENT TO ROADWAY	P-3 ADJACENT TO NON RESIDENTIAL	P-4 ADJACENT TO SINGLE FAMILY ATTACHED
LANDSCAPE TYPE - SINGLE FAMILY ATTACHED	C	C	A	B
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	1358.55**	481.43**	1726.72***	190.80****
CREDIT FOR EXISTING VEGETATION	NO	NO	NO	NO
CREDIT FOR WALL, FENCE, OR BERM	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED				
SHADE TREES	34	12	29	4
EVERGREEN TREES	68	24	0	5
SHRUBS	0	0	0	0
NUMBER OF PLANTS PROVIDED				
SHADE TREES	34	12	29	4
EVERGREEN TREES	68	24	0	5
SHRUBS	0	0	0	0

**79.62' OF PERIMETER PART OF REFORESTATION
 ** 62.17' OF PERIMETER IS PROPOSED ROW
 ***125.81' OF PERIMETER PART OF REFORESTATION
 **** 51.37' OF PERIMETER IS PROPOSED ROW

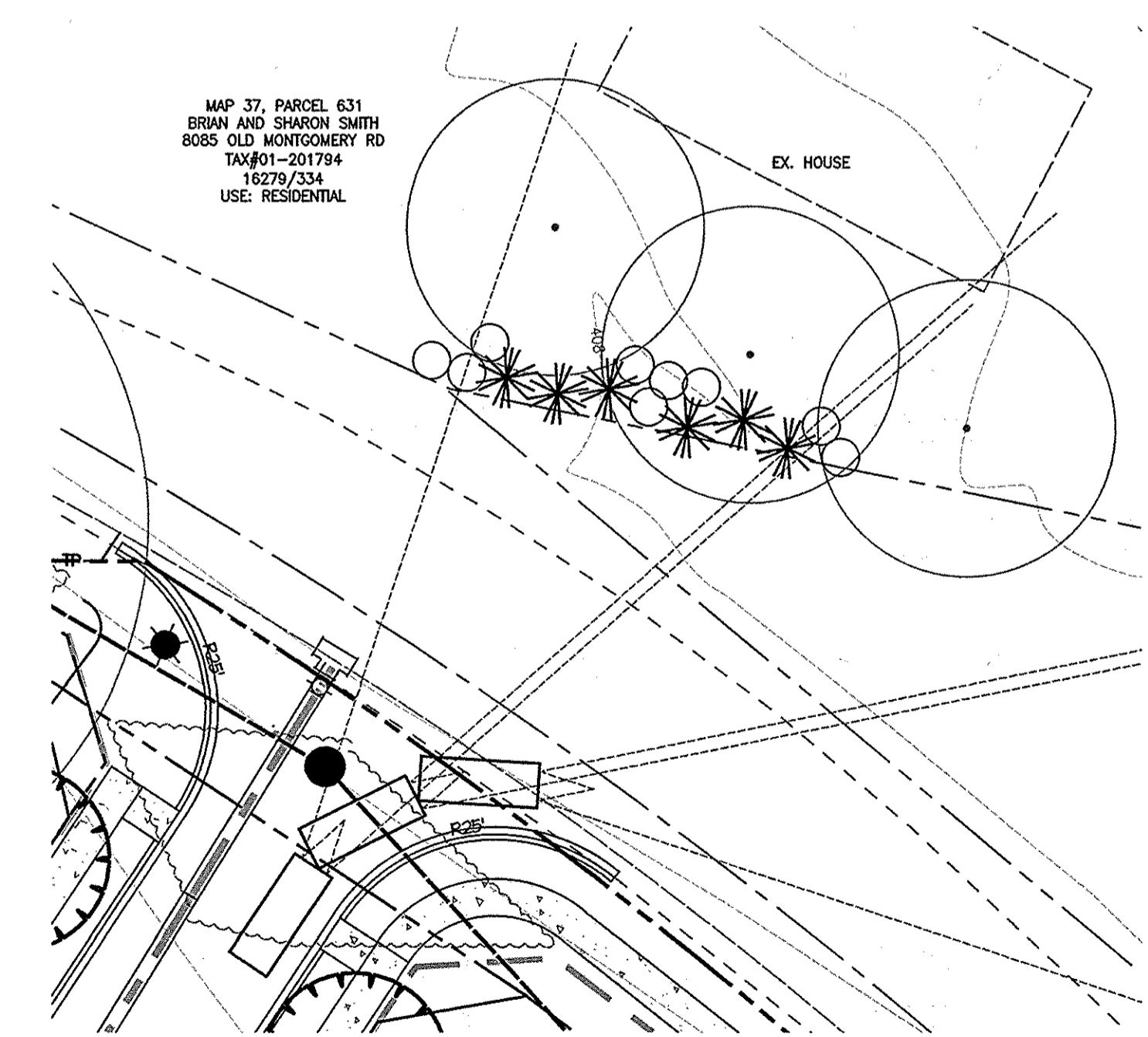
RESIDENTIAL PLANTING REQUIREMENTS	
NUMBER OF UNITS	77
NUMBER OF PLANTINGS REQUIRED	77 SHADE TREES
NUMBER OF PLANTINGS PROVIDED	61
SHADE TREES	32
ORNAMENTAL TREES (2:1 SUBSTITUTION)	

RESIDENTIAL PARKING LANDSCAPE REQUIREMENTS	
NUMBER OF PARKING SPACES	48
NUMBER OF ISLANDS REQUIRED	5
NUMBER OF ISLANDS PROVIDED	10
SHADE TREES REQUIRED	5
SHADE TREES PROVIDED	5

STREET TREES	
PUBLIC ROAD A LINEAR FEET	165.93
TREES REQUIRED	9
TREES PROVIDED	9
PUBLIC ROAD B LINEAR FEET	1557.35
TREES REQUIRED	78
TREES PROVIDED	78

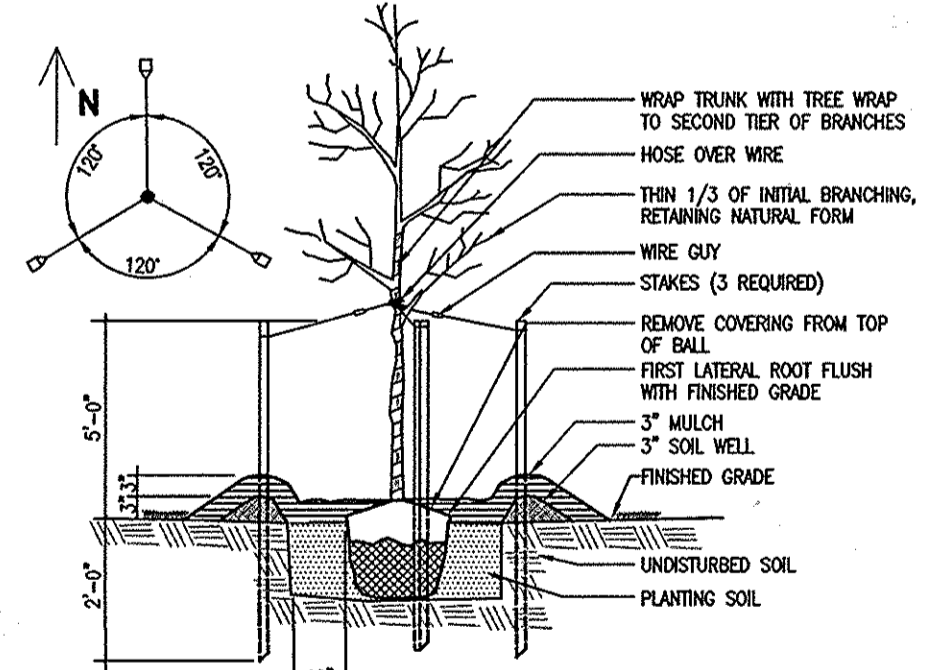
LEGEND

- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY
- EX. EASEMENT
- EX. ZONING LINE
- EX. BUILDING
- EX. CONCRETE
- EX. PAVEMENT
- EX. ROAD CENTERLINE
- EX. FENCE
- EX. OVERHEAD LINE
- EX. WATER LINE
- EX. SEWER LINE
- EX. STREAM
- EX. STREAM BUFFER
- EX. TREE LINE
- EX. GUARD RAIL
- EX. ELECTRIC CONDUIT
- EX. LIGHT POLES
- EX. GAS LINE
- EX. STORM DRAIN
- EX. CONDUIT
- EX. FIBER OPTIC
- EX. TV LINE
- EX. ELECTRIC MANHOLE
- EX. TELEPHONE MANHOLE
- EX. NON TIDAL WETLANDS
- EX. 25' WETLAND BUFFER
- EX. FLOODPLAIN
- EX. WATERS OF THE US
- EX. STREAM BUFFER
- EX. SPECIMEN TREE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- PR. 5' CONTOUR
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 10' CONTOUR
- PR. LIMITS OF DISTURBANCE
- PR. LIMITS OF DISTURBANCE WITH TREE PROTECTION
- PR. LOT LINE
- PR. BUILDING FOOTPRINT
- PR. BUILDING SETBACK
- PR. CURB AND GUTTER
- PR. SIDEWALK
- PR. RETAINING WALL
- PR. LINE OF SIGHT
- PR. OPEN SPACE
- PR. RECREATIONAL OPEN SPACE
- PR. POROUS PAVEMENT
- PR. PUBLIC ROAD PAVEMENT
- PR. PUBLIC ROAD MILL & OVERLAY
- PR. STREET LIGHT (LED-100 COLONIAL)
- PR. STREET LIGHT (LED-150 COLONIAL)
- PR. ASPHALT PATH
- PR. RECREATIONAL OPEN SPACE
- PR. 8" SEWER LINE
- PR. 8" WATER LINE
- PR. WATER HOUSE CONNECTION
- PR. SEWER HOUSE CONNECTION
- PR. BIOSWALE
- PR. AFFORESTATION & FOREST CONSERVATION EASEMENT
- PR. REFORESTATION SIGN
- PR. STREET SHADE TREE
- PR. PARKING SHADE TREE
- PR. BUFFER SHADE TREE
- PR. BUFFER EVERGREEN TREE
- PR. RESIDENTIAL SHADE TREE
- PR. RESIDENTIAL ORNAMENTAL TREE



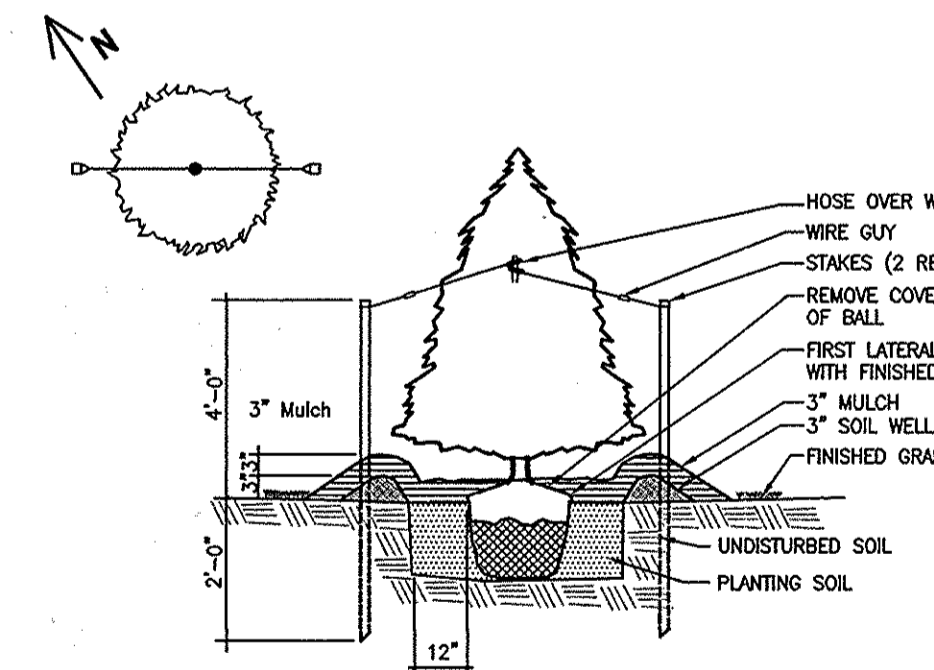
PARCEL 631 - CONCEPTUAL LANDSCAPING

SCALE: 1"=20'



DECIDUOUS TREE DETAIL

NOT TO SCALE



EVERGREEN TREE DETAIL

NOT TO SCALE

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

[Signature]
 PLANNING DIRECTOR

3-31-16
 DATE

OWNER / APPLICANT / DEVELOPER:
 HORSE FARM, LLC
 ADDRESS: 9200 RUMSEY ROAD, SUITE 200
 COLUMBIA, MD 21045
 CONTACT: RICHARD HAYWARD
 PHONE: 410-997-7222



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE
 LAUREL, MD 20707
 (410) 792-9792 / (301) 776-1690
 FAX: (410) 792-7395



TROTTER'S KNOLL - SECTION I
 HORSE FARM PROPERTY

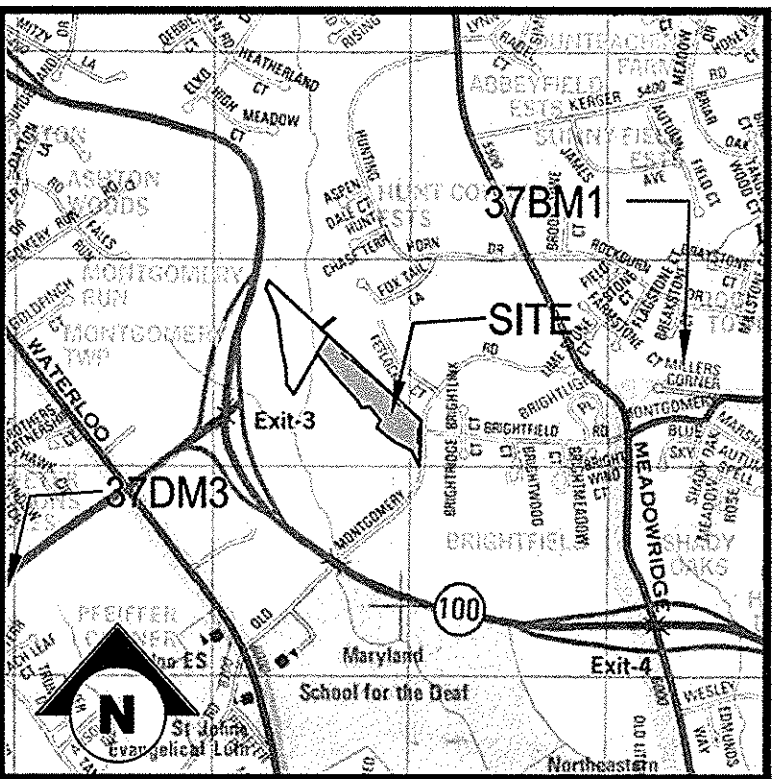
SCHEMATIC LANDSCAPE DETAILS

TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
 1ST ELECTION DISTRICT
 HOWARD COUNTY, MD 21043

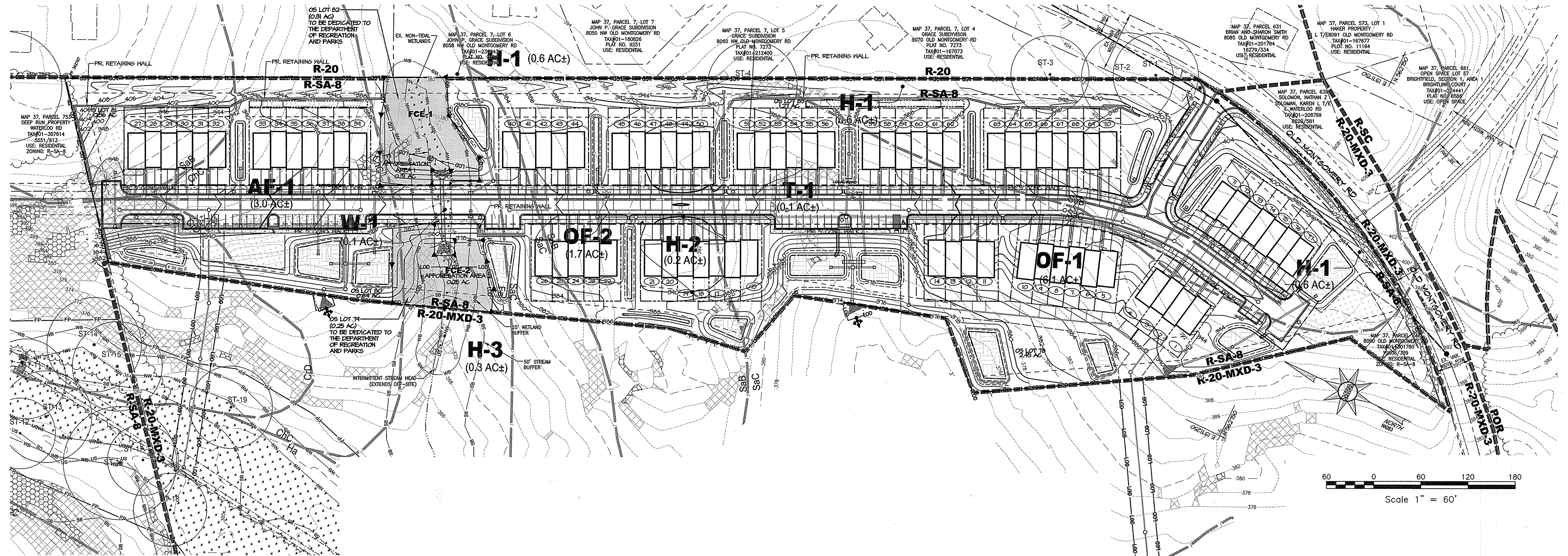
DATE	REVISIONS	JOB NO.:	SCALE:
		15368 x 02	1" = 50'
		DATE:	03/09/2016
		DRAWN BY:	CRM
		DESIGN BY:	CRM
		REVIEW BY:	CMG
		SHEET:	12 OF 14

TROTTER'S KNOLL HORSE FARM PROPERTY FOREST CONSERVATION PLAN HOWARD COUNTY, MARYLAND

© ADC, THE MAP PEOPLE,
BY PERMISSION PLAN 21006237
MAP NO. 34 GRID C-1



VICINITY MAP
SCALE: 1" = 2,000'



LEGEND

<ul style="list-style-type: none"> --- EX. PROPERTY LINE --- EX. ADJACENT PROPERTY LINE --- EX. RIGHT OF WAY --- EX. EASEMENT --- EX. ZONING LINE --- EX. BUILDING --- EX. CONCRETE --- EX. PAVEMENT --- EX. ROAD CENTERLINE --- EX. FENCE --- EX. OVERHEAD LINE --- EX. WATER LINE --- EX. SEWER LINE --- EX. STREAM --- EX. STREAM BUFFER --- EX. TREE LINE --- EX. GUARD RAIL --- EX. ELECTRIC CONDUIT --- EX. LIGHT POLES --- EX. GAS LINE --- EX. STORM DRAIN --- EX. CONDUIT --- EX. FIBER OPTIC --- EX. TV LINE --- EX. ELECTRIC MANHOLE 	<ul style="list-style-type: none"> ⊙ B-1 --- NW --- SW --- NE --- SE --- SB ○ --- 2' --- 10' --- 15-25% SLOPES --- 25%+ SLOPES ○ --- PR. STORMWATER MANAGEMENT FACILITY --- PR. LOT LINE --- PR. BUILDING FOOTPRINT --- PR. BUILDING SETBACK --- PR. CURB AND GUTTER --- PR. SIDEWALK --- PR. RETAINING WALL 	<ul style="list-style-type: none"> --- EX. TELEPHONE MANHOLE --- EX. BORING LOCATION --- EX. NON TIDAL WETLANDS --- EX. 25' WETLAND BUFFER --- EX. FLOODPLAIN --- EX. WATERS OF THE US --- EX. STREAM BUFFER --- EX. SPECIMEN TREE --- EX. 2' CONTOUR --- EX. 10' CONTOUR --- EX. 15-25% SLOPES --- EX. 25%+ SLOPES ○ --- PR. STORMWATER MANAGEMENT FACILITY --- PR. LOT LINE --- PR. BUILDING FOOTPRINT --- PR. BUILDING SETBACK --- PR. CURB AND GUTTER --- PR. SIDEWALK --- PR. RETAINING WALL 	<ul style="list-style-type: none"> --- PR. AFFORESTATION & FOREST CONSERVATION EASEMENT --- PR. REFORESTATION SIGN --- PR. 8" SEWER LINE --- PR. 8" WATER LINE --- PR. WATER HOUSE CONNECTION --- PR. SEWER HOUSE CONNECTION
--	---	---	--

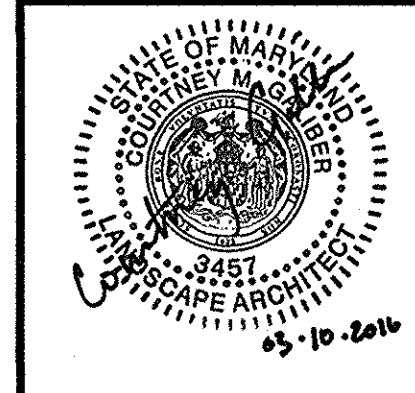
SITE ANALYSIS

- OWNER/APPLICANT: HORSE FARM LLC
C/O LOVELL AMERICA
9200 RUMSEY ROAD
SUITE 200
COLUMBIA, MD 21045
CONTACT: RICHARD HAYWARD
410-997-7222
- TAX MAP/GRID/PARCEL: 37/2/748
- TAX ACCOUNT NUMBER: 01301780
- SITE ADDRESS: 8090 OLD MONTGOMERY ROAD
ELLICOTT CITY, MD 21043
- TOTAL LOT AREA: 11.56 AC
- 100 YEAR FLOODPLAIN: 0.00 AC
- RIGHT-OF-WAY DEDICATION: 0.11 AC
- NET TRACT AREA: 11.56 AC
- ZONING: R-SA-8
- EXISTING USE: RESIDENTIAL AND VACANT
- PROPOSED USE: RESIDENTIAL

OWNER / APPLICANT / DEVELOPER:
HORSE FARM, LLC.
ADDRESS: 9200 RUMSEY ROAD, SUITE 200
COLUMBIA, MD 21045
CONTACT: RICHARD HAYWARD
PHONE: 410-997-7222



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FAX: (410) 792-7395
MRAGTA.COM



TROTTER'S KNOLL - SECTION I
HORSE FARM PROPERTY
FOREST CONSERVATION PLAN
COVER SHEET
TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:
		15368 x 02
		SCALE: 1" = 60'
		DATE: 03/09/2016
		DRAWN BY: CRM
		DESIGN BY: CRM
		REVIEW BY: CMG
		SHEET: 13 OF 14

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
PLANNING DIRECTOR
DATE: 3-3-16

REFORESTATION AREA PLANTING NOTES

GENERAL:

- CONTRACTOR SHALL CONTACT "MISS UTILITY" & SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- TREES SHALL BE LOCATED A MINIMUM OF 5' FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES, WATER AND SEWER LINES.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH HOWARD COUNTY REQUIREMENTS. NO SUBSTITUTION OF PLANT MATERIAL SHALL BE PERMITTED WITHOUT THE WRITTEN AUTHORIZATION OF HOWARD COUNTY.
- IF NECESSARY, THE CONTRACTOR MAY SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.

PLANT MATERIAL

- ALL PLANT MATERIAL AND ROOT BALLS SHALL CONFORM TO THE STANDARDS OF NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERMEN.
- TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
- TREES SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
- TREES SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- CONTRACTOR WILL PROVIDE PROPER CARE OF TREES DURING TRANSPORT, IN STORAGE AND IN HANDLING IN THE FIELD. PLANTS SHALL BE SHIPPED BY THE NURSERY IMMEDIATELY AFTER LIFTING FROM THE FIELD OR REMOVAL FROM THE GREENHOUSE, AND PLANTED IMMEDIATELY UPON RECEIPT BY THE LANDSCAPE CONTRACTOR.
- IF THE PLANTS CANNOT BE PLANTED IMMEDIATELY AFTER DELIVERY TO THE REFORESTATION SITE, THEY SHALL BE STORED IN THE SHADE WITH THEIR ROOTS PROTECTED FROM DIRECT EXPOSURE TO SUN AND WIND BY THE USE OF STRAW, PEAT MOSS, COMPOST, OR OTHER SUITABLE MATERIAL AND SHALL BE MAINTAINED THROUGH PERIODIC WATERING UNTIL THE TIME OF PLANTING.

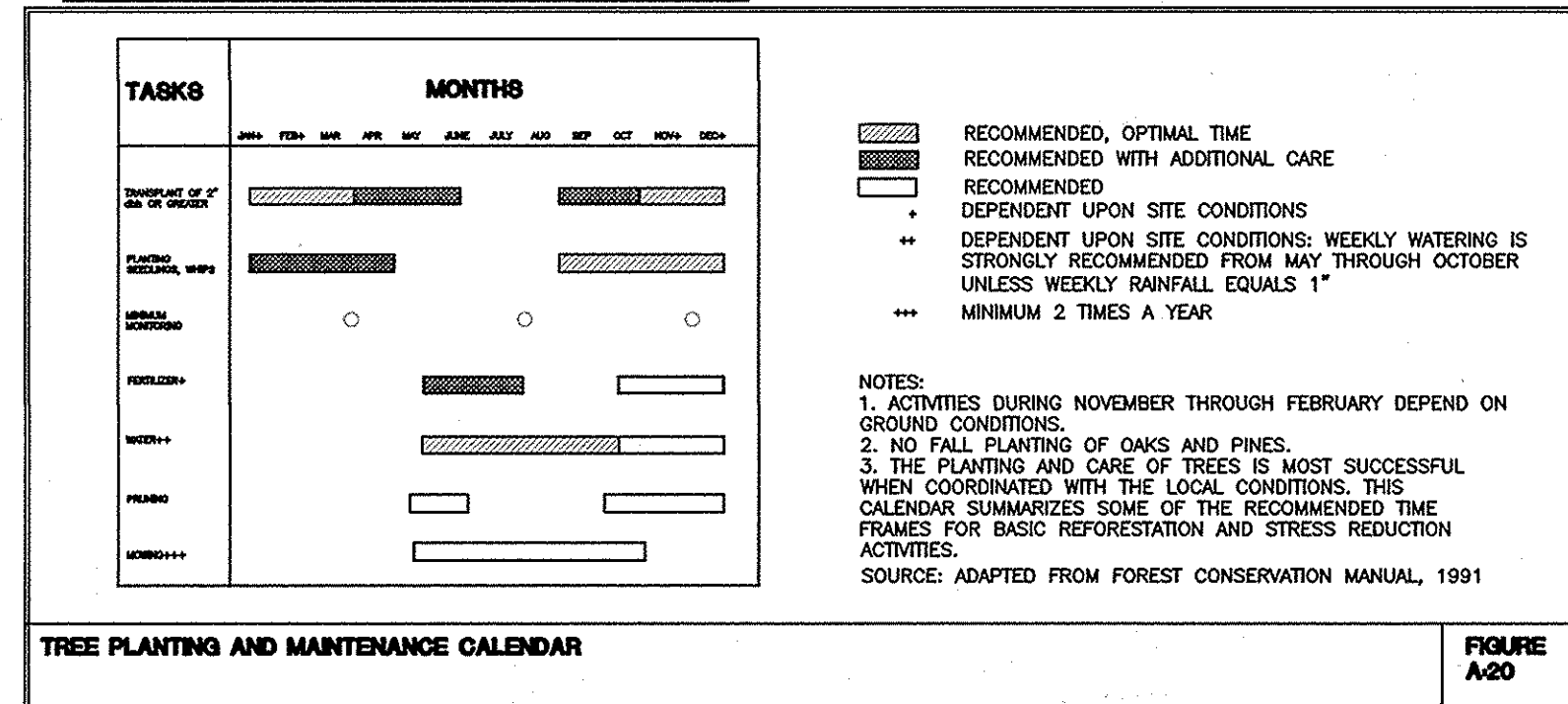
PLANTING

- INSTALLATION OF PLANT MATERIAL SHALL NOT PROCEED UNTIL THE BUILDING CONSTRUCTION AND GRADING OPERATION IS COMPLETE.
 - THE LANDSCAPE CONTRACTOR SHALL STAKEOUT PLANT LOCATIONS IN THE FIELD. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE SHALL OBSERVE THESE LOCATIONS PRIOR TO COMMENCING PLANT PIT EXCAVATION. THE LANDSCAPE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUESTED BY THE LANDSCAPE ARCHITECT.
 - ALL TREES SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS: BETWEEN MARCH 15 AND MAY 15 AND BETWEEN AUGUST 15 AND NOVEMBER 15 OR AS APPROVED BY OWNERS REPRESENTATIVE.
 - ALL TREE PITS ARE TO BE COMPLETELY EXCAVATED IN COMPLETE ACCORDANCE WITH THE PLANTING DETAILS.
 - TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN PLUMB AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD. STAKING TO BE REMOVED BY CONTRACTOR AFTER 3 YEARS.
 - TREE PLANTING SOIL: EXISTING SOIL WITH 20 PERCENT ORGANIC SOIL AMENDMENT.
 - FERTILIZER FOR TREES SHALL BE ADDED TO THE PLANTING SOIL PRIOR TO MIXING. FERTILIZER SHALL BE SLOW RELEASE PACKETS OR TABLETS TO BE ADDED DEPENDING ON THE PLANT SIZE, AND GROWER'S RECOMMENDATION. THOROUGHLY MIX ALL AMENDMENTS AND EXISTING SOIL PRIOR TO PLACEMENT.
 - PACK THE SOIL MIX FIRMLY AROUND THE ROOTS TO ELIMINATE AIR POCKETS. WHEN HOLE IS 3/4 FULL WITH SOIL MIX, FLOOD THE HOLE WITH WATER. AFTER DRAINING, FILL HOLE TO THE SURFACE. INSTALL SHREDDED HARDWOOD MULCH TO A DEPTH OF 3" UNDER AND SURROUNDING ALL NEW PLANTINGS.
- PLANT GUARANTEE
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE 100% SURVIVAL OF THE PLANTS FOR 2 YEARS FROM THE DATE OF PLANTING.

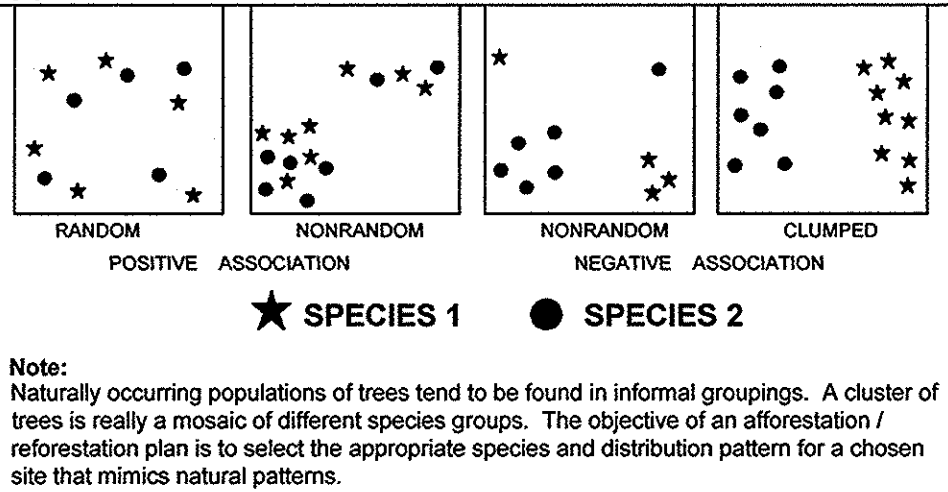
FOREST CONSERVATION NOTES:

- AFFORESTATION AREAS ARE LOCATED TO MAXIMIZE PROTECTION OF HIGH PRIORITY AREAS INCLUDING WETLANDS AND WETLAND BUFFERS.
- THERE ARE NINETEEN (19) TOTAL SPECIMEN TREES LISTED ON THE TROTTER'S KNOLL FOREST STAND DELINEATION, ONE (1) OF WHICH IS ON THE TROTTER'S KNOLL SECTION 1 (HORSE FARM) PROPERTY, FOUR (4) OF WHICH ARE JUST OFF THE TROTTER'S KNOLL SECTION 1 PROPERTY WITH A CRITICAL ROOT ZONE THAT EXTENDS ON-SITE.
- ONE (1) EXISTING SPECIMEN TREES ON-SITE IS PROPOSED TO BE REMOVED (SPECIMEN TREE #4). THE PROPOSED DISTURBANCES ON-SITE WILL NOT REQUIRE THE REMOVAL OF ANY OF THE OFF SITE SPECIMEN TREES. WAIVER #WP-15-085 HAS BEEN APPROVED TO ALLOW THE REMOVAL OF SPECIMEN TREE #4.
- FOREST CONSERVATION SHALL BE MET THROUGH A COMBINATION OF ON-SITE AFFORESTATION AND AN OFF-SITE FOREST MITIGATION BANK. THE ON-SITE AFFORESTATION SHALL TOTAL 0.56 AC. THE REMAINING 1.14 AC. SHALL BE ADDRESSED WITH 1.14 AC. IN AN OFF-SITE FOREST MITIGATION BANK.

PLANT MANAGEMENT PLAN



Typical Forest Tree Distribution Patterns



PLANTING DISTRIBUTION PATTERNS

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

PLANNING DIRECTOR
DATE: 3-3-16

SPECIMEN TREES (FOR SECTION 1 ONLY)

NUMBER	SCIENTIFIC NAME	COMMON NAME	DBH	CONDITION
ST-1	QUERCUS VELUTINA	BLACK OAK	36"	GOOD
ST-2	QUERCUS VELUTINA	BLACK OAK	39"	GOOD
ST-3	QUERCUS FALCATA	SOUTHERN RED OAK	33"	GOOD
ST-4	QUERCUS PALUSTRIS	PIN OAK	38"	GOOD
ST-19	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	35"	POOR

SPECIMEN TREE RETENTION PROCEDURES

- THESE NOTES PERTAIN TO SPECIMEN TREES ST-1, ST-2, ST-3 & ST-19 WHOSE CRITICAL ROOTS ZONES ARE IMPACTED BY THE PROPOSED DISTURBANCE.
- AFTER LIMIT OF DISTURBANCE (LOD) IS STAKED IN THE FIELD USE A VIBRATORY KNIFE TO SEVER THE ROOTS ALONG THE LOD WITHIN THE CRITICAL ROOT ZONE (CRZ).
- CONTRACT WITH A CERTIFIED ARBORIST TO PERFORM TREE PRUNING AND FERTILIZATION PRIOR TO AND DURING CONSTRUCTION.

FOREST CONSERVATION WORKSHEET

FOREST CONSERVATION WORKSHEET

PROJECT NAME: TROTTER'S KNOLL-SECTION 1 DATE: 11/2/2015

LOCATION: HOWARD COUNTY REVISION:

REVIEWED BY: APPROVAL DATE:

I. BASIC SITE DATA ACRES (0.1 acre)

GROSS SITE AREA (development site only) 11.6
AREA WITHIN 100 YEAR FLOODPLAIN 0.0
AREA WITHIN AGRICULTURAL USE OR PRESERVATION PARCEL (if applicable) 0.0
AREA IN OVERHEAD TRANSMISSION LINE EASEMENTS (if applicable) 0.0
NET TRACT AREA 11.6
LAND USE CATEGORY RESIDENTIAL

II. INFORMATION FOR CALCULATIONS ACRES (0.1 acre)

A. NET TRACT AREA 11.6
B. FOREST CONSERVATION THRESHOLD (20% X A) 2.3
C. AFFORESTATION THRESHOLD (15% X A) 1.7
D. EXISTING FOREST ON NET TRACT AREA 0.0
E. EXISTING FOREST ABOVE FOREST CONSERVATION THRESHOLD 0.0
F. BREAK-EVEN POINT (the amount of forest to be retained for no mitigation) (E x 0.2) + B 2.3
G. FOREST TO BE CLEARED 0.0
H. FOREST TO BE RETAINED 0.0

III. AFFORESTATION CALCULATIONS ACRES (0.1 acre)

A. NET TRACT AREA 11.6
C. AFFORESTATION THRESHOLD (15% X A) 1.7
D. EXISTING FOREST ON NET TRACT AREA 0.0
G. FOREST AREAS TO BE CLEARED 0.0
H. FOREST AREAS TO BE RETAINED 0.0

Select the alternative that applies:

1. No clearing:
If existing forest areas are below the Afforestation Threshold (if D is less than G) and no clearing is proposed, the following calculations apply:
TOTAL AFFORESTATION REQUIRED C - D 1.7
Afforestation must make the forest area equal to the minimum required by the Afforestation Threshold.

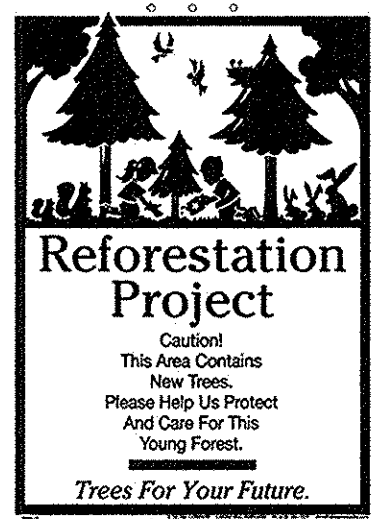
AFFORESTATION EASEMENT AREAS

AFFORESTATION AREA #1	0.31 AC
AFFORESTATION AREA #2	0.25 AC
TOTAL	0.56 AC

SOILS CHART

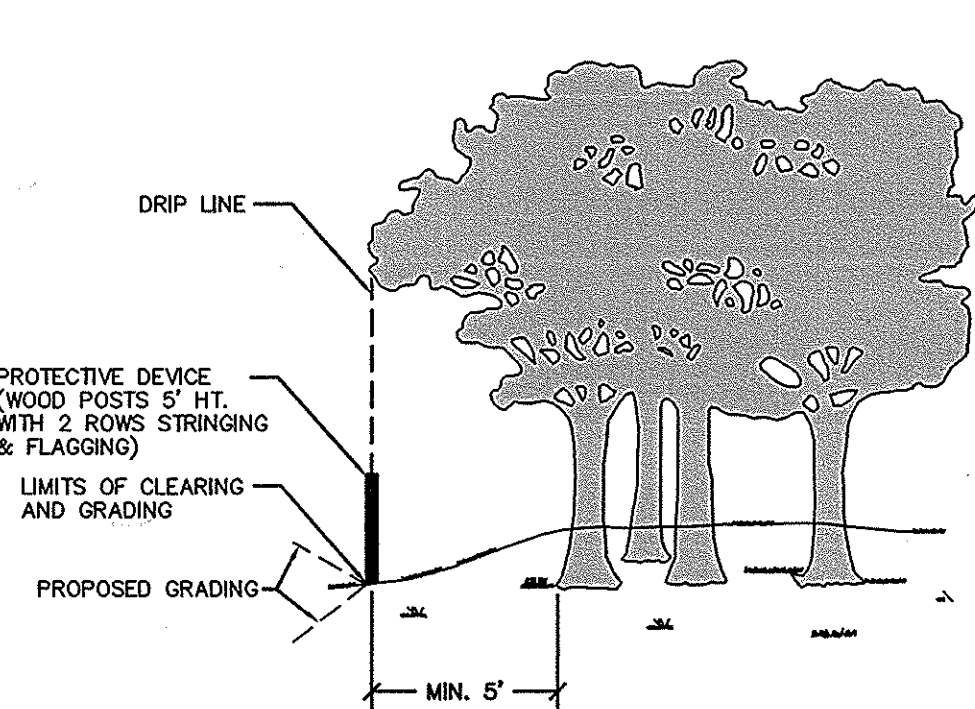
SYMBOL	NAME/DESCRIPTION	HYDRIC SOIL	K FACTOR
ChC	CHILLUM-RUSSET LOAM, 5 TO 10 PERCENT SLOPES	NO	0.37 CHILLUM COMPONENT 0.24 RUSSET COMPONENT
ChD	CROOM AND EVESBORO SOILS, 10 TO 15 PERCENT SLOPES	NO	0.28 CROOM COMPONENT 0.15 EVESBORO COMPONENT
Fa	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	YES	0.02
GcC	GLADSTONE-LEGORE COMPLEX, 8 TO 15 PERCENT SLOPES	NO	0.20 GLADSTONE COMPONENT 0.32 LEGORE COMPONENT
Ha	HATBORO-CODORUS SILT LOAM, 0 TO 3 PERCENT SLOPES	YES	0.37 HATBORO COMPONENT 0.37 CODORUS COMPONENT
JaB	JACKLAND SILT LOAM, 3 TO 8 PERCENT SLOPES	NO	0.43
LaC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES	NO	0.32
SaB	SASSAFRAS LOAM, 2 TO 5 PERCENT SLOPES	NO	0.24
SaC	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES	NO	0.24

- SOURCE: THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE'S WEB SOIL SURVEY, CONSULTED APRIL 22, 2011 AND VERIFIED JUNE 23, 2015, AVAILABLE ONLINE AT <HTTP://WEBSOILSURVEY.NRCS.USDA.GOV/APP>. K FACTORS SHOWN ARE FOR WHOLE SOIL.
- HYDRIC SOILS INFORMATION ADAPTED FROM THE NATIONAL HYDRIC SOILS LIST FOR MARYLAND, AT <HTTP://SOILS.USDA.GOV/USE/HYDRIC/LISTS/STATE.HTML>. CONSULTED ON JUNE 23, 2015.



REFORESTATION AREA SIGNS

- NOTE:
1. ALL REFORESTATION/AFFORESTATION AREAS WILL BE MARKED WITH "REFORESTATION PROJECT" SIGNS PLACED EVERY 50'-100'.
2. SEE SHEET FC-01 FOR LOCATIONS.
- MANUFACTURER:
THE TREE COMPANY
20 N. BEAUMONT AVE.
CATONSVILLE, MD 21228
800-800-5235
WWW.THETREECOMPANY.COM



TREE PROTECTION DEVICE REFORESTATION AREAS

TYPICAL DETAIL NO SCALE

GENERAL NOTES

- THERE IS NO 100 YEAR FLOODPLAIN ON SITE PER FEMA FIRM MAP 240008 0020 C.
- THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- THERE ARE NO STEEP SLOPES ON SITE OR ADJACENT TO THE SITE THAT MEET THE HOWARD COUNTY STEEP SLOPE DEFINITION.
- THERE ARE NO STREAMS ON SITE. THERE IS A 50' STREAM BUFFER THAT EXTENDS ONTO THE SUBJECT SITE.
- THE BOUNDARY SHOWN HEREON IS BASED ON SHA PLAN NO. 56632.
- TOPOGRAPHIC INFORMATION SHOWN HERE FOR THE HORSE FARM PROPERTY WAS ACQUIRED FROM A.B. CONSULTANTS, INC. AND IS BASED ON A FIELD RUN TOPOGRAPHIC SURVEY PERFORMED IN OCTOBER 2007.
- THE COORDINATES SHOWN HEREON ARE BASED ON THE PROJECTION OF THE MARYLAND N.A.D. 83 COORDINATE SYSTEM BY THE HOWARD COUNTY OFFICE OF PLANNING AND ZONING. THE BASIS OF CONTROL FOR THE SITE ARE HOWARD COUNTY STATIONS 2028 AND 2031.
- EXISTING UTILITIES, ROADS, DRIVEWAYS, AND STRUCTURES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION.
- ACCORDING TO LORI A. BYRNE, ENVIRONMENTAL REVIEW SPECIALIST, "THE WILDLIFE AND HERITAGE SERVICE HAS DETERMINED THAT THERE ARE NO STATE OR FEDERAL RECORDS FOR RARE, THREATENED OR ENDANGERED SPECIES WITHIN THE BOUNDARIES OF THE PROJECT SITE AS DELINEATED. AS A RESULT, WE HAVE NO SPECIFIC COMMENTS OR REQUIREMENTS PERTAINING TO PROTECTION MEASURES AT THIS TIME."
- ACCORDING TO MARY J. RATNASWAMY, PH.D., PROGRAM SUPERVISOR, THREATENED AND ENDANGERED SPECIES, U.S. FISH AND WILDLIFE SERVICE, "EXCEPT FOR OCCASIONAL TRANSIENT INDIVIDUALS, NO FEDERALLY PROPOSED OR LISTED ENDANGERED OR THREATENED SPECIES ARE KNOWN TO EXIST WITHIN THE PROJECT IMPACT AREA. THEREFORE, NO BIOLOGICAL ASSESSMENT OR FURTHER SECTION 7 CONSULTATION WITH THE U.S. FISH AND WILDLIFE SERVICE IS REQUIRED."
- ACCORDING TO MARY A. COLLIGAN, ASSISTANT REGIONAL ADMINISTRATOR FOR PROTECTED RESOURCES WITH THE NATIONAL MARINE FISHERIES SERVICE (NMFS), "NO THREATENED OR ENDANGERED SPECIES UNDER THE JURISDICTION OF NMFS ARE KNOWN TO EXIST IN THE PROJECT AREA."
- ACCORDING TO MERLIN ONLINE, MARYLAND'S ENVIRONMENTAL RESOURCE AND LAND INFORMATION NETWORK, NO AREAS OF THE SITE OR ADJACENT PARCELS ARE LISTED ON THE MARYLAND INVENTORY OF HISTORIC PROPERTIES OR NATIONAL REGISTER OF HISTORIC PLACES, OR CONTAIN MARYLAND HISTORIC TRUST EASEMENTS.
- STREAMS AND WETLANDS ON THE SUBJECT PROPERTY WERE DELINEATED BY GTA ON DECEMBER 17, 2007. THE WETLAND DELINEATION WAS GPS LOCATED USING A TRIMBLE PRO-XR BACKPACK UNIT ON DECEMBER 20, 2007. ADDITIONAL DATA WAS COLLECTED FOR THE WETLAND REPORT IN JANUARY 2008. THE WETLAND LIMITS WERE RECONFIRMED IN THE FIELD BY GTA IN 2011, AND THE WETLAND REPORT AND PLAN WERE UPDATED. THE WETLAND DELINEATION WAS REVIEWED IN THE FIELD BY THE UNITED STATES ARMY CORPS OF ENGINEERS (CORPS) ON AUGUST 24, 2011. THE CORPS ISSUED A JURISDICTIONAL DETERMINATION ON SEPTEMBER 15, 2011, STATING THAT GTA'S WETLAND DELINEATION PLAN, DATED MAY 20, 2011, "IDENTIFIES ALL POTENTIAL JURISDICTIONAL WATERS AND WETLANDS WITHIN THE REVIEW AREA." OFF-SITE STREAMS ARE FROM HOWARD COUNTY GIS INFORMATION AND ARE APPROXIMATED ON THE PLAN.
- THE SUBJECT PROPERTY IS LOCATED IN THE PATAPSCO RIVER AREA WATERSHED, BASIN NUMBER 02-12-09. THE SUBJECT PROPERTY DRAINS TO DEEP RUN. THE CODE OF MARYLAND REGULATIONS (COMAR) STREAM USE CLASSIFICATION INDEX LISTS TRIBUTARIES TO DEEP RUN AS USE 1 (WATER CONTACT RECREATION, AND PROTECTION OF AQUATIC LIFE).
- THE ORIGINAL FOREST STAND DELINEATION FIELD WORK WAS PERFORMED BY GTA ON OCTOBER 8, 2007 FOR THE HORSE FARM PROPERTY, AND ON DECEMBER 17, 2007 FOR THE CURTIS PROPERTY. ON FEBRUARY 24, 2014 THE INFORMATION IN THE FOREST STAND DELINEATION WAS RECONFIRMED IN THE FIELD BY GTA.
- NINETEEN SPECIMEN TREES WERE IDENTIFIED ON THE SUBJECT PROPERTY. SPECIMEN TREES WERE LOCATED BY GTA ON FEBRUARY 24, 2014 USING A TRIMBLE PRO-XR BACKPACK UNIT AND WERE MARKED IN THE FIELD BY BLUE FLAGGING TIED AROUND THEIR TRUNKS. SPECIMEN TREES ARE SHOWN ON THIS PLAN AT THE SIZE OF THEIR CRITICAL ROOT ZONE. OF THE 19 SPECIMEN TREES, ONE (1) IS LOCATED WITHIN THE TROTTER'S KNOLL SECTION 1 (HORSE FARM) PROPERTY AND FOUR (4) ARE JUST OFF THE TROTTER'S KNOLL SECTION 1 PROPERTY WITH A CRITICAL ROOT ZONE THAT EXTENDS ON-SITE.
- SOILS ARE MAPPED AND LABELED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE'S WEB SOIL SURVEY, AVAILABLE ON-LINE AT HTTP://WEBSOILSURVEY.NRCS.USDA.GOV/APP/.

REFORESTATION REQUIREMENTS

- REFORESTATION AREA = 0.56 AC x 200 TREES/ACRE = 112 TOTAL TREES.
REFORESTATION AREAS SHALL BE RANDOMIZED MIX OF TREES:
RED MAPLE (40%), BLACK CHERRY (20%), AND PIN OAK (40%).
- REFER TO THE PLANTING DISTRIBUTION PATTERNS DETAIL ON THIS SHEET.
- MAINTENANCE NOTES:**
- THE MAINTENANCE PROGRAM IS AS FOLLOWS:
A. THE AREA SHALL BE OUTLINED BY THE TREE PROTECTION DEVICE, TPD, FOR THE 2 YEAR PERIOD.
B. THE AREA PROTECTED BY THE TPD WILL BE MOWED 2 TIMES PER YEAR TO ASSURE WEED CONTROL AND ALLOW TREES A CHANCE TO SURVIVE.
C. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR TREE CARE AND REPORTING TO THE CLIENT ACCORDING TO THE FOLLOWING SCHEDULE:
YEAR 1: 3 TIMES: MAR-APR, JUL-AUG, OCT-NOV.
YEAR 2: 2 TIMES/YEAR: APR-MAY, SEPT-OCT
D. PLANTS WILL BE FIELD CHECKED AT LEAST THREE TIMES DURING THE FIRST YEAR, WITH WATERING IF NEEDED AND CONTROL OF UNDESIRABLE VEGETATION IF NEEDED. PLANTS WILL BE FIELD CHECKED TWO TIMES DURING THE SECOND YEAR WITH REINFORCEMENT PLANTING IF NEEDED. A RECORD OF SURVIVAL TO BE MAINTAINED DURING THE FIELD CHECKS. FIELD DATA FORMS WILL BE SENT TO THE CLIENT AFTER EACH VISIT. DEAD PLANTS WILL BE REPLACED TO MAINTAIN AT LEAST 100% SURVIVAL.
 - THE PERIMETER FENCING WILL BE REMOVED AFTER YEAR 2, BASED ON DATE PLANTED.

FOREST STAND SUMMARY/NARRATIVE:

THE SUBJECT PROPERTY ENCOMPASSES 19.6± ACRES AND IS LOCATED BETWEEN OLD MONTGOMERY ROAD AND MD ROUTE 100 IN HOWARD COUNTY, MARYLAND. THE SUBJECT PROPERTY IS BOUNDED BY RESIDENTIAL DEVELOPMENTS TO THE NORTH, SOUTH, AND EAST, AND BY UNDEVELOPED MARYLAND STATE HIGHWAY LANDS TO THE WEST. THE AREA RESTRICTED BY WETLAND COVENANTS, THE SUBJECT PROPERTY CONSISTS OF TWO PARCELS OF LAND, TOTALING 19.6± ACRES. THE HORSE FARM PARCEL, THE PARCEL TO THE SOUTH, WAS RECENTLY USED AS AN AGRICULTURAL FIELD. THE CURTIS PARCEL, THE PARCEL TO THE NORTH, CONTAINS UNDEVELOPED FOREST AND AN EXISTING SEWER RIGHT-OF-WAY.

THE SUBJECT PROPERTY DRAINS TOWARD THE WEST VIA A WETLAND AREA THAT FORMS AN INTERMITTENT STREAM NEAR THE EASTERN BOUNDARY OF THE HORSE FARM PROPERTY BEFORE CONTRIBUTING TO DEEP RUN. DEEP RUN EXTENDS THROUGH THE WESTERN PORTION OF THE CURTIS PROPERTY IN A SOUTHWEST DIRECTION.

A NUMBER OF LARGE INDIVIDUAL TREES GROW EITHER ON-SITE, OR IN CLOSE PROXIMITY TO THE SUBJECT PROPERTY. THESE TREES ARE GENERALLY LOCATED ALONG OLD PARCEL BOUNDARIES AND WITHIN THE FLOODPLAIN OF DEEP RUN. NINETEEN OF THESE TREES HAVE ATTAINED SPECIMEN TREE SIZE AND THEIR SPECIES, SIZE, AND CONDITION ARE LISTED ON THE COVER SHEET. THEIR LOCATIONS ARE SHOWN ON THIS PLAN.

GTA OBSERVED THAT THE LAND COVER OF THE SUBJECT PROPERTY IS COMPOSED OF THREE FOREST STANDS THAT TOTAL 7.4± ACRES, WHICH ARE PRIMARILY LOCATED WITHIN THE CURTIS PROPERTY. EFFECTIVELY, THERE IS NO FOREST (<0.02 ACRES) ON THE HORSE FARM PARCEL. THE REMAINING LAND COVER CONSISTS OF THREE HEDGEROWS, THREE OPEN FIELDS/MEADOW, A TREE GROUP, A SCRUB-SHRUB WETLAND AREA, AN ABANDONED FIELD, AND A LAWN AREA. A SUMMARY DESCRIPTION OF EACH OF THESE AREAS FOLLOWS:

F-1 (CURTIS PROPERTY - NOT SHOWN ON THIS PLAN)
FOREST STAND F-1 ENCOMPASSES 2.9 AC±, THE MAJORITY OF WHICH IS LOCATED OUTSIDE THE FLOODPLAIN AREA ALONG DEEP RUN WITHIN THE CURTIS PROPERTY. THIS AREA IS DOMINATED IN THE OVERSTORY BY GREEN ASH, BLACK CHERRY, AMERICAN BEECH, TULIPTREE AND RED MAPLE WITH MULTIFLORA ROSE AND WINEBERRY AS DOMINANT UNDERSTORY AND HERBACEOUS SPECIES. TREES WITHIN THIS FOREST STAND RANGE FROM 4" TO 20" DIAMETER AT BREAST HEIGHT (DBH) WITH THE EXCEPTION OF TWO SPECIMEN TREES, LOCATED ALONG THE EASTERN PROPERTY LINE.

THIS UPLAND FOREST ACTS AS A WOODED CORRIDOR ALONG DEEP RUN. HOWEVER, DUE TO ITS LOCATION OUTSIDE OF THE FLOODPLAIN, STREAM BUFFER, AND OTHER SENSITIVE ENVIRONMENTS, THE MAJORITY OF THIS FOREST IS NOT PRIORITY FOR RETENTION, WITH THE EXCEPTION OF THE SPECIMEN TREES AND STEEP SLOPES.

F-2 (SHA WETLAND COVENANT AREA)
FOREST STAND F-2 ENCOMPASSES 3.2 AC±, THE MAJORITY OF WHICH IS CONTAINED WITHIN THE STREAM AND WETLAND BUFFERS AND FLOODPLAIN OF DEEP RUN ON THE CURTIS PROPERTY. DOMINANT TREE SPECIES INCLUDE GREEN ASH, RED MAPLE, AMERICAN SYCAMORE, AND GUPPY ELM. BOXELDER AND WITCHHAZEL ARE FOUND WITHIN THE UNDERSTORY. THE HERBACEOUS LAYER IS REPRESENTED BY POISON IVY, MULTIFLORA ROSE, AND SASSAFRAS. TREES WITHIN THIS FOREST STAND RANGE FROM 4" TO 48" DBH.

THIS FOREST STAND ACTS AS A RIPARIAN BUFFER ALONG DEEP RUN. DUE TO ITS PRESENCE WITHIN STREAM BUFFERS AND FLOODPLAIN, AND DUE TO THE PRESENCE OF A NUMBER OF SPECIMEN TREES, THE MAJORITY OF THIS FOREST STAND IS PRIORITY FOR RETENTION.

F-3 (CURTIS PROPERTY - NOT SHOWN ON THIS PLAN)
FOREST STAND F-3 ENCOMPASSES 1.3 AC±, MOST OF WHICH ARE CONTAINED OUTSIDE THE FLOODPLAIN AND STREAM BUFFERS ALONG DEEP RUN WITHIN THE CURTIS PROPERTY. THIS STAND IS DOMINATED BY GREEN ASH, BLACK CHERRY, PERSIMMON AND PIN CHERRY WITH MULTIFLORA ROSE AND WINEBERRY AS DOMINANT UNDERSTORY AND HERBACEOUS SPECIES. TREES WITHIN THIS FOREST STAND RANGE FROM 4" TO 18" DBH.

THIS FOREST STAND ACTS AS A RIPARIAN BUFFER ALONG DEEP RUN. THE PORTIONS OF THIS FOREST STAND LOCATED WITHIN THE STREAM BUFFER AND FLOODPLAIN ARE PRIORITY FOR RETENTION.

H-1
HEDGEROW AREA H-1 ENCOMPASSES 0.6 AC±, AND ACTS AS A PROPERTY LINE BUFFER ALONG THE SUBJECT PROPERTY'S EASTERN AND SOUTHERN BOUNDARIES. DOMINANT SPECIES INCLUDE BLACK, SOUTHERN RED, AND WHITE OAKS; WHITE PINE, AND BLACK CHERRY. TREES WITHIN THIS HEDGEROW RANGE FROM 33" TO 39" DBH, WHICH INCLUDES FOUR SPECIMEN TREES OF PIN, SOUTHERN RED, AND BLACK OAKS THAT RANGE FROM FAIR TO GOOD CONDITION.

THE PORTIONS OF THE HEDGEROW THAT INCLUDE SPECIMEN TREES ARE PRIORITY FOR RETENTION. THE HEDGEROW, GIVEN ITS SIZE AND THAT IT CONTAINS A NUMBER OF SPECIMEN TREES, COULD BE SUPPLEMENTED WITH PLANTINGS TO ESTABLISH A FOREST STAND ALONG THE EASTERN PROPERTY BOUNDARY.

H-2
HEDGEROW AREA H-2 ENCOMPASSES 0.2 AC±, AND ACTS TO SEPARATE TWO OPEN FIELDS, OF-1 AND OF-2, ON THE HORSE FARM PORTION OF THE SUBJECT PROPERTY. DOMINANT TREE AND SHRUB SPECIES INCLUDE BLACK CHERRY, EASTERN REDCEDAR, AND MULTIFLORA ROSE. TREES WITHIN THIS HEDGEROW ARE YOUNG IN MATURITY AND RANGE FROM 2" TO 9" DBH.

THIS HEDGEROW DOES NOT CONTAIN ENVIRONMENTALLY SENSITIVE AREAS THAT WOULD BE PRIORITY FOR AFFORESTATION; NOR DOES IT CONTAIN SPECIMEN TREES. THEREFORE, THE HEDGEROW HAS LOW PRIORITY FOR RETENTION. THE HEDGEROW, GIVEN ITS SIZE, MATURITY, AND PROXIMITY TO ANY OTHER WOODED AREAS, OFFERS LITTLE INCENTIVE FOR ESTABLISHMENT OF A FOREST STAND.

H-3
HEDGEROW AREA H-3 ENCOMPASSES 0.3 AC±, AND ACTS TO SEPARATE OPEN FIELD OF-2 FROM WETLAND AREA W-1 ON THE HORSE FARM PORTION OF THE SUBJECT PROPERTY. DOMINANT TREE SPECIES INCLUDE GREEN ASH, BLACK WALNUT AND PERSIMMON. MULTIFLORA ROSE AND BLACKBERRY SPECIES ARE DOMINANT UNDERSTORY AND HERBACEOUS SPECIES. TREES WITHIN THIS HEDGEROW ARE YOUNG IN MATURITY AND RANGE FROM 4" TO 8" DBH.

PORTIONS OF THIS HEDGEROW CONTAIN AREAS WITHIN THE WETLANDS AND WETLAND BUFFERS. THE AREAS WITHIN THE WETLAND BUFFER WOULD BE PRIORITY FOR RETENTION. HOWEVER, GIVEN THE HEDGEROW'S SIZE, MATURITY, AND LACK OF PROXIMITY TO OTHER WOODED AREAS, THERE IS LITTLE INCENTIVE FOR ESTABLISHMENT OF A FOREST STAND.

T-1
TREE GROUP T-1 ENCOMPASSES 0.1 AC±, AND GROWS AROUND A FORMER HORSE WATERING DEPRESSION THAT IS ISOLATED WITHIN OPEN FIELD OF-1. DOMINANT TREE SPECIES INCLUDE BLACK WILLOW, BLACK CHERRY, AND MULTIFLORA ROSE. TREES WITHIN THIS TREE GROUP ARE YOUNG IN MATURITY AND RANGE FROM 4" TO 12" DBH.

THIS TREE GROUP DOES NOT CONTAIN ENVIRONMENTALLY SENSITIVE AREAS. THEREFORE, THE TREE GROUP HAS LOW PRIORITY FOR RETENTION. THE TREE GROUP, GIVEN ITS SIZE, MATURITY, AND ISOLATION FROM OTHER WOODED AREAS, OFFERS LITTLE INCENTIVE FOR ESTABLISHMENT OF A FOREST STAND.

W-1
WETLAND AREA W-1 ENCOMPASSES 0.1 AC±, AND ACTS TO COLLECT RUNOFF FROM THE ADJACENT UPLAND AREAS BEFORE CONTRIBUTING TO DEEP RUN. IT IS LOCATED BETWEEN ABANDONED FIELD AF-1 AND HEDGEROW H-3 ON THE HORSE FARM PROPERTY. THE DOMINANT TREE SPECIES IS BLACK WILLOW. THE MAJORITY OF THE WETLAND IS COMPOSED OF SHRUB AND HERBACEOUS VEGETATION THAT IS DOMINATED BY SILKY DOGWOOD AND SENSITIVE FERN. TREES WITHIN THIS WETLAND RANGE FROM 10" TO 20" DBH.

THIS WETLAND AREA IS PRIORITY FOR RETENTION. SUPPLEMENTAL PLANTINGS FOR ESTABLISHMENT OF A FORESTED WETLAND COULD BE CONSIDERED.

AF-1
ABANDONED FIELD AREA AF-1 ENCOMPASSES 3.0 AC±, AND IS A REVERTING PASTURE LOCATED PREDOMINANTLY WITHIN THE HORSE FARM PROPERTY. DOMINANT TREE SPECIES INCLUDE STAGHORN SUMAC, BLACK WALNUT, AND BLACK CHERRY. MULTIFLORA ROSE AND BLACKBERRY SPECIES ARE DOMINANT UNDERSTORY AND HERBACEOUS SPECIES. THE FEW TREES WITHIN THIS ABANDONED FIELD ARE YOUNG IN MATURITY AND RANGE FROM 3" TO 6" DBH.

PORTIONS OF THIS ABANDONED FIELD CONTAIN AREAS WITHIN THE ADJACENT WETLAND BUFFERS FROM WETLAND AREA W-1. THE AREAS WITHIN THE WETLAND BUFFER WOULD BE PRIORITY FOR AFFORESTATION. ALSO, THE NORTHERN PORTION OF THE ABANDONED FIELD IS ADJACENT TO FOREST STAND F-1 WHERE SUPPLEMENTAL PLANTINGS COULD ESTABLISH FOREST WITHIN AREAS OF THE ABANDONED FIELD.

OF-1
OPEN FIELD AREA OF-1 ENCOMPASSES 6.1 AC±, AND WAS USED AS A HAYFIELD AT THE TIME OF GTA'S 2007 SITE VISITS. THE FIELD HAS SINCE GONE FALLOW. THE OPEN FIELD IS LOCATED WITHIN THE HORSE FARM PROPERTY.

OF-1 DOES NOT CONTAIN ENVIRONMENTALLY SENSITIVE AREAS THAT WOULD BE CONSIDERED PRIORITY FOR AFFORESTATION.

OF-2
OPEN FIELD AREA OF-2 ENCOMPASSES 1.7 AC±, AND WAS USED AS A HAYFIELD AT THE TIME OF GTA'S 2007 SITE VISITS. THE FIELD HAS SINCE GONE FALLOW. THE OPEN FIELD IS LOCATED WITHIN THE HORSE FARM PROPERTY.

PORTIONS OF OF-2 CONTAIN AREAS WITHIN THE ADJACENT WETLAND BUFFERS FROM WETLAND AREA W-1. THE AREAS WITHIN THE WETLAND BUFFER WOULD BE PRIORITY FOR AFFORESTATION.

OF-3 (CURTIS PROPERTY - NOT SHOWN ON THIS PLAN)
OPEN FIELD AREA OF-3 ENCOMPASSES 1.0 AC±, AND CONTAINS A RIGHT-OF-WAY EASEMENT FOR A PUBLIC SEWER LINE THROUGH THE CURTIS PROPERTY PORTION OF THE SUBJECT PROPERTY. THE OPEN FIELD IS IN A MEADOW CONDITION AND IS MAINTAINED TO BE KEPT FREE OF TREES AND BRUSH BY THE UTILITY COMPANY.

THIS OPEN FIELD IS GENERALLY LOCATED WITHIN THE STREAM BUFFERS AND FLOODPLAIN OF DEEP RUN. HOWEVER, GIVEN THE OPEN FIELD'S USE AS A UTILITY RIGHT-OF-WAY, THE FIELD SHOULD NOT BE AFFRESTED WITH SUPPLEMENTAL PLANTINGS.

L-1 (CURTIS PROPERTY - NOT SHOWN ON THIS PLAN)
LAWN AREA L-1 ENCOMPASSES 0.1 AC±, AND PROVIDES ACCESS TO THE CURTIS PROPERTY PORTION OF THE SUBJECT PROPERTY FROM FETLOCK COURT. THE AREA CONTAINS LAWN AND LANDSCAPING THAT ARE MAINTAINED BY THE ADJACENT LANDOWNERS.

THIS LAWN AREA CONTAINS A PORTION OF THE CRITICAL ROOT ZONE OF A SPECIMEN TREE, WHICH WOULD BE PRIORITY FOR RETENTION. GIVEN THE LAWN AREA'S USE AS AN ACCESS TO FETLOCK COURT, AFFORESTATION SHOULD NOT BE CONSIDERED.



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TROTTER'S KNOLL - SECTION I HORSE FARM PROPERTY

FOREST CONSERVATION PLAN
DETAILS
TAX MAP 37 GRIDS 2 PARCEL 748 ZONED: R-SA-8
1ST ELECTION DISTRICT
HOWARD COUNTY, MD 21043

DATE	REVISIONS	JOB NO.:
		15368 x 02
		SCALE: N/A
		DATE: 03/09/2016
		DRAWN BY: CRM
		DESIGN BY: CRM
		REVIEW BY: CMG