

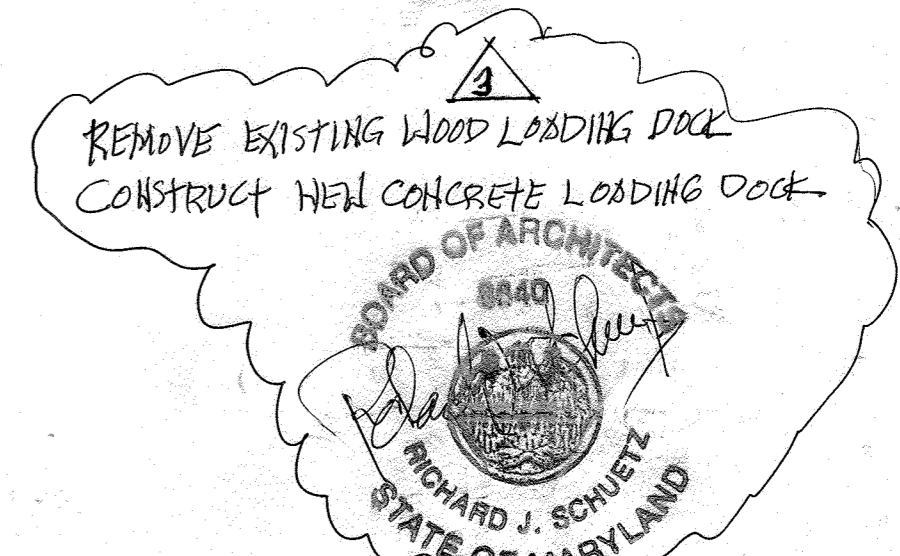
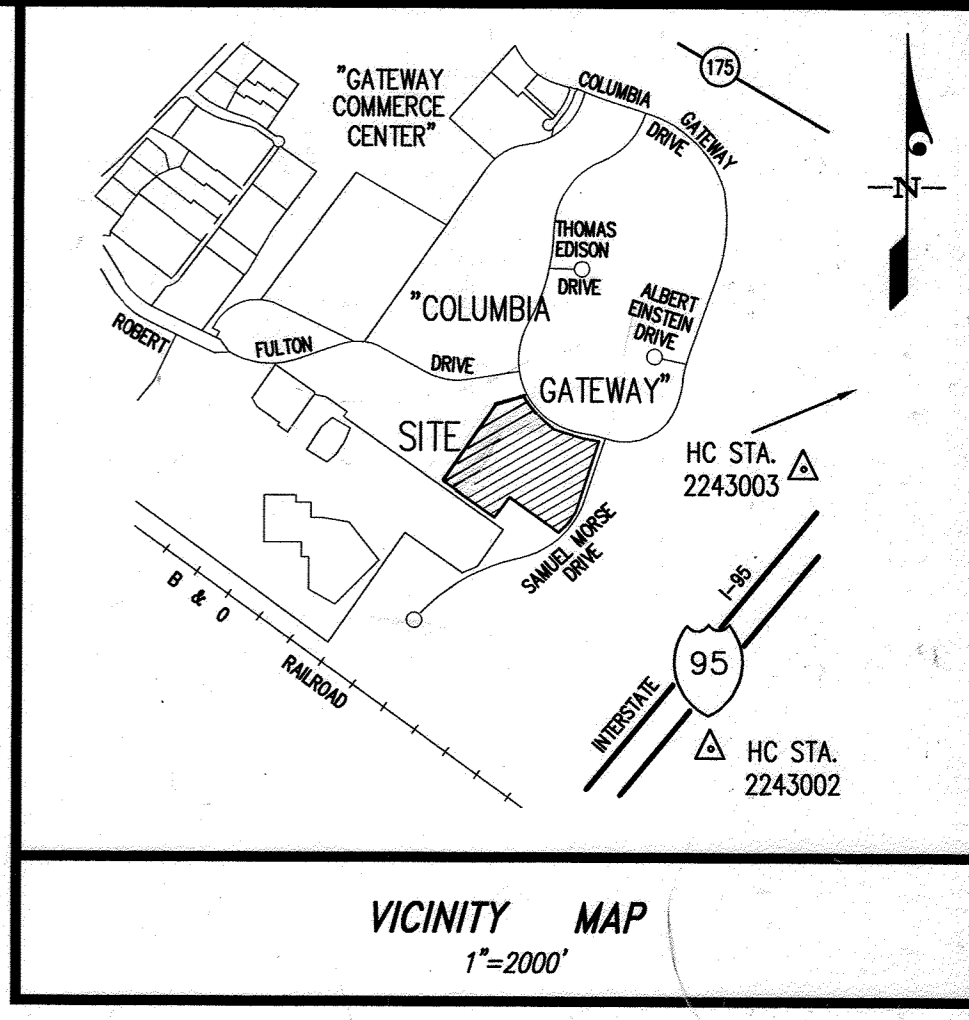
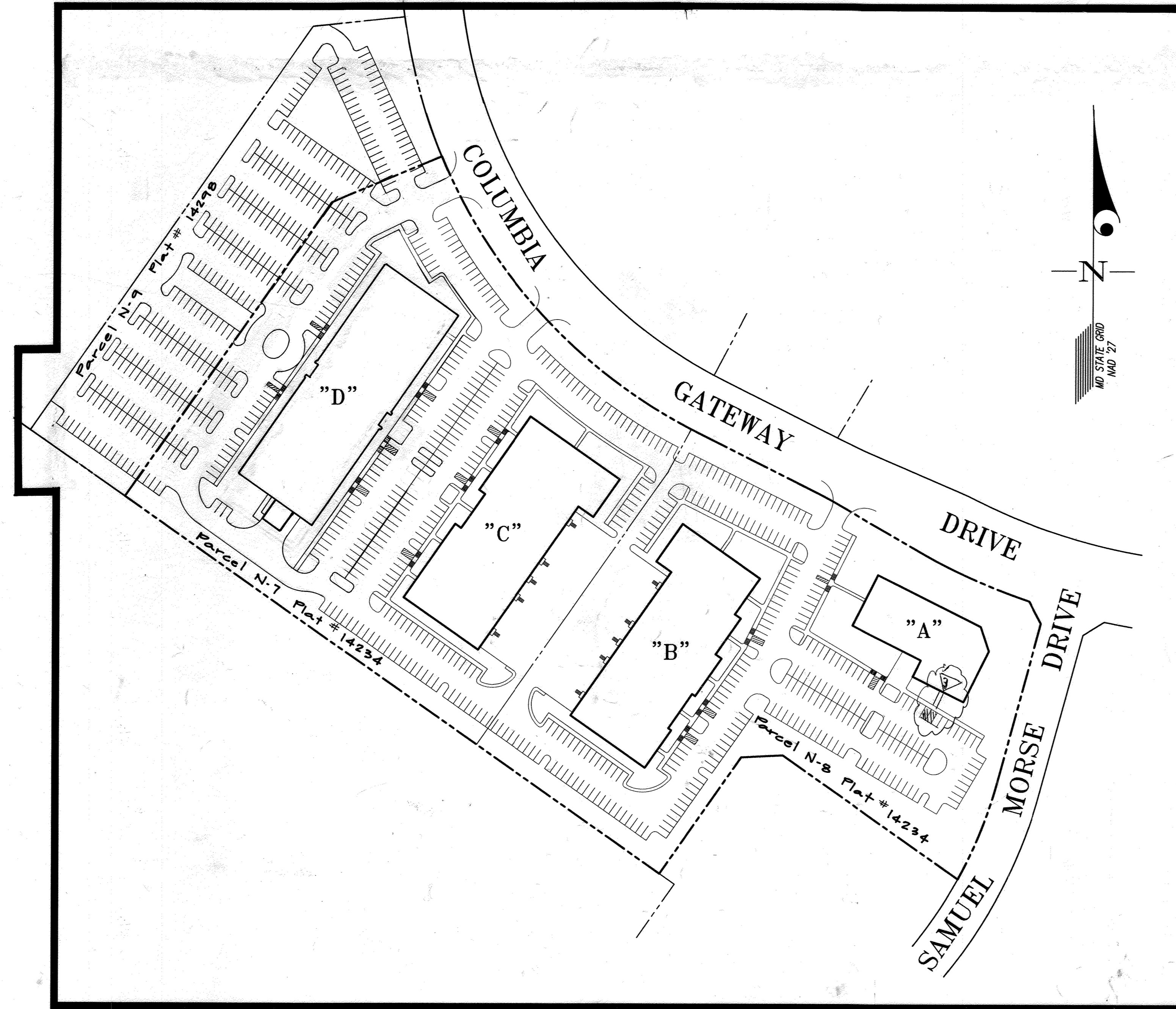
**GENERAL NOTES**

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standard and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
- Area of site: 16.4635 Ac. Disturbed Area: 16.5 Ac.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography was determined by approved final construction plans for development.
- Coordinates and bearings are based upon the MD State Plane System (NAD '83).
- Water and sewer shown is public.
- All existing water and sewer is shown per Cont. Nos. 24-1440-D, 24-1587-D & 20-1397-D.
- Stormwater management quantity is provided offsite at regional facilities. Quality control is being provided onsite with Baysavers as well as the existing pond on Lot 11 (F-87-63).
- All existing public storm drain is per F-87-63 & F-86-128.
- All curb radii is 5' unless noted otherwise.
- Utility information taken from approved final construction plans for development.
- Sidewalks adjacent to perpendicular parking shall be 6' wide. All other sidewalks shall be 5' wide, except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
- Contractor shall utilize PVC pipe for all sewer house connections. Contractor shall utilize D.I.P. (Cl. 51) for 4" and 6" water house connections and D.I.P. (Cl. 50) for 8" water house connections.
- For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain the same grade and alignment.
- Use trench bedding class "C" for storm drains.
- Paved areas indicated are private except as noted.
- Project background: See Dept. of Planning & Zoning File Numbers: P-86-22, S-84-44, F-85-55, F-85-63, F-86-17, F-86-63, F-86-182, F-87-96, F-88-91, F-90-173, F-91-16, F-92-15, F-99-156, F-00-11, WF 99-138, and F-00-148.
- Recording reference: Plat No. 14234 (Par. N-7 and N-8), 14298 (Par. N-9).
- All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
- All water meters shall be located inside buildings.
- The proposed water and sewer house connection alignments indicated on the plans, from the existing utilities to the building, are to be constructed by the building plumber and are approximate. The proposed stubs are located 5' from the building face.
- The proposed roof drain alignment connections indicated on the plans, from the stubs to the building, are to be constructed by the building plumber and are approximate. The proposed stubs are located 5' from the building face.
- Maintain 2% cross-slopes on sidewalks, per standard details. Where sidewalk is adjacent to building, slope away from building, and utilize expansion joint material and sealer in the joint between the sidewalk and the building wall.
- Sufficient sight distance per the Howard County Design Manual must be provided at all access points. Any landscaping that obstructs the line of sight must be relocated.
- A traffic study and A.P.F.O. analysis, which included this Parcel, were performed under F-99-156.
- There is no floodplain on this site.
- There are no wetlands on this site.
- All bulk requirements and setbacks are per \_\_\_\_\_
- Horizontal and vertical control are based on Howard County Control Sta. 2243002 and 2243003.

# SITE DEVELOPMENT PLAN

## COLUMBIA GATEWAY

### PARCEL 'N-7, N-8 & N-9'



**SITE ANALYSIS**

- Area of site: 714,884 s.f. or 16.4635 ac.
  - Disturbed Area: 16.5 ac.
  - Present Zoning: M-1.
  - Proposed Use: Research and Development/Light Warehouse.
  - Floor space: Building A 26,880 s.f. (2 story @ 13,440 s.f. each)  
Building B 36,500 s.f.  
Building C 39,500 s.f.  
Building D 86,024 s.f. (2 story @ 42,500 s.f. each + 1024 s.f. addition)  
Total Floor Space: 188,904 s.f.
  - Total number of Parking Spaces required: 624 \*
  - Total number of Handicap Spaces required: 13
  - Minimum number of Van accessible: 2
  - Total number of Parking Spaces provided: 855  
(provides parking ratio of 4.53 sp./1000 s.f.)
  - Total number of Handicap Spaces provided: 26
  - Total number of Van accessible provided: 20
  - Building coverage: 132,764 s.f.
  - Floor/Area ratio (F.A.R.): 188,904/714,884 = 0.26
- \* - Based on General Office use @ 3.3 spaces/1000 s.f.

**KEY MAP**  
SCALE: 1"=100'

**SHEET INDEX**

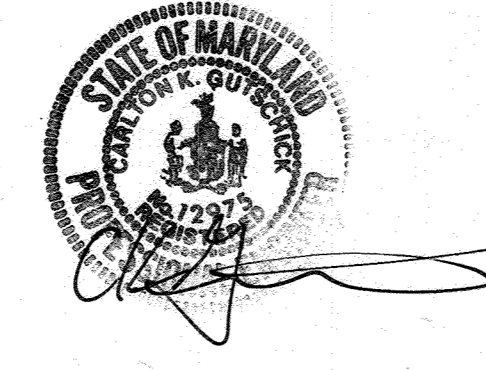
- Cover Sheet
- Site Development Plan
- Site Details/Paving Plan
- Handicap Accessibility Plan
- Landscape Plan
- Landscape Notes & details
- Sediment Control Plan
- Sediment Control Details
- Storm Drain Profiles & Schedules
- Storm Drain Profiles & Schedules and Pumpout Enclosure Details
- W.H.C. and S.H.C. Profiles
- Drainage Area Map
- Site Development Plan
- Storm Drain Profiles

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 10/28/99  
Director Date

*[Signature]* 10/25/99  
Chief, Division of Land Development Date

*[Signature]* 10/21/99  
Chief, Development Engineering Division MK Date



**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT. 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

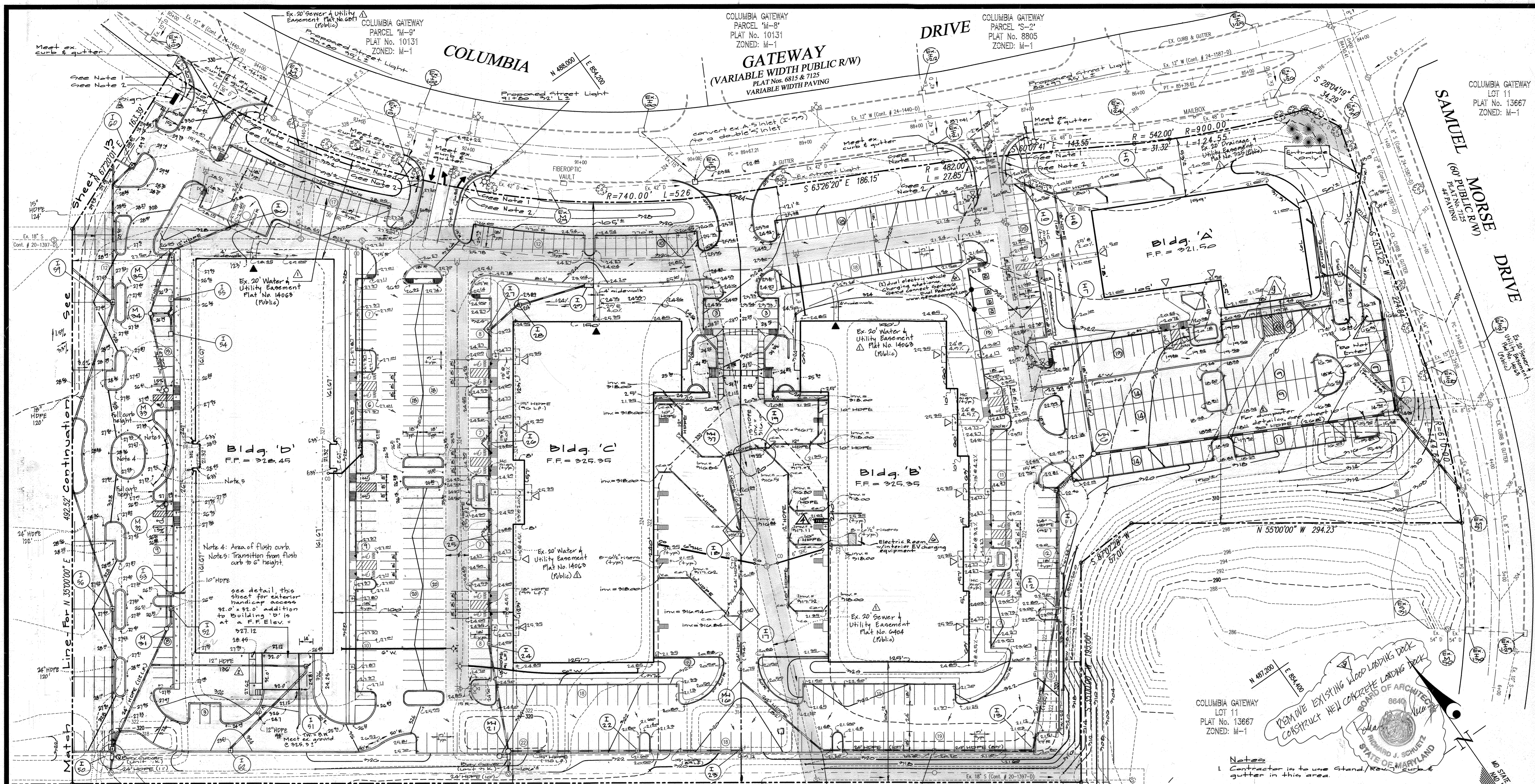
DATE	REVISION	BY	APP'R.
9/20/02	Revised key map, site analysis, Title Block, permit information and "prepared for" information to show addition to Bldg. D & new ownership	JAW	
5/17/12	REMOVE EXISTING WOOD LOADING DOCK	klp	
3/14/20	Update parking provided in site analysis due to EV charging stations added	JAW	
8/22/21	rev. sheet index	JAW	
9/16/22	Rev. General Notes, Key Map, Site Analysis & Sheet Index	JAW	

PREPARED FOR:  
Corporate Development Services, L.L.C.  
8815 Centre Park Drive, Suite 400  
Columbia, Maryland 21045  
ATTN: Stan Link  
Phone: 410-730-7092

**SITE DEVELOPMENT PLAN**  
**COLUMBIA GATEWAY**  
**PARCEL 'N-7, N-8 (Plat # 14234)**  
**PARCEL N-9 (Plat # 14298)**

WATER CODE:		SEWER CODE:		ADDRESS CHART											
E-06		410000		<table border="1"> <tr> <th>BLDG.</th> <th>STREET ADDRESS</th> </tr> <tr> <td>"A"</td> <td>1001 COLUMBIA GATEWAY DRIVE</td> </tr> <tr> <td>"B"</td> <td>1002 COLUMBIA GATEWAY DRIVE</td> </tr> <tr> <td>"C"</td> <td>1003 COLUMBIA GATEWAY DRIVE</td> </tr> <tr> <td>"D"</td> <td>1004 COLUMBIA GATEWAY DRIVE</td> </tr> </table>		BLDG.	STREET ADDRESS	"A"	1001 COLUMBIA GATEWAY DRIVE	"B"	1002 COLUMBIA GATEWAY DRIVE	"C"	1003 COLUMBIA GATEWAY DRIVE	"D"	1004 COLUMBIA GATEWAY DRIVE
BLDG.	STREET ADDRESS														
"A"	1001 COLUMBIA GATEWAY DRIVE														
"B"	1002 COLUMBIA GATEWAY DRIVE														
"C"	1003 COLUMBIA GATEWAY DRIVE														
"D"	1004 COLUMBIA GATEWAY DRIVE														
SUBDIVISION NAME:		SECTION/AREA		PARCEL											
COLUMBIA GATEWAY		N/A		N-7, N-8 & N-9											
PLAT	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT										
14234 & 14298	M-1	42	12	6	6041.05										
SCALE		ZONING		G. L. W. FILE No.											
1"=100'		M-1		99058											
DATE		TAX MAP - GRID		SHEET											
April, 2000		42 - 12		1 OF 14											

50P 99-100



COLUMBIA GATEWAY  
LOT 11  
PLAT No. 13667  
ZONED: M-1



- Notes**
- Contractor is to use Stand/Row curb & gutter in this area.
  - Contractor is to transition from 7" curb & gutter within R/W to 6" curb & gutter on site in this area.
  - For handicap parking/access see sheet 4

**Legend**

	Retaining Wall (See detail on sheet 3)
	Standard 6" Curb & Gutter
	Reverse 6" Curb & Gutter
	Existing Curb
	Proposed Spot Elevation
	Existing Contour
	Proposed Contour
	Entrance that is handicap accessible
	Entrance that is not handicap accessible

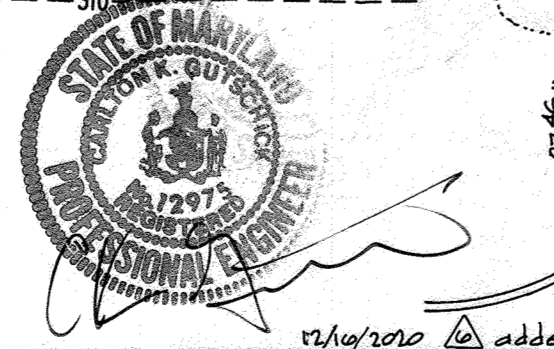
**Street Light Notes**

- (S) New street lights at road stations 80+00, 91+80, & 99+80 are to be 250 watt high watt cutoff mounted at 30' on a bronze fiberglass pole using a 12' arm.
- Prior to installation, locations shall be verified with Miss Utility for no conflicts.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Richard Blood*  
Chief, Division of Land Development  
Date: 10/21/99

*John J. ...*  
Date: 10/20/99



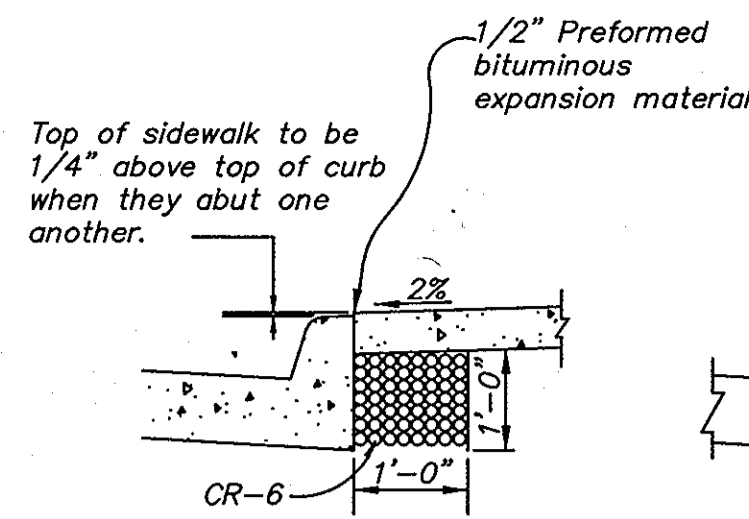
DATE	REVISION	BY	APPR.
5/18/15	Added stair at rear of Building 'B'	JAU	
5/17/10	LOADING DOCK	JAU	
5/17/10	Add amen	JAU	
5/12/11	Revise "prepared for" and Title Block information and added building addition, walkway, and extend storm drain. Identify & shade ex. easements.	JAU	
5/12/11	Add note about dumpster details	JAU	
5/12/10	Add amenity area between Bldg. B and Bldg. C for rev. parking around bldg. 'D'	JAU	

PREPARED FOR:  
Corporate Development Services, L.L.C.  
8815 Centre Park Dr., Suite 400  
Columbia, Md. 21045  
Attn: Stan Link  
Phone: (410) 730-7092

Site Development Plan  
**COLUMBIA GATEWAY**   
PARCEL N-7, N-8 (Plat# 14234)  
PARCEL N-9 (Plat# 14278)

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	99058
DATE	TAX MAP - GRID	SHEET
April 2000	42 - 12	2 OF 14

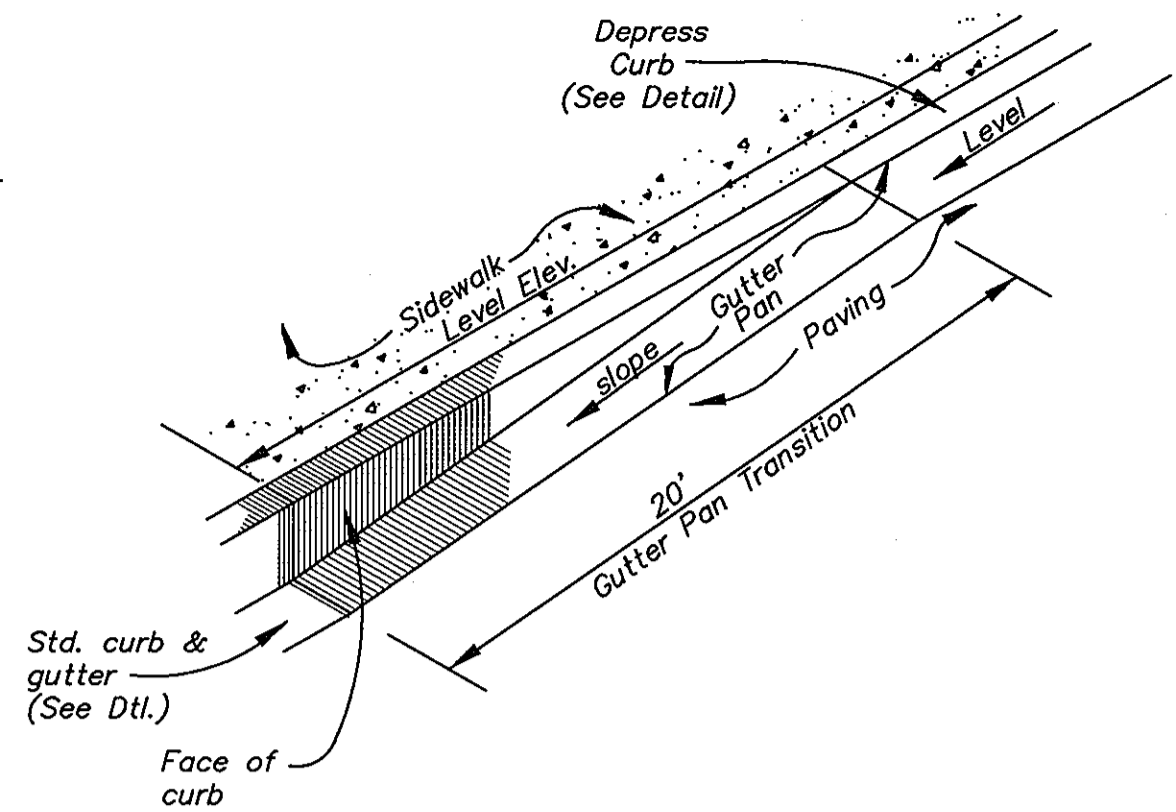
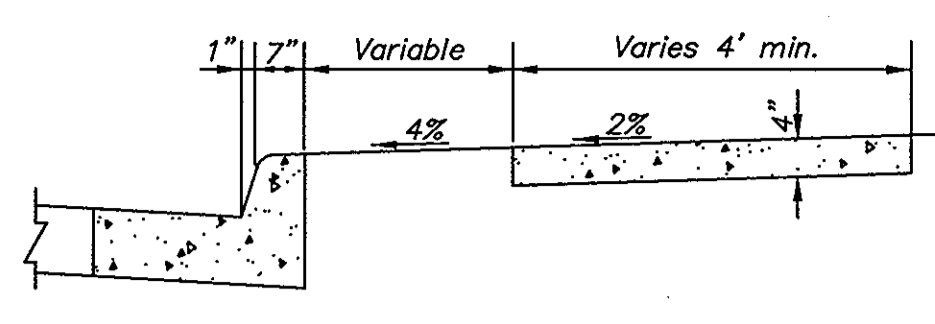
**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186



Detail A

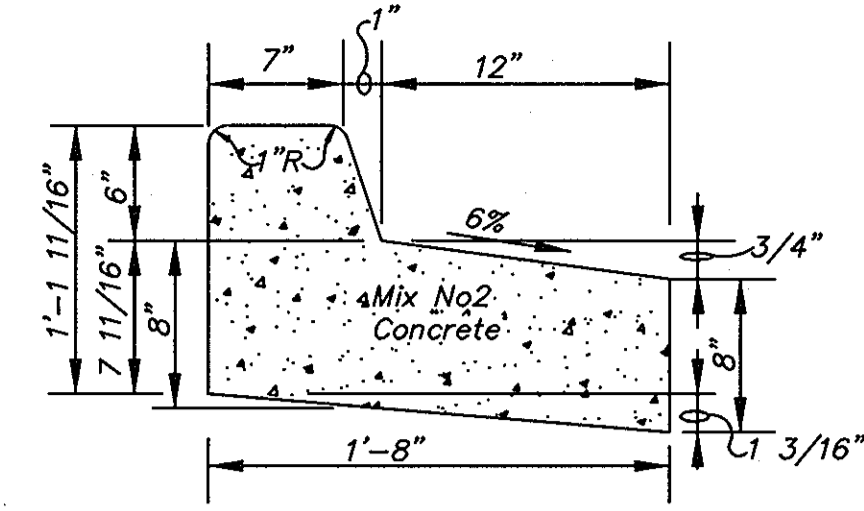
Notes:

1. Sidewalk to be scribed in 5' maximum squares.
2. Expansion joints across the sidewalk not to be more than 15' apart.
3. 1/2" preformed bituminous expansion material in expansion joints to be kept 1/4" below surface of sidewalk.
4. Concrete to be mix No.2
5. When sidewalk abuts curb, walk shall be 1/4" above curb with preformed bituminous expansion material between sidewalk and curb and resting on a compacted crushed stone base. See detail A this sheet.
6. On longitudinal sidewalk grades of 5% or greater, a concrete header, 6" thick and 6" deep below the normal 4" sidewalk thickness shall be constructed for the full width of the sidewalk at intervals of 48'. The headers shall be placed at expansion joint locations and shall be monolithic with the sidewalk.



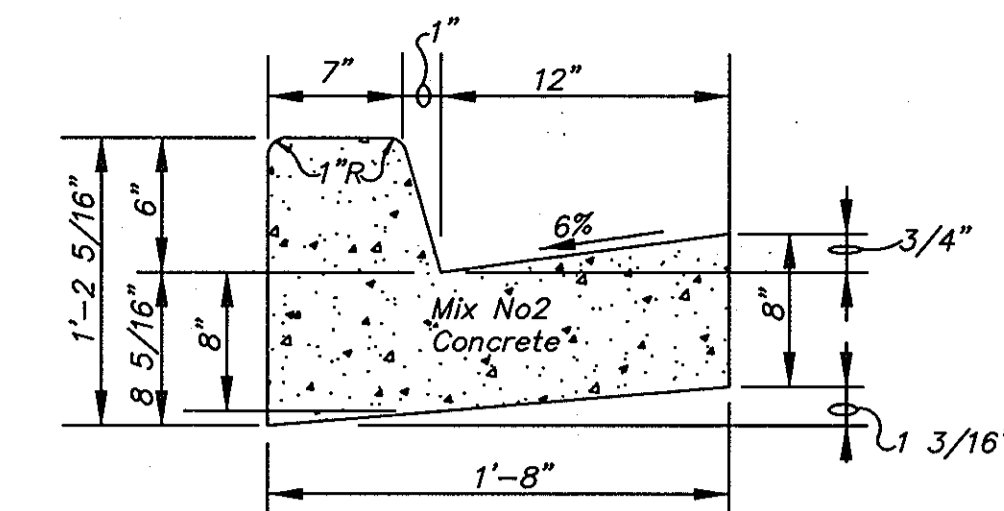
Gutter Transition - Isometric

N.T.S.



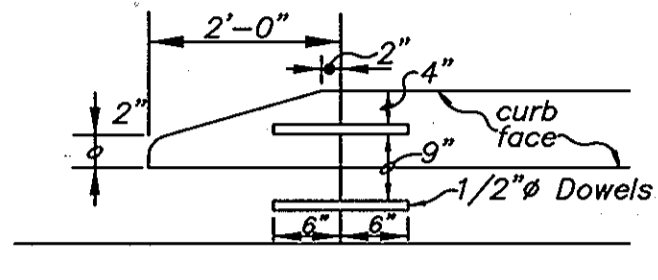
Reverse 6" Combination Curb & Gutter

N.T.S.



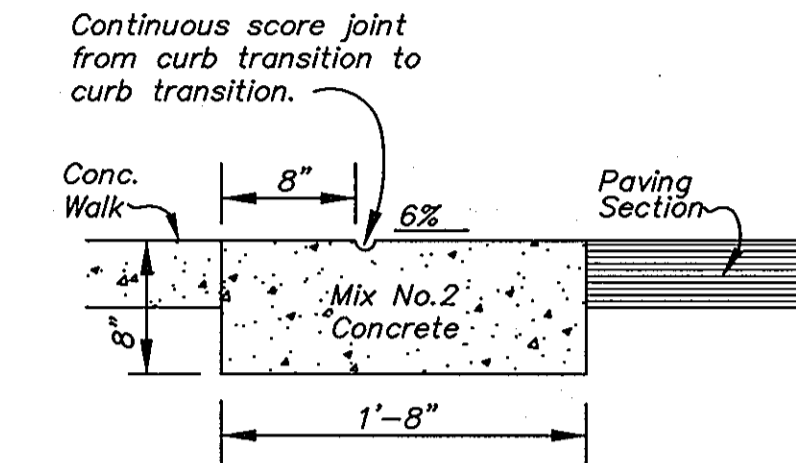
Standard 6" Combination Curb & Gutter

N.T.S.



Nose Down Curb Detail

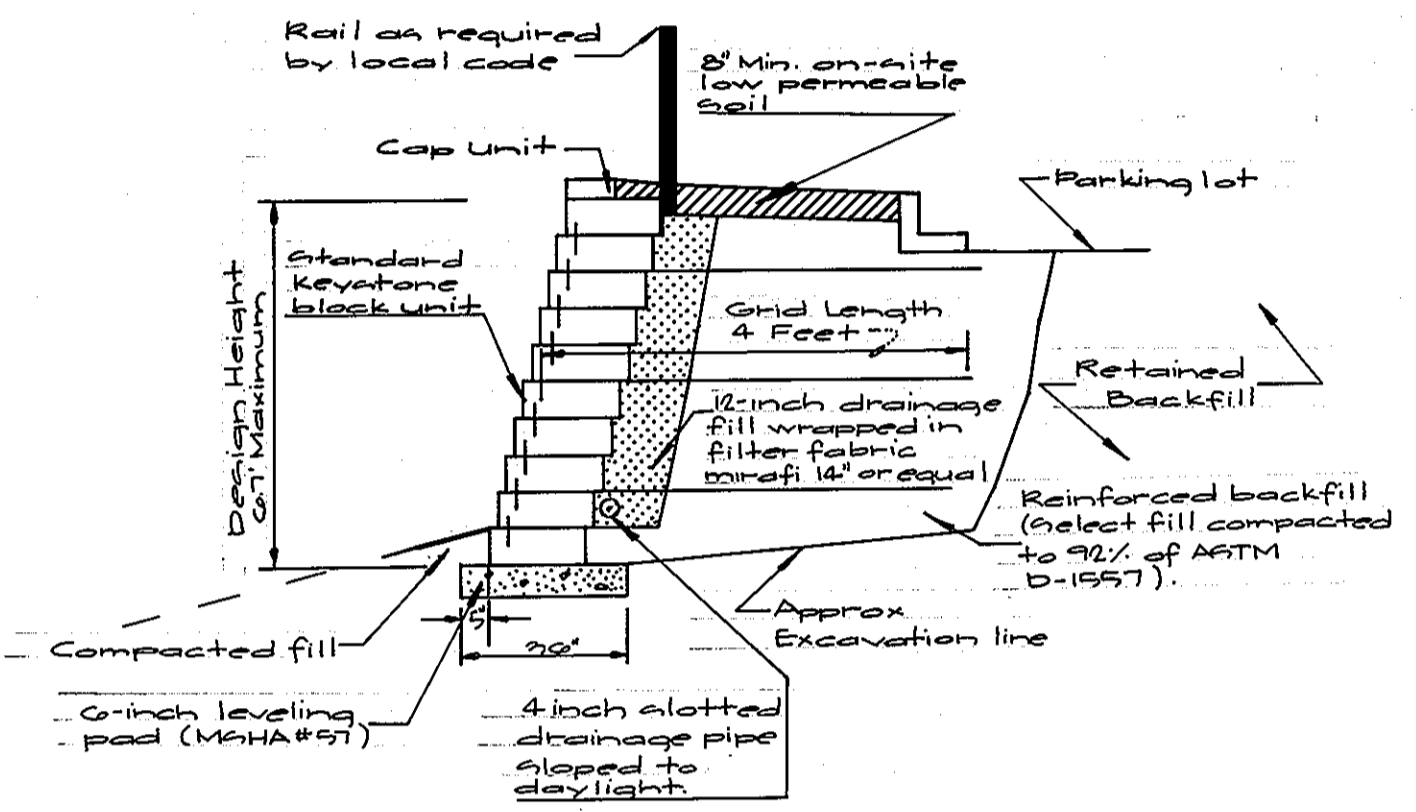
N.T.S.



Depressed Curb Entrance

N.T.S.

Section Number	Full Depth Bit. Conc. Alternate	Granular Base Alternates
P-1	1" Bit Conc. Surface 4" Bit Conc. Base	1" Bit Conc. Surface 2 Bit Conc. Base 4" Graded Aggregate Base
P-2	1 1/2" Bit Conc. Surface 5" Bit Conc. Base	1 1/2" Bit Conc. Surface 2 1/2" Bit Conc. Base 6" Graded Aggregate Base
P-3	1 1/2" Bit Conc. Surface 1 1/2" Bit Conc. Base 5" Bit Conc. Base	1 1/2" Bit Conc. Surface 4 1/2" Bit Conc. Base 5" Graded Aggregate Base

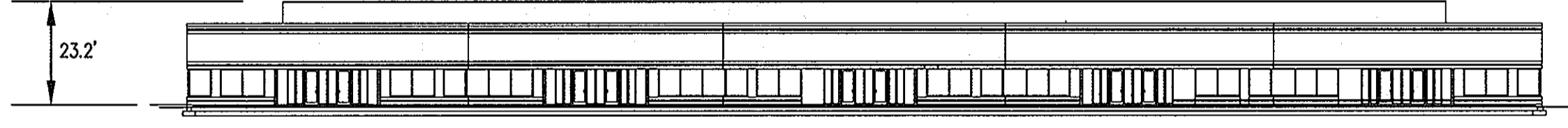


Typical Reinforced Section

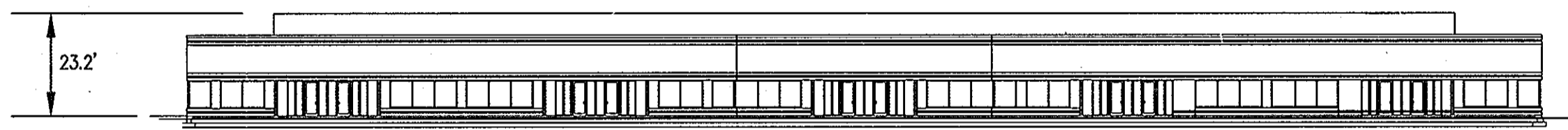
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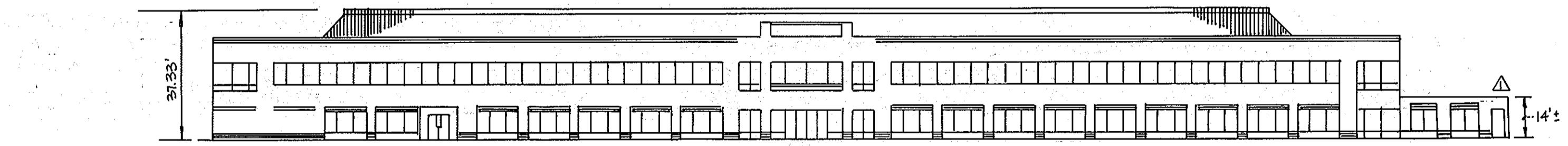
BUILDING 'A'



BUILDING 'B'



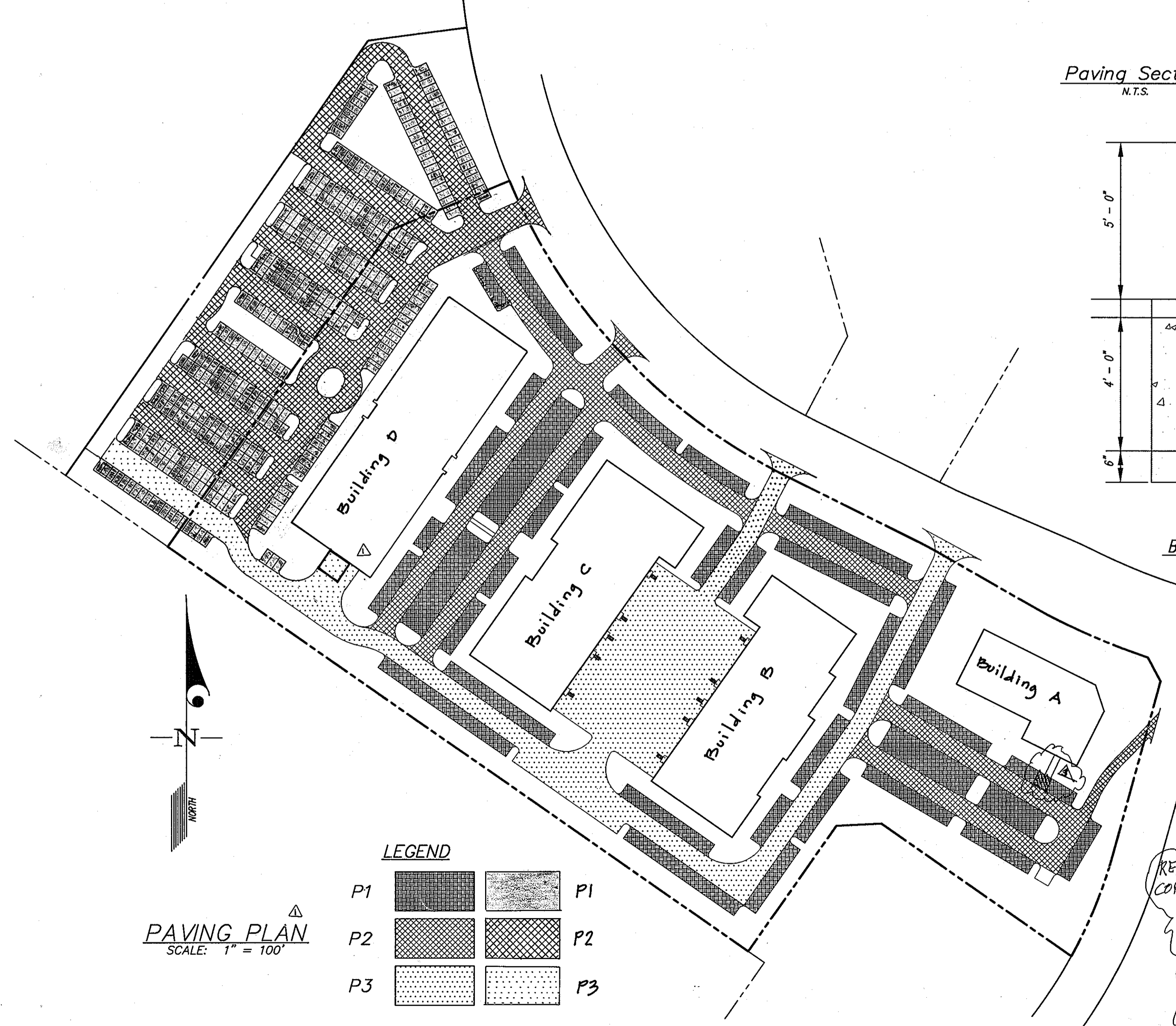
BUILDING 'C'



BUILDING 'D'

FRONT ELEVATIONS

SCALE: 1" = 30'



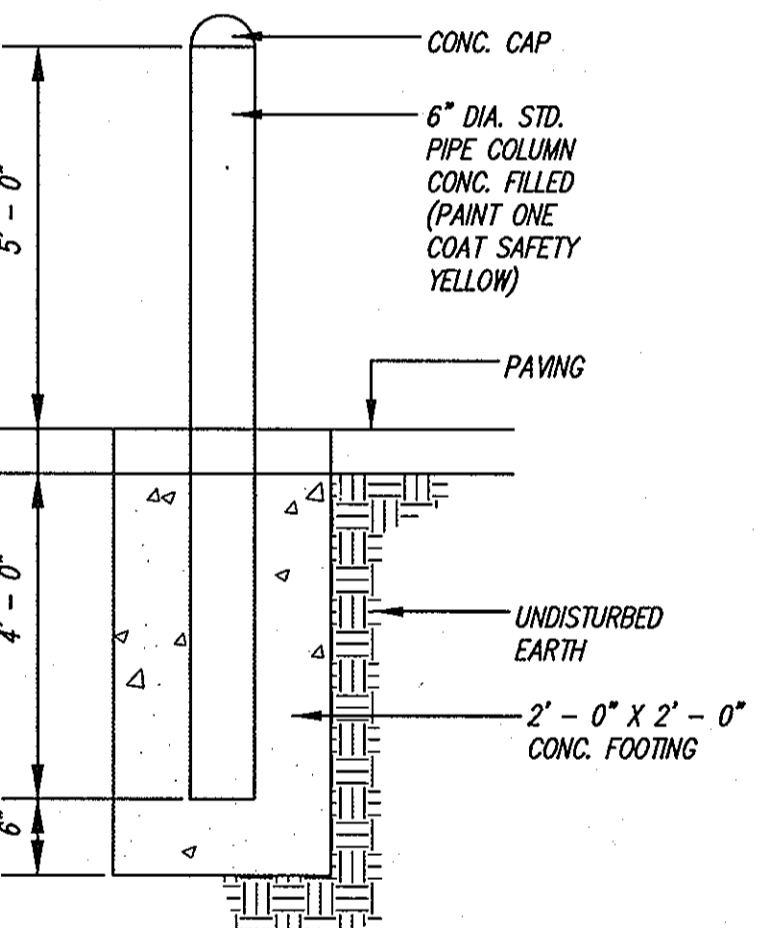
PAVING PLAN

SCALE: 1" = 100'

LEGEND

P1	[Pattern]	P1
P2	[Pattern]	P2
P3	[Pattern]	P3

Paving Sections



BOLLARD DETAIL

(N.T.S.)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 10/28/99  
 Chief, Division of Land Development: [Signature] Date: 10/28/99  
 Chief, Development Engineering Division: [Signature] Date: 10/21/99



GLW GUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/Va: 301-889-2524 FAX: 301-421-4186

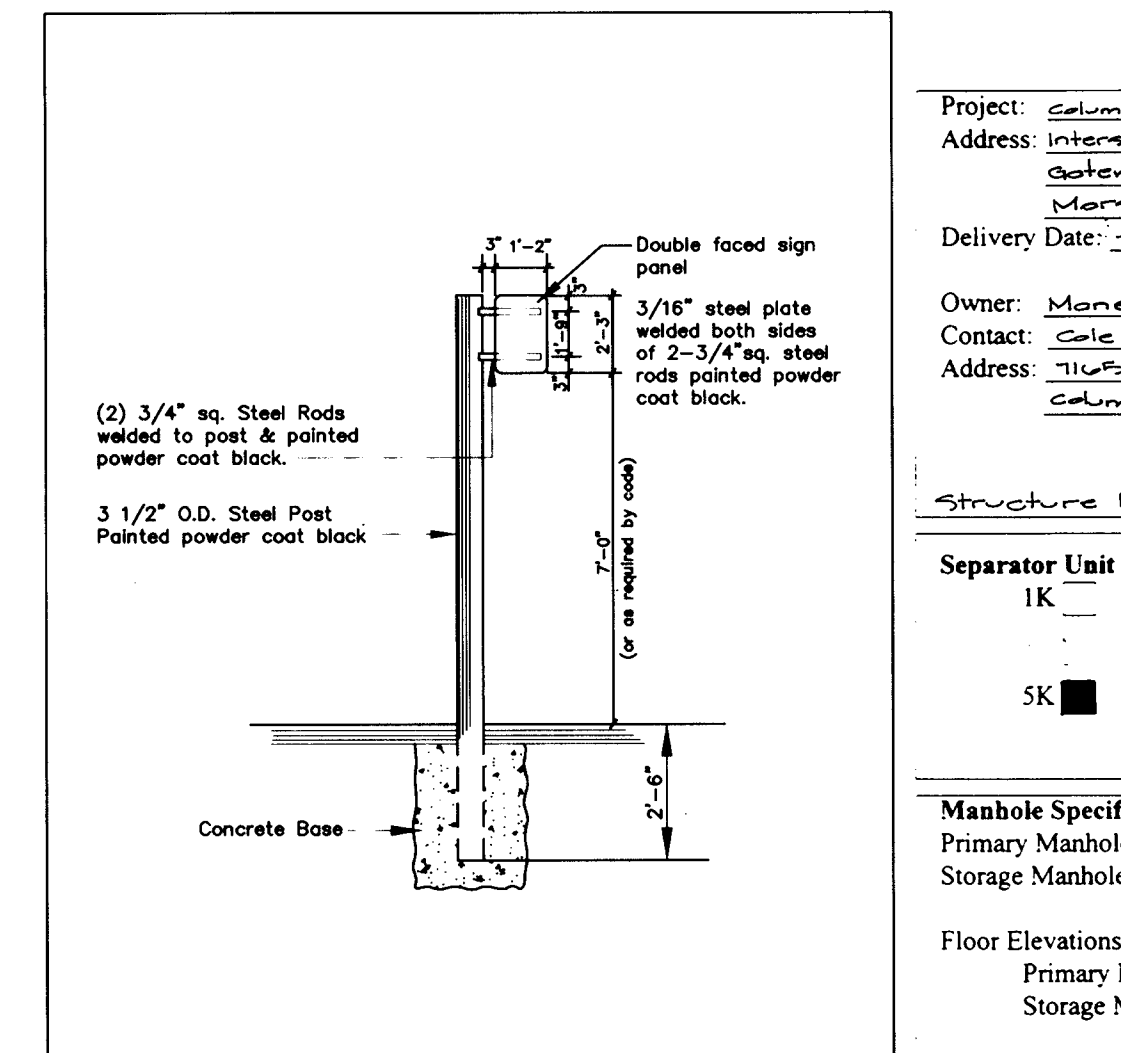
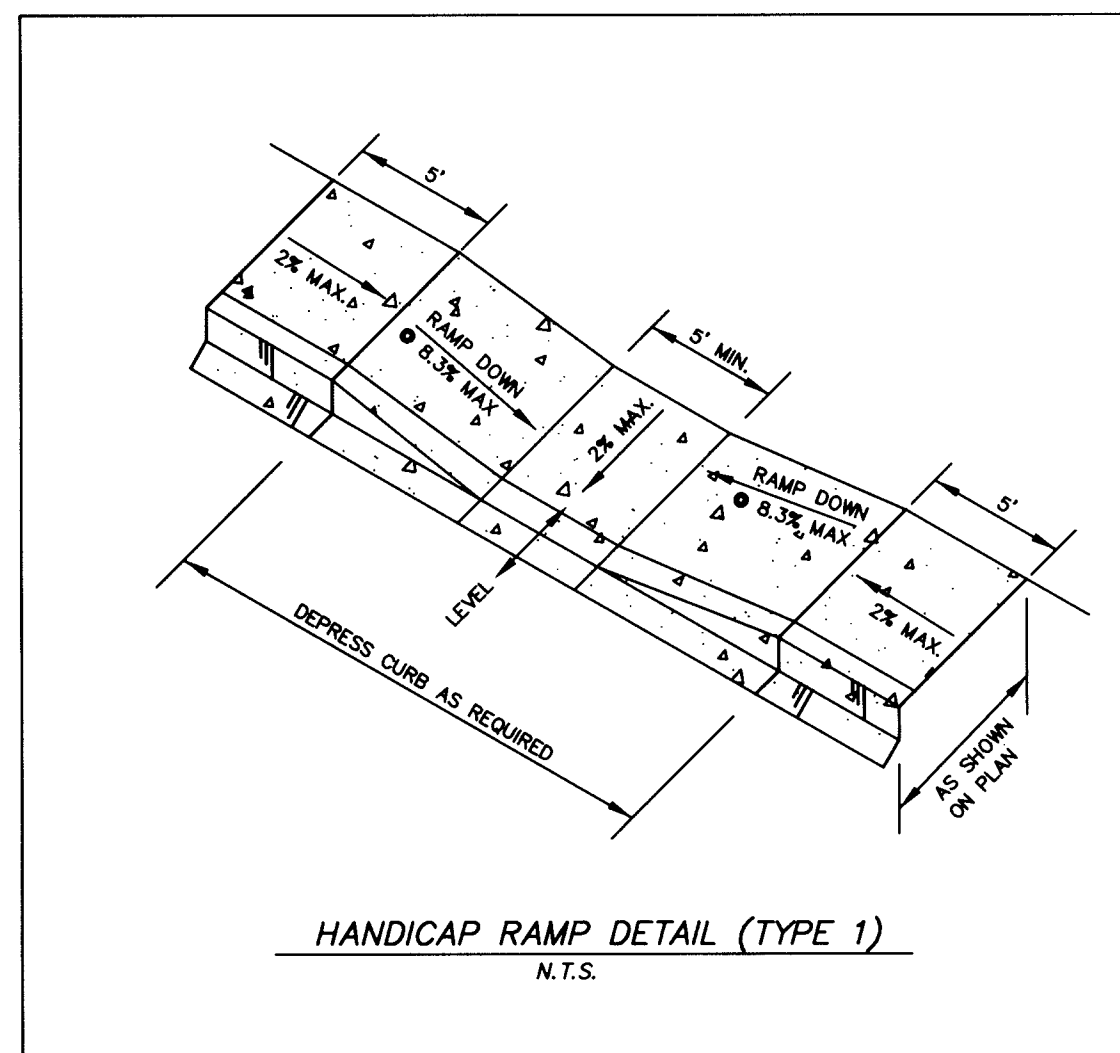
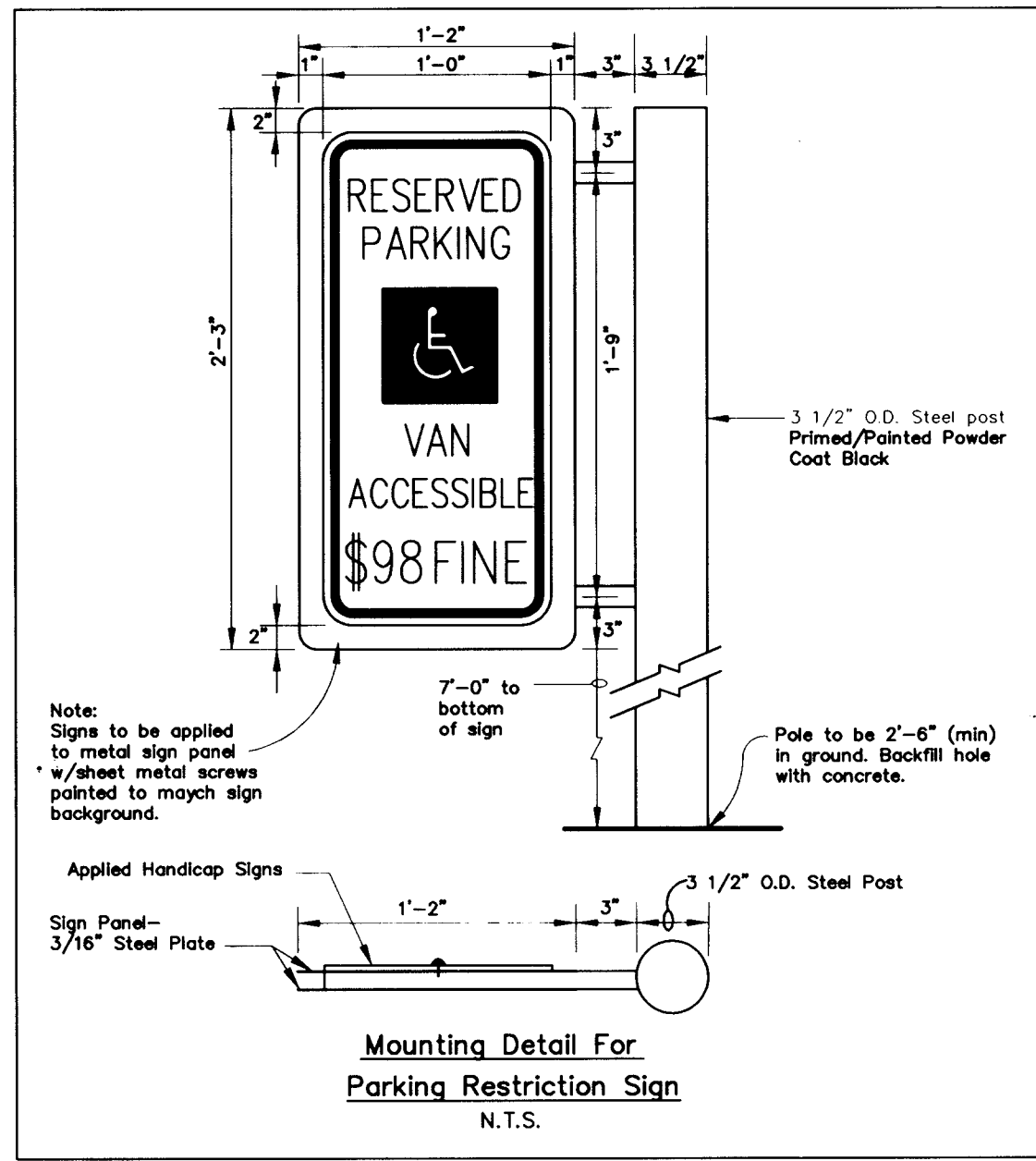
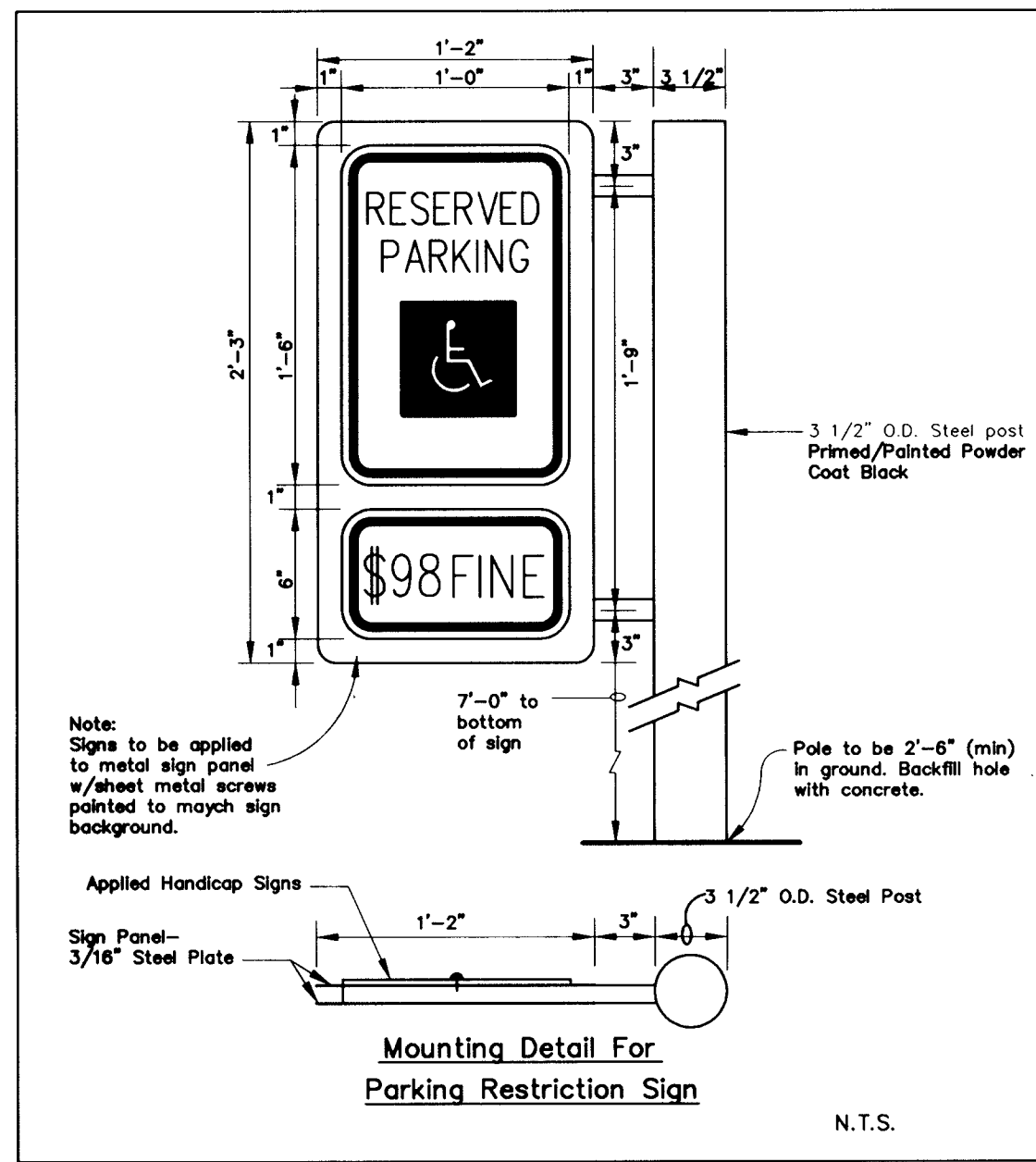
DATE	REVISION	BY	APP'R.
3/20/02	Revised paving plan for building addition and clarification and revised prepared for Title Block for most recent owner information.	JAIL	
5/19/10	LOADING DOCKS		
5/18/00	rev. paving plan detail & bldg 'D' elevation	JAIL	

PREPARED FOR:  
 Corporate Development Services, L.L.C.  
 8815 Centre Park Dr., Suite 400  
 Columbia, MD 21045  
 Attn: Stan Link  
 Phone: 410-730-7072

SITE DETAILS / PAVING PLAN  
**COLUMBIA GATEWAY**  
 PARCEL 'N-7, N-8 (Plat # 14234)  
 PARCEL 'N-9 (Plat # 14298)  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	99058
DATE	TAX MAP - GRID	SHEET
April 2000	42 - 12	3 OF 14

SDP 99-166



**BaySaver® Separator System Order**  
(May be included on stormwater plan by designer)

Project: Columbia Gateway Bldg. N-9  
Address: Intersection of Columbia Gateway Dr. and Samuel Morse Dr.  
Delivery Date: t.b.d.

Designer: Gutschick, Little & Weber, P.A.  
Contact: Doug Vande Ryt  
Phone: (410) 880 1820  
Fax: (301) 421 4024

Owner: Monakin Corporation  
Contractor: t.b.d.  
Contact: Cole Scherf  
Address: 7115 Columbia Gateway Dr. Columbia, Md. 21046  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

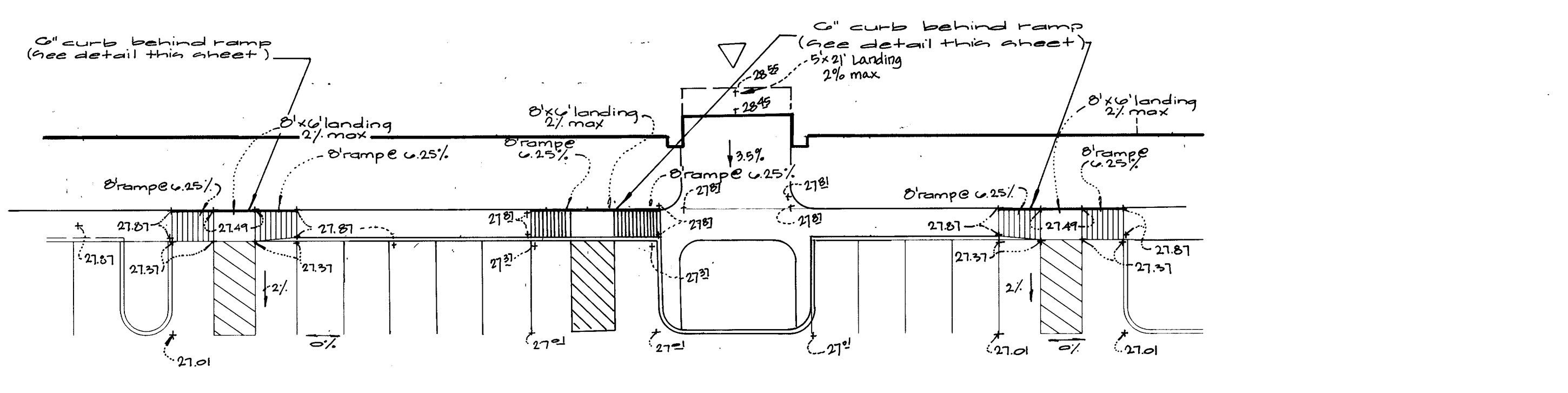
Separator Unit Model:  
1K   
3K   
5K

**Manhole Specifications:**  
Primary Manhole Diameter: 24 inches  
Storage Manhole Diameter: 24 inches

Floor Elevations:  
Primary Manhole: 204.70  
Storage Manhole: 204.70

Primary Manhole Inverts:  
Separator Unit: 212.70  
Inlet Pipe(s): 215.39  
214.61

Outlet Pipe Size and Material: 24\"/>



**HANDICAP ACCESS DETAIL BUILDING 'D'**  
SCALE: 1"=20'

**BaySaver® Separator System Order**  
(May be included on stormwater plan by designer)

Project: Columbia Gateway Bldg. N-9  
Address: Intersection of Columbia Gateway Dr. and Samuel Morse Dr.  
Delivery Date: t.b.d.

Designer: Gutschick, Little & Weber, P.A.  
Contact: Doug Vande Ryt  
Phone: (410) 880 1820  
Fax: (301) 421 4024

Owner: Monakin Corporation  
Contractor: t.b.d.  
Contact: Cole Scherf  
Address: 7115 Columbia Gateway Dr. Columbia, Md. 21046  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

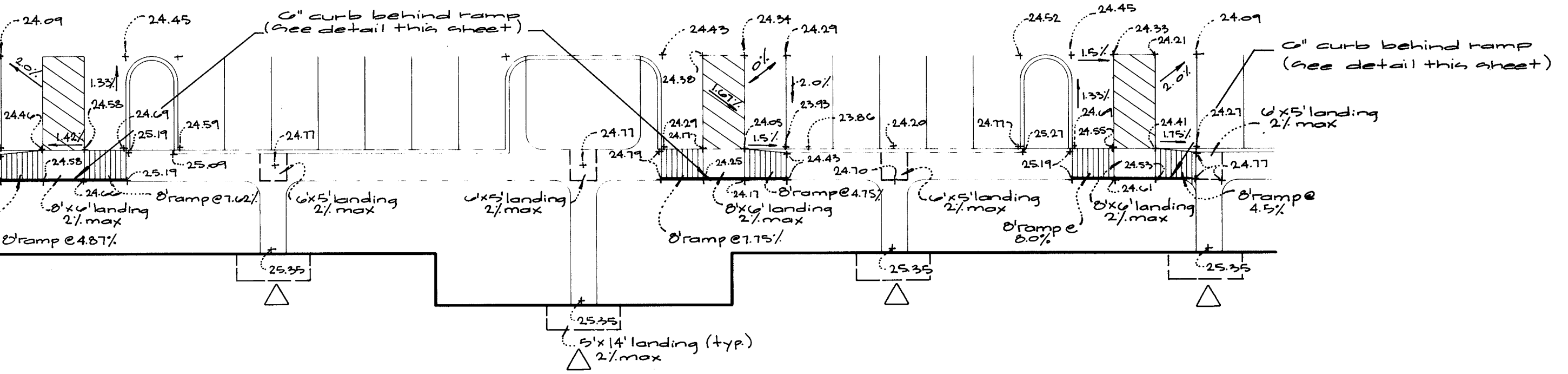
Separator Unit Model:  
1K   
3K   
5K

**Manhole Specifications:**  
Primary Manhole Diameter: 24 inches  
Storage Manhole Diameter: 24 inches

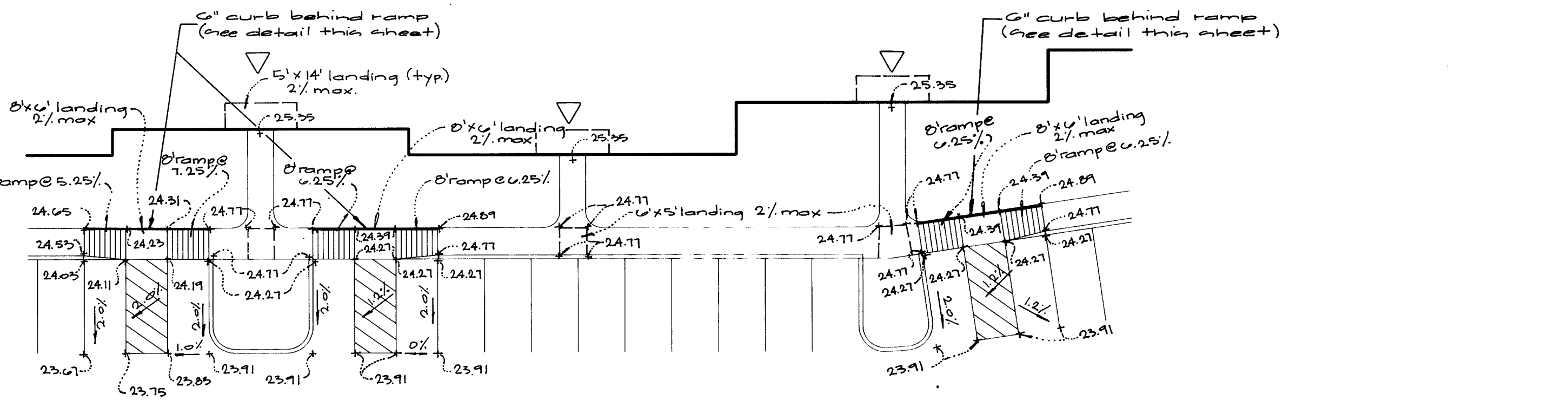
Floor Elevations:  
Primary Manhole: 207.00  
Storage Manhole: 207.00

Primary Manhole Inverts:  
Separator Unit: 215.00  
Inlet Pipe(s): 215.10  
218.04

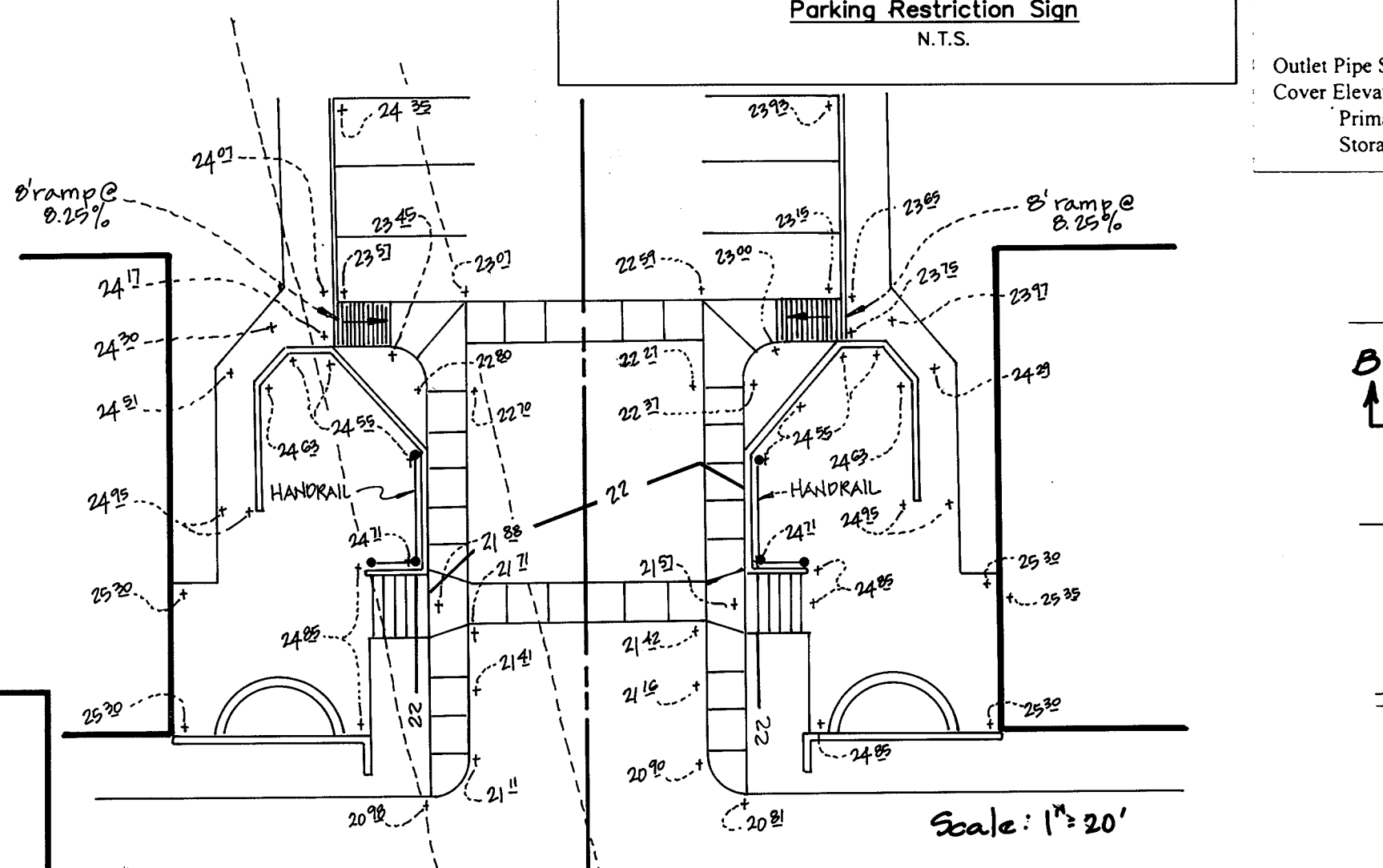
Outlet Pipe Size and Material: 30\"/>



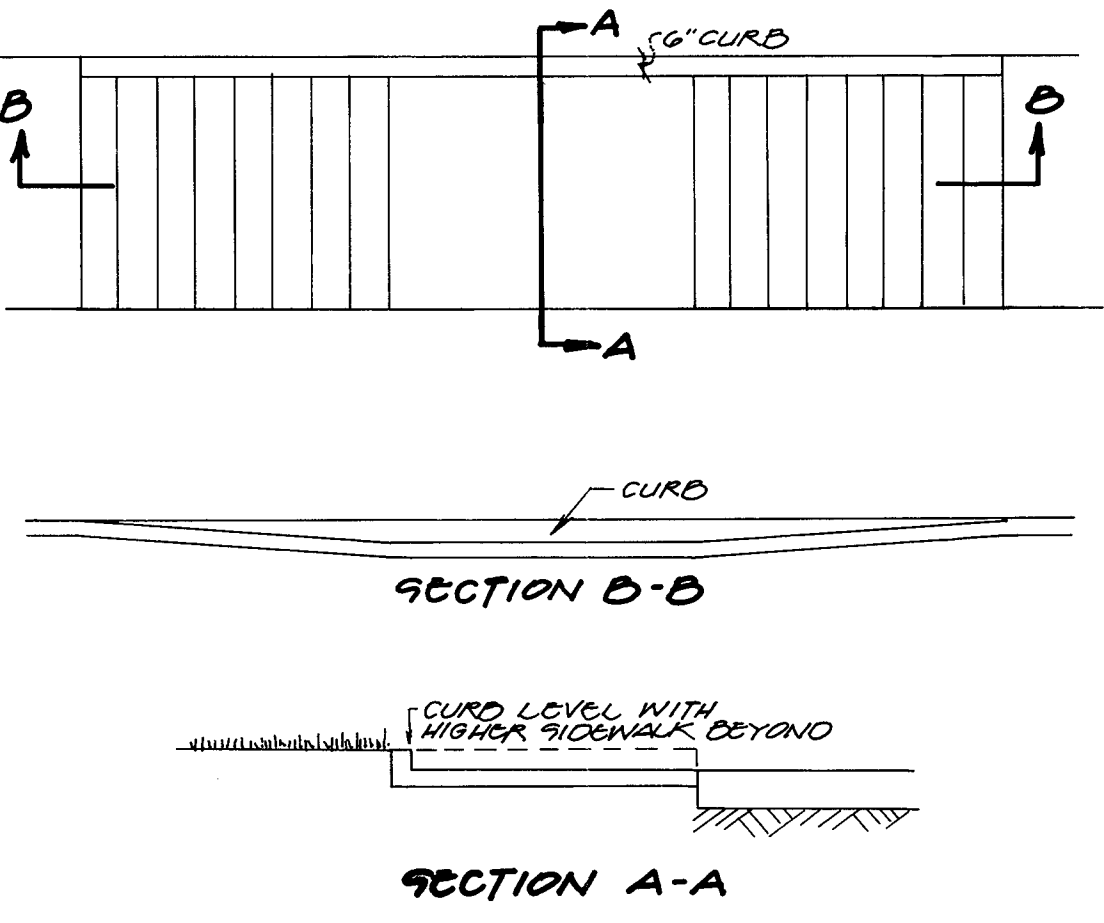
**HANDICAP ACCESS DETAIL BUILDING 'C'**  
SCALE: 1"=20'



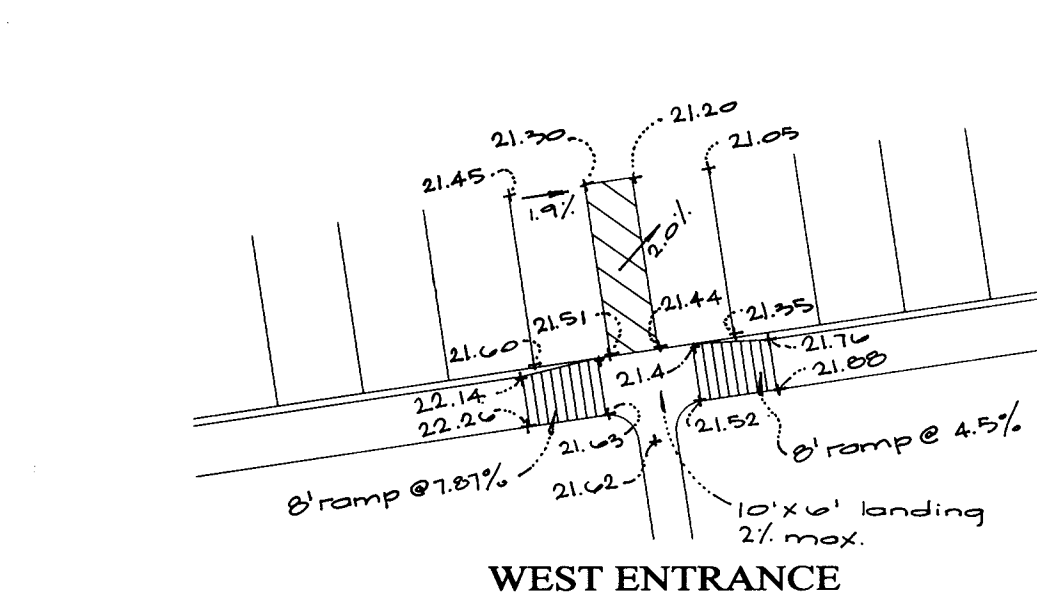
**HANDICAP ACCESS DETAIL BUILDING 'B'**  
SCALE: 1"=20'



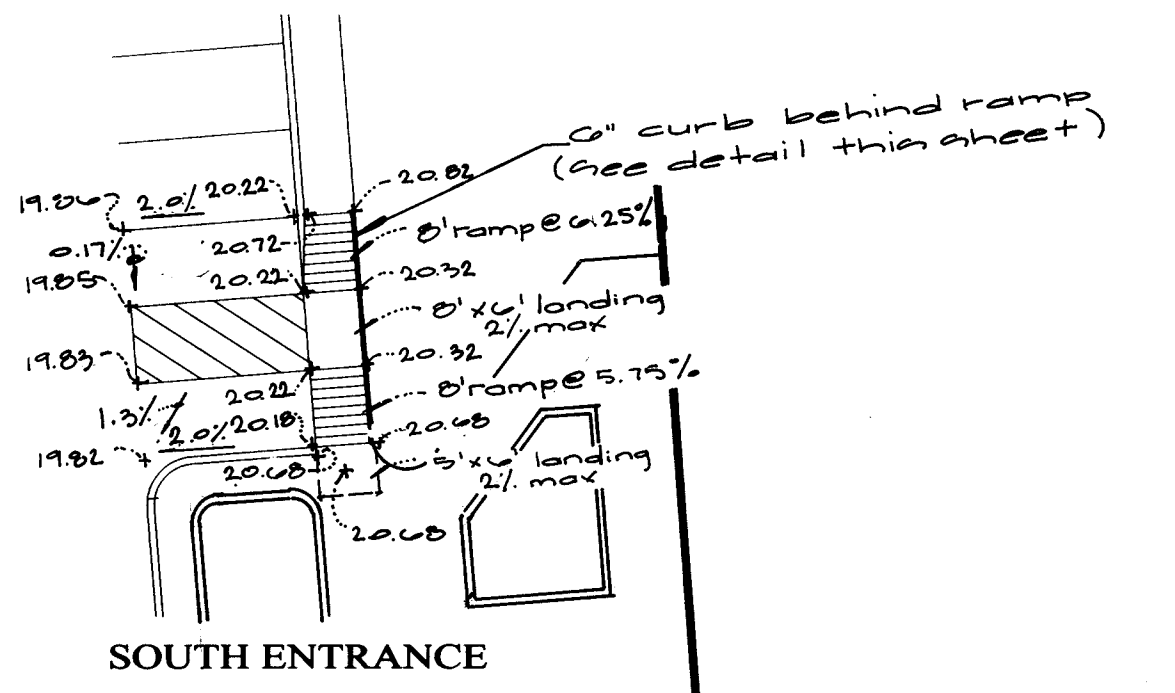
**Ammenities Area Between Bldgs. 'C' & 'B'**  
Scale: 1"=20'



**9\"/>**



**WEST ENTRANCE**



**SOUTH ENTRANCE**

**HANDICAP ACCESS DETAILS BUILDING 'A'**  
SCALE: 1"=20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

10/28/99  
Date

10/28/99  
Date

10/28/99  
Date



**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3809 NATIONAL DRIVE - SUITE 250 - BURTONTOWNE OFFICE PARK  
BURTONTOWNE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

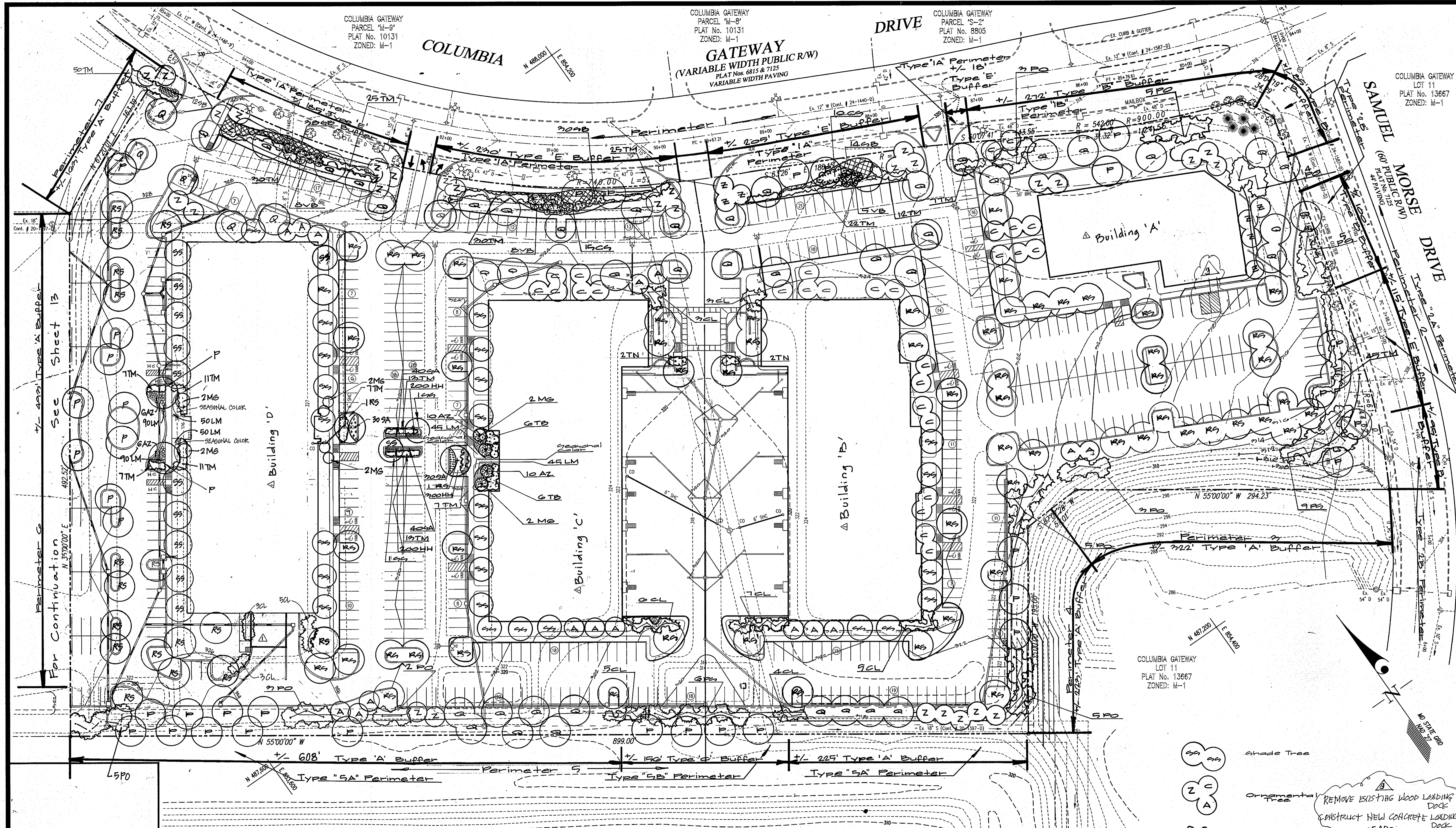
DATE	REVISION	BY	APPR.
5/18/00	rev. BaySaver order form	JAU	
	rev. H.C. access to bldg. D, show amenities area between bldgs. 'C' & 'B'	JAU	

PREPARED FOR:  Corporate Development Services, L.L.C.  
8815 Centre Park Dr., Suite 400  
Columbia, Md. 21045  
Attn: Star Link  
Phone: 410-780-7072

**HANDICAP ACCESS DETAILS**  
**COLUMBIA GATEWAY**  
PARCEL 'N-7, N-8 (Plat # 14234)  
PARCEL 'N-9 (Plat # 14298)

SCALE: AS SHOWN  
ZONING: M-1  
DATE: April 2000  
TAX MAP - GRD: 42-12  
SHEET: 4 OF 14

SCALE: AS SHOWN  
ZONING: M-1  
DATE: April 2000  
TAX MAP - GRD: 42-12  
SHEET: 4 OF 14



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Richard Blood* 10/28/99  
 Chief, Division of Land Development: *Richard Blood* 10/28/99  
 Chief, Development Engineering Division: *MK* 10/21/99



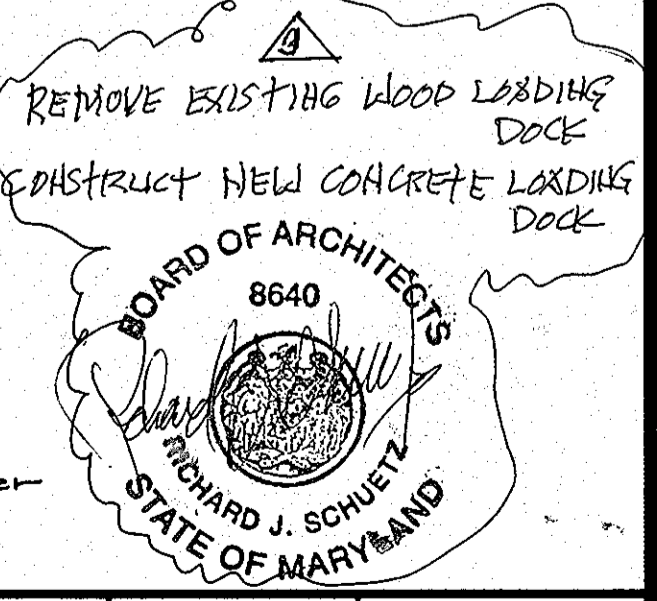
GATEWAY COMMERCE CENTER  
 PARCEL 'A-77'  
 PLAT No. 13141  
 ZONED: NEW TOWN

Developer/Builder's Certificate  
 I/We certify that the landscaping shown on this plan will be done according to the plan, Section 10.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: *R. C. ...* Date: *10/12/99*

The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and barriers, fences, and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

- Shade Tree
- Ornamental Tree
- Evergreen Tree
- Shrub & Groundcover



**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
3/20/02	Add building designations and revise "prepared for" and Title Block to reflect the most recent ownership information. Add building addition and relocated landscaping accordingly.	JAU	
5/19/02	LOADING DOCK		
5/18/00	Add amenity area between bldg. 'B' & bldg. 'C', rev. parking around bldg. 'B', REV. landscaping	JAU	

PREPARED FOR:  
 Corporate Development Services, LLC  
 8815 Centre Park Dr., Suite 400  
 Columbia, Md. 21045  
 Attn: Stan Link  
 Phone: 410-730-9072

**Landscaping Plan**  
**COLUMBIA GATEWAY**  
 PARCEL N-7, N-8 (Plat #14234)  
 PARCEL N-9 (Plat #14296)

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	99058
DATE	TAX MAP - GRID	SHEET
APR 2000	42 - 12	5 OF 14

HOWARD COUNTY, MARYLAND  
 SDP 99-100

PLANT LIST	SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
<b>SHADE TREES</b>						
RS	28		Acer rubrum 'Red Sunset' / Red Sunset Red Maple	2 1/2-3" Cal.	B&B	
SS	36		Acer rubrum 'Scarlet Sentinel' / Scarlet Sentinel Red Maple	2 1/2-3" Cal.	B&B	
P	66		Platanus x acerifolia 'Bloodgood' / Bloodgood London Planetree	2 1/2-3" Cal.	B&B	
Q	97		Quercus phellos / Willow Oak	2 1/2-3" Cal.	B&B	
<b>EVERGREEN TREES</b>						
CL	44		X cupressocyparis leylandii / Leyland Cypress	5'-6" Ht.	B&B	
PO	44		Picea omorika / Serbian Spruce	8'-10" Ht.	B&B	
PS	20		Pinus strobus / White Pine	8'-10" Ht.	B&B	
TN	12		Thuja occidentalis 'Nigra' / Dark American Arborvitae	5'-6" Ht.	B&B	
<b>ORNAMENTAL TREES</b>						
A	17		Aemolanchier arborea 'Autumn Sunset' / Autumn Sunset Serviceberry	8'-10" Ht.	B&B	
C	34		Cornus x 'Rutdon' / Celestial White Flowering Dogwood	8'-10" Ht.	B&B	
MG	12		Magnolia x 'Galaxy' / Galaxy Magnolia	8'-10" Ht.	B&B	
Z	39		Malus 'Zumi' / Zumi Crabapple	8'-10" Ht.	B&B	
<b>SHRUBS</b>						
AZ	44		Azalea 'Delaware Valley' / Delaware Valley White Azalea	15-18" Spr.	Cont.	
CS	25		Cornus sericea 'Cardinal' / Cardinal Red-twig Dogwood	2-2 1/2' Spr.	Cont.	
SB	114		Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	18-24' Spr.	Cont.	
TB	12		Taxus baccata 'Repandens' / Spreading English Yew	2-2 1/2' Spr.	B&B	
TH	360		Taxus media 'Densiformis' / Densiformis Yew	2-2 1/2' Ht.	B&B	+/- 3' O.C.
VB	29		Viburnum x burkwoodii / Burkwood Viburnum	2 1/2-3' Ht.	B&B	
<b>GROUND COVER</b>						
HH	1,000		Hedera helix / English Ivy	2 1/4" Peat Pots or B.R.		+/- 8-10" O.C.
LM	430		Liriope muscari 'Big Blue' / Big Blue Liriope	1 Gal.	Cont.	+/- 15-18" O.C.
SA	140		Sedum 'Autumn Joy' / Autumn Joy Sedum	1 Gal.	Cont.	+/- 8-10" O.C.

NOTE: Seasonal color to be selected by Owner.

SCHEDULE A PERIMETER LANDSCAPE EDGE	
Category	Perimeter
	Adj. to Roadways
	Adj. to Perim. Prop.
	1A 1B 2A 2B 3 4 5A 5B
	E B E B A A A C
Landscape Type	
Linear Feet of Roadway Frontage/Perimeter	833' 212' 115' 280' 322' 223' 816' 156'
Credit for Ex. Vegetation (Yes, No, Linear Feet) (describe below if needed)	NO NO NO NO NO NO NO NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (describe below if needed)	NO NO NO NO NO YES NO NO WALL 155'
Number of Plants Required	
Shade Trees	21 05 03 06 05 04 15 04
Evergreen Trees	00 07 00 07 00 00 00 08
Shrubs	208 00 29 00 00 00 00 00
Number of Plants Provided	
Shade Trees	Alternative Compliance... exceeds county req. -
Evergreen Trees	Alternative Compliance... exceeds county req. -
Other Trees (2:1 subst.)	Alternative Compliance... exceeds county req. -
Shrubs (10:1 subst.)	Alternative Compliance... exceeds county req. -
(describe plant substitution credits below if needed)	
Schedule 'A' Number of Shade Trees for bonding:	65 x \$300 = \$19,500
Schedule 'A' Number of Evergreen Trees for bonding:	22 x \$150 = \$3,300
Schedule 'A' Number of Shrubs for bonding:	291 x \$30 = \$8,730
Schedule 'A' Number of Street Trees for bonding:	0 x \$30 = \$0
TOTAL Estimate for Bonding:	\$31,530
COMMENTS:	

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of Parking Spaces = 856 Spaces	
Number of Trees Required = 43 Trees @ 1 per 20 spaces	
Number of Trees Provided	
Shade Trees	
Other Trees (2:1 substitution)	
Alternative Compliance per H.R.D.'s Standards	
Alternative Compliance exceeds County requirements	
NOTE:	
Schedule 'B' Number of Equivalent Shade Trees (EST) for bonding:	43 x \$300 = \$12,900

**LANDSCAPING NOTES**

- This plan has been prepared in accordance with Section 16.124 of the Howard County Code and Chapter VI (Alternative Compliance) of the Howard County Landscape Manual.
- Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocations are required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All plant material shall be full, heavy, well formed, and symmetrical, and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- "Schedule A - Perimeter Landscape Edge" and "Schedule B - Parking Lot Internal Landscaping" are provided for landscape surety calculation purposes only. Financial surety for the required landscaping shall be posted with the Developer Agreement in the amount of \$42,210.
- Tabulation for landscape shown: Required planting by HRD for 15.94 acres of RAD/OFFICE at 22 trees / acre = 351 trees  
Planting provided:  
Shade Trees (existing and proposed): 242  
Ornamental Trees: 102 = 51 E.S.T. 1  
Evergreen Trees ([5 existing] and [100 proposed]) 105 = 62.5 E.S.T. 1  
The balance of the HRD required shade trees is provided by proposed shrubs and ground covers

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 10/28/99 Date  
*[Signature]* 10/28/99 Date  
 Chief, Division of Land Development  
*[Signature]* 10/28/99 Date  
 Chief, Development Engineering Division MK



**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
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 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-860-1820 DC/VA: 301-980-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
7/28/99	REVISE PER COUNTY COMMENTS/SITE PLAN CHANGES	KMK	
8/23/99	REVISE PER H.R.D. COMMENTS / SITE PLAN CHANGES	KMK	
4/18/00	REVISE LANDSCAPE CHART	JAU	
3/25/02	Revise "prepared for" and Title Block to reflect most recent information.	JAU	

PREPARED FOR:  
 Corporate Development Services, L.L.C.  
 8815 Centre Park Dr., Suite 200  
 Columbia, Md. 21045  
 Attn: Stan Link  
 Phone: 410-730-7872

**LANDSCAPE NOTES & DETAILS**

**COLUMBIA GATEWAY** Δ  
 PARCEL 'N-7, N-8 (Plat # 14234)  
 PARCEL 'N-9 (Plat # 14292)

SCALE: NOT TO SCALE (PLOT AT 1"=1')

DATE: April 2000

ZONING: M-1

TAX MAP - GRID: 42-12

G. L. W. FILE NO.: 99058

SHEET: 6 OF 14

HOWARD COUNTY, MARYLAND

**PLANT MATERIALS AND PLANTING METHODS**

**A. Plant Materials**

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

**1. Plant Names**  
 Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

**2. Plant Standards**  
 All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

**3. Plant Measurements**  
 All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

**a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.**

**b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').**

**c. Minimum size for planting shade trees shall be 3-3" caliper, 14'-18" in height.**

**d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3"-3" caliper, 10'-12" in height.**

**e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.**

**f. Caliper, height, spread and size of ball shall be generally as follows:**

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" diameter
3.5" - 4"	14'-16'	8'-10'	36" diameter
4" - 4.5"	16'-18'	8'-10'	40" diameter
4.5" - 5"	16'-17'	10'-12'	44" diameter
5" - 5.5"	18'-20'	10'-12'	48" diameter
5.5" - 6"	18'-20'	12'-14'	52" diameter

**4. Plant Identification**  
 Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

**5. Plant Inspection**  
 The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

**B. Planting Methods**

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

**1. Planting Seasons**  
 The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

**2. Digging**  
 All plant material shall be dug, balled and burlapped (B&B) in accordance with the "AAN Standards".

**3. Excavation of Plant Pits**  
 The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

**a. Locations of all proposed plant material shall be staked and approved in the field by the proposed landscape architect before any of the proposed plant material is installed by the landscaping contractor.**

**b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.**

**c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.**

**d. Diameter and depth of tree pits shall generally be as follows:**

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3.5" cal.	32"	64"	28"
3.5" - 4" cal.	36"	72"	32"
4" - 4.5" cal.	40"	80"	36"
4.5" - 5" cal.	44"	88"	40"
5" - 5.5" cal.	48"	96"	44"
5.5" - 6" cal.	52"	104"	48"

**4. Staking, Guying and Wrapping**  
 All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

**a. Stakes:** Shall be sound wood 2" x 2" rough saw oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

**b. Wire and Cable:** Wire shall be #10 gal. galvanized or bethanzed annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

**c. Hose:** Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Tree Braces" may be used in place of wire and hose on trees up to 3" in caliper.

**d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail". All trees over 3" in caliper are to be planted and guyed in accordance with the attached "Typical Tree Guying Detail".**

**5. Plant Pruning, Edging and Mulching**

**a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.**

**b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.**

**c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.**

**6. Plant Inspection and Acceptance**  
 The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

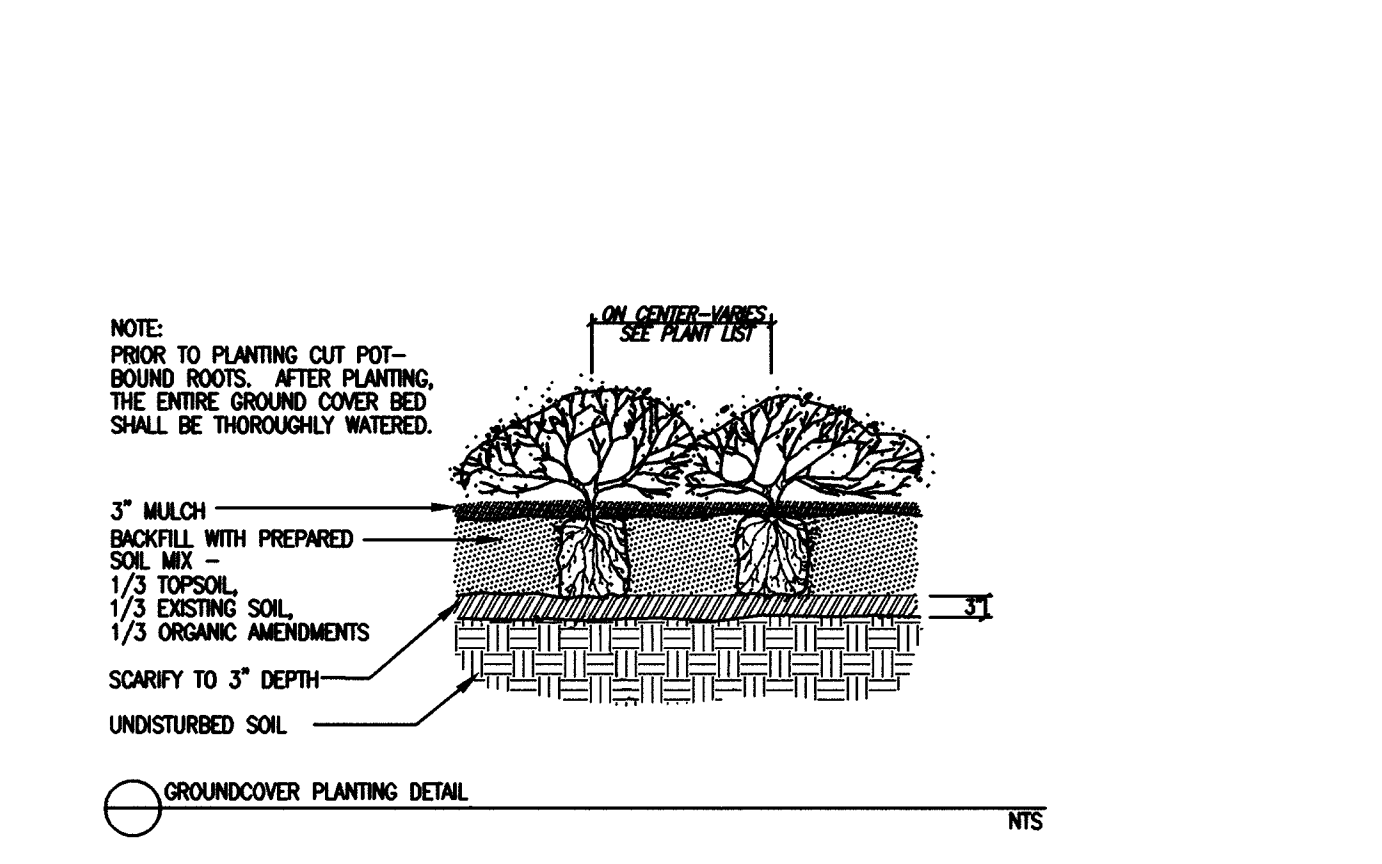
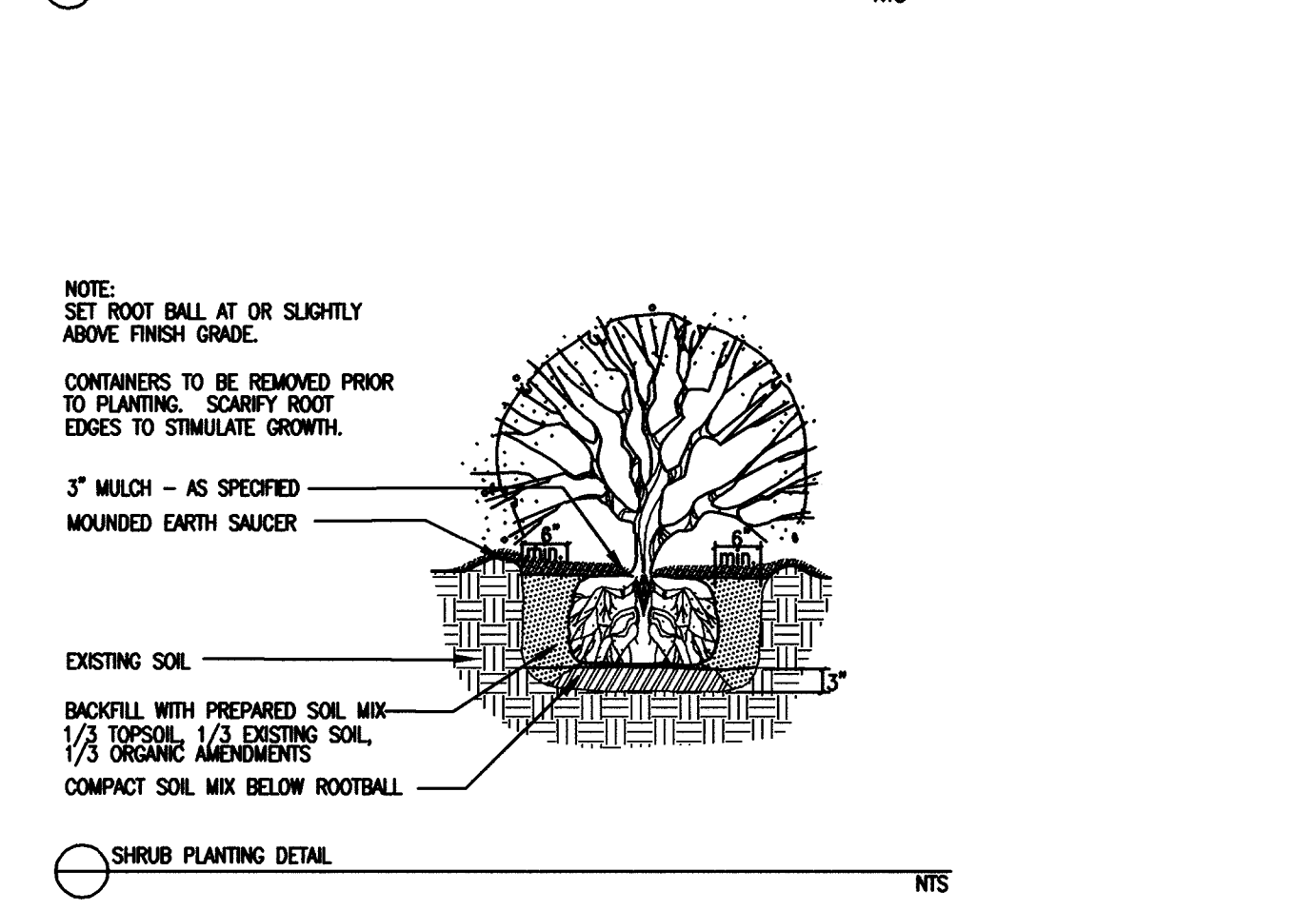
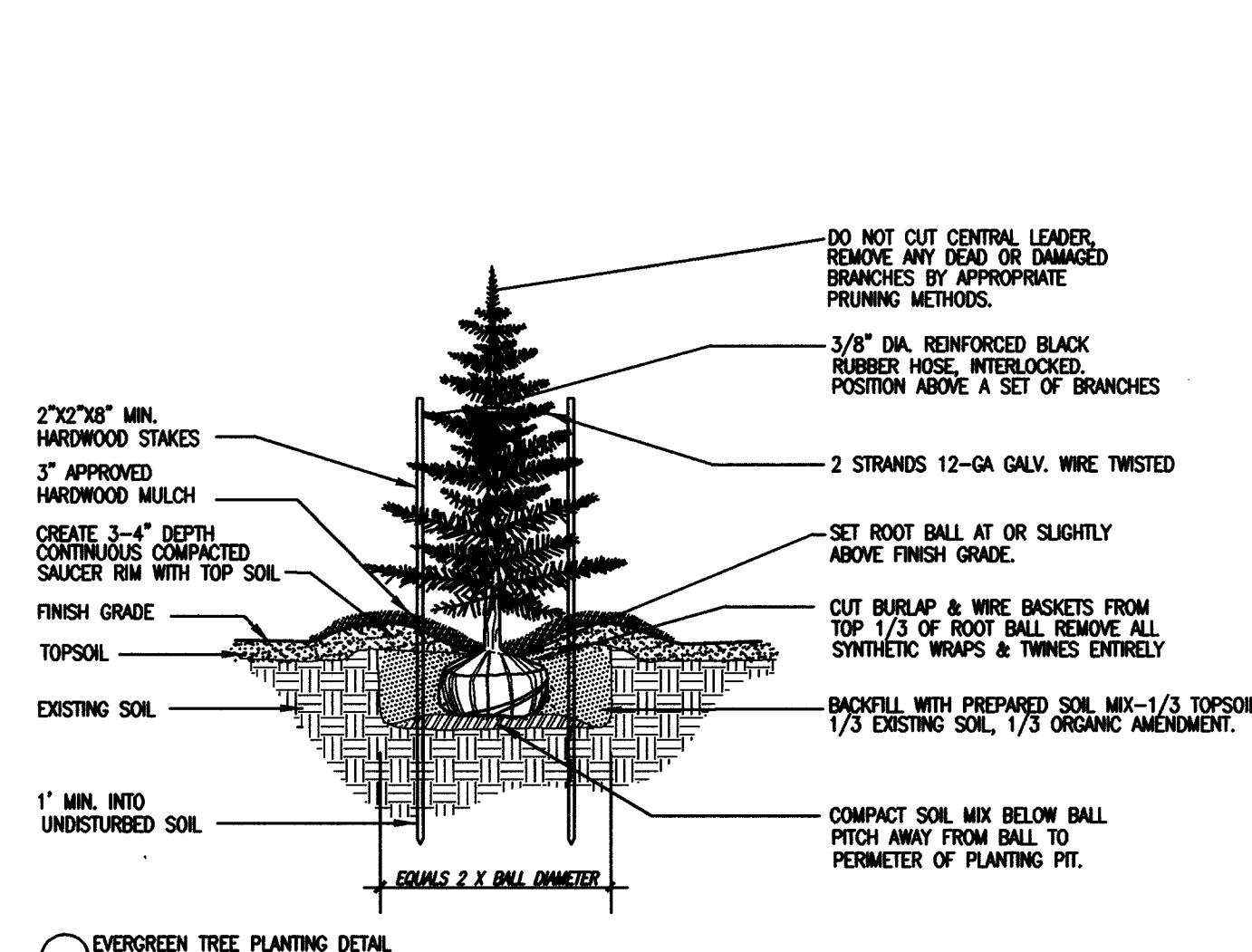
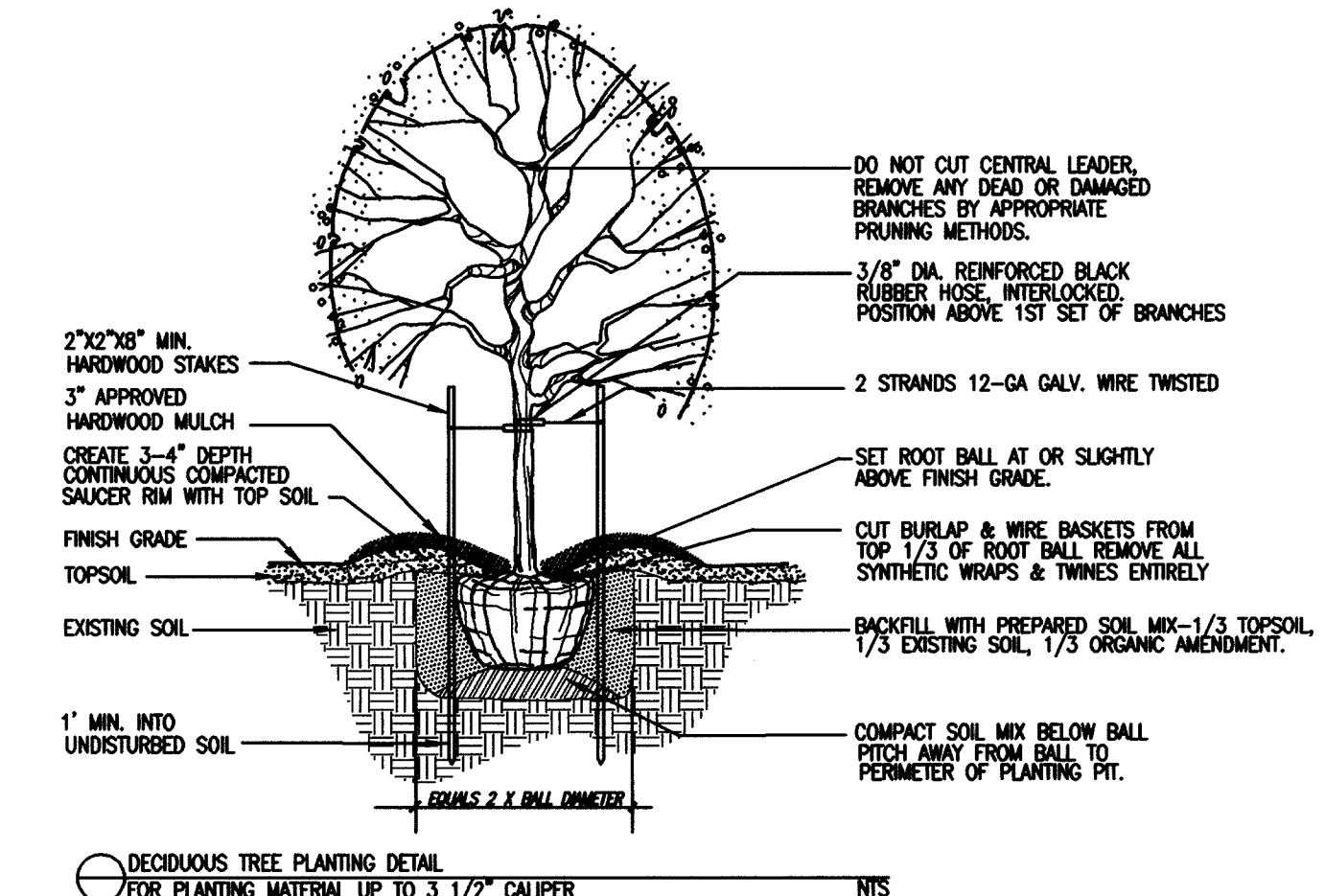
**7. Plant Guarantee**  
 All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

**a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.**

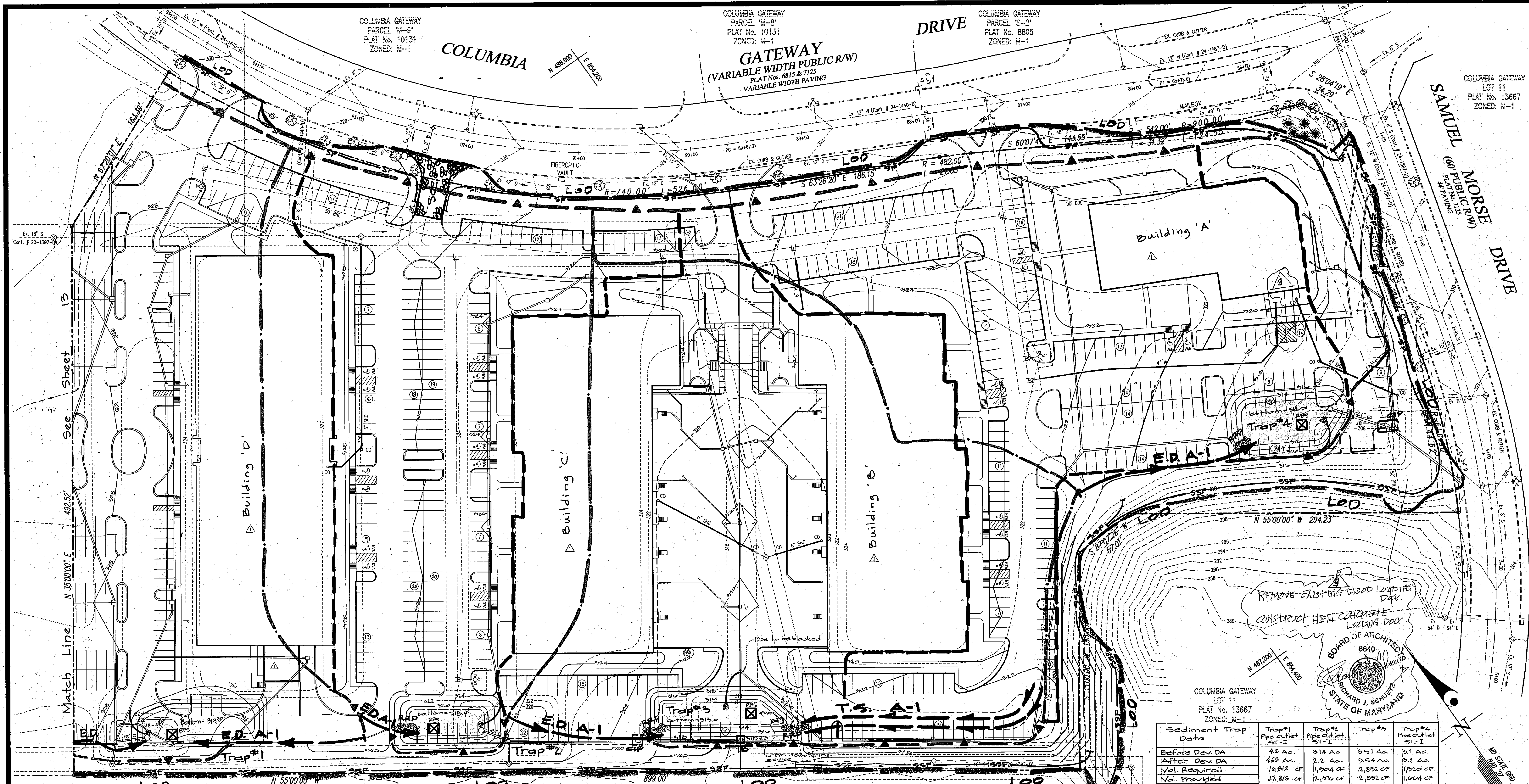
**b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.**

**Sodding**  
 All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.



GDP 99-100



Sediment Trap Data	Trap #1 Pipe Outlet ST-I	Trap #2 Pipe Outlet ST-I	Trap #3	Trap #4 Pipe Outlet ST-I
Before Dev. DA	42 Ac.	314 Ac.	351 Ac.	31 Ac.
After Dev. DA	46 Ac.	2.2 Ac.	3.94 Ac.	3.2 Ac.
Vol. Required	16,812 CF	11,904 CF	2,852 CF	1,620 CF
Vol. Provided	17,816 CF	12,316 CF	2,852 CF	1,664 CF
Top of Dam elev.	324.0	324.0	318.0	310.0
Bottom Elev.	318.0	318.0	312.0	312.0
Limit of Wet Storage	321.0	322.76	315.0	313.0
Limit of Dry Storage	323.0	322.76	317.0	315.0
Cleanout Elev.	317.5	319.33	314.15	312.0
Depth	5'	5'	5'	4'
Top of Dam Width	5'	5'	5'	5'
Riser Crest Elev.	323.0	322.70	317.0	315.0
Barrel Diameter	18"	24"	24"	24"
Riser Diameter	24"	24"	24"	24"
Trash Rack Diameter	30"	30"	30"	30"
Barrel Invert	318.0	318.0	317.0	312.0
Top of Inlet grate			317.0	

- Legend**
- SF — SF Silt fence
  - SSF — SSF Super silt fence
  - E.D. — E.D. Earth Dike
  - Before Dev. DA
  - After Dev. DA
  - Limit of disturbance
  - T.S. A-1 — Temp. Swale
  - RRP — Removable pumping station
  - CIP — Curb inlet protection
  - IB — Inlet blocking
  - RRP — Rip Rap Protection
  - SCE — Stabilized Construction Entrance

The contractor is to line the temporary swale with erosion control matting.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*John A. Blawie* 10/28/99  
Director Date

*Richard Blawie* 10/28/99  
Chief, Division of Land Development Date

*Michael J. Blawie* 10/28/99  
Chief, Development Engineering Division Date



GATEWAY COMMERCE CENTER  
PARCEL 'A-77'  
PLAT No. 13141  
ZONED: NEW TOWN

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction to be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HCCP.

*John A. Blawie* 10/12/99  
Signature of Developer/Builder Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3809 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

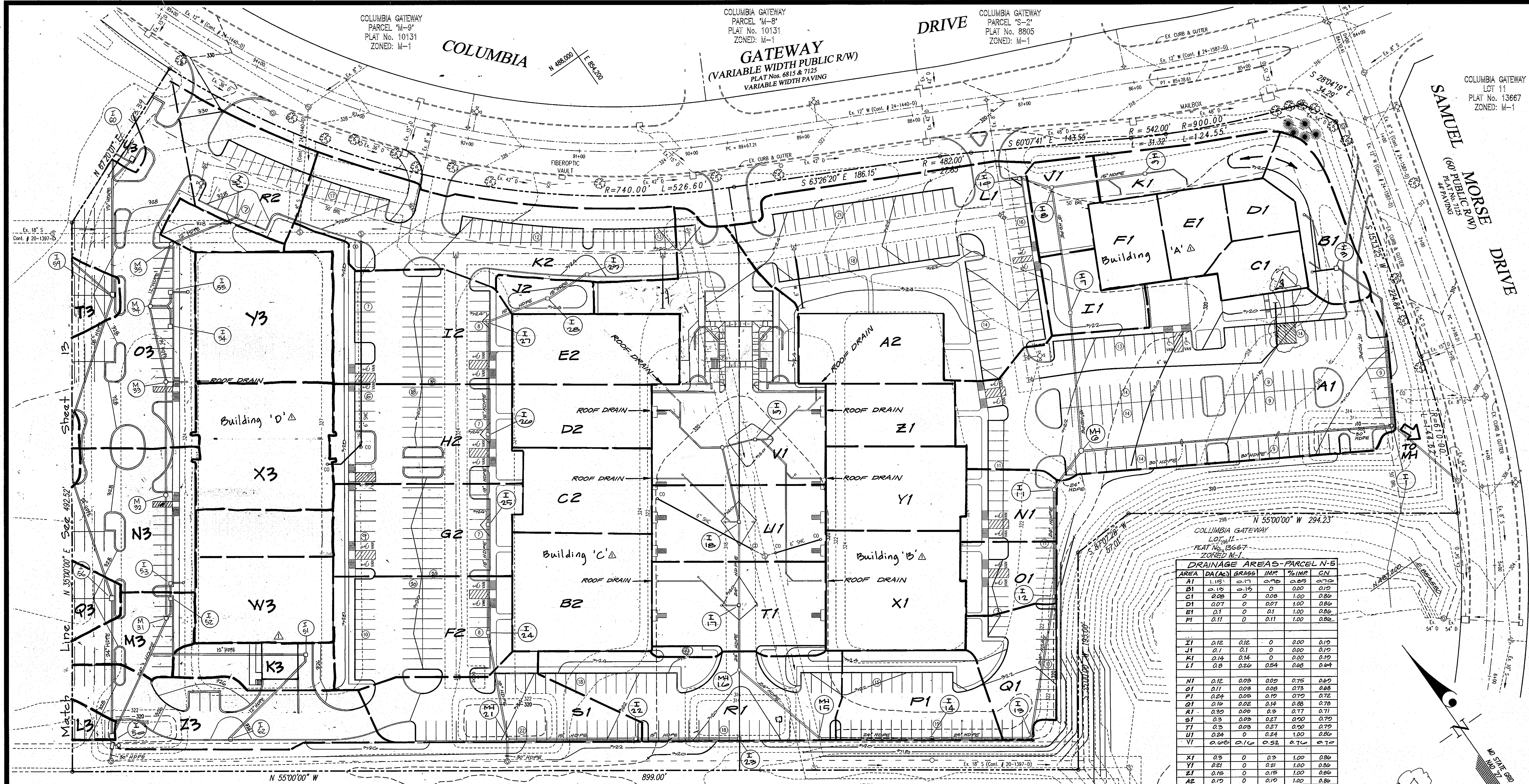
DATE	REVISION	BY	APPR.
3/20/02	Show building addition & designations. Revise plan to show current owner information.	JAU	
5/19/10	LOADING DOCK	JAU	
5/18/10	Rev. Trap #1 & trap data, rev sediment control in area of bldg. 'D'	JAU	
5/18/10	Add amenity area between bldg. 'B' and bldg. 'C' & new parking around bldg. 'D'	JAU	

PREPARED FOR:  
Corporate Development Services, L.L.C.  
2615 Centre Park Dr., Suite 400  
Columbia, Md. 21045  
Attn: Stan. Lin k  
Phone: 410-330-9092

Sediment Control Plan  
**COLUMBIA GATEWAY**  
PARCEL 'N-7, N-8' (Plat # 14234) Δ  
PARCEL 'N-9' (Plat # 14298)

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	99058
DATE	TAX MAP - GRID	SHEET
April 2000	42-12	7 OF 14

GDP 99-106



**DRAINAGE AREAS-PARCEL N-5**

AREA	DA (Ac)	GRASS	IMP	% IMP	CN
A1	1.15	0.17	0.70	0.85	0.70
B1	0.12	0.15	0	0.00	0.10
C1	0.08	0	0.08	1.00	0.80
D1	0.07	0	0.07	1.00	0.80
E1	0.1	0	0.1	1.00	0.80
F1	0.11	0	0.11	1.00	0.80
I1	0.12	0.12	0	0.00	0.10
J1	0.1	0.1	0	0.00	0.10
K1	0.14	0.14	0	0.00	0.10
L1	0.8	0.20	0.54	0.68	0.64
N1	0.12	0.03	0.02	0.75	0.60
O1	0.11	0.03	0.08	0.73	0.68
P1	0.24	0.05	0.10	0.70	0.72
Q1	0.10	0.02	0.14	0.88	0.78
R1	0.35	0.05	0.3	0.77	0.71
S1	0.3	0.02	0.27	0.90	0.70
T1	0.3	0.03	0.27	0.90	0.70
U1	0.24	0	0.24	1.00	0.80
V1	0.008	0.10	0.32	0.70	0.70
X1	0.3	0	0.3	1.00	0.80
Y1	0.21	0	0.21	1.00	0.80
Z1	0.15	0	0.15	1.00	0.80
A2	0.15	0	0.15	1.00	0.80
B2	0.3	0	0.3	1.00	0.80
C2	0.2	0	0.2	1.00	0.80
D2	0.10	0	0.10	1.00	0.80
E2	0.21	0	0.21	1.00	0.80
F2	0.34	0.08	0.26	0.70	0.71
G2	0.32	0.08	0.24	0.75	0.60
H2	0.32	0.07	0.25	0.70	0.72
I2	0.4	0.1	0.3	0.75	0.60
J2	0.00	0.00	0	0.00	0.10
K2	0.53	0.10	0.37	0.70	0.60
L2	0.30	0	0.30	1.00	0.80
M2	0.15	0	0.15	1.00	0.80
N2	0.30	0	0.30	1.00	0.80
O2	0.74	0	0.74	1.00	0.80
P2	0.50	0	0.50	1.00	0.80
Q2	0.37	0	0.37	1.00	0.80
R2	0.23	0.06	0.17	0.74	0.61
S2	0.30	0	0.30	1.00	0.80
T2	0.75	0	0.75	1.00	0.80
U2	0.15	0	0.15	1.00	0.80
V2	0.14	0	0.14	1.00	0.80

REMOVE EXISTING WOOD LOADING DOCK  
CONSTRUCT NEW CONCRETE LOADING DOCK

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Richard J. Schmitt*  
Director  
Date: 10/28/99

*Richard J. Schmitt*  
Chief, Division of Land Development  
Date: 10/28/99

*Richard J. Schmitt*  
Chief, Development Engineering Division  
Date: 10/21/99



GATEWAY COMMERCE CENTER  
PARCEL 'A-77'  
PLAT No. 13141  
ZONED: NEW TOWN

**This plan is for drainage area information only!**  
Note: Due to the mass grading which has occurred on this site, 'c' soil was used for all runoff/discharge calculations.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK  
BURTONTVILLE, MARYLAND 20886  
TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	DES.	DRN.	CHK.
5/19/02	Add building addition & designations and revise ownership information.			JAL
5/19/02	LOADING DOCK			JAL
5/18/00	Add amenity area between bldg. 'B' and bldg. 'C', rev. D.A. chart			JAL
				BY
				APPR.

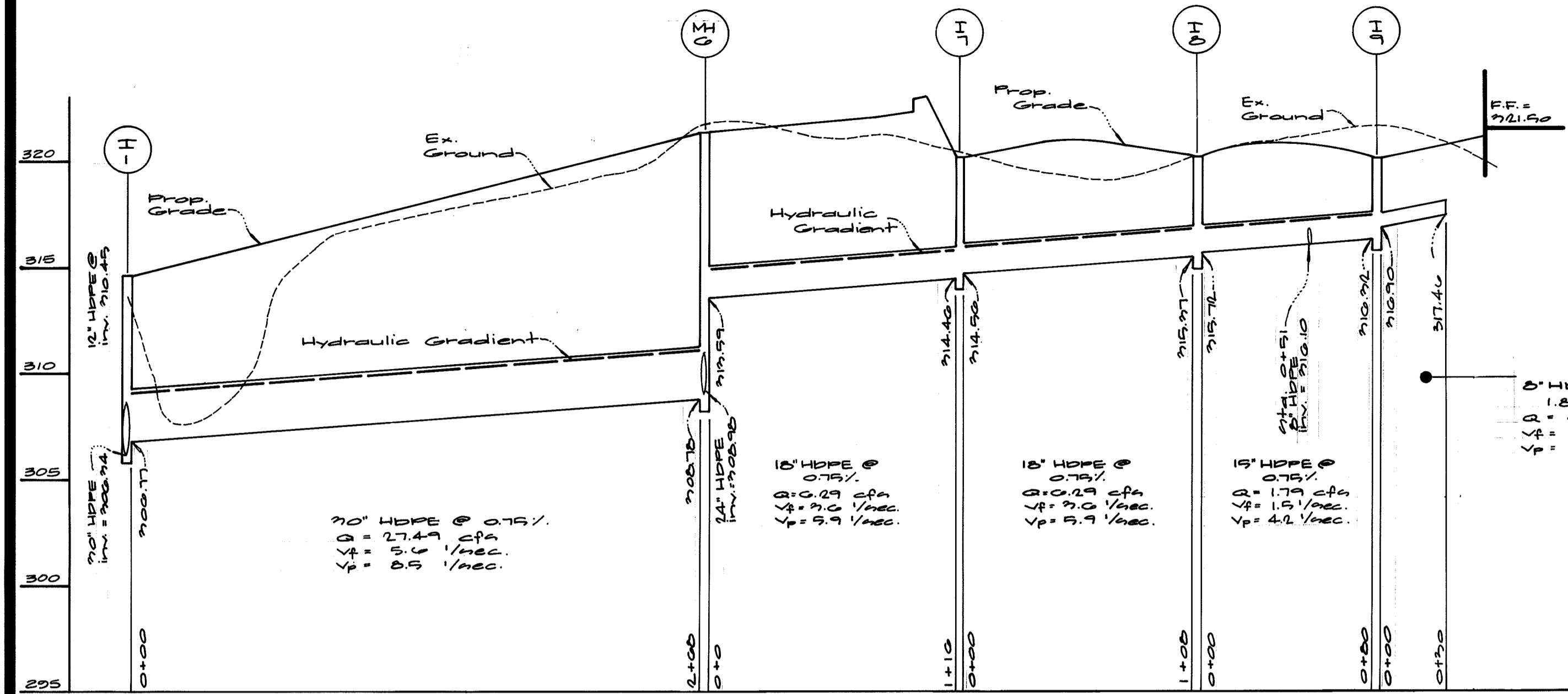
PREPARED FOR:   
Corporate Development Services, L.L.C.  
8815 Centre Park Dr., Suite 400  
Columbia, Md. 21045  
Attn: Stan Link  
Phone: 410-730-9092

**DRAINAGE AREA MAP**  
**COLUMBIA GATEWAY**  
PARCEL 'N-7, N-8 (Plat # 14234)  
PARCEL 'N-9 (Plat # 14293)

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	99058
DATE	TAX MAP - GRID	SHEET
April 2000	42 - 12	12 OF 14

ADP 99-100

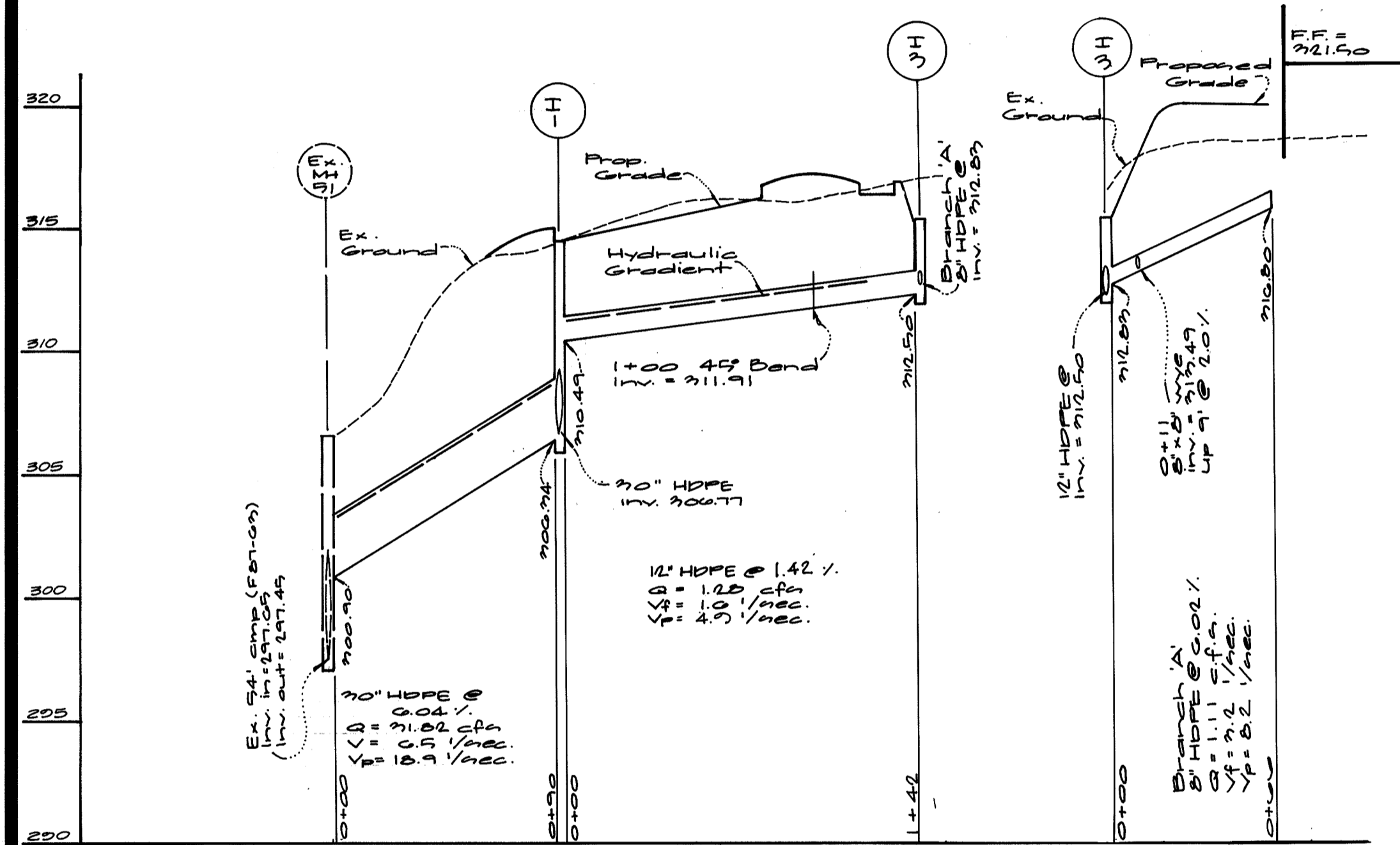




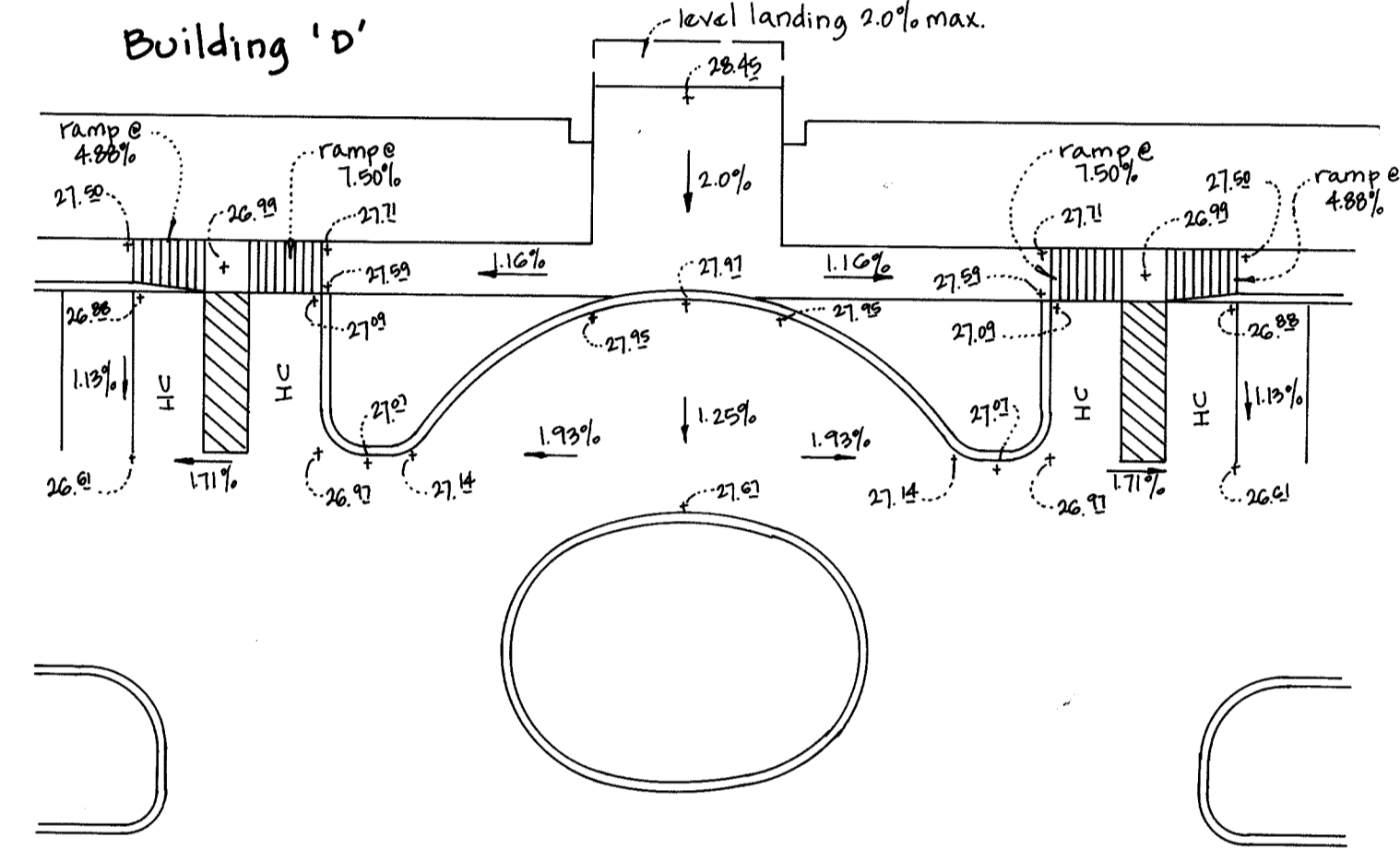
Pipe Schedule			
size	type	quantity (l.f.)	Remarks
8"	H.D.P.E.	123	
12"	H.D.P.E.	257	
15"	H.D.P.E.	110	
18"	H.D.P.E.	292	
24"	H.D.P.E.	627	
30"	H.D.P.E.	756	
10"	H.D.P.E.	374	

Structure Schedule									
No.	Type	Width (inside)	Top Elevation		Invert Elevation		St'd Detail	Locations	Remarks
			Upper	Lower	Upper	Lower			
I1	COG 15		315.45	315.10	310.47	306.54		see plan	ump
I3	YARD 12'		315.50		312.85	312.50	*	see plan	ump
M10	Std manhole	5'	321.90		317.59	308.76	G 5.12	see plan	
I7	YARD 12'		320.10		314.50	314.40	*	see plan	ump
I8	YARD 12'		320.10		315.72	315.37	*	see plan	ump
I9	YARD 12'		320.10		314.00	314.32	*	see plan	ump
I10	DOUBLE "5"		319.90			314.50	S.D. 4.23	see plan	ump
I11	SINGLE "5"		322.50		309.27	309.17	S.D. 4.22	see plan	ump
I12	SINGLE "5"		322.50		310.00	309.00	S.D. 4.22	see plan	ump
I13	SINGLE "5"		320.00		311.11	311.00	S.D. 4.22	see plan	ump
I14	SINGLE "5"		320.00		311.74	311.04	S.D. 4.22	see plan	ump
M15	Std manhole	4'	320.97		312.64	312.54	G 5.12	see plan	
M16	Std manhole	4'	320.40		313.30	313.20	G 5.12	see plan	
I17	DOUBLE "5"		319.41		314.84	313.77	S.D. 4.23	see plan	ump
I18	DOUBLE "5"		319.41		316.84	314.64	S.D. 4.23	see plan	ump
I19	DOUBLE "5"		319.55		316.10	315.76	S.D. 4.23	see plan	ump
M17	Std Manhole	4'	320.00		316.84	315.42	G 5.12	see Plan	

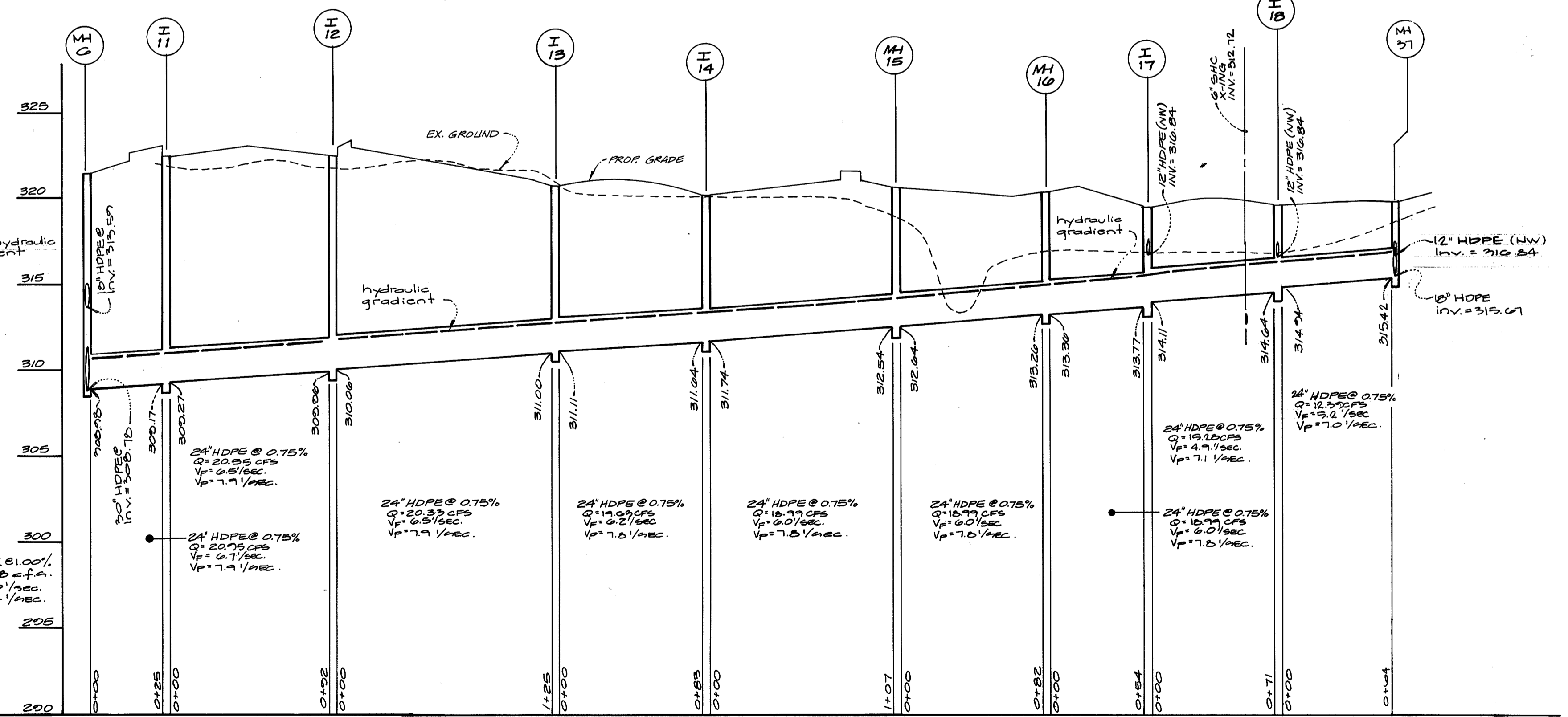
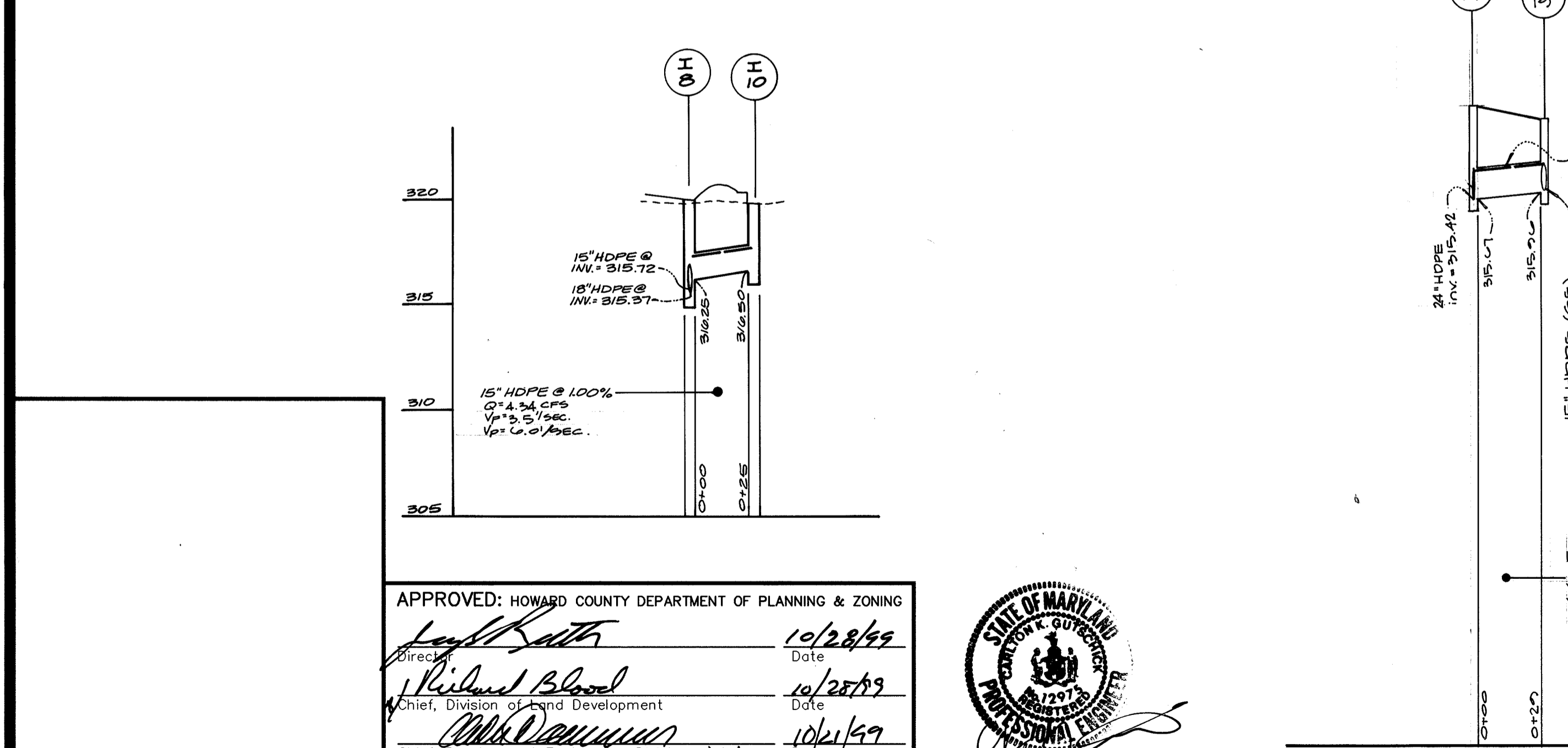
\* ADS drain or approved equal.



**PROFILE SCALE**  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 5'



Handicap Detail - Bldg. 'D'  
 Scale: 1" = 20'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 [Signature] 10/28/99 Date  
 [Signature] 10/28/99 Date  
 [Signature] 10/21/99 Date



**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

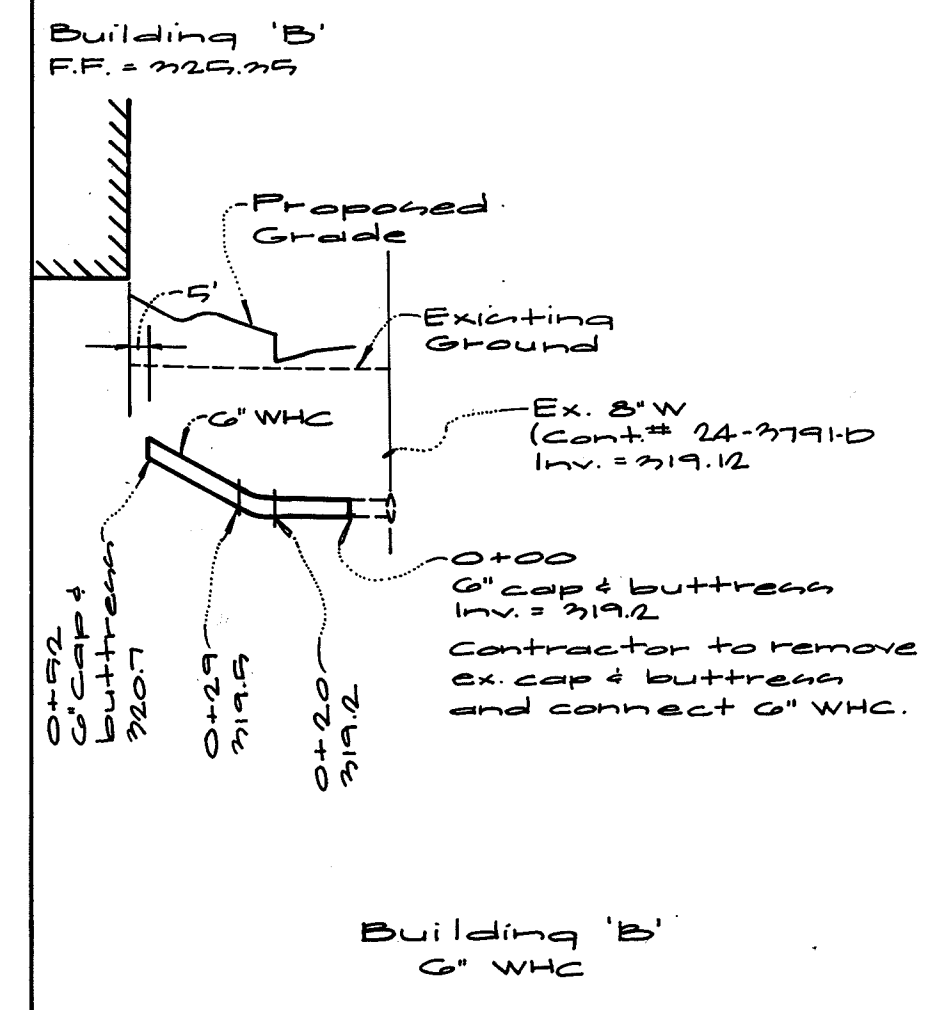
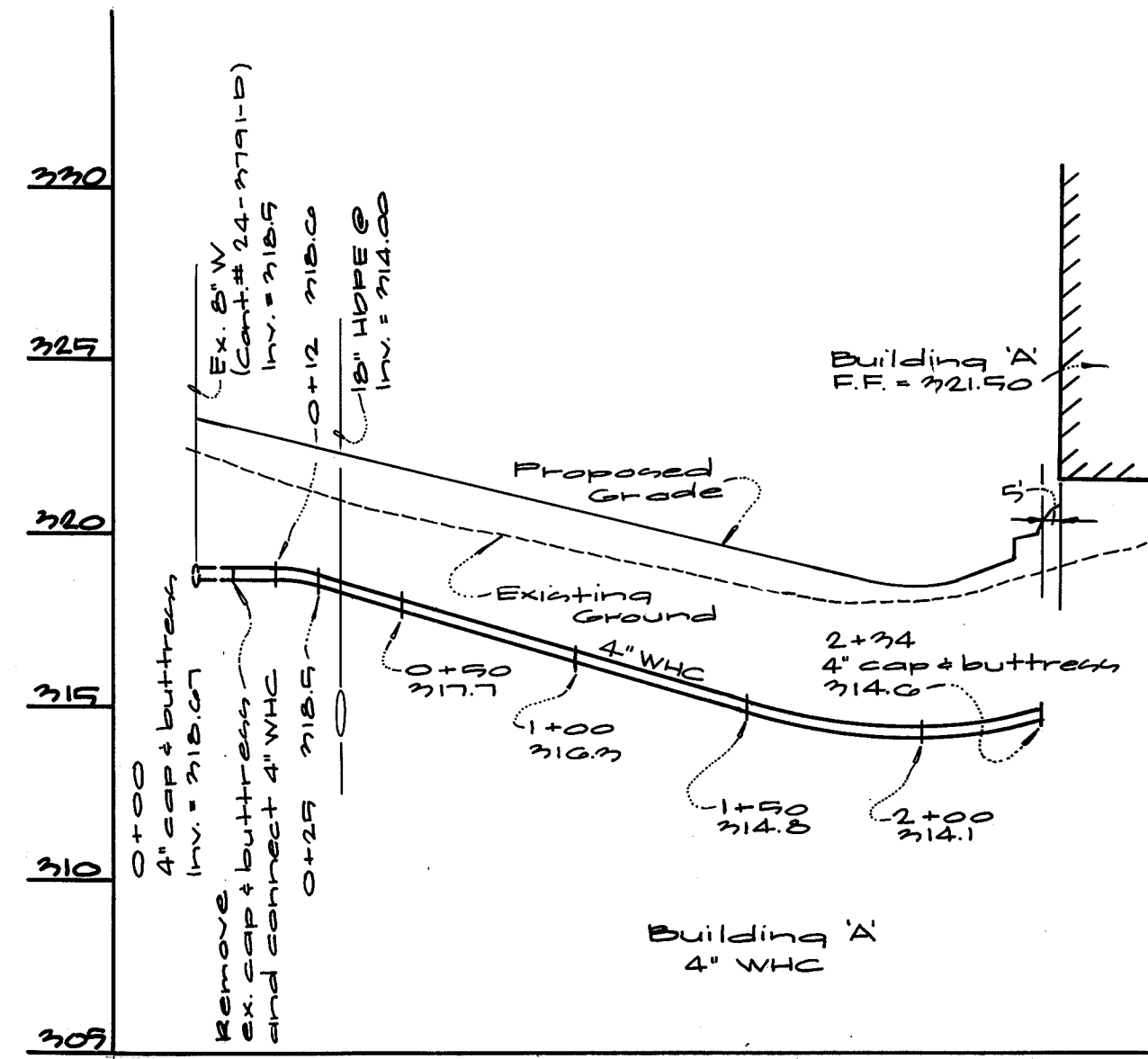
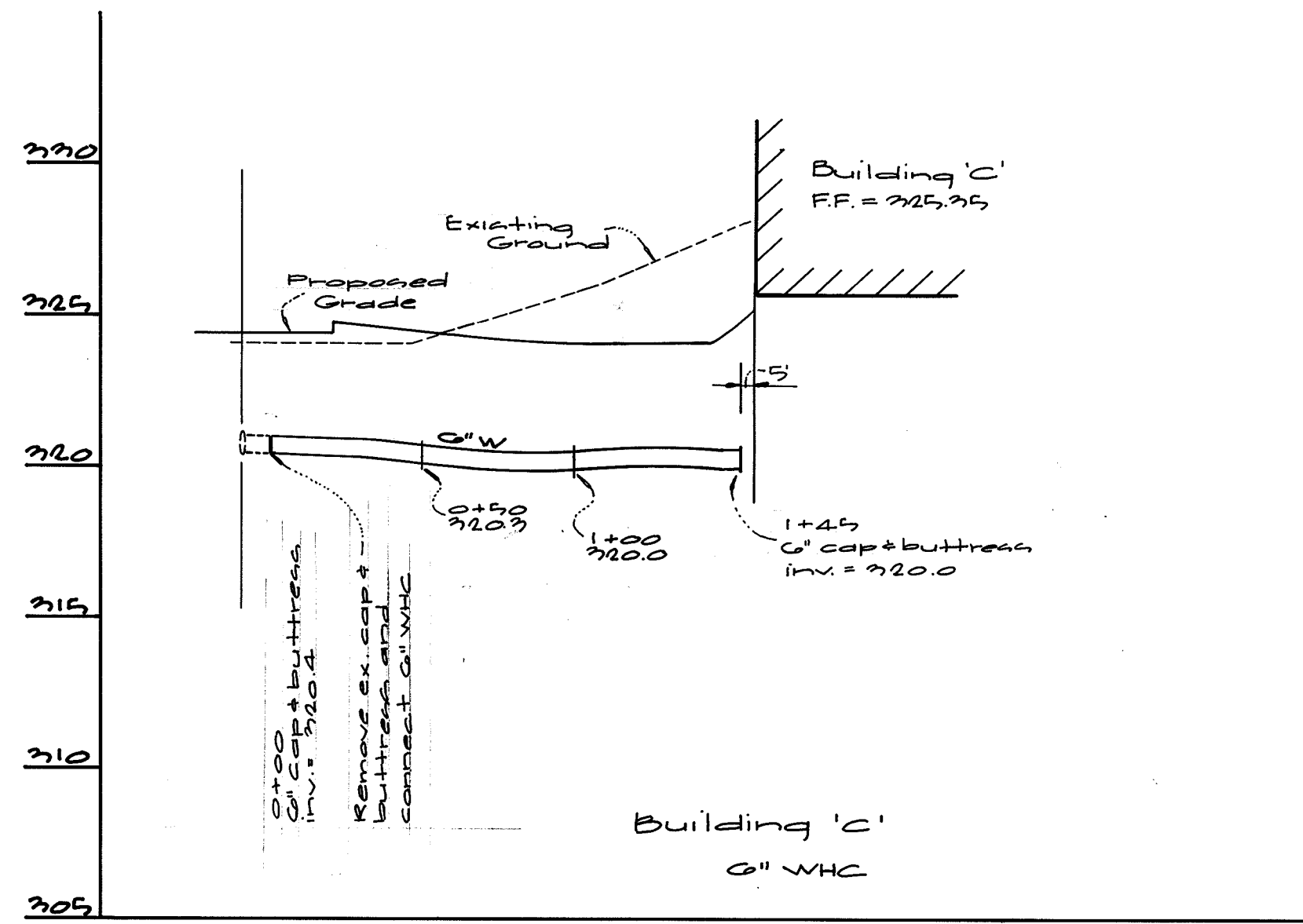
DATE	REVISION	BY	APPR.
2/20/02	Revise "prepared for" and Title Block to reflect current owner information.	JAU	
5/18/00	Rev. Parcel No's, Date, & Sheet No's, add HC access detail	JAU	

PREPARED FOR: **Corporate Development Services, L.L.C.**  
 8815 Centre Park Dr. Suite 400  
 Columbia, Md. 21045  
 Attn: Stan Link  
 Phone: 410-730-9092

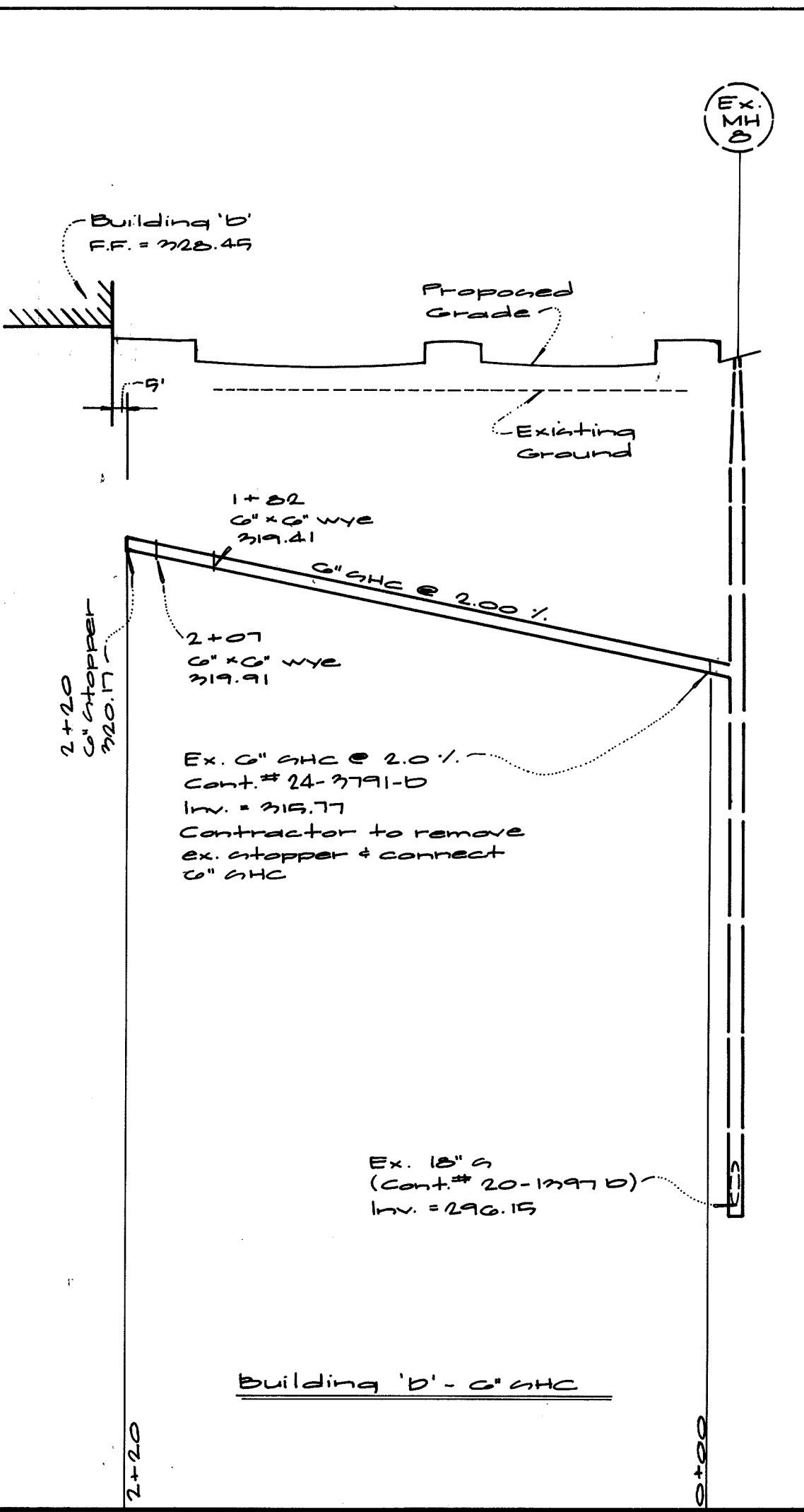
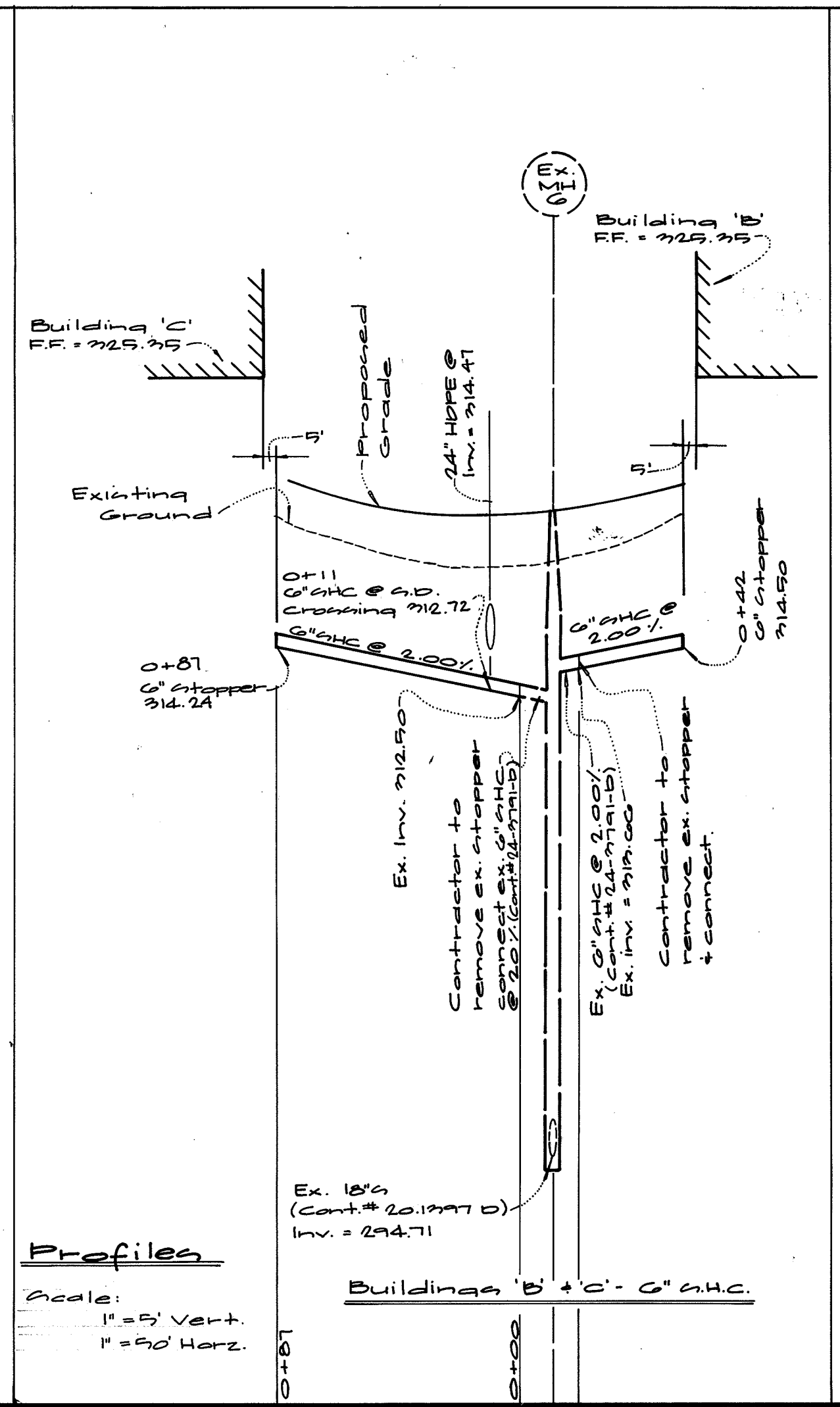
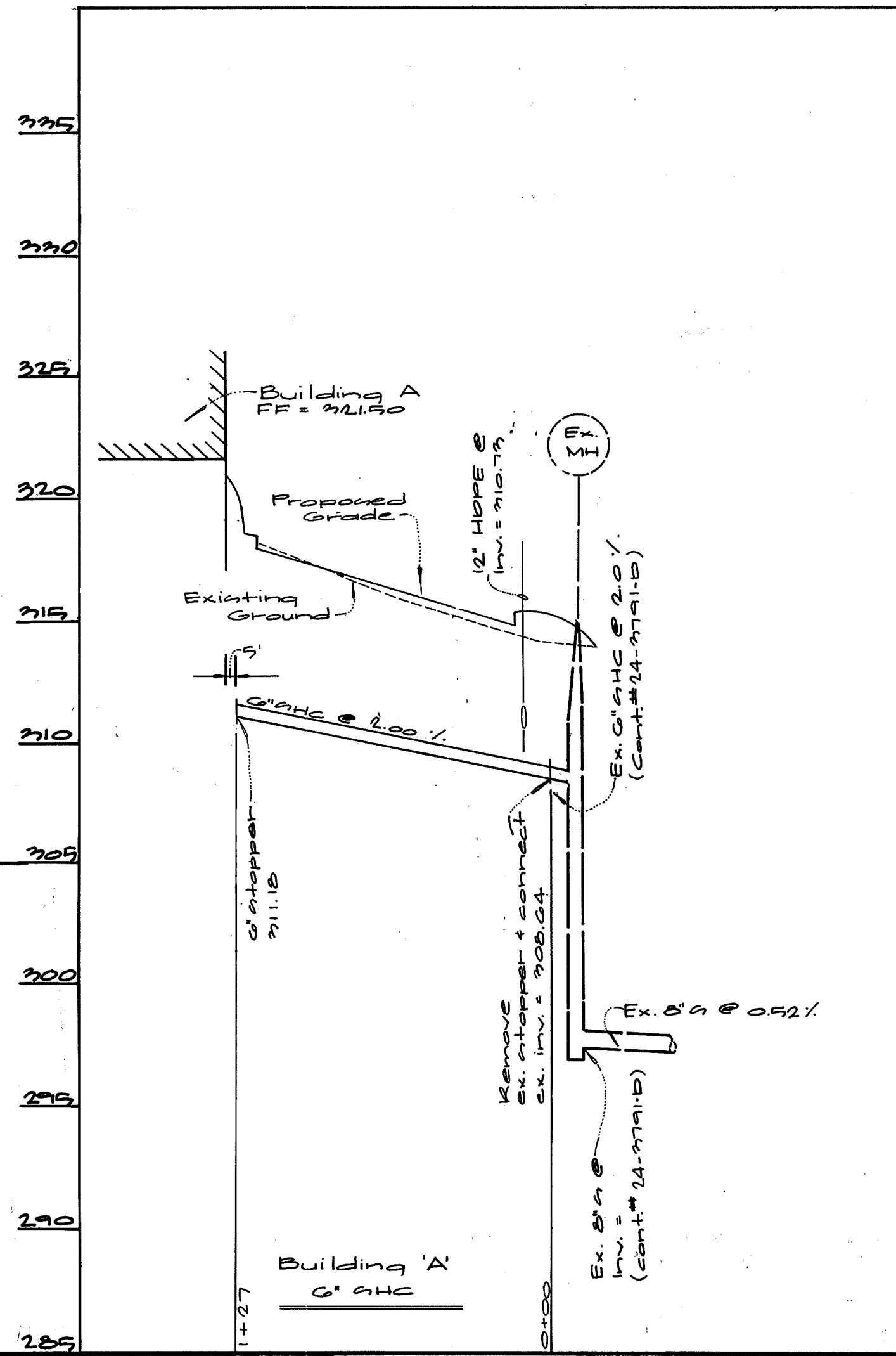
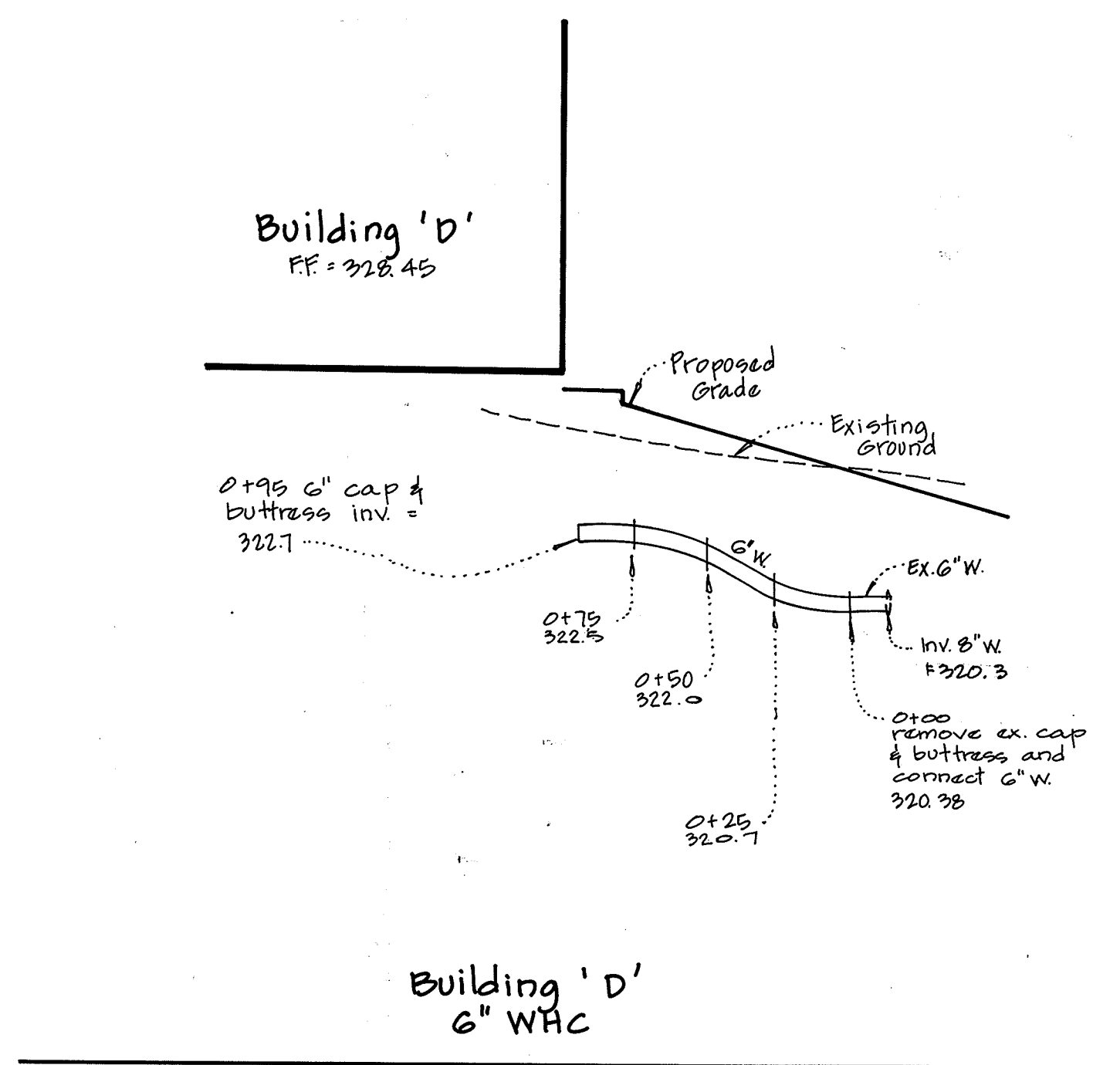
**STORM DRAIN PROFILES & SCHEDULES**  
**COLUMBIA GATEWAY**  
 PARCEL 'N-7, N-8 (Plat # 14234)  
 PARCEL N-9 (Plat # 14278)  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	99058
DATE: April 2000	TAX MAP - GRID: 42 - 12	SHEET: 9 OF 14

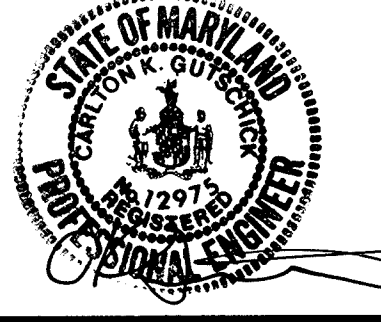




Profiles  
Scale: Horiz.: 1"=50'  
Vert.: 1"=5'



Approved: Howard County Dept. of Planning & Zoning  
 Date: 10/28/99  
 Richard Blood  
 Chief, Division of Land Development  
 Date: 10/28/99  
 Chief, Development Engineering Division



**GW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866  
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

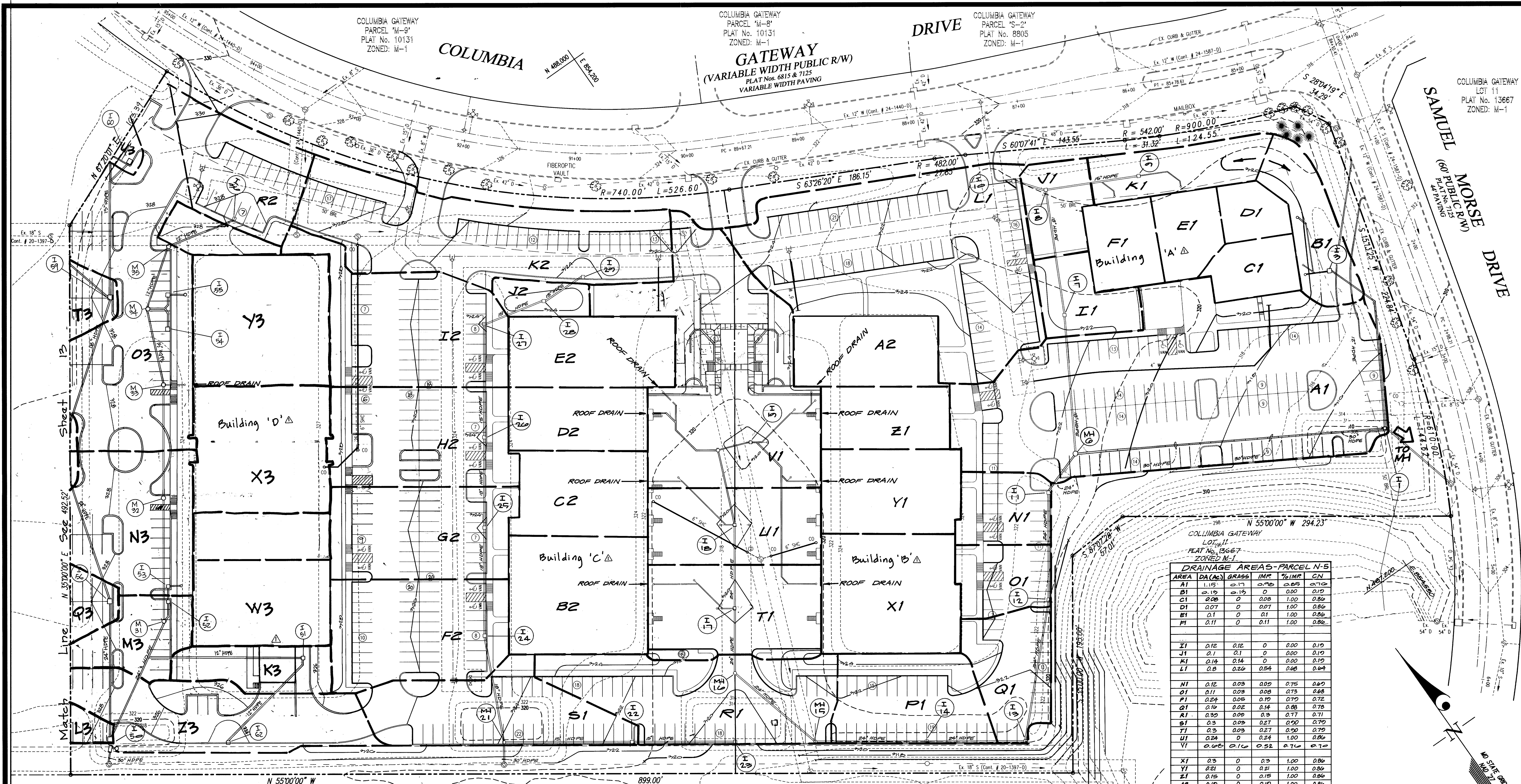
DATE	REVISION	BY	APP'R.
5/18/00	Rev. title block information and W.H.C. for building 'D'	JAL	
9/30/02	Revise "prepared for" & Title Block to reflect current owner information	JAL	

PREPARED FOR: **Corporate Development Services, LLC**  
 2815 Centre Park Dr., Suite 400  
 Columbia, Md. 21045  
 Attn: Stan Link  
 Phone: 410-730-9092

**Water & Sewer Profiles**  
**Columbia Gateway**  
 Parcel N-7, N-8 (Plat # 14234)  
 Parcel N-9 (Plat # 14298)  
 Guilford Election District No. 6  
 Howard County, Maryland

DES. DEV	SCALE	ZONING	G.L.W. FILE No.
FMM/KLP	As Shown	M-1	99058
CHK. DEV	DATE	TAX MAP No.	SHEET
	April 2000	42-12	11 of 14

GDP 99-166



**DRAINAGE AREAS-PARCEL N-8**

AREA	DA (Ac)	GRASS	IMP.	%IMP.	CN
A1	1.15	0.17	0.98	0.85	0.10
B1	0.19	0.19	0	1.00	0.80
C1	0.08	0	0.08	1.00	0.80
D1	0.07	0	0.07	1.00	0.80
E1	0.11	0	0.11	1.00	0.80
F1	0.11	0	0.11	1.00	0.80
I1	0.12	0.12	0	0.00	0.10
J1	0.1	0.1	0	0.00	0.10
K1	0.14	0.14	0	0.00	0.10
L1	0.8	0.26	0.54	0.68	0.64
N1	0.12	0.03	0.09	0.75	0.60
O1	0.11	0.03	0.08	0.73	0.68
P1	0.24	0.05	0.19	0.79	0.72
Q1	0.14	0.02	0.14	0.88	0.78
R1	0.30	0.00	0.3	0.77	0.71
S1	0.3	0.03	0.27	0.90	0.70
T1	0.3	0.03	0.27	0.90	0.70
U1	0.24	0	0.24	1.00	0.80
V1	0.06	0.16	0.52	0.71	0.70
X1	0.3	0	0.3	1.00	0.80
Y1	0.21	0	0.21	1.00	0.80
Z1	0.15	0	0.15	1.00	0.80
A2	0.15	0	0.15	1.00	0.80
B2	0.3	0	0.3	1.00	0.80
C2	0.2	0	0.2	1.00	0.80
D2	0.16	0	0.16	1.00	0.80
E2	0.21	0	0.21	1.00	0.80
F2	0.34	0.08	0.26	0.76	0.71
G2	0.32	0.08	0.24	0.75	0.69
H2	0.33	0.07	0.26	0.79	0.72
I2	0.4	0.1	0.3	0.75	0.69
J2	0.06	0.06	0	0.00	0.10
K2	0.53	0.16	0.37	0.70	0.66
L2	0.26	---	---	---	0.85
M2	0.75	---	---	---	0.85
N2	0.32	---	---	---	0.85
O2	0.74	---	---	---	0.85
P2	0.3	---	---	---	0.85
Q2	0.37	---	---	---	0.85
R2	0.23	0.06	0.17	0.74	0.69
S2	0.26	---	---	---	0.85
T2	0.73	---	---	---	0.85
U2	0.75	---	---	---	0.85
V2	0.14	---	---	---	0.85

AREA	D.A.	CN
K3	0.13	0.85
W3	0.33	0.80
X3	0.33	0.80
Y3	0.33	0.80
Z3	0.30	0.85

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Richard Blawie* 10/28/99  
 Chief, Division of Land Development: *Richard Blawie* 10/28/99  
 Chief, Development Engineering Division: *Chris Dammann* 10/28/99



GATEWAY COMMERCE CENTER  
 PARCEL 'A-77'  
 PLAT No. 13141  
 ZONED: NEW TOWN

**This plan is for drainage area information only!**

Note: Due to the mass grading which has occurred on this site, 'c' soil was used for all runoff/discharge calculations.

NOTE: DRAINAGE AREA M1 HAS BEEN INTENTIONALLY OMITTED.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3809 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

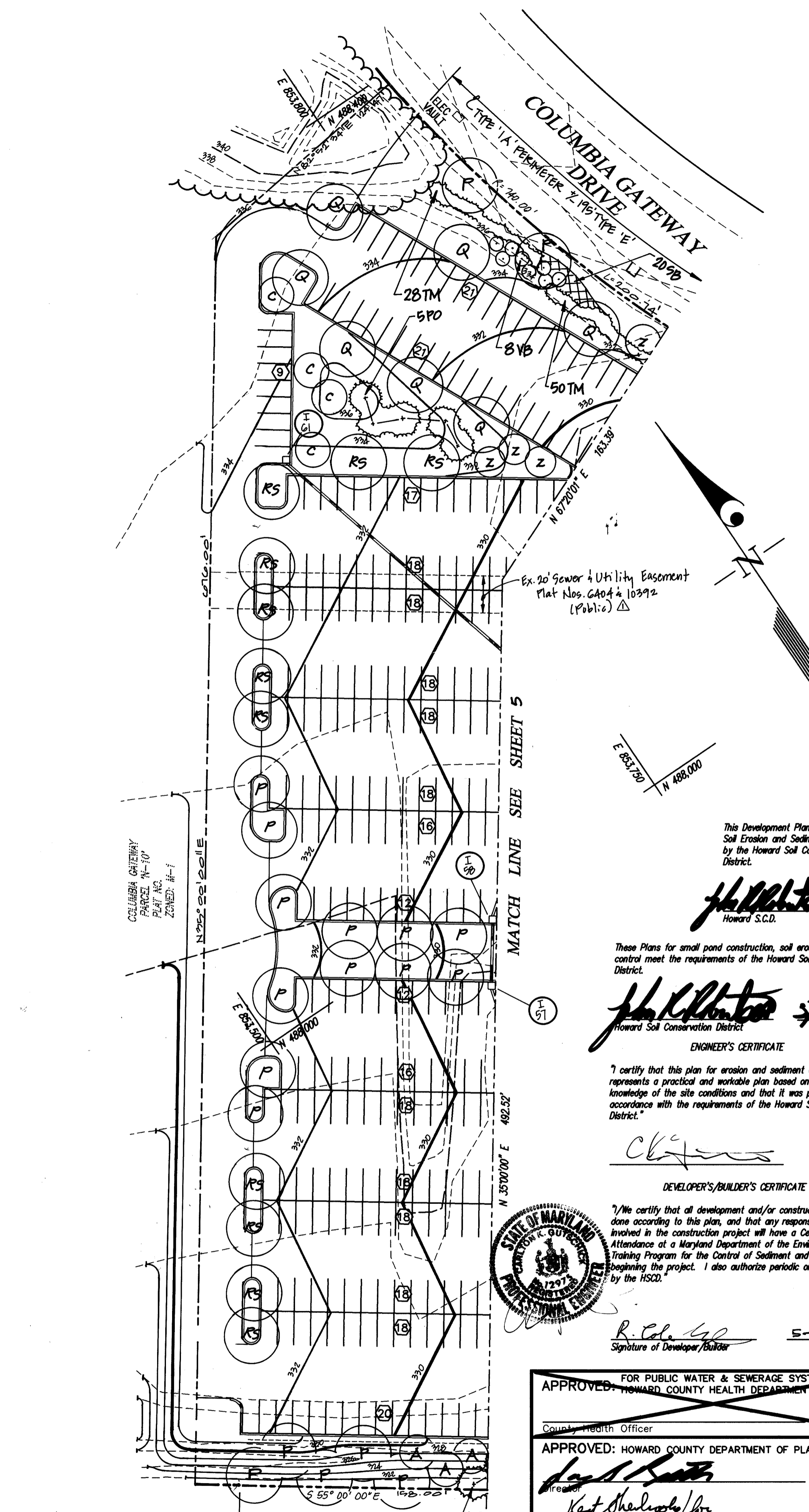
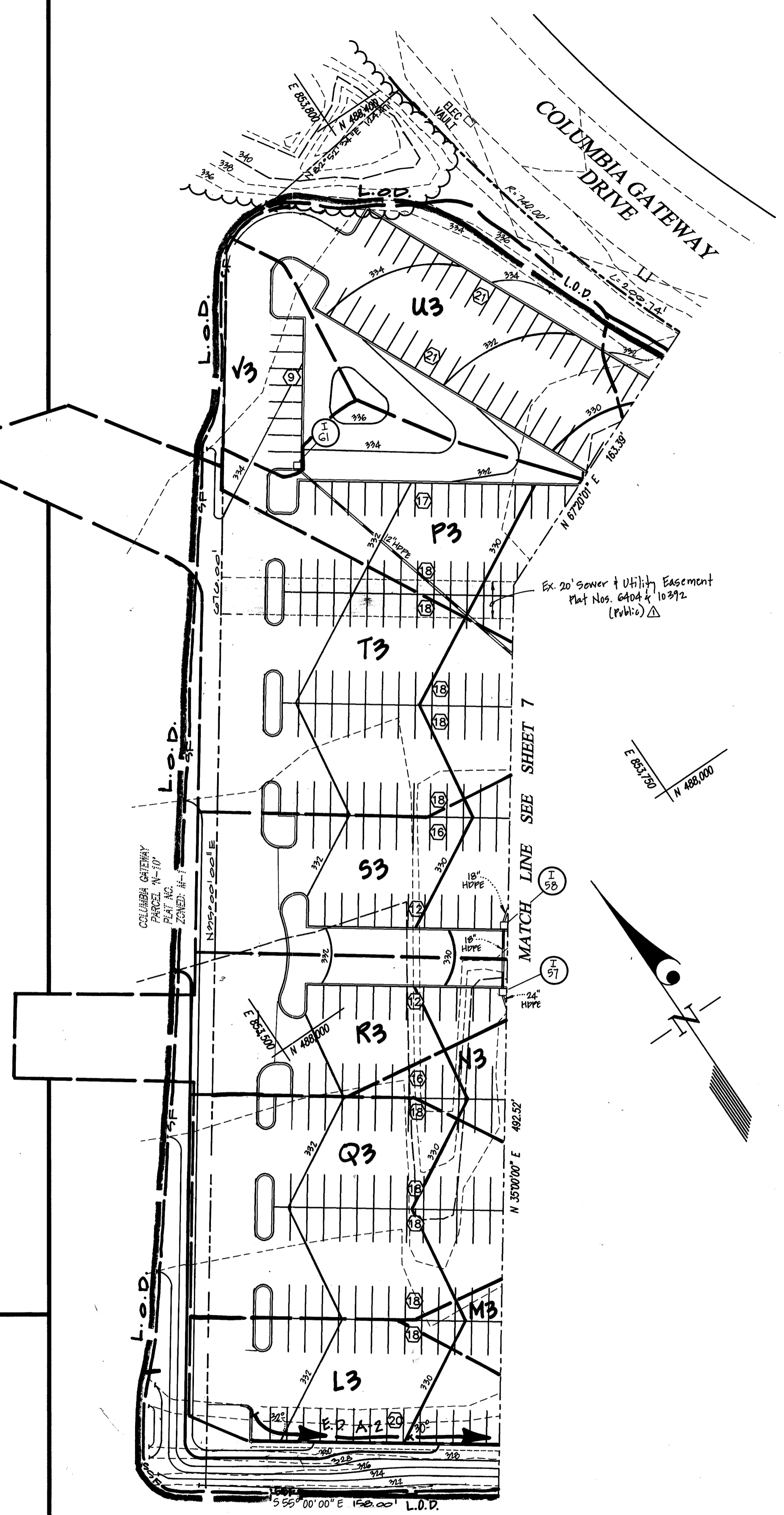
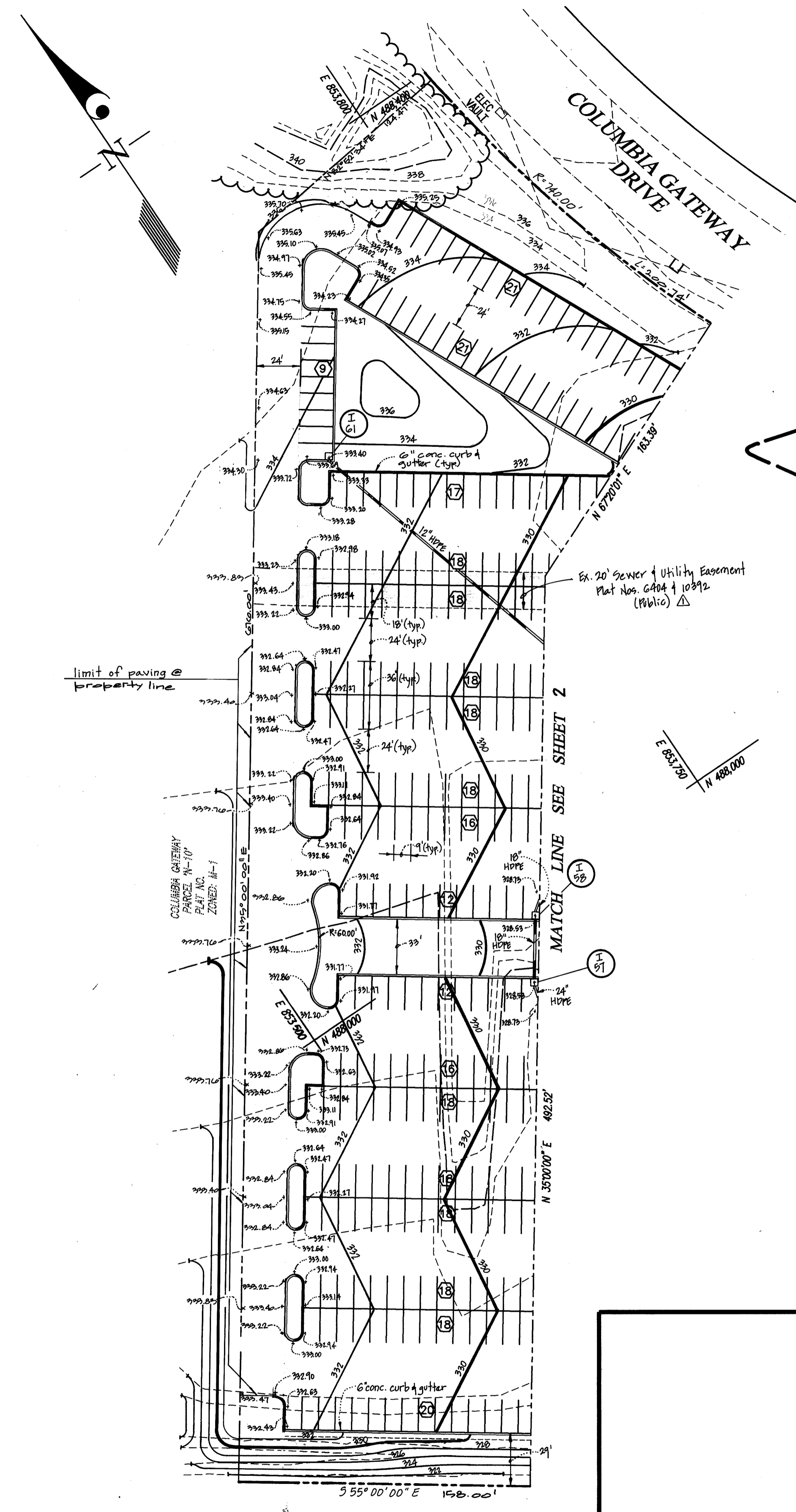
DATE	REVISION	BY	APPR.
3/20/02	Add building addition & designations and revise ownership information.	JAL	
3/10/00	Add amenity area between bldg. 'B' and bldg. 'C', rev. D.A. chart	JAL	

PREPARED FOR:  $\Delta$   
 Corporate Development Services, L.L.C.  
 2019 Centre Park Dr., Suite 400  
 Columbia, Md. 21045  
 Attn: Stan Link  
 Phone: 410-730-7072

**DRAINAGE AREA MAP**  
**COLUMBIA GATEWAY  $\Delta$**   
 PARCEL 'N-7, N-8 (Plat #14234)  
 PARCEL 'N-9 (Plat #14235)

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	99058
DATE	TAX MAP - GRID	SHEET
April 2000	42-12	12 OF 14

ADP 99-106



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*J. H. [Signature]* 5/13/00  
Howard S.C.D. Date

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

*J. H. [Signature]* 5/13/00  
Howard Soil Conservation District Date

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*C. [Signature]* 5/18/00  
Date

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

*R. [Signature]* 5-18-00  
Signature of Developer/Builder Date

FOR PUBLIC WATER & SEWERAGE SYSTEMS  
APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 6/30/00  
Date

*Kat [Signature]* 6/30/00  
Date R

Chief, Division of Land Development Date R

*[Signature]* \_\_\_\_\_  
Chief, Development Engineering Division MK Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
5/20/02	the purpose of this sheet was to add more parking area required by the conversion of Bldg 'D' from one-story to two-stories	JAL	
	Revise "prepared for" and title block to reflect current ownership information		
	Identify & grade ex. easements.		

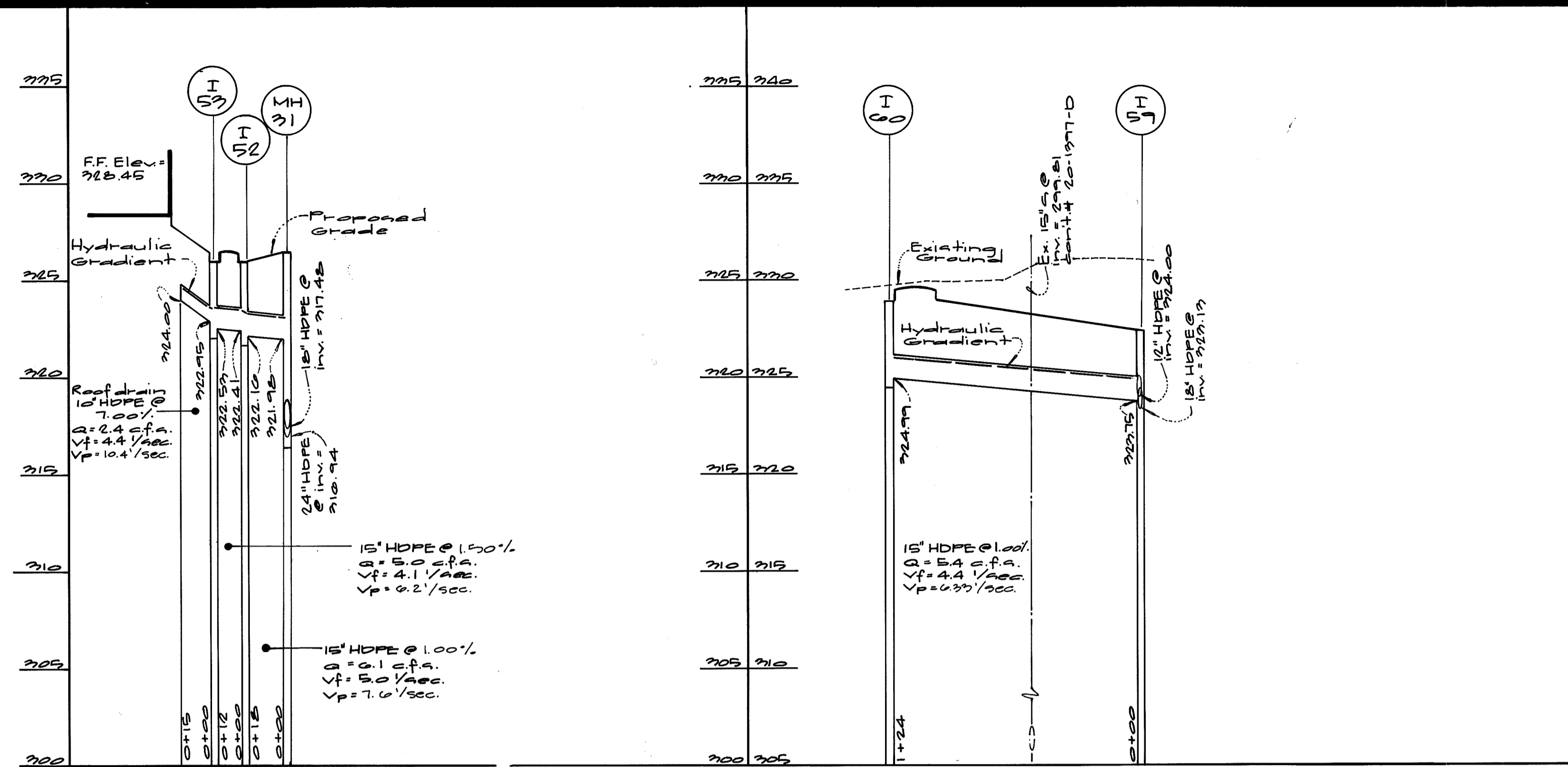
PREPARED FOR:  
Corporate Development Services, L.L.C.  
8815 Centre Park Dr., Suite 400  
Columbia, Md. 21045  
Attn: Stan Link  
Phone: 410-730-7992

**SITE DEVELOPMENT PLAN**  
**COLUMBIA GATEWAY**  
PARCEL N-7, N-8 (Plat # 14234)  
PARCEL N-9 (Plat # 14298)

GUILFORD ELECTION DISTRICT No. 6

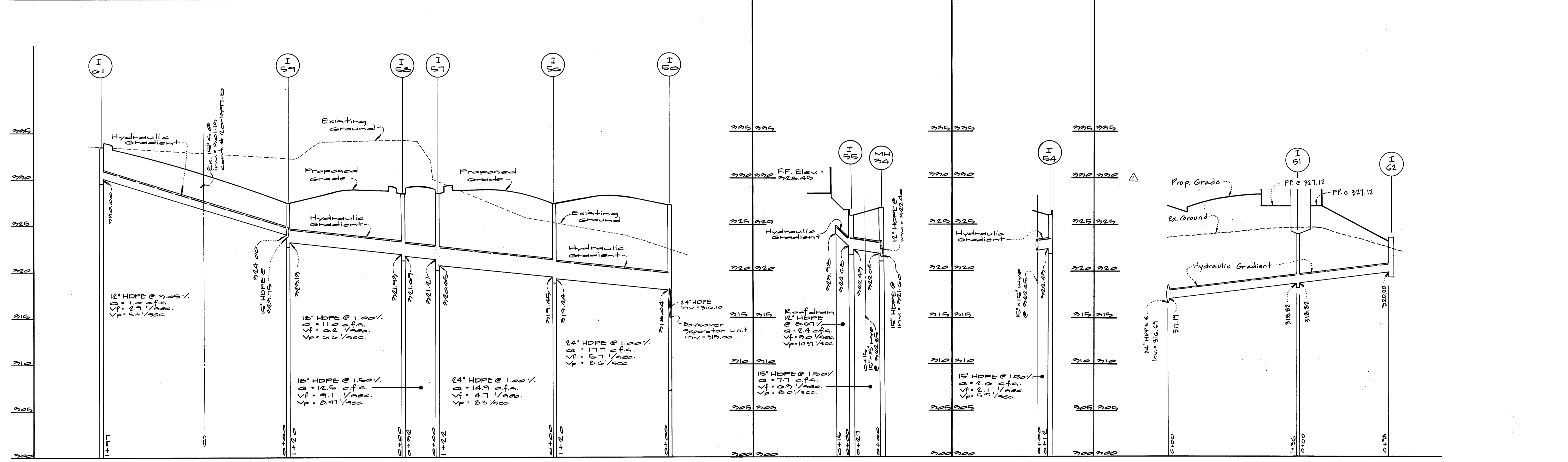
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	00069
DATE	TAX MAP - GRID	SHEET
APRIL, 2000	42-12	13 OF 14



Size	Type	Quantity (L.F.)	Remarks
10"	HDPE	15'	
12"	HDPE	346' Δ	
15"	HDPE	179'	
18"	HDPE	152'	
24"	HDPE	242'	

No.	Type	Width Inside	Top Elevation		Invert Elevation		s+d	Locations	Remarks
			Upper	Lower	Upper	Lower			
I-50	CO-10	6'-0"	327.03		318.04	315.00	Md. SHA Det.	See Plan	
I-51	S Inlet	2'-7 1/2"	324.25		318.82	315.82	Ho. Co. Det.		
I-52	WT Inlet	3'-5 3/8"	320.50		322.41	322.10	Ho. Co. Det.		
I-53	WT Inlet		326.50		322.75	322.53			
I-54	WT Inlet		326.63			322.43			
I-55	WT Inlet		326.63		322.68	322.43			
I-56	WT Inlet		327.90		319.45	319.24			
I-57	WT Inlet		329.03		321.21	320.05			
I-58	WT Inlet		329.03		321.73	321.09			
I-59	A-12 Inlet	2'-6"	327.90		324.00	323.19	Ho. Co. Det.		
I-60	WT Inlet	3'-5 3/8"	329.37			324.99	Ho. Co. Det.		
I-61	WT Inlet		323.90			322.88	Ho. Co. Det.		
I-62	A-5 Inlet	2'-6"	324.11			320.00	Ho. Co. Det.		



Approved: Howard County Department of Planning & Zoning  
*[Signature]* 6/30/00  
 Date  
*[Signature]* 6/30/00  
 Chief, Division of Land Development  
 Date RB  
 Chief, Development Engineering Division  
 Date 6/1/00



**GW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866  
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.
3/20/02	the purpose of this sheet was to add more parking area required by the conversion of Bldg. D from one-story to two-stories	JAK	
	Δ Revise storm drain profile & schedules for Bldg. D addition and prepared for "and" Title Block for most recent owner.		

PREPARED FOR: Δ  
 Corporate Development Services, L.L.C.  
 8815 Centre Park Dr., Suite 400  
 Columbia, Md. 21045  
 Attn: Stan Link  
 Phone: 410-730-9012

Storm Drain Profiles  
**Columbia Gateway**  
 Parcel N-7, N-8 (Plat # 14234) Δ  
 Parcel N-9 (Plat # 14238)  
 Guilford Election District No. 5  
 Howard County, Maryland

DES.:	SCALE As Shown	ZONING M-1	G.L.W. FILE NO. 99058
DRN.:	DATE April 2000	TAX MAP NO. 42-12	SHEET 14 of 14
CHK.:			

Additional sheet added 5/19/2000

SDP-99-166