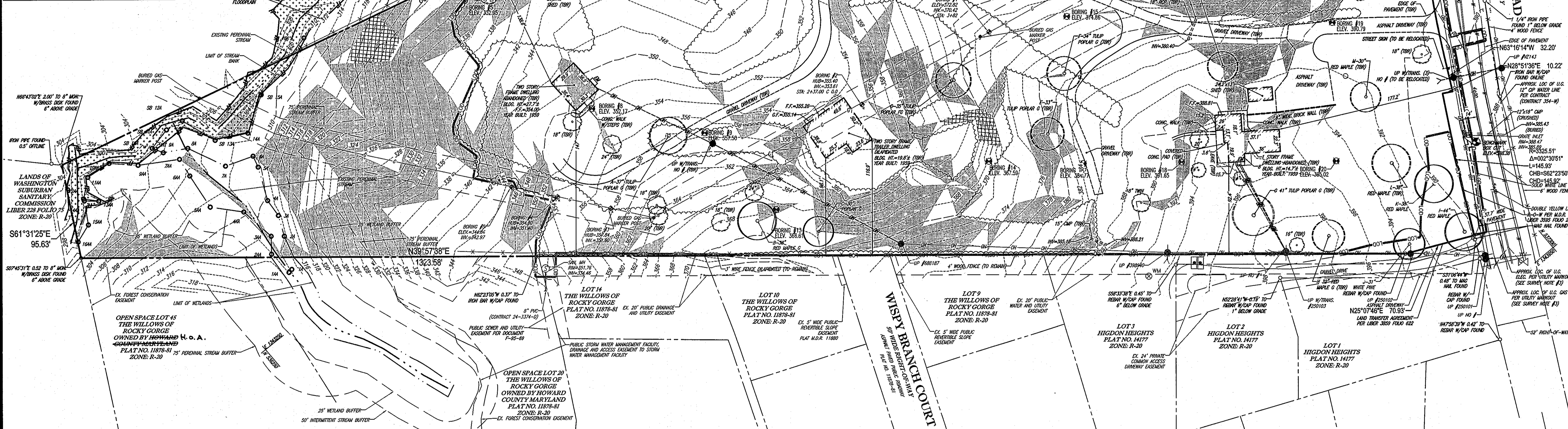


EXISTING CONDITIONS PLAN LEGEND

FOR ENTIRE PLAN SET
(NOT TO SCALE)

EXISTING NOTE	TYPICAL NOTE TEXT	EXISTING NOTE	TYPICAL NOTE TEXT
	ONSITE PROPERTY LINE / R.O.W. LINE		HYDRANT
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE		SANITARY MANHOLE
	EASEMENT LINE		STORM MANHOLE
	SETBACK LINE		WATER METER
	CONCRETE CURB & GUTTER		WATER VALVE
	UTILITY POLE WITH LIGHT		TYPICAL END SECTION
	YARD INLET		CURB INLET
	ELECTRIC MANHOLE		TELEPHONE MANHOLE
	TYPICAL LIGHT		BORING
	TYPICAL SIGN		FLOODPLAIN
	CONTOUR LINE		STEEP SLOPES (>25%)
	UNDERGROUND WATER LINE		STEEP SLOPES (15%-25%)
	UNDERGROUND ELECTRIC LINE		
	UNDERGROUND GAS LINE		
	OVERHEAD WIRE		
	UNDERGROUND TELEPHONE LINE		
	UNDERGROUND CABLE LINE		
	STORM SEWER		
	SANITARY SEWER MAIN		



SURVEY NOTES:

- PROPERTY IS KNOWN AS THE LANDS OF EULA P. HIGDON, TRUSTEE AS RECORDED IN LIBER 4938 FOLIO 230 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AND HAVING A TAX MAP NUMBER OF 46 11 56.
- AREA = 494,791 SQUARE FEET OR 11,359 ACRES.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- THIS SURVEY IS BASED ON INFORMATION AND REFERENCE MATERIAL AS LISTED HEREON.
- THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED. NO TITLE REPORT PROVIDED AT THE TIME OF SURVEY.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS ARE BASED NAVD83, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS SURVEY DIVISION GEODETIC SURVEY CONTROL MONUMENT 468B, WITH A PUBLISHED ELEVATION OF 422.444 FEET AND MONUMENT 46C WITH A PUBLISHED ELEVATION OF 394.623 FEET.
- THE PROPERTY IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING) PER PLAN REFERENCE #2.
- WATER, ELECTRIC AND GAS UTILITIES ARE SHOWN PER MARKOUT AND FIELD LOCATION WATER, SANITARY, STORM, ELECTRIC AND GAS UTILITIES ARE SHOWN PER FIELD LOCATION OF ABOVE GROUND STRUCTURE AND PLANS RECEIVED FROM UTILITY COMPANIES AND LOCAL GOVERNMENT OFFICES.

SURVEY REFERENCES:

- THE DEPARTMENT OF TAXATION AND ASSESSMENTS, HOWARD COUNTY, MARYLAND, TAX MAP 46.
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, PANEL 42 OF 45", COMMUNITY-PANEL NUMBER 240440042B, MAP REVISED DATE DECEMBER 4, 1988.
- PLAN ENTITLED "CHERRYTREE VIEW BUILDABLE LOTS 1-11 AND OPEN SPACE LOTS 12 & 13 - WATER & SEWER MAIN EXTENSIONS", PREPARED BY FISHER, COLLINS & CARTER, INC. WITH A REVISED DATE OF 08-1-12.

DEMOLITION NOTES:

- A SEPTIC SYSTEM EXISTS ON SITE. DEMOLITION PERMIT #B13000479 HAS BEEN ISSUED TO REMOVE THIS SYSTEM PER LOCAL, COUNTY, AND STATE REQUIREMENTS.
- ALL EXISTING WELLS AND SEPTIC SYSTEM COMPONENTS MUST BE PROPERLY ABANDONED AND NOTIFICATION OF SUCH SENT TO THE HEALTH DEPARTMENT PRIOR TO HEALTH OFFICER SIGNATURE OF FINAL RECORD PLAN.

OWNER:	EULA P. HIGDON REVOCABLE TRUST 286 CLOSE QUARTER DRIVE WHITE STONE, VA 22078 CONTACT: TERESA MARIAN DUSTIN PHONE: (301) 503-1582
DEVELOPER:	ELM STREET DEVELOPMENT 5974 DORSEY HALL ROAD, SUITE 205 COLUMBIA, MD 21042 CONTACT: JASON VAN KIRK PHONE: (410) 720-5021
SUBDIVISION NAME:	HIGDON SECTION: AEA, VIA DEED # 4939/230
TAX MAP:	46
GRID:	11
ZONED:	R-20
PARCEL:	56
6TH ELECTION DISTRICT:	HOWARD COUNTY, MARYLAND
PREVIOUS FILE No.:	WP-13-048, ECP-13-038, BA-95-028.
PROFESSIONAL CERTIFICATION:	I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/2019

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Mark A. Lyle
PLANNING DIRECTOR

DATE: 7/15/13

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

OFFICES:
BOSTON, MA
PORTLAND, ME
ALBANY, NY
SARASOTA, FL
TOWSON, MD
WILKES BARRE, PA
FARMINGTON, CT
PORTLAND, ME
PHILADELPHIA, PA
HARTFORD, CT

REVISIONS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	6/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD122068
DRAWN BY: RLB
CHECKED BY: BRR
DATE: 12/20/12
SCALE: 1"=50'
CAD I.D.: PSD

PRELIMINARY EQUIVALENT SKETCH PLAN

FOR
HIGDON PROPERTY
Lots 1-20 + OS Lots 21-24
LOCATION OF SITE
10883 SCAGGVILLE RD.
HOWARD COUNTY, MD

BOHLER ENGINEERING

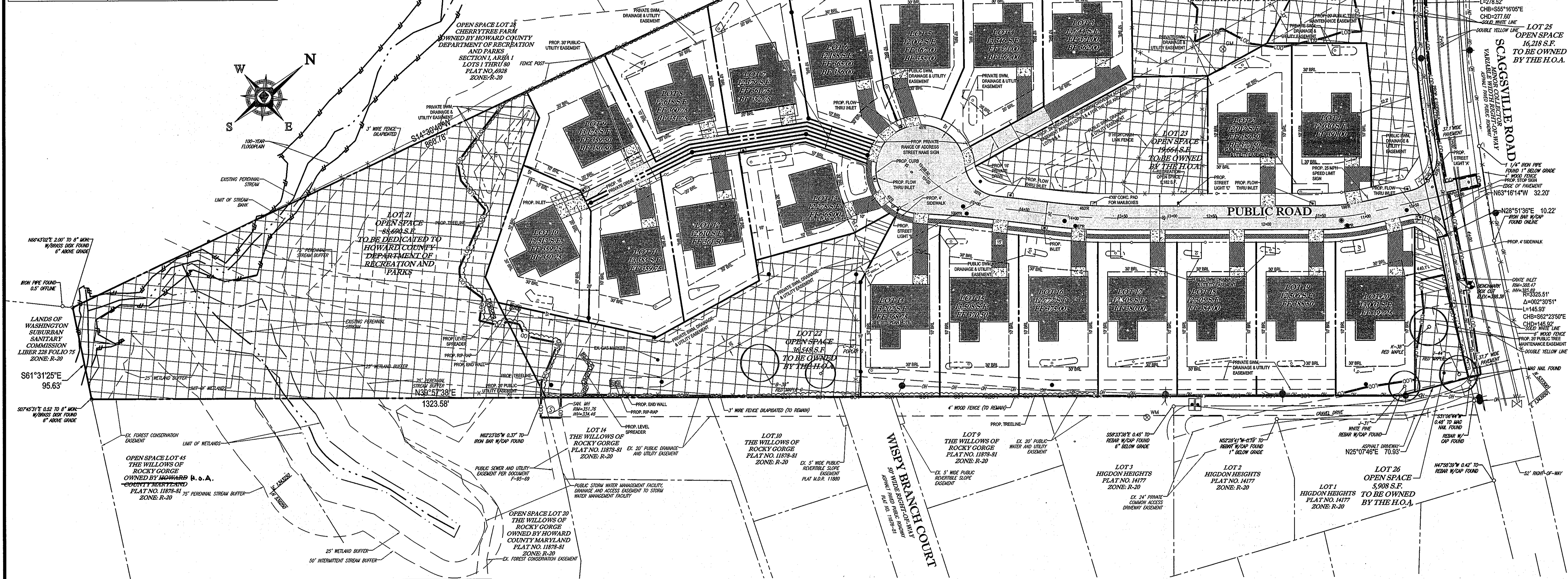
901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
PHONE: (410) 821-7930
FAX: (410) 821-7987
www.BohlerEngineering.com

EXISTING CONDITIONS AND DEMOLITION PLAN

SHEET TITLE:

SHEET NUMBER:
2
OF 12

STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET (NOT TO SCALE)			STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET (NOT TO SCALE)		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---	---	FLOW THROUGH INLET	☐
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---	---	CURB INLET	☒
---	EASEMENT LINE	---	---	WETLAND BUFFER	---
---	SETBACK LINE	---	---	STREAM BUFFER	---
---	CONCRETE CURB & GUTTER	---	---	TREELINE	---
---	DEPRESSED CURB AND GUTTER	---	---	FULL DEPTH PAVEMENT	---
---	UTILITY POLE WITH LIGHT	---	---	PERMEABLE PAVEMENT	---
---	TYPICAL LIGHT	---	---	CONCRETE PAVEMENT	---
---	TYPICAL SIGN	---	---	CREDITED OPEN SPACE (4.54 AC.)	---
---	HYDRANT	---	---	NON-CREDITED OPEN SPACE (0.10 AC.)	---
---	SANITARY MANHOLE	---	---	PERENNIAL STREAM	---
---	SANITARY TERMINAL	---	---	INTERMITTENT STREAM	---
---	STORM MANHOLE	---	---	MICRO-BIORETENTION FACILITY	---
---	WATER VALVE	---	---		
---	TYPICAL END SECTION	---	---		
---	CLEAN OUT	---	---		

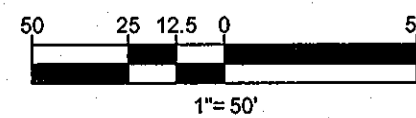


POLE DELIGATION	ROAD WAY CLASSIFICATION	POLE HEIGHT	POLE TYPE	FIXTURE	LAMP SIZE
A	MINOR COLLECTOR	14'-0"	BLACK FIBERGLASS	POST-TOP	100 W HPS
B	RESIDENTIAL	14'-0"	BLACK FIBERGLASS	POST-TOP	100 W HPS
C	RESIDENTIAL	14'-0"	BLACK FIBERGLASS	POST-TOP	100 W HPS

SITE PLAN GENERAL NOTES:

- THE REDUCTION FROM THE REQUIRED 30' BRL TO A 15' BRL FROM THE EXISTING UTILITY EASEMENT PER W-15-048 ONLY PERTAINS TO LOTS 13 AND 14. SEE GENERAL NOTE #20 ON SHEET #1 OF THIS PLAN SET FOR ADDITIONAL INFORMATION.

NOTE: DUE TO THE SITE'S UNIQUE CONSTRAINTS SUCH AS THE BOUNDARY CONFIGURATION, THE EXISTING GAS EASEMENT, SMALL LOT SIZES AND MORE THAN 90 FEET OF ELEVATION DIFFERENCE FROM SCAGGSVILLE ROAD TO THE STREAM, IT IS NOT FEASIBLE TO PROVIDE A CONNECTION FROM THIS SUBDIVISION TO WISP BRANCH COURT.



OWNER: EULA P. HIGDON REVOCABLE TRUST
288 GLOUSE QUARTER DRIVE
WHITE STONE, VA 22578
CONTACT: TERESA MARIAN DUSTIN
PHONE: (301) 503-1582

DEVELOPER: ELM STREET DEVELOPMENT
5074 DORSEY HALL ROAD, SUITE 205
COLUMBIA, MD 21042
CONTACT: JASON VAN HIRK
PHONE: (410) 720-3021

SUBDIVISION NAME: HIGDON SECTION 3, AREA: VIA DEED # 4938/230

TAX MAP: 46 **GRID:** 11 **ZONED:** R-20 **PARCEL:** 56

6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION: I BRANSON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40838, EXPIRATION DATE: 7/31/25

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
BETHESDA, MD
TOWSON, MD
WARRINGTON, VA
SALISBURY, MD
SALISBURY, VA
CHERRYVALE, PA
HARRISBURG, PA

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	6/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EDUCATORS, DESIGNERS, OR ANY PERSON PREPARING TO RETURN THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811

(OV 1-800-245-4548) (PA 1-800-242-1776) (DC 1-800-257-3777) (VA 1-800-452-7001) (MD 1-800-257-7777) (DE 1-800-282-8556)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD122086
DRAWN BY: RLB
CHECKED BY: BRR
DATE: 12/20/12
SCALE: 1"=50'
CAD I.D.: PSB

PRELIMINARY EQUIVALENT SKETCH PLAN

FOR
HIGDON PROPERTY
Lots 1-20 + OS Lots 21-24
LOCATION OF SITE
10883 SCAGGSVILLE RD.
HOWARD COUNTY, MD

BOHLER ENGINEERING

901 DULANE VALLEY ROAD,
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Phone: (410) 821-7000
Fax: (410) 821-7987
www.BohlerEngineering.com

BRANSON R. ROWE
PROFESSIONAL ENGINEER

7/15/13

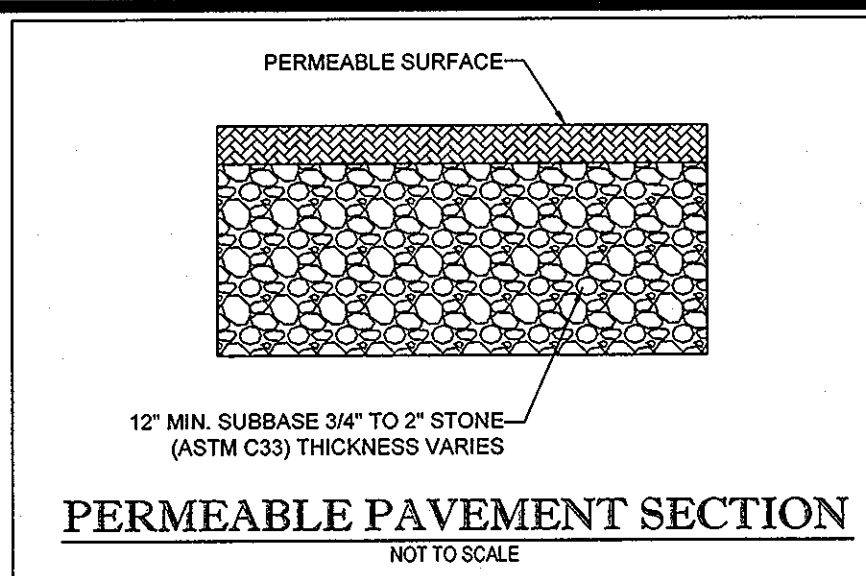
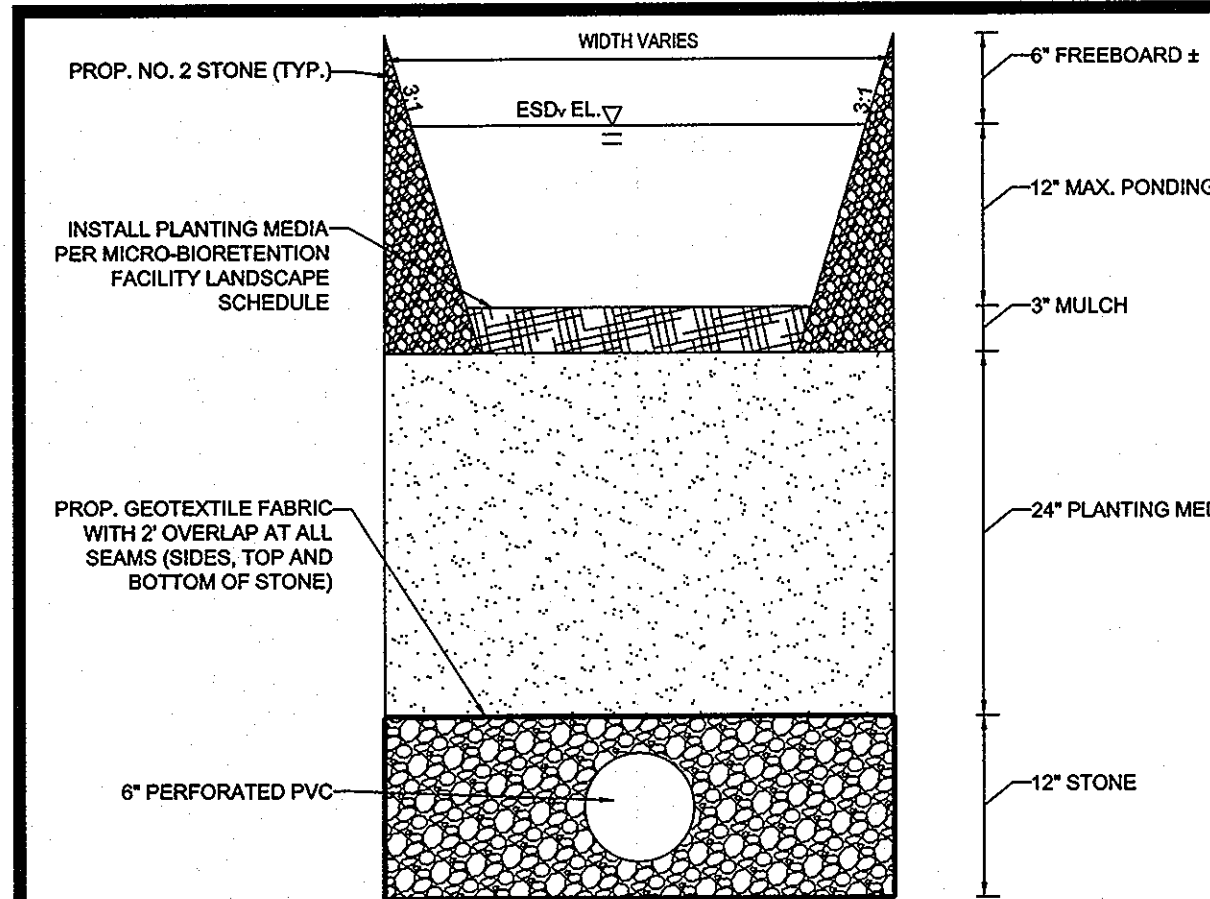
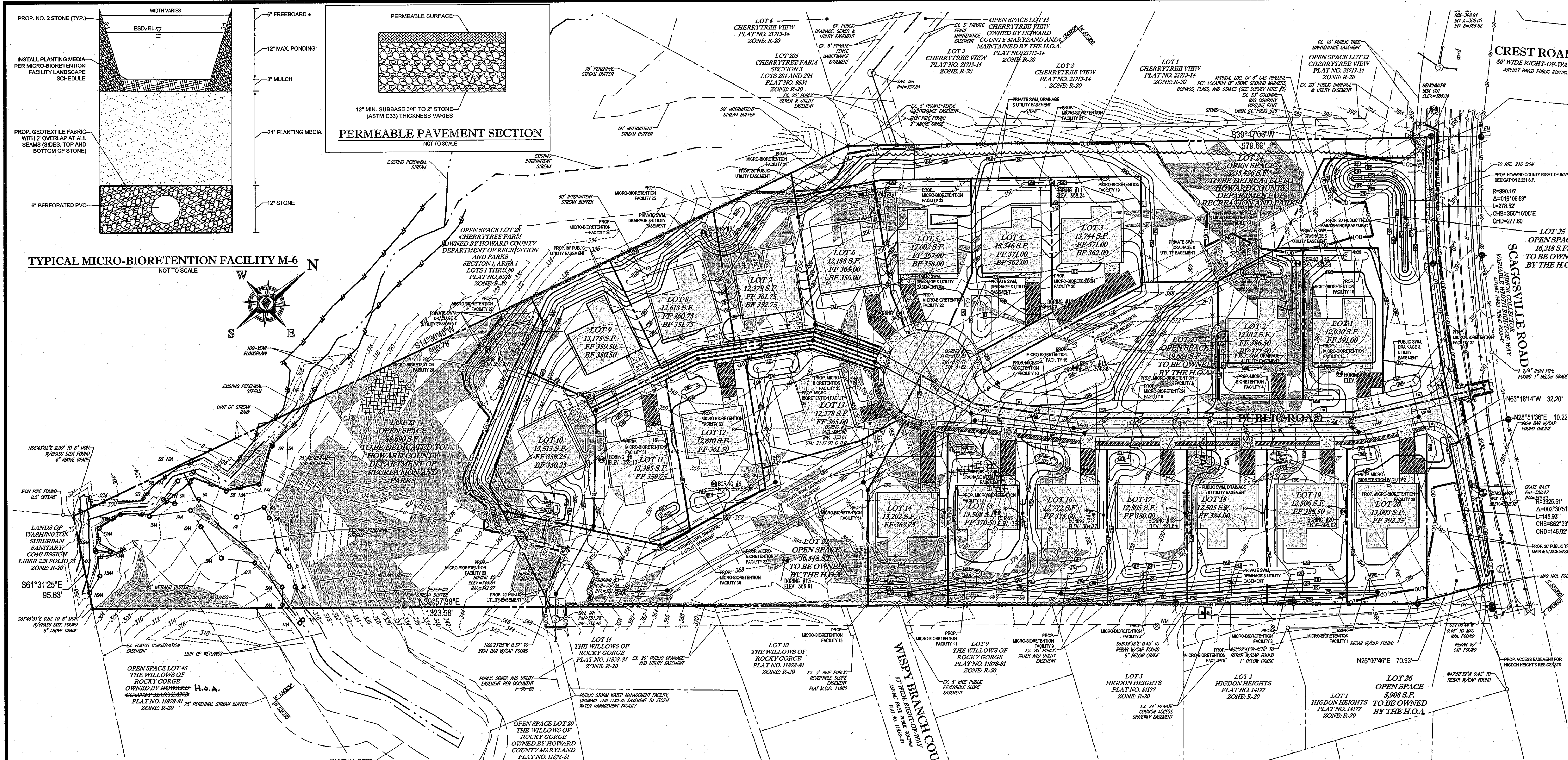
SITE PLAN

SHEET NUMBER: **3** OF 12

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. SCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPLICABLE CODES AND REGULATIONS.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

PLANNING DIRECTOR
DATE: 7/15/13



TYPICAL MICRO-BIORETENTION FACILITY M-6 NOT TO SCALE

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---	⊙	STORM MANHOLE	•	○	OVERFLOW INLET
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---	WM	WATER METER	□	□	FLOW THROUGH INLET
---	EASEMENT LINE	---	WV	WATER VALVE	•	○	SANITARY INLET
---	SETBACK	---	---	TYPICAL END SECTION	---	---	CURB INLET
---	CONTOUR LINE	---	⊙	BORING	⊙	⊙	
---	UNDERGROUND WATER LINE	---	---	STEEP SLOPES (>25%)	---	---	
---	UNDERGROUND ELECTRIC LINE	---	---	STEEP SLOPES (15%-25%)	---	---	
---	UNDERGROUND GAS LINE	---	---	FULL DEPTH PAVEMENT	---	---	
---	OVERHEAD WIRE	---	---	(A-2)PERVIOUS PAVEMENT	---	---	
---	STORM SEWER	---	---	CONCRETE PAVEMENT	---	---	
---	SANITARY SEWER MAIN	---	---	TREELINE	---	---	
---	HYDRANT	---	---	WETLAND BUFFER	---	---	
---	SANITARY MANHOLE	---	---	STREAM BUFFER	---	---	

DRAINAGE AREA	MDE TYPE	TOTAL DA		IMPERVIOUS AREA		IMPERVIOUSNESS %	Q _e	AT		ESDV		Rev			
		S.F.	AC	S.F.	AC			REQUIRED	PROVIDED	REQUIRED	PROVIDED				
1	M-6	3,048	0.07	1,742	0.04	57%	0.89	60.88	100	PASS	12"	2	224.00	257.33	1.15
2	M-6	4,792	0.11	1,307	0.03	27%	0.48	93.83	100	PASS	12"	2	188.07	257.33	2.18
3	M-6	6,976	0.18	1,742	0.04	25%	0.43	139.38	140	PASS	12"	2	255.32	340.67	2.18
4	M-6	4,792	0.11	1,307	0.03	27%	0.48	93.83	100	PASS	12"	2	188.07	257.33	1.15
5	M-6	7,405	0.17	1,742	0.04	24%	0.41	148.10	150	PASS	12"	2	251.90	344.00	2.25
6	M-6	4,792	0.11	1,307	0.03	27%	0.48	93.83	100	PASS	12"	2	188.07	257.33	2.18
7	M-6	18,117	0.37	1,742	0.04	11%	0.29	322.34	328	PASS	12"	2	111.49	288.03	2.30
8	M-6	11,359	0.26	1,742	0.04	15%	0.30	225.51	228	PASS	11"	2	281.54	445.04	2.50
9	M-6	5,271	0.13	1,307	0.03	25%	0.49	103.54	105	PASS	12"	2	191.49	288.03	2.30
10	M-6	7,611	0.18	1,742	0.04	22%	0.39	156.82	162	PASS	12"	2	256.46	372.00	2.28
11	M-6	5,633	0.13	1,307	0.03	23%	0.40	113.26	115	PASS	12"	2	182.63	289.33	2.38
12	M-6	7,405	0.17	1,742	0.04	24%	0.41	148.10	150	PASS	12"	2	251.90	344.00	2.25
13	M-6	4,792	0.11	1,307	0.03	27%	0.48	93.83	100	PASS	12"	2	188.07	257.33	2.18
14	M-6	3,985	0.07	1,307	0.03	33%	0.60	60.88	75	PASS	12"	2	175.50	254.00	1.84
15	M-6	5,633	0.13	3,048	0.07	54%	0.84	113.26	125	PASS	12"	2	392.67	310.67	1.23
16	M-6	9,883	0.22	1,742	0.04	18%	0.34	191.66	200	PASS	12"	2	253.30	407.33	2.50
17	M-6	5,715	0.13	3,048	0.07	53%	0.87	152.26	200	PASS	12"	2	431.39	423.61	1.90
18	M-6	27,007	0.62	13,368	0.30	49%	0.76	500.14	700	PASS	12"	2	1,781.39	1,284.00	1.18
19	M-6	5,633	0.13	3,048	0.07	54%	0.84	113.26	150	PASS	12"	2	392.67	348.00	1.38
20	M-6	6,712	0.16	3,485	0.08	49%	0.64	174.20	240	PASS	12"	2	437.53	488.00	1.87
21	M-6	4,792	0.11	3,048	0.07	64%	0.98	93.83	150	PASS	12"	2	398.08	348.00	1.40
22	M-6	10,890	0.25	4,792	0.11	44%	0.50	217.80	242	PASS	12"	2	641.15	478.87	1.18
23	M-6	4,366	0.10	3,048	0.07	70%	1.07	87.12	225	PASS	12"	2	387.34	460.00	1.86
24	M-6	10,890	0.25	3,048	0.07	28%	0.44	103.68	225	PASS	12"	2	401.76	460.00	1.90
25	M-6	6,584	0.15	3,048	0.07	47%	0.47	217.80	242	PASS	12"	2	427.43	538.00	1.95
26	M-6	7,405	0.17	3,048	0.07	41%	0.66	148.10	210	PASS	12"	2	406.92	452.00	1.74
27	M-6	1,205	0.12	3,048	0.07	25%	0.46	148.10	150	PASS	12"	2	225.37	288.00	2.25
28	M-6	18,988	0.39	5,227	0.12	28%	0.51	339.77	342	PASS	12"	2	738.47	650.33	1.95
29	M-6	10,019	0.23	3,048	0.07	30%	0.51	200.38	210	PASS	12"	2	418.45	498.00	1.90
30	M-6	4,366	0.10	3,048	0.07	70%	1.07	87.12	225	PASS	12"	2	387.34	460.00	1.86
31	M-6	4,366	0.09	1,742	0.04	40%	0.79	69.70	75	PASS	12"	2	227.56	254.00	1.48
32	M-6	7,405	0.17	1,307	0.03	18%	0.39	148.10	180	PASS	12"	2	203.46	408.00	3.17
33	M-6	3,943	0.07	1,742	0.04	44%	0.69	80.98	100	PASS	11"	2	225.37	274.17	1.27
34	M-6	10,890	0.25	1,307	0.03	12%	0.24	113.26	150	PASS	12"	2	1,044.95	790.67	1.20
35	M-6	18,988	0.39	7,405	0.17	44%	0.51	200.38	310	PASS	12"	2	943.77	682.00	2.01
36	M-6	6,583	0.13	1,742	0.04	26%	0.51	113.26	125	PASS	12"	2	244.49	310.67	2.29
37	M-6	4,366	0.09	1,307	0.03	30%	0.58	69.70	100	PASS	12"	2	278.27	118.57	2.47
Permeable Paving	A-2	11,326	0.26	11,326	0.26	100%	NA	3737.45	11,214	PASS	NA	NA	NA	NA	3,384.20
TOTALS		310,583		114,998.40				9583.20	16,434	PASS			14,174.23	15,187.45	

"SITE AREA"	9.37 AC.
ESDV	15,115 S.F. (REQUIRED), 16,187 S.F. (PROVIDED)
Rev	2,406 C.F. (REQUIRED), 3,384 C.F. (PROVIDED)
CPV	INCLUDED IN ESDV
QP10	NOT REQUIRED
QP100	NOT REQUIRED

REFER TO SHEET 5 FOR STORMDRAIN AND UTILITY SIZE INFORMATION.

NOTE: DUE TO THE SITES UNIQUE CONSTRAINTS SUCH AS THE BOUNDARY CONFIGURATION, THE EXISTING GAS EASEMENT, SMALL LOT SIZES AND MORE THAN 90' OF ELEVATION DIFFERENCE FROM SCAGGSVILLE ROAD TO THE STREAM, IT IS NOT FEASIBLE TO PROVIDE A CONNECTION FROM THIS SUBDIVISION TO WISPY BRANCH COURT.

NOTE: HAZARD CLASS FOR ALL S.W.M. FACILITIES IS 'A' DUE TO NO LIFE LOSS FOR FAILURE.

OWNER: EULA P. HIGDON REVOCABLE TRUST
206 CLOUE QUARTER DRIVE
WHITE STONE, VA 22578
CONTACT: TERESA MARIAN DUSTIN
PHONE: (301) 503-1582

DEVELOPER: ELM STREET DEVELOPMENT
5074 DORSEY HALL ROAD, SUITE 205
COLUMBIA, MD 21042
CONTACT: JASON VAN KIRK
PHONE: (410) 720-3621

TAX MAP: 46 GRID: 111 ZONED: R-20
PARCEL: 56

6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40836. EXPIRATION DATE: 7/31/2025

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
BOSTON, MA
BIRMINGHAM, AL
CHICAGO, IL
COLUMBIA, MD
DENVER, CO
FORT LAUDERDALE, FL
HARTFORD, CT
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	6/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EDUCATORS, DESIGNERS, OR ANY PERSON PREPARING TO RETURN THE GAZETTE SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE:

NOT APPROVED FOR CONSTRUCTION

PROJECT NO.: MD12266
DRAWN BY: BRR
CHECKED BY: BRR
DATE: 12/20/12
SCALE: 1"=50'
CAD I.D.: PSB

PRELIMINARY EQUIVALENT SKETCH PLAN

FOR
HIGDON PROPERTY
Lots 1-20
+ Lots 21-24
LOCATION OF SITE
10883 SCAGGSVILLE RD.
HOWARD COUNTY, MD

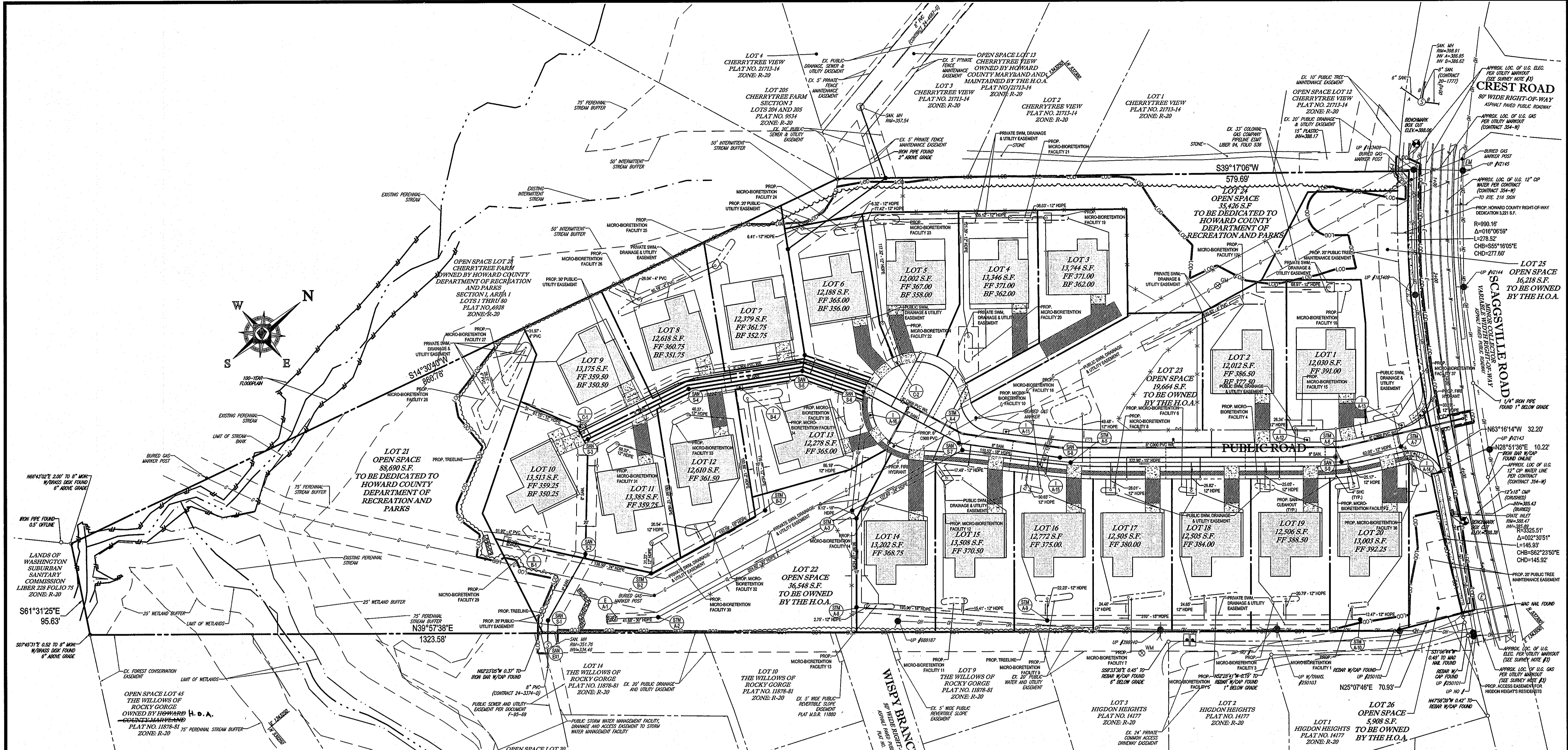
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SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

BOHLER ENGINEERING

SHEET TITLE:
GRADING AND SWM PLAN

SHEET NUMBER:
4
OF 12



STANDARD DRAWING LEGEND

FOR ENTIRE PLAN SET
(NOT TO SCALE)

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---	WM	WATER METER	○	○	OVERFLOW INLET
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---	WV	WATER VALVE	●	●	FLOW THROUGH INLET
---	EASEMENT LINE	---	---	TYPICAL END SECTION	3	○	SANITARY CLEANOUT
---	SETBACK LINE	---	⊕	BORING	⊕	⊕	CURB INLET
---	UNDERGROUND WATER LINE	---	---	FULL DEPTH PAVEMENT	---	---	
---	UNDERGROUND ELECTRIC LINE	---	---	(A-2)PERVERSUS PAVEMENT	---	---	
---	UNDERGROUND GAS LINE	---	---	CONCRETE PAVEMENT	---	---	
---	OVERHEAD WIRE	---	---	TREELINE	---	---	
---	STORM SEWER	---	---	WETLAND BUFFER	---	---	
---	SANITARY SEWER MAIN	---	---	STREAM BUFFER	---	---	
---	HYDRANT	---	---		---	---	
---	SANITARY MANHOLE	---	---		---	---	
---	STORM MANHOLE	---	---		---	---	

NOTES:

1. ALL ROOF DRAINS WILL BE 6" PVC.
2. 1-1/2" W/C AND 1" METER TO BE PROVIDED TO ALL SFD LOTS.

NOTE: DUE TO THE SITES UNIQUE CONSTRAINTS SUCH AS THE BOUNDARY CONFIGURATION, THE EXISTING GAS EASEMENT, SMALL LOT SIZES AND MORE THAN 20 FEET OF ELEVATION DIFFERENCE FROM SCAGGSVILLE ROAD TO THE STREAM, IT IS NOT FEASIBLE TO PROVIDE A CONNECTION FROM THIS SUBDIVISION TO WISPY BRANCH COURT.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

PLANNING DIRECTOR: *Paul A. C... 7/17/12*

DATE: 7/17/12

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DIMENSIONS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPROVABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

BOHLER ENGINEERING

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MONTICELLO, VA
PORT LAUDERDALE, FL
WILKES BARRE, PA

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	6/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATES OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE THAT ALL:

(MD) 1-800-245-4444 (PA) 1-800-242-1770 (DC) 1-800-257-7777 (VA) 1-800-552-7001 (MD) 1-800-257-7777 (DE) 1-800-234-2333

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD122068
DRAWN BY: RLB
CHECKED BY: BRR
DATE: 12/20/12
SCALE: 1"=50'
CAD I.D.: PSD

PRELIMINARY EQUIVALENT SKETCH PLAN

FOR
HIGDON PROPERTY
Lots 1-20 + 05 lots 21-24
LOCATION OF SITE
10883 SCAGGSVILLE RD.
HOWARD COUNTY, MD

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

PROFESSIONAL ENGINEER

7/18/13

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
5
OF 12

OWNER:
EULA P. HIGDON REVOCABLE TRUST
295 CLOSE QUARTER DRIVE
WHITE STONE, VA 22079
CONTACT: TERESA MARIAN DUSTIN
PHONE: (301) 503-1582

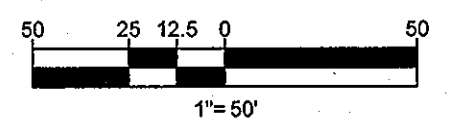
DEVELOPER:
ELM STREET DEVELOPMENT
5074 DORSEY HALL ROAD, SUITE 205
COLUMBIA, MD 21042
CONTACT: JASON VAN KIRK
PHONE: (410) 720-3021

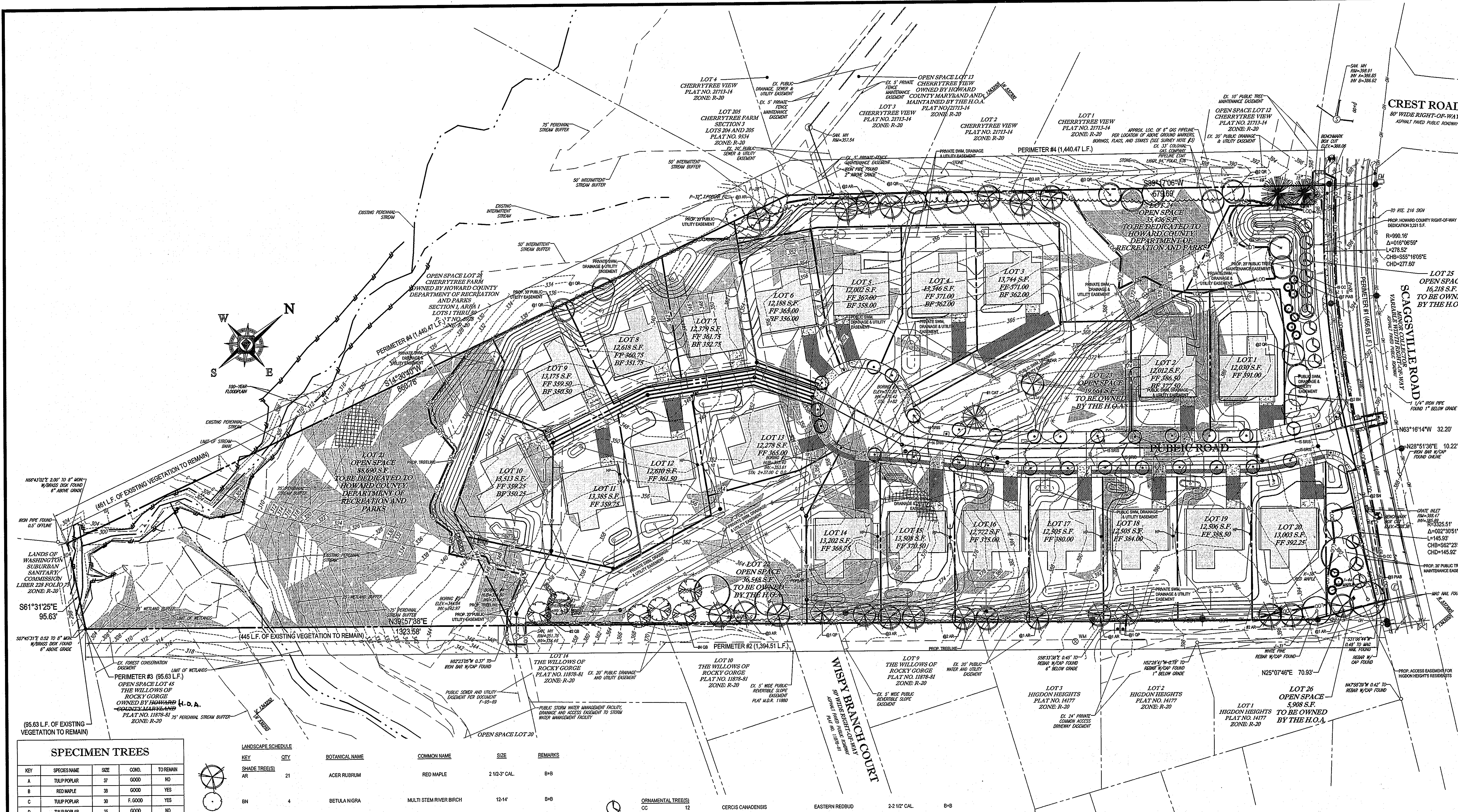
SUBDIVISION NAME: HIGDON
SECTION/AREA: WA
DEED # 4939/230

TAX MAP: 46 GRID: 11 ZONED: R-20
PARCEL: 56
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

PREVIOUS FILE No.: WP-13-048, ECP-13-038,
BA-95-028.

PROFESSIONAL CERTIFICATION
I, BRANSON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42088, EXPIRATION DATE 7/31/13





BOHLER ENGINEERING

CORPORATE OFFICE:
 WASHINGTON, DC
 WASHINGTON, MD
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 WASHINGTON, PA
 WASHINGTON, IN
 WASHINGTON, NJ
 WASHINGTON, OH
 WASHINGTON, WV
 WASHINGTON, DE
 WASHINGTON, ME
 WASHINGTON, VT
 WASHINGTON, NH
 WASHINGTON, CT
 WASHINGTON, RI
 WASHINGTON, MA
 WASHINGTON, NY
 WASHINGTON, PA
 WASHINGTON, NJ
 WASHINGTON, DE
 WASHINGTON, MD
 WASHINGTON, VA
 WASHINGTON, NC
 WASHINGTON, SC
 WASHINGTON, GA
 WASHINGTON, FL
 WASHINGTON, AL
 WASHINGTON, MS
 WASHINGTON, LA
 WASHINGTON, TX
 WASHINGTON, OK
 WASHINGTON, MO
 WASHINGTON, AR
 WASHINGTON, KY
 WASHINGTON, TN
 WASHINGTON, MS
 WASHINGTON, AL
 WASHINGTON, GA
 WASHINGTON, SC
 WASHINGTON, NC
 WASHINGTON, VA
 WASHINGTON, MD
 WASHINGTON, DC

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	6/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EDUCATORS, DESIGNERS, OR ANY PERSON PREPARING TO DESIGN THE STATE'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE: CALL 811 (WV 1-800-245-4444) (PA 1-800-242-1779) (DC 1-800-227-7777) (MD 1-800-652-7000) (MD 1-800-252-7777) (DE 1-800-362-5656)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD122096
 DRAWN BY: RLB
 CHECKED BY: BRR
 DATE: 12/20/12
 SCALE: 1"=50'
 CAD I.D.: P50

PRELIMINARY EQUIVALENT SKETCH PLAN

FOR
HIGDON PROPERTY
 Lots 1-20 + Lots 21-24
 LOCATION OF SITE
 10883 SCAGGSVILLE RD.
 HOWARD COUNTY, MD

BOHLER ENGINEERING

901 DULANY VALLEY ROAD,
 SUITE 901
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

E.R. McWILLIAMS

REGISTERED LANDSCAPE ARCHITECT

7/15/13

LANDSCAPE PLAN

SHEET NUMBER:
6
 OF 12

SPECIMEN TREES

KEY	SPECIES NAME	SIZE	COND.	TO REMAIN
A	TULIP POPLAR	37	GOOD	NO
B	RED MAPLE	38	GOOD	YES
C	TULIP POPLAR	30	F. GOOD	YES
D	TULIP POPLAR	35	GOOD	NO
E	TULIP POPLAR	33	GOOD	NO
F	TULIP POPLAR	34	GOOD	NO
G	TULIP POPLAR	41	GOOD	NO
H	RED MAPLE	32	GOOD	NO
I	RED MAPLE	44	GOOD	YES
J	WHITE MAPLE	31	FAIR	YES
K	RED MAPLE	38	FAIR	YES
L	RED MAPLE	38	FAIR	NO
M	RED MAPLE	30	FAIR	NO
N	ATLAS CEDAR	30	POOR	NO
O	TULIP POPLAR	32	FAIR	NO
P	TULIP POPLAR	31	F. GOOD	YES

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	21	ACER RUBRUM	RED MAPLE	2 1/2" CAL.	B+B
BN	4	BETULA NIGRA	MULTI STEM RIVER BIRCH	12-14"	B+B
OB	6	QUERCUS BOREALIS	NORTHERN RED OAK	2 1/2" CAL.	B+B
QP	2	QUERCUS PALUSTRIS	PIN OAK	2 1/2" CAL.	B+B
QR	14	QUERCUS RUBRA	RED OAK	2 1/2" CAL.	B+B

ORNAMENTAL TREES

CC	12	CERCIS CANADENSIS	EASTERN REDBUD	2-2 1/2" CAL.	B+B
SRIS	28	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	7-8"	B+B
PIAB	10	PICEA ABIES	NORWAY SPRUCE	6-7"	B+B
CAT	1	CEDRUS ATLANTICA	ATLAS CEDAR	2 1/2" CAL.	B+B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

SCHEDULE 'A'
 PERIMETER LANDSCAPE EDGE

PERIMETER	CATEGORY (P = PROPERTIES; R = ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	CREDIT FOR EX. VEGETATION (YES/NO; LF) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR FENCE/WALL/BERM (YES/NO; LF) (DESCRIBE BELOW IF NEEDED)	NUMBER OF PLANTS REQUIRED			NUMBER OF PLANTS PROVIDED		
						EVERGREEN TREES	SHADE TREES	SHRUBS	EVERGREEN TREES	SHADE TREES	SHRUBS
#1	R	B	456.65 LF	NO	NO (0)	12	10	0	10 + 2 EXISTING	8 + 2 EXISTING	0
#2	P	A	1,394.51 LF	YES(445) 949'	NO (0)	0	16	0	0	13 + 3 EXISTING	0
#3	P	A	95.63 LF	YES(95.63) 0'	NO (0)	0	0	0	0	0	0
#4	P	A	1,440.47 LF	YES(461) 980'	NO (0)	0	17	0	0	16 + 1 EXISTING	0
TOTAL						12	43	0	12	37 + 5 EXISTING	0

THE SYMBOL "®" REPRESENTS PLANT MATERIAL TO MEET THIS REQUIREMENT.

STREET TREE CHART

STREET NAME	REQUIRED	PROVIDED
SCAGGSVILLE ROAD (457 LF / 40)	12 TREES	12 TREES
PUBLIC ROAD (545 X 2 = 1090 LF / 40)	28 TREES	28 TREES
TOTAL TREES	40 TREES	40 EQUIVALENT TREES

THE SYMBOL "®" REPRESENTS PLANT MATERIAL TO MEET THIS REQUIREMENT.

OWNER:
 EULA P. HIGDON REVOCABLE TRUST
 286 CLOSE QUARTER DRIVE
 WHITE STONE, VA 22078
 CONTACT: TERESA MARIAN DUSTIN
 PHONE: (301) 503-1582

DEVELOPER:
 ELM STREET DEVELOPMENT
 6074 DORSEY HALL ROAD, SUITE 205
 COLUMBIA, MD 21042
 CONTACT: JASON VAN KIRK
 PHONE: (410) 720-3021

PROFESSIONAL CERTIFICATION
 I, ERIC R. McWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 3697, EXPIRATION DATE: 9/30/2014

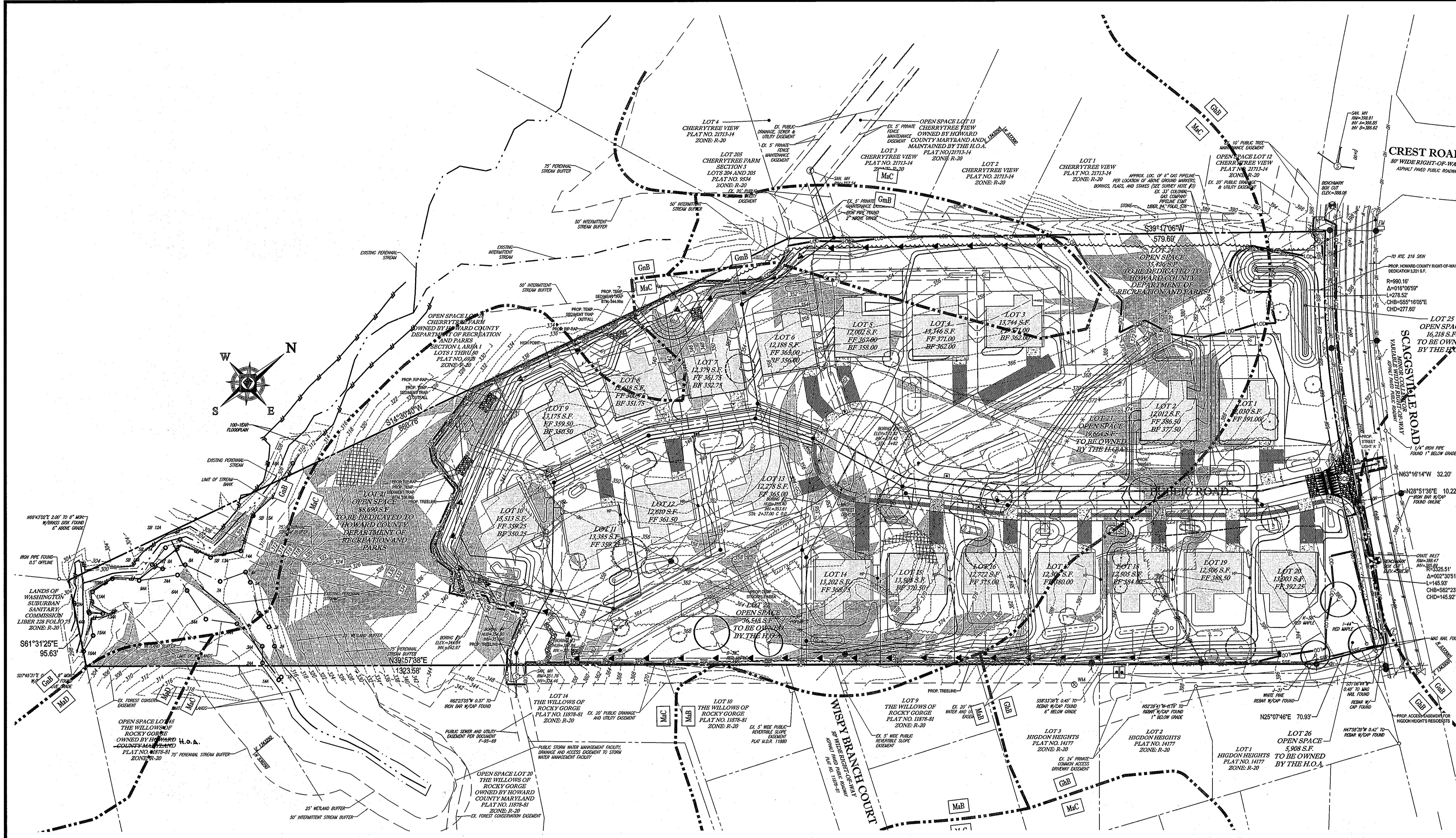
TAX MAP: 46
GRID: 11
ZONED: R-20
PARCEL: 56
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: HIGDON SECTION AREA: N/A DEED # 4938230
PREVIOUS FILE No.: WP-13-048, ECP-13-038, BA-95-028.

UNDER WP-13-048, SECTION 16.1205(A)(7) - DPZ APPROVED THE REMOVAL OF TEN (10) SPECIMEN TREES (A, D, E, F, G, H, L, M, N, & O). MITIGATION FOR THE REMOVAL OF THESE TEN (10) SPECIMEN TREES IS TO CONSIST OF ONE (1) 2" CALIBER TREE FOR EACH ONE (1) REMOVED SIMILAR OR IDENTICAL SPECIES. THESE TEN (10) TREES SHALL BE PLACED WITHIN CLOSE PROXIMITY TO THE LOCATION OF THE ORIGINAL SPECIMEN TREE AND WILL BE IN ADDITION TO THE REQUIRED PERIMETER LANDSCAPING. COSTS TO COVER THE INSTALLATION OF THESE TREES SHALL BE INCLUDED IN THE PERIMETER LANDSCAPING ESTIMATE AND SURETY AND INSPECTION FEES SHALL BE POSTED WITH THE DPW DEVELOPER AGREEMENT AT THE FINAL PLAN STAGE FOR THIS DEVELOPMENT. THE SYMBOL "®" REPRESENTS PLANT MATERIAL TO MEET THIS REQUIREMENT.

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

Mark A. Gage
 PLANNING DIRECTOR
 DATE: 7/15/13



EROSION AND SEDIMENT CONTROL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- DIVERSION DIKE
- SUPER SILT FENCE
- TREE PROTECTION
- STEEP SLOPES (15%-25%)
- STEEP SLOPES (>25%)
- SOIL DIVIDE
- SOIL LABEL

EROSION AND SEDIMENT CONTROL NOTES

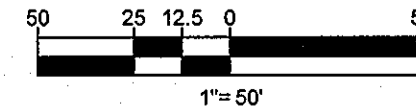
1. TEMPORARY DIVERSION DIKS SHALL HAVE A MIN. SLOPE OF 0.50%.

HIGDON PROPERTY

20 SINGLE FAMILY DETACHED UNITS

CUT/FILL ANALYSIS

TOTAL CUT = 32,000 CY
 TOTAL FILL = 32,000 CY
 TOTAL IMPORT = 0 CY
 LIMIT OF DISTURBANCE: 394,175 S.F. OR 9.05 AC.



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CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	6/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD122068
 DRAWN BY: RLB
 CHECKED BY: BRR
 DATE: 12/20/12
 SCALE: 1"=50'
 CAD I.D.: PESZ

PRELIMINARY EQUIVALENT SKETCH PLAN

FOR
HIGDON PROPERTY
 Lots 1-20
 20 S Single Family Detached Units
 LOCATION OF SITE
 10883 SCAGGSVILLE RD.
 HOWARD COUNTY, MD

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
 SUITE 901
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

BRITTON

PROFESSIONAL ENGINEER
 7/15/13

EROSION AND SEDIMENT CONTROL PLAN

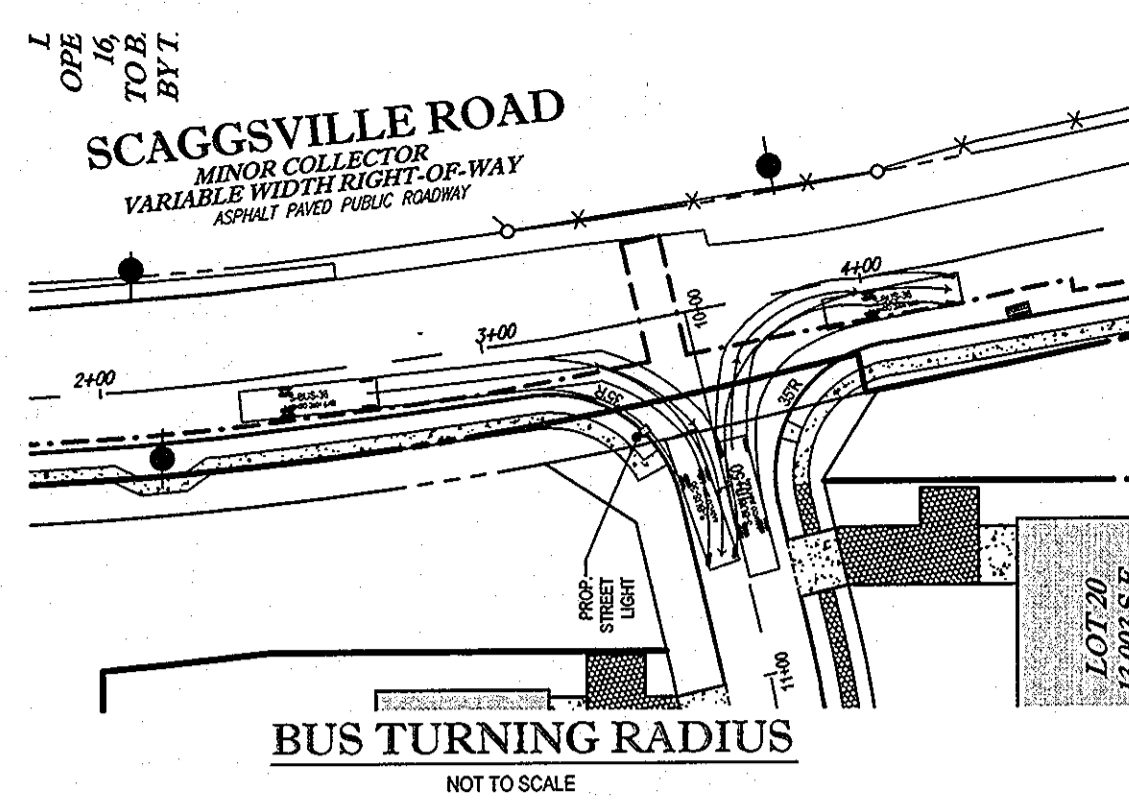
SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER:
7
 OF 12

TENTATIVELY APPROVED
 DEPARTMENT OF PLANNING AND ZONING
 HOWARD COUNTY

PLANNING DIRECTOR: *Marsha K. Wiggall*
 DATE: 2/13/13

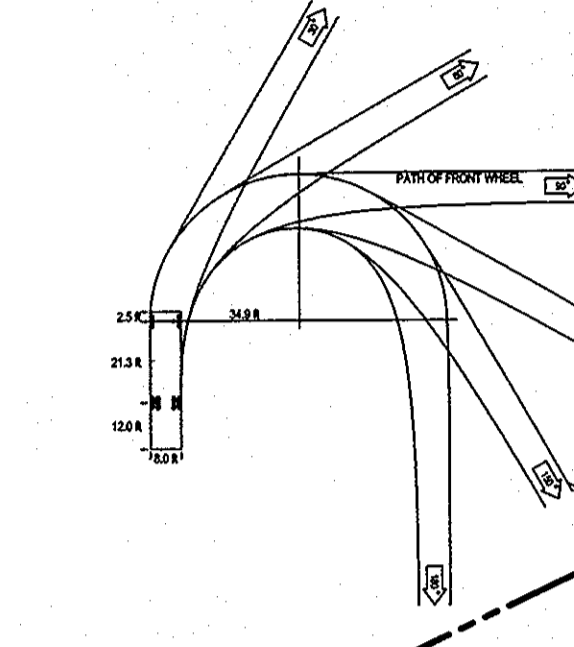
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD BY WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



OPEN SPACE LOT 24
CHERRY TREE FARM
OWNED BY HOWARD COUNTY
DEPARTMENT OF RECREATION
AND PARKS
SECTION 1, AREA 1
LOTS 1 THRU 40
PLAT NO. 4928
ZONE R-20

LOT 24
OPEN SPACE
35,426 S.F.
TO BE DEDICATED TO
HOWARD COUNTY
DEPARTMENT OF
RECREATION AND PARKS

LOT 25
OPEN SPACE
16,218 S.F.
TO BE OWNED
BY THE H.O.A.



LOT 21
OPEN SPACE
88,690 S.F.
TO BE DEDICATED TO
HOWARD COUNTY
DEPARTMENT OF
RECREATION AND
PARKS

LOT 23
OPEN SPACE
19,664 S.F.
H.O.A.
RECREATIONAL
OPEN
SPACE

LOT 26
OPEN SPACE
5,908 S.F.
TO BE OWNED
BY THE H.O.A.

LANDS OF
WASHINGTON
SUBURBAN
SANITARY
COMMISSION
LIBER 228 FOLIO 75
ZONES R-20

LOT 22
OPEN SPACE
36,548 S.F.
TO BE OWNED
BY THE H.O.A.

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

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TOWSON, MD
ALBANY, NY
WARREN, PA
HARRISBURG, PA
HUNTSVILLE, AL
PORT CHARLOTTE, FL

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
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BOHLER ENGINEERING

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NOT APPROVED FOR CONSTRUCTION

PROJECT NO.: MD122068
DRAWN BY: BRR
CHECKED BY: BRR
DATE: 12/20/12
SCALE: AS SHOWN
CAD ID: PPD

PRELIMINARY EQUIVALENT SKETCH PLAN

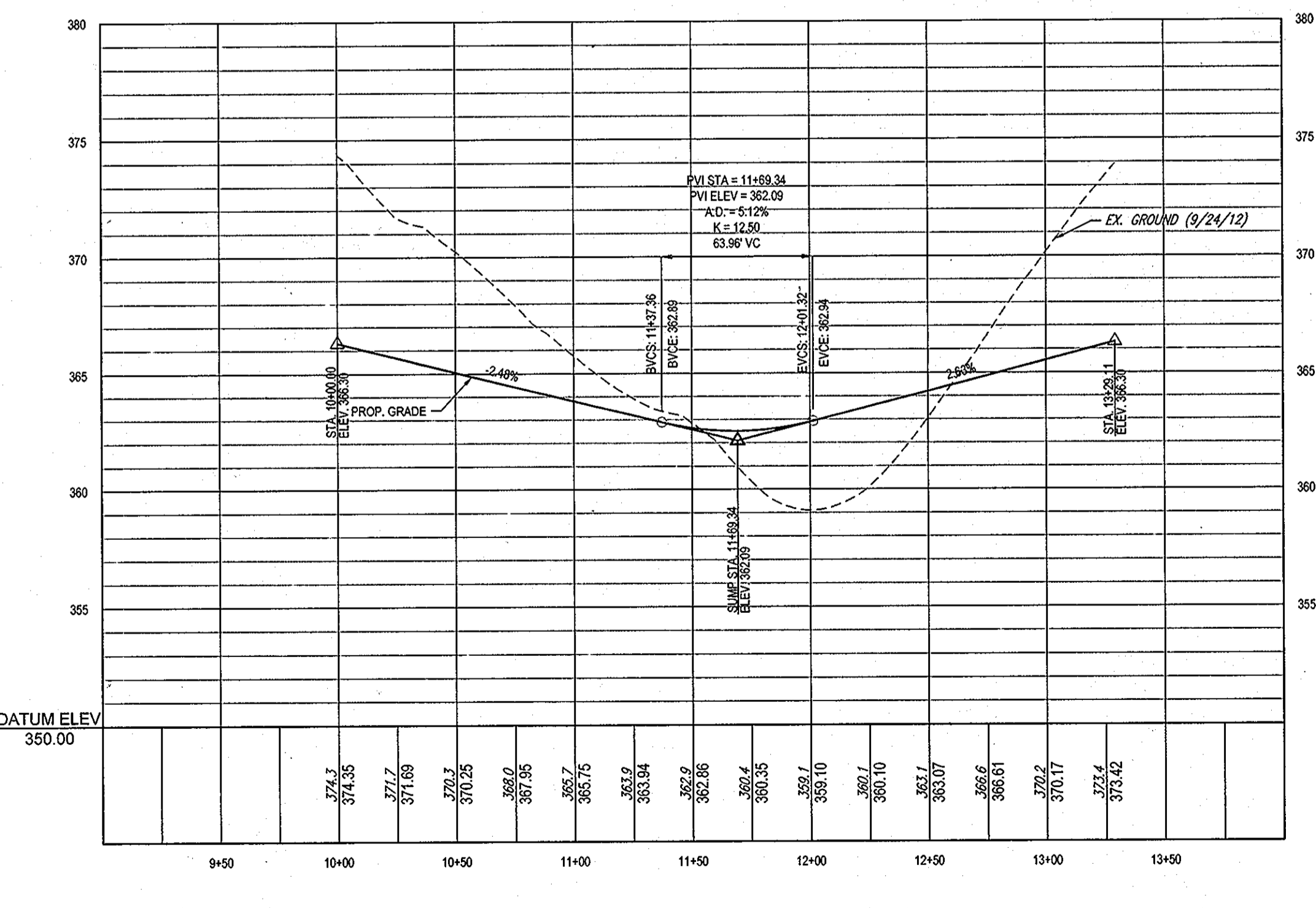
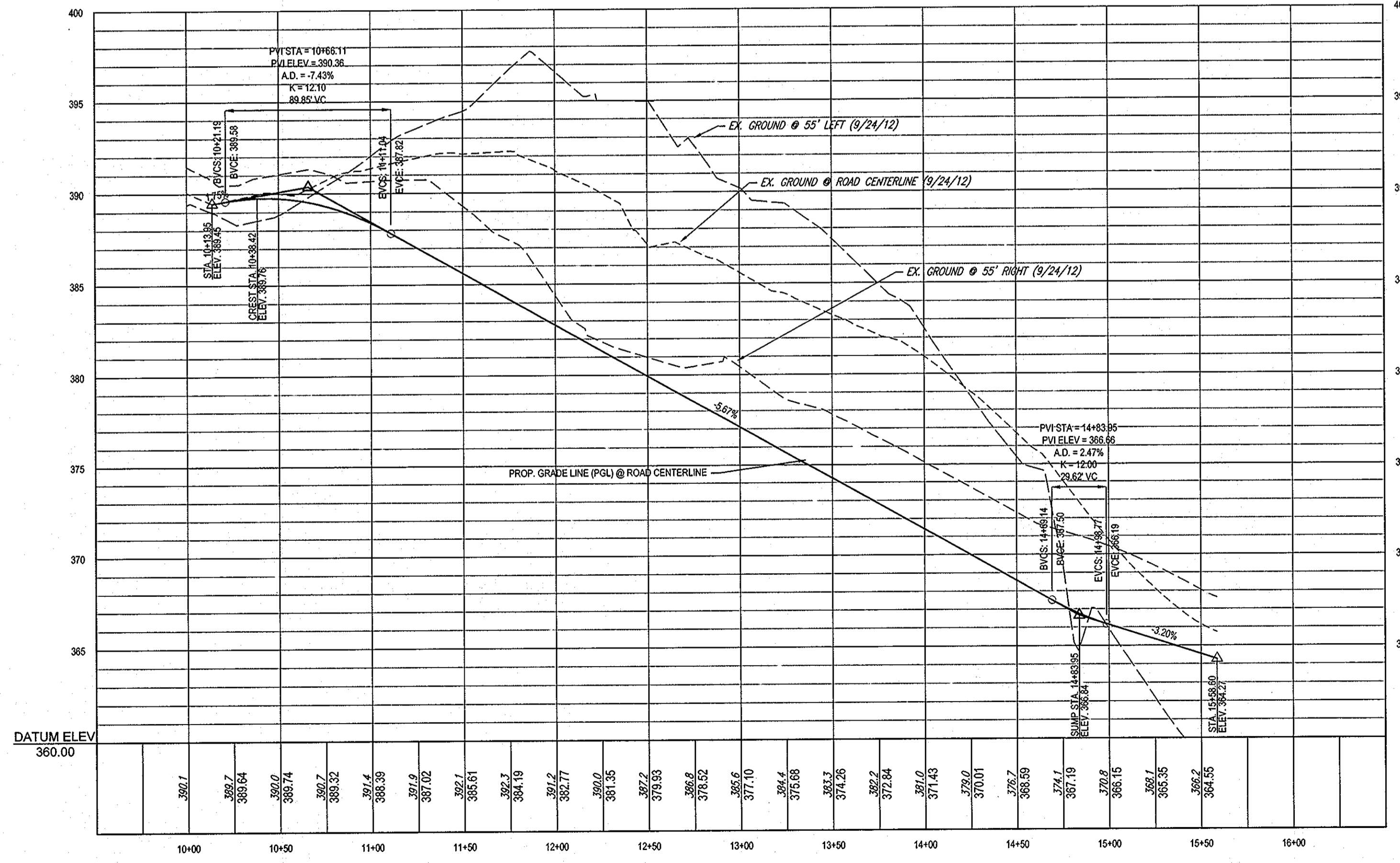
FOR
HIGDON PROPERTY
Lots 1-20
& Lots 21-24
LOCATION OF SITE
10883 SCAGGSVILLE RD.
HOWARD COUNTY, MD

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

B. BROWNE

PROFESSIONAL ENGINEER
7/15/13



OWNER: EULA P. HIGDON REVOCABLE TRUST
288 CLOSE QUARTER DRIVE
WHITE STONE, VA 22578
CONTACT: TERESA MARIAN DUSTIN
PHONE: (301) 503-1582

DEVELOPER: ELM STREET DEVELOPMENT
5074 DORSEY HALL ROAD, SUITE 205
COLUMBIA, MD 21042
CONTACT: JASON VAN KIRK
PHONE: (410) 720-3021

TAX MAP: 46 GRID: 11 ZONED: R-20
PARCEL: 66
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: HIGDON
SECTION: 20A
DEED # 4939/230

PREVIOUS FILE No.: WP-13-048, ECP-13-038,
BA-95-028.

PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 40838, EXPIRATION DATE: 7/31/2015

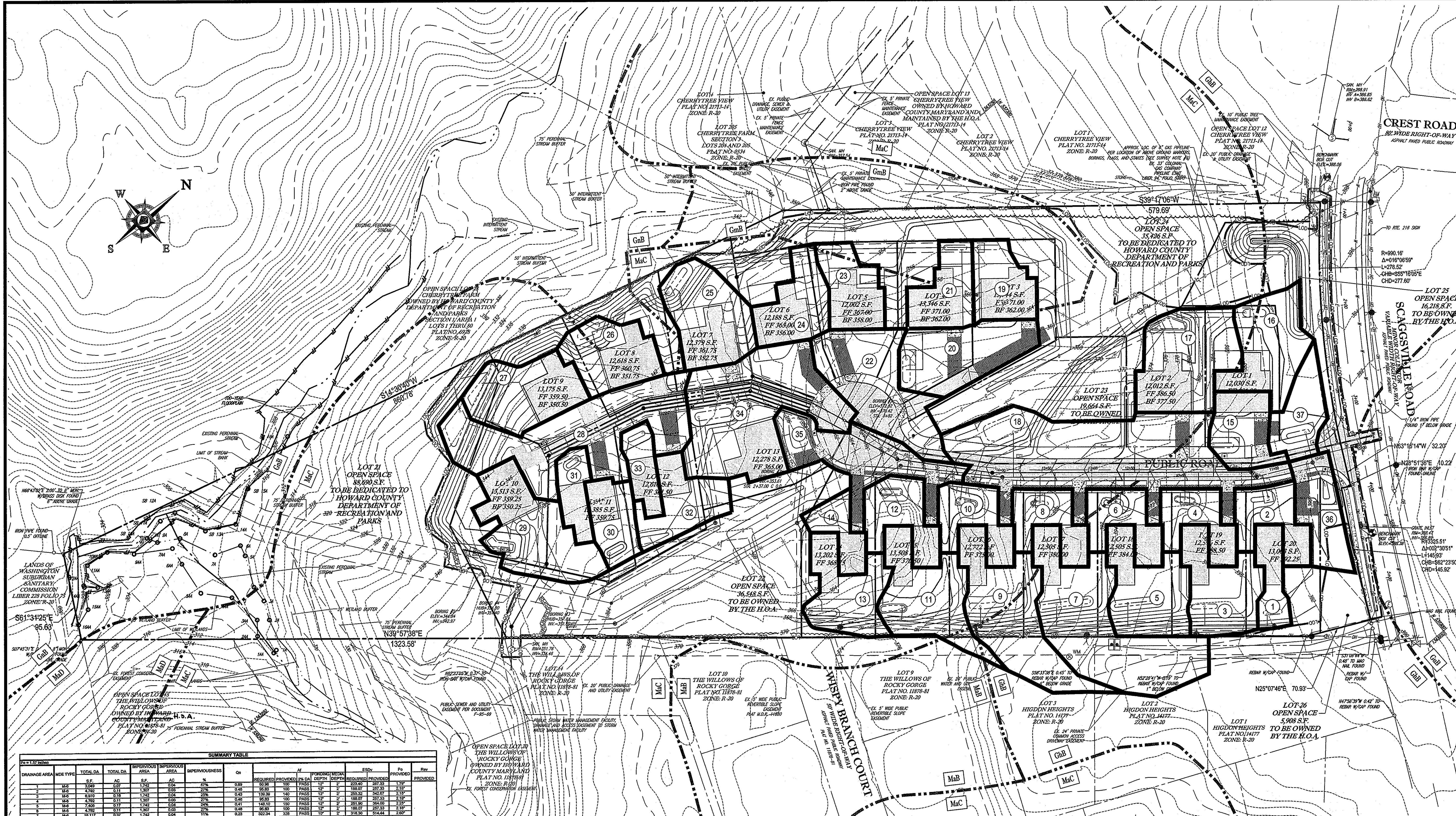
TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY

Brandon R. Rowe
PLANNING DIRECTOR

DATE: 7/15/13

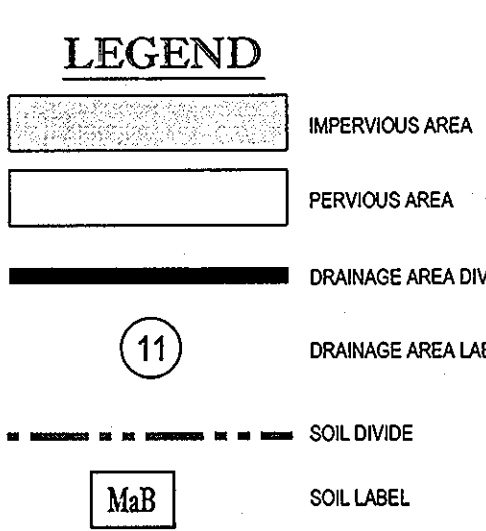
SHEET TITLE:
ROAD PROFILE

SHEET NUMBER:
8
OF 12



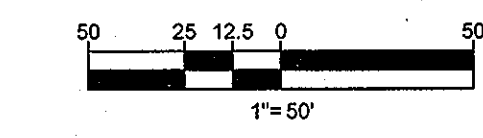
SUMMARY TABLE

Drainage Area	Impervious Area	Permeable Area	Imperviousness	Q ₁₀	Required	Provided	Excess	Deficit	Flow	Velocity	Time	Volume
1	1,200	1,200	50%	0.89	80.98	100	19.02	267.33	1.78	1.80	1.80	267.33
2	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
3	6,510	1,742	27%	0.43	138.26	140	21.74	252.00	2.19	1.80	1.80	254.19
4	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
5	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
6	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
7	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
8	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
9	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
10	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
11	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
12	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
13	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
14	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
15	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
16	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
17	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
18	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
19	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
20	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
21	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
22	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
23	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
24	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
25	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
26	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
27	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
28	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
29	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
30	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
31	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
32	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
33	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
34	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
35	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
36	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
37	4,792	1,137	29%	0.48	86.83	100	13.17	188.07	2.13	1.80	1.80	213.17
TOTALS	310,563	114,088	37%	0.48	86,830	100,000	13,170	188,070	2,130	1.80	1.80	213,170



GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
PLANNING DIRECTOR DATE



OWNER:
EULA P. HIGDON REVOCABLE TRUST
280 GLOBE QUARTER DRIVE
WHITE STONE, VA 22091
CONTACT: TERESA MARIAN DUSTIN
PHONE: (301) 503-1682

DEVELOPER:
ELM STREET DEVELOPMENT
5074 DORSEY HALL ROAD, SUITE 205
COLUMBIA, MD 21042
CONTACT: JASON VAN KIRK
PHONE: (410) 720-9221

TAX MAP: 46 GRID: 11 ZONED: R-20
PARCEL: 66
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: HIGDON
SECTION: 10A
DEED # 4938/230

PREVIOUS FILE NO.: WP-15-048, ECP-18-038,
BA-95-028.

PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 40808, EXPIRATION DATE: 7/31/2017

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

OFFICES:
BETHESDA, MD
BOSTON, MA
CHICAGO, IL
COLUMBIA, MD
FORT LAUDERDALE, FL
FORT MYERS, FL
FORT WORTH, TX
HARTFORD, CT
HOUSTON, TX
LOS ANGELES, CA
MEMPHIS, TN
NEW YORK, NY
PHILADELPHIA, PA
PORTLAND, OR
SAN ANTONIO, TX
WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	8/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

NOT APPROVED FOR CONSTRUCTION

PROJECT NO.: MD122068
DRAWN BY: BRR
CHECKED BY: BRR
DATE: 12/20/12
SCALE: 1"=50'
CAD I.D.: PSD

PRELIMINARY EQUIVALENT SKETCH PLAN

FOR
HIGDON PROPERTY
Lots 1-20
of OS Lots 21-24
LOCATION OF SITE
10883 SCAGGSVILLE RD.
HOWARD COUNTY, MD

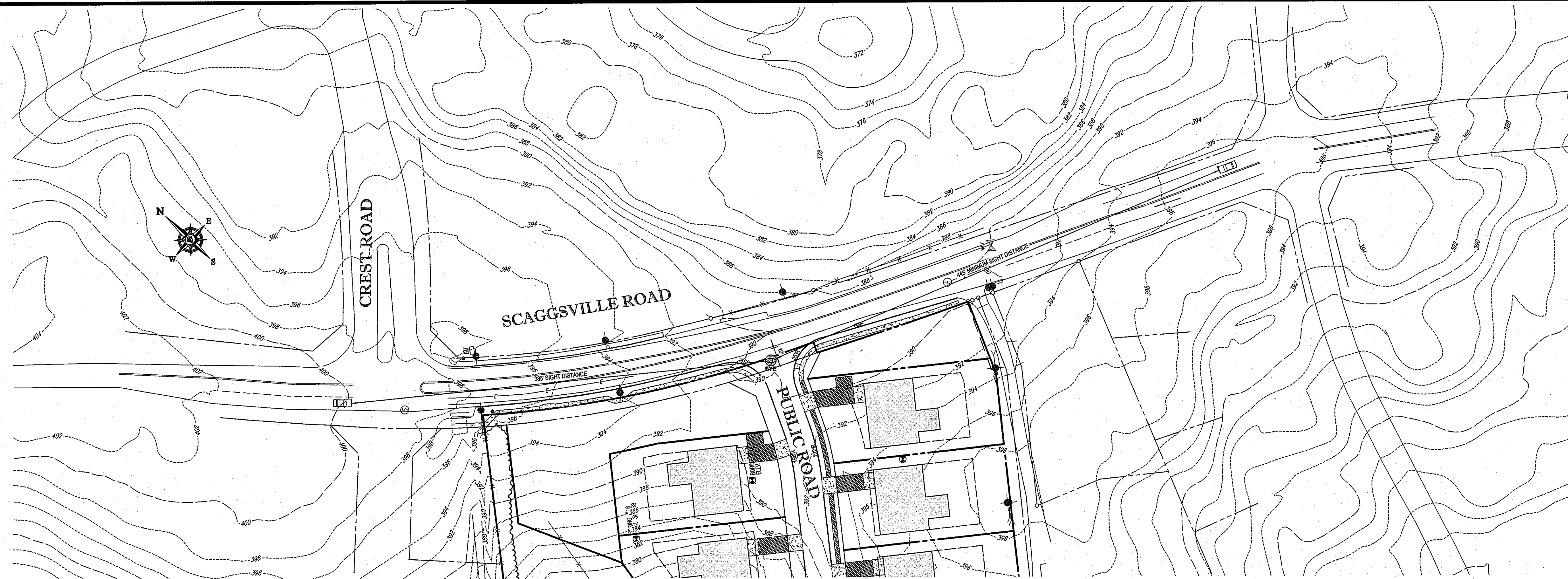
BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7907
www.BohlerEngineering.com

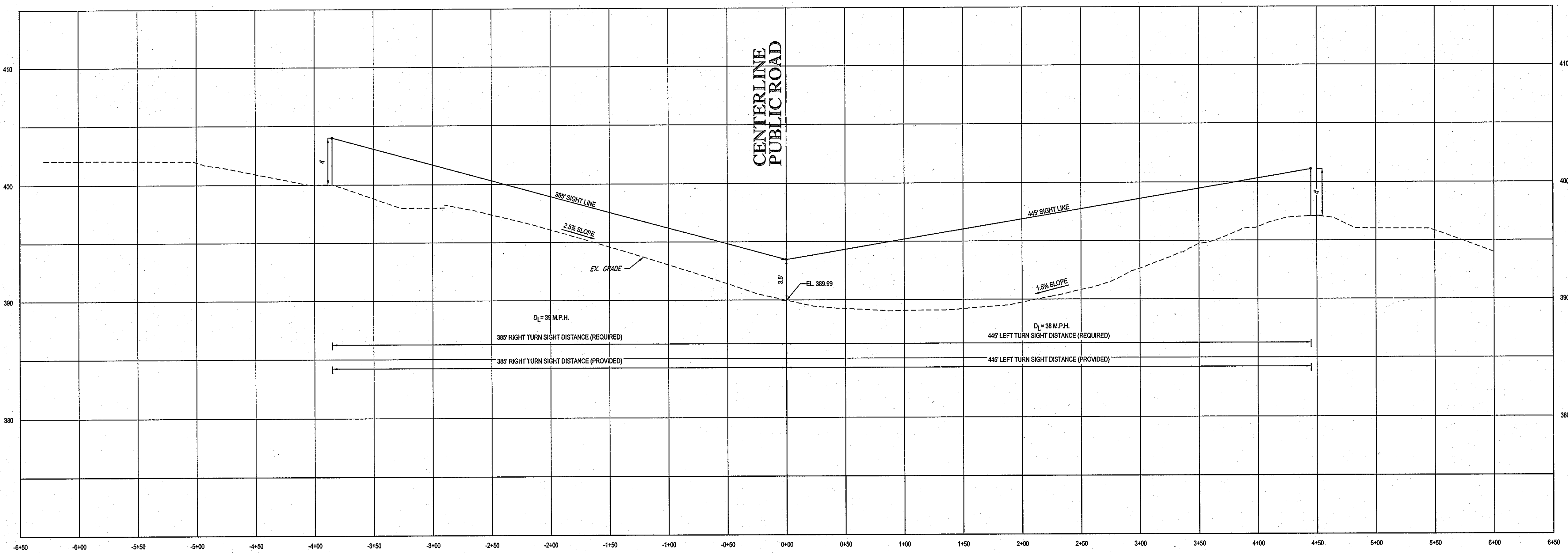


SHEET TITLE:
SWM DRAINAGE AREA MAP

SHEET NUMBER:
9
OF 12



SCAGGSVILLE ROAD PLAN VIEW
SCALE: 1"=50'



SCAGGSVILLE ROAD PROFILE
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND BY FULL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES.

TENTATIVELY APPROVED
DEPARTMENT OF PLANNING AND ZONING
HOWARD COUNTY
Brandon R. Rowe 7/12/13
PLANNING DIRECTOR DATE

OWNER: EULA P. HIGDON REVOCABLE TRUST
288 CLOSE QUARTER DRIVE
WHITE STONE, VA 22079
CONTACT: TERESA MARIAN DUSTIN
PHONE: (301) 503-1582

DEVELOPER: ELM STREET DEVELOPMENT
5074 DORSEY HALL ROAD, SUITE 205
COLUMBIA, MD 21042
CONTACT: JASON VAN KIRK
PHONE: (410) 720-3021

TAX MAP: 46 GRID: 11 ZONED: R-20
PARCEL: 55
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: HIGDON
SECTION/AREA: N/A
DEED # 4938/230

PREVIOUS FILE No.: WP-13-048, ECP-13-038,
BA-95-028.

PROFESSIONAL CERTIFICATION
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 40908, EXPIRATION DATE: 7/31/17

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
 • SCARBOROUGH, ME
 • ALBANY, NY
 • CHAMONT, PA
 • CENTER VALLEY, PA
 • FORT LAUDERDALE, FL
 • HANOVER, MD
 • TOWSON, MD
 • WASHINGTON, VA
 • WILMINGTON, DE
 • FARGO, ND
 • FARGO, SD

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	6/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811 (WA 1-800-245-6949 (PA 1-800-257-1777) (DC 1-800-257-7777) (VA 1-800-452-7001) (MD 1-800-257-7777) (DE 1-800-282-8255))

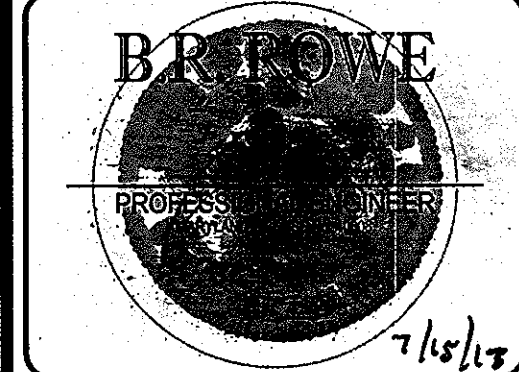
NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD122066
DRAWN BY: RLB
CHECKED BY: BRR
DATE: 12/20/12
SCALE: 1"=50'
CAD I.D.: PSD0

PRELIMINARY EQUIVALENT SKETCH PLAN
FOR
HIGDON PROPERTY
Lots 1-20
+ 05 Lots 21-24
LOCATION OF SITE
10883 SCAGGSVILLE RD.
HOWARD COUNTY, MD

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 901
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

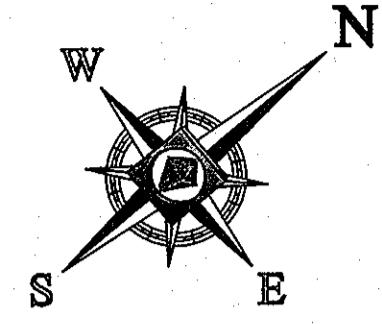


SHEET TITLE:
SIGHT DISTANCE ANALYSIS

SHEET NUMBER:
10
OF 12

NOTE:
 FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 16.0 ACRES AND REFORESTATION OF 1.3 ACRES FOR A TOTAL CONSERVATION EASEMENT AREA OF 17.3 ACRES. THE SURETY AMOUNT FOR ON-SITE REFORESTATION IS \$19,000 WHICH WILL BE PART OF THE DEVELOPER'S AGREEMENT.

- SEQUENCE OF CONSTRUCTION**
1. PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN DEVELOPER, CONTRACTOR, AND COUNTY INSPECTOR.
 2. SEDIMENT SHALL BE INSTALLED IN ACCORDANCE WITH GENERAL CONSTRUCTION PLAN FOR SITE. TEMPORARY PROTECTIVE FENCING AND CONSERVATION SIGNAGE SHALL BE INSTALLED AS PER FOREST CONSERVATION PLAN.
 3. SITE SHALL BE GRADED, INFRASTRUCTURE INSTALLED, AND HOUSES CONSTRUCTED. DISTURBED AREAS SHALL BE STABILIZED. PERMANENT SIGNAGE IN POOR CONDITION SHALL BE REPLACED.
 4. POSTCONSTRUCTION MEETING SHALL BE HELD WITH COUNTY INSPECTOR TO ENSURE COMPLIANCE WITH DEVELOPMENT PLAN. SEDIMENT CONTROL AND TEMPORARY PROTECTIVE FENCING UPON STABILIZATION OF SITE AND COMPLETION OF CONSTRUCTION ACTIVITIES.
 5. CERTIFICATION OF FOREST RETENTION PAPERWORK SHALL BE SUBMITTED TO THE COUNTY.



FOREST CONSERVATION EASEMENT #1 - RETENTION
 CREDITED FOREST = 24,541 S.F. OR 0.6 AC
 NONCREDIT FOREST (FLOODPLAIN) = 1,607 S.F. OR 0.03 AC

FOREST CONSERVATION EASEMENT #2 - RETENTION
 CREDITED FOREST = 42,014 S.F. OR 1.0 AC
 NONCREDIT FOREST (FLOODPLAIN) = 3,903 S.F. OR 0.1 AC

- FCP NOTES**
1. ANY FOREST CONSERVATION EASEMENT (FCE) SHOWN HEREON IS SUBJECT TO PROTECTIVE COVENANTS WHICH MAY BE FOUND IN THE LAND RECORDS OF HOWARD COUNTY AND WHICH RESTRICT THE DISTURBANCE AND USE OF THESE AREAS.
 2. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF VEGETATION IN THE FOREST CONSERVATION EASEMENT EXCEPT AS PERMITTED BY HOWARD COUNTY.
 3. NO STOCKPILE, PARKING AREAS, EQUIPMENT CLEANING AREAS, ETC. SHALL OCCUR WITHIN AREAS DESIGNATED AS FOREST CONSERVATION EASEMENTS.
 4. PERMANENT SIGNAGE SHALL BE PLACED 100' APART ALONG THE BOUNDARIES OF ALL AREAS INCLUDED IN FOREST CONSERVATION EASEMENTS.

FOREST CONSERVATION EASEMENT #3 - REFORESTATION
 CREDITED FOREST = 26,291 S.F. OR 0.6 AC

FOREST CONSERVATION EASEMENT #4 - REFORESTATION
 CREDITED FOREST = 11,275 S.F. OR 0.3 AC

FOREST CONSERVATION WORKSHEET

BASIC SITE DATA		ACRES
GROSS SITE ACREAGE		11.4
AREA WITHIN FLOODPLAIN		0.1
AREA IN UNDERGROUND GAS LINE EASEMENT		1.0
NONCREDITED FOREST		0.01
NET TRACT AREA		10.3
LAND USE CATEGORY		HDR
INFORMATION FOR CALCULATIONS		ACRES
NET TRACT AREA		10.3
FOREST CONSERVATION THRESHOLD (PERCENTAGE OF NET TRACT AREA)	20.00%	2.1
AFFORESTATION THRESHOLD (PERCENTAGE OF NET TRACT AREA)	15.00%	1.5
EXISTING FOREST ON NET TRACT AREA		3.2
EXISTING FOREST ABOVE FOREST CONSERVATION THRESHOLD		1.1
BREAK-EVEN POINT		2.3
FOREST TO BE CLEARED		1.6
FOREST TO BE RETAINED		1.6
AFFORESTATION CALCULATIONS		ACRES
NO FOREST CLEARING, AFFORESTATION THRESHOLD - EXISTING FOREST		N/A
FOREST CLEARING: (AFF. THRESH. - EX. FOREST) + (FOREST TO BE CLEARED X2)		N/A
REFORESTATION CALCULATIONS		ACRES
FOREST CLEARED ABOVE THRESHOLD 1.1 X 1/4		0.3
FOREST REMOVED BELOW THRESHOLD 0.5 X 2		1.0
FOREST RETAINED ABOVE THRESHOLD		0.0
REFORESTATION REQUIRED		1.3
ON-SITE REFORESTATION PROVIDED		0.9
OFF-SITE REFORESTATION PROVIDED		0.4

FOREST STAND / VEGETATIVE COVER

KEY	COMMUNITY TYPE	ACREAGE	DOMINANT VEGETATION	GENERAL CONDITION	PRIORITY ACREAGE
F1	TULIP POPLAR	3.5 AC (3.2 AC NTA)	LIRIODENDRON TULIPIFERA, ACER RUBRUM, CARYA GLABRA, CARPINUS CAROLINIANA, LINDERA BENZOIN ROSA MULTIFLORA, CELASTRUS ORBICULATUS, LONICERA JAPONICA, EULALIA VIMINEA	FAIR	1.1 AC± WETLANDS/ BUFFERS

WETLAND DATA

WETLAND SYSTEM	COWARDIN CLASSIFICATION	DOMINANT VEGETATION
A	PF06C	ILEX OPACA, ILEX VERTICILLATA, LINDERA BENZOIN, EULALIA VIMINEA, POLYGONUM PERSICARIA, PILEA PUMILA

FOREST CONSERVATION EASEMENT AREA TABULATION

EASEMENT	GROSS FOREST AREA (AC)	FOREST AREA NONCREDITED (FOR FOREST LESS THAN 10,000 S.F. (AC))	FOREST AREA NONCREDITED (100 YEAR FLOODPLAIN) (AC)	NET FOREST (RETAINED) (CREDITED) (AC)	PLANTED AREA (REFORESTATION) (CREDITED) (AC)	CREDITED EASEMENT AREA (AC)	TOTAL EASEMENT AREA (AC)
FCE #1	0.6	0.0	0.03	0.6	0.0	0.6	0.6
FCE #2	1.1	0.0	0.1	1.0	0.0	1.0	1.1
FCE #3	0	0.0	0.0	0.0	0.6	0.6	0.6
FCE #4	0	0.0	0.0	0	0.3	0.3	0.3
TOTAL	1.7	0.0	0.1	1.6	0.9	2.5	2.6

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES(S)	21	ACER RUBRUM	RED MAPLE	2 1/2" CAL.	B+B
EVERGREEN TREES(S)	6	QUERCUS BOREALIS	NORTHERN RED OAK	2 1/2" CAL.	B+B
	1	CEDRUS ATLANTICA	ATLAS CEDAR	2 1/2" CAL.	B+B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMIT OF DISTURBANCE
- WETLAND BUFFER LIMITS
- FOREST CONSERVATION EASEMENT
- TREE PROTECTION FENCE
- ROOT PRUNING
- 6' HIGH CHAIN LINK FENCE
- REFORESTATION AREA
- FOREST RETENTION AREA
- FOREST CONSERVATION SIGNAGE
- SPECIMEN TREE (TO BE REMOVED)

SITE AREA COMPUTATIONS

GROSS TRACT AREA = 11.4 AC
 100 YEAR FLOODPLAIN = 0.14 AC
 TRANSMISSION LINE EASEMENT = 1.0
 NONCREDITED FOREST = 0.0 AC
 NET TRACT AREA = 10.3 AC
 ZONING = R-20
FOREST CLEARING
 FOREST TO BE CLEARED = 1.6 AC

OWNER:
 EULA P. HIGDON REVOCABLE TRUST
 298 CLOSE QUARTER STREET
 WHITE STONE, VA 22078
 CONTACT: TERESA MARIE DUSTIN
 PHONE: (301) 503-1582

DEVELOPER:
 ELM STREET DEVELOPMENT
 5074 DORSET HALL ROAD, SUITE 205
 COLUMBIA, MD 21042
 CONTACT: JASON VAN KIRK
 PHONE: (410) 720-3021

TAX MAP: 46 GRID: 11 ZONED: R-20
 PARCEL: 56
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

PROFESSIONAL CERTIFICATION
 I, ERIC R. MCWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3897, EXPIRATION DATE: 9/20/14

BOHLER ENGINEERING

CORPORATE OFFICE:
 WARREN, NJ

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:
 BOSTON, MA
 CHICAGO, IL
 CHARLOTTE, NC
 COLUMBIA, MD
 DALLAS, TX
 DENVER, CO
 FORT LAUDERDALE, FL
 HOUSTON, TX
 LOS ANGELES, CA
 MIAMI, FL
 PHILADELPHIA, PA
 RICHMOND, VA
 TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
1	3/27/13	PER COUNTY COMMENTS	RLB
2	6/12/13	PER COUNTY COMMENTS	RLB
3	7/15/13	PER COUNTY COMMENTS	RLB

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD122006
 DRAWN BY: RLB
 CHECKED BY: SBR
 DATE: 12/20/12
 SCALE: 1"=50'
 CAD I.D.: P50

PRELIMINARY EQUIVALENT SKETCH PLAN

FOR
HIGDON PROPERTY
 Lots 1-20
 & 25 Lots 21-24
 LOCATION OF SITE
 10883 SCAGGSVILLE RD.
 HOWARD COUNTY, MD

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7900
 www.BohlerEngineering.com

E.R. MCWILLIAMS
 REGISTERED ARCHITECT

PRELIMINARY FOREST CONSERVATION PLAN

SHEET TITLE:
PRELIMINARY FOREST CONSERVATION PLAN

SHEET NUMBER:
11
 OF 12

