

SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	SEDIMENT CONTROL PLAN & DRAINAGE AREA MAP
4	SEDIMENT & EROSION CONTROL DETAILS
5	SEDIMENT & EROSION CONTROL NOTES
6	LANDSCAPE PLAN
7	LANDSCAPE NOTES AND DETAILS
8	UTILITY PROFILES
9	STORMCEPTOR DETAILS
10	STORMCEPTOR NOTES
11	SITE DETAILS
12	SOILS MAP
13	HANDICAP ACCESSIBILITY PLAN
14	RETAINING WALL DETAILS AND COMPUTATIONS

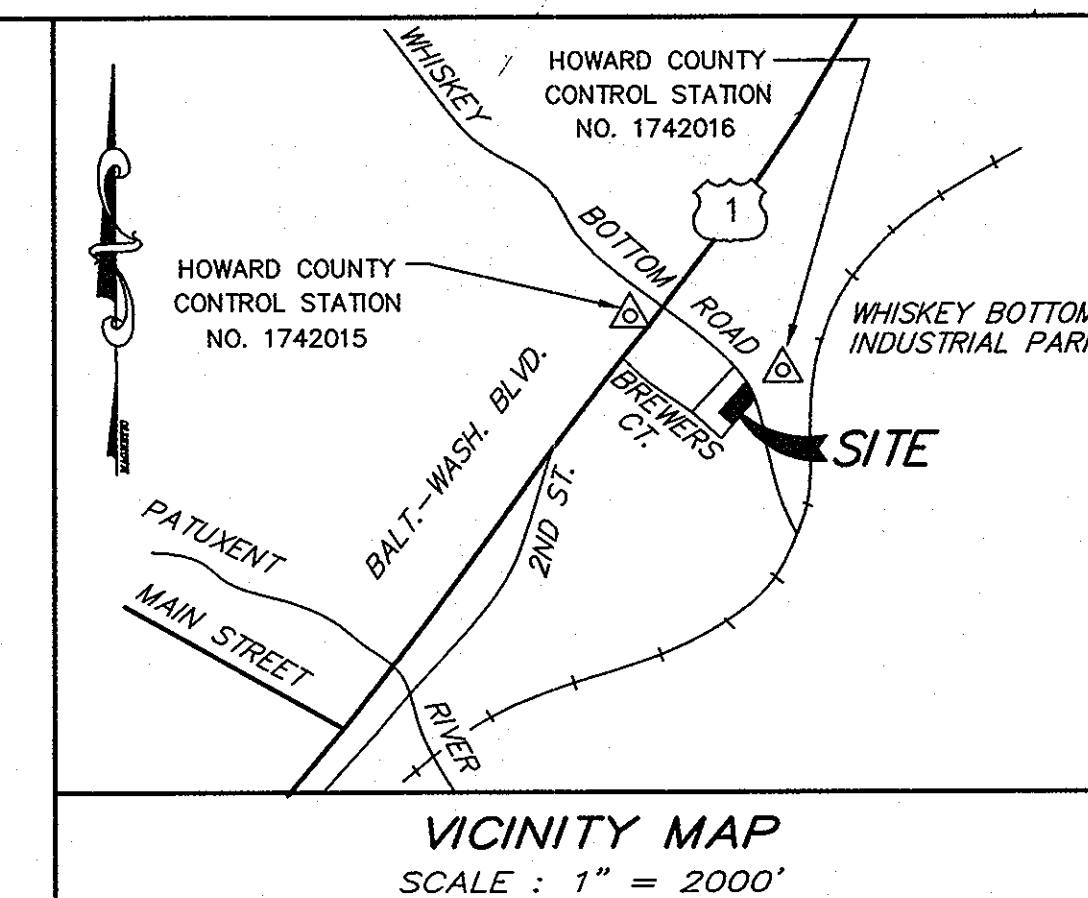
SITE DEVELOPMENT PLAN

WHISKEY BOTTOM TRADE CENTER

PARCEL C

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- TOPOGRAPHY IS TAKEN FROM A FIELD SURVEY PREPARED BY VIKI, INC. DATED SEPTEMBER, 1997.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM.
- WATER IS PUBLIC. CONTRACT NO. 41-W.
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: LITTLE PATUXENT CONTRACT NO. 24-1625D.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A WETLANDS DELINEATION FOR THIS PROJECT IS NOT REQUIRED.
- A TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY SABRA, WANG & ASSOC. DATED JUNE 4, 1999.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL STUDY FOR THIS PROJECT WAS PREPARED BY HERBST & ASSOC. DATED FEBRUARY 28, 1989 AND UPDATED OCT. 10, 1999.
- THE BOUNDARY SURVEY FOR THIS PROJECT IS BASED ON PREVIOUSLY RECORDED PLAT NO. 10177.
- SUBJECT PROPERTY ZONED M-2 PER COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO. SDP 87-140 FOR BUILDING "A" AND FILE NO. SDP 98-59 FOR BUILDING "B".
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT-OF-WAY, WHERE APPLICABLE, SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THIS SITE IS EXEMPT FROM FOREST CONSERVATION IN ACCORDANCE WITH SECTION 16.1202 (b)(1)(iii).
- SUM IS PROVIDED UNDER SDP-89-260 AND SDP-98-59. WATER QUALITY IS PROVIDED BY STORMCEPTOR ON SITE.

COORDINATION NOTES

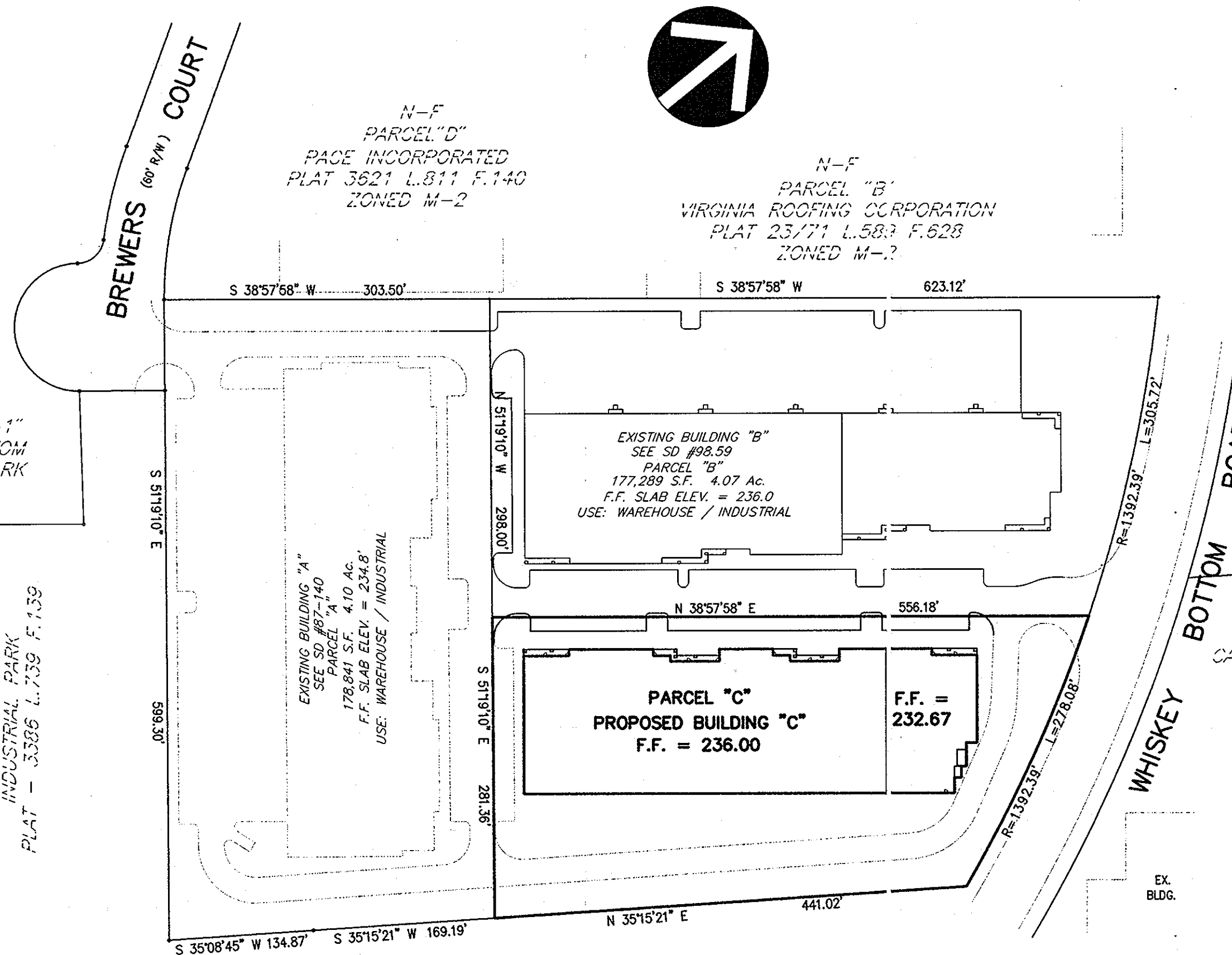
- CONTRACTOR TO VERIFY ALL REQUIRED EASEMENTS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- IF VIKI IS NOT PROVIDING STAKEOUT SERVICE, THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THIS PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS.
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.

ARCHITECTURAL/MEP COORDINATION

THE BUILDING INFORMATION (DIMENSIONS, UTILITY CONNECTIONS, ETC.) SHOWN ON THIS PLAN WAS TAKEN FROM PLANS PREPARED BY:

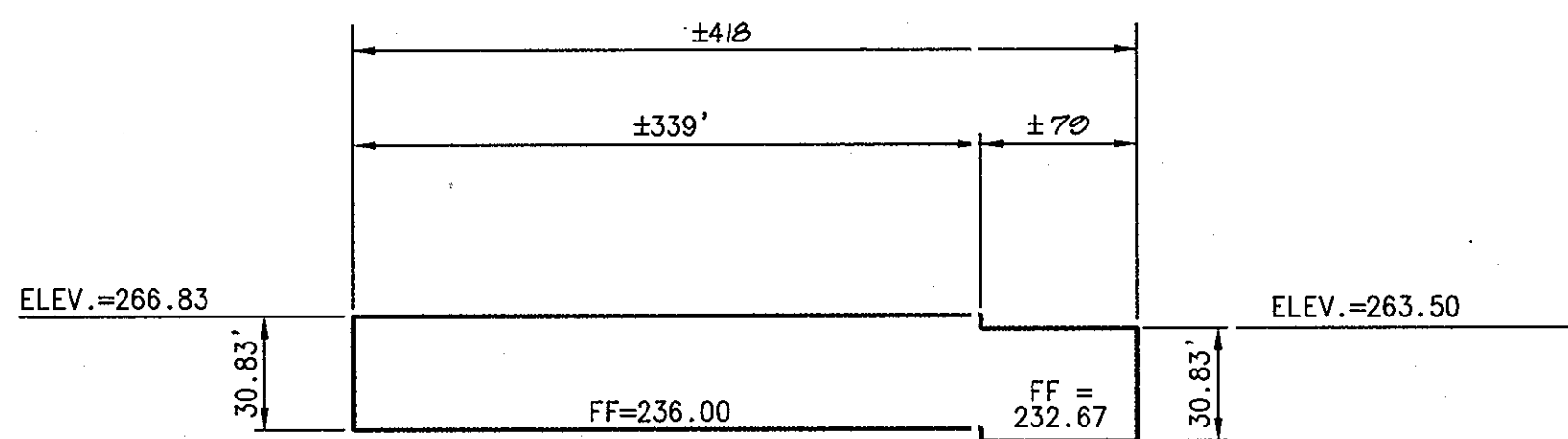
SMOLEN-EMR & ASSOC. ARCH. ARCHITECT	AUG. 1999 DATED
SCHMATIC LAYOUT	N/A DATED
MEP	DATED

IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECTURAL/M.E.P. PLANS AND COORDINATE SAME WITH THE SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.



SITE

SCALE: 1" = 100'



BUILDING ELEVATION

SCALE: HORIZ. - 1" = 100'
VERT. - 1" = 50'

BENCHMARKS

- BM #1-VIKA TRAV. # TRAV 2011 - ELEV.=225.36
- BM #2-VIKA TRAV. # TRAV 2004 - ELEV.=227.59

SITE ANALYSIS

AREA OF PARCEL	3.07 AC.
PRESENT ZONING	M-2
PROPOSED USE	WAREHOUSE
BUILDING COVERAGE	OFFICE WAREHOUSE
FLOOR SPACE BUILDING 'C'	
WAREHOUSE	43,802 SQ. FT.
OFFICE	9,481 SQ. FT.
TOTAL BUILDING 'C'	53,283 SQ. FT.
# OF OFFICE PARKING SPACES REQ'D @ 3.3 SP/1000SF	
PER SEC. 133-D-3.0	91.5
# OF WAREHOUSE PARKING SPACES REQ'D @ 2.5 SP/1000SF	
PER SEC. 133-D-5.0	109.5
TOTAL # OF PARKING SPACES REQ'D	141
# OF PARKING SPACES PROVIDED	150
HANDICAP SPACES REQUIRED	6
HANDICAP SPACES PROVIDED	6
PAVED AREA	51,123 SQ. FT.
EXISTING BUILDING 'A'	
EXISTING PARKING REQUIRED	72
EXISTING PARKING PROVIDED	109 (PER APPROVED SDP #87-140)
EXISTING BUILDING 'B'	
EXISTING PARKING REQUIRED	85
EXISTING PARKING PROVIDED	134 (PER APPROVED SDP #98-59)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

<i>[Signature]</i>	2/17/00
DIRECTOR	DATE
<i>[Signature]</i>	1/20/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION	
<i>[Signature]</i>	2/14/00
CHIEF, DIVISION OF LAND DEVELOPMENT	
1/00	2 REVISIONS PER ARCHITECT
8/99	2 REVISIONS PER COUNTY COMMENTS
6/99	1 REVISIONS TO BUILDING PER ARCHITECT
DATE	NO. REVISION

OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP
C/O GINGERY DEVELOPMENT GROUP
1001 ROCKVILLE PIKE SUITE 503
ROCKVILLE, MARYLAND 20852
(301) 424-3600
ATTN: MR. MONTE GINGERY

PROJECT: WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL "C"

AREA: TAX MAP NO. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: TITLE SHEET

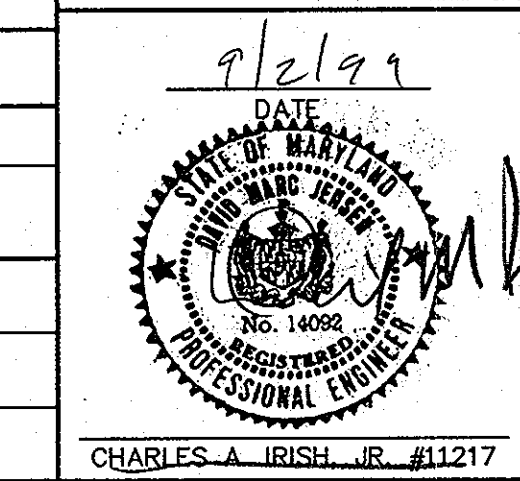
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS
VIKA INCORPORATED
4845 COVERDERS WAY SUITE 100 FREDERICK, MARYLAND 21704
(301) 662-5214 ■ FAX (301) 662-7859
FREDERICK, MD ■ McLEAN, VA
ATTN: MS. DEBRA MAZUR

SDP-99-169
DESIGNED BY: CLM
DRAWING BY: RND
PROJECT/FILE NO. 5457
DATE: AUG. 1999
SCALE: 1" = 100'
DRAWING No. 1 OF 14

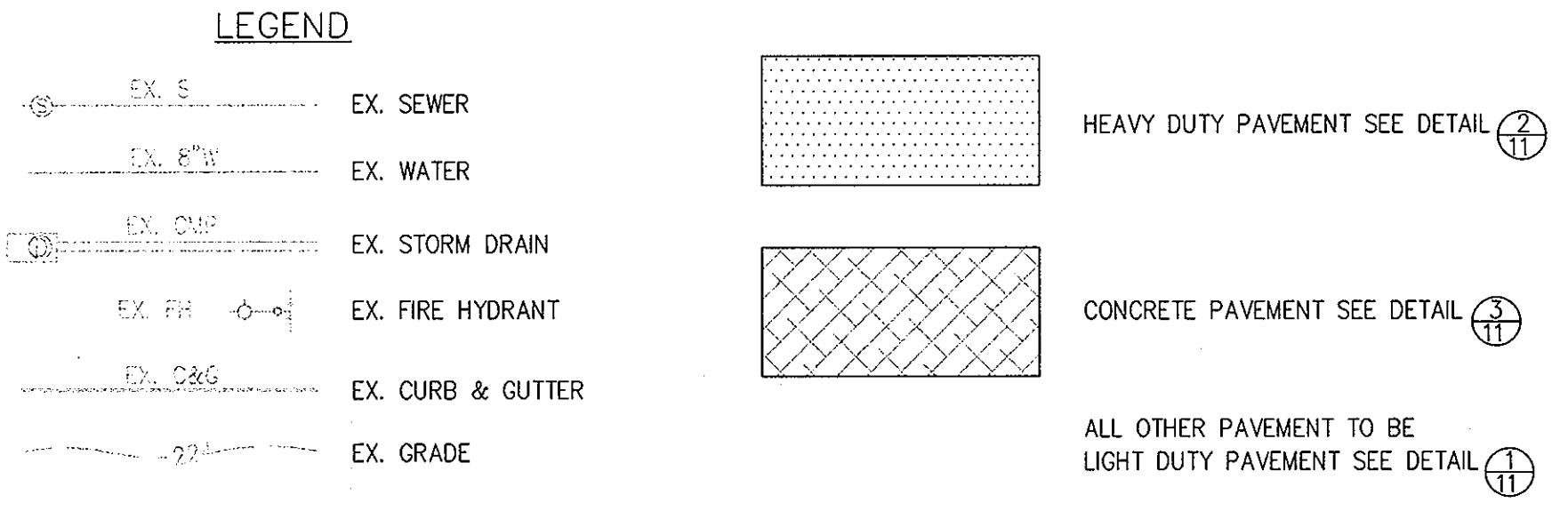
SDP-99-169 E#26

ADDRESS CHART	
PARCEL	STREET ADDRESS
C	9105 WHISKEY BOTTOM ROAD

SUBDIVISION NAME - WHISKEY BOTTOM TRADE CENTER	SECT./AREA - 3.07 Ac.	PARCEL - 466
PLAT # - 10177	BLOCK # - 5	ZONING - M-2
TAX MAP NO. - 50	ELECT. DIST. - 6th	CENSUS TRACT - 6063
WATER CODE - 24-1639	SEWER CODE - 24-1625D	



MARYLAND STATE GRID COORDINATES		
NO.	NORTHING	EASTING
1	466085.7839	848069.5908
2	466518.2233	848419.3500
3	466270.0682	848543.8056
4	465909.9375	848289.2357

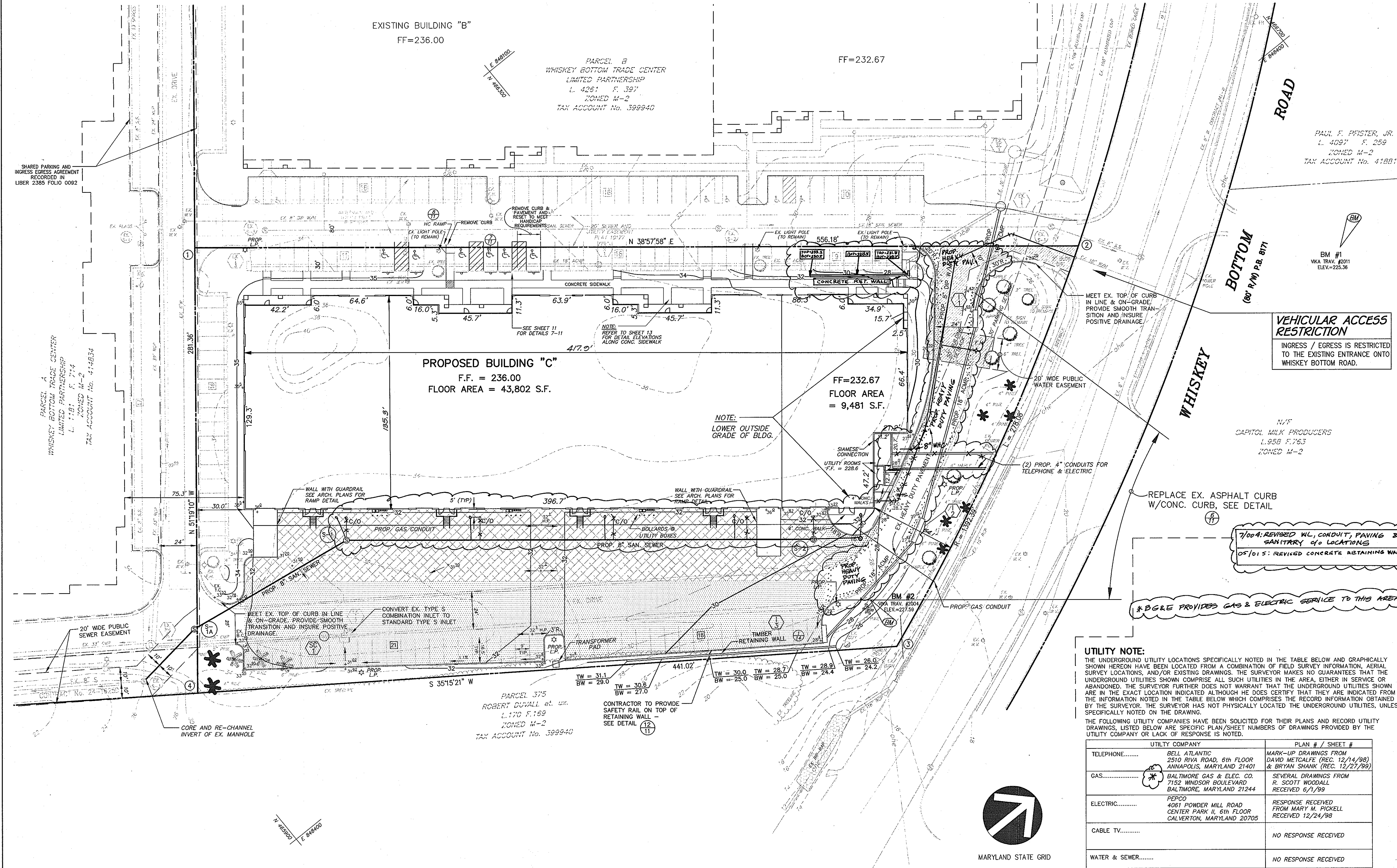


CONSTRUCTION NOTES:

1. THE CONTRACTOR MUST VERIFY INVERTS OF STRUCTURES AND EXISTING PIPE CONNECTIONS PRIOR TO CONSTRUCTION AND NOTIFY VIK, INC. WITH ANY HORIZONTAL OR VERTICAL DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
2. LOCATION OF BURIED CABLES ARE APPROXIMATE, CONTRACTOR MUST CALL MISS UTILITY FOR EXACT LOCATION.
3. ALL PVC ROOF DRAINS TO BE SCHEDULE 40.
4. EXTERIOR SITE LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
5. DUMPSTERS FOR THIS SITE WILL BE LOCATED ON THE TRUCK LOADING PAD. NO PARTICULAR AREAS HAVE BEEN SPECIFIED FOR THIS PLAN.
6. DEBRIS IS TO BE KEPT OUT OF THE UNDERGROUND DETENTION FACILITY DURING AND AFTER CONSTRUCTION.

GENERAL NOTES:

- A. EXISTING ZONE: M-2
- B. AREA OF PROPOSED LOTS: LOT C = 3.07 AC.
- C. NUMBER OF LOTS PROPOSED : 1 BUILDABLE USE : COMMERCIAL
- D. PUBLIC WATER TO BE PROVIDED
- E. PRIVATE SEWER TO BE PROVIDED, SEWER ON-SITE IS PRIVATELY OWNED AND MAINTAINED.
- F. BOUNDARY AND TOPOGRAPHY TAKEN FROM SURVEY BY VIK, INC. DATED NOV., 1998 AND EDITED FROM PREVIOUSLY APPROVED SITE PLANS.
- G. SETBACKS :
 1. BUILDING - 50' FROM PUBLIC RIGHT-OF-WAY
 2. PARKING - 30' FROM PUBLIC RIGHT-OF-WAY
 3. ADJACENT PROPERTY BUILDING & PARKING SETBACKS ARE BASED ON REQUIREMENTS OF BUILDING FIRE CODES AND EMERGENCY ACCESS.
- H. DIRECT ACCESS ONTO WHISKEY BOTTOM ROAD WAS GRANTED BY THE DEPARTMENT OF PLANNING AND ZONING FOR VP-84-142-A2 ON JAN. 31, 1986.
- I. WP-91-87, REQUESTING TO WAIVE SECTION 16-120, WAS APPROVED WITH CONDITION ON 2-15-91, THEREFORE NO PRELIMINARY PLAN WILL BE REQUIRED WITH THIS SUBDIVISION.
- J. REFER TO SOIL INTERPRETATIONS GUIDE FOR URBANIZING AREAS, HOWARD COUNTY, MARYLAND (APRIL, 1972, REV. MARCH 1974) FOR SOIL LIMITATION.
- K. WHISKEY BOTTOM ROAD BUILT WITH CAPITAL IMPROVEMENT PROJECT B-3816 AND J-4059.
- L. THE PROPERTY IS SUBJECT TO A "SHARED PARKING AND DRIVEWAY MAINTENANCE AGREEMENT" BETWEEN PARCELS "A", "B" AND "C", WHISKEY BOTTOM TRADE CENTER AND RECORDED IN LIBER 2385 AT FOLIO 0092.



BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

PAUL F. PFISTER, JR.
L. 4087 F. 258
ZONED M-2
TAX ACCOUNT No. 418813

DATE: Jan 12, 2000

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Daryl M. Jones
DATE: 01/13/00

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

NATURAL RESOURCES CONSERVATION SERVICE DATE: 1-29-00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

REGOR: [Signature] DATE: 2/17/00

CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 1/20/00

CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 2/04/00

DATE	NO.	REVISION
1/00	3	REVISED BUILDING FOOTPRINT
10/99	2	REVISED PER HOWARD COUNTY COMMENTS
6/99	1	REVISIONS TO BUILDING & SIDEWALKS PER ARCHITECT

OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP
C/O GINGERY DEVELOPMENT GROUP
1001 ROCKVILLE PIKE SUITE 503
ROCKVILLE, MARYLAND 20852
(301) 424-3600
ATTN: MR. MONTE GINGERY

PROJECT: WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL C

AREA: TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN

VIKA

ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS

4845 GOVERNORS WAY, SUITE 1 ■ FREDERICK, MARYLAND 21704
(301) 662-5031 ■ FAX (301) 620-7899
FREDERICK, MD ■ WALKEN, VA
ATTN: MR. GERRY WAZELON

DATE: 01/13/00

SDP-99-169

DESIGNED BY: CLM

DRAWING BY: RND

PROJECT/FILE NO. 5457

DATE: JAN. 2000

SCALE: 1" = 30'

DRAWING No. 2 OF 14

SDP-99-169

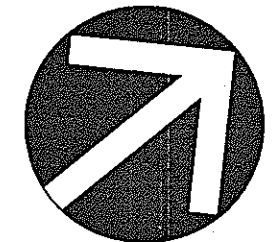
UTILITY NOTE:

THE UNDERGROUND UTILITY LOCATIONS SPECIFICALLY NOTED IN THE TABLE BELOW AND GRAPHICALLY SHOWN HEREON HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY INFORMATION, AERIAL SURVEY LOCATIONS, AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE INDICATED FROM THE INFORMATION NOTED IN THE TABLE BELOW WHICH COMPRISES THE RECORD INFORMATION OBTAINED BY THE SURVEYOR. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, UNLESS SPECIFICALLY NOTED ON THE DRAWING.

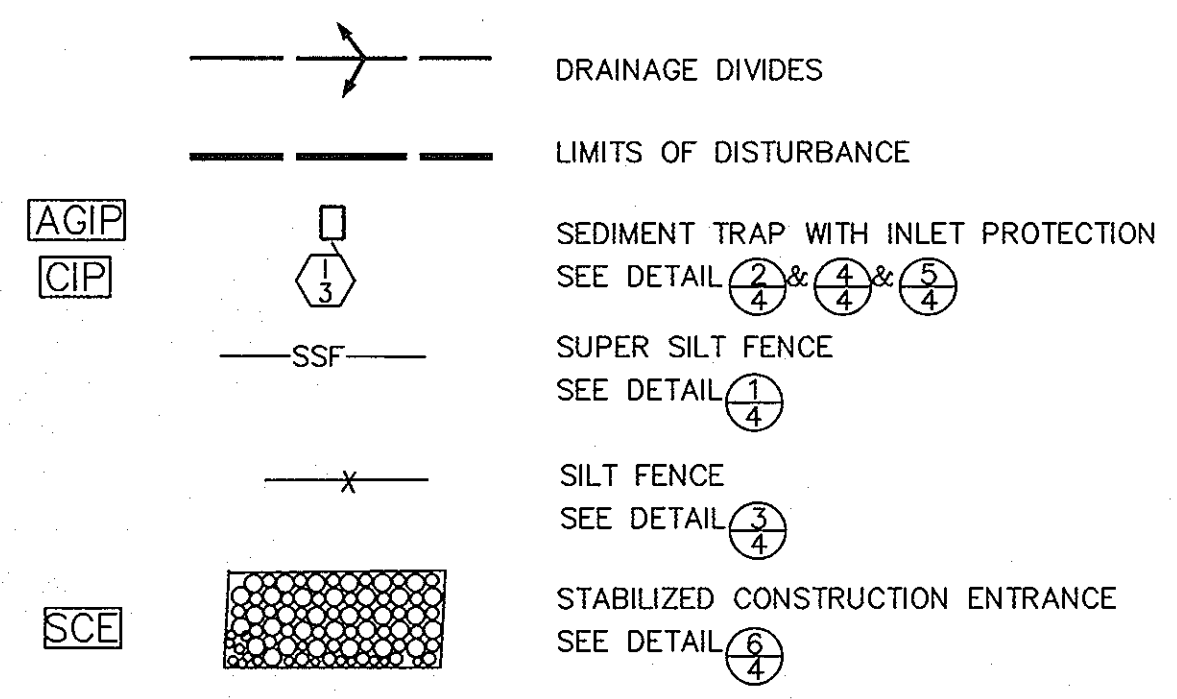
THE FOLLOWING UTILITY COMPANIES HAVE BEEN SOLICITED FOR THEIR PLANS AND RECORD UTILITY DRAWINGS, LISTED BELOW ARE SPECIFIC PLAN/SHEET NUMBERS OF DRAWINGS PROVIDED BY THE UTILITY COMPANY OR LACK OF RESPONSE IS NOTED.

UTILITY COMPANY	PLAN # / SHEET #
TELEPHONE.....	BELL ATLANTIC 2510 RIVA ROAD, 6TH FLOOR ANNAPOLIS, MARYLAND 21401 MARK-UP DRAWINGS FROM DAVID METCALFE (REC. 12/14/98) & BRYAN SHANK (REC. 12/27/99)
GAS.....	BALTIMORE GAS & ELEC. CO. 7152 WINDSOR BOULEVARD BALTIMORE, MARYLAND 21244 SEVERAL DRAWINGS FROM R. SCOTT WOODALL RECEIVED 6/1/99
ELECTRIC.....	PEPCO 4061 POWDER MILL ROAD CENTER PARK II, 6TH FLOOR CALVERTON, MARYLAND 20705 RESPONSE RECEIVED FROM MARY M. PICKELL RECEIVED 12/24/99
CABLE TV.....	NO RESPONSE RECEIVED
WATER & SEWER.....	NO RESPONSE RECEIVED

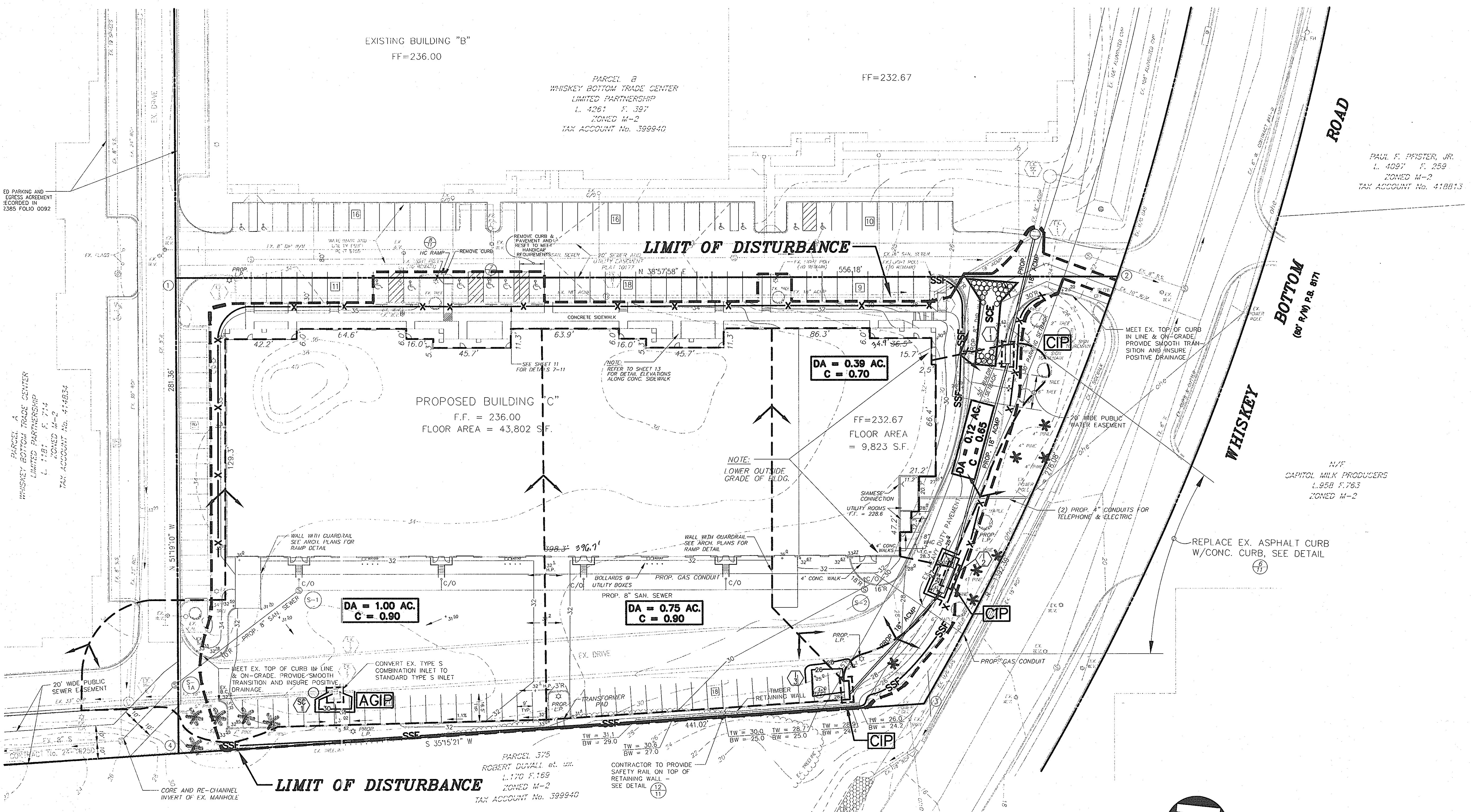
THE OWNER/DEVELOPER OF THE SUBJECT PROPERTY IS RESPONSIBLE FOR OBTAINING INFORMATION AND COORDINATING WITH ALL OTHER UTILITIES NOT LISTED IN THE TABLE ABOVE. THE OWNER/DEVELOPER IS ALSO RESPONSIBLE FOR CONTACTING "MISS UTILITY" 48 HOURS PRIOR TO CONSTRUCTION.



MARYLAND STATE GRID



BOTTOM TRAP/INLET#	DRAINAGE AREA	REQ'D VOL	REQ'D VOL	VOL PROV	THROAT INV	BOTTOM OF TRAP	BOTTOM TRAP DIM	C.O. ELEV
I-2	0.41 AC	1,800 CF\AC	738 CF	806 CF	27.75	25.0	20' X 6'	26.4
I-3	0.34 AC	1,800 CF\AC	612 CF	638 CF	28.40	25.0	10' X 15'	26.5
SC-1	0.84 AC	1,800 CF\AC	1,512 CF	1600 CF	30.90	30.0	19' X 8'	31.5



THIS SHEET IS FOR SEDIMENT AND EROSION CONTROL MEASURES ONLY

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

PAUL F. PRISTER, JR.
L. 4097 F. 259
ZONED M-2
TAX ACCOUNT No. 41881.3

DEVELOPER DATE 10/24/99

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER DATE 10/8/99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

DAVE SIMMONS 1-24-00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

JOHN R. ROBERTSON 1-24-00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DIRECTOR DATE 2/17/00

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 1/20/00

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 2/14/00

6/99 1 REVISIONS TO BUILDING & SIDEWALKS PER ARCHITECT

DATE / NO. REVISION

OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP C/O GINGERY DEVELOPMENT GROUP 1001 ROCKVILLE PIKE SUITE 503 ROCKVILLE, MARYLAND 20852 (301) 424-3600 ATTN: MR. MONTE GINGERY

PROJECT: WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL C

AREA: TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT CONTROL PLAN & DRAINAGE AREA MAP

ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS

VIA INCORPORATED 4845 GOVERNORS WAY SUITE L ■ FREDERICK, MARYLAND 21704 (301) 662-5034 ■ FAX (301) 662-7699 FREDERICK, MD. ■ McLEAN, VA ATTN: MS. CHECKY HAZELTON

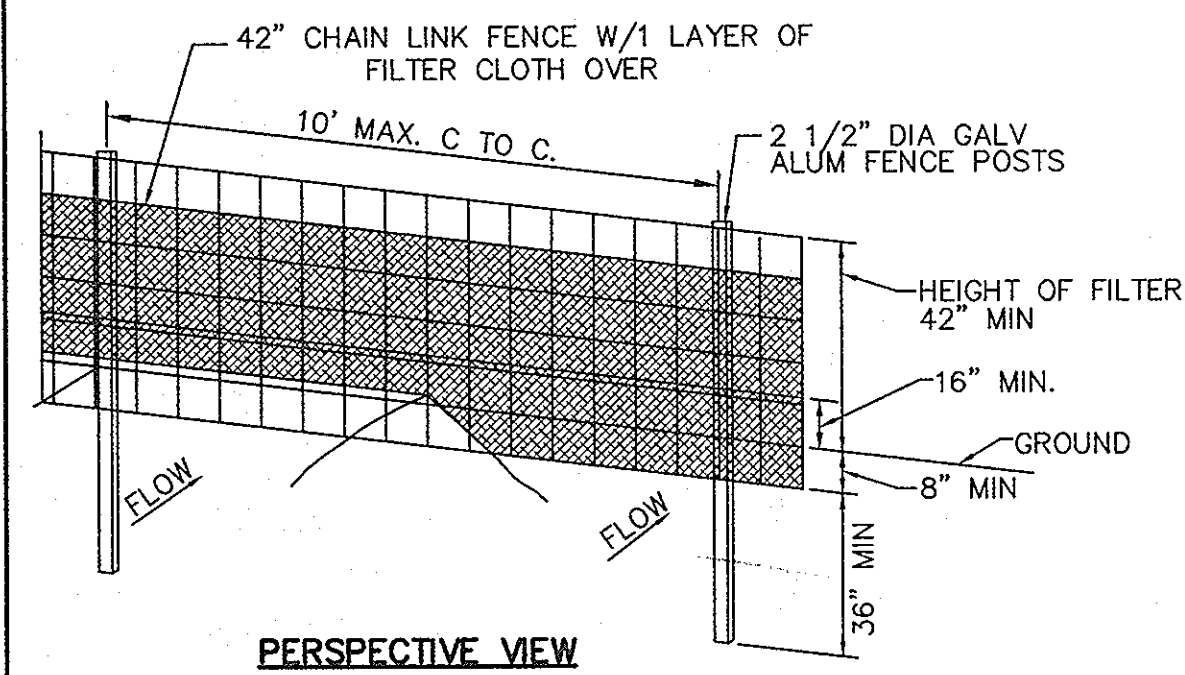
10/8/99 DATE

SDP- DESIGNED BY: CLM DRAWING BY: RND PROJECT/FILE NO. 5457 DATE: AUG. 1999 SCALE: 1" = 30' DRAWING No. 3 OF 14

ENGINEER



© WPA/CES/ASCO/1945/2002/005



PERSPECTIVE VIEW

FENCING

FENCING SHALL BE 42" IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH LATEST MARYLAND STATE HIGHWAY DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A 6 FOOT FENCE SHALL BE USED, SUBSTITUTING 42 INCH FABRIC AND 6 FOOT LENGTH POSTS.

1. THE POLES DO NOT NEED TO SET IN CONCRETE.
2. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH WIRE TIES OR STAPLES.
3. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT THE TOP AND MID SECTION.
4. FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 6" INTO THE GROUND.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
6. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SUIT BUILDUPS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

1 SUPER SILT FENCE
NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION, PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1 CHAPTER 7, OF THE "HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE".
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE: 3.07 ACRES
 AREA DISTURBED: 2.96 ACRES - 129,291 S.F.
 AREA TO BE ROOFED OR PAVED: 2.40 ACRES - 104,680 S.F.
 AREA TO BE VEGETATIVELY STABILIZED: 0.56 ACRES - 24,611 S.F.
 TOTAL CUT: 1,693 C.Y.
 TOTAL FILL: 2,127 C.Y.

OFFSITE WASTE/BORROW AREA LOCATION: EXCESS CUT SHALL BE TAKEN TO A SITE WITH AN APPROVED GRADING PERMIT.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- NO STABILIZED CONSTRUCTION ENTRANCE IS PROPOSED DUE TO EXISTING PAVED CONDITIONS AT ENTRANCE. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

SEQUENCE OF OPERATIONS

- OBTAIN GRADING PERMIT
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES INSPECTOR 48 HOURS BEFORE BEGINNING WORK.
- INSTALL ALL SILT FENCE. (1 DAY)
- CLEAR AND GRUB FOR SEDIMENT CONTROL MEASURES AND DEVICES. (1 DAY)
- INSTALL ALL SEDIMENT CONTROL MEASURES AND DEVICES. (1 DAY)
- AFTER NOTIFYING AND OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES. (2 DAYS)
- INSTALL ALL UTILITIES INCLUDING STORM DRAIN STRUCTURES AND INLET TRAPS. BACKFILL UTILITIES AT ENTRANCE AND STABILIZE ON THE SAME DAY OF DISTURBANCE. (3 DAYS)
- INSTALL FOOTINGS AND FOUNDATION WALL. CONTINUE BUILDING CONSTRUCTION. (14 DAYS)
- FINE GRADE THE ENTIRE SITE. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES. (3 DAYS)
- INSTALL STONE SUBBASE AND CURB AND GUTTER. STABILIZE ALL REMAINING AREAS. (3 DAYS)
- AFTER NOTIFYING AND OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND DEVICES. (3 DAYS)
- PROCEED WITH PAVING OPERATIONS. (7 DAYS)

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENEED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ. FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS. PER 1000 SQ. FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.07 LBS. PER 1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ. FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENEED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED: APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ. FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS. PER 1000 SQ. FT.).
- ACCEPTABLE: APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS. PER 1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIOD MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 91.4 LBS. PER 1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.05 LBS. PER 1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY ONE OF THE FOLLOWING OPTIONS:

- 2 TONS PER ACRE OF WELL-ANCHORED MULCH STRAW AND SEED AS SOON AS POSSIBLE IN THE SPRING.
- USE SOD.
- SEED WITH 60 LBS. PER ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TOPSOIL SPECIFICATIONS

- NEW TOPSOIL
- Fertile, friable, naturally loamy, surface soil; reasonably free of subsoil, clay lumps, brush, weeds, and other litter; and free of roots, stumps, and other extraneous or toxic matter harmful to plant growth. New topsoil shall be shredded and screened to remove all stone in excess of 1" in size.
 - Provide topsoil with a pH range of approximately 5.5 pH to 7.6 pH, when tested in accordance with the methods of testing as recommended by the Association of Official Agricultural Chemists. Organic content shall not be less than 3 percent nor more than 20 percent as determined by the wet-combustion method (chromic acid reduction). Not less than 20 percent nor more than 80 percent of the topsoil material shall pass the 200 mesh (0.075 mm) sieve, as determined by the wash test in accordance with ASTM C 117.
- Natural topsoil may be amended by the Contractor with approved materials and methods to meet above requirements.
 - Obtain topsoil from local sources or from areas having similar soil characteristics to that found at site of work. Obtain topsoil from naturally well-drained sites where topsoil occurs at least 4 inches deep; do not obtain from bogs or marshes.

STOCKPILED TOPSOIL

- The stockpiled topsoil shall be shredded and screened to remove all stone in excess of 1" in size.
- Topsoil shall not be shredded and screened when in an excessively wet and/or frozen condition.
- The Contractor shall obtain approval of the shredded and screened topsoil by the Owner or Owner's Representative before proceeding with placement.

SOIL AMENDMENTS

- Lime: Natural limestone, conforming with requirements of ASTM C 602, and containing at least 85 percent of total carbonates ground to such fineness that at least 90 percent passes a 10-mesh sieve and at least 50 percent passes a 100-mesh sieve.
 - Provide lime in form of dolomitic limestone.
- Peat Humus: Finely divided or granular texture and with pH of 6.0 to 7.5 composes of mass peat (other than sphagnum), peat humus, or reed-sedge peat.

FERTILIZER

- Complete, 10-20-10 commercial fertilizer of neutral character, with some elements derived from organic sources, conforming to requirements of Federal Specification O-F-241d and applicable laws of the State of Maryland. Fertilizer to provide nitrogen in a form that will be available during initial period of turf growth.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH TH EXCEPTION OF THE FOLLOWING:

- ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE.
- INLETS ON PRIVATE OR PUBLIC PAVED ROADWAYS OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND CONTROL, PAGE 3-16-1 (OR AS MAY BE AMENDED). THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

*STORM DRAINS TO BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.

UTILITY CONSTRUCTION NOTES

- OPEN ONLY THAT PORTION OF THE TRENCH WHICH CAN BE BACKFILLED AND STABILIZED EACH DAY.
- PLACE ALL EXCAVATED MATERIAL ON THE UPHILL SIDE OF THE TRENCH.
- ALL SEDIMENT CONTROL MEASURES DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY BEFORE LEAVING THE WORK SITE AT THE END OF EACH DAY.
- IF THE TRENCH MUST REMAIN OPEN LONGER THAN THE ONE DAY, SILT FENCE SHALL BE PLACED DOWN HILL FROM THE TRENCH.

NOTE:
THIS PLAN IS TO BE USED FOR THE INSTALLATION AND MAINTENANCE OF THE SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES ONLY. SEE SITE PLAN FOR MORE SPECIFIC INFORMATION.

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 10/14/99
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 10/16/99
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL

[Signature] 1-24-00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 1-24-00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[Signature] 2/17/00
DIRECTOR DATE

[Signature] 1/20/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 2/14/00
CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: No. REVISION

OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP
C/O GINGERY DEVELOPMENT GROUP
1001 ROCKVILLE PIKE SUITE 503
ROCKVILLE, MARYLAND 20852
(301) 424-3600
ATTN: MR. MONTE GINGERY

PROJECT WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL "C"

AREA TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE SEDIMENT AND EROSION CONTROL NOTES

VIA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS
VIA INCORPORATED
4845 GOVERNORS WAY, SUITE L ■ FREDERICK, MARYLAND 21704
(301) 562-5031 ■ FAX (301) 562-7699
FREDERICK, MD ■ MCLEAN, VA
ATTN: MR. GERRI MAZLOD

9/2/99
SDP-99-169
DESIGNED BY: CLM
DRAWING BY: RND
PROJECT/FILE NO. 5457
DATE: AUG. 1999
SCALE: NO SCALE
DRAWING No. 5 OF 14
ENGINEER

SDP-99-169

LANDSCAPE SCHEDULES

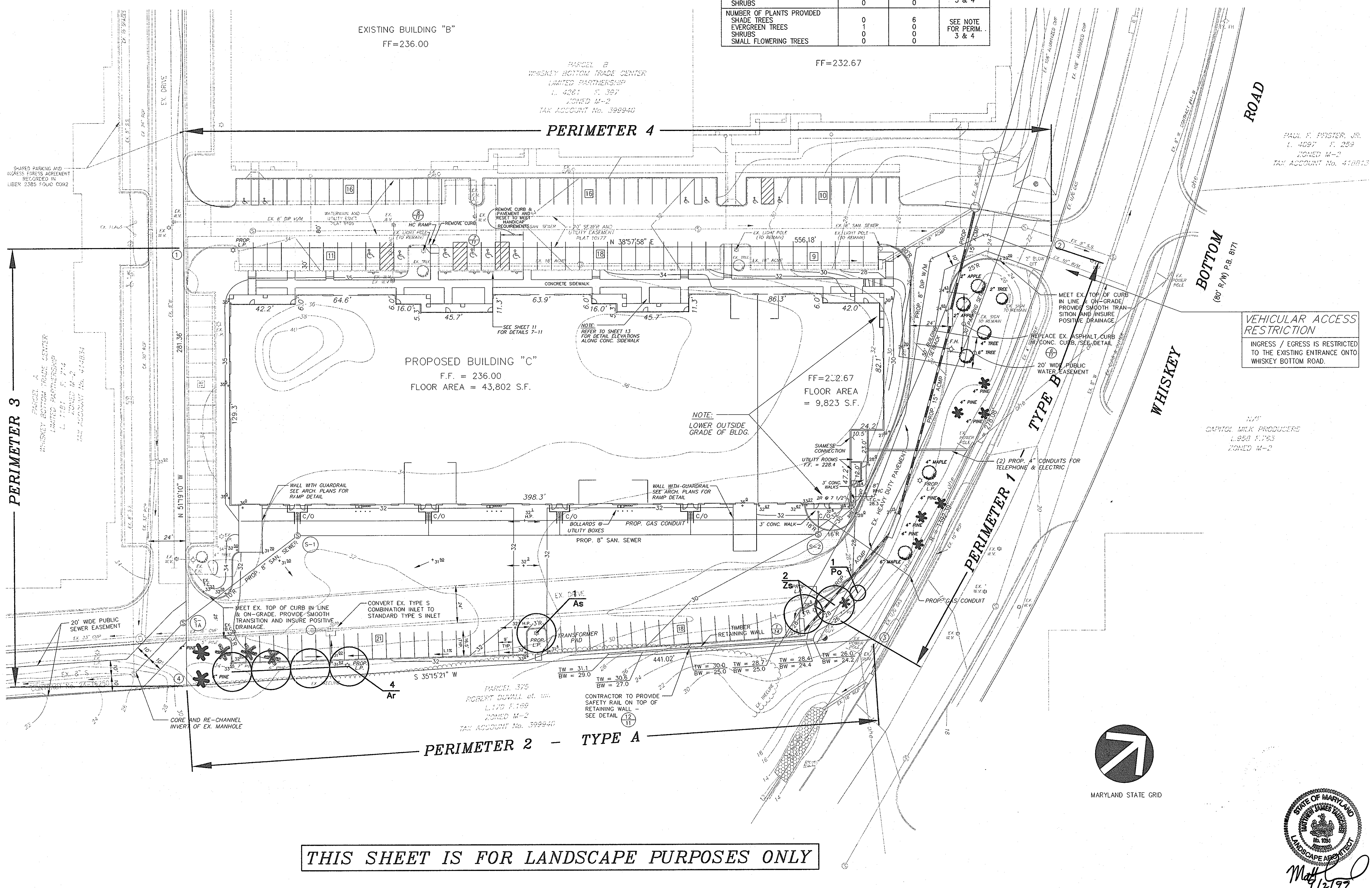
PLANT MATERIAL LIST					
KEY	QTY	BOTANICAL & COMMON NAME	SIZE	ROOT	REMARKS
Ar	4	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL.	B & B	FULL CROWN CENTRAL LEADER
As	1	ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.	B & B	FULL CROWN CENTRAL LEADER
Po	1	PICEA OMORICA SERBIAN SPRUCE	7'-8' HT.	B & B	FULL FORM CENTRAL LEADER
Zs	2	ZELKOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN ZELKOVA	2 1/2" - 3" CAL.	B & B	FULL CROWN CENTRAL LEADER

SCHEDULE A PERIMETER LANDSCAPE EDGE			
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	
PERIMETER	1	2	3 & 4
LANDSCAPE TYPE	B	A	*
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	278	441	281 & 556
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES 7 EX. SHADE 6 EX. EVERGREEN	YES 2 EX. 4" PINE	---
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	---
NUMBER OF PLANTS REQUIRED			* SEE NOTE FOR PERIM. 3 & 4
SHADE TREES	0	0	
EVERGREEN TREES	0	0	
SHRUBS	0	0	
NUMBER OF PLANTS PROVIDED			SEE NOTE FOR PERIM. 3 & 4
SHADE TREES	0	6	
EVERGREEN TREES	1	0	
SHRUBS	0	0	
SMALL FLOWERING TREES	0	0	

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	96
NUMBER OF SHADE TREES REQUIRED @ 1 S.T./20 SPACES	4.8
NUMBER OF TREES PROVIDED	5
SHADE TREES	(4 EX.)
NUMBER OF ISLANDS REQUIRED (1 ISLAND/20 SPACES)	5
NUMBER OF ISLANDS PROVIDED	5
@ 200 SQ. FT./ISLAND (EQUIVALENT)	(4 EX.)

SUBSTITUTION NOTES:

* PERIMETERS 3 & 4
 "THE REGULATIONS DO NOT REQUIRE LANDSCAPED EDGES, BUFFERING, OR SCREENING, BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT." (SEE PERIMETER LANDSCAPE EDGES ON P.17 OF LANDSCAPE MANUAL)
 NOTES: "THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL."
 "FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$6450."



THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY

PLANTING NOTES

PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK. ALL TREES SHALL BE MULCHED TO A MINIMUM OF 18" BEYOND THE EDGE OF THE ROOT BALL. ALL WIRE, PLASTIC AND TWINE TIES SHALL BE REMOVED FROM TOP HALF OF THE ROOT BALL.

PLANT STANDARDS

ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION. INFERIOR NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. BARE-ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED AS MAJOR DECIDUOUS, MINOR DECIDUOUS OR EVERGREEN.

CHANGES MAY IMPACT REQUIRED CERTIFICATION

PLANT TYPES (DECIDUOUS TREES, EVERGREEN ETC.), QUANTITIES, SPACING, LOCATION, AND SPECIES SHOWN ON THE APPROVED LANDSCAPE PLAN ARE BASED ON REQUIREMENTS STATED IN THE LATEST HOWARD COUNTY LANDSCAPE MANUAL. ANY CHANGE IN THESE ITEMS MAY AFFECT THE REQUIRED APPROVAL AND CERTIFICATION OF THE INSTALLED PLANTING. OWNER IS REQUIRED TO ARRANGE AND PAY FOR CERTIFICATION BY LANDSCAPE ARCHITECT.

LANDSCAPE SPECIFICATIONS

LANDSCAPE SPECIFICATION SHALL CONFORM TO LCA LANDSCAPE SPECIFICATION GUIDELINES FOR HOWARD-WASHINGTON METROPOLITAN AREA, INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS. A ONE-YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO HONOR THE ONE YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT.

SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS

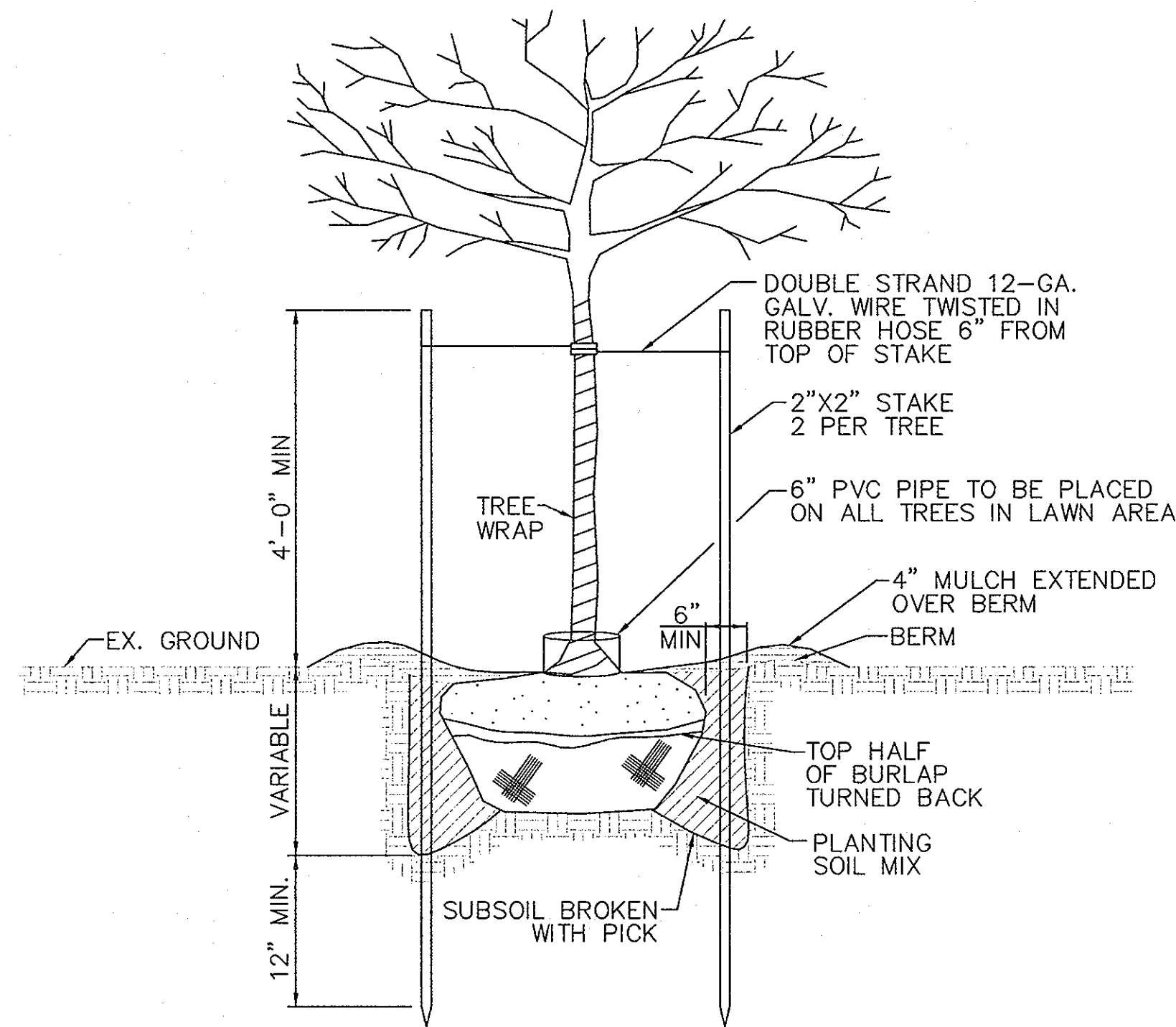
CONTRACTOR IS ENCOURAGED TO PERFORM SOIL TESTING. TEST RESULTS SHALL BE SUBMITTED 30 DAYS BEFORE PLANTING. FAILURE TO PERFORM TESTING WILL NOT VOID GUARANTEE PROVISIONS.

CONTRACTOR SHALL REVIEW AND TEST SUBSOIL DRAINAGE CHARACTERISTICS 30 DAYS PRIOR TO PLANTING AND NOTIFY OWNER OF UNACCEPTABLE CONDITIONS.

NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN WRITING PRIOR TO PLANTING.

PLANTING SPECIFICATIONS

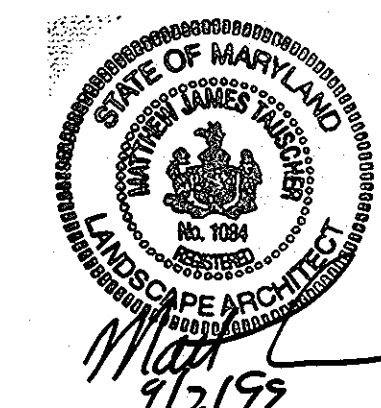
1. PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
2. ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, HAVE A VIGOROUS ROOT SYSTEM, AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORERS AND ALL FORMS OF INSECT INFESTATIONS OF OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HEALED-IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
3. UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO LANDSCAPE SPECIFICATION GUIDELINES FOR "BALTIMORE-WASHINGTON METROPOLITAN AREAS", (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL AGENDA.
4. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS, INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES. DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
6. PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF A 4 FOOT HIGH SNOW FENCE AT THE DRIP LINE.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION.
8. BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.
9. PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN TAKE PRECEDENCE.
10. POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS (MINIMUM 2 PERCENT SLOPE).
11. PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.
12. WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUND COVER TO BE TREATED.
13. ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED.
14. THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEDIMENT CONTROL, LAYOUT, ETC.

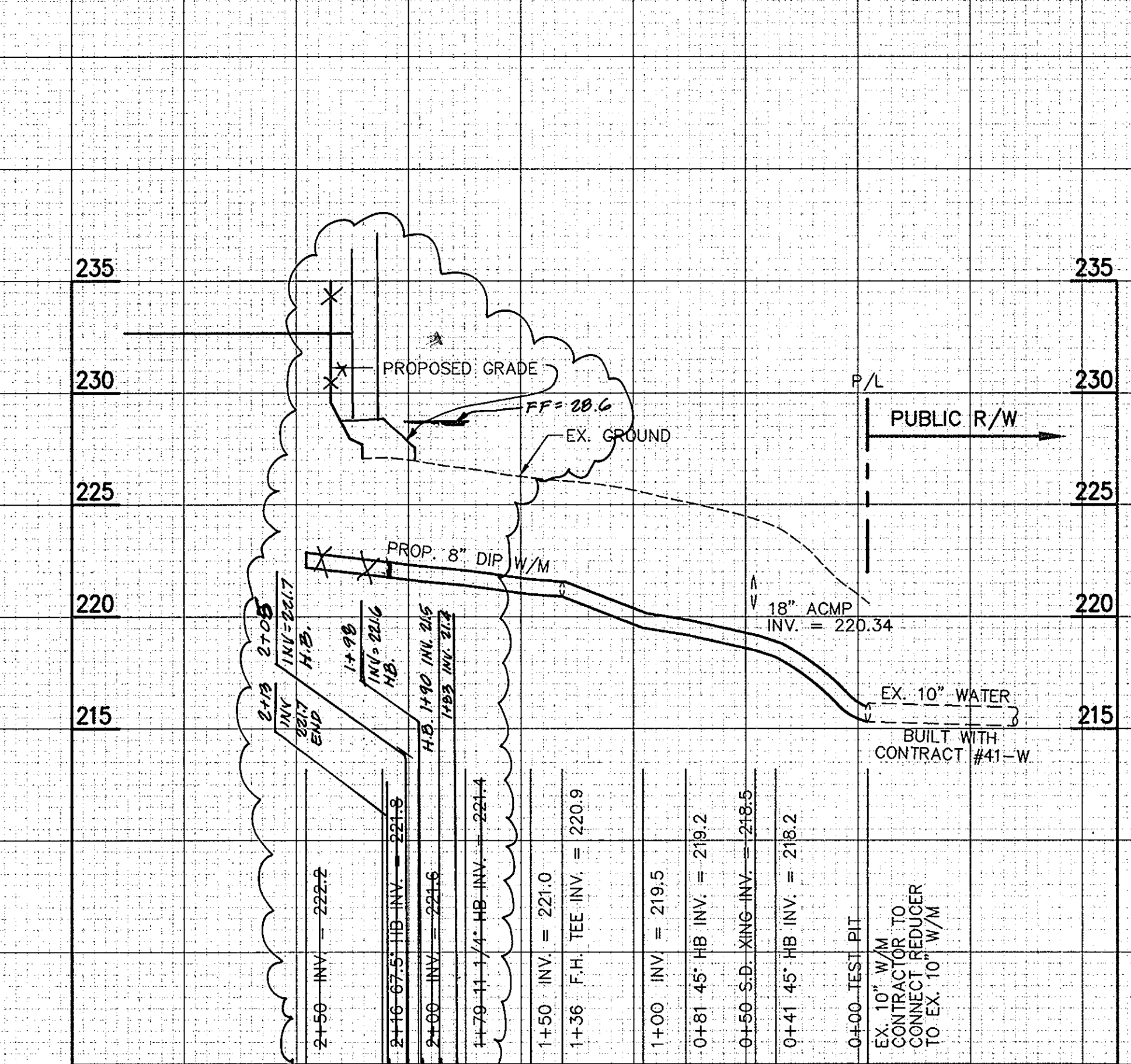
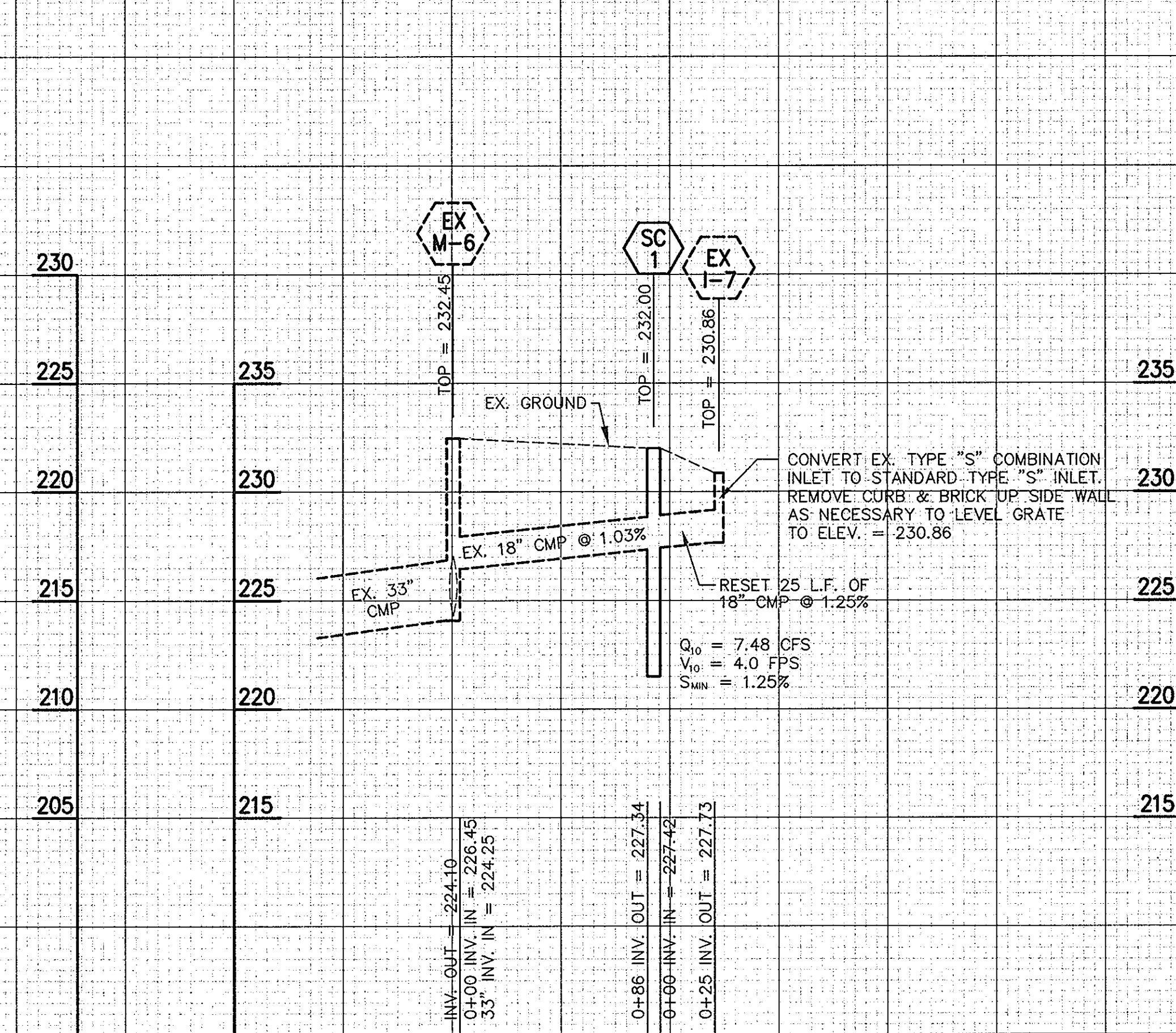
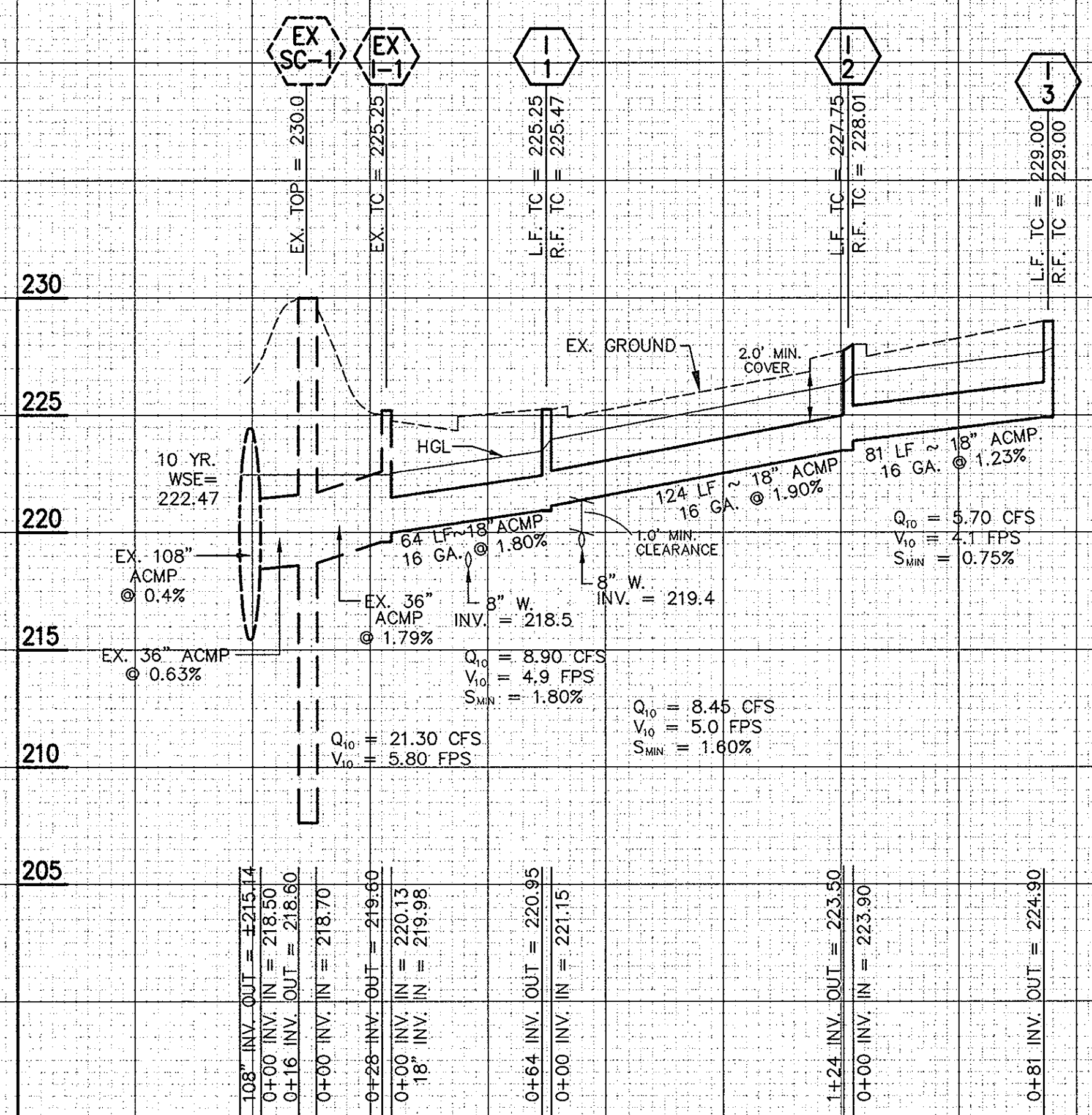


NOTE:
THIS DETAIL FOR DECIDUOUS AND EVERGREEN TREES UNDER 4" CALIPER AND 6' OR MORE IN HEIGHT.

1
7
PLANTING AND STAKING DETAIL
NOT TO SCALE

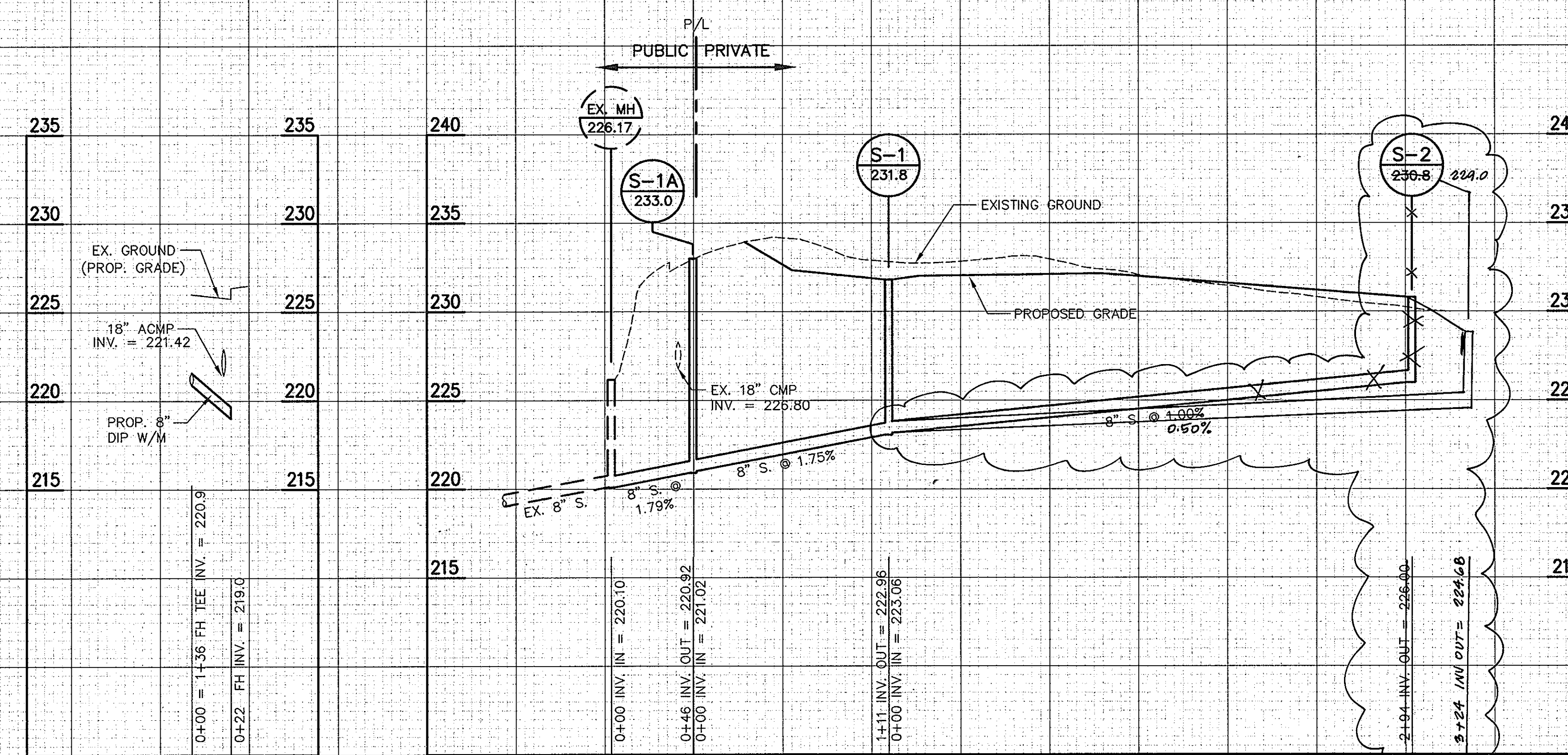
APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
DIRECTOR <i>Joseph Smith</i>	DATE 2/17/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION <i>John Dammann</i>	DATE 1/25/00
CHIEF, DIVISION OF LAND DEVELOPMENT <i>Chris Hamstra</i>	DATE 2/17/00
DATE	REVISION
OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP C/O GINGERY DEVELOPMENT GROUP 1001 ROCKVILLE PIKE SUITE 503 ROCKVILLE, MARYLAND 20852 (301) 424-3600 ATTN: MR. MONTE GINGERY	
PROJECT WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL "C"	
AREA	TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE LANDSCAPE NOTES AND DETAILS	
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS	
<small>4845 GOVERNORS WAY, SUITE 1 ■ FREDERICK, MARYLAND 21704 (301) 662-5034 ■ FAX (301) 620-7899 FREDERICK, MD ■ WILEY, VA ATTN: MS. CHERA WAZLON</small>	
DATE 2/2/99	SDP-99-169
DESIGNED BY: CLM	
DRAWING BY: RND	
PROJECT/FILE NO. 5457	
DATE: AUG. 1999	
SCALE: NO SCALE	
DRAWING No. 7 OF 14	
SDP-99-169	





PIPE SCHEDULE			
DIA.	TYPE	CLASS	LENGTH
18"	ACMP	16 GAUGE	269'
8"	PVC	SDR-26	439'

STRUCTURE SCHEDULE						
NO.	TYPE	TOP ELEV.	INVERT ELEV.			REMARKS
			IN	IN	OUT	
I-1	A-10 INLET	225.25	---	221.15	220.95	HOWARD COUNTY SD 4.02
I-2	15' COG INLET	225.47	---	223.90	223.50	MSHA STD. MD-374.51
I-3	A-10 INLET	227.75	---	---	---	---
SC-1	STORMCEPTOR	228.01	---	---	---	SEE SHEETS 9 AND 10 FOR DETAILS
S-1A	SANITARY MANHOLE	229.00	---	---	224.90	HOWARD COUNTY SD 4.02
S-1	SANITARY MANHOLE	229.00	---	---	---	---
S-2	SANITARY MANHOLE	230.80	---	---	226.00	4'-0" DIAM. STD. S 1.31
		229.00	---	---	224.68	4'-0" DIAM. STD. S 1.31



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Director: *[Signature]* DATE: 2/1/00

Chief, Development Engineering Division: *[Signature]* DATE: 1/28/00

Chief, Division of Land Development: *[Signature]* DATE: 2/1/00

1/00 2 REVISED W/L & SEWER PROFILES

1/00 1 REVISED SEWER PER REVISION TO BUILDING FOOTPRINT

DATE No. REVISION

OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP
C/O GINGERY DEVELOPMENT GROUP
1001 ROCKVILLE PIKE SUITE 503
ROCKVILLE, MARYLAND 20852
(301) 424-3600
ATTN: MR. MONTE GINGERY

PROJECT: WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL "C"

AREA: TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: UTILITY PROFILES

ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS

VIA INCORPORATED
4845 GOVERNORS WAY, SUITE 100, FREDERICK, MARYLAND 21704
(301) 662-5034 ■ FAX (301) 620-7699
FREDERICK, MD ■ MIDDLEBURY, VT
ATTN: MS. CHERYL MAZDON

01/13/00

SDP-99-169

DESIGNED BY: CLM

DRAWING BY: RND

PROJECT/FILE NO. 5457

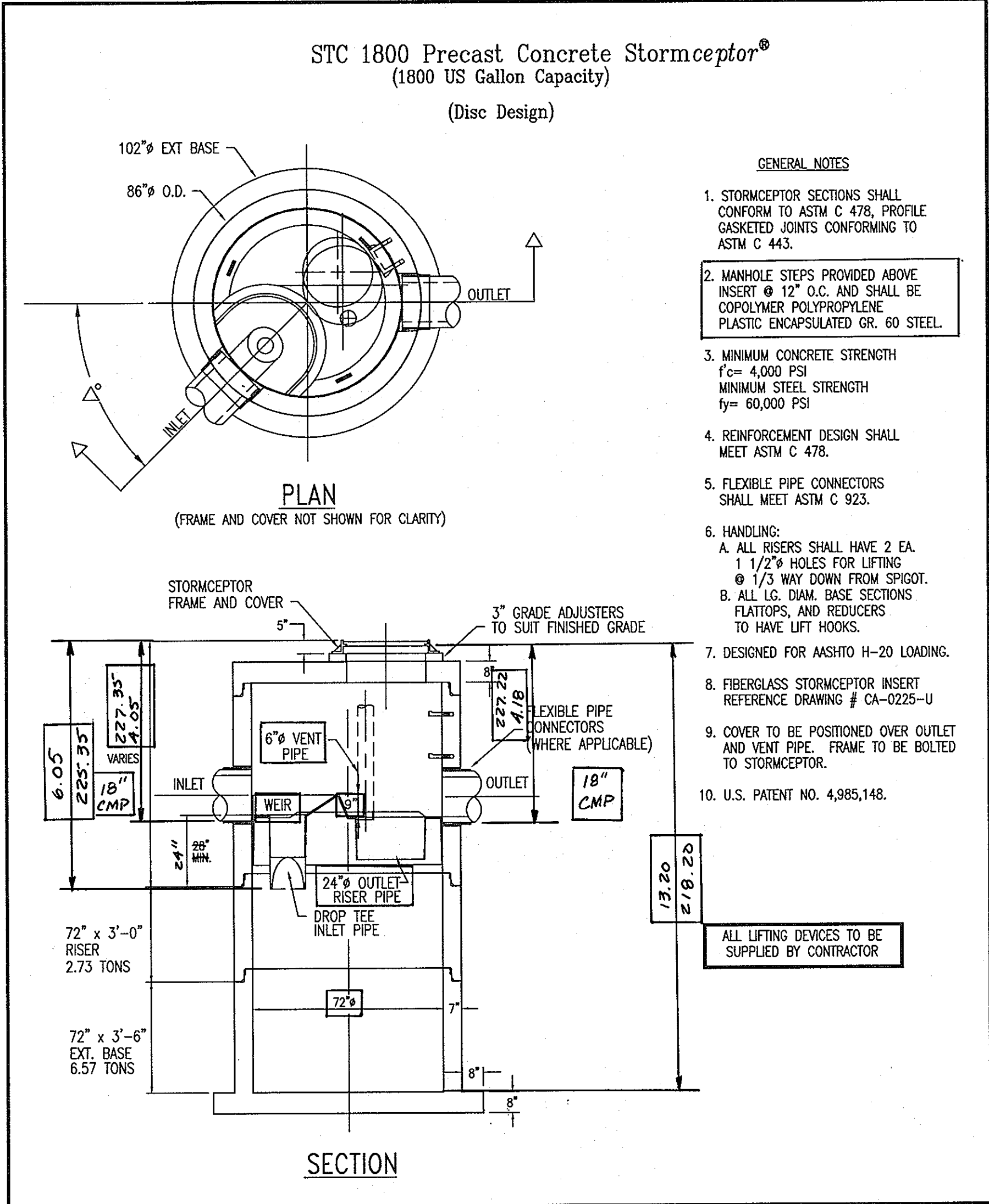
DATE: JAN. 2000

SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

DRAWING No. 8 OF 14

ENGINEER: *[Signature]*

5/20/2000 11:25:28 9:28:38 am EST



STORMCEPTOR DESIGN

STRUCTURE NO.	IMPERVIOUS AREA (AC.)	PIPE DIA. (IN.)	ACTUAL FLOWRATE (C.F.S.)	STORMCEPTOR MODEL	MIN OPENING ABOVE WEIR (IN.)
SC-1	0.97 AC.	18" CMP	7.48	STC 1800	8"

- NOTES:**
- BASED ON TABLE 7 OF THE STORMCEPTOR® TECHNICAL MANUAL, JUNE 1996 USING STANDARD AREA.
 - FOR TECHNICAL INFORMATION CALL STORMCEPTOR CORPORATION AT 1-800-762-4703.
 - TO ORDER AND FOR DELIVERY CONTACT CSR-HYDRO CONDUIT, VIRGINIA PRECAST AT 1-800-999-2278 AT LEAST 4 WEEKS PRIOR TO NEEDED DELIVERY.

Concrete Stormceptor® Order Request Form
* TO BE INCLUDED ON SWM PLAN BY DESIGNER

CONTRACTOR INFORMATION

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

OWNER INFORMATION

Name GINGERY DEVELOPMENT
Phone (301) 424-3600
Fax (301) 294-7910

IMPERVIOUS DRAINAGE AREA FOR THIS UNIT 1.00 AC.

Stormceptor Model	Insert Size
STC 900 <input type="checkbox"/> 3600 <input type="checkbox"/>	SINGLE INLET DISC <input checked="" type="checkbox"/>
1200 <input type="checkbox"/> 4800 <input type="checkbox"/>	MULTIPLE INLET DISC <input type="checkbox"/>
1800 <input checked="" type="checkbox"/> 6000 <input type="checkbox"/>	CUSTOM <input type="checkbox"/>
2400 <input type="checkbox"/> 7200 <input type="checkbox"/>	

Please draw orientation of inlet and outlet pipes on diagram along with the pipe inside diameter (in), and invert elevation (ft). Clearly mark inlet pipes with an "I" and outlet pipes with an "O". Please provide the inlet/outlet pipe angle in degrees.

Manhole Number	Top Elevation (ft)	Inlet Pipe Invert (ft)	Outlet Pipe Invert (ft)
SC-1	227.00	227.42	227.34

Project Name WHISKEY BOTTOM TRADE CENTER PHASE III
Approximate time frame of delivery (weeks) _____
Delivery Address: Street WHISKEY BOTTOM ROAD
City LAUREL State MARYLAND Zip Code 20723
Designer Company VIKI, INC.
Designer Contact C. MAZELON Phone 301-916-4100 Fax 301-916-2262

PLEASE FILL OUT COMPLETELY AND FAX TO:
ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)313-6389
FOR TECHNICAL ASSISTANCE PLEASE CALL :
MIKE BARG, PHONE (703)313-6399

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph Smith 2/17/00
DIRECTOR DATE

Monte Gingery 1/20/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Lucia Hamilton 2/14/00
CHIEF, DIVISION OF LAND DEVELOPMENT

02/01 | REVISIONS DER AS-BUILT

DATE	No.	REVISION

OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP
C/O GINGERY DEVELOPMENT GROUP
1001 ROCKVILLE PIKE SUITE 503
ROCKVILLE, MARYLAND 20852
(301) 424-3600
ATTN: MR. MONTE GINGERY

PROJECT WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL "C"

AREA TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE STORMCEPTOR DETAILS

VIKI

ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS

VIKI INCORPORATED
4845 GOVERNORS WAY SUITE 1 ■ FREDERICK, MARYLAND 21704
(301)662-5034 ■ FAX (301)820-7699
FREDERICK, MD ■ WILEY, VA
ATTN: MS. DIERYL MAZELON

10/8/99 DATE
SDP-99-169
DESIGNED BY: CLM
DRAWING BY: RND
PROJECT/FILE NO. 5457
DATE: OCT. 1999
SCALE: NO SCALE
DRAWING No. 9 OF 14
ENGINEER

SDP-99-169

**CONTRACTOR INSTALLATION INSTRUCTIONS:
PRECAST CONCRETE STORMCEPTOR**

STC PIPE INSTALLATION PROCEDURE:

- PRECONSTRUCTION MEETING.
- STAKEOUT THE LOCATION OF THE STORMCEPTOR AND EXCAVATE HOLE. EXCAVATE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO UNIT. SECURE INSPECTOR APPROVAL OF SUBGRADE. INSTALL A 12" DEEP (OR AS REQUIRED) LAYER OF COMPACTED AGGREGATE SUBBASE AT BOTTOM OF EXCAVATION. INSTALL TRENCHBOX OR SHORING, AS NEEDED.
- CHECK ELEVATION OF UNIT BY MEASURING ITS SECTIONS FROM BASE OF THE STORAGE CHAMBER (BOTTOM OF UNIT'S SLAB) TO THE INVERT OF STORMCEPTOR BYPASS CHAMBER INLET ELEVATION (FIBERGLASS INSERT). SUBTRACT THIS DISTANCE FROM DESIGN INVERT ELEVATION TO DETERMINE TOP OF SUBBASE ELEVATION. CHECK ELEVATION OF INSTALLED SUBBASE AND ADJUST AS NEEDED.
- SECURE INSPECTOR APPROVAL OF SUBBASE. ALL LIFTING APPARATUS IS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR.
- INSTALL STORAGE CHAMBER. (INSTALL SCREW INSERTS INTO BASE OF STORAGE CHAMBER.) ATTACH CABLES OR CHAINS TO ALL 3 LIFTING LUGS ON THE BASE SLAB. USING LARGE EQUIPMENT OR CRANE, LIFT AND PLACE THE BASE SECTION OF THE STORAGE CHAMBER IN THE EXCAVATED HOLE ON THE SUBBASE. MAKE SURE THAT THE BASE IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS NOT REQUIRED. INSTALL RUBBER GASKET ON BASE UNIT AND COAT WITH LUBRICATING GREASE (PROVIDED IN SHIPMENT). IF NOT PRELUBRICATED, INSTALL ADDITIONAL STORAGE CHAMBER SECTIONS, AS REQUIRED (PROCEDURE IS SAME AS STEP 9.)

(FOR STORMCEPTOR MODELS STS-900, STC-1200 AND STC-1800, SKIP STEP 6 AND GO TO STEP 7.)
- INSTALL REDUCING SLAB. (STORMCEPTOR MODELS STC-2400, STC-3600, STC-4800, STC-6000 AND STC-7200). CHECK THAT SECTION IS SET FLUSH, LEVEL AND IS AT THE PROPER ELEVATION. INSTALL RUBBER GASKET ON THE TRANSITION SLAB SPIGOT AND COAT WITH LUBRICATING GREASE (PROVIDED IN SHIPMENT).
- INSTALL BYPASS CHAMBER OF STORMCEPTOR WITH FACTORY INSTALLED STORMCEPTOR INSERT. LIFT BYPASS SECTION AND INSTALL, WHILE CHECKING ALIGNMENT AND GRADE OF INLET AND OUTLET DRAINAGE PIPES. CHECK TO MAKE SURE THE BYPASS CHAMBER IS SET FLUSH, LEVEL AND IS AT THE PROPER ELEVATION. THE BYPASS SECTION MUST BE ORIENTED SUCH THAT INLET PIPE DISCHARGES INTO THE V-SHAPED FIBERGLASS WEIRS (INSIDE INSERT). INSTALL RUBBER GASKET ON TOP OF BYPASS SECTION AND COAT WITH LUBRICATING GREASE, IF NOT PRELUBRICATED.
- INSTALL STORMCEPTOR DROP PIPES ACCORDING TO STC PIPE INSTALLATION PROCEDURE. SEE NOTES THIS SHEET.
- INSTALL RISER SECTION. LIFT RISER SECTION AND INSTALL, WHILE CHECKING THAT SECTION IS SET FLUSH AND IS AT PROPER ELEVATION AND THAT UNIT IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS REQUIRED IF STEP(S) ARE INCLUDED. ALIGN STEPS ABOVE OUTLET INSPECTION PORT. NOTE: FOR SHALLOW INSTALLATIONS, THIS SECTION MAY NOT BE REQUIRED.
- INSTALL TOP SLAB WITH OPENING FOR STORMCEPTOR FRAME & COVER. IF OPENING IS OFFSET (NOT CENTERED), THE TOP CAP OPENING SHOULD BE ORIENTED ABOVE THE STORMCEPTOR OUTLET INSPECTION PORT (PLUG).
- BACKFILL STORMCEPTOR WITH APPROVED BACKFILL MATERIAL (NO ORGANIC OR TOPSOIL IS TO BE USED FOR BACKFILL). BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL SHOULD BE COMPACTED TO MEET LOCAL/STATE REQUIREMENTS.
- INSTALL AND SET GRADE ADJUSTING RINGS, AS NEEDED. PLUG ALL LIFT HOLES WITH TAPERED FLEXIBLE PLUG AND KNOCK INTO PLACE. PLUGS IN STORAGE CHAMBER MUST BE GROUTED INSIDE AND OUTSIDE WITH GROUT.
- INSTALL AND SET STORMCEPTOR FRAME AND COVER.
- INSTALL INLET AND OUTLET STORM DRAIN PIPES. CONNECT INLET AND OUTLET STORM DRAIN PIPES WITH FLEXIBLE BOOTS (WHEN PROVIDED) AND WITH NON-SHRINK GROUT WHEN NO FLEXIBLE BOOTS ARE PROVIDED. THE INVERT OF THE INLET AND OUTLET PIPE IS TO MATCH WITH THE INVERT OF THE STORMCEPTOR INSERT. FLEXIBLE BOOT INSTALLATION PROCEDURES: CENTER THE PIPE IN THE BOOT OPENING. LUBRICATE THE OUTSIDE OF THE PIPE AND/OR THE INSIDE OF THE BOOT, IF THE PIPE OUTSIDE DIAMETER IS THE SAME AS THE INSIDE DIAMETER OF THE BOOT. POSITION THE PIPE CLAMP IN THE GROOVE OF THE BOOT WITH THE SCREW AT THE TOP. TIGHTEN THE PIPE CLAMP SCREW TO 60 INCH POUNDS. IF THE PIPE IS MUCH SMALLER THAN THE BOOT, LIFT THE BOOT SUCH THAT IT CONTACTS THE BOTTOM OF THE PIPE WHILE TIGHTENING THE CLAMP TO ENSURE EVEN CONTRACTION OF THE RUBBER. MOVE THE PIPE HORIZONTALLY AND/OR VERTICALLY TO BRING IT TO GRADE.
- THE STORMCEPTOR SHOULD BE PUMPED OUT WHEN THE SEDIMENT CONTROL MEASURES ARE REMOVED (SITE PERMANENTLY STABILIZED). SEDIMENT AND DEBRIS TO BE DISPOSED OF PROPERLY.
- FINAL INSPECTION.

- DROP PIPES ARE TO BE INSTALLED ONCE THE RISER SECTION CONTAINING THE INSERT HAS BEEN INSTALLED ON THE STORAGE CHAMBER.
- ENTER THE STORAGE CHAMBER AND INSTALL THE INLET DROP PIPE FROM UNDERNEATH THE INSERT. THE INLET DROP PIPE IS EASILY IDENTIFIABLE BY THE T-SECTION FITTING. THE TEE IS ORIENTED SUCH THAT IT IS PERPENDICULAR TO THE DIRECTION OF FLOW IN THE UPSTREAM STORM SEWER. FOR THE SMALLER MODELS(<2000)THE INLET DROP PIPE IS CEMENTED INTO THE COUPLING THAT IS PROVIDED USING THE SUPPLIED PVC CEMENT. FOR THE LARGER MODELS(>=2000)THE INLET DROP PIPE IS CONNECTED INTO A GASKETED COUPLING USING THE SUPPLIED PIPE LUBRICANT. ONCE THE INLET DROP PIPE HAS BEEN INSTALLED, THE CONNECTION SHOULD ALSO BE CAULKED USING THE SUPPLIED(CHEMREX 948 OR BULLDOG PREMIUM PL)SEALANT TO ENSURE AN OIL/WATER TIGHT CONNECTION.
- THE LARGE 24"(610mm)RISER PIPE IS INSERTED INTO THE PROVIDED OUTLET SLEEVE FROM ABOVE WHILE STANDING ON THE INSERT. A FLANGE IS PROVIDED ON THE OUTLET RISER PIPE TO PREVENT IT FROM FALLING INTO THE STORAGE CHAMBER. THE UNDERSIDE OF THE FLANGE MUST BE CAULKED WITH THE PROVIDED CHEMREX 948 SEALANT TO ENSURE AN OIL/WATER TIGHT CONNECTION.
- A 6"(150mm)COUPLING IS PROVIDED ON THE INSERT FOR THE 6"(150mm)SUPPLIED PVC VENT PIPE. THE VENT PIPE SHOULD BE ATTACHED TO THE COUPLING USING THE SUPPLIED PVC CEMENT. ONCE THE CEMENT HAS SET, THE CONNECTION SHOULD ALSO BE CAULKED USING THE SUPPLIED CHEMREX 948 SEALANT TO ENSURE AN OIL/WATER TIGHT CONNECTION.

STORMCEPTOR NOTES AND SPECIFICATIONS

- THE STORMCEPTOR[®] IS PROTECTED BY U.S. PATENT NO. 4,985,148.
- CAST IRON FRAME & COVER TO BE APPROVED BY STORMCEPTOR CORPORATION "STORMCEPTOR" TO BE EMBOSSED ON COVER.
- BEDDING, BACKFILL AND GENERAL INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER AND A PROFESSIONAL ENGINEER BASED ON SITE SPECIFIC SOIL CONDITIONS, SUBJECT TO THE APPROVAL OF THE REGULATORY AGENCIES.
- SIZING OF THE STORMCEPTOR[®] SHALL BE IN ACCORDANCE WITH THE GUIDELINES PROVIDED BY STORMCEPTOR CORPORATION, SUBJECT TO THE APPROVAL OF THE REGULATORY AGENCIES.
- THE STORMCEPTOR[®] SHOULD BE MAINTAINED ANNUALLY AND/OR IMMEDIATELY FOLLOWING ANY KNOWN SPILLS.
- THE STORMCEPTOR[®] CONFORMS TO ASTM C 478 DESIGN SPECIFICATIONS/STANDARDS.
- MINIMUM NUMBER OF STEPS IS TO BE USED IN THE ACCESS WAY. DEPENDS UPON LOCAL REQUIREMENTS.
- COVER TO BE OFFSET 9" FROM ACCESS WALL ADJACENT TO 24" Ø OUTLET RISER PIPE AND 6" Ø VENT PIPE.
- NON-SMOOTH WALL O.D. PIPE TO BE GROUTED IN PLACE.
- MINIMUM OF 1" FALL FROM INLET TO OUTLET.
- FURTHER TECHNICAL INFORMATION IS AVAILABLE FROM STORMCEPTOR CORPORATION 1 (800) 762-4703.

INSPECTION NOTES:

- PRIOR TO START OF INSTALLING THE STORMCEPTOR[®] THE MCDPS INSPECTOR MUST BE CALLED 48 HOURS IN ADVANCE AT 217-6301 (PRE-CONSTRUCTION MEETING.)
- THE MCDPS INSPECTOR MUST BE NOTIFIED (217-6301) AT EACH OF THE FOLLOWING STAGES:
 - APPROVAL OF SUBGRADE: PREPARE A COMPACTED GRAVEL BED AT THE BOTTOM OF THE EXCAVATION (TYP. 6" DEEP). COMPACT GRANULAR MATERIAL.
 - PLACE STORMCEPTOR IN EXCAVATION AT CORRECT ELEVATION AND AT CORRECT ALIGNMENT AND GRADE FOR INLET/OUTLET STORMDRAINS. LEVEL UNIT, INSTALL BASE AND LOWER TANK, MIDDLE SECTION WITH STORMCEPTOR INSERT, RISER SECTION TOP SLAB WITH PERSONWAY, LEVELING RINGS AND MANHOLE FRAME AND COVER.
 - BACKFILL STORMCEPTOR WITH SUITABLE NATIVE SOIL (NO ORGANIC OR TOPSOIL IS TO BE USED FOR BACKFILL). BACKFILL AND COMPACT IN 8" LIFTS. BACKFILL SHOULD RECEIVE COMPACTIVE EFFORT.
 - WHEN SITE IS PERMANENTLY STABILIZED AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED & STABILIZED, THEN THE STORMCEPTOR WILL BE PUMPED OUT AND CLEANED AND PLACED IN STORMWATER OPERATION.
 - FINAL INSPECTION.

**MAINTENANCE NOTES
(WATER QUALITY STRUCTURE WASTE)**

- WATER QUALITY STRUCTURES WILL REQUIRE PERIODICAL CLEANING, OWNERS OF THESE FACILITIES WILL HAVE TO CLEAN THEM AS NEEDED.
- MAINTENANCE OF THESE FACILITIES WILL CONSIST OF CLEANING OUT THE STORMCEPTOR[®] AND DISPOSAL OF THE WASTE AND THE REPAIR OF THE FACILITY AS NEEDED. PERIODIC INSPECTIONS OF THESE FACILITIES WILL BE MADE BY THE OWNER.
- THE DISPOSAL OF THE LIQUID AND SOLID MATTER SHALL BE AS FOLLOWS:
 - ALL LIQUID MATERIAL IN THE STORMCEPTOR[®] SHALL BE PUMPED INTO A SUITABLE TANK TRUCK AND DISPOSED OF AT AN APPROVED SANITARY DISTRICT DISCHARGE MANHOLE OR BE TAKEN TO AN APPROVED SEWAGE TREATMENT PLANT FOR DISCHARGE.
 - THE SOLID MATERIAL SHALL BE LANDFILLED IN AN APPROVED SANITARY LANDFILL.
- THE INLET PIPES, AND STRUCTURAL PARTS SHALL BE REPAIRED AS NEEDED.
- STORMCEPTOR[®] INLET AND OUTLET ASSEMBLY SHALL BE PERIODICALLY INSPECTED. BLOCKAGES SHALL BE REMOVED AND DISPOSED OF AS REQUIRED IN 3B ABOVE.


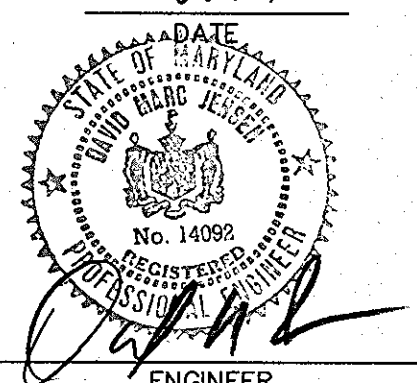
CONSTRUCTION NOTES:

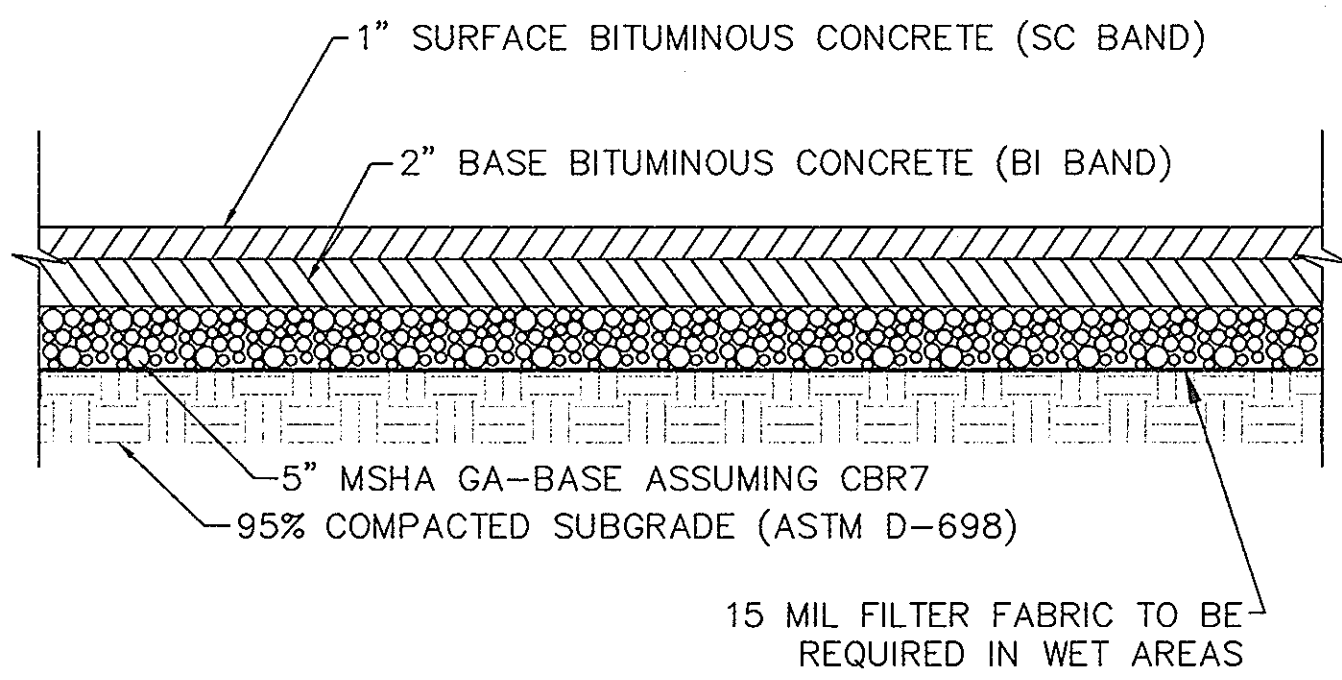
- SILT AND DEBRIS SHALL NOT BE ALLOWED TO ENTER THE STORMCEPTOR[®] UNTIL CONTRIBUTING DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED. SILT MAY BE ALLOWED TO ENTER STORMCEPTOR IF IT IS BEING USED AS A FINAL SEDIMENT CONTROL FILTERING DEVICE.
- ALL OPENINGS TO STRUCTURES SHALL BE PROTECTED WITH THE APPROPRIATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- THE STORMCEPTOR MUST BE PUMPED OUT AND CLEANED AT THE END OF THE CONSTRUCTION OF THE PROJECT.
- AT THE CONTRACTOR'S OPTION THE STORMCEPTOR[®] MAY BE INSTALLED DURING PHASE I INSTALLATION OF STORM DRAINS OR MAYBE INSTALLED UPON STABILIZATION OF THE UPSTREAM CONTRIBUTORY DRAINAGE AREA. IF THE CONTRACTOR ELECTS THE FORMER IT SHALL BE HIS RESPONSIBILITY TO REPAIR / REPLACE STORMCEPTOR[®] STRUCTURE / APPURTANCES OF ANY DAMAGE DUE TO ITS USE DURING CONSTRUCTION AND SHALL BE RENDERED FULLY FUNCTIONAL AT NO ADDITIONAL COST TO OWNER. IF THE LATER OPTION IS CHOSEN CONTRACTOR SHALL INSTALL TEMPORARY CMP AT STORMCEPTOR[®] LOCATION IN LINE AND ON GRADE. TEMPORARY CMP TO BE REMOVED UPON INSTALLTION OF STORMCEPTOR[®].

**OPERATION AND MAINTENANCE SCHEDULE FOR
STORMCEPTOR WATER QUALITY DEVICE**

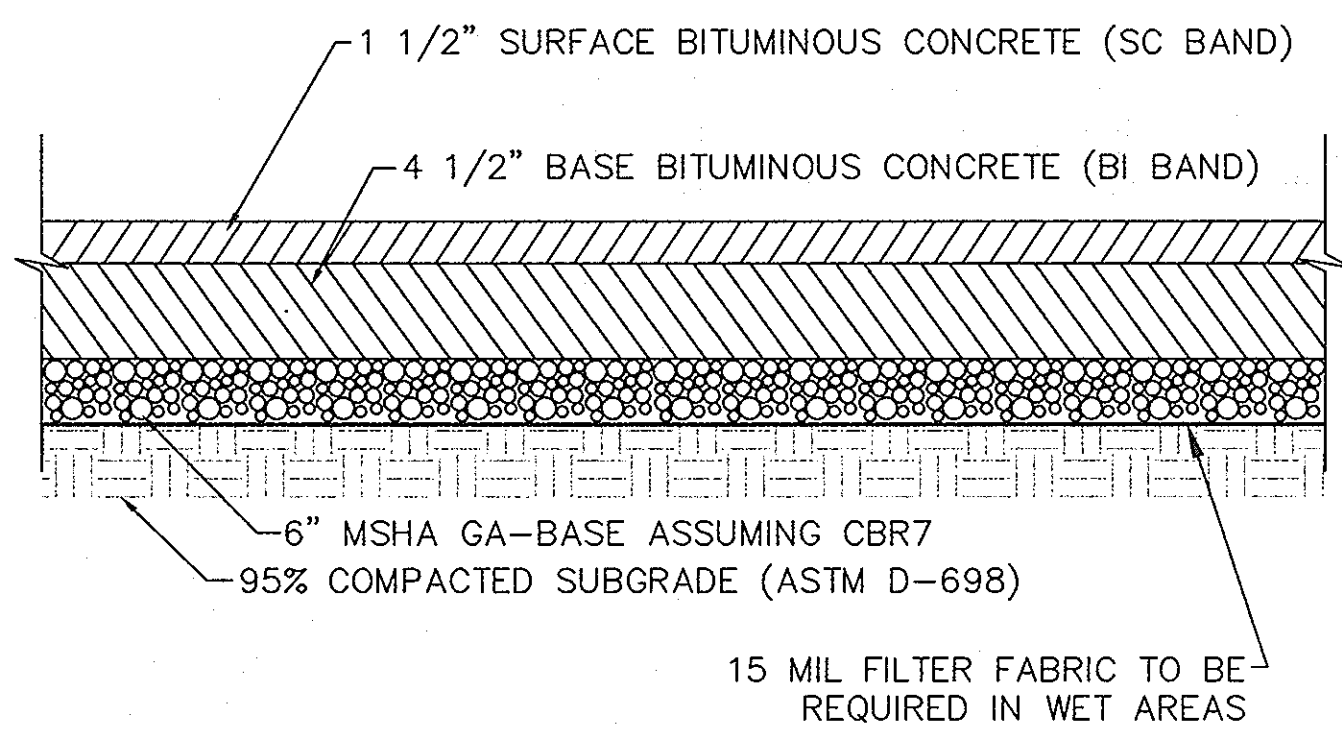
- STORMCEPTOR WATER QUALITY STRUCTURES WILL REQUIRE PERIODIC INSPECTION AND CLEANING TO MAINTAIN OPERATION AND FUNCTION. OWNERS WILL HAVE THE STORMCEPTOR UNIT INSPECTED YEARLY OR AS REQUIRED BY HOWARD COUNTY, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS CAN BE DONE BY USING A CLEAR PLEXIGLAS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN SEDIMENT DEPTHS EXCEED THE SPECIFIED LEVEL (TABLE 6 OF TECHNICAL MANUAL) THEN CLEANING OF THE UNIT IS REQUIRED.
- STORMCEPTOR WATER QUALITY STRUCTURES MUST BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS, CONTACT APPROPRIATE REGULATORY AGENCIES.
- MAINTENANCE OF STORMCEPTOR UNITS SHOULD BE DONE BY A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN UNIT. THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED.
- INLET AND OUTLET PIPES MUST BE CHECKED FOR ANY OBSTRUCTIONS AND IF ANY OBSTRUCTIONS ARE FOUND THEY MUST BE REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR WILL BE REPAIRED AS NEEDED.
- OWNER SHALL RETAIN AND MAKE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

**FOR TECHNICAL INFORMATION CALL STORMCEPTOR CORPORATION AT 1-800-762-4703.
TO ORDER AND FOR DELIVERY CONTACT CSR-HYDRO CONDUIT, VIRGINIA
PRECAST AT 1-800-999-2278 AT LEAST 4 WEEKS PRIOR TO NEEDED DELIVERY.**

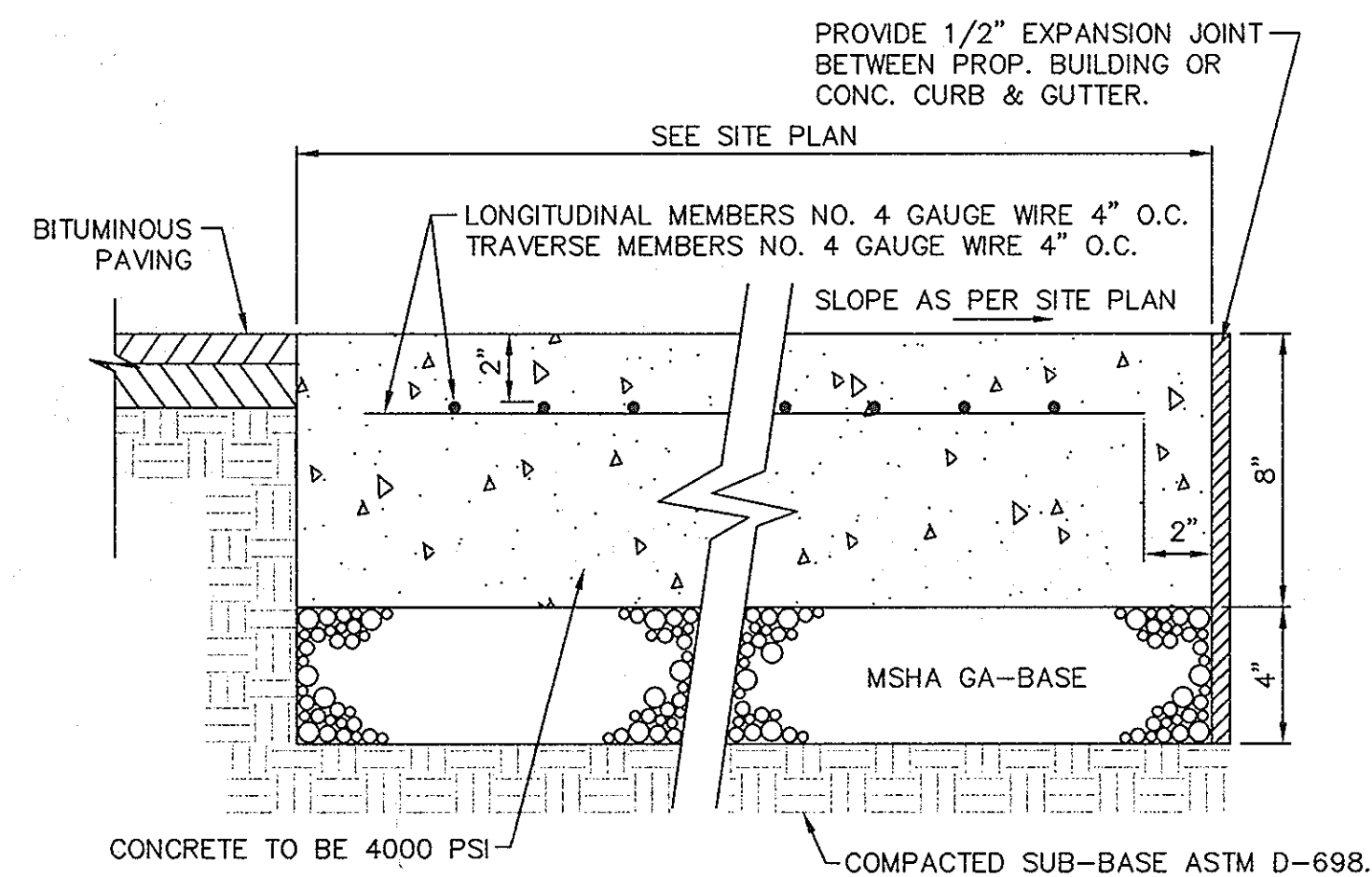
APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
DIRECTOR	DATE 2/17/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 1/26/00
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 2/14/00
DATE	REVISION
OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP C/O GINGERY DEVELOPMENT GROUP 1001 ROCKVILLE PIKE SUITE 503 ROCKVILLE, MARYLAND 20852 (301) 424-3600 ATTN: MR. MONTE GINGERY	
PROJECT	WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL "C"
AREA	TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	STORMCEPTOR NOTES
	
<small>ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS</small> <small>VIFA INCORPORATED</small> <small>4845 GOVERNORS WAY, SUITE 1 ■ FREDERICK, MARYLAND 21704</small> <small>(301) 662-5034 ■ FAX (301) 620-7899</small> <small>FREDERICK, MD ■ BELLEVILLE, VA</small> <small>ATTN: US. COUR. MAILING</small>	
10/8/99	SDP-99-169
	DESIGNED BY: CLM
	DRAWING BY: RND
	PROJECT/FILE NO. 5457
	DATE: OCT. 1999
	SCALE: NO SCALE
	DRAWING No. <u>10</u> OF <u>14</u>
	SDP-99-169



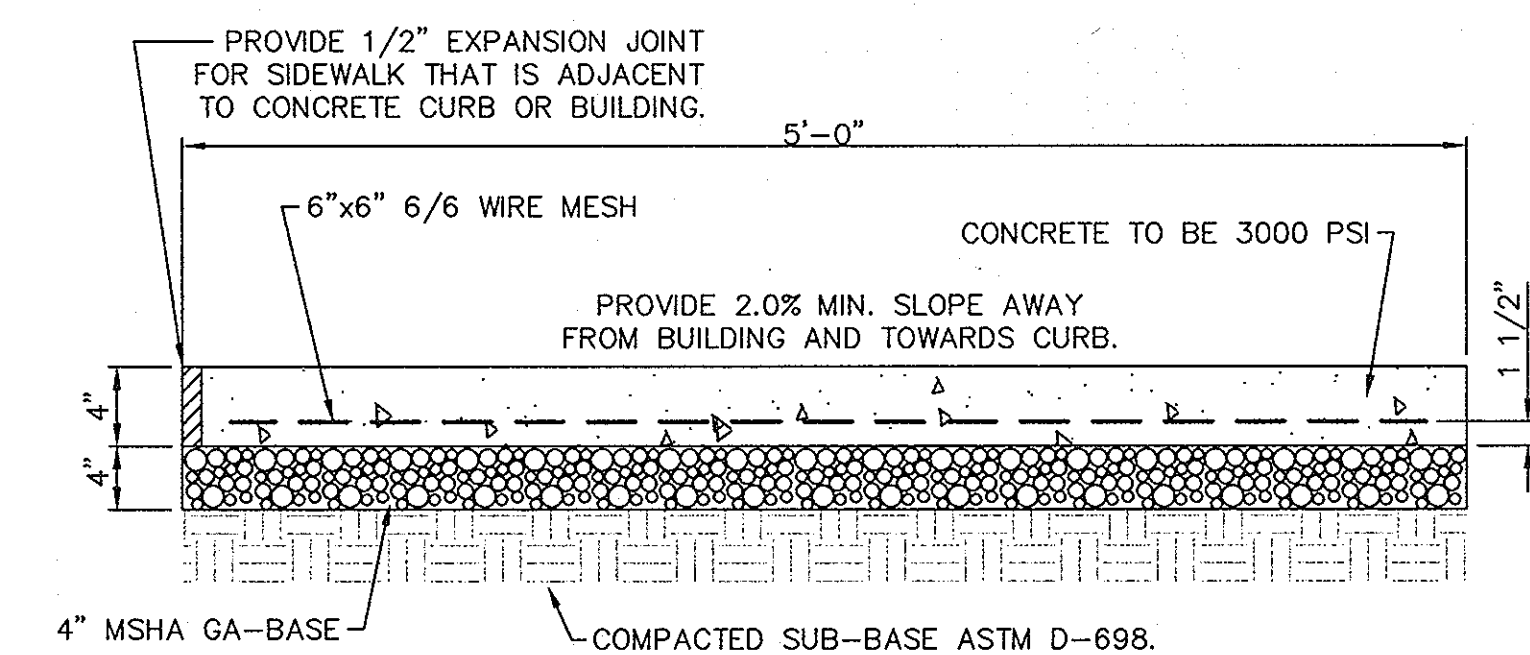
1
11 LIGHT DUTY PAVING SECTION
NOT TO SCALE



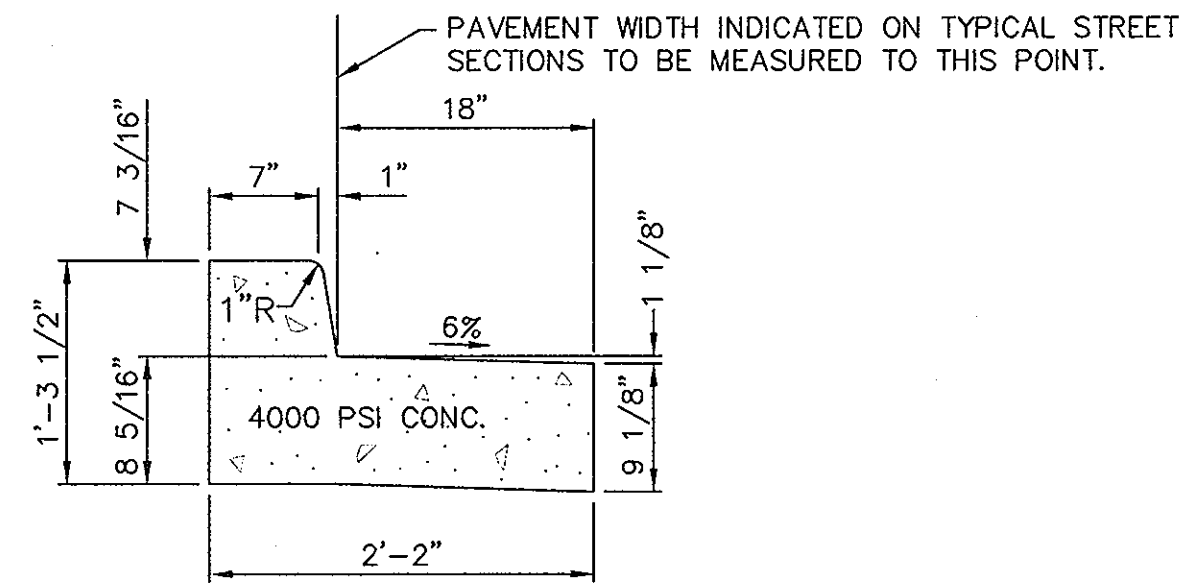
2
11 HEAVY DUTY PAVING SECTION
NOT TO SCALE



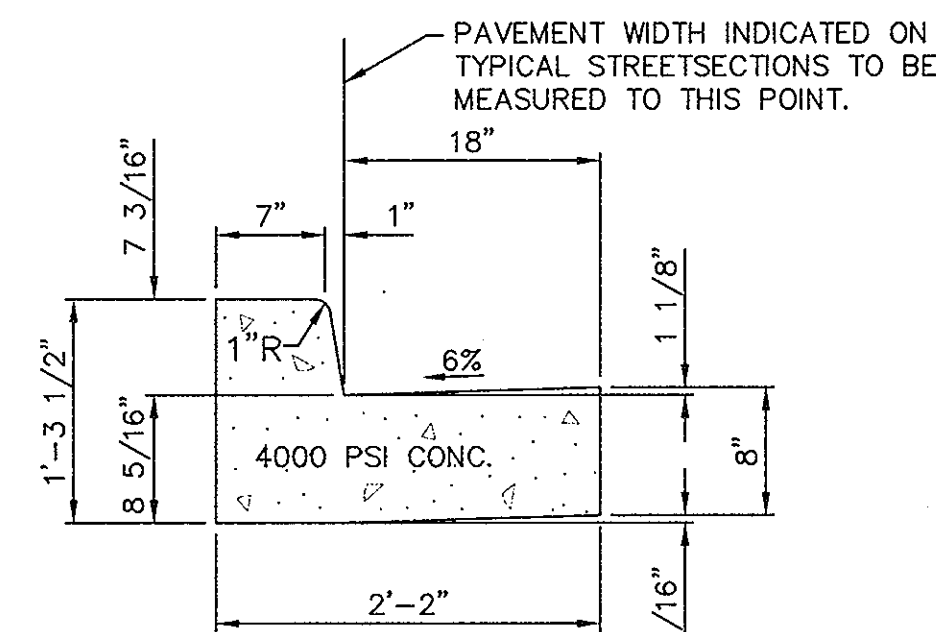
3
11 CONCRETE PAVEMENT
NOT TO SCALE



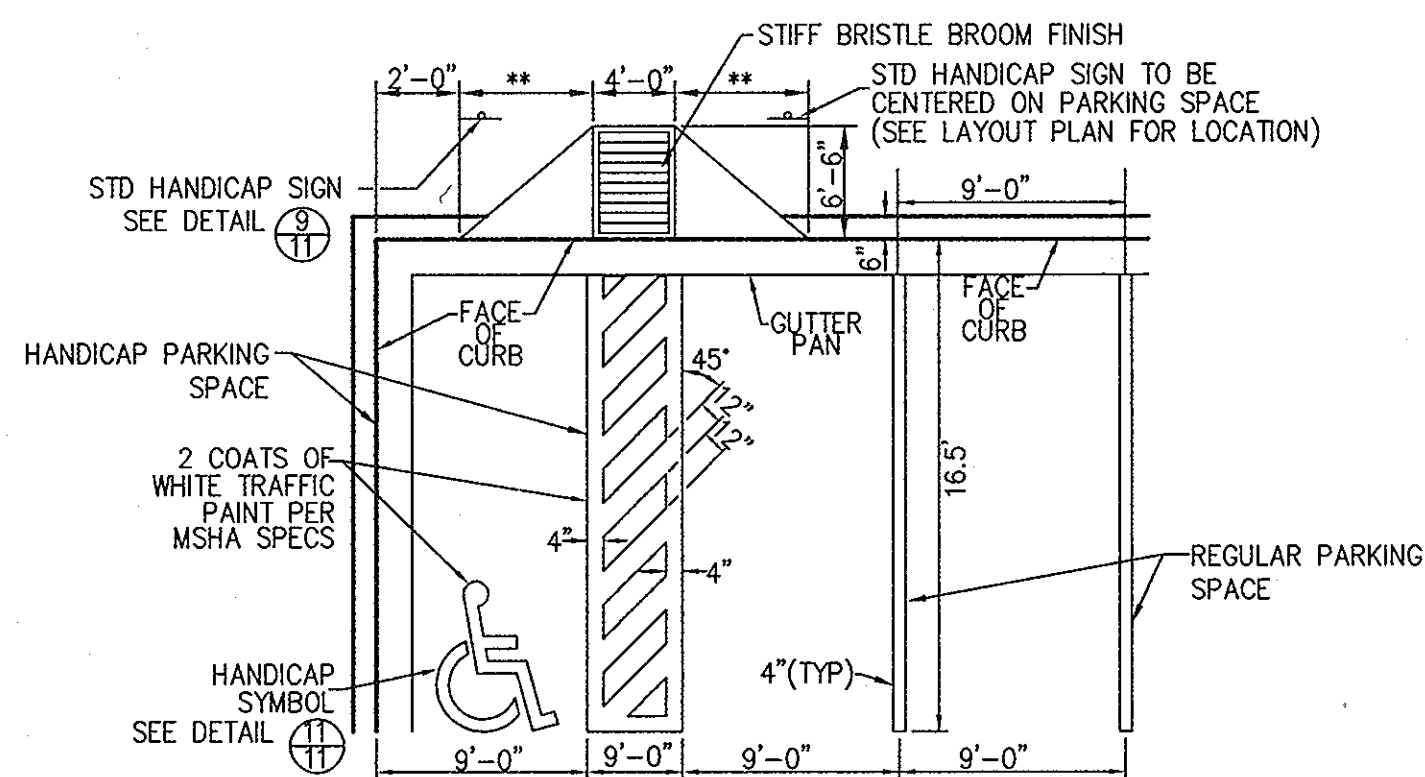
4
11 SIDEWALK DETAIL
NOT TO SCALE



5
11 CONCRETE COMBINATION
REVERSE CURB & GUTTER
HO. CO. DETAIL R-3.01
NOT TO SCALE



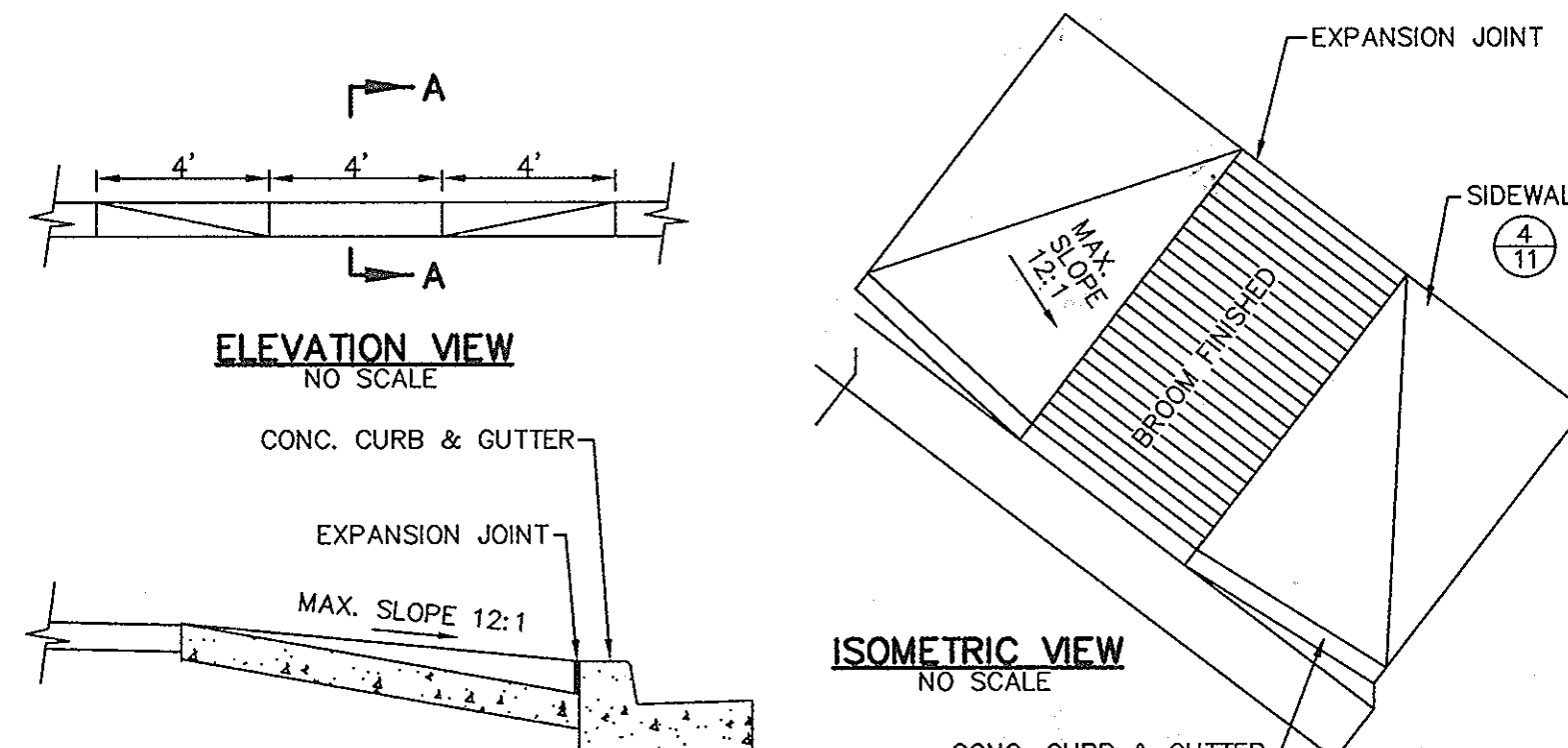
6
11 CONCRETE COMBINATION
CURB & GUTTER
HO. CO. DETAIL R-3.01
NOT TO SCALE



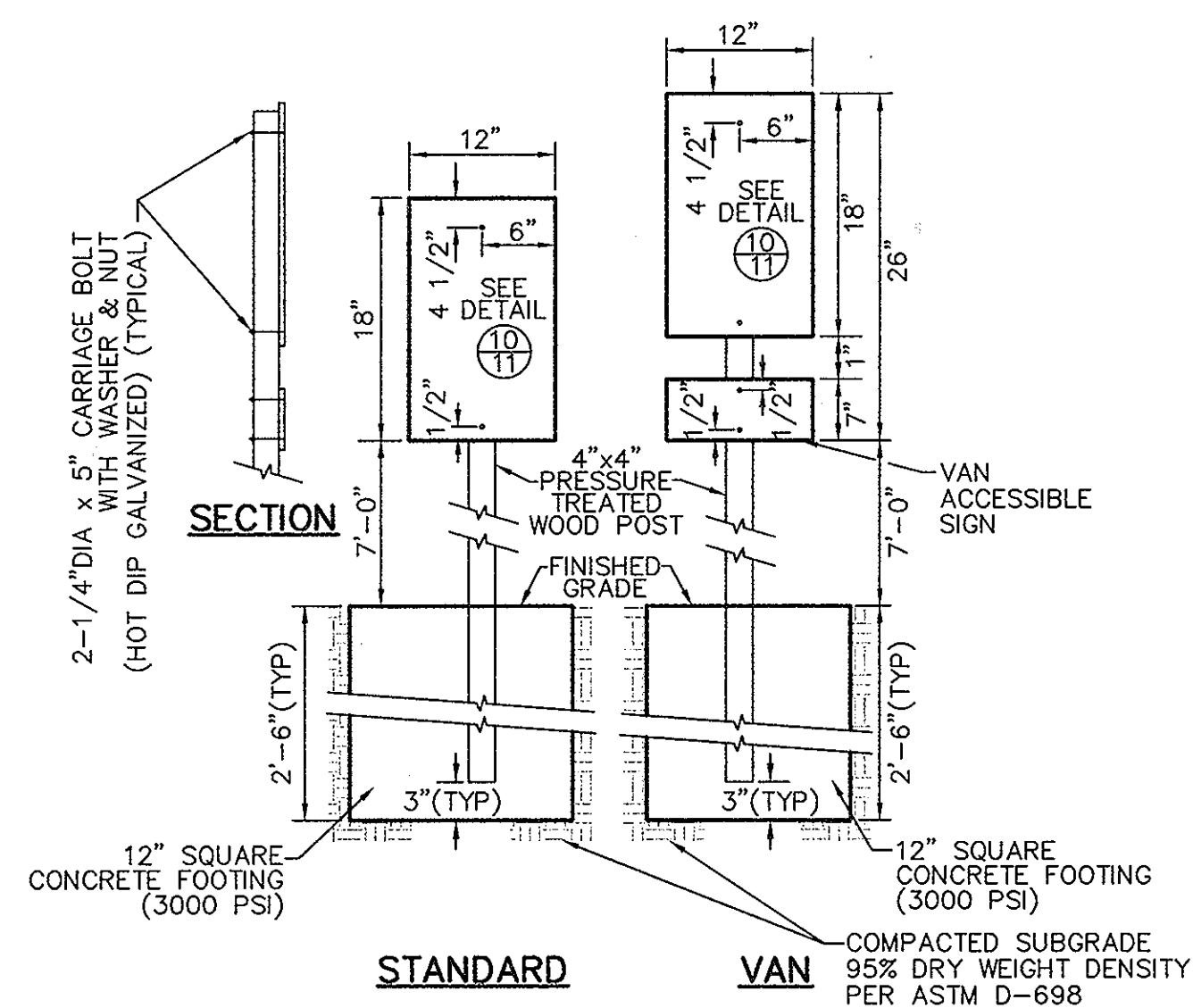
** IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARD RAILS, IT SHALL HAVE FLARED SIDES NOT EXCEEDING A SLOPE OF 1:10. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS WILL NOT WALK ACROSS THE RAMP, THEN THE FLARED SIDES MAY NOT EXCEED A SLOPE OF 1:4.

NOTE:
ALL HANDICAP ACCESSIBLE PARKING STALLS SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL A.D.A. STANDARDS.

7
11 HANDICAP PARKING STALL AND
REGULAR PARKING STALL LAYOUT
NOT TO SCALE

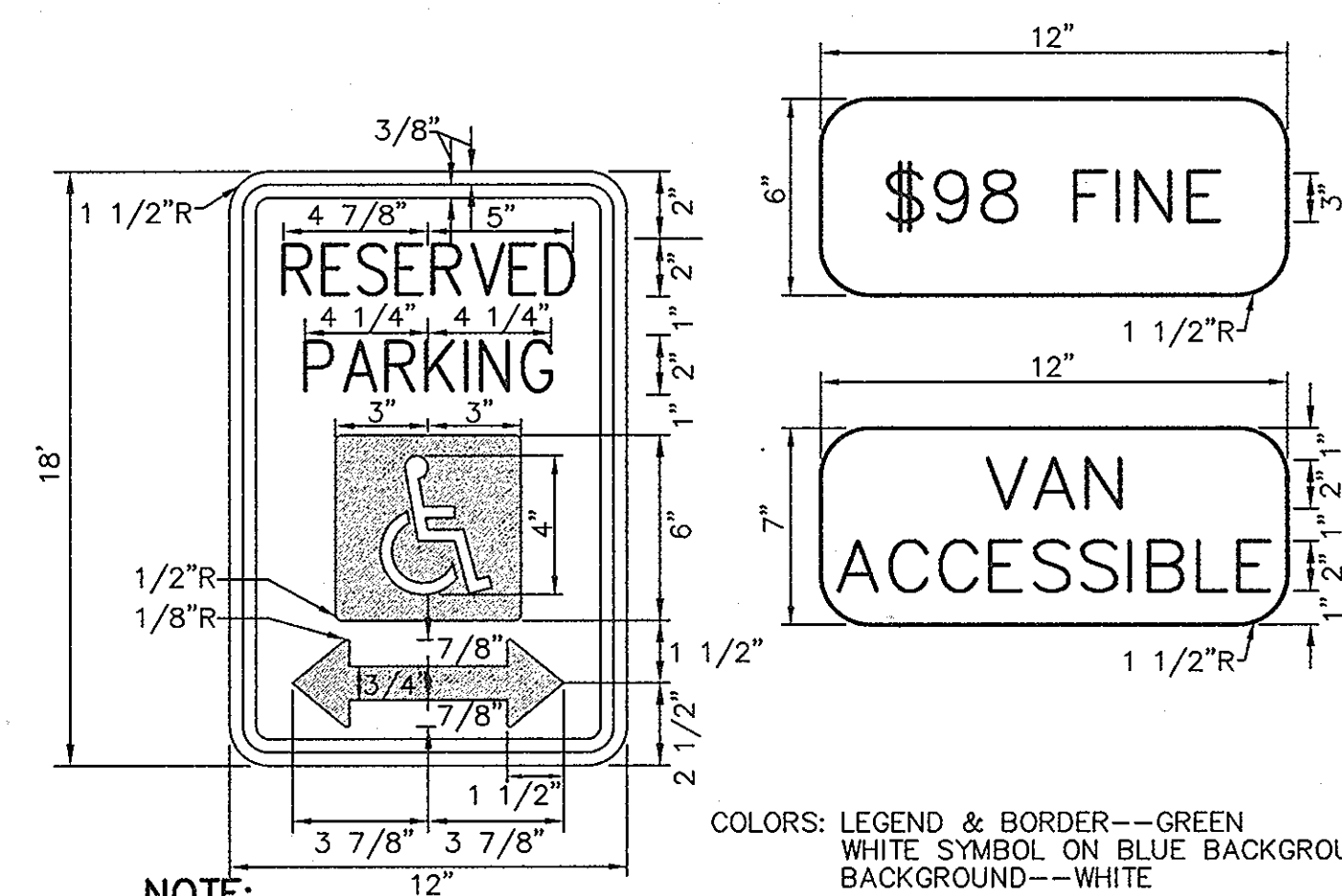


8
11 HANDICAPPED RAMP
HO. CO. DETAIL R-4.01
NOT TO SCALE



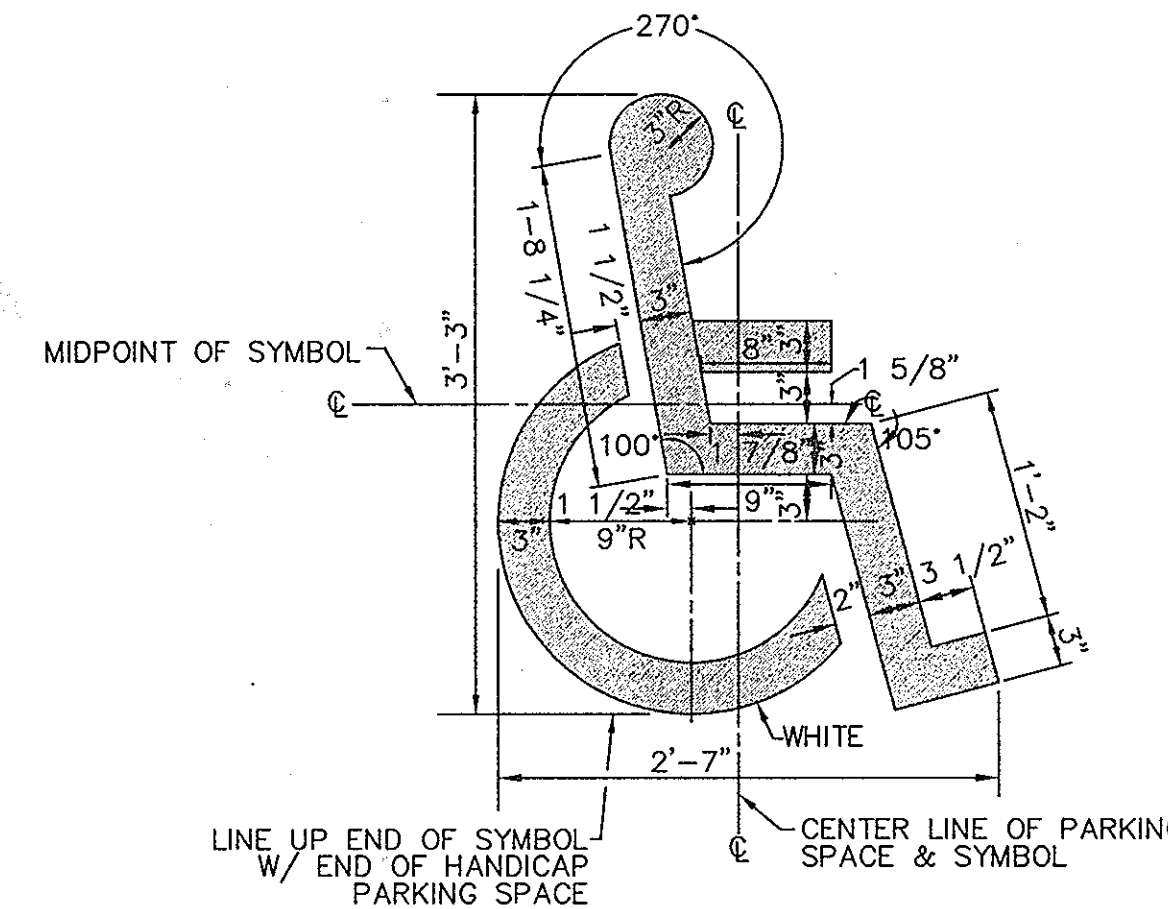
NOTE:
ALL SIGNS SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL A.D.A. STANDARDS.

9
11 HANDICAP SIGN AND POST DETAIL
NOT TO SCALE



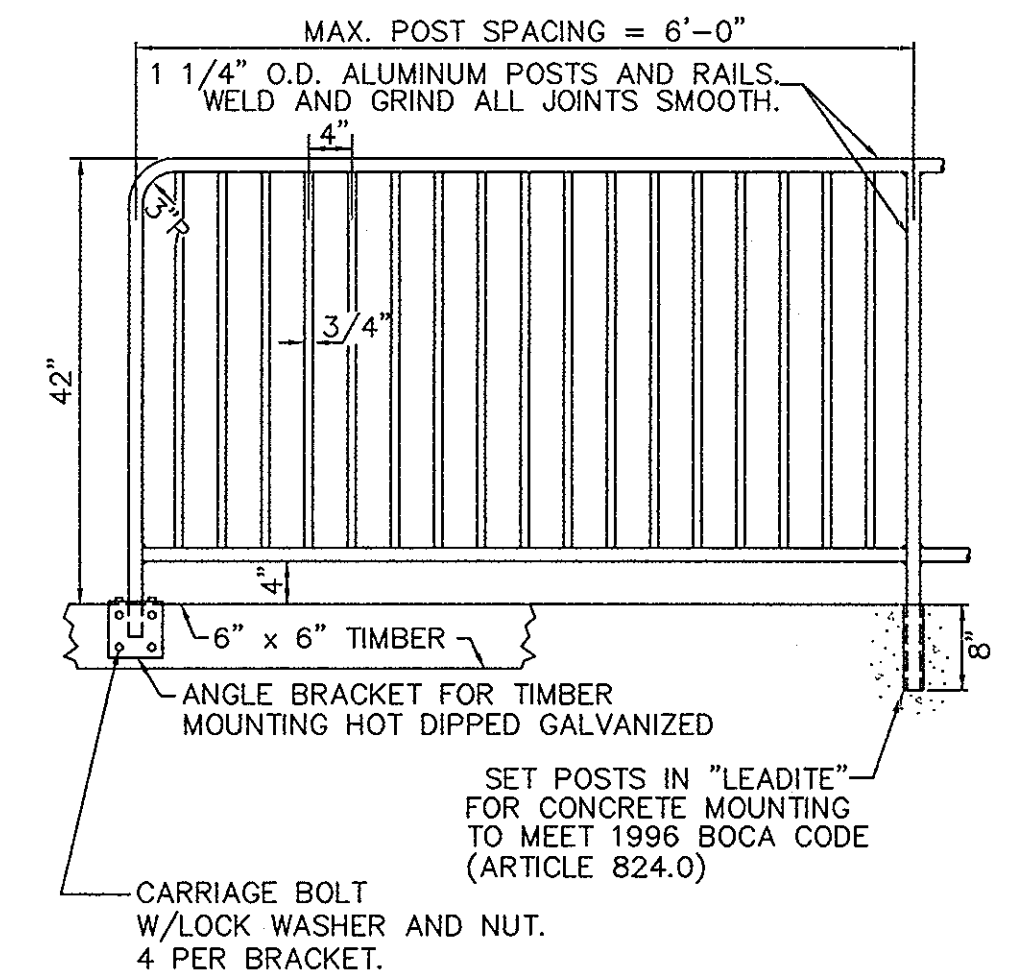
NOTE:
ALL SIGNS SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL A.D.A. STANDARDS.

10
11 HANDICAP SIGN LAYOUT
NOT TO SCALE

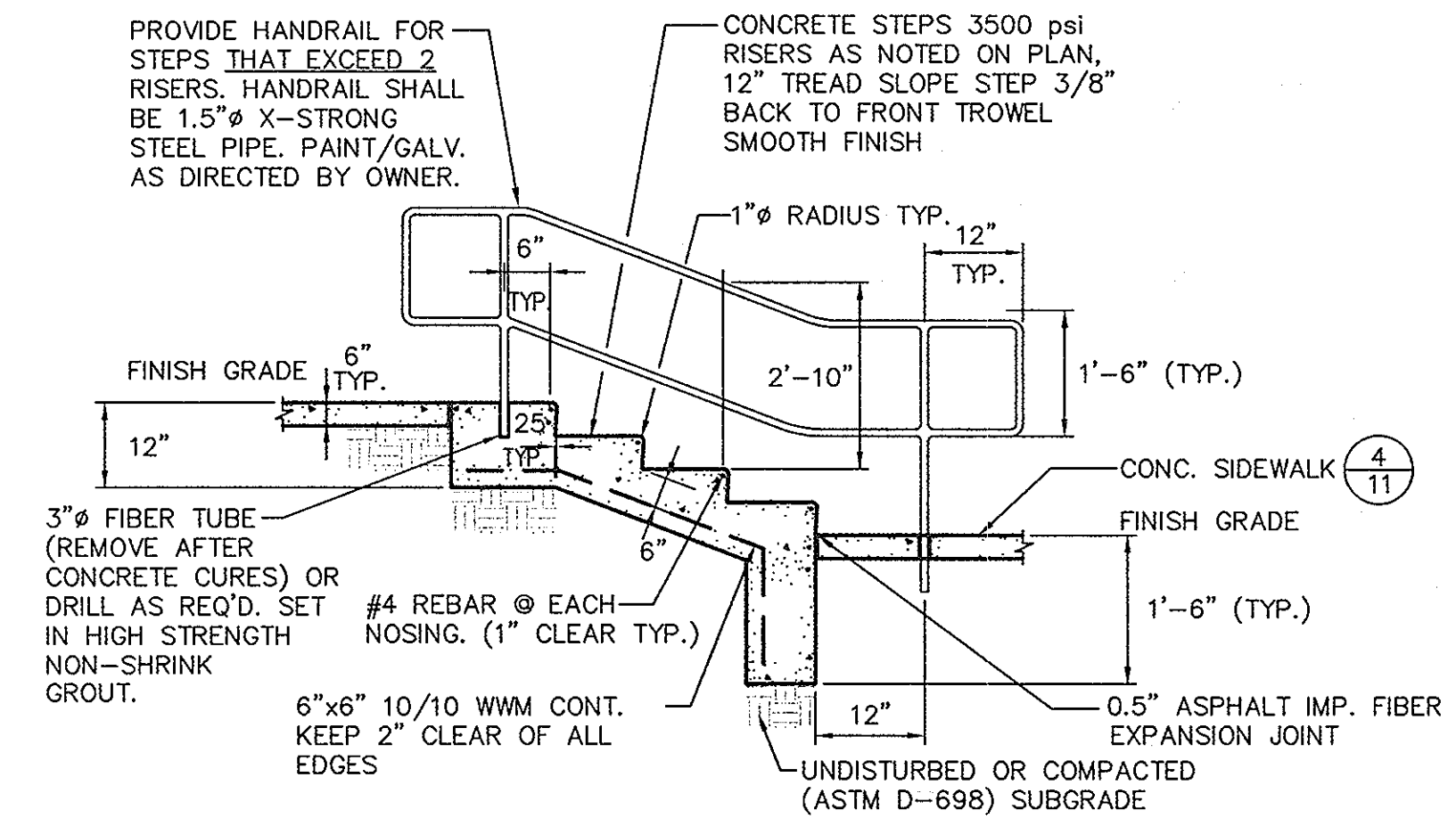


NOTE:
1. PLACE HEAD OF SYMBOL TOWARD CURB.
2. ALL HANDICAP ACCESSIBLE PARKING STALLS SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL A.D.A. STANDARDS.

11
11 HANDICAP ACCESS STENCIL LAYOUT
NOT TO SCALE



12
11 METAL SAFETY RAIL
NOT TO SCALE

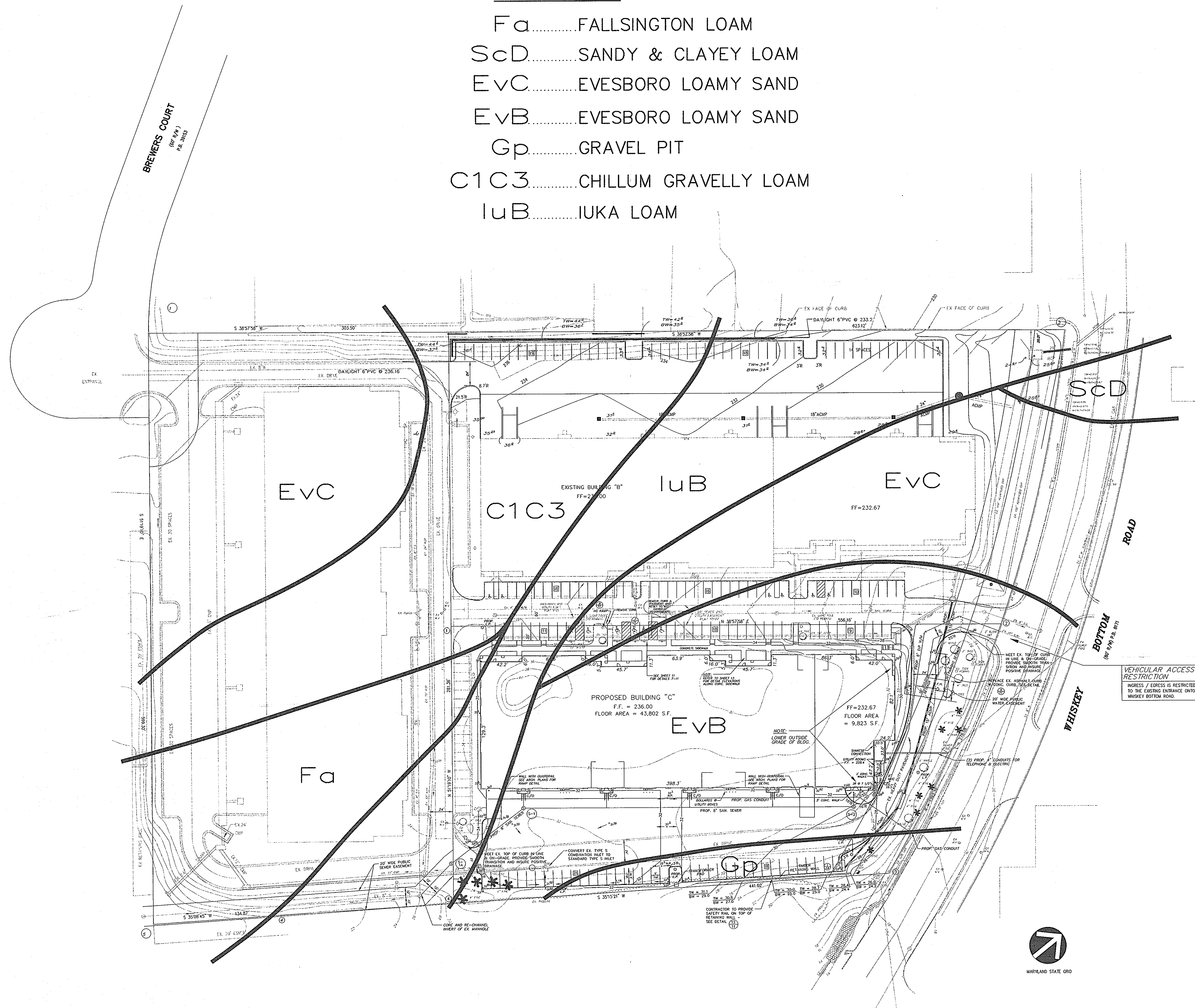


13
11 CONCRETE STEPS WITH HANDRAIL
NOT TO SCALE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
DIRECTOR	DATE: 2/17/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 1/25/00
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE: 2/14/00
DATE	REVISION
OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP C/O GINGERY DEVELOPMENT GROUP 1001 ROCKVILLE PIKE SUITE 503 ROCKVILLE, MARYLAND 20852 (301) 424-3600 ATTN: MR. MONTE GINGERY	
PROJECT: WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL "C"	
AREA	TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE: SITE DETAILS	
<small>ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS</small> <small>VITA INCORPORATED</small> <small>4845 GOVERNORS WAY SUITE 1 ■ FREDERICK, MARYLAND 21704</small> <small>(301) 662-5034 ■ FAX (301) 620-7699</small> <small>FREDERICK, MD ■ HALEM, VA</small> <small>ATTN: MS. CHERYL HAZELTON</small>	
	SDP-99-169 DESIGNED BY: CLM DRAWING BY: RND PROJECT/FILE NO. 5457 DATE: AUG. 1999 SCALE: NO SCALE DRAWING No. 11 OF 14 ENGINEER

LEGEND

- Fa.....FALLSINGTON LOAM
- ScD.....SANDY & CLAYEY LOAM
- EvC.....EVESBORO LOAMY SAND
- EvB.....EVESBORO LOAMY SAND
- Gp.....GRAVEL PIT
- C1C3.....CHILLUM GRAVELLY LOAM
- IuB.....IUKA LOAM



BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *[Signature]* DATE: 1/6/2000

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: *[Signature]* DATE: 12/30/99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

[Signature] 1-29-00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 1-27-00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/19/00
DIRECTOR DATE

[Signature] 1/20/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 2/14/00
CHIEF, DIVISION OF LAND DEVELOPMENT

6/99	1	REVISIONS TO BUILDING & SIDEWALKS PER ARCHITECT
DATE	NO.	REVISION

OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP
C/O GINGERY DEVELOPMENT GROUP
1001 ROCKVILLE PIKE SUITE 503
ROCKVILLE, MARYLAND 20852
(301) 424-3600
ATTN: MR. MONTE GINGERY

PROJECT: WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL C

AREA: TAX MAP No. 50 PARCEL C
SIXTH (6) ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SOILS MAP

VIA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS
VIA INCORPORATED
4845 GOVERNORS WAY SUITE L ■ FREDERICK, MARYLAND 21704
(301) 362-5034 ■ FAX (301) 362-7028
FREDERICK, MD ■ MCFEAN, VA
ATTN: MS. CHERYL HAZELTON

DATE: 8/2/99
SDP-99-169
DESIGNED BY: CLM
DRAWING BY: RND
PROJECT/FILE NO. 5457
DATE: AUG. 1999
SCALE: 1" = 50'
DRAWING No. 12 OF 14
ENGINEER

MD 12/14/99
STATE OF MARYLAND
Professional Engineer
No. 14009
RND



C:\PROJ\505457\5457202.DWG

EXISTING BUILDING "B"
FF=236.00

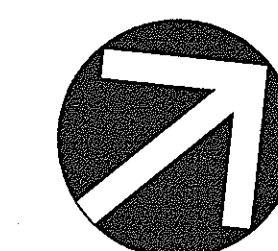
PARCEL B
WHISKEY BOTTOM TRADE CENTER
LIMITED PARTNERSHIP
L. 4261 F. 397
ZONED M-2
TAX ACCOUNT No. 399940

FF=232.67

PROPOSED BUILDING "C"
F.F. = 236.00
FLOOR AREA = 43,802 S.F.

FF=232.67
FLOOR AREA
= 9,481 S.F.

NOTE:
LOWER OUTSIDE
GRADE OF BLDG.



MARYLAND STATE GRID

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
DIRECTOR <i>[Signature]</i>	DATE 2/17/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION <i>[Signature]</i>	DATE 1/20/00
CHIEF, DIVISION OF LAND DEVELOPMENT <i>[Signature]</i>	DATE 2/14/00
1/00 2 REVISED BUILDING FOOTPRINT	
6/99 1 REVISIONS TO BUILDING & SIDEWALKS PER ARCHITECT	
DATE No.	REVISION
OWNER:	WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP C/O GINGERY DEVELOPMENT GROUP 1001 ROCKVILLE PIKE SUITE 503 ROCKVILLE, MARYLAND 20852 (301) 424-3600 ATTN: MR. MONTE GINGERY
PROJECT:	WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL C
AREA:	TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE:	HANDICAP ACCESSIBILITY PLAN
VIA	
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS	
VIA INCORPORATED 4845 GOVERNORS WAY, SUITE 1 ■ FREDERICK, MARYLAND 21704 (301) 662-5034 ■ FAX (301) 620-7899 FREDERICK, MD ■ VALENTI, VA ATTN: MS. CHERYL WAZELON	
DATE 01/13/00	SDP-99-169
<i>[Professional Engineer Seal]</i>	DESIGNED BY: CLM
	DRAWING BY: RND
	PROJECT/FILE NO. 5457
	DATE: JAN. 2000
SCALE: 1" = 20'	
DRAWING No. 13 OF 14	
ENGINEER	SDP-99-169

WHISKEY BOTTOM TRADE CENTER
PARCEL 'C' LAUREL, MARYLAND

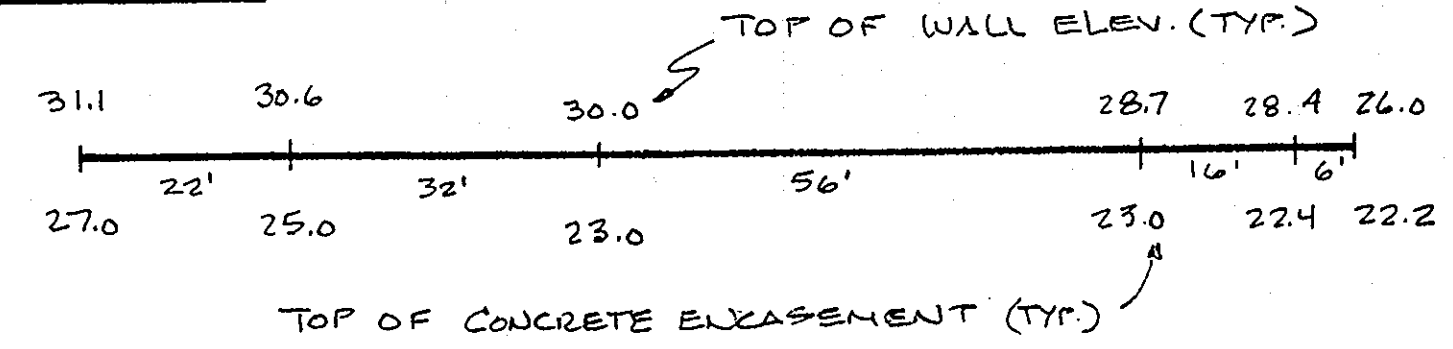
SHEET # 1 OF 6
12/2/99
REVISED 12/2/99

WHISKEY BOTTOM
TRADE CENTER C

FOUNDATIONS UNLIMITED, INC.
(301) 962-8100

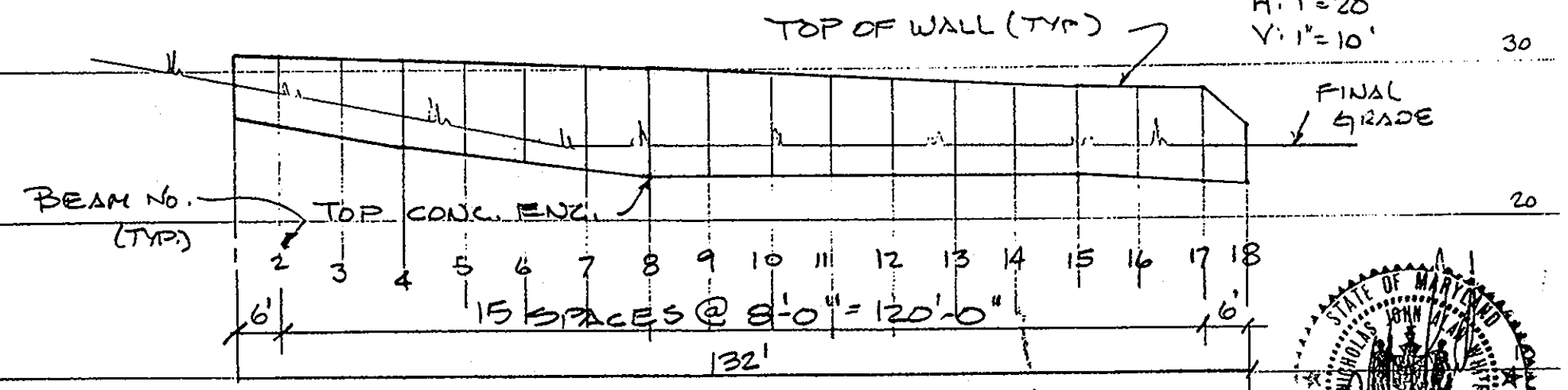
SHEET # 3 OF 6
12/2/99

PLAN 1"=20'



RETAINING WALL PLAN & ELEVATION

ELEVATION
H: 1"=20'
V: 1"=10'

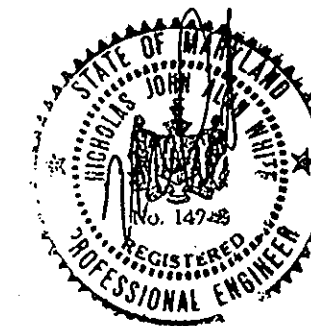


FOUNDATIONS UNLIMITED, INC. (301) 962-8100

BEAM NUMBER	STATION NUMBER	GRADE TOP WALL	GRADE BOTTOM WALL	TOP CAISSON CONC.	CONC. ENCASE DIA.	H DESIGN HEIGHT	Pa + Ps KIPS	X IN FT. WHERE V=0	Mmax FT-KIPS	Sx REQD IN3
1	0.00	31.1	29.0	27.0	24	4.1	4.563	3.384	16.532	6.613
2	6.00	30.9	28.3	26.3	24	4.6	5.534	3.727	22.235	8.894
3	14.00	30.8	27.7	25.7	24	5.1	6.594	4.068	29.096	11.638
4	22.00	30.6	27.0	25.0	24	5.6	7.745	4.409	37.222	14.889
5	30.00	30.5	26.5	24.5	24	6.0	8.730	4.681	44.704	17.882
6	38.00	30.3	26.0	24.0	24	6.3	9.507	4.885	50.924	20.369
7	46.00	30.2	25.5	23.5	24	6.7	10.593	5.156	60.070	24.028
8	54.00	30.0	25.0	23.0	24	7.0	11.445	5.390	67.600	27.040
9	62.00	29.8	25.0	23.0	24	6.8	10.873	5.224	62.515	25.006
10	70.00	29.7	25.0	23.0	24	6.7	10.593	5.156	60.070	24.028
11	78.00	29.5	25.0	23.0	24	6.5	10.043	5.021	55.372	22.149
12	86.00	29.3	25.0	23.0	24	6.3	9.507	4.885	50.924	20.369
13	94.00	29.1	25.0	23.0	24	6.1	8.985	4.749	46.718	18.687
14	102.00	28.9	25.0	23.0	24	5.9	8.478	4.613	42.748	17.099
15	110.00	28.7	25.0	23.0	24	5.7	7.966	4.477	39.008	15.603
16	118.00	28.6	24.7	22.7	24	5.5	8.478	4.613	42.748	17.099
17	126.00	28.4	24.4	22.4	24	6.0	8.730	4.681	44.704	17.882
18	132.00	26.0	24.2	22.2	24	3.8	4.024	3.178	13.624	5.450

CONSTRUCTION NOTES:

ALL CONCRETE TO BE f'c = 3000 PSI MIN. @ 28 DAYS
BEAM STEEL TO BE GRADE 50 (50 KSI MIN. YIELD)
BEAMS SPACED AT 8 FOOT CENTERS MAX. IN 24" DIA. PREDRILLED HOLES
ALL 4" X 6" TIMBERS TO BE CCA TREATED 0.40 RETENTION
SEE CIVIL DRAWINGS FOR LOCATION & WALL LAYOUT



WHISKEY BOTTOM TRADE CENTER
PARCEL 'C' LAUREL, MARYLAND

SHEET # 6 OF 6
12/2/99
REVISED 12/2/99

COLUMN J - Mmax FT-KIPS = MAXIMUM MOMENT ON BEAM (ABOUT POINT X BELOW SPREADS)
FOR #10 Mmax = (Pa + Ps) (H/3 + X) - Pd (X/3)
= 10.59 (6.7/3 + 5.16) - (1.66 x 0.12) (5.16)^2 / 2 x 24 / 12 x (5.16/3)
= 78.28 - 13.22 = 65.07 FT-KIPS/BEAM

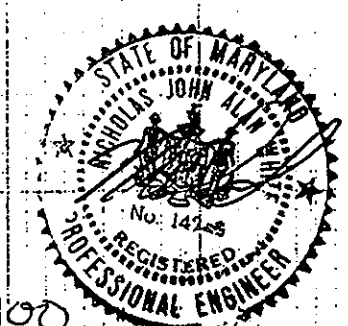
COLUMN K - Sx REQD IN3 = BEAM SECTION MODULUS REQD.
Sx MIN = Mmax x 12 / (50 x 0.60) = 1300.4 IN3
OR #10 - Sx = 1007 x 12 / (50 x 0.60) = 24.028 IN3
FROM AISC MANUAL (NEED 12" PILE FOR PROPER DRAINAGE; 4" FLANGE FOR BOARDS)
SELECT W12 x 26 Sx = 33.4 IN3

COLUMN L + M - TRIAL & ERROR SOLVER FOR SUMMING MOMENTS ABOUT D (CALCULATED TOE)
VARY COLUMN L TILL M CLOSES IN ON ZERO
OR FOR #10 (Pa + Ps) (L/3 + D) - Pd (D/3) = 0
OR 10.59 x (6.7/3 + 0) - (1.66 x 0.12) x D^2 / 2 x 24 / 12 x D/3 = 0
OR 23.70 + 10.59 D - 0.1328 D^2 = 0
USING D = 9.9 -> 0.33 (CLOSE AS POS TO ZERO)

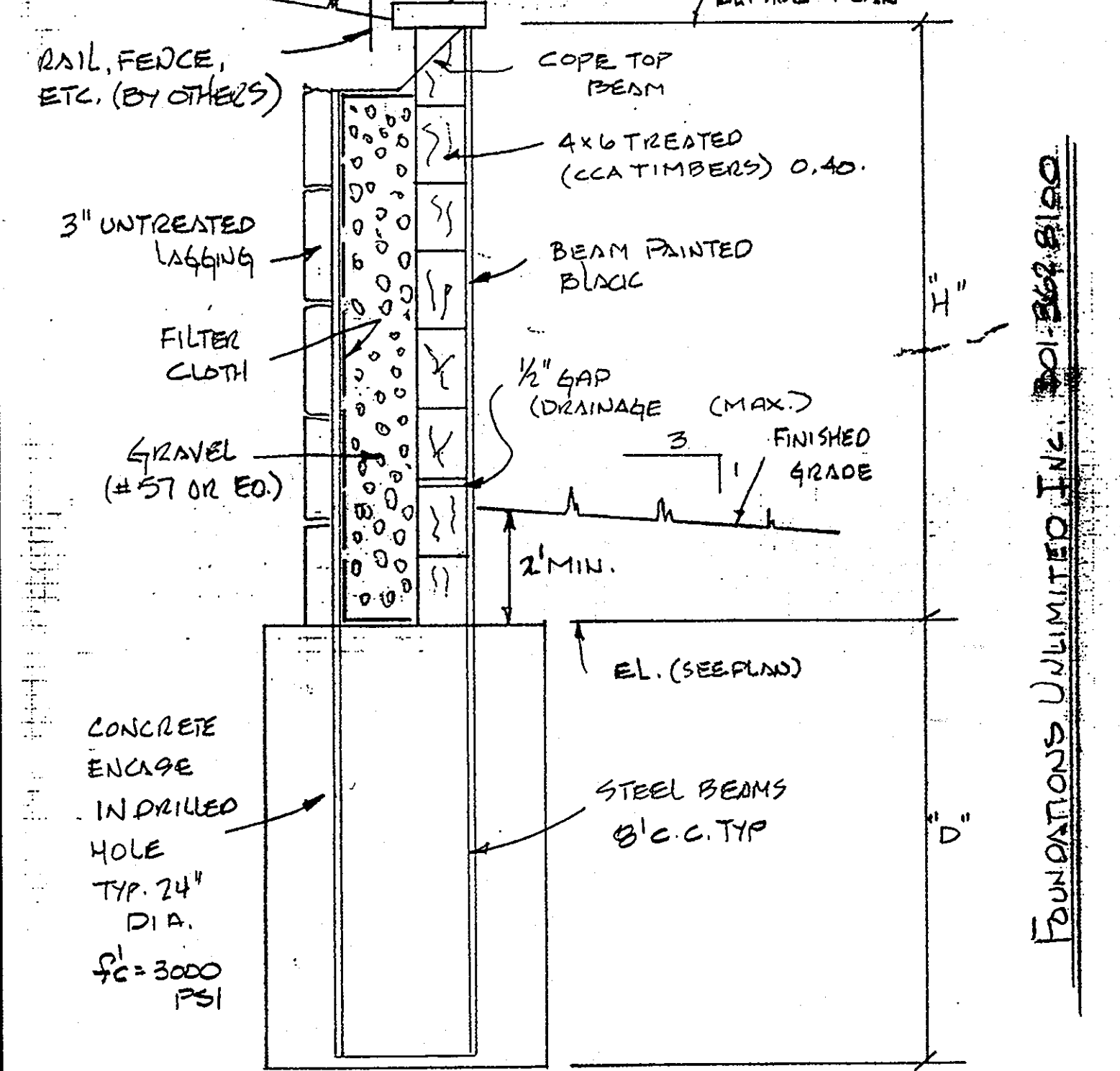
COLUMN N - D USED = CALCULATED TOE + 20%
FOR #10 9.9 x 1.20 = 11.9'

COLUMN O - BEAM LENGTH = H + TOE
FOR #10 = 6.7 + 11.9' = 18.6'

FOUNDATIONS UNLIMITED, INC. 301 962-8100



WHISKEY BOTTOM TRADE CENTER C
SHEET 2 OF 6
12/2/99
REVISED 12/2/99



WHISKEY BOTTOM
TRADE CENTER C

BEAM NUMBER	STATION NUMBER	BEAM TYPE	D IN FT. EMB	CALC	D used IN FT.	BEAM L IN FT.
1	0.00	W12X26	6.5	-0.57	7.8	11.9
2	6.00	W12X26	7.1	0.24	8.5	13.1
3	14.00	W12X26	7.8	-0.37	9.4	14.5
4	22.00	W12X26	8.4	0.80	10.1	15.7
5	30.00	W12X26	9.0	-0.78	10.8	16.8
6	38.00	W12X26	9.4	-0.97	11.3	17.6
7	46.00	W12X26	9.9	-0.33	11.9	18.6
8	54.00	W12X26	10.3	-0.53	12.4	19.4
9	62.00	W12X26	10.0	0.58	12.0	18.8
10	70.00	W12X26	9.9	-0.33	11.9	18.6
11	78.00	W12X26	9.8	0.67	11.5	18.0
12	86.00	W12X26	9.4	-0.97	11.3	17.6
13	94.00	W12X26	9.1	-0.04	10.9	17.0
14	102.00	W12X26	8.8	0.78	10.6	16.5
15	110.00	W12X26	8.6	-0.62	10.3	16.0
16	118.00	W12X26	8.8	0.78	10.6	16.5
17	126.00	W12X26	9.0	-0.78	10.8	16.8
18	132.00	W12X26	6.1	-0.50	7.3	11.1

DESIGN NOTES:

PER SOILS REPORT:
ACTIVE SOIL PRESSURE = 45H
SURCHARGE LOADING = 250 PSF, GAMMA = 120 PCF
PASSIVE SOIL PRESSURE = Ka X GAMMA, WHERE Ka = 1.66
X = POINT OF ZERO SHEAR AND Mmax (depth below H)
H = DESIGN HEIGHT OF WALL = EXPOSED HEIGHT + 2 FT.
Dmin = Dcalc + 20%



SHEET 4 OF 6
12/2/99

WHISKEY BOTTOM TRADE CENTER
PARCEL 'C' LAUREL, MARYLAND

SHEET # 5 OF 6
12/2/99
REVISED 12/2/99

SAMPLE LONGHAND & SPREAD SHEET

USING BEAM #10 FOR EXAMPLES

- COLUMN A - BEAM NUMBER - SEE ELEV. SHEET #1
- COLUMN B - STATION NUMBER - DISTANCE FROM BEAM WALL (FT.)
- COLUMN C - TOP OF WALL GRADE - FROM CIVIL PLANS
- COLUMN D - BOTTOM OF WALL GRADE - FROM CIVIL PLANS
- COLUMN E - TOP OF CONCRETE ENCASUREMENT - TAKEN @ 2' BELOW BOTTOM OF WALL ELEV.
- COLUMN F - HOLE DIAMETER (OR ILLUM) ALL 24"
- COLUMN G - DESIGN HEIGHT OF WALL = (COL C - COL E)
- COLUMN H - Pa + Ps (KIPS) = ACTIVE & SURCHARGE LOAD ON WALL
SOILS REPORT SAYS USE 45H + 250 PSF SURCHARGE, X = 120
OR Pa + Ps = 45 (H + 250/120) x 4/2 + SURCHARGE
- FOR #10 Pa + Ps = 45 (6.7 + 250/120) x 4/2 x 8 = 10.59 KIPS/BEAM
- COLUMN I - X IN FT. WHERE V=0
X = DISTANCE BELOW SUBGRADE WHERE HORIZ. FORCES = 0 (OR V. SHEAR = 0) THIS IS POINT OF MAXIMUM MOMENT ON BEAM.
OR Pa + Ps = Kp X^2 / 2 x 2d (d = HOLE DIAMETER)
SOILS REPORT SAYS USE Kp = 1.66, X = 120
FOR #10 10.59 = 1.66 x 0.12 x X^2 / 2 x 24 / 12, X = 5.16

FOUNDATIONS UNLIMITED, INC. 301 962-8100

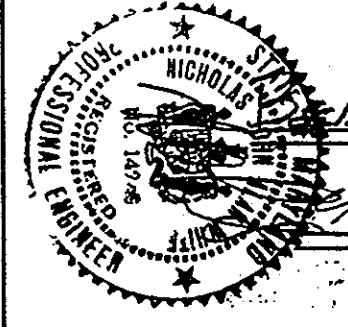


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
DIRECTOR: [Signature] DATE: 2/17/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] 1/20/00
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] 2/17/00

DATE No. REVISION
OWNER: WHISKEY BOTTOM TRADE CENTER C LIMITED PARTNERSHIP
C/O GINGERY DEVELOPMENT GROUP
1001 ROCKVILLE PIKE SUITE 503
ROCKVILLE, MARYLAND 20852
(301) 424-3600
ATTN: MR. MONTE GINGERY

PROJECT: WHISKEY BOTTOM TRADE CENTER SITE PLAN PHASE III PARCEL 'C'
AREA: TAX MAP No. 50 PARCEL C SIXTH (6) ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE: RETAINING WALL DETAILS AND COMPUTATIONS

SDP-99-169
DATE: _____ DESIGNED BY: FOUNDATIONS UNLIMITED, INC.
DRAWING BY: NICK WHITE
PROJECT/FILE No. 5457
DATE: DEC. 1999
SCALE: NO SCALE
DRAWING No. 14 OF 14
ENGINEER: _____



WHISKEY BOTTOM TRADE CENTER C
TIMBER WALL - TYPICAL SECTION N.T.S.

SEE ATTACHED SHEETS FOR ADDITIONAL DETAILS.