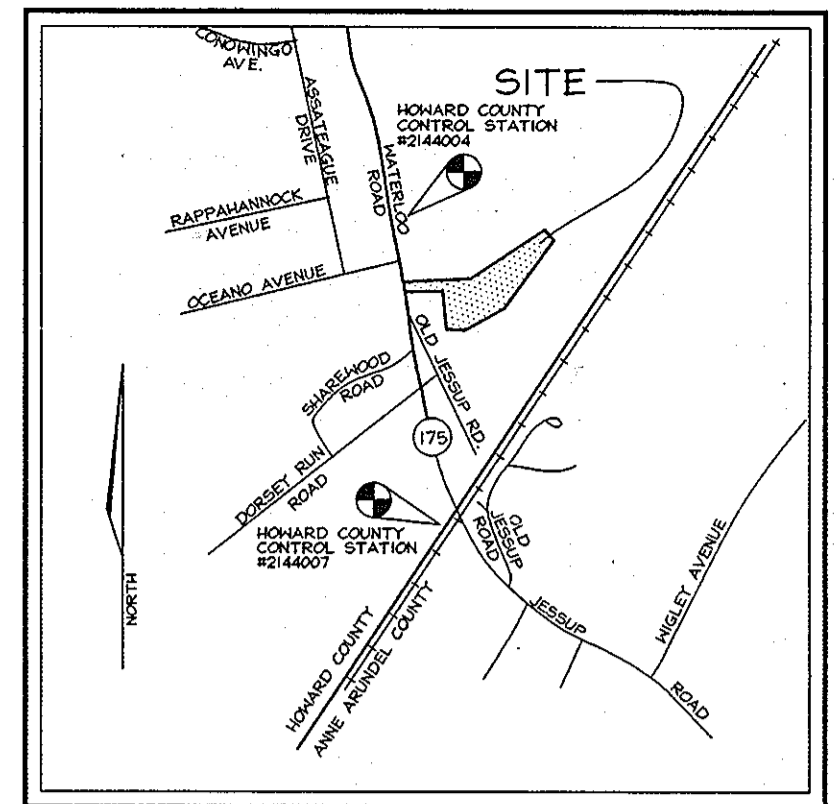


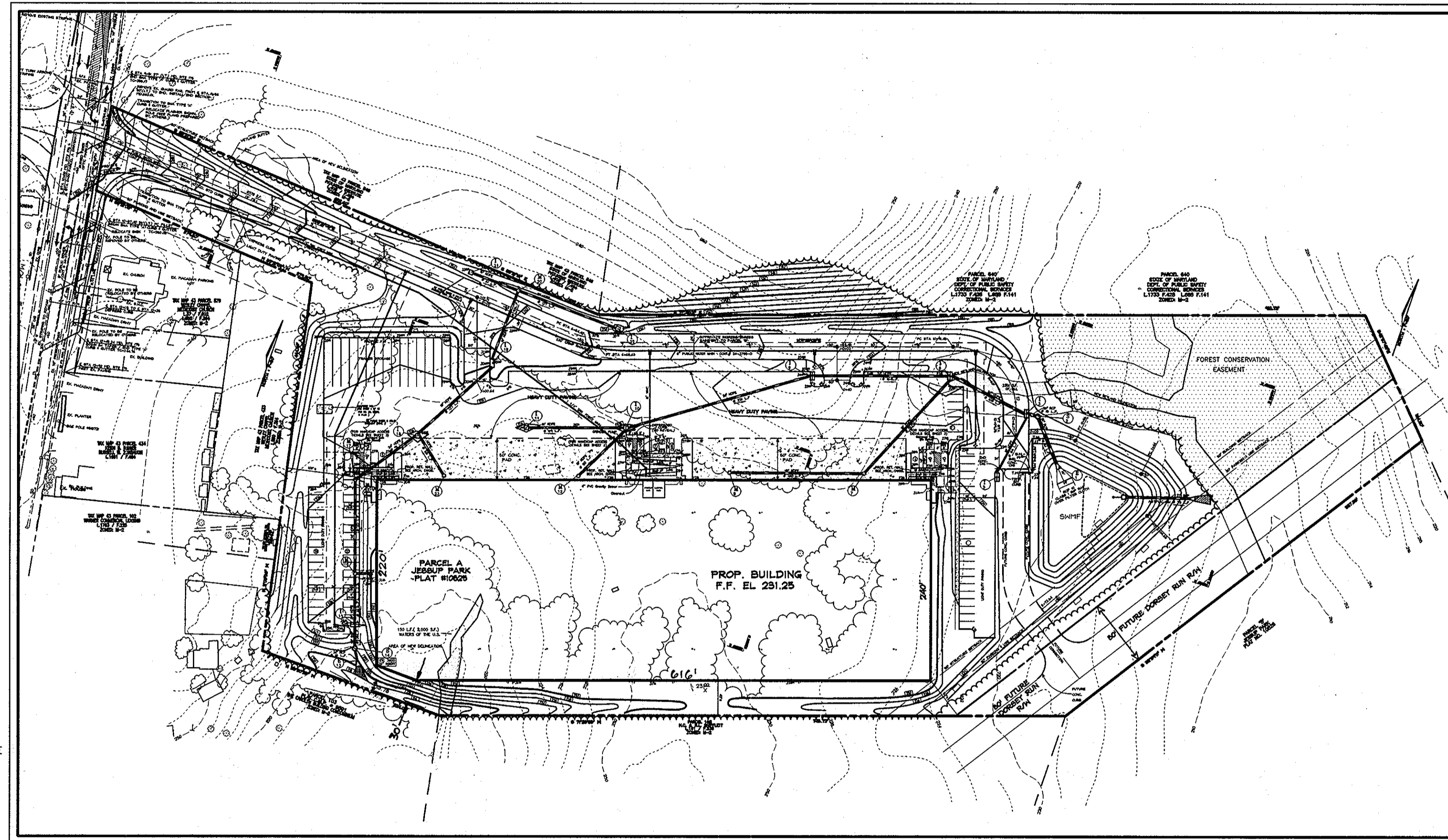
# JESSUP PARK PARCEL 'A' SITE DEVELOPMENT PLANS HOWARD COUNTY, MARYLAND



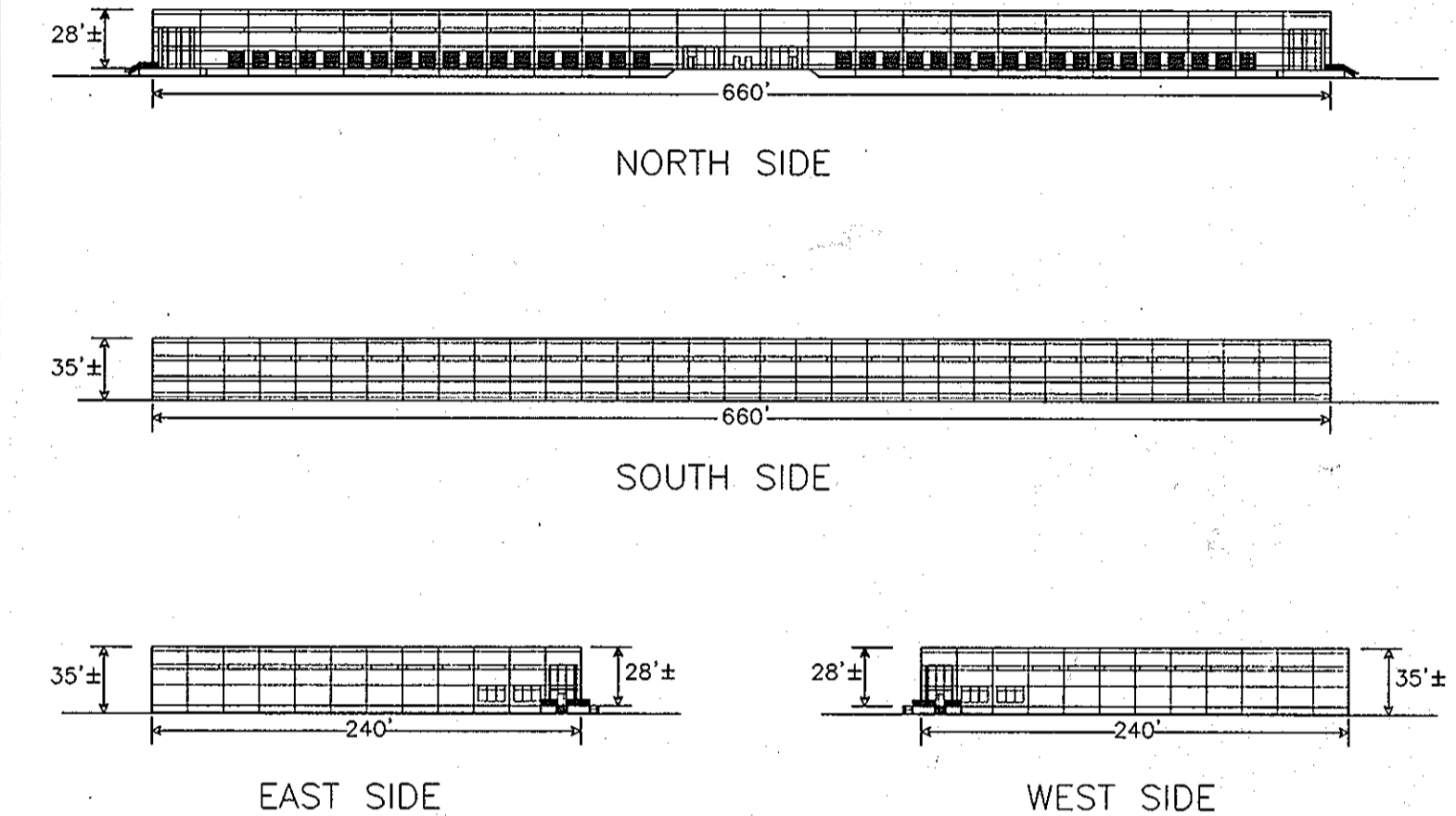
VICINITY MAP  
SCALE: 1"=2000'

## GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:  
MISS UTILITY  
C & P TELEPHONE COMPANY:  
HOWARD COUNTY BUREAU OF UTILITIES:  
AT&T CABLE LOCATION DIVISION:  
B.G.&E. CO. CONTRACTOR SERVICES:  
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL:  
STATE HIGHWAY ADMINISTRATION:
- SITE ANALYSIS:  
AREA OF PARCEL= 14.2489 AC. 1-800-257-7777  
PRESENT ZONING: M-2 725-9976  
USE OF STRUCTURE: 725-9976  
WAREHOUSE : 157,960 SQ.FT. 313-2366  
BUILDING COVERAGE ON SITE: 3.63 AC OR 25.4% OF GROSS AREA 393-3553  
PAVED PARKING LOT/AREA ON SITE: 3.78 AC OR 26.5% OF GROSS AREA 850-4620  
AREA OF LANDSCAPE ISLAND: 0.44 AC= 19,415 SQ.FT. 787-4620  
531-9533
- PROJECT BACKGROUND:  
LOCATION: JESSUP, MARYLAND TAX MAP: 43 JESSUP PARK PARCEL 'A'  
ZONING: M-2  
SECTION/AREA: N/A  
SITE AREA: 14.2489 AC.  
DPZ REFERENCES: S-89-26 P90-08 F-92-104, F-99-199 WP 91-23, WP 00-12
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1830 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS PERFORMED BY OTHERS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN VOLUME I OF HOWARD COUNTY DESIGN MANUAL.
- STORMWATER MANAGEMENT PROVIDED BY DETENTION POND AND STORMCEPTORS.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS #2144004 AND #2144007.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- EXISTING TOPOGRAPHY IS FROM A TOPOGRAPHIC SURVEY PERFORMED BY MACRIS, HENDRICKS & GLASCOCK, P.A.
- THE PROPOSED WATER MAIN FOR THIS PROJECT IS PUBLIC AND WILL BE CONNECTED TO EXISTING 12" WATER CONT. # 792-W.
- THE PROPOSED SEWER MAIN FOR THIS PROJECT IS PUBLIC AND WILL BE CONNECTED TO EXISTING 8" SEWER MAIN CONT. # 612-S.
- ALL PAVING TO BE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER (SEE DETAILS ON SHEET 4).
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE OR BITUMINOUS (SEE DET. ON SHT 4).
- PROPOSED PAVING SECTIONS TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- PROJECT GEOTECHNICAL ENGINEER TO APPROVE PAVING SUBBASE PRIOR TO INSTALLATION OF PAVING SECTION.
- SITE LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- CONTRACTOR TO PROVIDE TRACER WIRE OVER PROPOSED 1 1/4" PRESSURE SEWER WITH TERMINAL AT THE RIGHT-OF-WAY LINE AND AT THE GRINDER PUMP.
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ALL 2:1 SLOPES TO BE STABILIZED WITH SOD OR EROSION CONTROL MATTING.  
SLOPES 3:1 OR FLATTER TO BE STABILIZED WITH SEED AND MULCH.
- THE ONSITE GRINDER PUMP AND LOW PRESSURE FORCE MAIN IS PRIVATE.
- PROPOSED WATER METER TO BE INSIDE SETTING.
- REFERENCE WAIVER PETITION WP-91-23 APPROVED ON MAY 6, 1991 TO ALLOW :  
a. TEMPORARY ACCESS TO MD ROUTE 175  
b. RAILROAD SPUR ( EXPIRED )  
c. CLEARING AND GRADING IN WETLANDS AND BUFFER FOR PARCEL 'B' ( EXPIRED )
- REFERENCE WAIVER PETITION WP. 00-12 APPROVED 9/ 28/ 99 TO ALLOW GRADING WITHIN THE WETLAND AND WETLAND BUFFER FOR PARCEL 'A' SUBJECT TO :  
a. PIPING OF THE NATURAL FLOW IN THE DISTURBED AREAS TO THE REMAINING WETLANDS  
b. SHOWING AN INTERMITTENT STREAM AND BUFFER AT THE SOUTHERN PROPERTY LINE.
- REFERENCE MDE NON-TIDAL WETLAND PERMIT APPLICATION # 99-NT-0055/ 189961860
- THE OBLIGATIONS FOR 2.54 ACRES OF FOREST CONSERVATION IS PROVIDED BY PARTICIPATION IN AN APPROVED FOREST CONSERVATION BANK. REFERENCE PLAT OF FOREST CONSERVATION EASEMENT ON THE WINKLER PROPERTY, FIRST EXCHANGE ( 2.90 ACRES)
- REFERENCE ADEQUATE PUBLIC FACILITIES ANALYSIS + CHAPTER 5 STUDY PREPARED BY ROBERT L. MORRIS, P.E. DATED MAY 1999
- A MARYLAND STATE HIGHWAY ADMINISTRATION ACCESS PERMIT IS REQUIRED FOR THE ACCESS TO MD ROUTE 175 ( INCLUDES MD ROUTE 175 ROAD PLANS AND FLASHER SIGNAL DESIGN )
- REFERENCE DESIGN MANUAL WAIVER APPROVED 9/24/99 . TO ALLOW REDUCTION OF THE REQUIRED 20' NO TREE AREA WITHIN 20' OF THE TOP OF CUT OR TOE OF FILL OF A POND EMBANKMENT
- REFERENCE GRADING EASEMENT FROM THE STATE OF MARYLAND FOR OFFSITE GRADING L. 4938 F. 0066.



LOCATION MAP  
SCALE: 1"= 100'



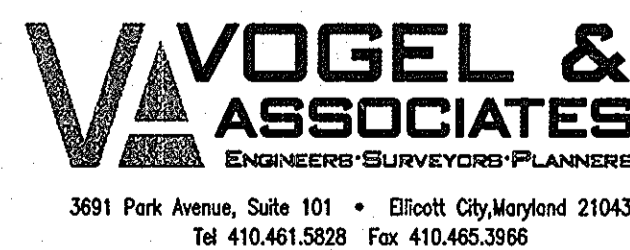
BUILDING ELEVATIONS  
NOT TO SCALE

## SHEET INDEX

SHT. NO.	CONTENTS
1	COVER SHEET
2	SITE LAYOUT PLAN
3	SITE LAYOUT PLAN AND SECTIONS
4	SITE LAYOUT PLAN & MISCELLANEOUS SITE DETAILS
5	GRADING & SEDIMENT CONTROL PLAN
6	GRADING & SEDIMENT CONTROL PLAN AND NOTES
7	GRADING & SEDIMENT CONTROL PLAN AND DETAILS
8	DRAINAGE AREA AND SOILS MAP
9	STORM DRAIN PROFILES
10	STORMWATER MANAGEMENT POND NOTES AND DETAILS
11	LANDSCAPE PLAN
12	LANDSCAPE NOTES AND DETAILS
13	RETAINING WALL DETAIL

## PARKING TABULATION

	REQUIRED	PROPOSED
WAREHOUSE: 157,960 SQ.FT.		
0.5 SPACES/1,000 SQ.FT.=	79 SPACES	85 SPACES
HANDICAP SPACES =	4 SPACES	4 SPACES



**OWNER**  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321

**DEVELOPER**  
INVESTMENT PROPERTIES INC.  
807-I ROCKVILLE PIKE  
ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Joseph P. Smith* 4/3/00  
DIRECTOR DATE

*Cinda Hamula* 3/29/00  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*William Dammann* 3/23/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DATE	NO.	REVISION	BY
5/31/12	4	ADD DOOR/STAIR AND RAMP	RHV
12/14/01	2	REVISE HC RAMP AT CENTER BLDG	
1/16/01	1	REVISE SOUTHWEST BUILDING CORNER	

ADDRESS CHART  
PARCEL NO. 717 STREET ADDRESS 7751 WATERLOO ROAD

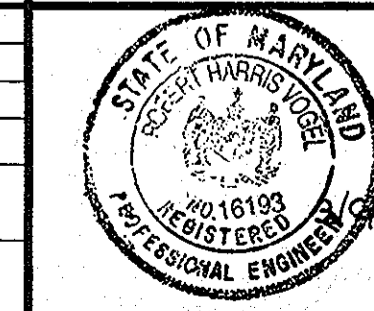
PERMIT INFORMATION CHART  
SUBDIVISION NAME SECTION/AREA PARCEL NUMBER  
JESSUP PARK N/A A

PLAT NO. BLOCK NO. ZONE TAX/ZONE ELECT. DIST. CENSUS TR.  
14122-23 21422 M-2 43 1ST 6012

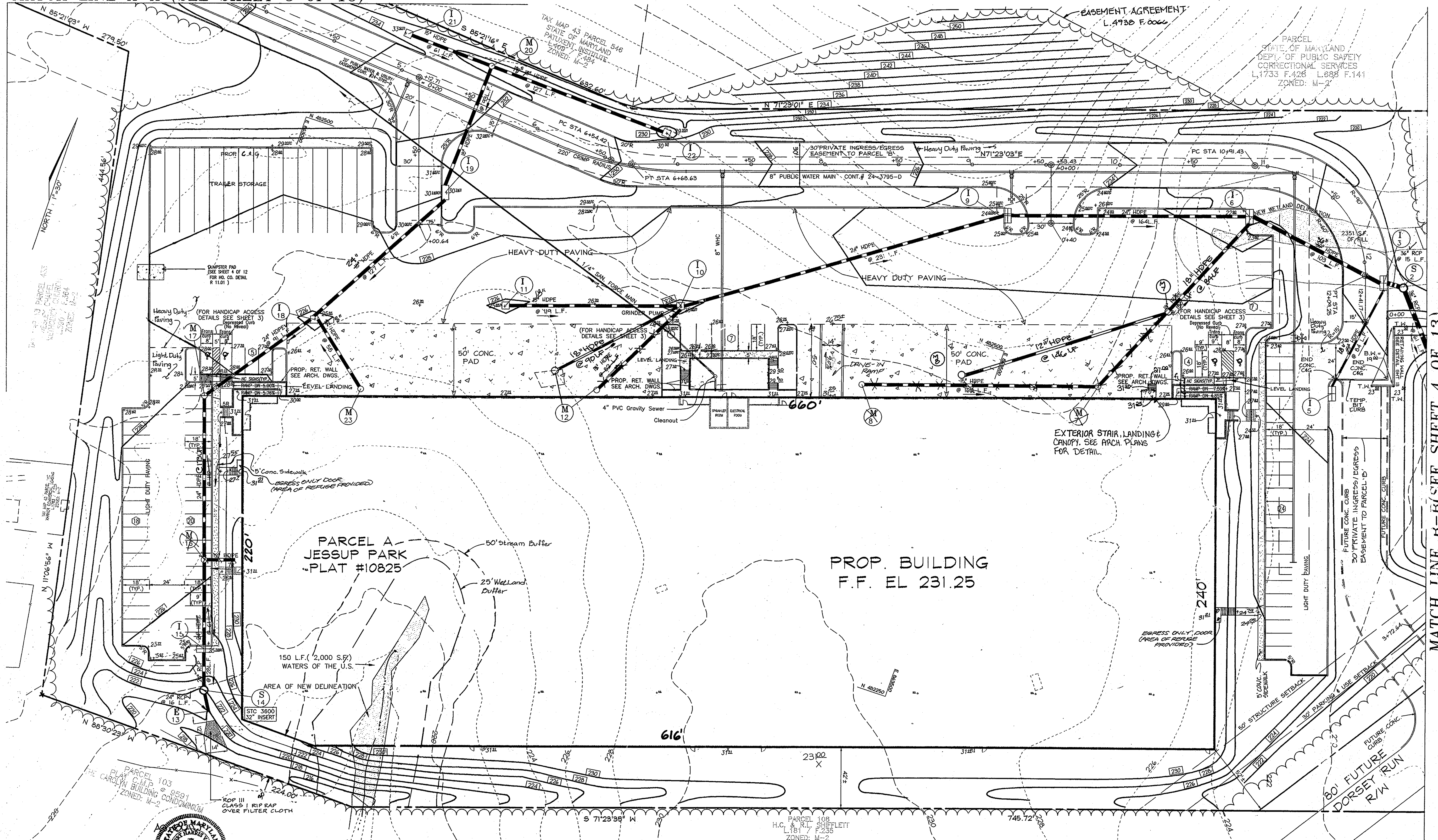
WATER CODE B01 SEWER CODE 3020000

COVER SHEET FOR  
**JESSUP PARK PARCEL 'A'**  
SITE DEVELOPMENT PLAN

TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104 AND F-99-199  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



DESIGN BY: R.H.V.  
DRAWN BY: R.L.P.  
CHECKED BY: R.H.V.  
DATE: MARCH, 2000  
SCALE: AS SHOWN  
W.O. NO.: 98-113



MATCH LINE B-B (SEE SHEET 4 OF 13)

**LEGEND**

EXISTING GROUND	---
PROPOSED GRADE	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING STORM DRAIN	---
EXISTING CURB & GUTTER	---
PROPERTY LINE	---
PROPOSED C&G	---
PROP. STORM DRAIN	---
PROP. SEWER	---
PROP. WATER MAIN	---
EASEMENT	---
PROP. HEAVY DUTY PAVEMENT	---
PROP. 4" CONC. SIDEWALK	---
PROP. LIGHT DUTY PAVEMENT	---

**AVOGEL & ASSOCIATES**  
 ENGINEERS-SURVEYORS-PLANNERS  
 3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
 Tel 410.461.5828 Fax 410.465.3966

**OWNER**  
 WILLIAM T. WELLER, TRUSTEE  
 14900 SOUTHLAWN LANE  
 ROCKVILLE, MD 20850-1321

**DEVELOPER**  
 INVESTMENT PROPERTIES INC.  
 807-I ROCKVILLE PIKE  
 ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: \_\_\_\_\_

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 4/13/00  
 DIRECTOR DATE

*[Signature]* 7/29/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 5/29/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

5/31/02	4	ADD DOOR/STAIR AND RAMP	RHV
10/26/03	5	ADD EXTERIOR STAIRS	
12/24/01	2	REVISE RAMP AT CENTER BLDG.	
1/16/01	1	REVISE SOUTHWEST BUILDING CORNER	
DATE	NO.	REVISION	BY
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
717	WATERLOO ROAD		
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
JESSUP PARK	N/A	A	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE
14122-23	21E22	M-2	24
ELECT. DIST.		CENSUS TR.	
2ND		6012	
WATER CODE		SEWER CODE	

**SITE LAYOUT PLAN**  
 FOR  
**JESSUP PARK**  
**SITE DEVELOPMENT PLAN**

TAX MAP #43 PARCELS 109,474,475,471,674 REF-F-99-199  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND REF-F-92-104

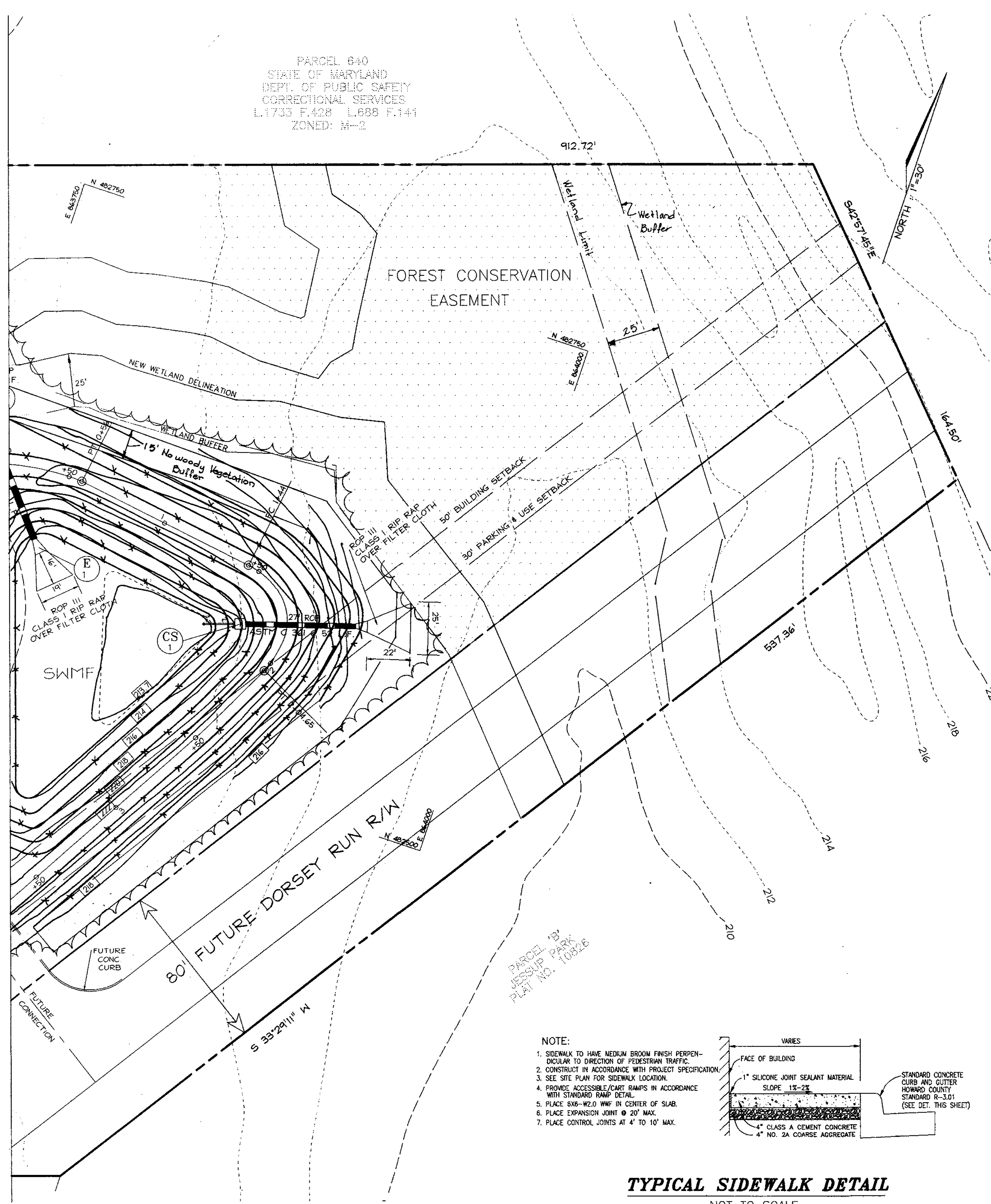
DESIGN BY: R.H.V.  
 DRAWN BY: J.S.R.  
 CHECKED BY: R.H.V.  
 DATE: SEPTEMBER 1998  
 SCALE: 1"=30'  
 W.O. NO.: 95-3

2 SHEET OF 13



MATCH LINE B-B (SEE SHEET 2 OF 13)

PARCEL 640  
STATE OF MARYLAND  
DEPT. OF PUBLIC SAFETY  
CORRECTIONAL SERVICES  
L1733 F.428 L.688 F.141  
ZONED: M-2



**OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY STRUCTURE**

INSPECTION AND MAINTENANCE REQUIRED FOR ON SITE STORMWATER MANAGEMENT DEVICES SHALL BE RESPONSIBILITY OF THE OWNER OF THE PROPERTY. PRIVATE STORMWATER MANAGEMENT DEVICES MUST BE INSTALLED UNDER A GRADING PERMIT AND REQUIRE A PRIVATE MAINTENANCE AGREEMENT.

THE STORMCEPTOR WILL BE VISUALLY INSPECTED BI-ANNUALLY FOR THE PRESENCE OF OIL AND FUEL AND SEDIMENT BY REMOVING THE MANHOLE COVER. ANY OBSTRUCTIONS WILL BE CLEARED. THE SEDIMENT IS TO BE REMOVED WHEN THE SEDIMENT DEPTH EXCEEDS MANUFACTURERS SPECIFIED LEVEL, BUT AT A MINIMUM OF YEARLY INTERVALS.

REMOVAL OF THE MATERIALS IS TO BE PERFORMED BY A LICENSED WASTE MANAGEMENT COMPANY AND DISPOSAL IN ACCORDANCE WITH CURRENT REGULATIONS.

THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.

THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO ANNE ARUNDEL COUNTY INSPECTION AND ENVIRONMENTAL PROGRAMS WITHIN FOURTEEN DAYS OF THE SCHEDULED MAINTENANCE DATE.

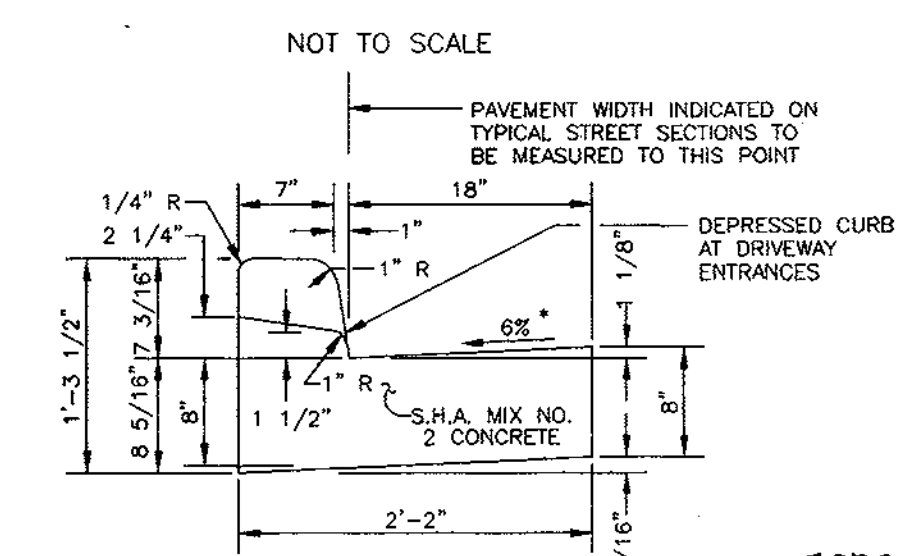
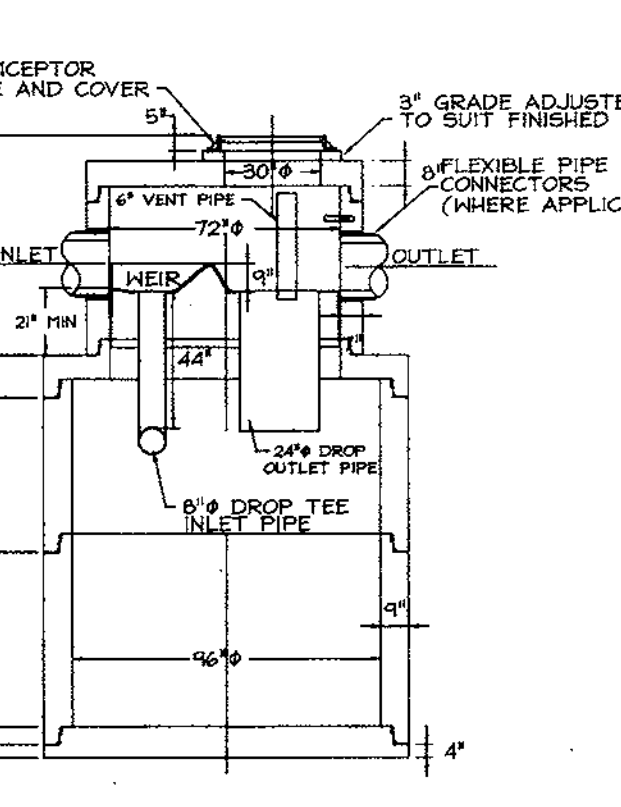
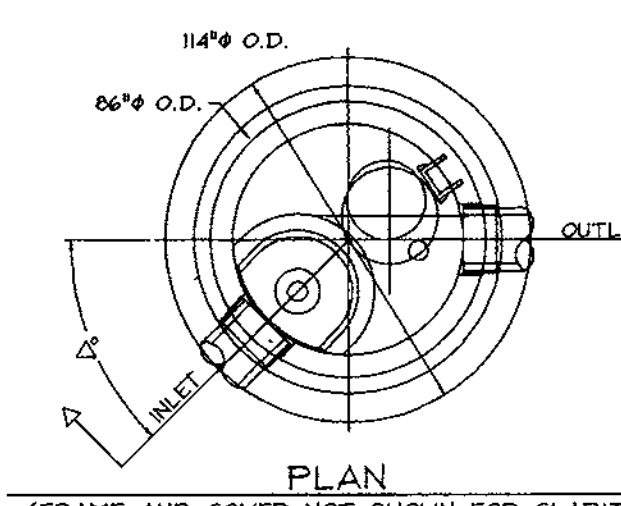
INSPECTION SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND OF HIS REPRESENTATIVE. ALL FORMS AND SUBMITTALS SHALL BE SIGNED AND SEALED.

IF INSPECTION REQUIRES REPAIR TO THE INLET OR OUTLET PIPES, STRUCTURE PARTS, GENERAL ROSENLAGE OR ANY FUNCTIONAL COMPONENTS OF THIS DEVICE, THE REPAIR SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER AND AS-BUILT DRAWINGS OF THE REPAIR SHALL BE SUBMITTED TO ANNE ARUNDEL COUNTY DEPARTMENT OF INSPECTIONS AND ENVIRONMENTAL PROGRAMS. THESE SHALL BE IN ADDITION TO THE MAINTENANCE/INSPECTION FORM FROM WHICH THE REPAIR RESULTED.

**STORMCEPTOR ORDER INFORMATION**

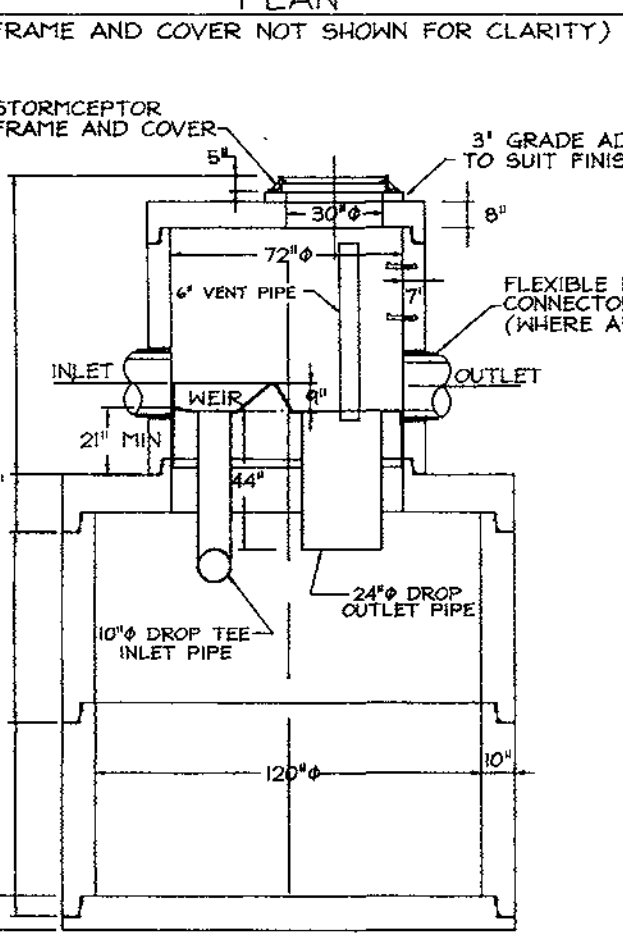
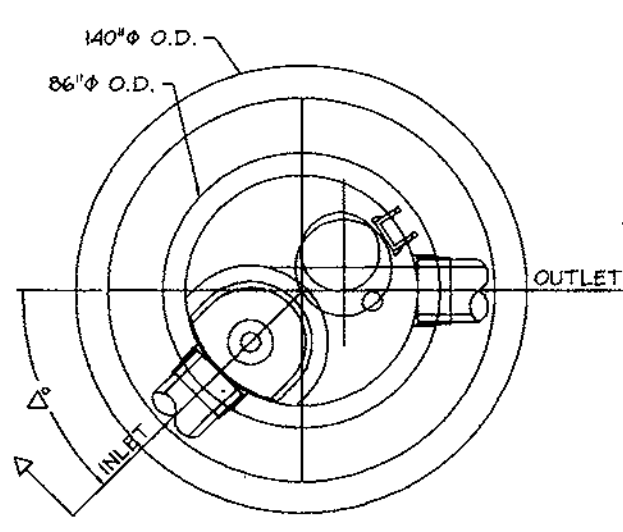
STORMCEPTOR MODEL.....	STC 3600	STC 6000
STRUCTURE.....	5-14	5-2
TOP ELEVATION.....	223.17	214.50
INLET PIPE INVERT.....	218.48	214.58
OUTLET PIPE INVERT.....	218.40	214.50
PIPE SIZE.....	24" RCP	36" RCP

**STC 3600 PRECAST CONCRETE STORMCEPTOR**



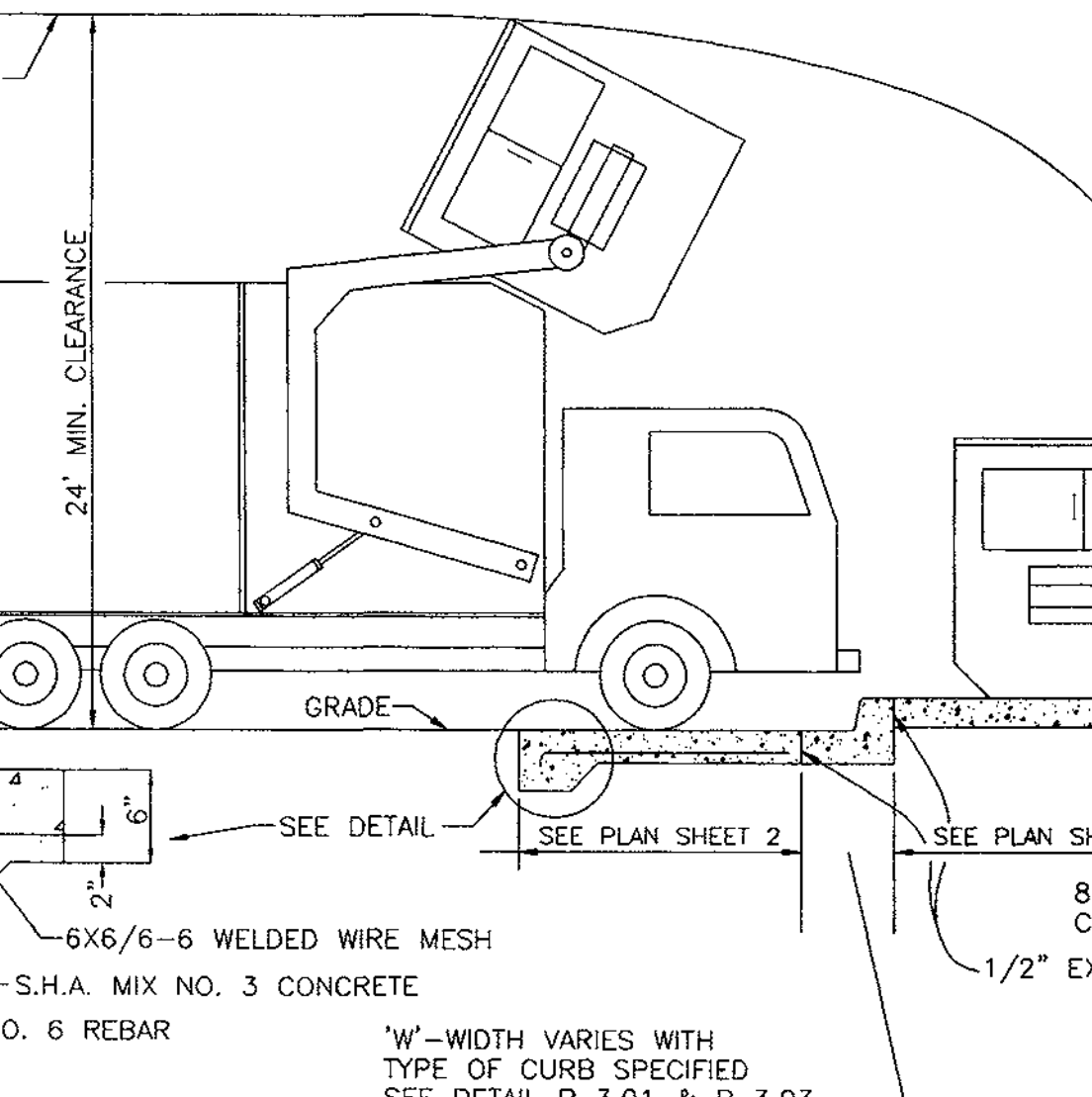
HOWARD COUNTY STANDARD R-3.01  
NOT TO SCALE

**STC 6000 PRECAST CONCRETE STORMCEPTOR**

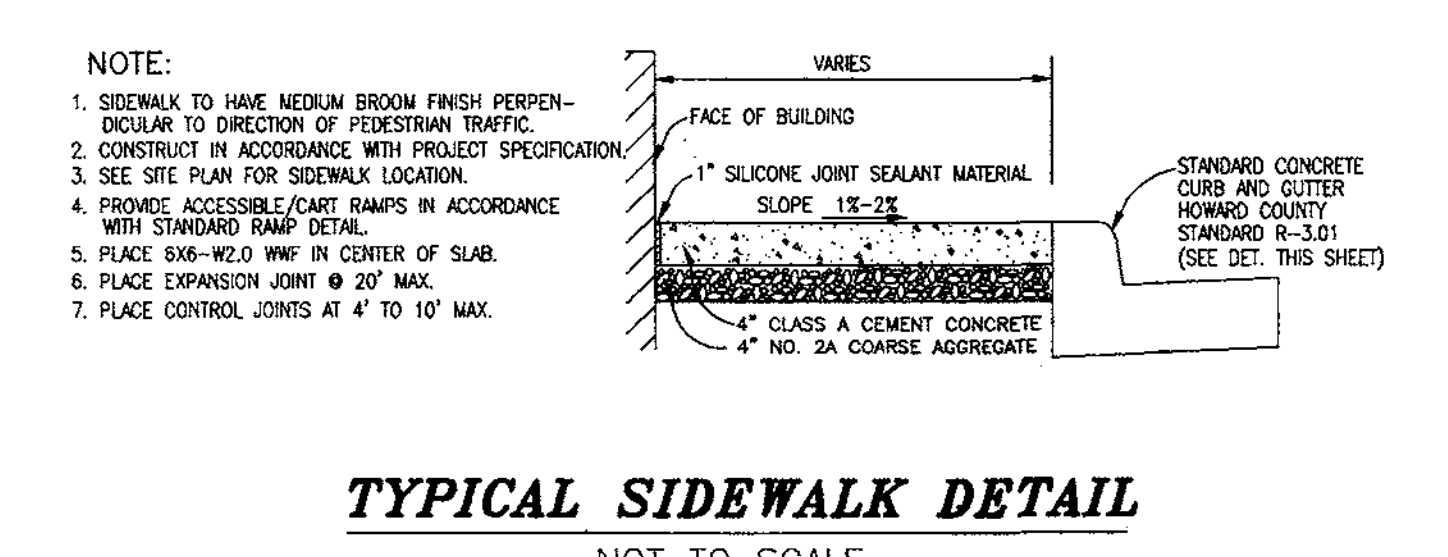


GENERAL NOTES

- STORMCEPTOR SECTIONS SHALL CONFORM TO ASTM C 478, PROFILE GASKETED JOINTS CONFORMING TO ASTM C 448.
- MANHOLE STEPS PROVIDED ABOVE INSERT @ 12" O.C. AND SHALL BE COPOLYMER POLYPROPYLENE PLASTIC ENCAPSULATED GR. 60 STEEL.
- MINIMUM CONCRETE STRENGTH  $f_c = 4,000$  PSI  
MINIMUM STEEL STRENGTH  $f_y = 60,000$  PSI
- REINFORCEMENT DESIGN SHALL MEET ASTM C 478.
- FLEXIBLE PIPE CONNECTORS SHALL MEET ASTM C 923.
- HANDLING:  
A. ALL RISERS SHALL HAVE 2 EA. 1 1/2" HOLES FOR LIFTING @ 1/3 WAY DOWN FROM SPIGOT.  
B. ALL LG. DIAM. BASE SECTIONS FLATTOPS, AND REDUCERS TO HAVE LIFT HOOKS.
- DESIGNED FOR AASHTO H-20 LOADING.
- FIBERGLASS STORMCEPTOR INSERT REFERENCE DRAWING # CA-0225-01



**SOLID WASTE SERVICE PAD**  
HOWARD COUNTY STD. R 11.01  
NOT TO SCALE



NOT TO SCALE

**VOGEL & ASSOCIATES**  
ENGINEERS/SURVEYORS/PLANNERS  
3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
Tel 410.461.5828 Fax 410.465.3966

**OWNER**  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321

**DEVELOPER**  
INVESTMENT PROPERTIES INC.  
807-1 ROCKVILLE PIKE  
ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *Cheryl Swain* 3/10/00  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Jeffrey Ali* 3/10/00  
HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*James R. Batts* 4/3/00  
DIRECTOR DATE

*Cinda Stamatia* 3/29/00  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Robert H. V...* 3/20/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DATE NO.	REVISION	BY
ADDRESS CHART		
PARCEL NO.	STREET ADDRESS	
717	7751 WATERLOO ROAD	
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
JESSUP PARK	N/A	A
PLAT NO.	BLOCK NO.	ZONE
1422-23	21 & 22	M-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
43	1ST	6012
WATER CODE	SEWER CODE	
B01	3020000	

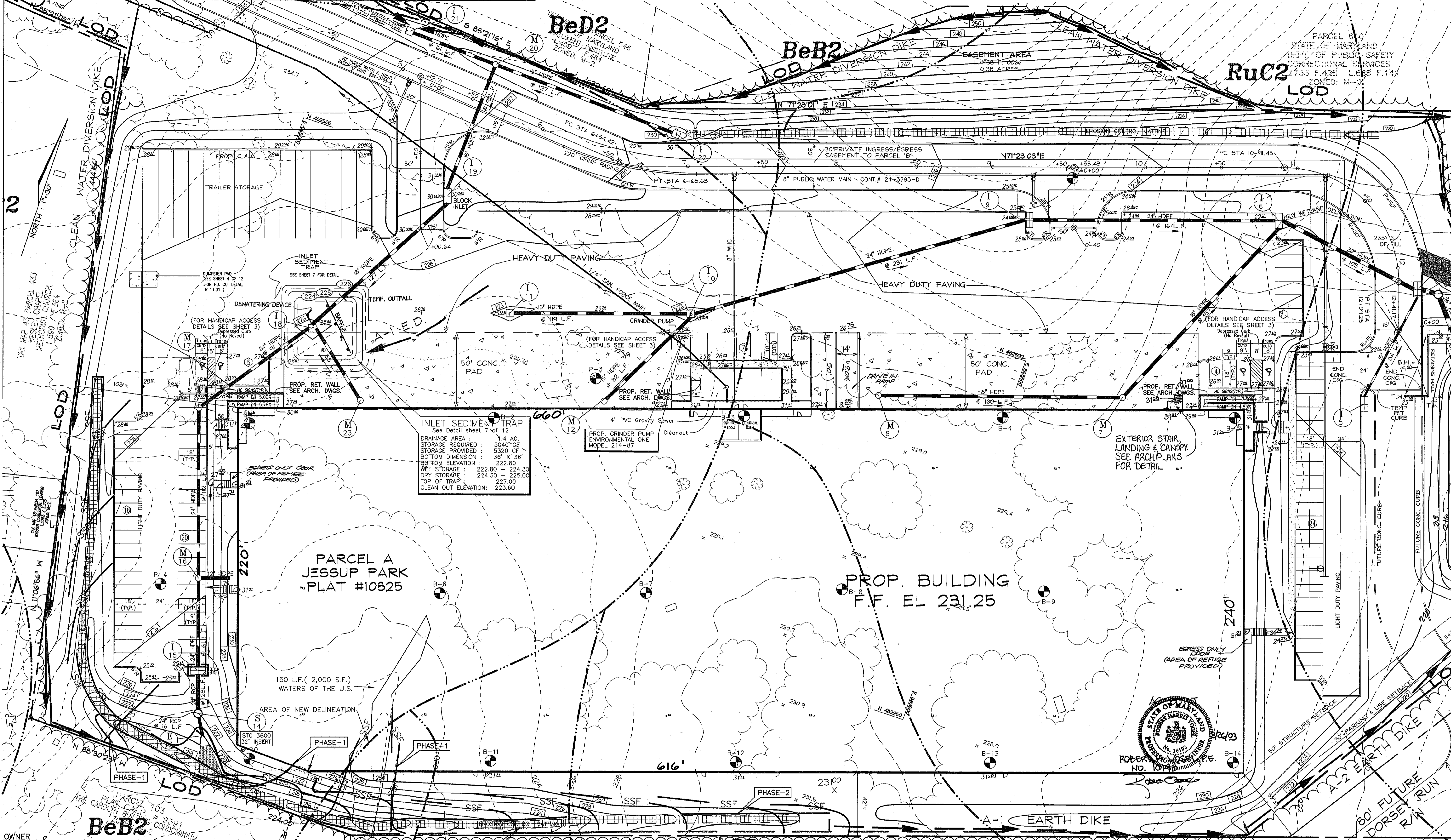
**SITE LAYOUT PLAN & MISCELLANEOUS SITE DETAILS FOR JESSUP PARK PARCEL 'A' SITE DEVELOPMENT PLAN**

TAX MAP #43 PARCELS 109,474,475,471,674 REF. F-92-104,F-99-199  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: R.H.V.  
DRAWN BY: J.E.R.  
CHECKED BY: R.H.V.  
DATE: SEPTEMBER, 1999  
SCALE: AS SHOWN  
W.D. NO.: 98-113

4 SHEET OF 13

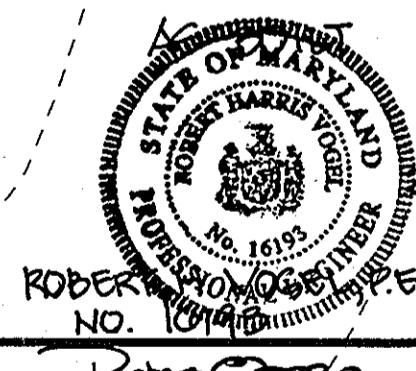
MATCH LINE A-A (SEE SHEET 6 OF 13)



**INLET SEDIMENT TRAP**  
 See Detail sheet 7 of 12  
 DRAINAGE AREA: 1.4 AC.  
 STORAGE REQUIRED: 5040 CF  
 STORAGE PROVIDED: 5320 CF  
 BOTTOM DIMENSION: 36' X 36'  
 BOTTOM ELEVATION: 222.80  
 WET STORAGE: 222.80 - 224.30  
 DRY STORAGE: 224.30 - 225.00  
 TOP OF TRAP: 227.00  
 CLEAN OUT ELEVATION: 223.60

**PARCEL A  
 JESSUP PARK  
 PLAT #10825**

**PROP. BUILDING  
 F.F. EL 231.25**



**OWNER**  
 WILLIAM T. WELLER TRUSTEE  
 14900 SOUTHLAWN LANE  
 ROCKVILLE, MD 20850-1321

**DEVELOPER**  
 INVESTMENT PROPERTIES INC.  
 807-I ROCKVILLE PIKE  
 ROCKVILLE, MD 20852

**VOGEL &  
 ASSOCIATES**  
 ENGINEERS-SURVEYORS-PLANNERS  
 3591 Park Avenue, Suite 101 • Elliott City, Maryland 21043  
 Tel 410.461.8828 Fax 410.465.3966

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

*[Signature]* 2/7/00  
 SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*[Signature]* 3/14/00  
 USA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 3/14/00  
 HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 4/3/00  
 DIRECTOR DATE

*[Signature]* 3/21/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 3/23/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

B/3/11/2	4	ADD DOOR/STAIR AND RAMP	R.H.V.
6/24/03	3	ADD EXTERIOR STAIRS	
8/24/01	2	REVISE H.C. RAMP AT CENTER BLDG.	
1/16/01	1	REVISE SOUTHWEST BUILDING CORNER	
DATE	NO.	REVISION	BY
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
711	WATERLOO ROAD		
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
JESSUP PARK	N/A	A	
PLAT NO.	BLOCK NO.	TAX/ZONE	ELECT. DIST.
14188-23	21 & 22	B-2	43
WATER CODE	B01	SEWER CODE	.3020000

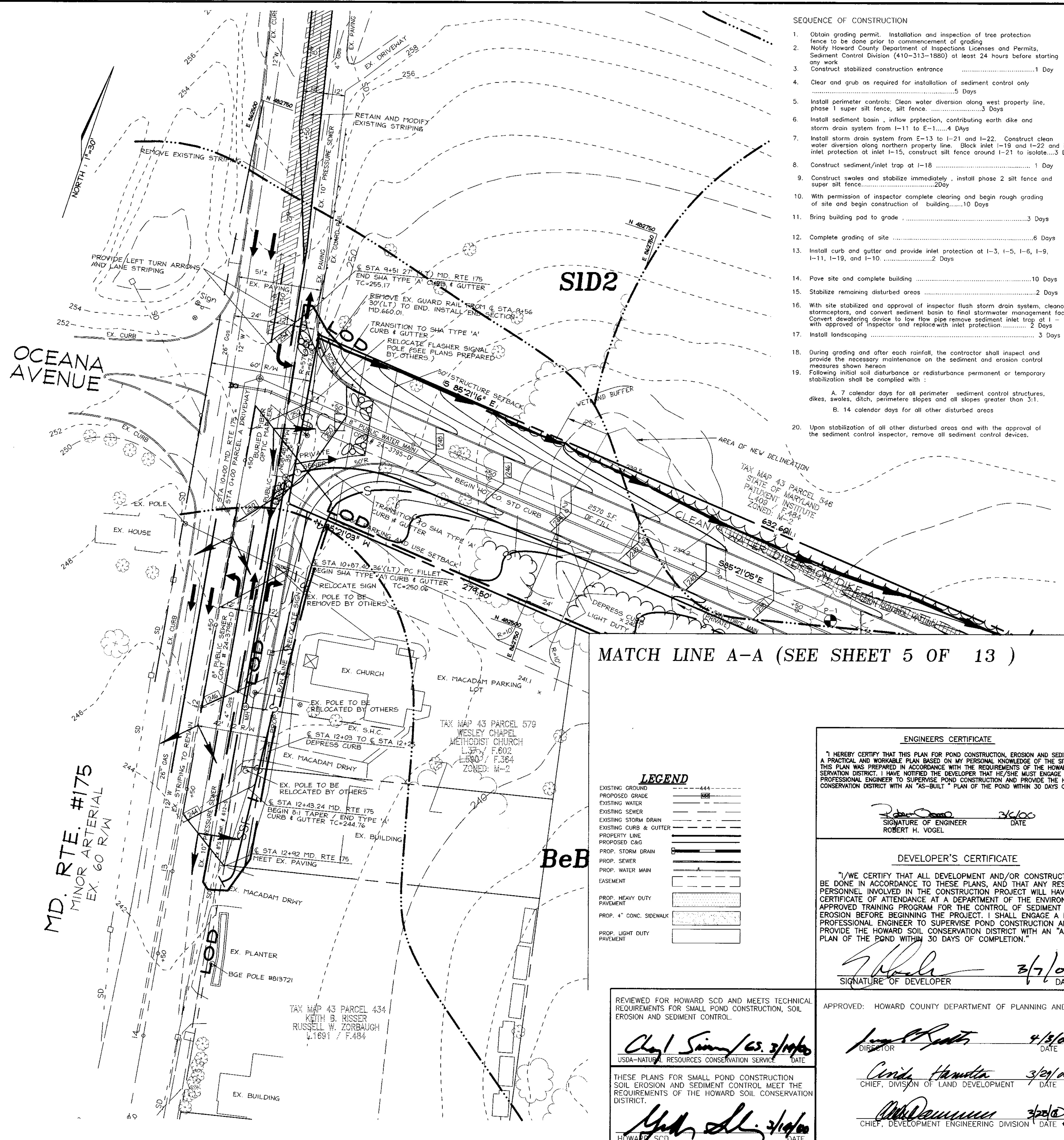
**GRADING, SEDIMENT & EROSION CONTROL PLAN**  
 FOR  
**JESSUP PARK PARCEL 'A'**  
**SITE DEVELOPMENT PLAN**

TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: R.H.V.  
 DRAWN BY: RLP  
 CHECKED BY: R.H.V.  
 DATE: MARCH, 2000  
 SCALE: 1"=30'  
 W.O. NO.: 98-113

5 SHEET OF 13

MATCH LINE B-B (SEE SHEET 7 OF 13)



SEQUENCE OF CONSTRUCTION

1. Obtain grading permit. Installation and inspection of tree protection fence to be done prior to commencement of grading.
2. Notify Howard County Department of Inspections Licenses and Permits. Sediment Control Division (410-313-1880) at least 24 hours before starting any work
3. Construct stabilized construction entrance ..... 1 Day
4. Clear and grub as required for installation of sediment control only ..... 5 Days
5. Install perimeter controls: Clean water diversion along west property line, phase 1 silt fence, silt fence ..... 2 Days
6. Install sediment basin, inflow protection, contributing earth dike and storm drain system from I-11 to E-1 ..... 4 Days
7. Install storm drain system from E-13 to I-21 and I-22. Construct clean water diversion along northern property line. Block inlet I-19 and I-22 and install inlet protection at inlet I-15, construct silt fence around I-21 to isolate ..... 3 Days
8. Construct sediment/inlet trap at I-18 ..... 1 Day
9. Construct swales and stabilize immediately, install phase 2 silt fence and silt fence ..... 2 Days
10. With permission of inspector complete clearing and begin rough grading of site and begin construction of building ..... 10 Days
11. Bring building pad to grade ..... 3 Days
12. Complete grading of site ..... 6 Days
13. Install curb and gutter and provide inlet protection at I-3, I-5, I-6, I-9, I-11, I-19, and I-10 ..... 2 Days
14. Pave site and complete building ..... 10 Days
15. Stabilize remaining disturbed areas ..... 2 Days
16. With site stabilized and approval of inspector flush storm drain system, cleanout stormceptors, and convert sediment basin to final stormwater management facility. Convert downspout device to low flow pipe remove sediment inlet trap at I-15 with approved of inspector and replace with inlet protection ..... 2 Days
17. Install landscaping ..... 3 Days
18. During grading and after each rainfall, the contractor shall inspect and provide the necessary maintenance on the sediment and erosion control measures shown hereon
19. Following initial soil disturbance or redistribution permanent or temporary stabilization shall be completed with:
  - A. 7 calendar days for all perimeter sediment control structures, dikes, swales, ditch, perimeter slopes and all slopes greater than 3:1.
  - B. 14 calendar days for all other disturbed areas
20. Upon stabilization of all other disturbed areas and with the approval of the sediment control inspector, remove all sediment control devices.

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

**DEFINITION**  
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**PURPOSE**  
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture or nutrient levels, low pH, material toxic to plants, and/or other undesirable soil conditions.

**CONDITION WHERE PRACTICE APPLIES**

- I. This practice is limited to areas having 2:1 or flatter slopes.
  - a. The texture of the exposed soil/parent material is not adequate to produce vegetative growth.
  - b. The soil is unproductive to support plants the rooting zone is less than 6 inches deep.
  - c. The original soil to be vegetated contains material toxic to plant growth.
  - d. The soil is so acidic that treatment with limestone is not feasible.
- II. For the purpose of these Standards and Specifications, the soil to be replaced shall be that which is found in the representative soil profile section in the soil survey prepared in cooperation with the Maryland Agricultural Experiment Station.

**CONSTRUCTION AND MATERIAL SPECIFICATIONS**

- I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. The depth of soil to be replaced shall be the representative soil profile section in the soil survey prepared in cooperation with the Maryland Agricultural Experiment Station.
- II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
  - i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, silty clay loam, silty clay, or silty clay loam. It may be used if recommended by an agronomist or soil scientist. Topsoil shall not be a mixture of sand, silt, and clay. Topsoil shall not be a mixture of sand, silt, and clay. Topsoil shall not be a mixture of sand, silt, and clay.
  - ii. Topsoil must be free of plants or plant parts such as burdock, thistle, weeds, johnsongrass, nutcase, poison ivy, etc. or others as specified.
  - iii. Where the subsoil is either highly acidic or composed of heavy silt, ground limestone shall be applied at the rate of 50 lbs per acre (2000 pounds per 1000 square feet) to raise the pH to between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
  - iv. Organic content of topsoil shall not be less than 1.5 percent by weight.
  - v. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
  - vi. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for 74 days (min.) to permit dissipation of phytotoxic materials.
- III. For sites having disturbed areas under 5 acres:
  - i. Place topsoil (if required) and apply soil amendments as specified in 21.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
  - ii. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
    - a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
    - b. Organic content of topsoil shall not be less than 1.5 percent by weight.
    - c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
    - d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for 74 days (min.) to permit dissipation of phytotoxic materials.
- IV. Topsoil Application:
  - i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization, tracks and signs.
  - ii. Grasses on the areas to be topsoiled which have been previously established, shall be maintained, albeit 4" higher in elevation.
  - iii. Topsoil shall be uniformly distributed in a 4"-8" layer, and apply according to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with maintenance in the area and no depressions or water pockets.
  - iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is saturated, or in a condition that may otherwise be detrimental to proper grading and seedling preparation.

Note: Topsoil substitutes or amendments as recommended by a qualified agronomist, soil scientist and approved by the appropriate approval authority, may be used in lieu of the topsoil specified.

TEMPORARY SEEDING

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Seedbed preparation: Loosen upper three inches of soil by raking, discing, or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 tons per acre of annual rye (32 lbs./1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (37 lbs./1000 sq. ft.). For the period November 15 thru February 28, protect site by applying 2 tons per acre of well-anchored straw mulch, and seed as soon as possible in the spring, or use soil.

Matching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrooted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre C5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gal. per acre (18 gal./1000 sq. ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent, long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper 3 inches of soil by raking, discing, or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Use one of the following schedules:

- 1) Preferred- Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper 3 inches of soil. At time of seeding apply 400 lbs. per acre urea fertilizer (10 lbs./1000 sq. ft.).
- 2) Acceptable- Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30 and August 1 thru October 15, seed with 60 lbs. per acre (14 lbs./1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. of Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.5 lbs./1000 sq. ft.) of weeping lovegrass. During the period of October 15 thru February 28, protect site by Option 1 - 2 tons per acre of well-anchored straw mulch, and seed as soon as possible in the spring. Option 2 - Use soil Option 2 - Seed with 60 lbs. per acre Kentucky 31 Tall Fescue, and mulch with 2 tons per acre well anchored straw.

Matching: Apply 1 1/2 to 2 tons per acre (70-90 lbs./1000 sq. ft.) of unrooted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (18 gal./1000 sq. ft.) for anchoring.

Maintenance: Inspect all seeded areas, and make needed repairs, replacements, and reseedings.

SEDIMENT CONTROL NOTES


1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, Licenses and Permits Sediment Control Division prior to the start of any construction (CS-1803).
2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. For permanent seeding, sod, temporary seeding, and mulching (Sec. D). Temporary stabilization with mulch alone shall be done where recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis
 

Total Area of Site	14,289 acres
Area to be roofed or paved	1,383 acres
Area to be vegetatively stabilized	1.85 acres
Total Cut	14,822 cu. yds.
Total Fill	2,224 cu. yds.
Offsite waste/borrow area location	(To be determined by contractor with pre-approval of the Sediment Control Inspector with an approved and active grading permit.)
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the Inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

MATCH LINE A-A (SEE SHEET 5 OF 13)


ENGINEERS CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTICED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

  
 SIGNATURE OF ENGINEER  
 ROBERT H. VOGEL  
 DATE 2/10/00

DEVELOPER'S CERTIFICATE


I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

  
 SIGNATURE OF DEVELOPER  
 DATE 3/7/00

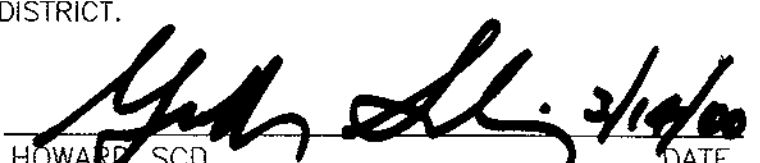
**LEGEND**

EXISTING GROUND	---
PROPOSED GRADE	---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING STORM DRAIN	---
EXISTING CURB & GUTTER	---
PROPERTY LINE	---
PROPOSED C&G	---
PROP. STORM DRAIN	---
PROP. SEWER	---
PROP. WATER MAIN	---
EASEMENT	---
PROP. HEAVY DUTY PAVEMENT	---
PROP. 4" CONC. SIDEWALK	---
PROP. LIGHT DUTY PAVEMENT	---

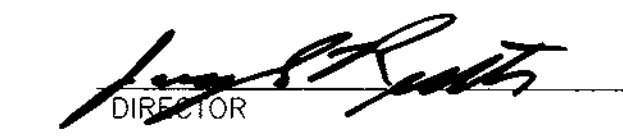
REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

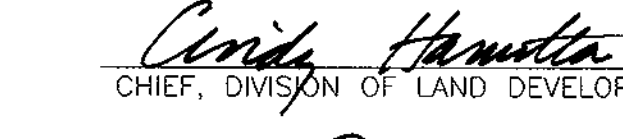
  
 USDA-NATURAL RESOURCES CONSERVATION SERVICE  
 DATE 3/14/00


THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

  
 HOWARD SCD  
 DATE 3/14/00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

  
 DIRECTOR  
 DATE 4/13/00

  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE 3/29/00

  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE 3/29/00

DATE	NO.	REVISION	BY
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
717	WATERLOO ROAD		
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
JESSUP PARK	N/A	A	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE
14122-23	21422	B-2	43
ELECT. DIST.		CENSUS TR.	
1ST		6012	
WATER CODE	SEWER CODE		
801	3020000		

**OWNER**  
 WILLIAM T. WELLER, TRUSTEE  
 14900 SOUTHLAWN LANE  
 ROCKVILLE, MD 20850-1321

**DEVELOPER**  
 INVESTMENT PROPERTIES INC.  
 807-1 ROCKVILLE PIKE  
 ROCKVILLE, MD 20852



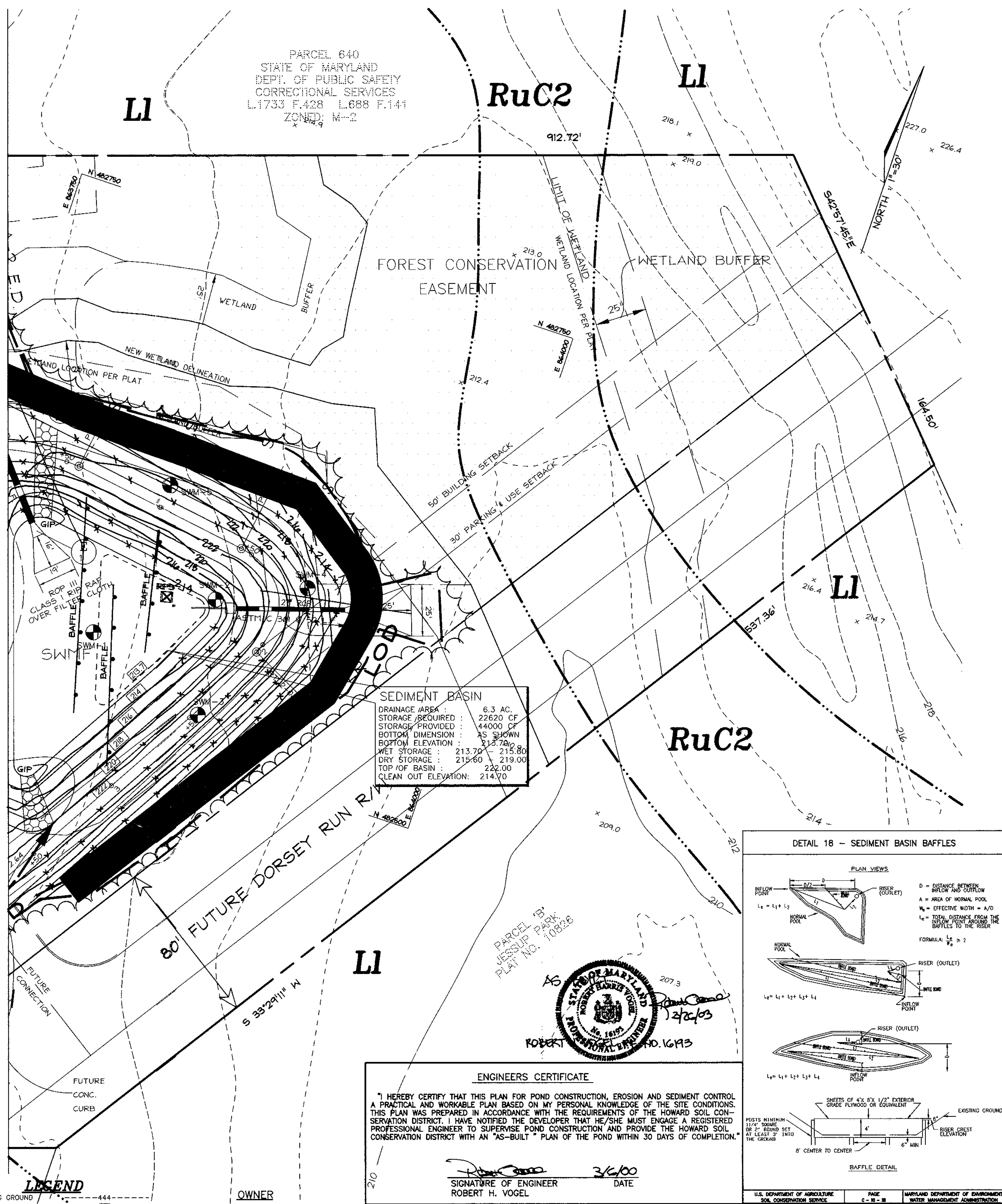
**GRADING, SEDIMENT & EROSION CONTROL PLAN AND NOTES**  
 FOR  
**JESSUP PARK PARCEL 'A'**  
**SITE DEVELOPMENT PLAN**  
 TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: C.A.H.
DRAWN BY: RLP.
CHECKED BY: R.H.V.
DATE: MARCH 2000
SCALE: AS SHOWN
W.O. NO.: 98-113

**6 SHEET OF 13**

MATCH LINE B-B (SEE SHEET 5 OF 13)

PARCEL 640  
STATE OF MARYLAND  
DEPT. OF PUBLIC SAFETY  
CORRECTIONAL SERVICES  
L.1733 F.428 L.688 F.141  
ZONING: M-2



**SEDIMENT BASIN**  
DRAINAGE AREA: 6.3 AC.  
STORAGE REQUIRED: 22620 CF  
STORAGE PROVIDED: 44000 CF  
BOTTOM DIMENSION: AS SHOWN  
BOTTOM ELEVATION: 212.70  
WET STORAGE: 213.70' - 215.80'  
DRY STORAGE: 215.80' - 219.00'  
TOP OF BASIN: 222.00'  
CLEAN OUT ELEVATION: 214.70'

**ENGINEERS CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

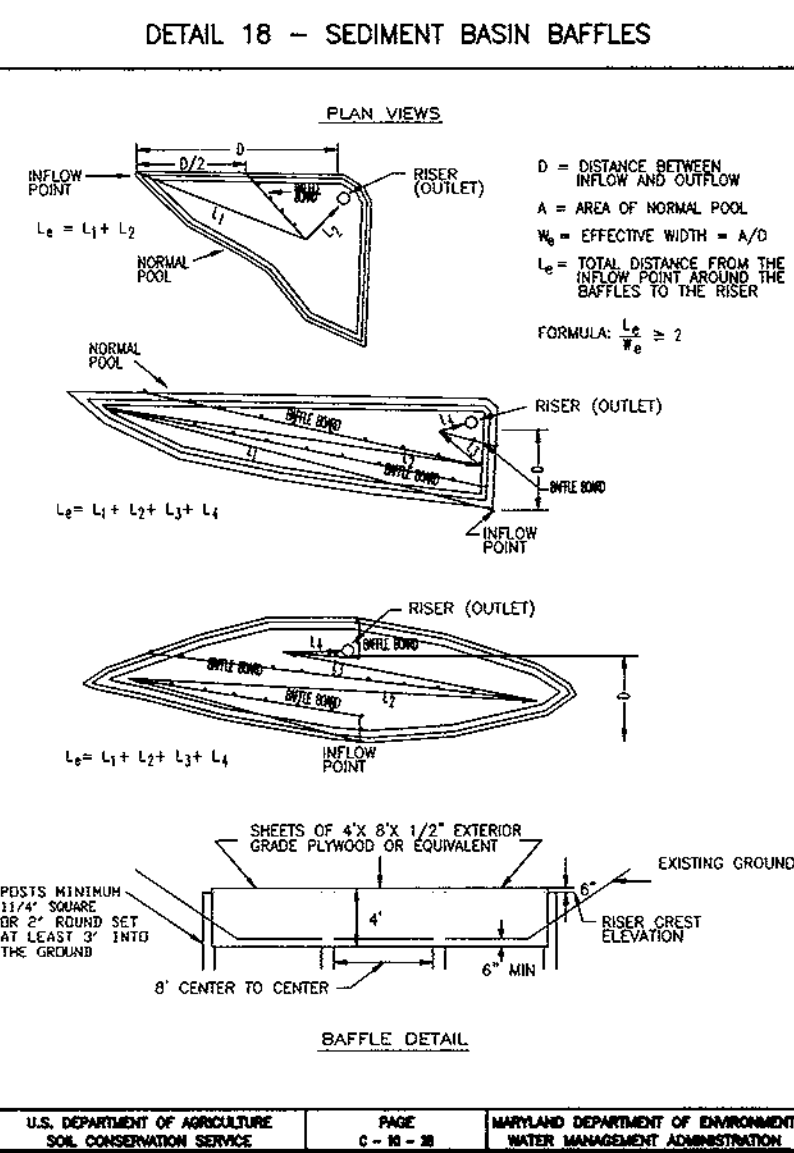
**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

**OWNER**  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321

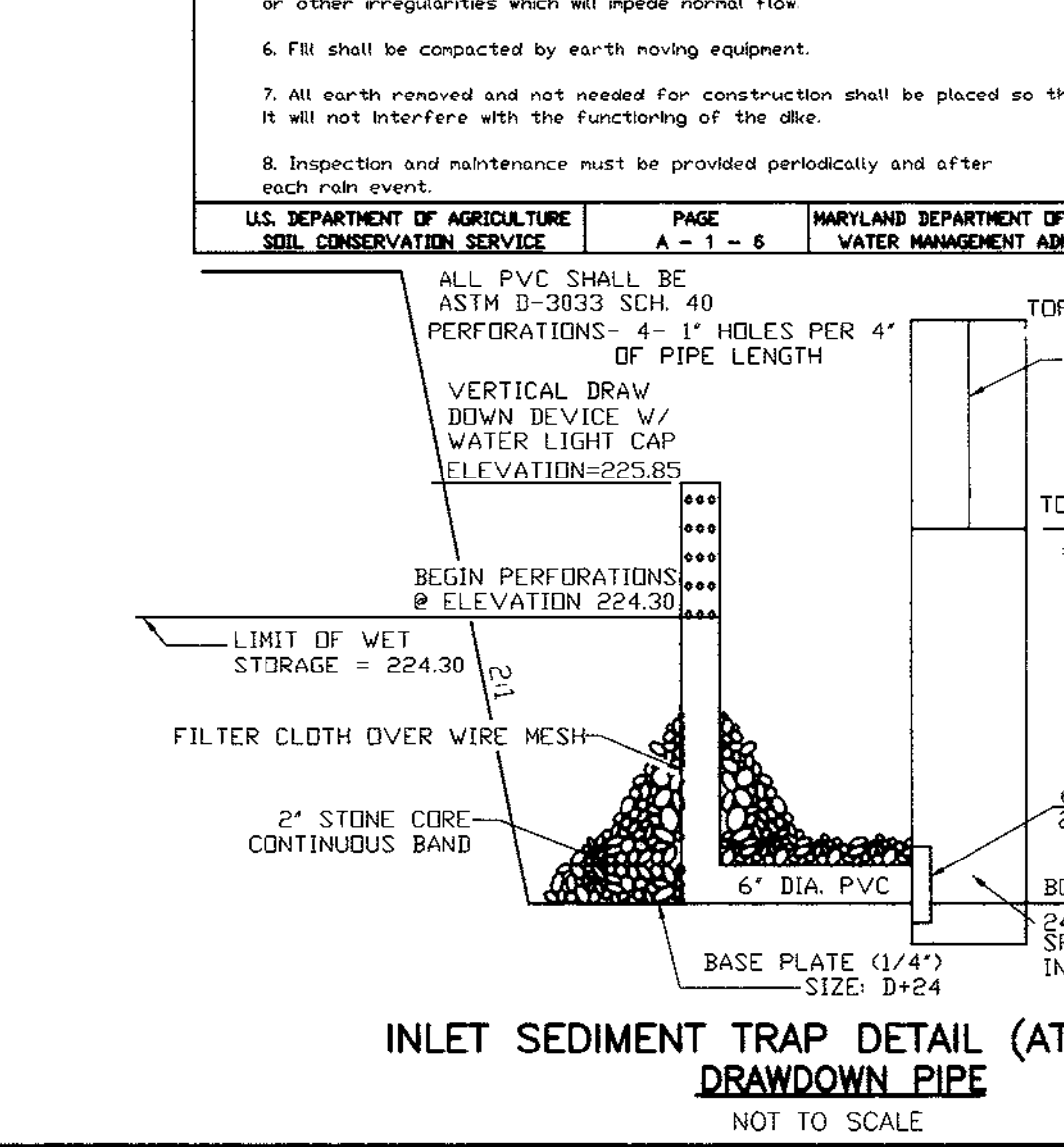
**DEVELOPER**  
INVESTMENT PROPERTIES INC.  
807-I ROCKVILLE PIKE  
ROCKVILLE, MD 20852

**VOGEL & ASSOCIATES**  
ENGINEERS SURVEYORS PLANNERS  
3881 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
Tel 410.461.3828 Fax 410.465.3986

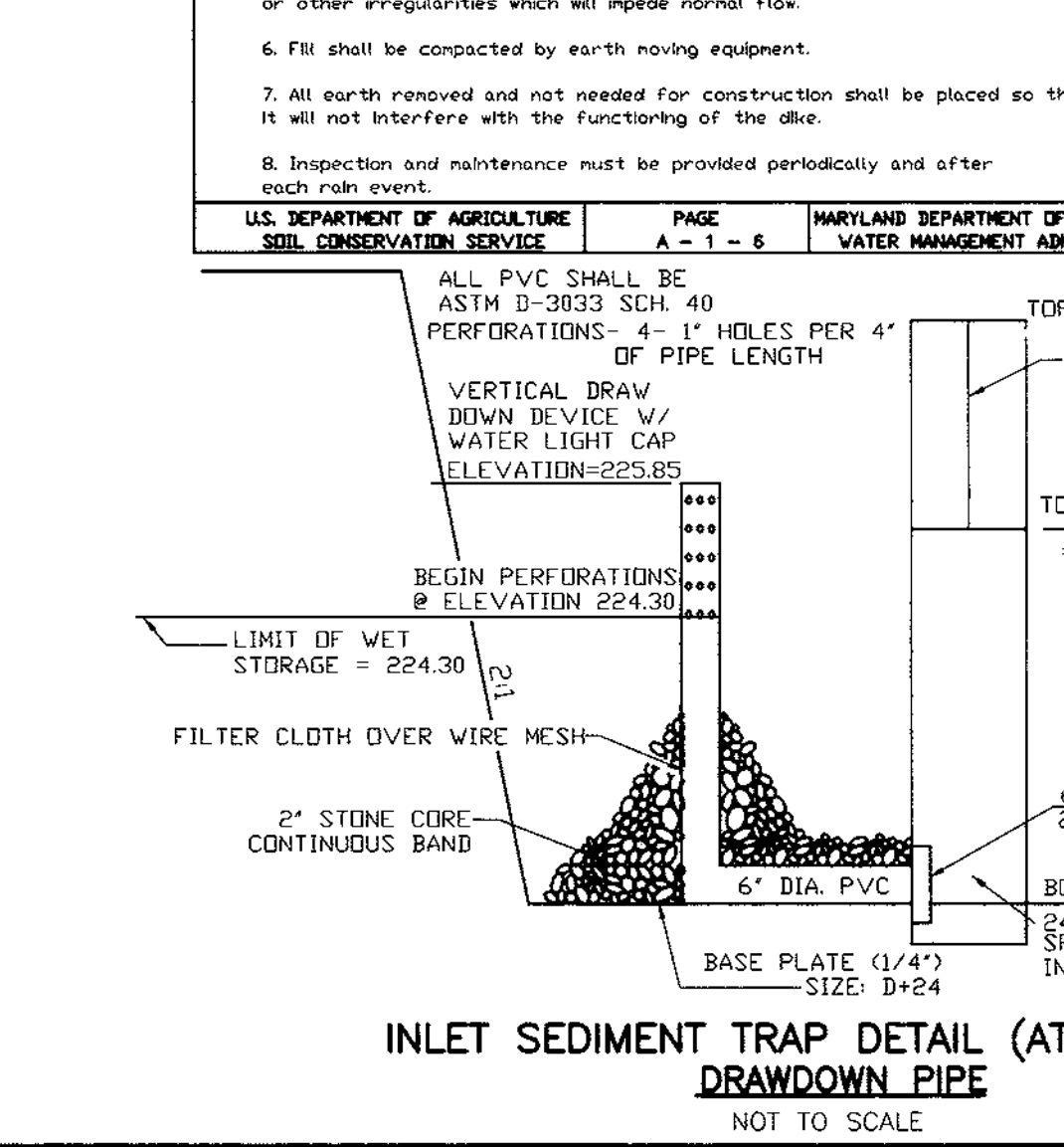
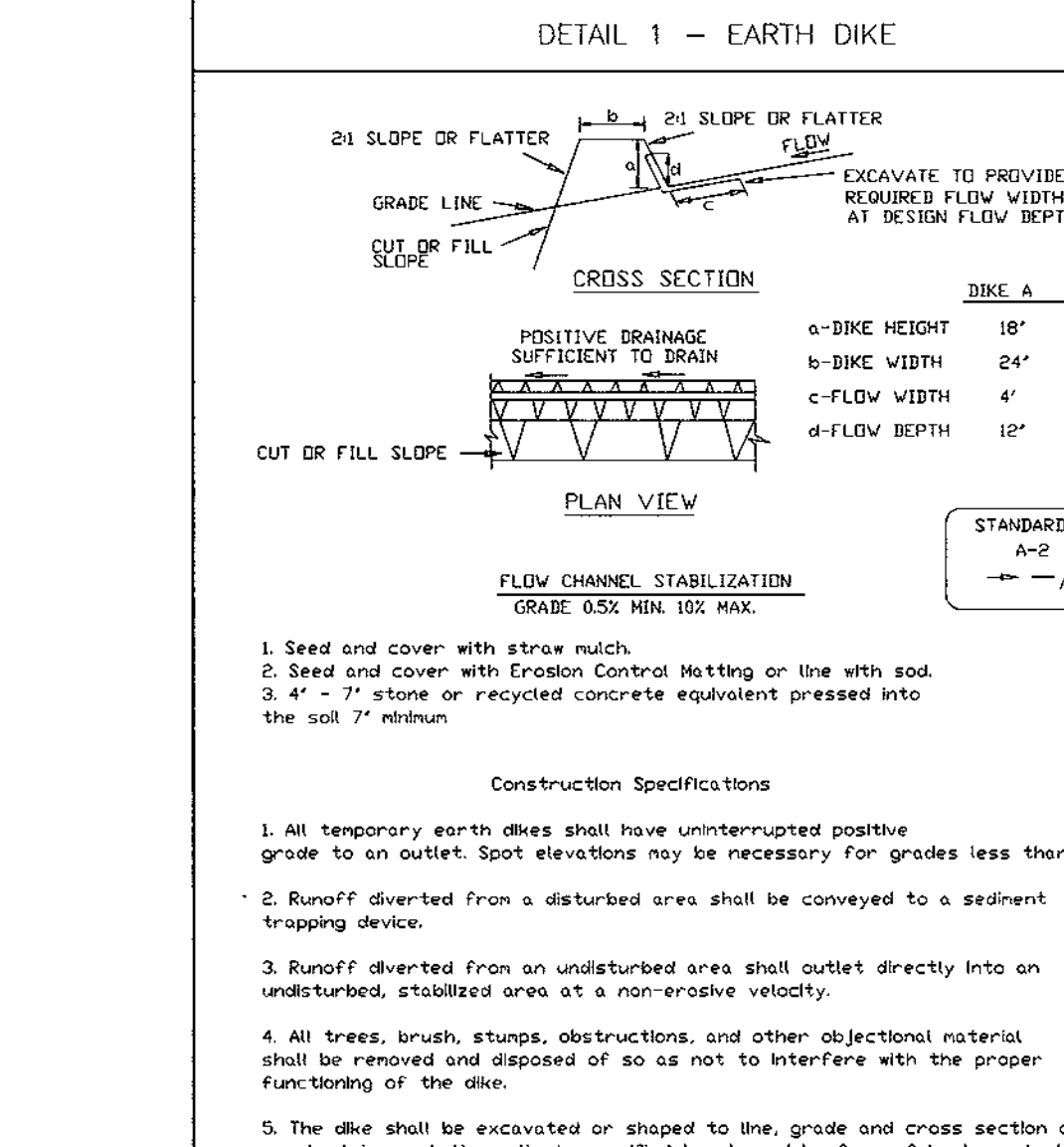
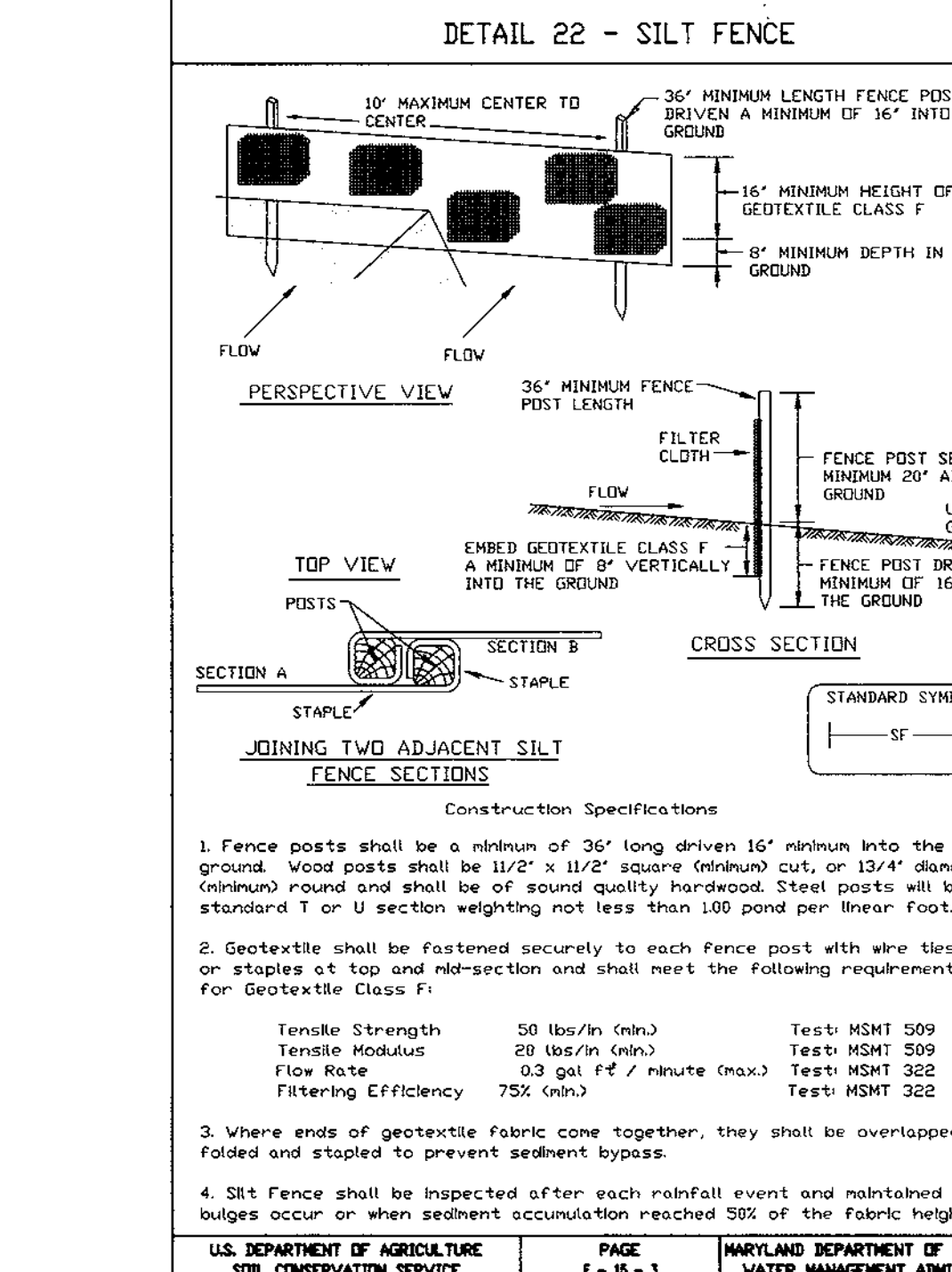
**LEGEND**  
EXISTING GROUND  
PROPOSED GRADE  
EXISTING WATER  
EXISTING SEWER  
EXISTING STORM DRAIN  
EXISTING CURB & GUTTER  
PROPERTY LINE  
PROPOSED C&G  
PROP. STORM DRAIN  
PROP. SEWER  
PROP. WATER MAIN  
EASEMENT  
PROP. HEAVY DUTY PAVEMENT  
PROP. 4" CONC. SIDEWALK  
PROP. LIGHT DUTY PAVEMENT



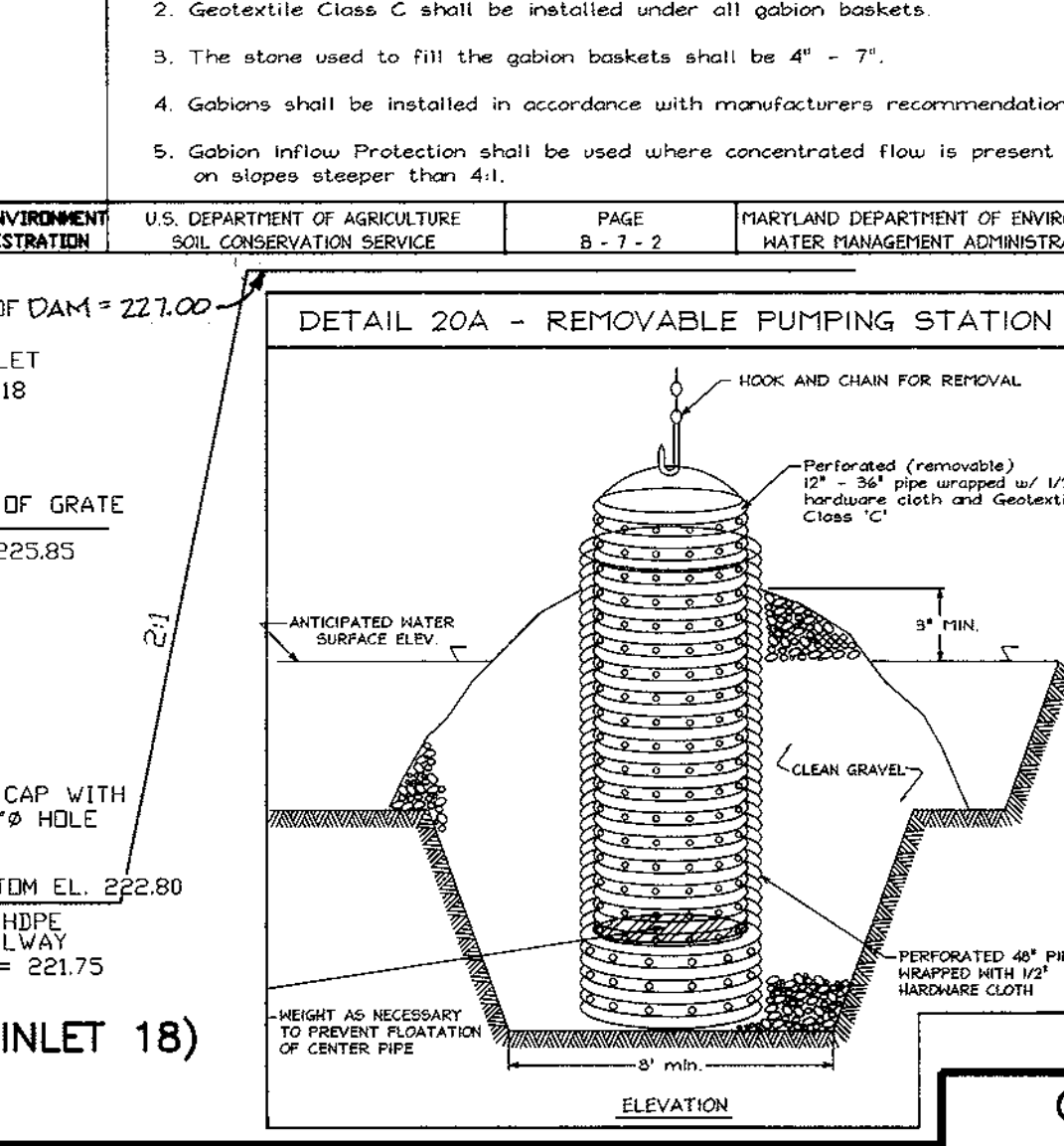
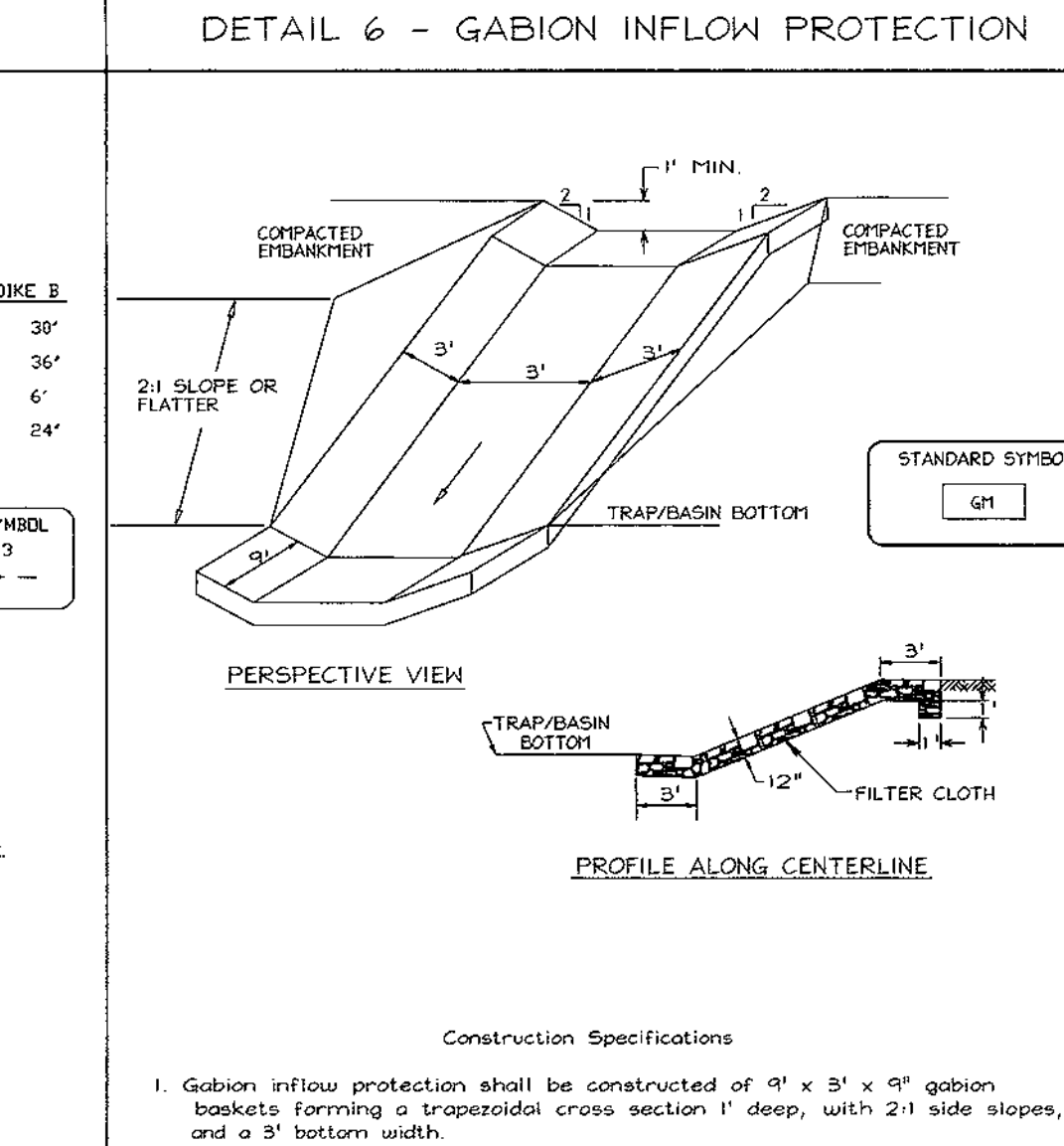
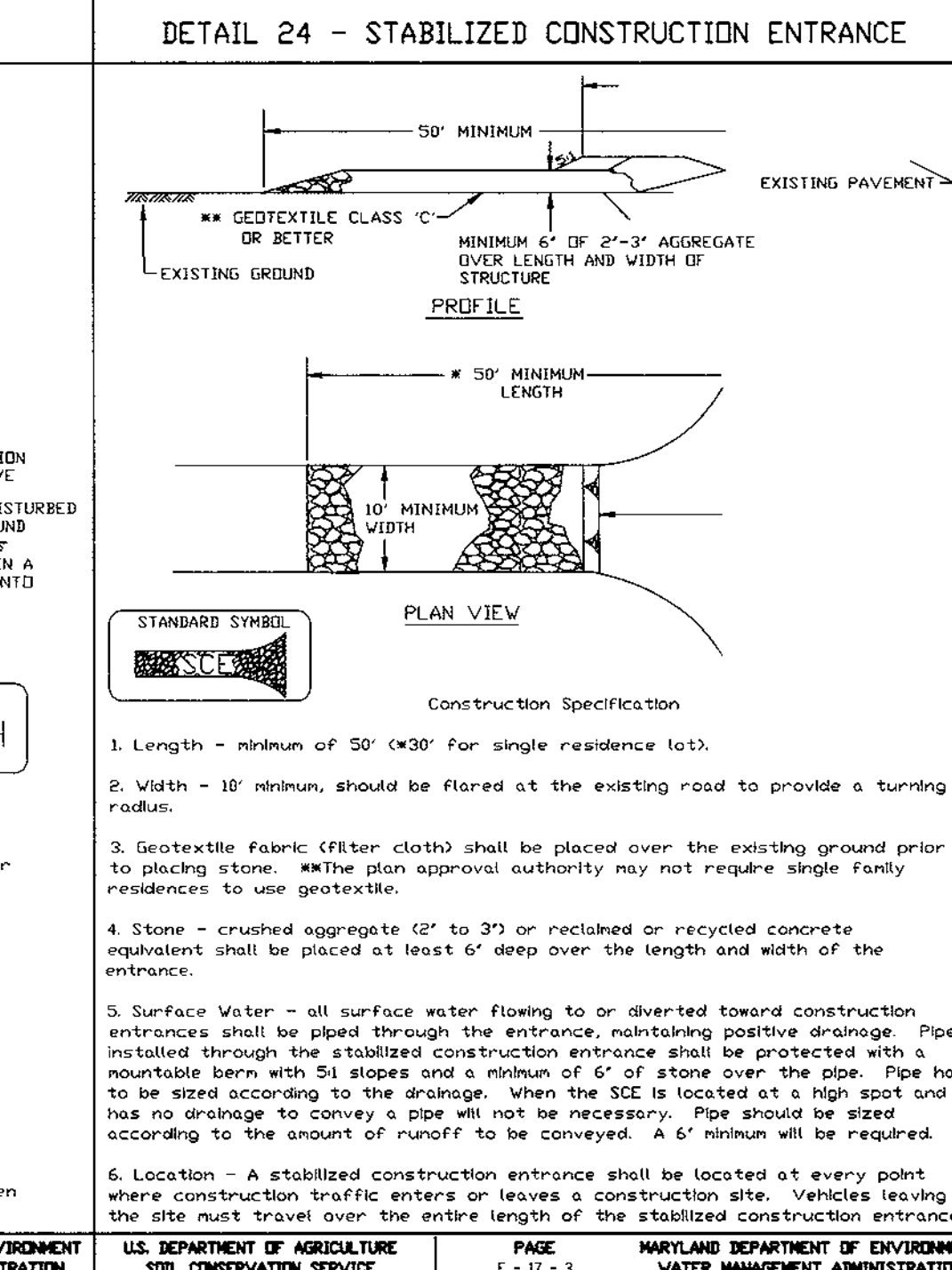
**DETAIL 18 - SEDIMENT BASIN BAFFLES**  
PLAN VIEWS  
CROSS SECTION  
BAFFLE DETAIL  
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-18-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



**DETAIL 20A - REMOVABLE PUMPING STATION**  
CROSS SECTION  
ELEVATION  
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-11-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

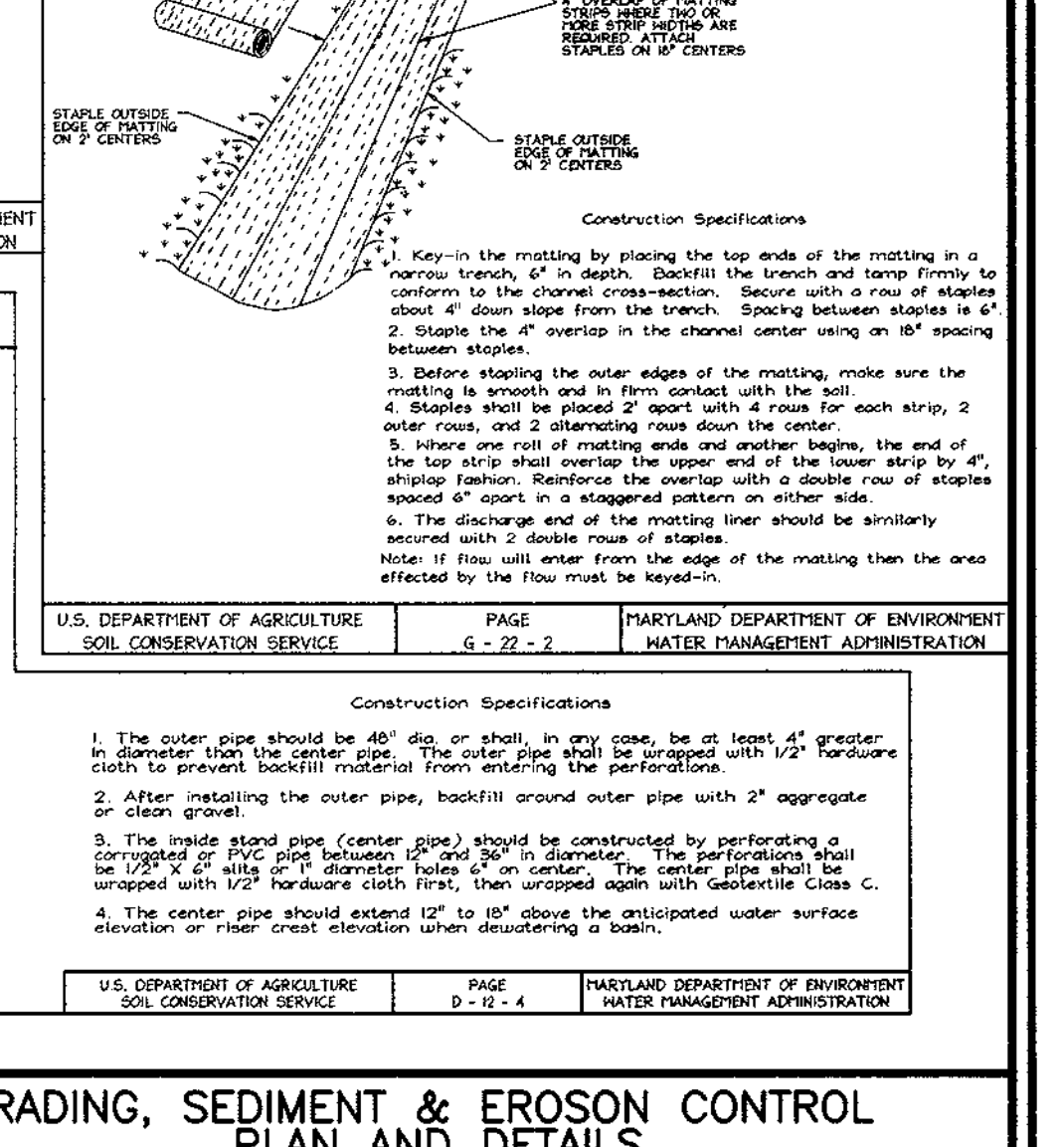
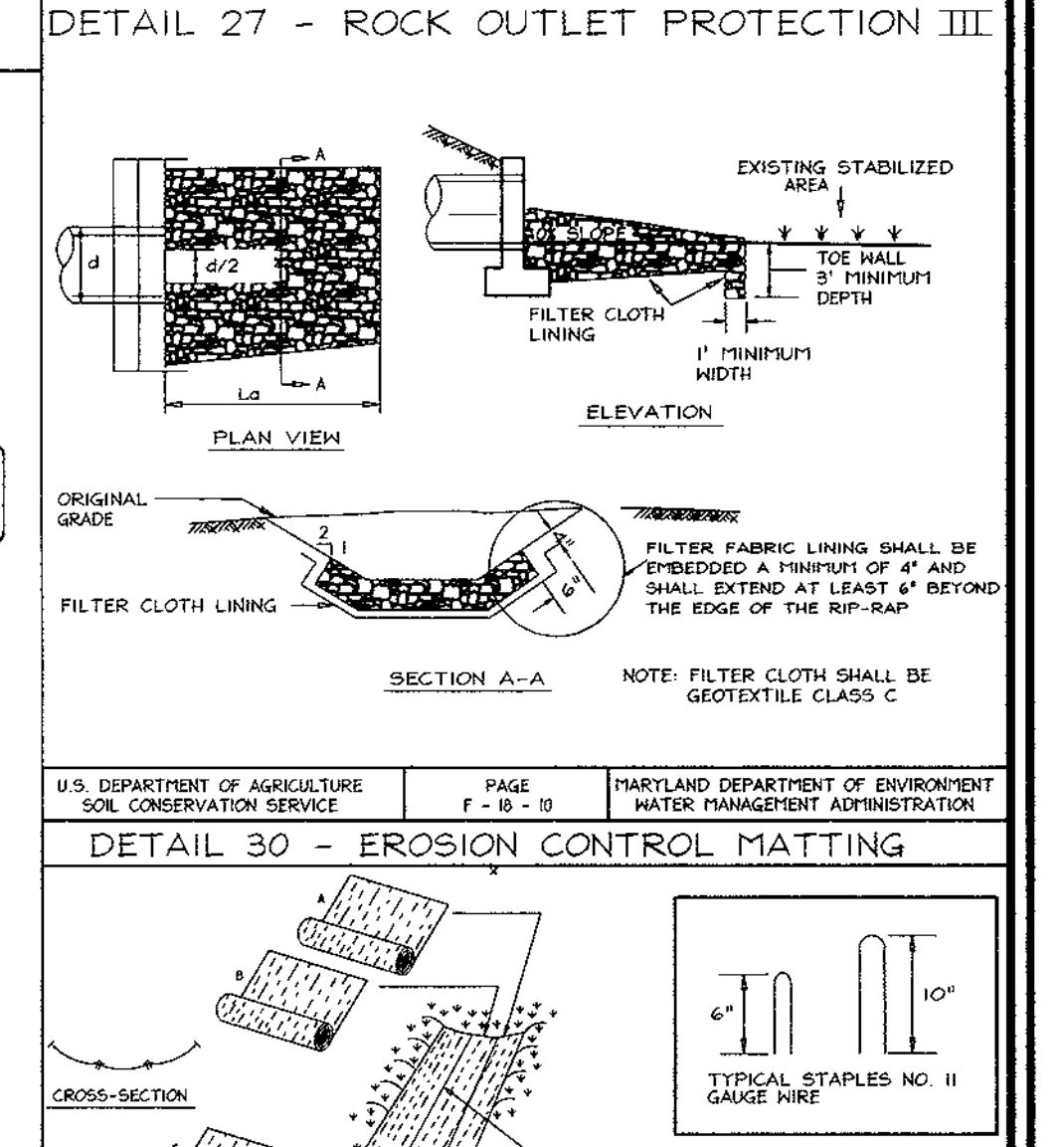
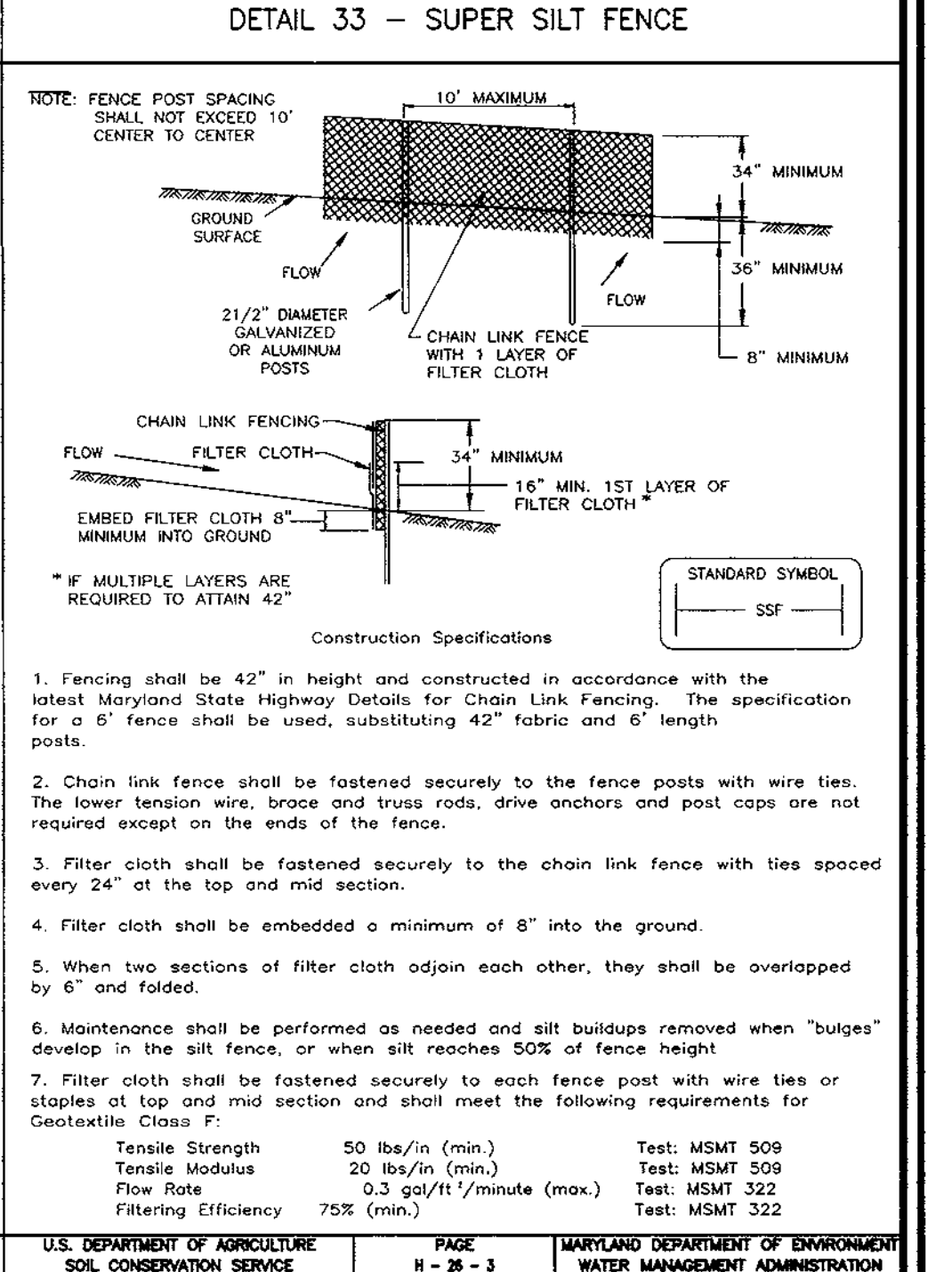


**DETAIL 6 - GABION INFLOW PROTECTION**  
PERSPECTIVE VIEW  
PROFILE ALONG CENTERLINE  
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-11-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



**DETAIL 27 - ROCK OUTLET PROTECTION III**  
PLAN VIEW  
ELEVATION  
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-11-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**DETAIL 30 - EROSION CONTROL MATTING**  
CROSS SECTION  
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-11-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

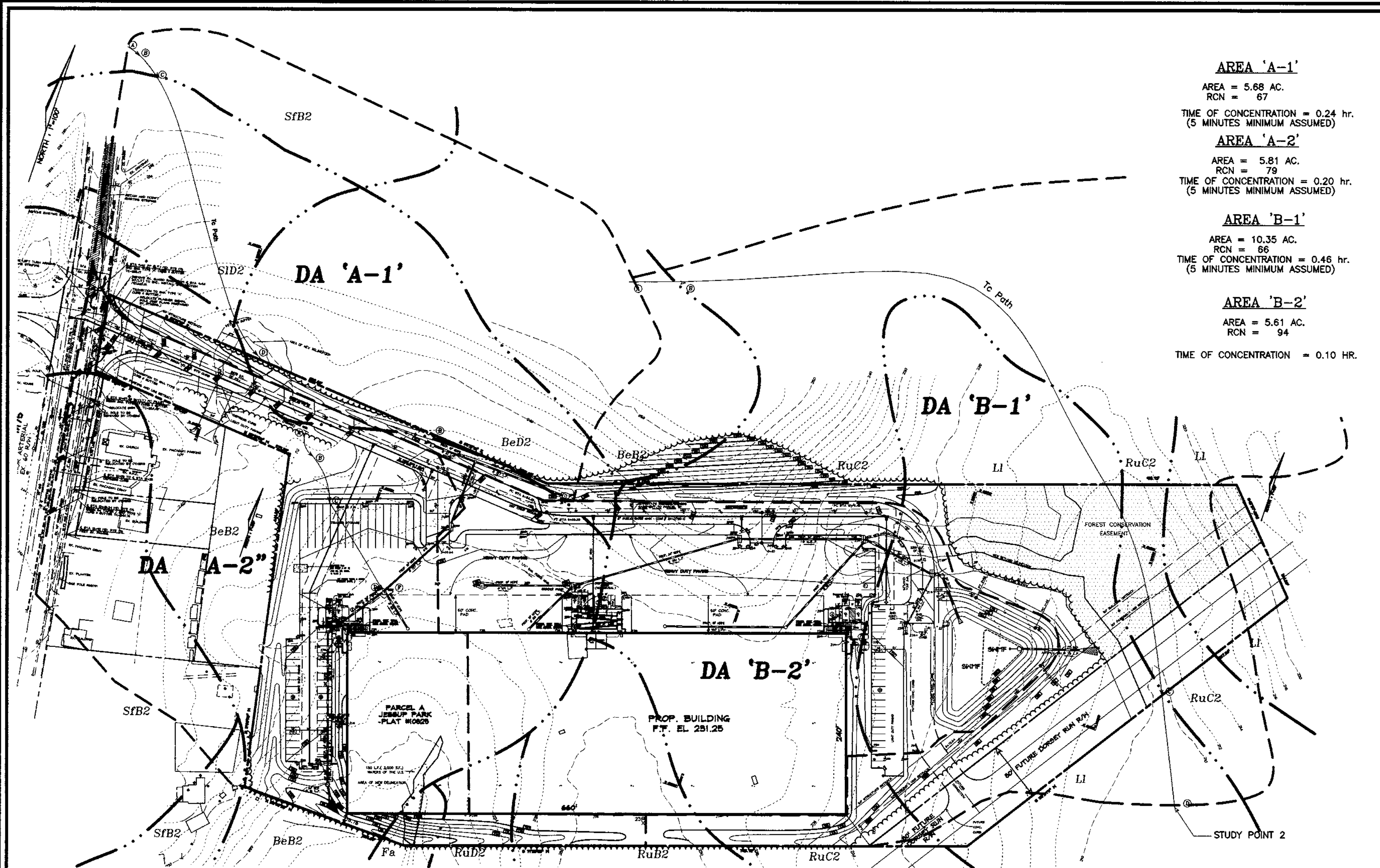


**DETAIL 29 - EARTH DIKE WITH STABILIZED CONSTRUCTION ENTRANCE**  
CROSS SECTION  
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-11-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**GRADING, SEDIMENT & EROSION CONTROL PLAN AND DETAILS**  
FOR  
**JESSUP PARK PARCEL 'A'**  
SITE DEVELOPMENT PLAN  
TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: R.H.V.  
DRAWN BY: R.L.P.  
CHECKED BY: R.H.V.  
DATE: MARCH 2000  
SCALE: 1"=30'  
W.O. NO.: 98-113

7 SHEET OF 13



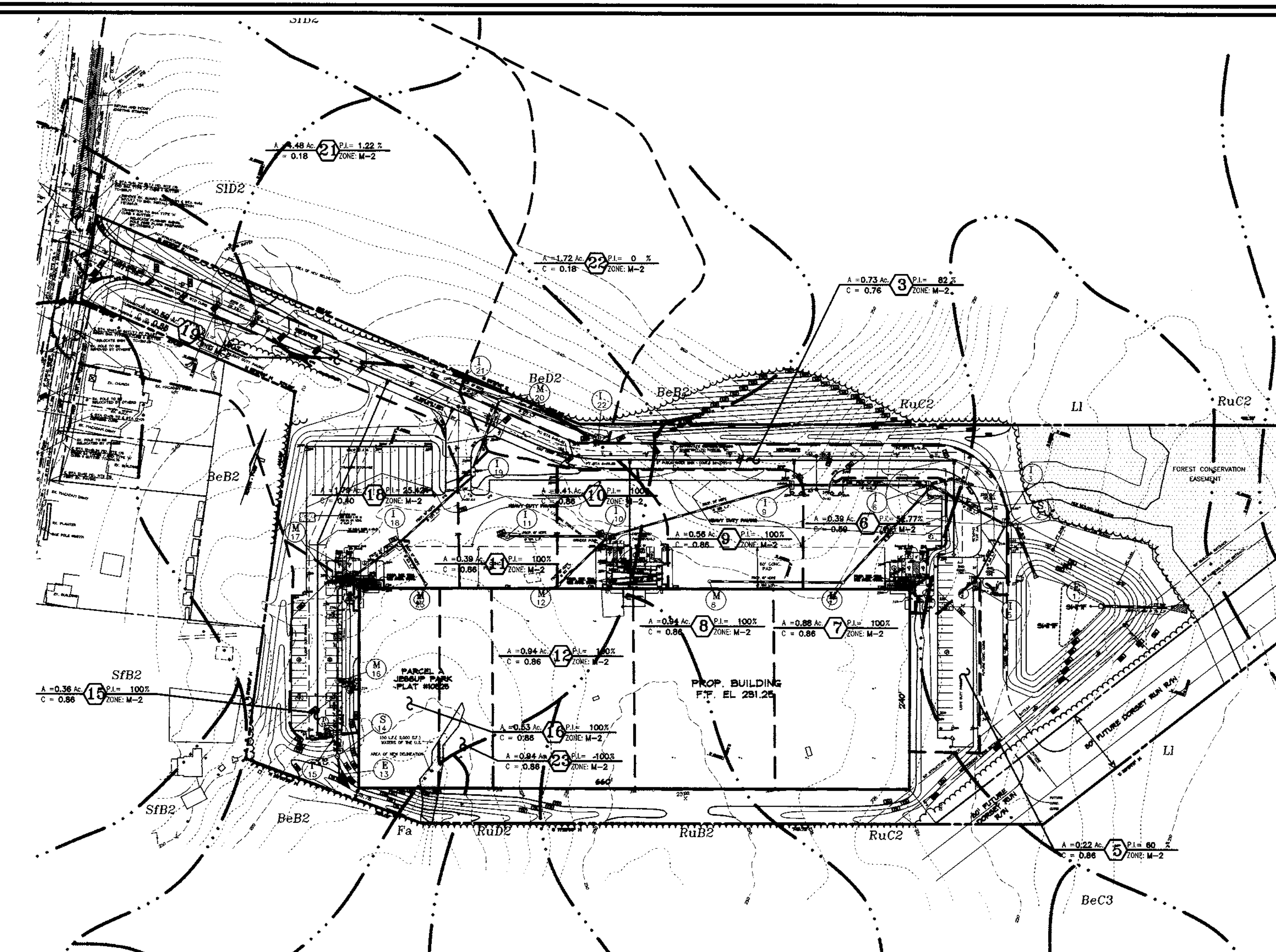
**AREA 'A-1'**  
 AREA = 5.68 AC.  
 RCN = 67  
 TIME OF CONCENTRATION = 0.24 hr.  
 (5 MINUTES MINIMUM ASSUMED)

**AREA 'A-2'**  
 AREA = 5.81 AC.  
 RCN = 79  
 TIME OF CONCENTRATION = 0.20 hr.  
 (5 MINUTES MINIMUM ASSUMED)

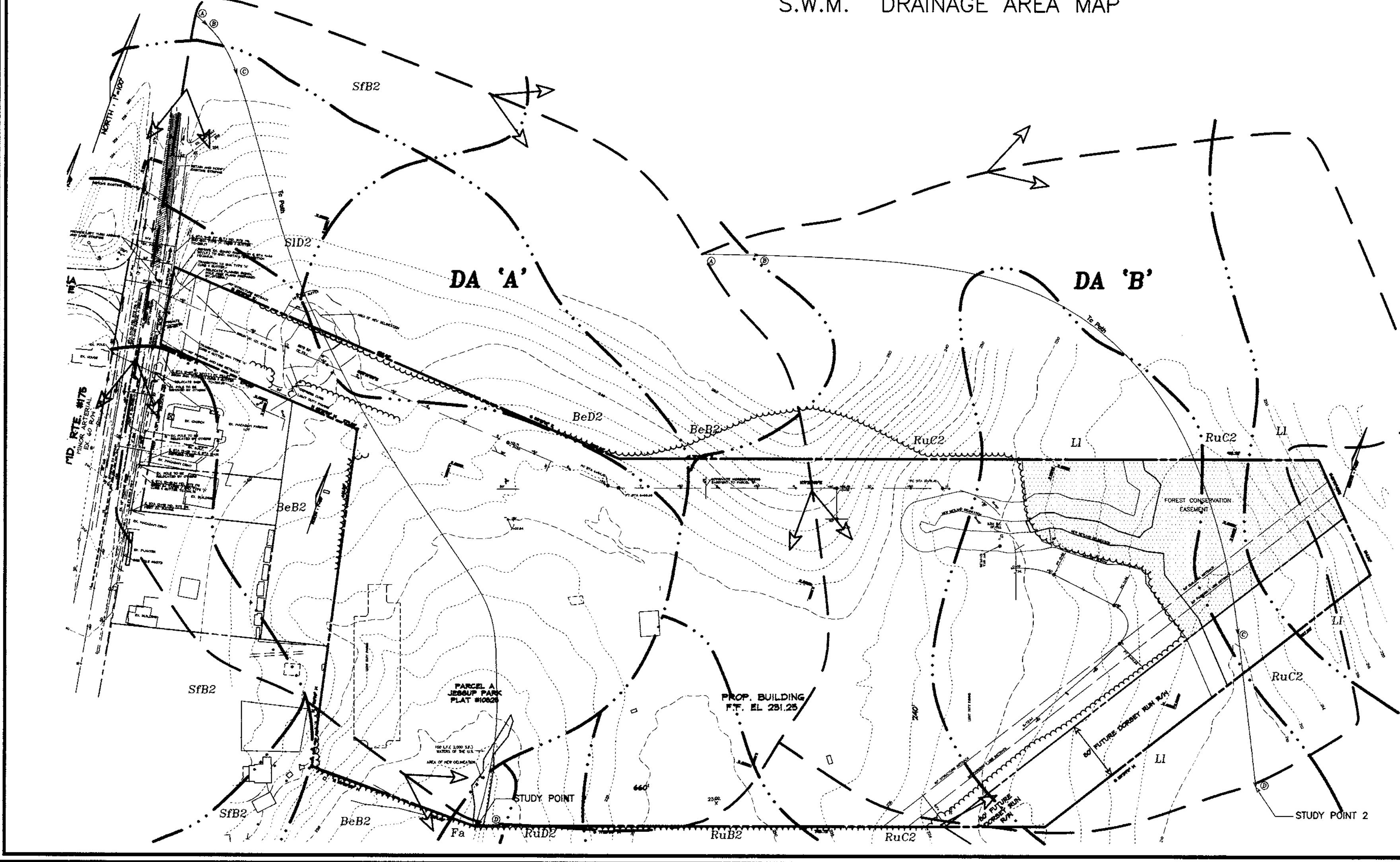
**AREA 'B-1'**  
 AREA = 10.35 AC.  
 RCN = 86  
 TIME OF CONCENTRATION = 0.46 hr.  
 (5 MINUTES MINIMUM ASSUMED)

**AREA 'B-2'**  
 AREA = 5.61 AC.  
 RCN = 94  
 TIME OF CONCENTRATION = 0.10 hr.

S.W.M. DRAINAGE AREA MAP



STORM DRAIN DRAINAGE AREA MAP



DRAINAGE AREA MAP  
 EXISTING CONDITION

**AREA 'A'**  
 AREA = 15.1 AC.  
 RCN = 69  
 TIME OF CONCENTRATION = 0.26 hr.  
 (5 MINUTES MINIMUM ASSUMED)

**AREA 'B'**  
 AREA = 12.53 AC.  
 RCN = 67  
 TIME OF CONCENTRATION = 0.46 hr.  
 (5 MINUTES MINIMUM ASSUMED)

SOILS CHART

SYMBOL	NAME/DESCRIPTION	TYPE
R#2	BELTSVILLE SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED	C
R#3	BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
F#	FALLSINGTON LOAM	D
LI	LEONARDTOWN SILT LOAM	D
R#2	RUMFORD LOAMY SAND, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED	B
R#2	RUMFORD LOAMY SAND 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
R#2	RUMFORD LOAMY SAND, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
S#2	SASSAFRAS LOAM, 10 TO 15 PERCENT SLOPES MODERATELY ERODED	B
S#2	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5% SLOPES, MODERATELY ERODED	B
S#2	SASSAFRAS GRAVELLY SANDY LOAM, 10 TO 15% SLOPES, MODERATELY ERODED	B

HOWARD SOIL SURVEY MAP NUMBER 30

**OWNER**  
 WILLIAM T. WELLER, TRUSTEE  
 14900 SOUTHLAWN LANE  
 ROCKVILLE, MD 20850-1321

**DEVELOPER**  
 INVESTMENT PROPERTIES INC.  
 807-I ROCKVILLE PIKE  
 ROCKVILLE, MD 20852



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Cheryl Surr / G.S. 3/16/00*  
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

*[Signature]* 4/13/00  
 DIRECTOR DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 3/29/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 3/14/00  
 HOWARD SCD DATE

*[Signature]* 3/23/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

SOILS AND DRAINAGE AREA MAPS FOR JESSUP PARK PARCEL 'A'

SITE DEVELOPMENT PLAN

TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND REF. F-99-199

ADDRESS CHART

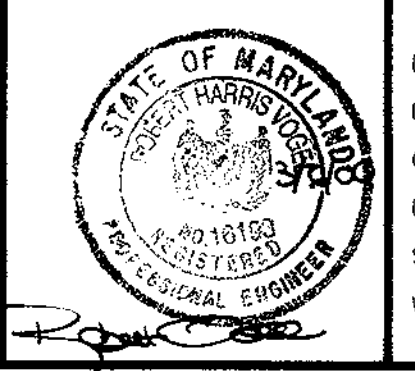
PARCEL NO.	STREET ADDRESS
717	7751 WATERLOO ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
JESSUP PARK	N/A	'A'

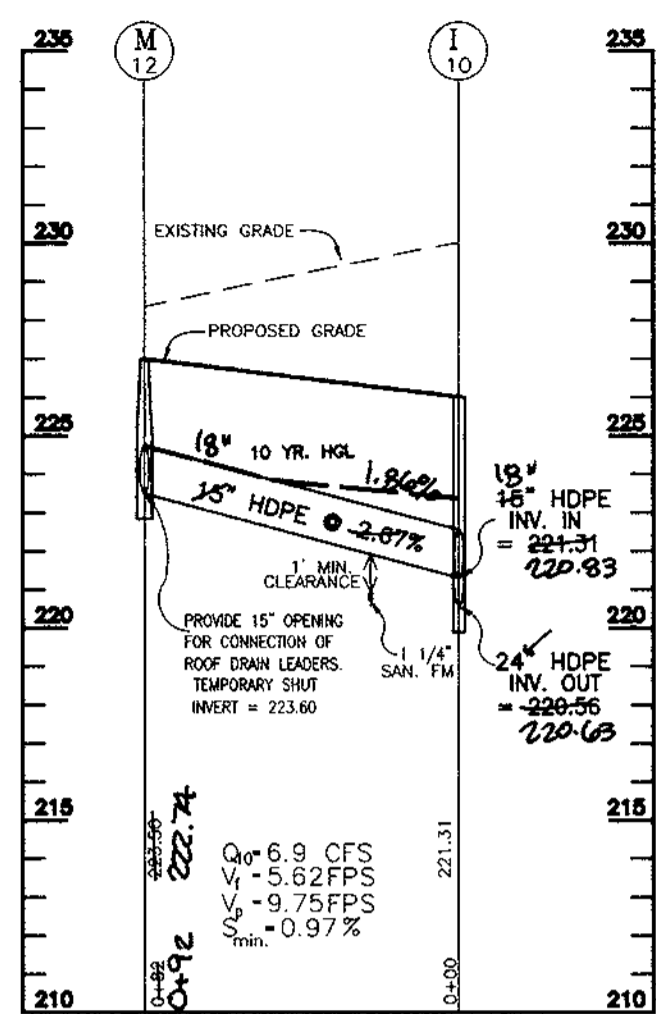
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
M-22-23	21422	M-2	43	1ST	6012

WATER CODE B01 SEWER CODE 3020000



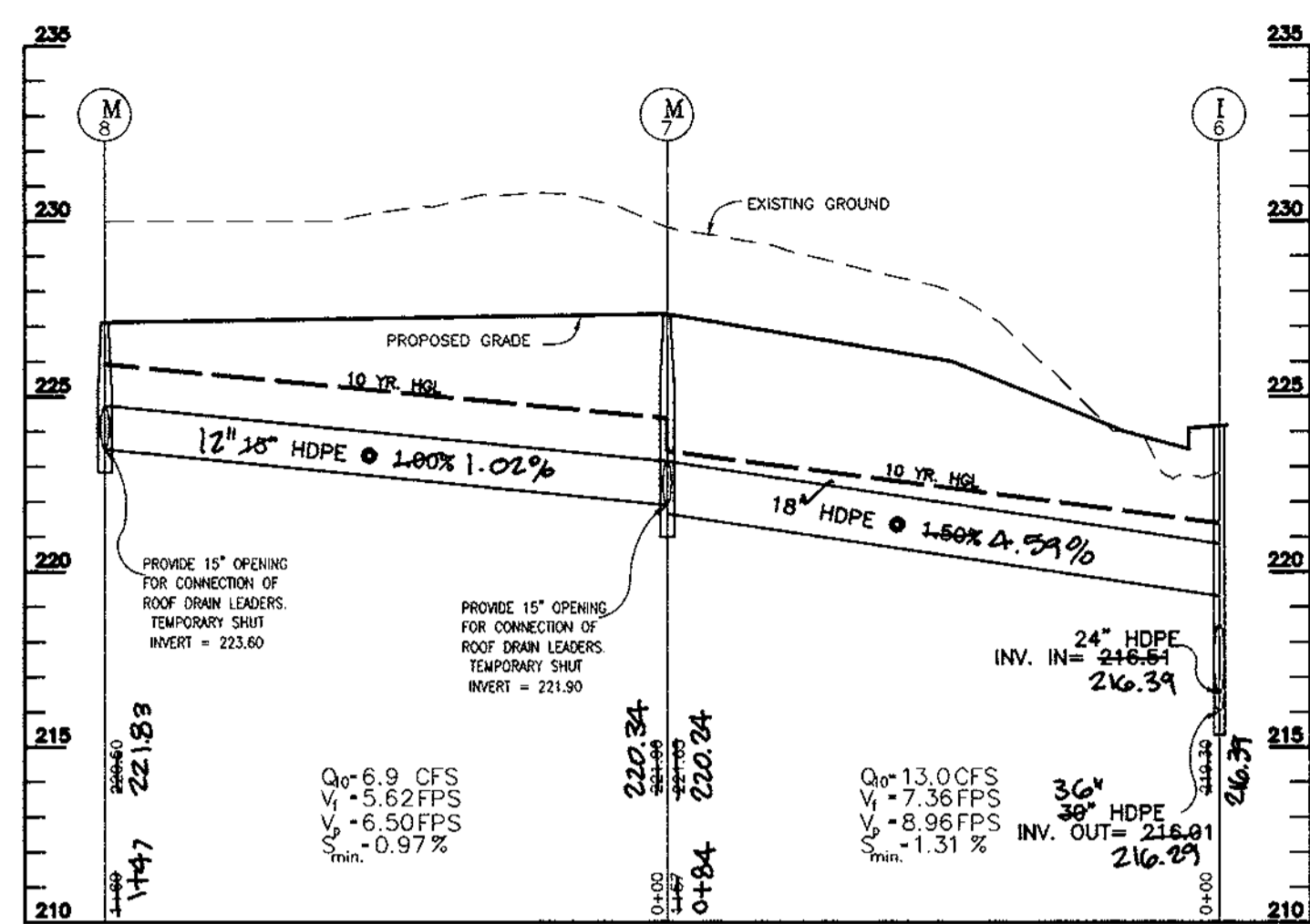
DESIGN BY: R.H.V.  
 DRAWN BY: J.E.R./R.L.P.  
 CHECKED BY: R.H.V.  
 DATE: MARCH, 2000  
 SCALE: 1"=100'  
 W.O. NO.: 98-113





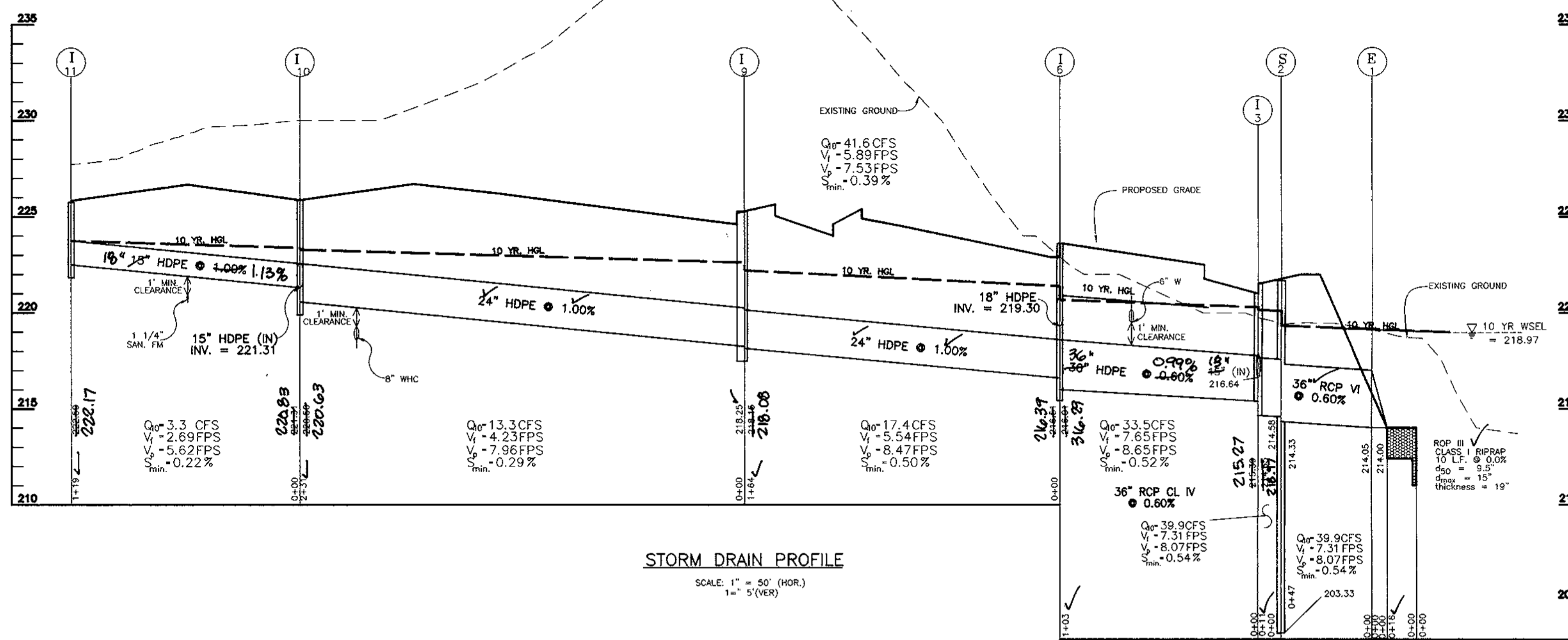
STORM DRAIN PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)



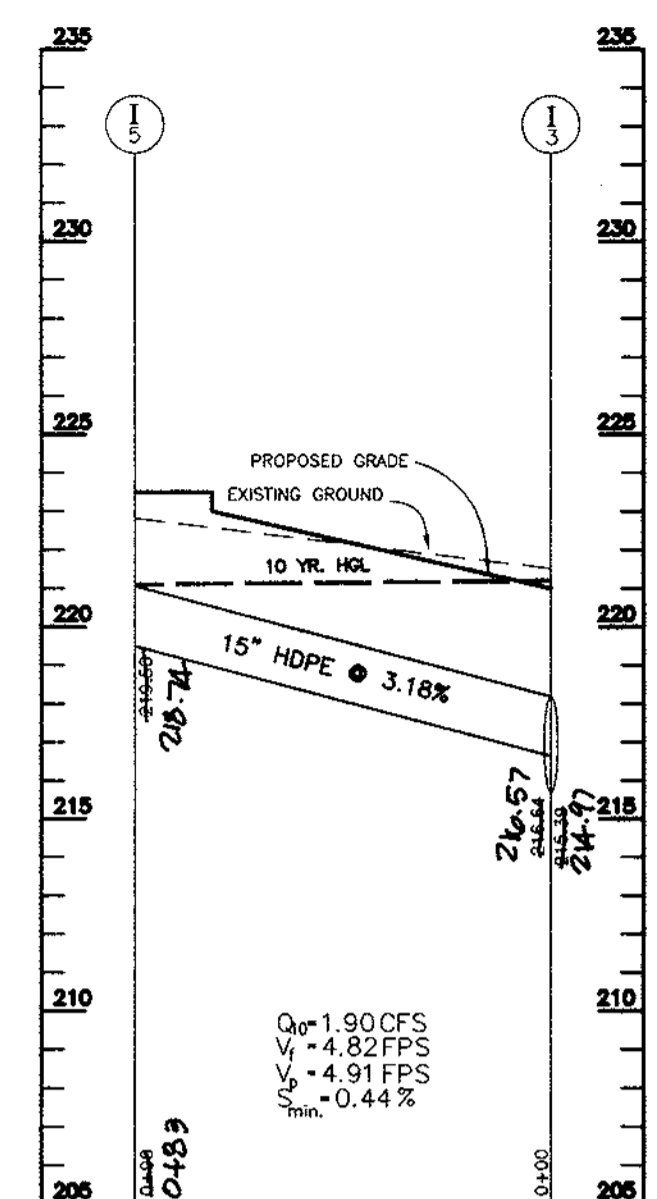
STORM DRAIN PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)



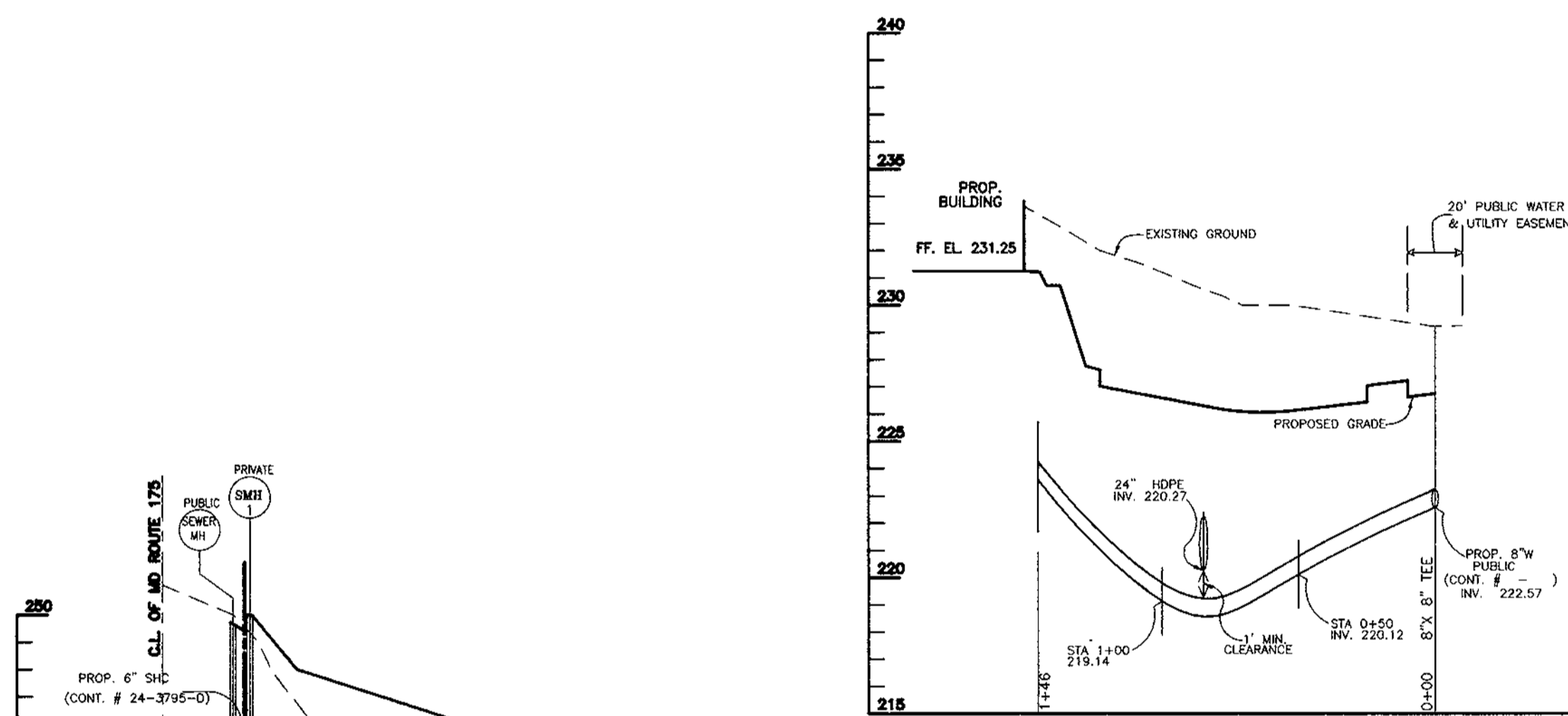
STORM DRAIN PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)



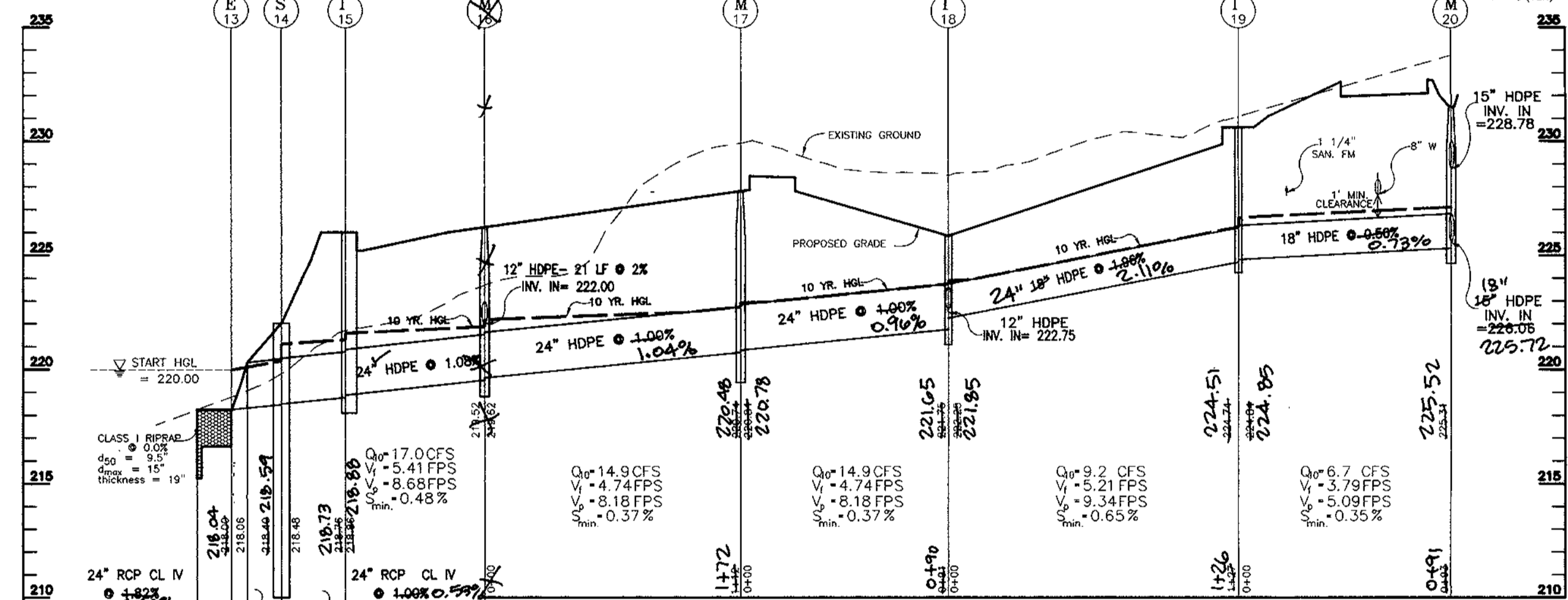
STORM DRAIN PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)



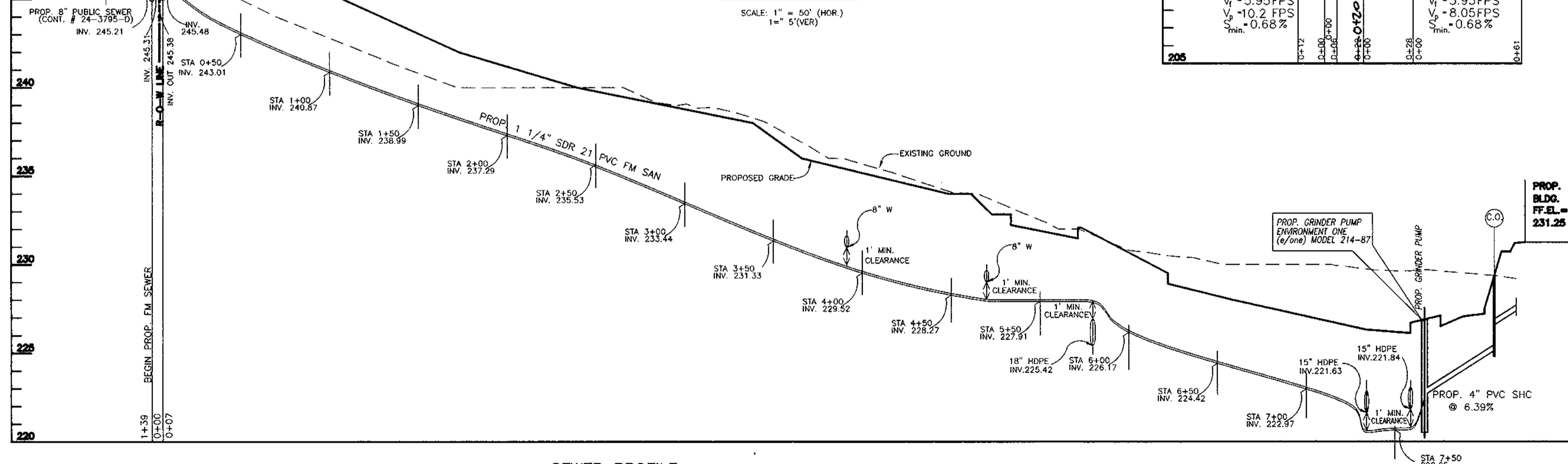
8" WHC PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)



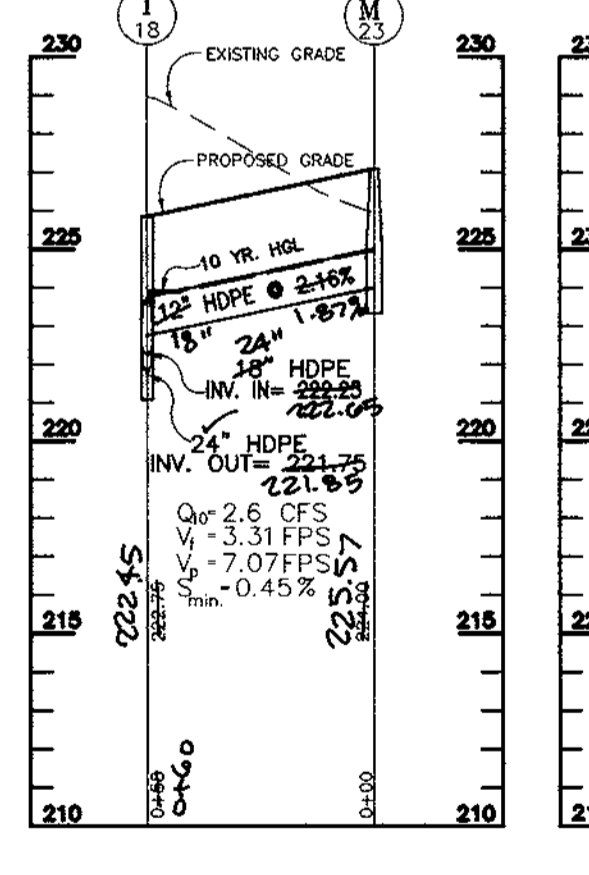
STORM DRAIN PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)



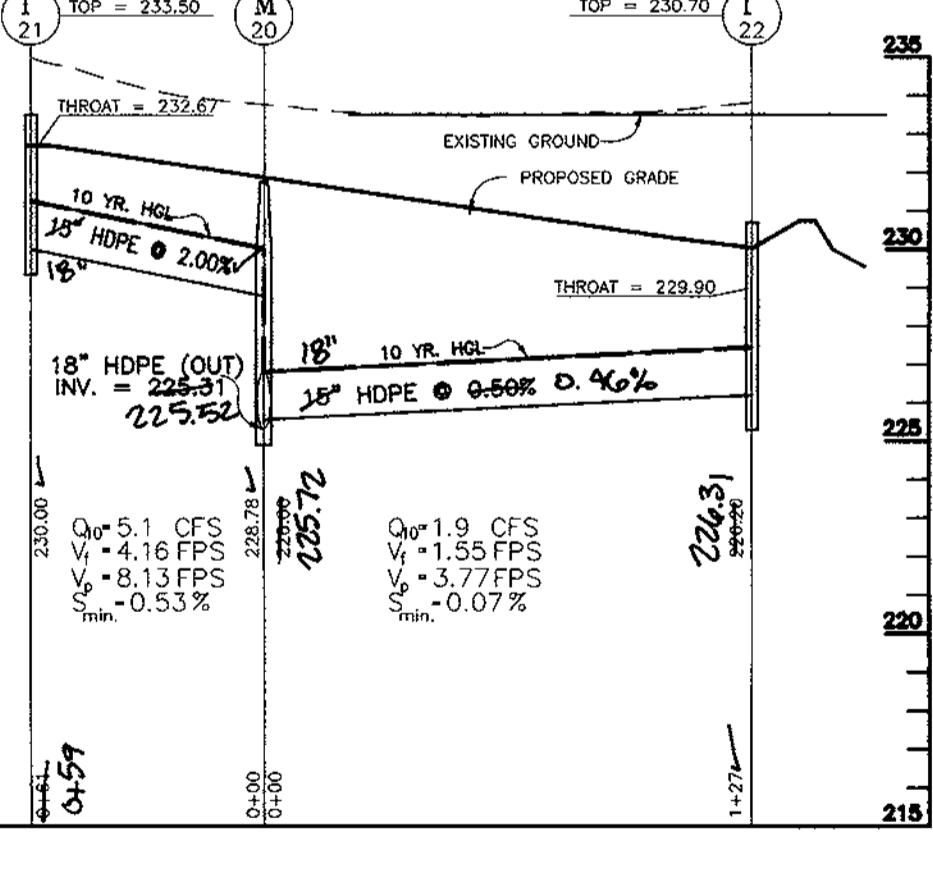
SEWER PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)



STORM DRAIN PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)



STORM DRAIN PROFILE

SCALE: 1" = 50' (HOR.)  
1" = 5' (VER)

STRUCTURE SCHEDULE

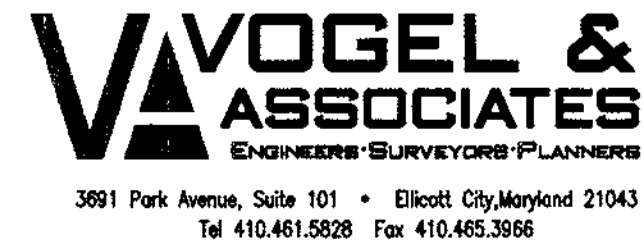
NO.	TYPE	TOP EL.	INV. IN.	INV. OUT.	LOCATION	REMARKS
B-1	CONCRETE END SECTION	-	214.05	214.05	N 482562.49 E 863780.89	SD 5.51
S-2	STORMCUP	221.74	214.50	214.33	N 482528.66 E 863742.20	STC-6000 44" INSERT
I-3	PRECAST INLET	221.17	214.85	214.85	N 482627.60 E 863728.35	SD 4.35
A-10	A-10 INLET	222.00	217.5	217.5	N 482545.4940 E 863737.8600	SD 4.41
I-6	A-10 INLET	221.74	216.28	216.28	N 482541.1460 E 863728.35	SD 4.41
M-7	SHALLOW MANHOLE	222.00	222.00	222.00	N 482497.5957 E 863567.9413	G 5.12
M-8	SHALLOW MANHOLE	222.15	221.5	221.5	N 482475.9039 E 863545.2947	G 5.12
I-9	A-10 INLET	222.20	218.23	218.23	N 482587.2409 E 863467.3149	SD 4.41
I-10	TYPE "S" INLET	222.00	218.00	218.00	N 482587.2409 E 863467.3149	SD 4.22
I-11	TYPE "S" INLET	221.01	218.17	218.17	N 482421.2785 E 863169.5837	SD 4.22
M-12	SHALLOW MANHOLE	222.00	222.00	222.00	N 482389.9411 E 863169.5837	G 5.12
B-13	CONCRETE END SECTION	-	218.06	218.06	N 482090.5758 E 863061.1276	SD 5.51
S-14	STORMCUP	221.74	218.48	218.48	N 482105.3618 E 863050.9197	STC-3600 36" INSERT
I-15	A-10 INLET	221.74	218.55	218.55	N 482132.3068 E 863051.6134	SD 4.41
M-16	STANDARD MANHOLE	221.74	219.02	219.02	N 482109.1768 E 863051.6134	G 5.12
M-17	STANDARD MANHOLE	222.00	222.00	222.00	N 482296.7598 E 862996.340	G 5.12
I-18	TYPE "S" INLET	221.74	218.68	218.68	N 482370.1648 E 863051.6134	SD 4.22
I-19	A-10 INLET	221.74	218.55	218.55	N 482481.2786 E 863107.9761	SD 4.41
M-20	STANDARD MANHOLE	222.00	222.00	222.00	N 482573.5087 E 862952.0134	G 5.12
I-21	TYPE "D" INLET	221.74	230.00	230.00	N 482189.6649 E 862957.1705	SD 4.39
I-22	TYPE "D" INLET	221.74	228.81	228.81	N 482427.0731 E 863051.6134	SD 4.39
M-23	SHALLOW MANHOLE	222.00	222.00	222.00	N 482568.1718 E 863234.8431	G 5.12
CS1	ROOF STRUCTURE	-	-	-	N 482575.08 E 863086.84	SEE SHEET 10 OF 13
B-24	CONCRETE END SECTION	-	212.75	212.75	-	SD 5.51

NOTE: TOP ELEVATIONS ARE TO CENTER OF STRUCTURE AT TOP FALL OF CURB, FOR CURB OPENING INLETS AND TO C.L. TOP OF SLAB, RIM OR GRATE FOR ALL OTHER STRUCTURES. SEE PROFILE FOR STRUCTURES WITH MULTIPLE PIPES.  
\* - USE REINFORCED GRADE SD 4.93

STORM DRAIN PIPE SCHEDULE

DIAMETER	TYPE	LENGTH (L.F.)
12"	HDPE	79
15"	HDPE	637
18"	HDPE	377
24"	HDPE	659
30"	HDPE	103
24"	RCP CL IV	44
36"	RCP CL IV	66

HDPE - HIGH DENSITY POLYETHYLENE PIPE  
RCP - REINFORCED CONCRETE PIPE



3991 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
Tel 410.461.5828 Fax 410.465.3966

OWNER  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321

DEVELOPER  
INVESTMENT PROPERTIES INC.  
807-I ROCKVILLE PIKE  
ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DIRECTOR DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DATE	NO.	REVISION	BY

ADDRESS CHART  
PARCEL NO. STREET ADDRESS  
717 7751 WATERLOO ROAD

PERMIT INFORMATION CHART  
SUBDIVISION NAME SECTION/AREA PARCEL NUMBER  
JESSUP PARK N/A A

PLAT NO. BLOCK NO. ZONE TAX/ZONE ELECT. DIST. CENSUS TR.  
1412-23 214-22 M-2 43 1ST 6012

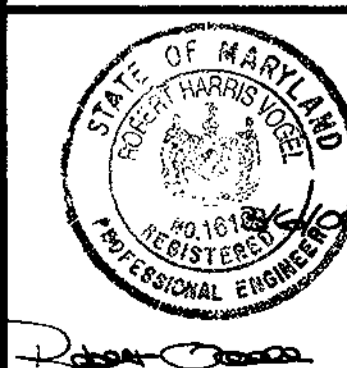
WATER CODE B01 SEWER CODE 3020000

STORM DRAIN, SANITARY FORCE MAIN AND WATER HOUSE CONNECTION PROFILES

JESSUP PARK PARCEL 'A'

SITE DEVELOPMENT PLAN REF. F-92-104

TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-99-199  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



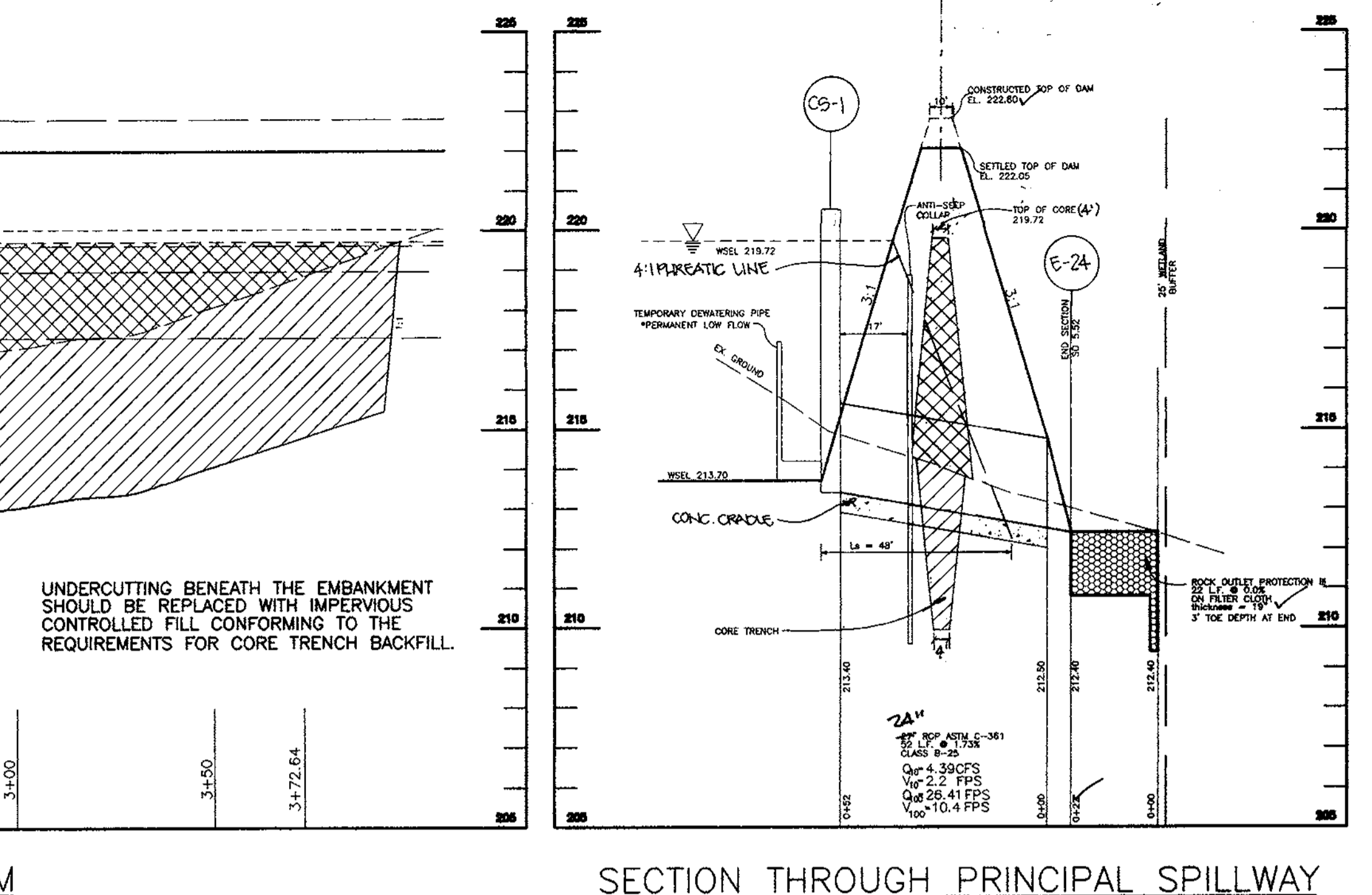
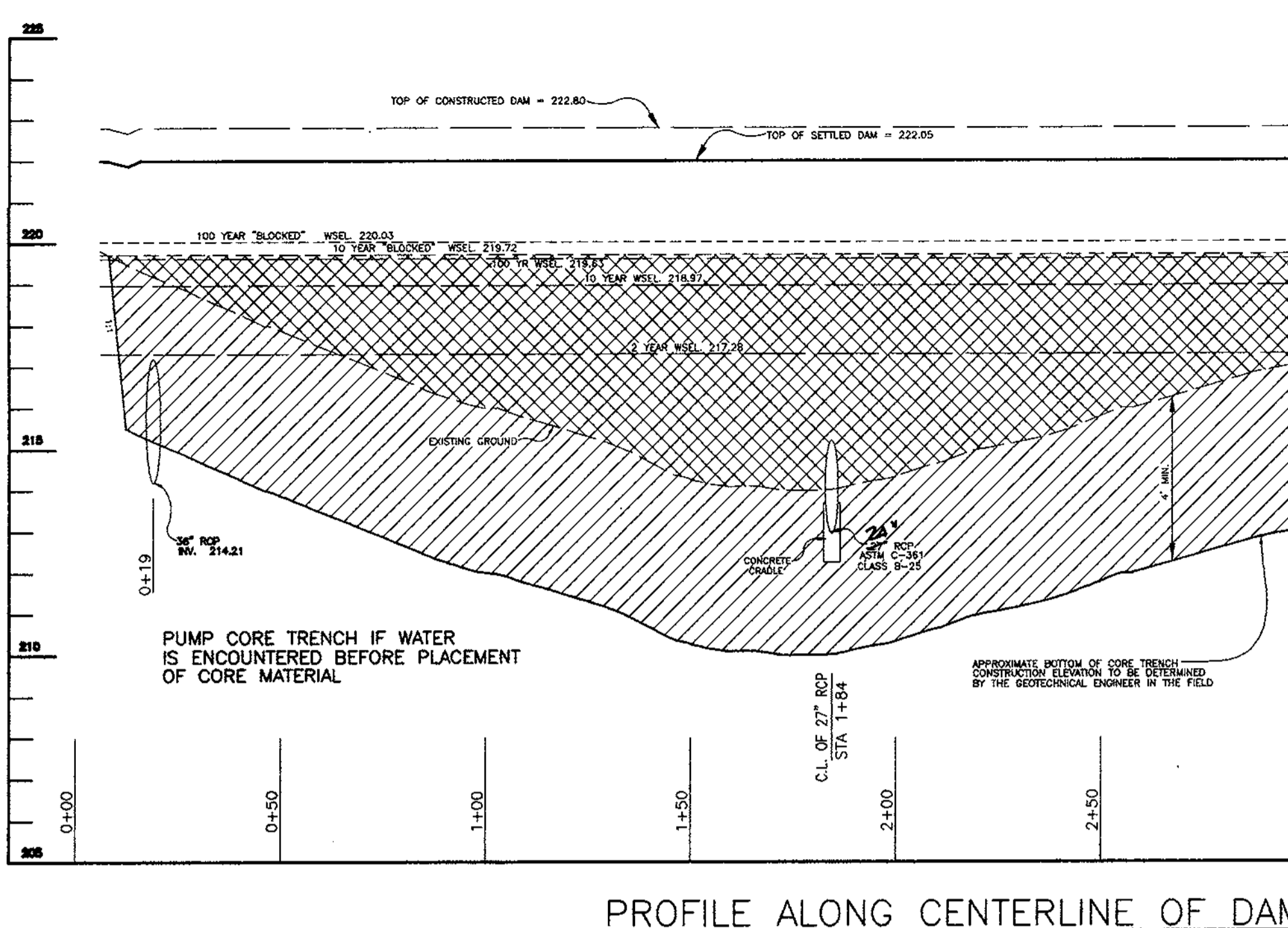
DESIGN BY: R.H.V.  
DRAWN BY: J.E.R./R.P.  
CHECKED BY: R.H.V.  
DATE: SEPTEMBER, 1999  
SCALE: AS SHOWN  
W.O. NO.: 98-113

STORMWATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

- 1. SITE PREPARATION
2. FILL MATERIAL
3. EMBANKMENT
4. REINFORCED CONCRETE PIPE
5. CONCRETE ANTI-SEEP COLLARS
6. CARE OF WATER DURING CONSTRUCTION
7. STRUCTURAL BACKFILL
8. PUMP CORE TRENCH
9. UNDERCUTTING BENEATH THE EMBANKMENT
10. POND CONSTRUCTION
11. OPERATION AND MAINTENANCE SCHEDULE FOR STORMWATER QUALITY DEVICE

AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT AND STRUCTURAL WORKS SHALL BE CLEARED... REINFORCED CONCRETE PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR REINFORCED CONCRETE PIPE...

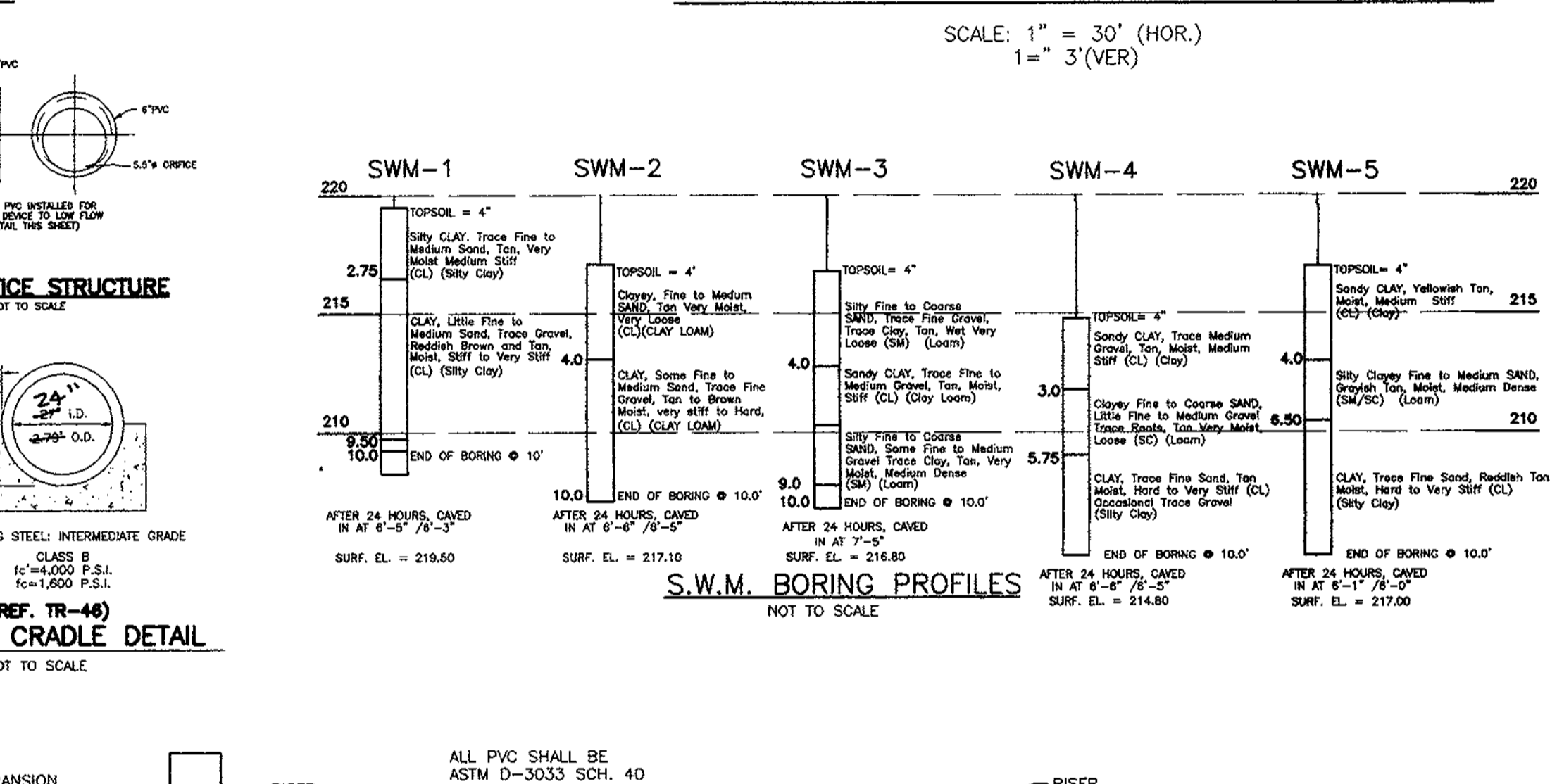
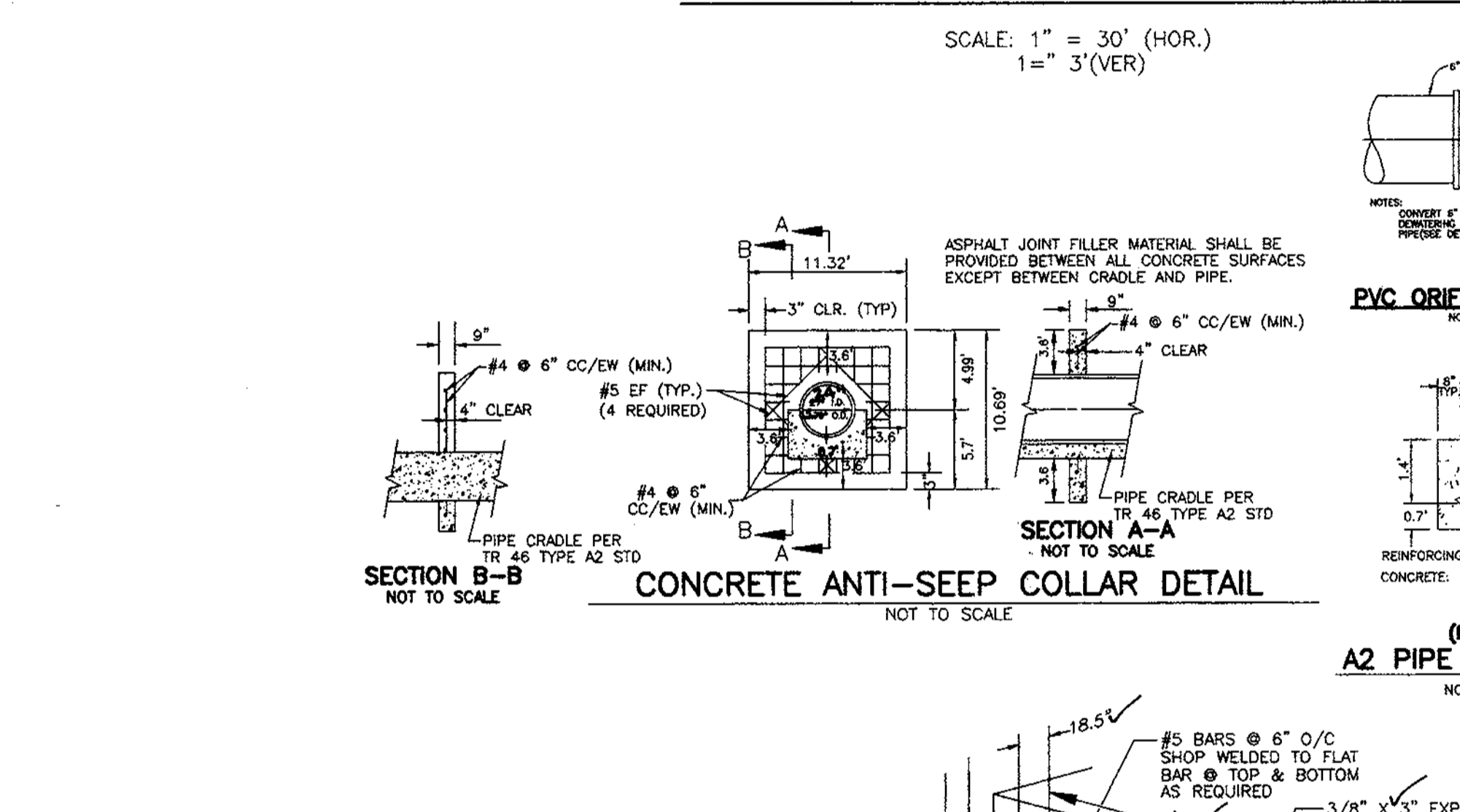
Fill Placement
Upon achieving an approved stable substrate, the exposed surface shall be prepared... CONSTRUCTION CONSIDERATIONS
Most of the work for this project will likely be done in the summer months...



CONNECTIONS - ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATER-TIGHT... OPERATION AND MAINTENANCE SCHEDULE FOR STORMWATER QUALITY DEVICE

CONCRETE ANTI-SEEP COLLAR DETAIL. SECTION A-A. SECTION B-B. A2 PIPE CRADLE DETAIL. SEDIMENT BASIN DEWATERING DEVICE I WITH 6" PERFORATED RISER. PERMANENT LOW FLOW DETENTION PIPE DETAIL.

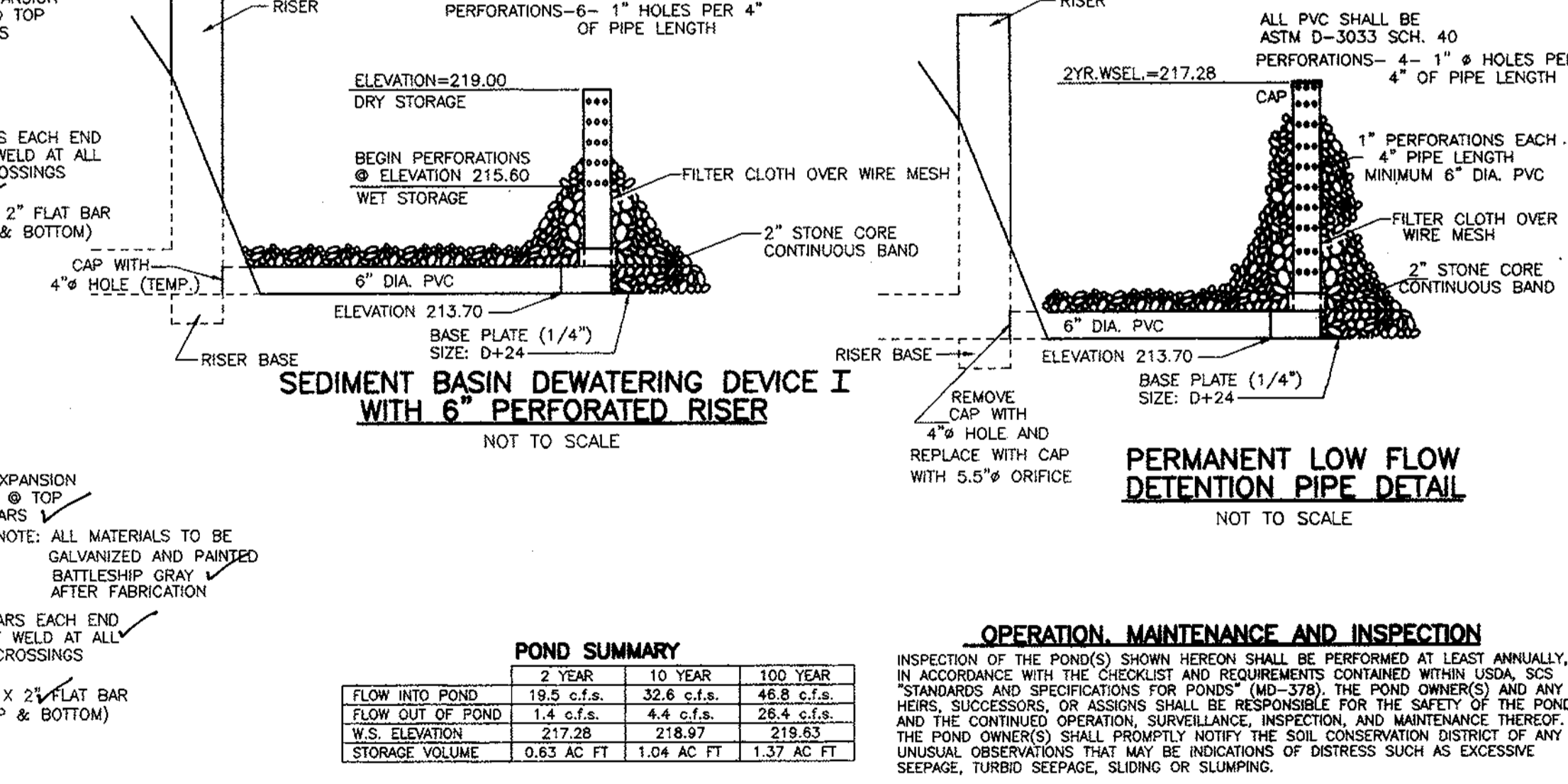
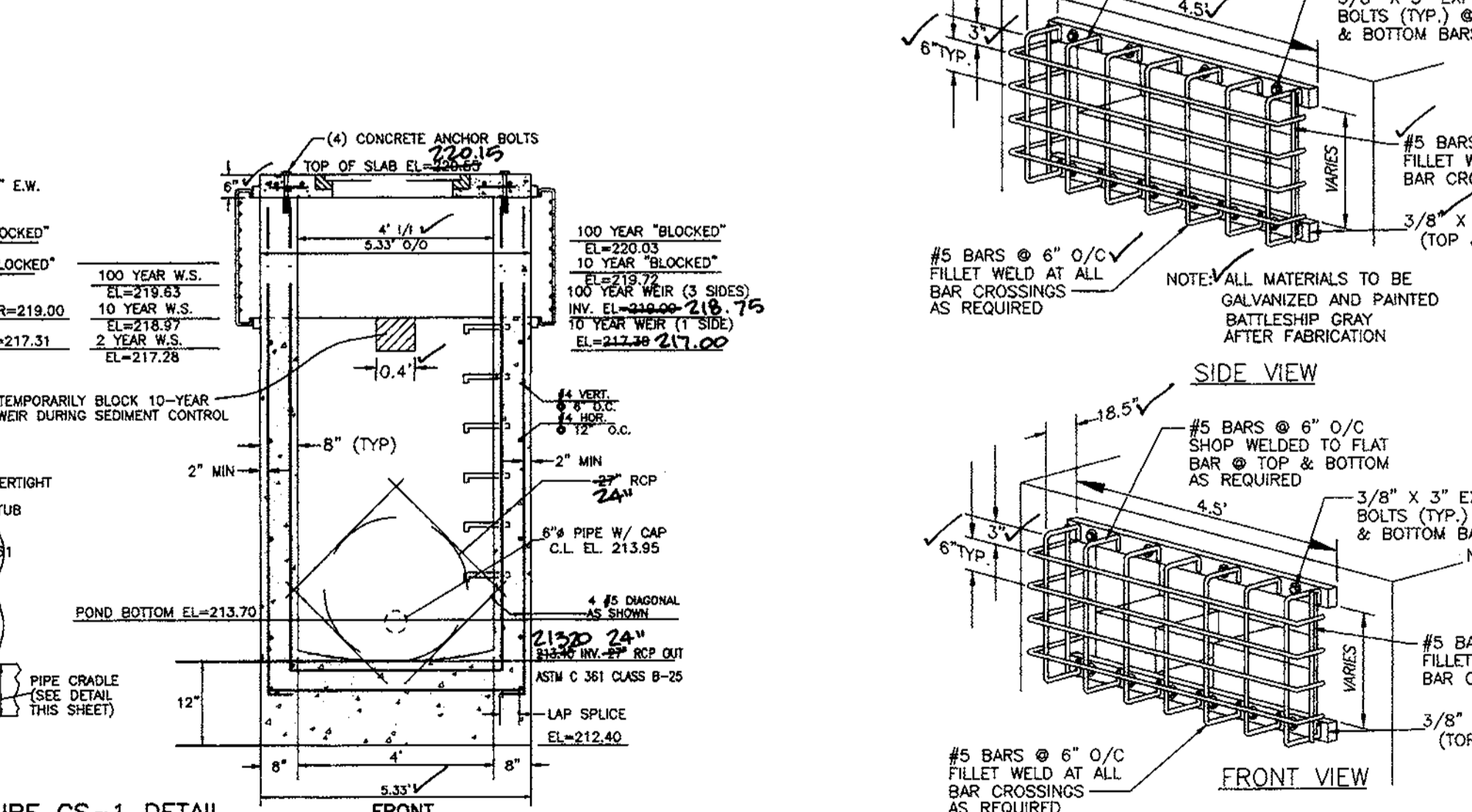
CONCRETE ANTI-SEEP COLLAR DETAIL. SECTION A-A. SECTION B-B. A2 PIPE CRADLE DETAIL. SEDIMENT BASIN DEWATERING DEVICE I WITH 6" PERFORATED RISER. PERMANENT LOW FLOW DETENTION PIPE DETAIL.



OPERATION AND MAINTENANCE SCHEDULE FOR STORMWATER QUALITY DEVICE. 1. STORMWATER WATER QUALITY STRUCTURES WILL REQUIRE PERIODIC INSPECTION AND CLEANING TO MAINTAIN OPERATION AND FUNCTION...

OPERATION AND MAINTENANCE SCHEDULE FOR STORMWATER QUALITY DEVICE. 2. STORMWATER WATER QUALITY STRUCTURES MUST BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS, CONTACT APPROPRIATE REGULATORY AGENCIES...

OPERATION AND MAINTENANCE SCHEDULE FOR STORMWATER QUALITY DEVICE. 3. MAINTENANCE OF STORMWATER QUALITY STRUCTURES SHOULD BE DONE BY A VACUUM TRUCK WHICH WILL REMOVE THE WATER, REMOVE DEBRIS, FLOTTING HYDROCARBONS AND OTHER MATERIALS IN LIQUID FORM...



OWNER: WILLIAM T. WELLS, TRUSTEE. DEVELOPER: INVESTMENT SERVICES INC. ENGINEERS: VOGEL & ASSOCIATES. DESIGNER: ROBERT H. WELLS, P.E.

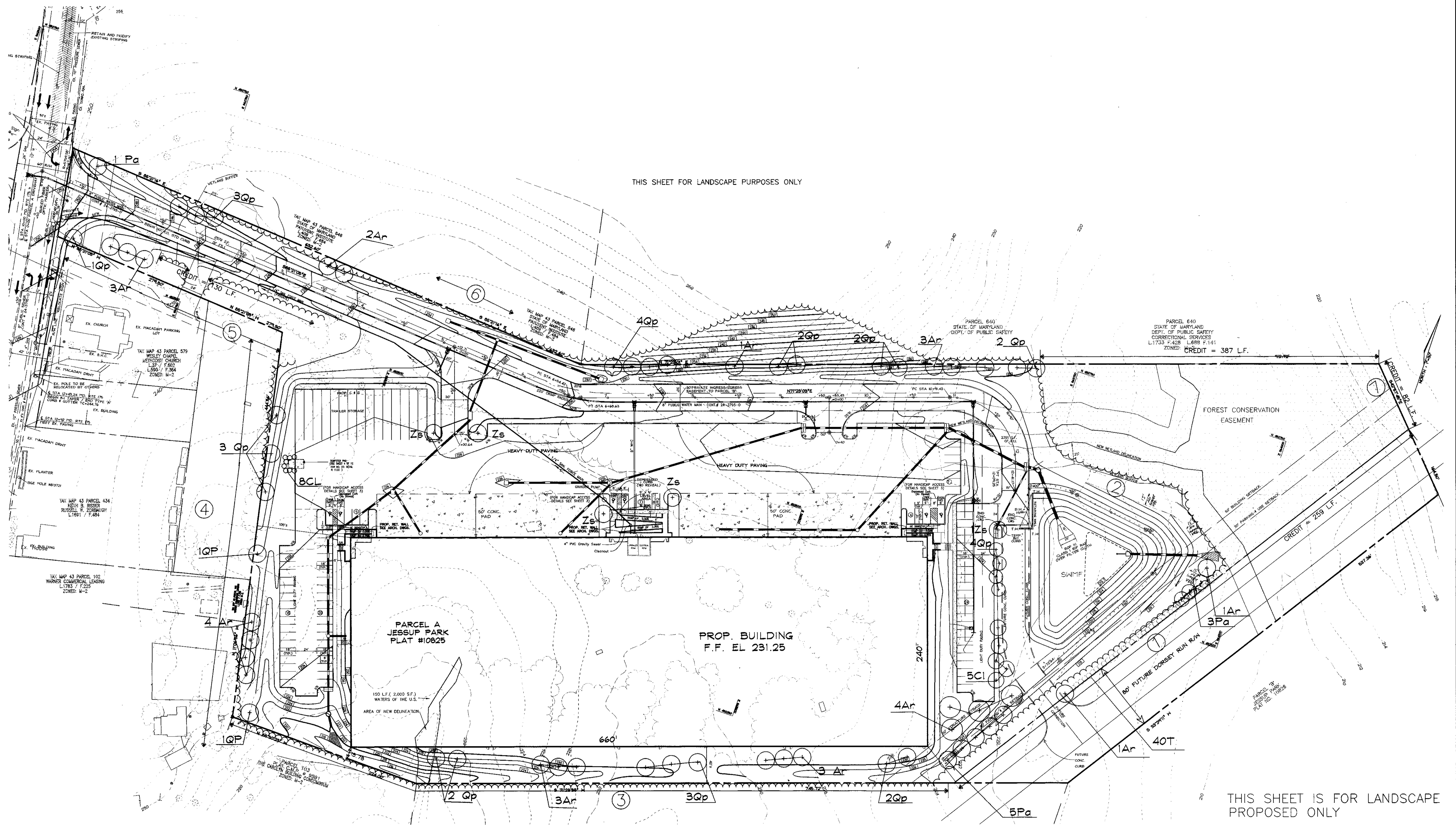
ENGINEERS CERTIFICATE: I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS...

DEVELOPER'S CERTIFICATE: I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS AND THAT I AM THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT...

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Director: [Signature], Date: 4/13/00. Chief, Division of Land Development: [Signature], Date: 7/21/00. Chief, Development Engineering Division: [Signature], Date: 3/21/00.

STORMWATER MANAGEMENT POND NOTES AND DETAILS FOR JESSUP PARK PARCEL 'A' SITE DEVELOPMENT PLAN. Includes address chart, permit information chart, and design details.

THIS SHEET FOR LANDSCAPE PURPOSES ONLY



THIS SHEET IS FOR LANDSCAPE PROPOSED ONLY

**LEGEND**

EXISTING GROUND	---232---
PROPOSED GRADE	---231---
EXISTING WATER	---
EXISTING SEWER	---
EXISTING STORM DRAIN	---
EXISTING CURB & GUTTER	---
PROPERTY LINE	---
PROPOSED C&G	---
PROP. STORM DRAIN	---
PROP. SEWER	---
PROP. WATER MAIN	---
EASEMENT	---
PROP. LIGHTING	---

**VOGEL & ASSOCIATES**  
ENGINEERS-SURVEYORS-PLANNERS  
3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
Tel 410.461.5828 Fax 410.465.3966

**OWNER**  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321

**DEVELOPER**  
INVESTMENT PROPERTIES INC.  
807-1 ROCKVILLE PIKE  
ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 4/13/00  
DIRECTOR DATE

*[Signature]* 3/29/00  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 3/23/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DATE	NO.	REVISION	BY
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
717	7751 WATERLOO ROAD		
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
JESSUP PARK	N/A	A	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE
7412-23	21 & 22	M-2	43
ELECT. DIST.		CENSUS TR.	
1ST		6012	
WATER CODE		SEWER CODE	
B01		3020000	

**LANDSCAPING PLAN**  
FOR  
**JESSUP PARK PARCEL 'A'**  
SITE DEVELOPMENT PLAN REF. F-92-104  
TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-99-199  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

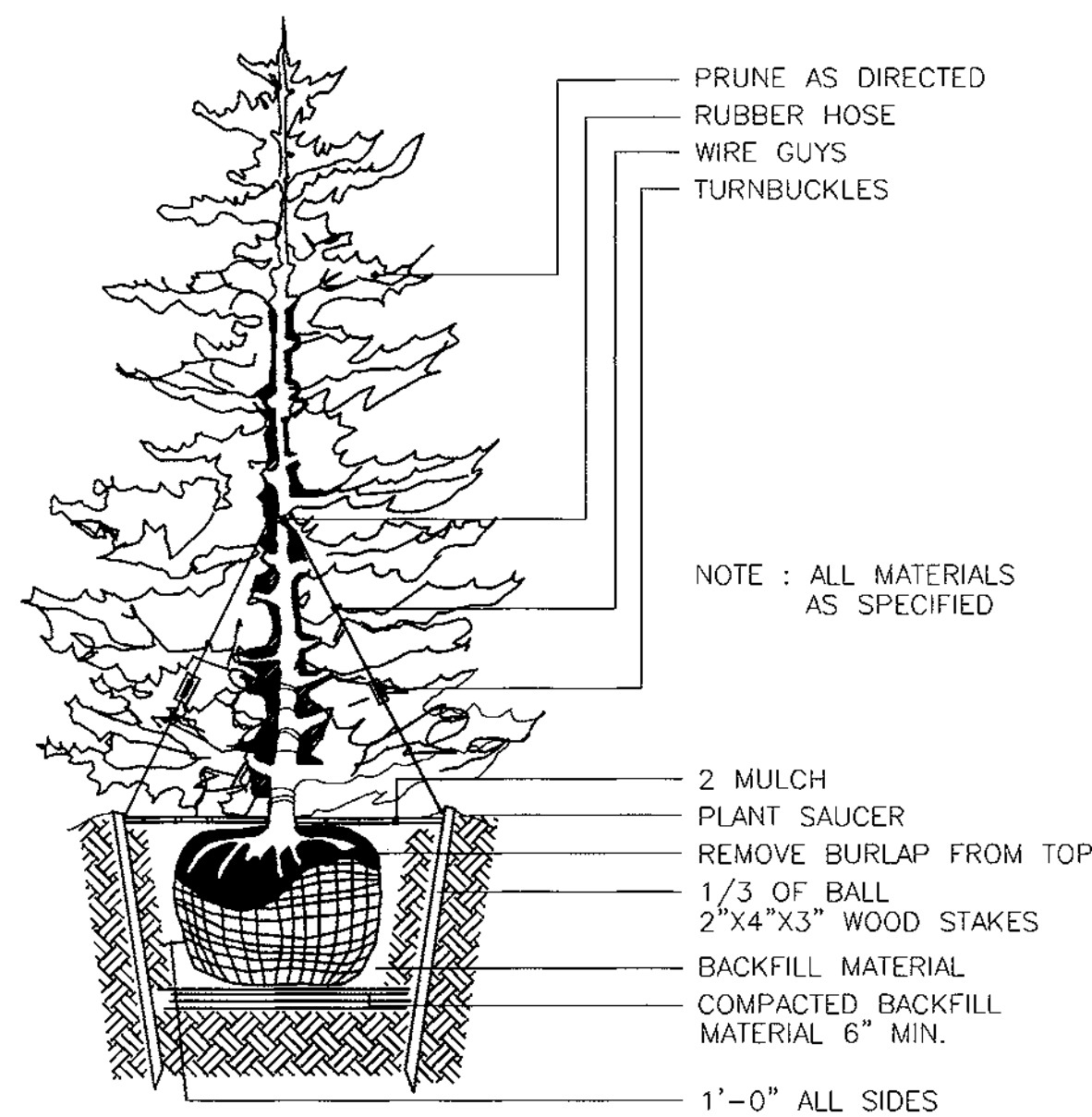
DESIGN BY: R.H.V.  
DRAWN BY: J.E.R./R.L.P.  
CHECKED BY: R.H.V.  
DATE: NOV. 16, 1999  
SCALE: 1" = 50'  
W.O. NO.: 98-113

11 SHEET OF 13

SDP-99-161

**PLANTING NOTES**

1. PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
2. ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUNSCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BOXERS AND ALL FORMS OF INFESTATION OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HELED-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
3. UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1986, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, INCLUDING ALL ADDENDA.
4. UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS", (HEREIN-AFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, SEPTEMBER, 1981, INCLUDING ALL ADDENDA.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANTING MATERIALS TO AVOID CONFLICTS WITH UTILITIES.

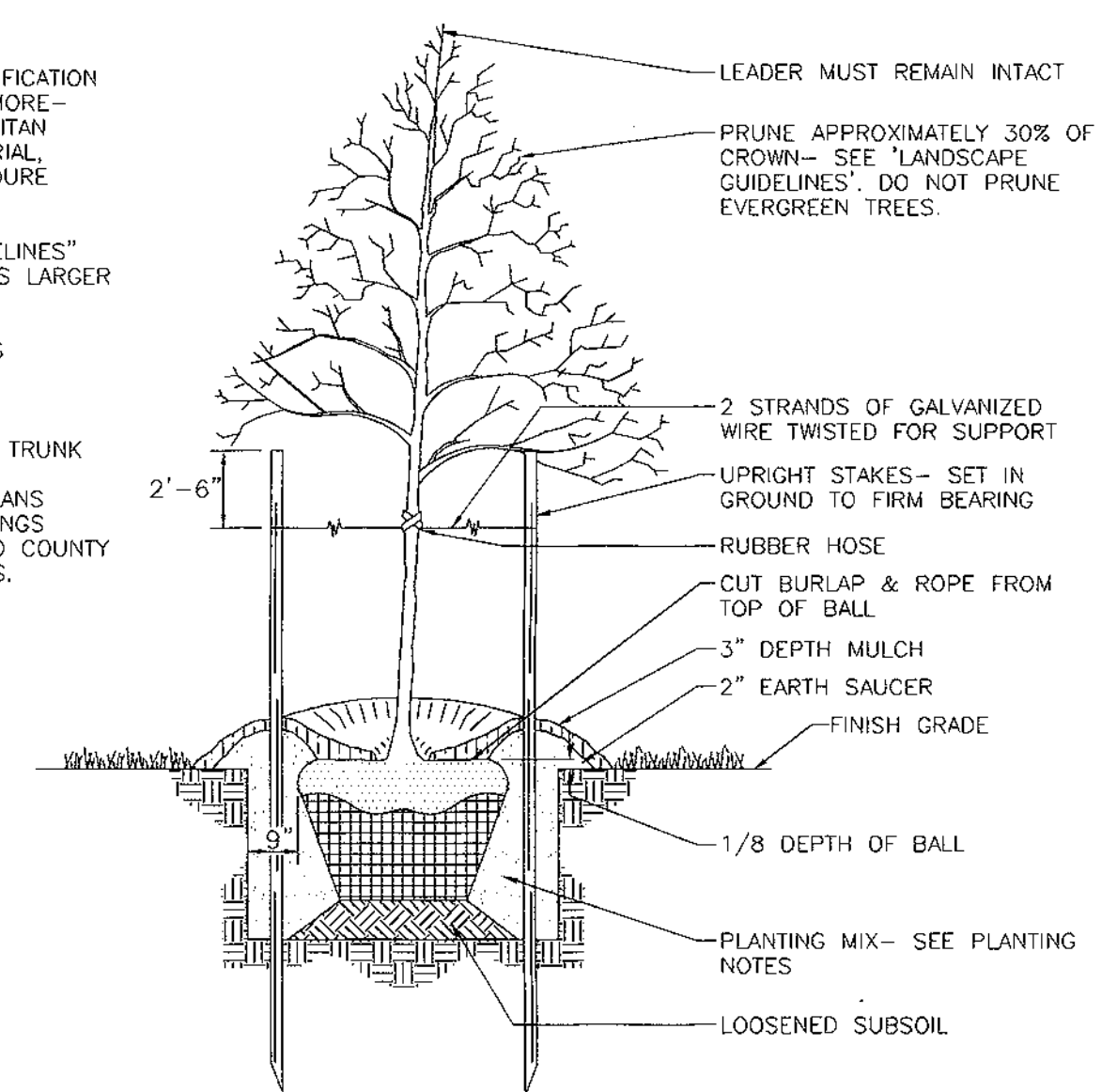


**TYPICAL EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE

**NOTES**

1. SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
2. SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
3. PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
4. KEEP MULCH 1" FROM TRUNK
5. SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
6. TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.



**TREE PLANTING AND STAKING**

DECIDUOUS TREES UP TO 2-1/2" CALIPER

NOT TO SCALE

6. PLANTING BED SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD BARK MULCH. GROUND COVER BEDS SHALL BE MULCHED TO A DEPTH OF 2".
7. ALL AREAS WITHIN THE CONTRACT LIMIT NOT COVERED BY BUILDING, PAVING, PLANTING BEDS OR OTHERWISE DESIGNATED ON THE PLANS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH "1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PERMANENT SEEDING SPECIFICATIONS (SEE SHEET 6), INCLUDING ALL ADDENDA, AS DIRECTED BY THE OWNER.

8. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE.

PLANTING MIX SHALL BE DONE AS FOLLOWS:

DECIDUOUS PLANTS - TWO PARTS TOP SOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD 10-10-10 FERTILIZER PER CUBIC YARD OF PLANTING MIX.  
EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX.

9. TOPSOIL SHALL CONFORM TO LANDSCAPE GUIDELINES.
10. THIS PLAN IS INTENDED FOR LANDSCAPE PLAN ONLY. SEE OTHER PLAN SHEETS FOR INFORMATION ON GRADING, SEDIMENT CONTROL, LAYOUT, ETC.
11. CONTRACTOR TO ADJUST PLANTINGS AS REQUIRED WITH PRIOR APPROVAL OF THE ENGINEER OR LANDSCAPE ARCHITECT.

SCHEDULE D : STORMWATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF PERIMETER	510LF ②
CREDIT FOR EXISTING VEGETATION (NO, YES AND LINEAR FEET)	YES, 180
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	YES, 180 (PERIMETER 1)
NUMBER OF TREES REQUIRED	
SHADE TREES 1:50	4
EVERGREEN TREES 1:40	5
NUMBER OF TREES PROVIDED	
SHADE TREES	4
EVERGREEN TREES	5
SHRUBS (10:1 SUBSTITUTION)	0

- \* 2 TOE OF SLOPE 20' FROM FUTURE RIGHT OF WAY LINE 15' TO REMAIN CLEAR OF VEGETATION (SCS REQUIREMENT)

A DESIGN MANUAL WAIVER WAS APPROVED 9/24/99 BY D.E.D. TO REDUCE THE 20' CLEAR AREA AROUND THE POND TO 15'.

**OWNER**  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321

**DEVELOPER**  
INVESTMENT PROPERTIES INC.  
807-I ROCKVILLE PIKE  
ROCKVILLE, MD 20852

**VOGEL & ASSOCIATES**  
ENGINEERS-SURVEYORS-PLANNERS  
3681 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
Tel 410.461.5828 Fax 410.465.3966

**SCHEDULE A PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO MD RTE 175	ADJACENT TO FUTURE DORSEY RUN ROAD	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES
PERIMETER# , LANDSCAPE TYPE	B	① B	③ A	④ A	⑤ A	⑥ A	⑦ A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	50	* 630	833	440	280	1543	82
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	YES, 260 *1	NO	NO	YES, 130*5	YES, 387 *1	YES, 82 *1
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED (BASED ON TOTAL PERIMETER)							
	TYPE B	TYPE A					
SHADE TREES (1:50)	1	8	14	8	3	19	0
EVERGREEN TREES (1:40)	1	10	0	0	0	0	0
SHRUBS (10:1)	0	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED							
SHADE TREES	1	6	14	8	3	19	0
EVERGREEN TREES	1	8	0	0	0	0	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	0	40 **	0	0	0	0	0

- \* 1 EXISTING VEGETATION INCLUDES WHITE OAK AND SCARLET OAK WITH RED MAPLE, BLACK GUM, WHITE OAK AND LOW BUSH BLUEBERRY UNDERGROWTH.
- \* 5 EXISTING VEGETATION INCLUDES SWEETGUM, RED MAPLE AND WILLOW OAK WITH BLACK CHERRY AND ARROW WOOD UNDERGROWTH
- \*\* SUBSTITUTE 40 SHRUBS FOR 2 EVERGREEN + 2 SHADE TREES

**SCHEDULE B PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	85
NUMBER OF ISLAND REQUIRED (AREA)	5 (1000 SF)
NUMBER OF ISLAND PROVIDED (AREA)	6 (2800 SF)
NUMBER OF TREES REQUIRED: 1/20 SP.	5
NUMBER OF TREES PROVIDED: 1/20 SP.	5
NUMBER OF SHRUBS PROVIDED	0

**LANDSCAPE SCHEDULE**

KEY	QTY	PLANT NAME/BOTANICAL NAME	SIZE	REMARKS
Ar	23	ACER RUBRUM RED MAPLE	2 1/2"-3" CAL	B & B
Pa	9	PICEA ABIES NORWAY SPRUCE	6' - 8' HT	B & B
Qp	30	QUERCUS PHELLOS WILLOW OAK	2 1/2"-3" CAL	B & B
Zs	5	ZELKOVA SERRATA "VILLAGE GREEN" VILLAGE GREEN JAPANESE ZELKOVA	2 1/2"-3" CAL	B & B
T	40	TAXUS CUSPIDATA "NANA"/ DWARF JAPANESE YEW	18" - 24" HT	CONT
CL	13	CUPRESSOCYPARIS LEYLANDI / LEYLAND CYPRESS	5' - 6' HT	B&B

NOTE:  
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT (PUBLIC WATER) IN THE AMOUNT OF \$22,500 FOR 22 EVERGREEN, 60 SHADE TREES, AND 40 SHRUBS (includes 8 Leyland Cypress for the dumpster enclosure).

**DEVELOPER'S BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* 3/7/00  
SIGNATURE OF DEVELOPER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 4/13/00  
DIRECTOR DATE

*[Signature]* 3/21/00  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

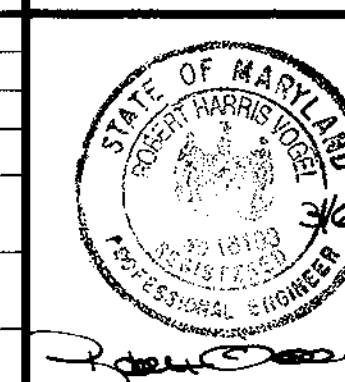
*[Signature]* 3/23/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DATE	NO.	REVISION	BY
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
717	7751 WATERLOO ROAD		
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
JESSUP PARK	N/A	"A"	
PLAT NO.	BLOCK NO.	TAX/ZONE	ELECT. DIST.
1422-23	21422	M-2	43
CENSUS TR.		CENSUS TR.	
6012		6012	
WATER CODE	SEWER CODE		
801	3020000		

**LANDSCAPE NOTES AND DETAILS**

FOR  
**JESSUP PARK PARCEL 'A'**  
SITE DEVELOPMENT PLAN

TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND REF. F-99-199



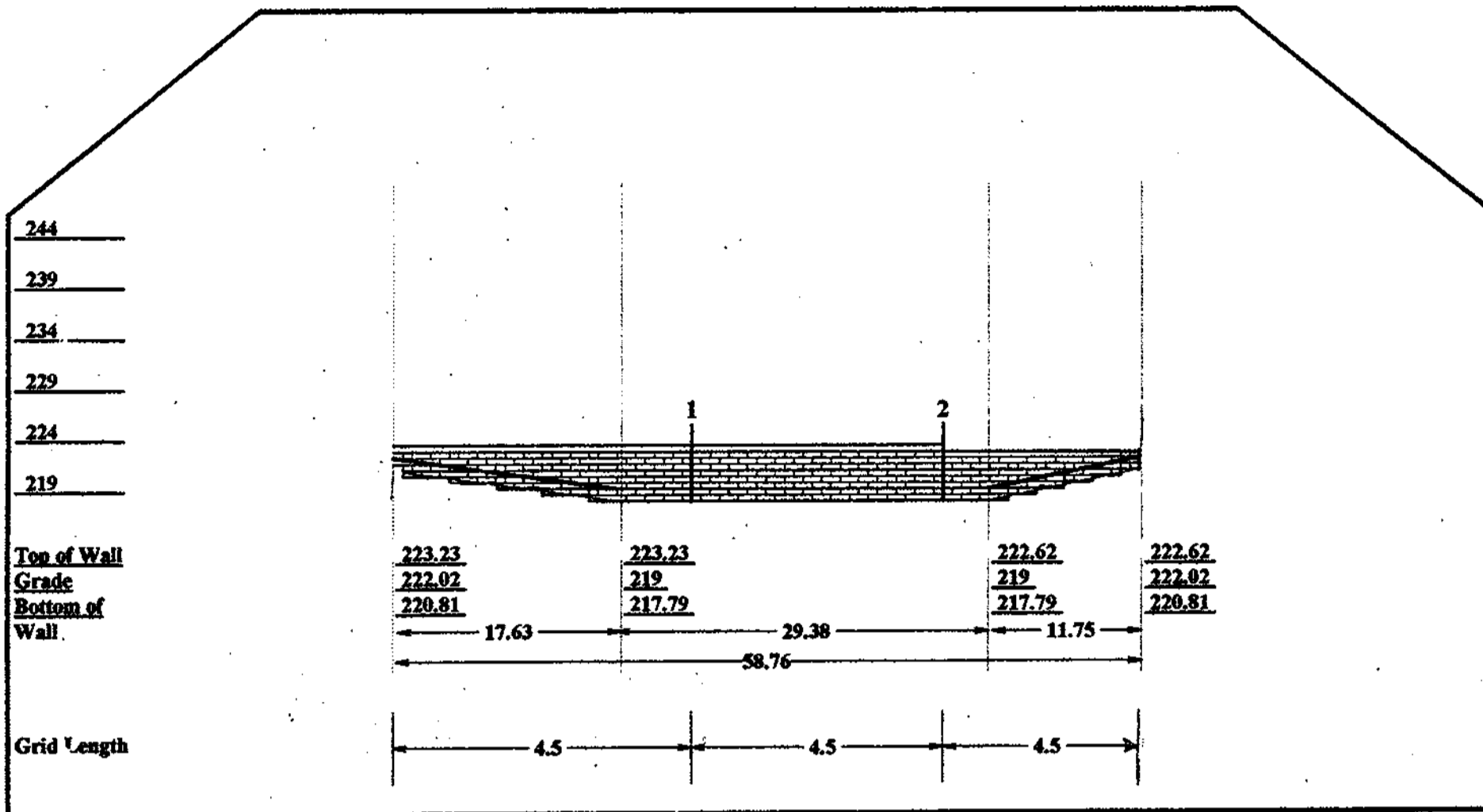
DESIGN BY: R.H.V.  
DRAWN BY: J.E.R./R.L.P.  
CHECKED BY: R.H.V.  
DATE: NOV. 17, 1999  
SCALE: AS SHOWN  
W.D. NO.: 98-113

12 SHEET OF 13



Project Name: JESSUP PARK  
 Location: Howard County, MD  
 Designer: DKS (9-2-99)  
 Number:

ELEVATION VIEW



# ALLAN BLOCK RETAINING WALL

as manufactured by Nitterhouse Masonry Products, LLC (717)-267-4500

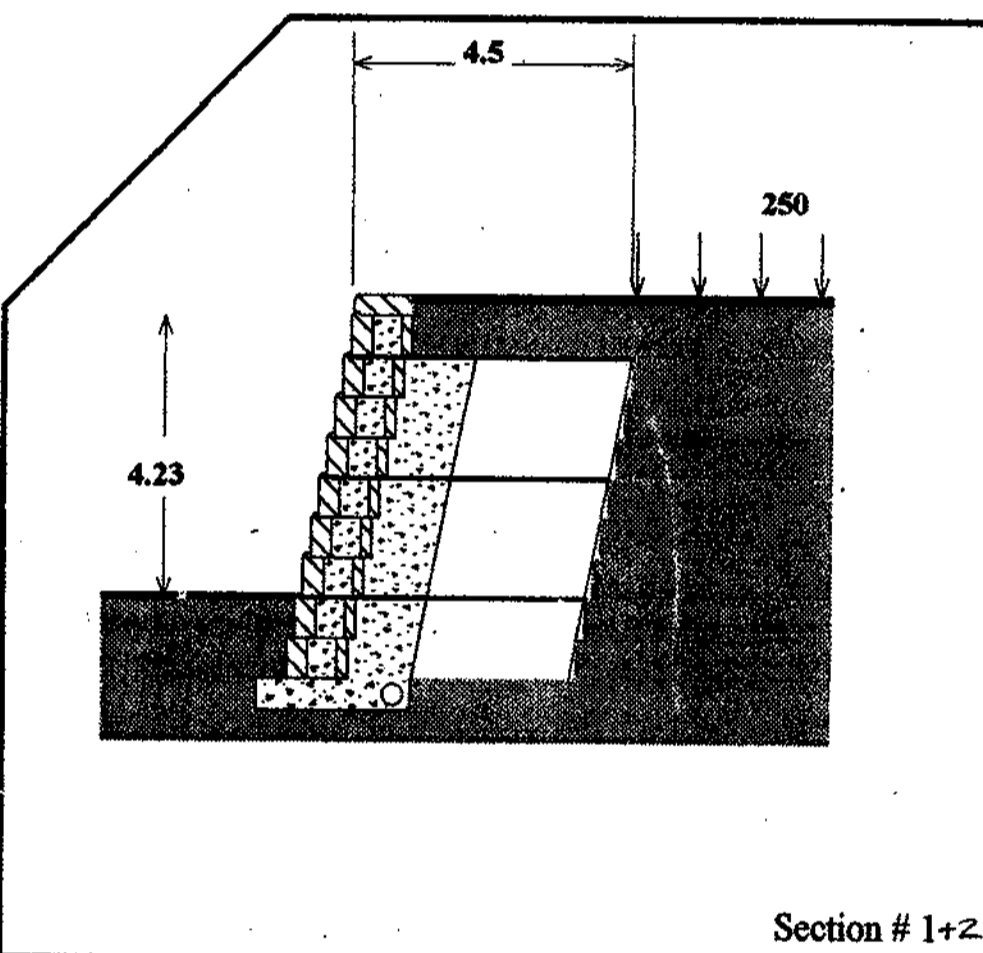
## Specification Guidelines: Allan Block Modular Retaining Wall Systems

**SECTION 1**  
**PART 1: GENERAL**  
 1.1 Scope  
 Work includes furnishing and installing modular concrete block retaining wall units to the lines and grades designated on the construction drawings and as specified herein.  
 1.2 Applicable Sections of Related Work  
 Geogrid Wall Reinforcement (see section 2)  
 1.3 Reference Standards  
 ASTM C1372/97 Standard Specifications for Segmental Retaining Wall Units.  
 1.4 Delivery, Storage, and Handling  
 A. Contractor shall check the materials upon delivery to ensure proper material has been received.  
 B. Contractor shall prevent excessive mud, wet cement, and like materials from coming in contact with the materials.  
 C. Contractor shall protect the materials from damage. Damaged material shall not be incorporated in the project.  
**PART 2: MATERIALS**  
 2.1 Modular Wall Units  
 A. Wall units shall be ALLAN BLOCK Retaining Wall units as produced by a licensed Manufacturer.  
 B. Wall units shall have minimum 28 day compressive strength of 3000 psi (20.7MPa) in accordance with ASTM C1372/97. The concrete units shall have adequate freeze-thaw protection with an average absorption rate of 7.5 lb/ft<sup>3</sup> (120 kg/m<sup>3</sup>) for northern climates and 10 lb/ft<sup>3</sup> (160 kg/m<sup>3</sup>) for southern climates.  
 C. Exterior dimensions shall be uniform and consistent. Maximum dimensional deviations shall be .125 inch (3mm) not including textured face.  
 D. Wall units shall provide a minimum of 110 pounds total weight per sq. foot of wall face area (1,761kg/m<sup>2</sup>). Fill contained within the units may be considered 80% effective weight.  
 E. Exterior face shall be textured. Color as specified by owner.  
 2.2 Wall Rock  
 A. Base material shall be well graded compactable aggregate, 0.25 inch to 1.5 inch, (6.4mm - 38mm) with no more than 10% passing the #20 sieve.  
 B. Drainage material shall be the same as base material.  
 C. Backfill material shall be site excavated soils when approved by the engineer unless otherwise specified in the drawings. Unsuitable soils for backfill (heavy clays or organic soils) shall not be used in the reinforced soil mass.  
 D. Where additional fill is required, contractor shall submit sample and specifications to the Engineer for approval.  
**PART 3: WALL CONSTRUCTION**  
 3.1 Excavation  
 A. Contractor shall excavate to the lines and grades shown on the construction drawings. Contractor shall use caution not to over-excavate beyond the lines shown, or to disturb the base elevations beyond those shown.  
 3.2 Foundation Soil Preparation  
 A. Foundation soil shall be excavated as dimensioned on the plans and compacted to a min. 90% compaction prior to placement of the base material.  
 B. Foundation soil shall be examined by the Engineer to insure that the actual foundation soil strength meets or exceeds assumed design strength. Soil not meeting the required strength shall be removed and replaced with acceptable material.  
 3.3 Base  
 A. Base material shall be placed as shown on construction drawing. Top of base shall be located to allow bottom wall units to be buried to proper depths as per wall heights and specifications.  
 B. Base material shall be installed on undisturbed native soils or suitable replacement fills compacted at 90% standard proctor.  
 C. Base shall be compacted at 90% standard proctor to provide a level hard surface on which to place the first course of blocks. The base shall be constructed to insure proper wall embedment and the final elevation shown on the plans. Well-graded sand can be used to smooth the top 1/2 inch (12.5mm) on the leveling pad.  
 D. Base material shall be a 3 inch (76mm) minimum depth for walls under 4 feet and a 6 inch (150mm) minimum depth for walls over 4 feet (1.2m).  
 3.4 Unit Installation  
 A. The first course of wall units shall be placed on the prepared base with the raised lip facing out and the front edges tight together. The units shall be checked for level and alignment as they are placed.  
 B. Insure that units are in full contact with base. Proper care shall be taken to develop straight lines and smooth curves on base course as per wall layout.  
 C. All cavities in and around the base row shall be filled with base materials and compacted. Backfill front and back of entire base row to firmly lock in place. Check again for level and alignment. All excess material shall be swept from top of units.  
 D. Install next course of wall units on top of base row. Position blocks to be offset from seams of blocks below. Perfect "running bond" is not essential, but a 3-inch (76mm) minimum offset is recommended. Check each block for proper alignment and level. Fill all cavities in and around wall units and to a 12 inch (305mm) depth behind block with drainage material. Spread backfill in uniform lifts not exceeding 8 inches (200mm). Employ methods using lightweight compaction equipment that will not disrupt the stability or batter of the wall. Hand-operated plate compaction equipment shall be used on the block and within 3 feet (7m) of wall to achieve consolidation. Compact to 90% S.P. in backfill beyond consolidation zone.  
 E. Install each subsequent course in the manner. Repeat procedure to the extent of wall height.  
 F. Allowable construction tolerance at the wall face is 2 degrees vertically and 1 inch (25mm) in 10 feet (3m) horizontally.

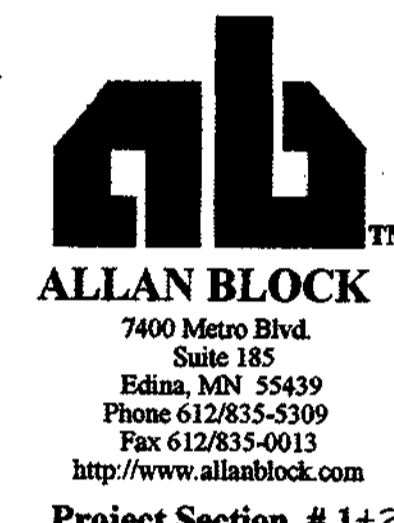
## Specifications

### Specification Guidelines: Geogrid Reinforcement Systems

**SECTION 2**  
**PART 1: GENERAL**  
 1.1 Scope  
 Work includes furnishing and installing geogrid reinforcement, wall fill, and backfill to the lines and grades designated on the construction drawings and as specified herein.  
 1.2 Applicable Sections of Related Work  
 Section 1: ALLAN BLOCK Modular Retaining Wall Systems.  
 1.3 Reference Standards  
 See specific geogrid manufacturer reference standards.  
 1.4 Delivery, Storage, and Handling  
 A. Contractor shall check the geogrid upon delivery to insure that the proper material has been received.  
 B. Geogrid shall be stored above 20° F (29° C).  
 C. Contractor shall prevent excessive mud, wet cement, or other foreign materials from coming in contact with the geogrid material.  
 1.5 Fill Placement and Backfill Placement  
 A. Backfill material shall be placed in lifts and compacted as specified under Section 1, Part 3.4, Unit Installation.  
 B. Backfill shall be placed, spread and compacted in such a manner that minimizes the development of wrinkles in and/or movement of the geogrid.  
 C. Only hand-operated compaction equipment shall be allowed within 3 feet (1m) of the wall face.  
 D. Tracked construction equipment shall not be operated directly on the geogrid. A minimum backfill thickness of 6 inches (150mm) is required prior to operation of tracked vehicles over the geogrid. Turning of tracked vehicles should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.  
 E. Rubber-tired equipment may pass over the geogrid reinforcement at slow speeds, less than 10 MPH (16 Km/Hr). Sudden braking and sharp turning should be avoided.  
 F. The backfill shall be compacted to achieve 90% standard proctor. Soil tests of the backfill material shall be submitted to the Engineer for review and approval prior to its placement of any backfill. The contractor is fully responsible for achieving the specified compaction requirements. The Engineer may direct the contractor to remove, correct or amend any soil found not in compliance with these specifications.  
**2.1 Definitions**  
 A. Geogrid products shall be of high density polyethylene or polyester yarns encapsulated in a protective coating specifically fabricated for use as a soil reinforcement material.  
 B. Concrete retaining wall units are as detailed on the drawings and shall be ALLAN BLOCK Retaining Wall Units.  
 C. Drainage material is free draining granular material as defined in section: Modular Concrete Retaining Wall Systems as "Drainage Material."  
 D. Backfill is the soil used to fill for the reinforced soil mass.  
 E. Foundation soil is the in-situ soil.  
**2.2 Products**  
 A. Geogrid shall be the type as shown on the drawings having the property requirements as described within the manufacturer's specifications.  
**2.3 Acceptable Manufacturers**  
 A. A manufacturer's product shall be approved by the engineer.  
**PART 3: WALL CONSTRUCTION**  
 3.1 Foundation Soil Preparation  
 A. Foundation soil shall be excavated to the lines and grades as shown on the construction drawings, or as directed by the Engineer.  
 B. Foundation soil shall be examined by the Engineer to insure that the actual foundation soil strength meets or exceeds assumed design strength.  
 C. Over-excavated areas shall be filled with approved compacted backfill material.  
 D. Foundation soil shall be proof rolled prior to fill and geogrid placement.  
 3.2 Wall Construction  
 A. Wall construction shall be as specified under Section 1, Part 3, Wall Construction.  
 3.3 Geogrid Installation  
 A. Install ALLAN BLOCK wall to designated height of first geogrid layer, backfill and compact behind wall to depth equal to designed grid length.  
**SPECIAL CONSIDERATIONS**  
 A. Geogrid can be interrupted by periodic penetration of a column, pier or footing at active.  
 B. ALLAN BLOCK walls will accept vertical and horizontal reinforcing with rebar and grout.  
 C. If site conditions will not allow geogrid embedment length, consider the following alternatives:  
 • Masonry Reinforced Walls • Soil Nailing  
 • Earth Anchors • Rock Bolts • Increased Wall Batter  
 D. ALLAN BLOCK can be used in a wide variety of water applications.  
 Consult the Allan Block Technical Service Department for details. Specifications subject to change without notice.  
**TECHNICAL SUPPORT**  
 For engineering and technical assistance on projects that fall beyond the scope of these guidelines, contact the ALLAN BLOCK CORPORATION at 1-800/899-5309.



Project Name: JESSUP PARK  
 Location: Howard County, MD  
 Designer: DKS (9-2-99)  
 Number:

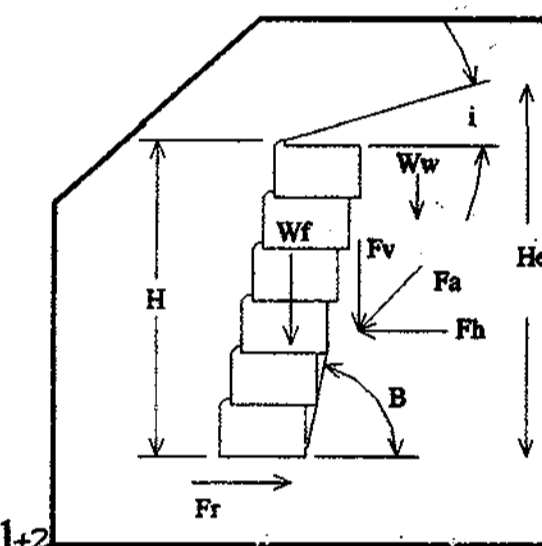


Project Section # 1+2

<b>AB Custom</b>	Wall Height = 5.436 (ft.)	Facia Height = 0.604 (ft.)	Facia Depth = 0.97 (ft.)	Soil Bearing Capacity = 2500 (PSF)
<b>Retained Soil</b>	Friction Angle = 27 (deg.)	Unit Weight = 120 (PCF)		
<b>Infill Soil</b>	Friction Angle = 27 (deg.)	Unit Weight = 120 (PCF)		
<b>Surcharge Details</b>	Surcharge = 250 (PSF)	Design Angle Above Wall = 0 (deg.)		
<b>Factors of Safety</b>	Sliding = 1.93	Overturning = 4.58	Design Bearing Capacity = 846 (PSF)	
<b>Geogrid Info.</b>	GeoGrid Type = M-RATI ST	Number of Grid Layers = 3	Length of Grid Layers = 4.5 (ft.)	

Project Name: JESSUP PARK  
 Project Location: Howard County, MD  
 Designer: DKS (9-2-99)  
 Number:

Ka = Active Pressure coefficient = 0.2933  
 H = Wall Height = 5.436 (ft.)  
 He = Effective Height = 5.436 (ft.)  
 i = Design Inclination Angle = 0 (deg.)  
 B = Beta Angle = 84 (deg.)  
 Ww = Weight of Facing = 690.75 (lb/ft.)  
 Wt = Total Weight = 3078.24 (lb/ft.)  
 Fv = Vertical Force = 160.54 (lb/ft.)  
 Fh = Horizontal Force = 494.63 (lb/ft.)  
 Fr = Resistance Force = 1636.24 (lb/ft.)



### Internal Design Calculation Section # 1+2

Grid Num	Grid Elevation (ft)	Allowable Load (lb/ft)	F. Safety Over-Stress	Tensile Force (lb/ft)	F. Safety Pullout	Geogrid Length (ft)	Geogrid Efficiency (Percent)
1	219	700	3.39	309.91	3.92	4.5	44
2	220.812	700	7.16	146.56	7.66	4.5	21
3	222.624	700	27.51	38.17	27	4.5	5
4							
5							
6							
7							
8							
9							
10							
11							
12							
13							
14							
15							
16							
17							
18							
19							

### Base Reinforcement

Grid Elevation (ft)	Allowable Load (lb/ft)	Thickness (Base) (ft)	From Front of Wall (Base) (ft)	Overall Fit Depth (Base) (ft)	Grid Length (Base) (ft)

19

DEVELOPER  
 INVESTMENT PROPERTIES INC.  
 807-I ROCKVILLE PIKE  
 ROCKVILLE, MD 20852

DATE NO. REVISION BY

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DIRECTOR DATE

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

RETAINING WALL DETAILS FOR JESSUP PARK SITE DEVELOPMENT PLAN

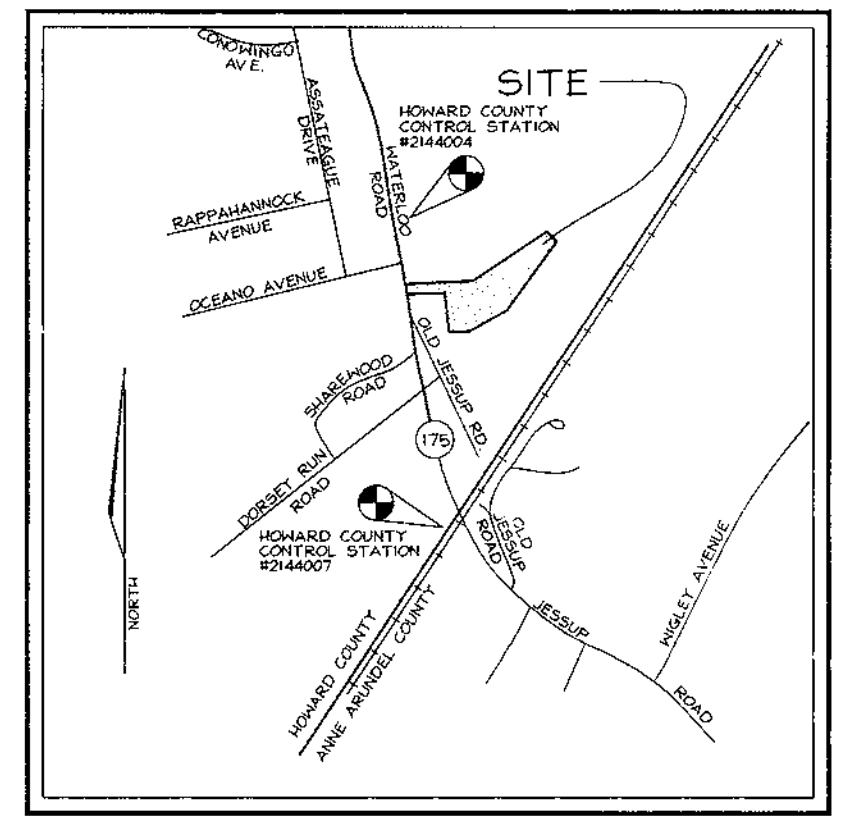
TAX MAP #43 PARCELS 109, 474, 475, 471 & 674  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: SEPTEMBER 1999  
 SCALE: AS SHOWN  
 W.O. NO.: 98-113

STATE OF MARYLAND PROFESSIONAL ENGINEER

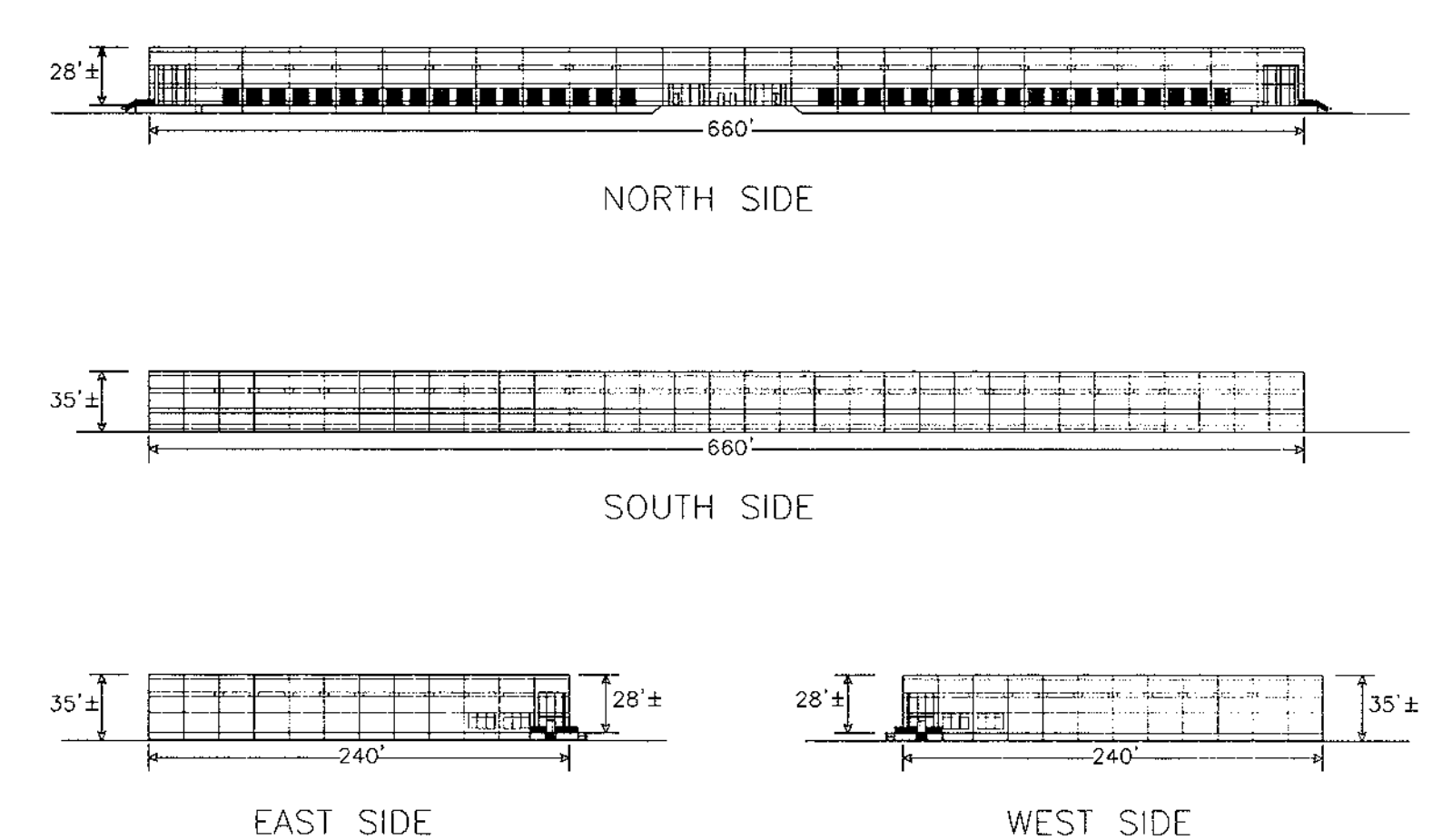
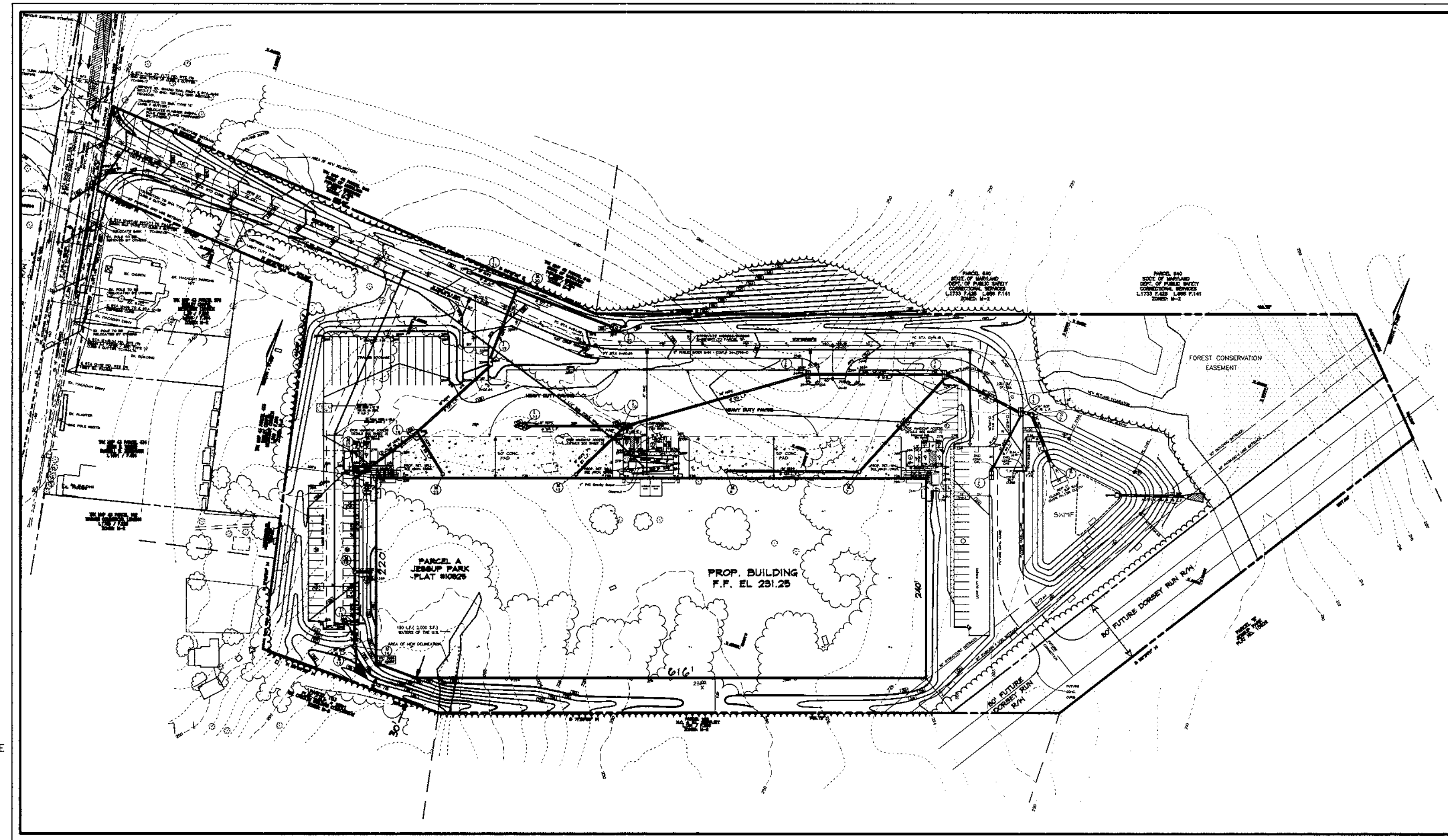
Sheet 13 of 13

# JESSUP PARK PARCEL 'A' SITE DEVELOPMENT PLANS HOWARD COUNTY, MARYLAND



### GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY MISS UTLI AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:  
 MISS UTILITY  
 C & P TELEPHONE COMPANY  
 HOWARD COUNTY BUREAU OF UTILITIES  
 AT&T CABLE LOCATION DIVISION  
 B.G.&E. CO. CONTRACTOR SERVICES  
 B.G.&E. CO. UNDERGROUND UTILITY CONTROL  
 STATE HIGHWAY ADMINISTRATION
4. SITE ANALYSIS:  
 AREA OF PARCEL = 14.2489 AC  
 PRESENT ZONING M-2  
 USE OF STRUCTURE WAREHOUSE 157,960 SQ.FT.  
 BUILDING COVERAGE ON SITE: 3.53 AC OR 25.4% OF GROSS AREA  
 PAVED PARKING LOT/AREA ON SITE: 3.78 AC OR 26.5% OF GROSS AREA  
 AREA OF LANDSCAPE ISLAND: 0.44 AC = 6,415 SQ.FT.  
 1-800-257-7777  
 725-9976  
 313-2366  
 393-3553  
 787-4620  
 531-5533
5. PROJECT BACKGROUND:  
 LOCATION: JESSUP, MARYLAND TAX MAP: 43 JESSUP PARK PARCEL 'A'  
 ZONING: M-2  
 SECTION/AREA: N/A  
 SITE AREA: 14.2489 AC  
 DPZ REFERENCES: S-89-26 190-08 F-92-104, F-99-199 WP 91-23, WP 00-12
6. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 343-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
7. ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
8. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS PERFORMED BY OTHERS AND AVAILABLE RECORD DRAWINGS APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
9. ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
10. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
11. ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
12. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TESTS.
13. ALL STORM DRAIN PIPE JOINTING SHALL BE CLASS 'C' AS SHOWN IN VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL.
14. STORMWATER MANAGEMENT PROVIDED BY DETENTION POND AND STORMCEPTORS.
15. COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS #2144004 AND #2144007.
16. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
17. EXISTING TOPOGRAPHY IS FROM A TOPOGRAPHIC SURVEY PERFORMED BY MACRIS, HENDRICKS & GLASCOCK, P.A.
18. THE PROPOSED WATER MAIN FOR THIS PROJECT IS PUBLIC AND WILL BE CONNECTED TO EXISTING 12" WATER MAIN # 752-2.
19. THE PROPOSED SEWER MAIN FOR THIS PROJECT IS PUBLIC AND WILL BE CONNECTED TO EXISTING 8" SEWER MAIN # 612-5.
20. ALL PAVING TO BE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER (SEE DETAILS ON SHEET 4).
21. ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE OR BITUMINOUS (SEE DET. ON SHEET 4).
22. PROPOSED PAVING SECTIONS TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
23. PROJECT GEOTECHNICAL ENGINEER TO APPROVE PAVING SUBBASE PRIOR TO INSTALLATION OF PAVING SECTION.
24. SITE LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
25. CONTRACTOR TO PROVIDE TRACER WIRE OVER PROPOSED 1 1/4" PRESSURE SEWER WITH TERMINAL AT THE RIGHT-OF-WAY LINE AND AT THE GRINDER PUMP.
26. CONTRACTOR RESPONSIBLE TO CONSIDER ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
27. WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
28. ALL 2:1 SLOPES TO BE STABILIZED WITH SOD OR EROSION CONTROL MATTING. SLOPES 3:1 OR FLATTER TO BE STABILIZED WITH SEED AND MULCH.
29. THE ONSITE GRINDER PUMP AND LOW PRESSURE FORCE MAIN IS PRIVATE.
30. PROPOSED WATER METER TO BE INSIDE SETTING.
31. REFERENCE WAIVER PETITION WP-91-23 APPROVED ON MAY 6, 1991 TO ALLOW:  
 a. TEMPORARY ACCESS TO MD ROUTE 175  
 b. RAILROAD SPUR ( EXPIRED )  
 c. CLEARING AND GRADING IN WETLANDS AND BUFFER FOR PARCEL 'B' ( EXPIRED )
32. REFERENCE WAIVER PETITION WP-00-12 APPROVED 9/28/99 TO ALLOW GRADING WITHIN THE WETLAND AND WETLAND BUFFER FOR PARCEL 'A' SUBJECT TO:  
 a. PIPING OF THE NATURAL FLOOD IN THE DISTURBED AREAS TO THE REMAINING WETLANDS  
 b. SHOWING AN INTERMITTENT STREAM AND BUFFER AT THE SOUTHERN PROPERTY LINE.
33. REFERENCE MDC NON-TIDAL WETLAND PERMIT APPLICATION # 99-NI-0055/199961960
34. THE OBLIGATIONS FOR 2.54 ACRES OF FOREST CONSERVATION IS PROVIDED BY PARTICIPATION IN AN APPROVED FOREST CONSERVATION BANK REFERENCE PLAN OF FOREST CONSERVATION EASEMENT ON THE WINKLER PROPERTY FIRST EXCHANGE ( 2.90 ACRES )
35. REFERENCE ADEQUATE PUBLIC FACILITIES ANALYSIS + CHAPTER 5 STUDY PREPARED BY ROBERT L. MORRIS, P.E. DATED MAY 1999
36. A MARYLAND STATE HIGHWAY ADMINISTRATION ACCESS PERMIT IS REQUIRED FOR THE ACCESS TO MD ROUTE 175 ( INCLUDES MD ROUTE 175 ROAD PLANS AND FLASHER SIGNAL DESIGN )
37. REFERENCE DESIGN MANUAL WAIVER APPROVED 9/24/99 TO ALLOW REDUCTION OF THE REQUIRED 20' NO TREE AREA WITHIN 20' OF THE TOP OF CUT OR TOE OF FILL OF A POND EMBANKMENT
38. REFERENCE GRADING EASEMENT FROM THE STATE OF MARYLAND FOR OFFSITE GRADING L. 4938 F. 0066.

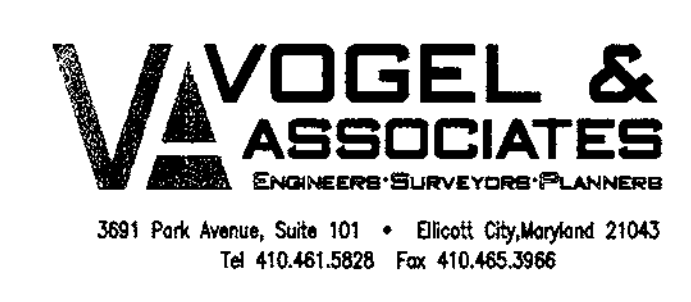


### SHEET INDEX

SHT. NO.	CONTENTS
1	COVER SHEET
2	SITE LAYOUT PLAN
3	SITE LAYOUT AND SECTIONS
4	SITE LAYOUT PLAN & MISCELLANEOUS SITE DETAILS
5	GRADING & SEDIMENT CONTROL PLAN
6	GRADING & SEDIMENT CONTROL PLAN AND NOTES
7	GRADING & SEDIMENT CONTROL PLAN AND DETAILS
8	DRAINAGE AREA AND SOILS MAP
9	STORM DRAIN PROFILES
10	STORMWATER MANAGEMENT POND NOTES AND DETAILS
11	LANDSCAPE PLAN
12	LANDSCAPE NOTES AND DETAILS
13	RETAINING WALL DETAIL

### PARKING TABULATION

	REQUIRED	PROPOSED
WAREHOUSE: 157,960 SQ.FT.	79 SPACES	85 SPACES
0.5 SPACES/1,000 SQ.FT.		
HANDICAP SPACES =	4 SPACES	6 SPACES



**OWNER**  
 WILLIAM T. WELLER, TRUSTEE  
 14900 SOUTHLAWN LANE  
 ROCKVILLE, MD 20850-1321

**DEVELOPER**  
 INVESTMENT PROPERTIES INC.  
 807-I ROCKVILLE PIKE  
 ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*James R. Tate* 4/3/00  
 DIRECTOR DATE

*Cindy Hamilton* 3/29/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*William D. Dammann* 3/23/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

1/16/01	1	REVISE SOUTHWEST BUILDING CORNER		
DATE	NO.	REVISION	BY	
ADDRESS CHART				
PARCEL NO.	STREET ADDRESS			
717	7751 WATERLOO ROAD			
PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER		
JESSUP PARK	N/A	A		
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.
14-122-2-B	216-22	M-2	43	1ST
		CENSUS TR.		
		6012		
WATER CODE	801		SEWER CODE	3020000

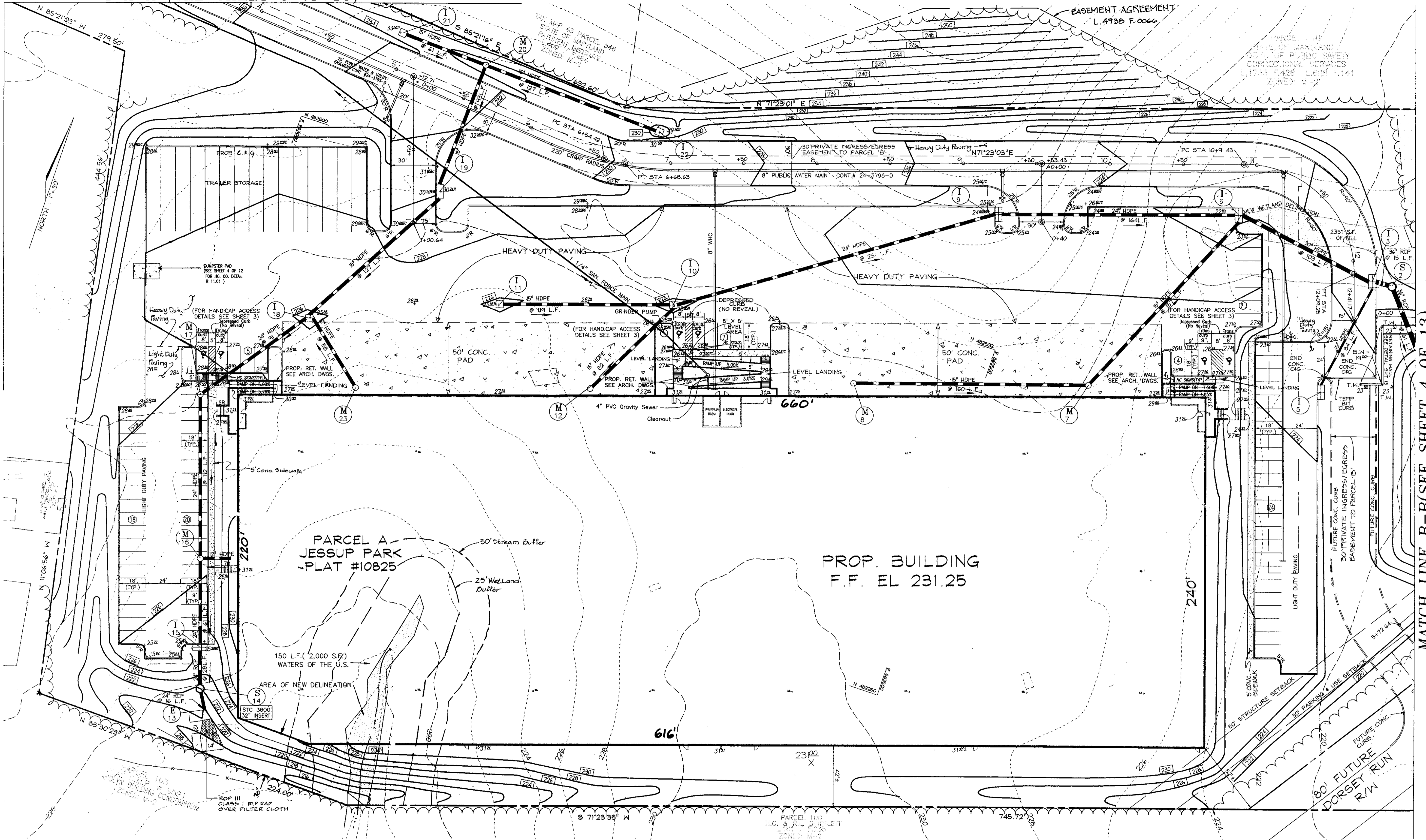
**COVER SHEET**  
 FOR  
**JESSUP PARK PARCEL 'A'**  
**SITE DEVELOPMENT PLAN**

TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104 AND F-99-199  
 1ST ELECTION DISTRICT: HOWARD COUNTY, MARYLAND

DESIGN BY: R.H.V.  
 DRAWN BY: R.L.P.  
 CHECKED BY: R.H.V.  
 DATE: MARCH, 2000  
 SCALE: AS SHOWN  
 W.O. NO.: 98-113

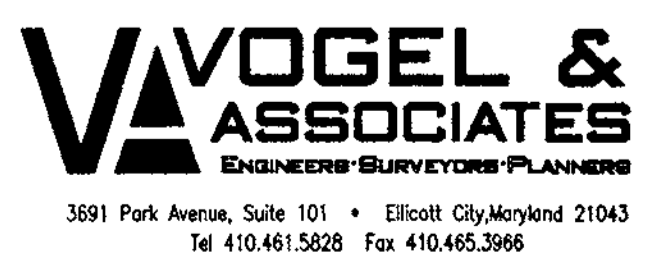
1 SHEET OF 13

MATCH LINE A-A (SEE SHEET 3 OF 13)



**LEGEND**

EXISTING GROUND	232
PROPOSED GRADE	233
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
EASEMENT	
PROP. HEAVY DUTY PAVEMENT	
PROP. 4" CONC. SIDEWALK	
PROP. LIGHT DUTY PAVEMENT	



**OWNER**  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321

**DEVELOPER**  
INVESTMENT PROPERTIES INC.  
807-1 ROCKVILLE PIKE  
ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*James S. Ratts* 4/13/00  
DIRECTOR DATE

*Chris Kanawha* 7/21/00  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Chris Deumer* 8/23/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

1/16/01	1	REVISE SOUTHWEST BUILDING CORNER	
DATE	NO.	REVISION	BY
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
717	WATERLOO ROAD		
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
JESSUP PARK	N/A	A	
PLAT NO.	BLOCK NO.	ZONE	ELECT. DIST.
1422-23	2122	M-2	24
WATER CODE	SEWER CODE	CENSUS TR.	
		6012	

**SITE LAYOUT PLAN**  
FOR  
**JESSUP PARK**  
**SITE DEVELOPMENT PLAN**

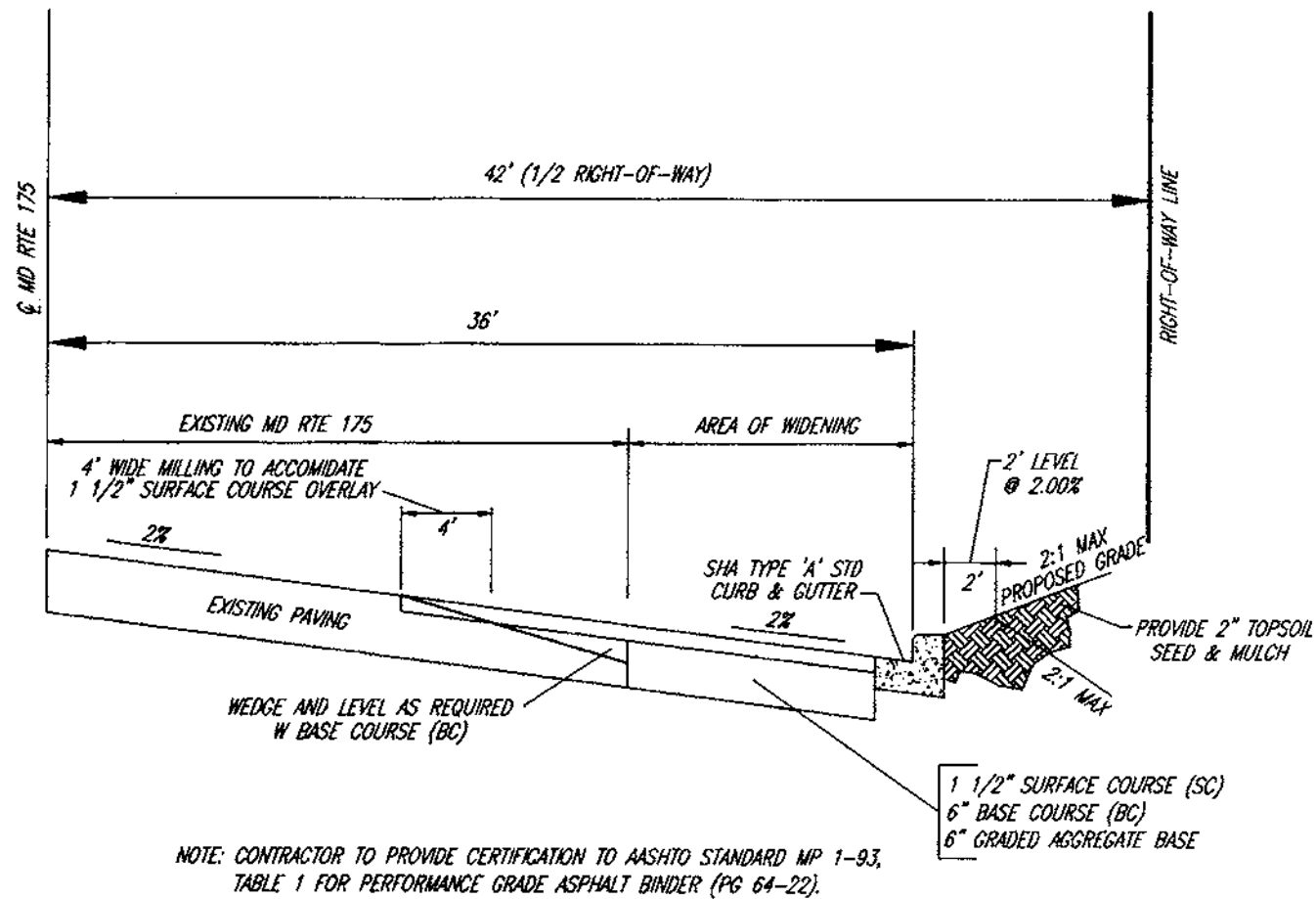
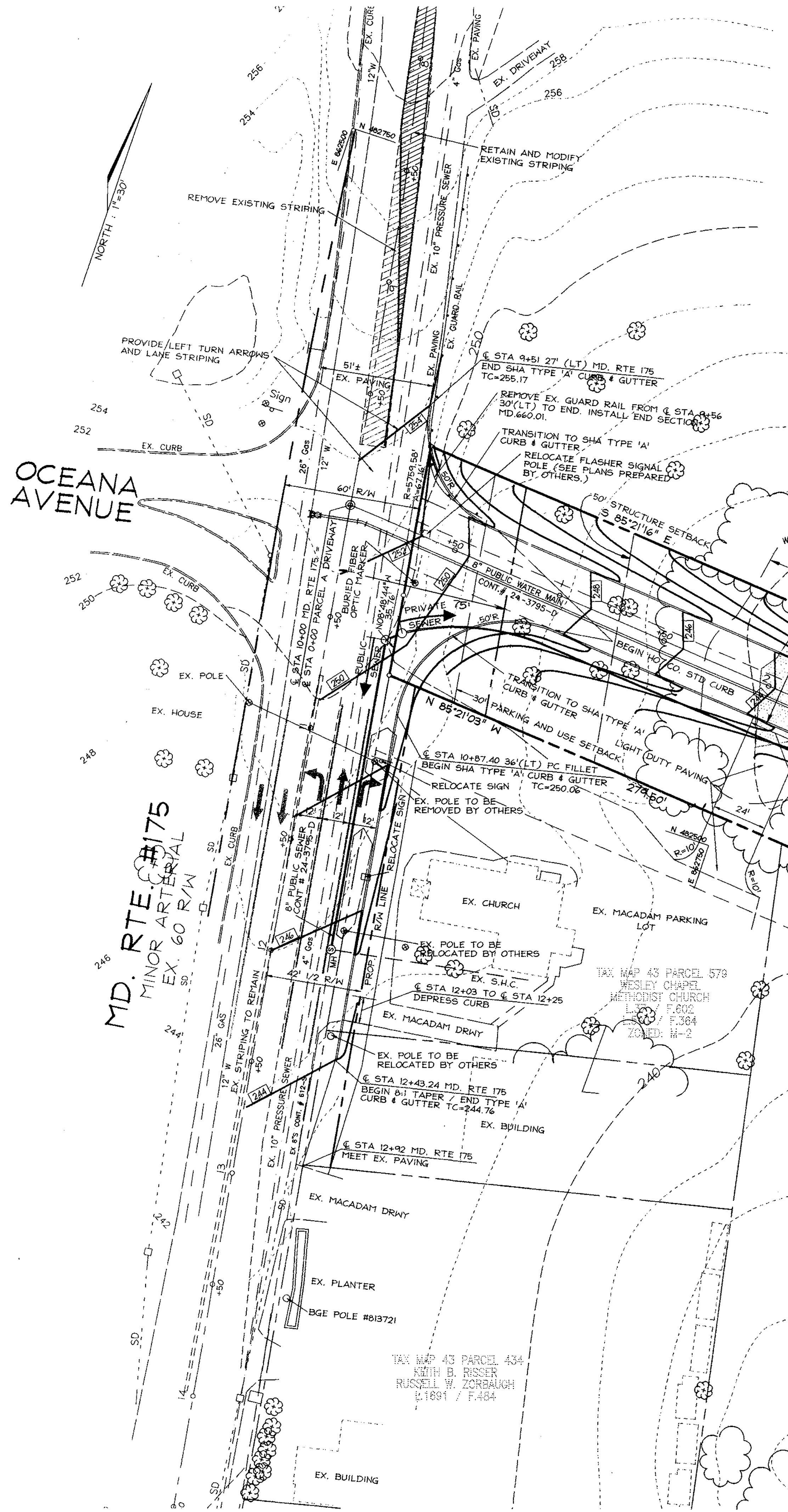
TAX MAP #43  
1ST ELECTION DISTRICT

REF: F-99-199  
REF: F-92-104  
PARCELS 109,474,475,471,674  
HOWARD COUNTY, MARYLAND

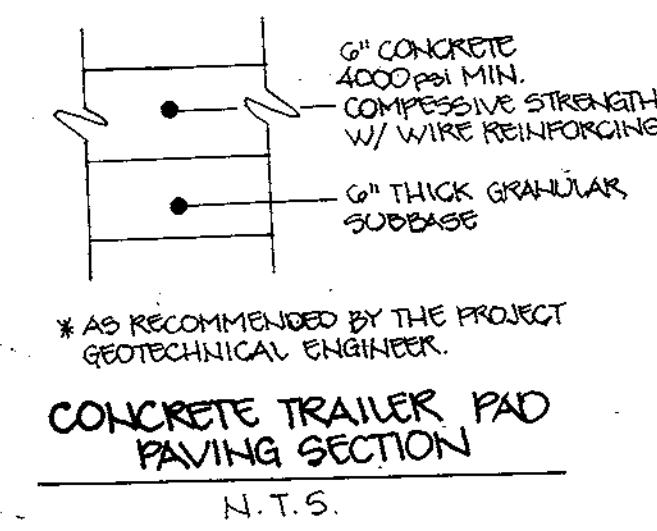
DESIGN BY: R.H.V.  
DRAWN BY: J.E.R.  
CHECKED BY: R.H.V.  
DATE: SEPTEMBER, 1999  
SCALE: 1"=30'  
W.O. NO.: 98-113

2 SHEET OF 13

MATCH LINE B-B (SEE SHEET 4 OF 13)

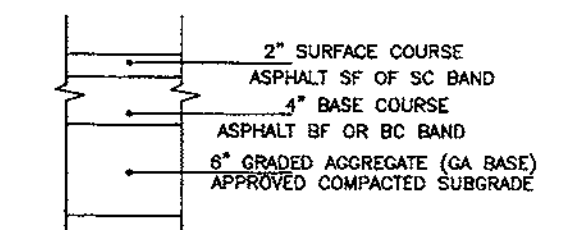


TYPICAL SECTION OF PROPOSED WIDENING  
MD RTE. 175 (STA 10+87 TO STA 12+43)  
NOT TO SCALE

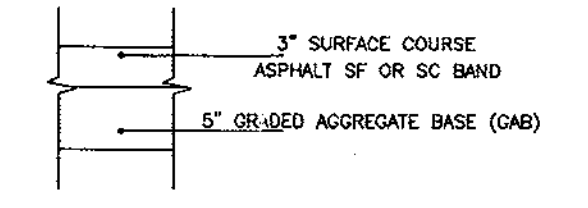


CONCRETE TRAILER PAD  
PAVING SECTION  
N.T.S.

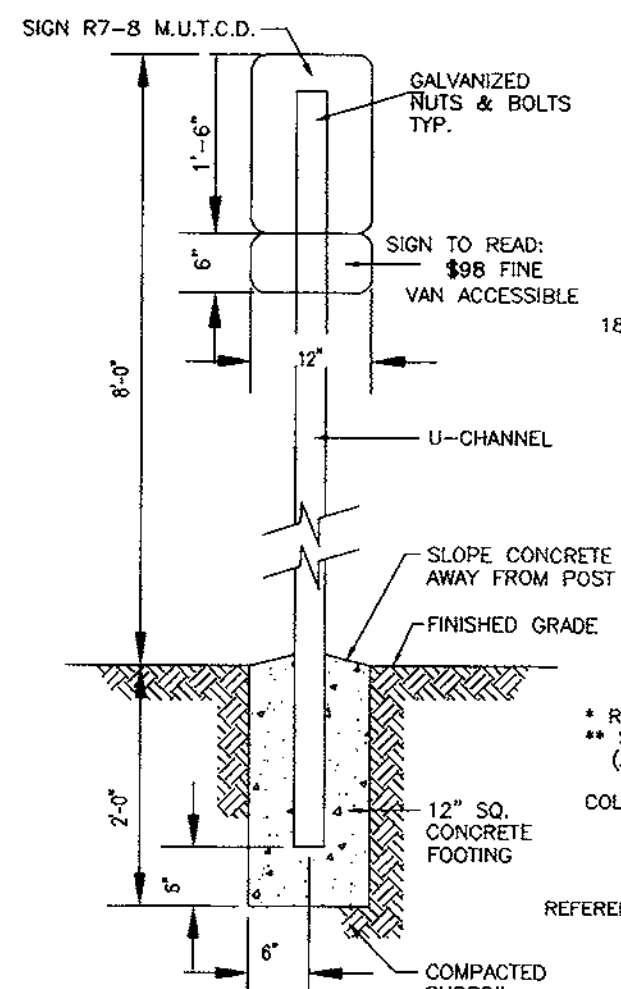
MATCH LINE A-A (SEE SHEET 2 OF 13)



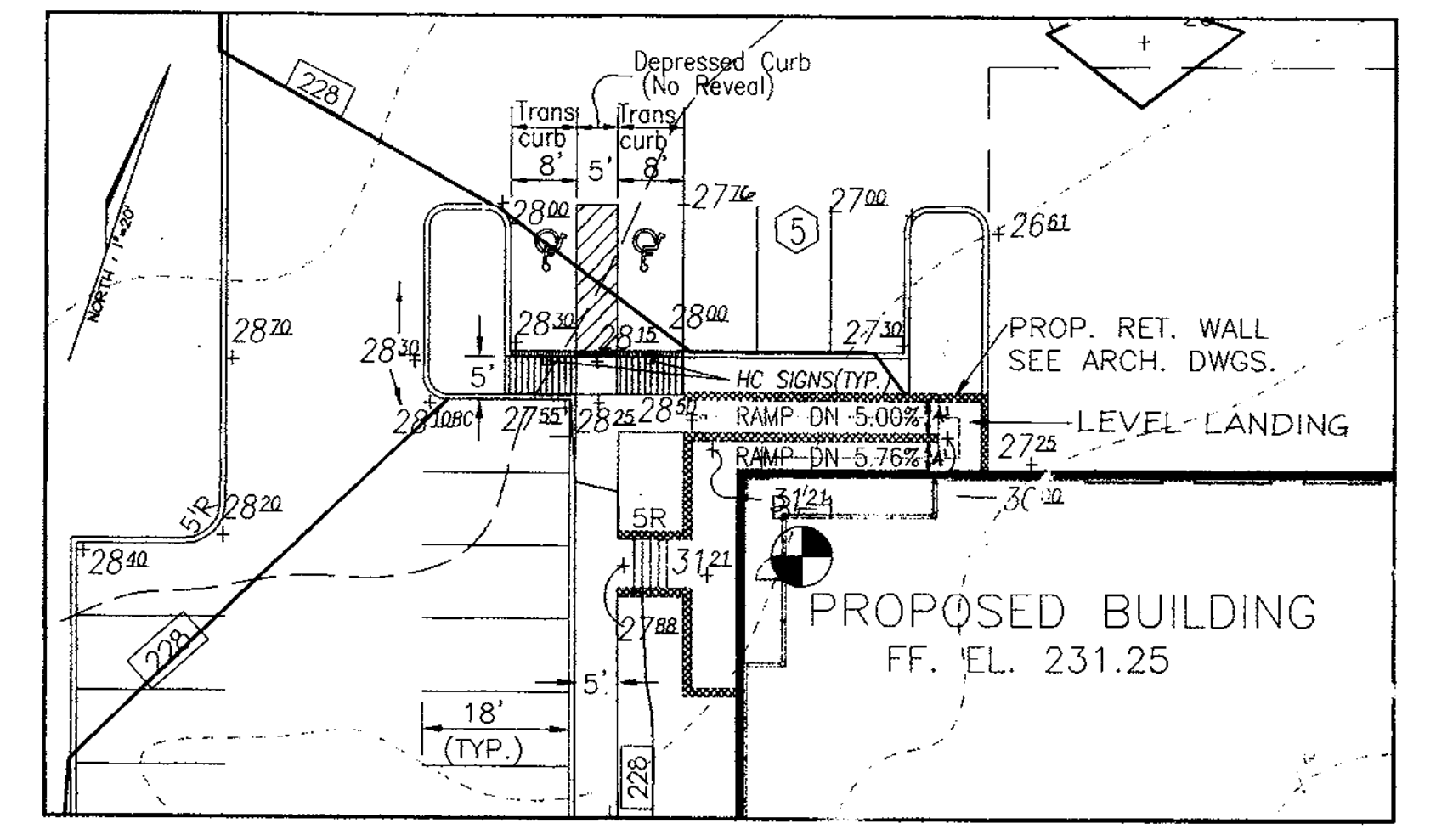
HEAVY DUTY PAVING SECTION  
(AS RECOMMENDED BY THE PROJECT GEOTECHNICAL ENGINEER)  
\*USE 8\"/>



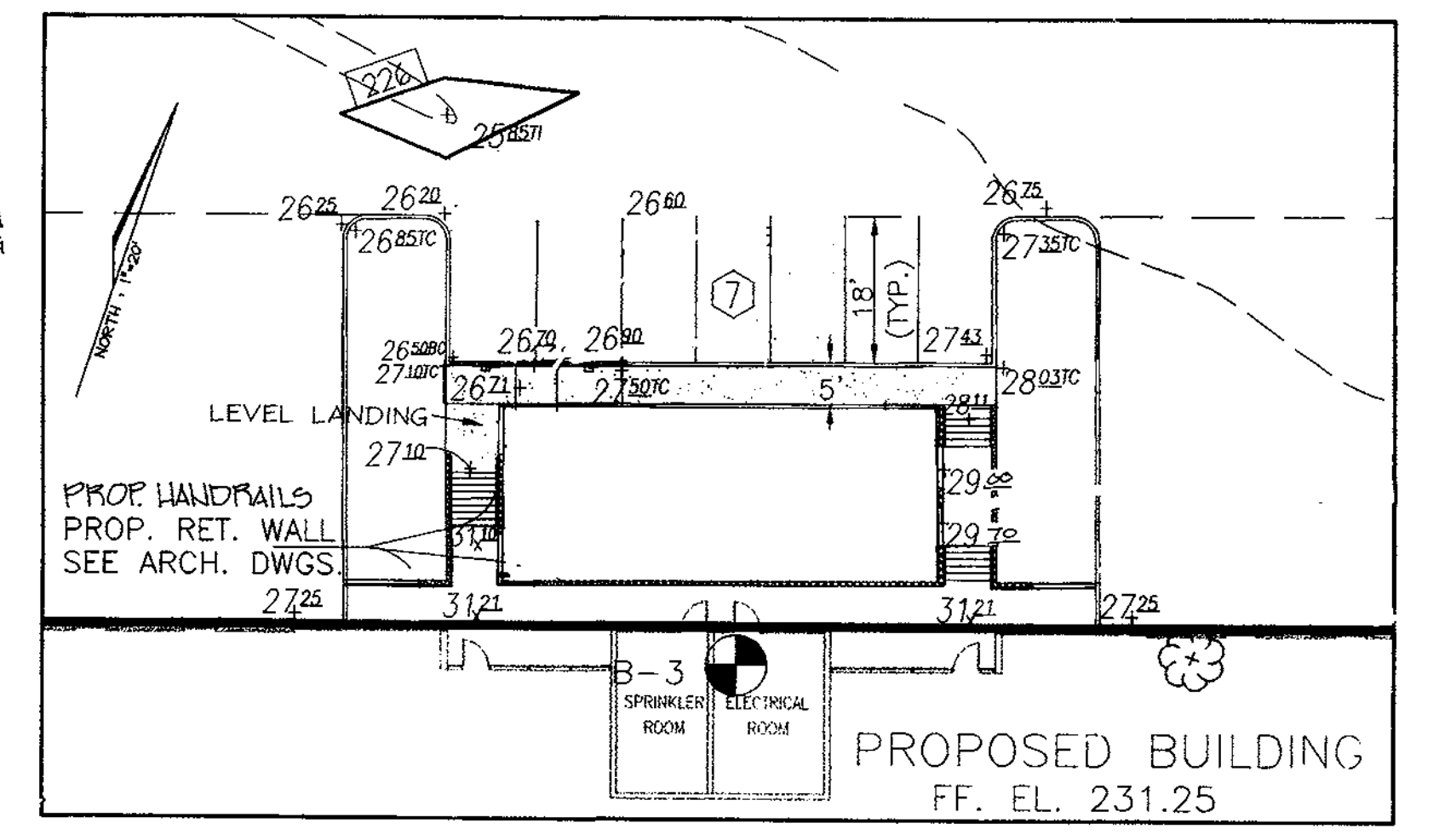
LIGHT DUTY PAVING SECTION  
(AS RECOMMENDED BY THE PROJECT GEOTECHNICAL ENGINEER)  
\*USE 4.5\"/>



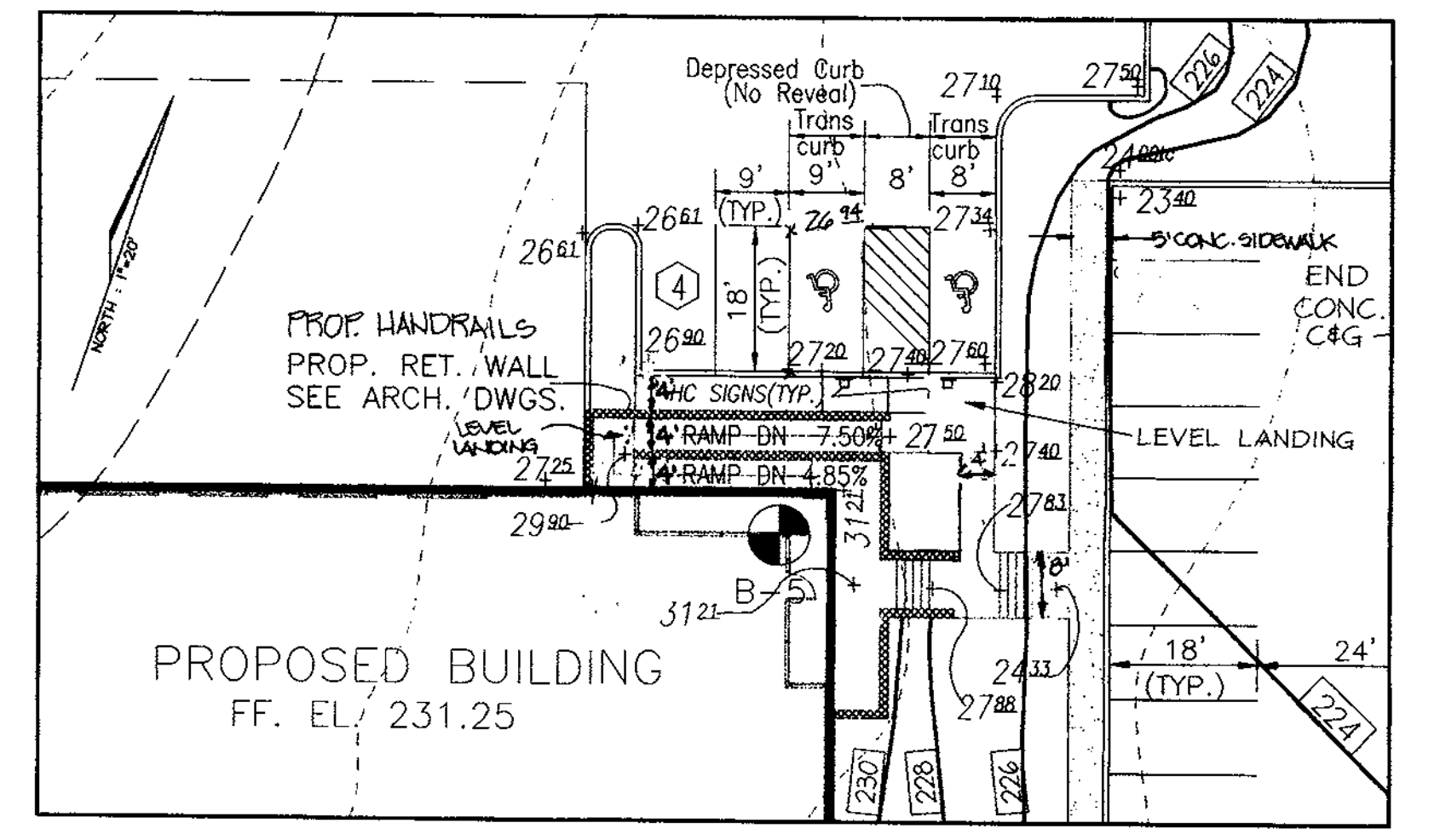
HANDICAP SIGN DETAIL  
NOT TO SCALE



PROPOSED BUILDING  
FF. EL. 231.25



PROPOSED BUILDING  
FF. EL. 231.25



HANDICAP ACCESS DETAILS  
SCALE 1\"/>

**VOGEL & ASSOCIATES**  
ENGINEERS/SURVEYORS/PLANNERS  
3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
Tel 410.461.5828 Fax 410.465.3966

OWNER  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321  
DEVELOPER  
INVESTMENT PROPERTIES INC.  
807-1 ROCKVILLE PIKE  
ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE  
THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
HOWARD SCD DATE

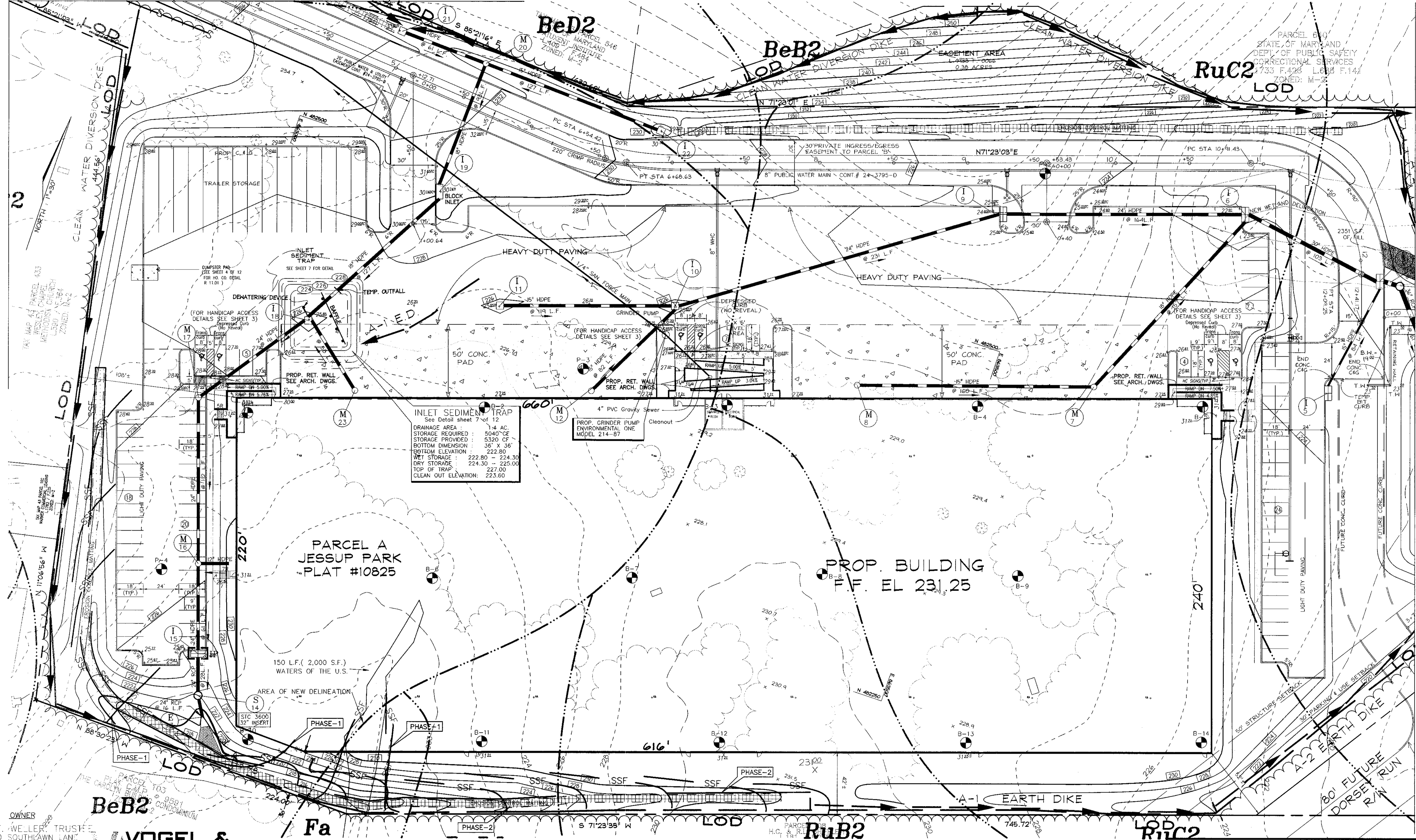
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
DIRECTOR DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

REVISION	REVISION	BY
1	REVISE H.C. RAMP AT CENTER BLDG.	
DATE NO.	REVISION	BY
ADDRESS CHART	PARCEL NO. 3 STREET ADDRESS	
717	7751 WATERLOO ROAD	
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
JESSUP PARK	N/A	A
PLAT NO. BLOCK NO.	ZONE TAX/ZONE	ELECT. DIST. CENSUS TR.
1122-23 214 22	M-2 43	1ST 6012
WATER CODE	SEWER CODE	
801	3020000	

SITE LAYOUT PLAN AND HANDICAP DETAILS FOR JESSUP PARK PARCEL 'A' SITE DEVELOPMENT PLAN  
TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
DESIGN BY: R.H.V.  
DRAWN BY: J.E.R.  
CHECKED BY: R.H.V.  
DATE: SEPTEMBER, 1999  
SCALE: AS SHOWN  
W.O. NO.: 98-113  
3 SHEET OF 13



MATCH LINE A-A (SEE SHEET 6 OF 13)



**INLET SEDIMENT TRAP**  
 See Detail sheet 7 of 12  
 DRAINAGE AREA: 1.4 AC.  
 STORAGE PROVIDED: 5320 CF  
 BOTTOM DIMENSION: 36" X 36"  
 BOTTOM ELEVATION: 222.80  
 WET STORAGE: 222.80 - 224.30  
 DRY STORAGE: 224.30 - 225.00  
 TOP OF TRAP: 227.00  
 CLEAN OUT ELEVATION: 223.60

**PARCEL A  
 JESSUP PARK  
 PLAT #10825**

**PROP. BUILDING  
 F.F. EL 231.25**

OWNER  
 WILLIAM T. WELLER, TRUSTEE  
 14900 SOUTHWAWN LANE  
 ROCKVILLE, MD 20850-1221  
 DEVELOPER  
 INVESTMENT PROPERTIES INC.  
 807-I ROCKVILLE PIKE  
 ROCKVILLE, MD 20852

**VOGEL &  
 ASSOCIATES**  
 ENGINEERS SURVEYORS PLANNERS  
 3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
 Tel 410.461.9828 Fax 410.465.3696

**ENGINEERS CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.  
 (SIGNATURE OF ENGINEER) ROBERT H. VOGEL 3/6/00 DATE

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.  
 (SIGNATURE OF DEVELOPER) 3/7/00 DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.  
 (SIGNATURE) 3/14/00 DATE  
 USDA-NATURAL RESOURCES CONSERVATION SERVICE  
 THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 (SIGNATURE) 3/14/00 DATE  
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 (SIGNATURE) 4/3/00 DATE  
 DIRECTOR  
 (SIGNATURE) 3/21/00 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 (SIGNATURE) 3/23/00 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

1/16/01	1	REVISE SOUTHWEST BUILDING CORNER		
DATE	NO.	REVISION	BY	
ADDRESS CHART				
PARCEL NO.	STREET ADDRESS			
711	WATERLOO ROAD			
PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER		
JESSUP PARK	N/A	A		
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.
14122-23	21 & 22	B-2	43	1ST
WATER CODE	B01	SEWER CODE	3002000	

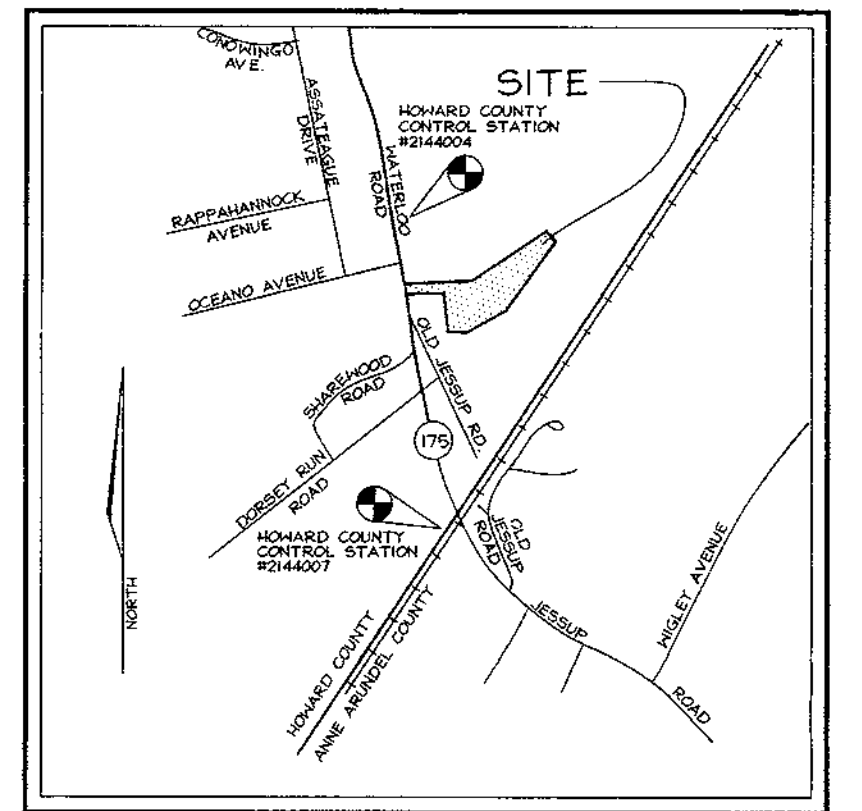
**GRADING, SEDIMENT & EROSION CONTROL PLAN**  
 FOR  
**JESSUP PARK PARCEL 'A'**  
**SITE DEVELOPMENT PLAN**  
 TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: R.H.V.  
 DRAWN BY: RLP  
 CHECKED BY: R.H.V.  
 DATE: MARCH, 2000  
 SCALE: 1"=30'  
 W.O. NO.: 98-113

5 SHEET OF 13

MATCH LINE B-B (SEE SHEET 7 OF 13)

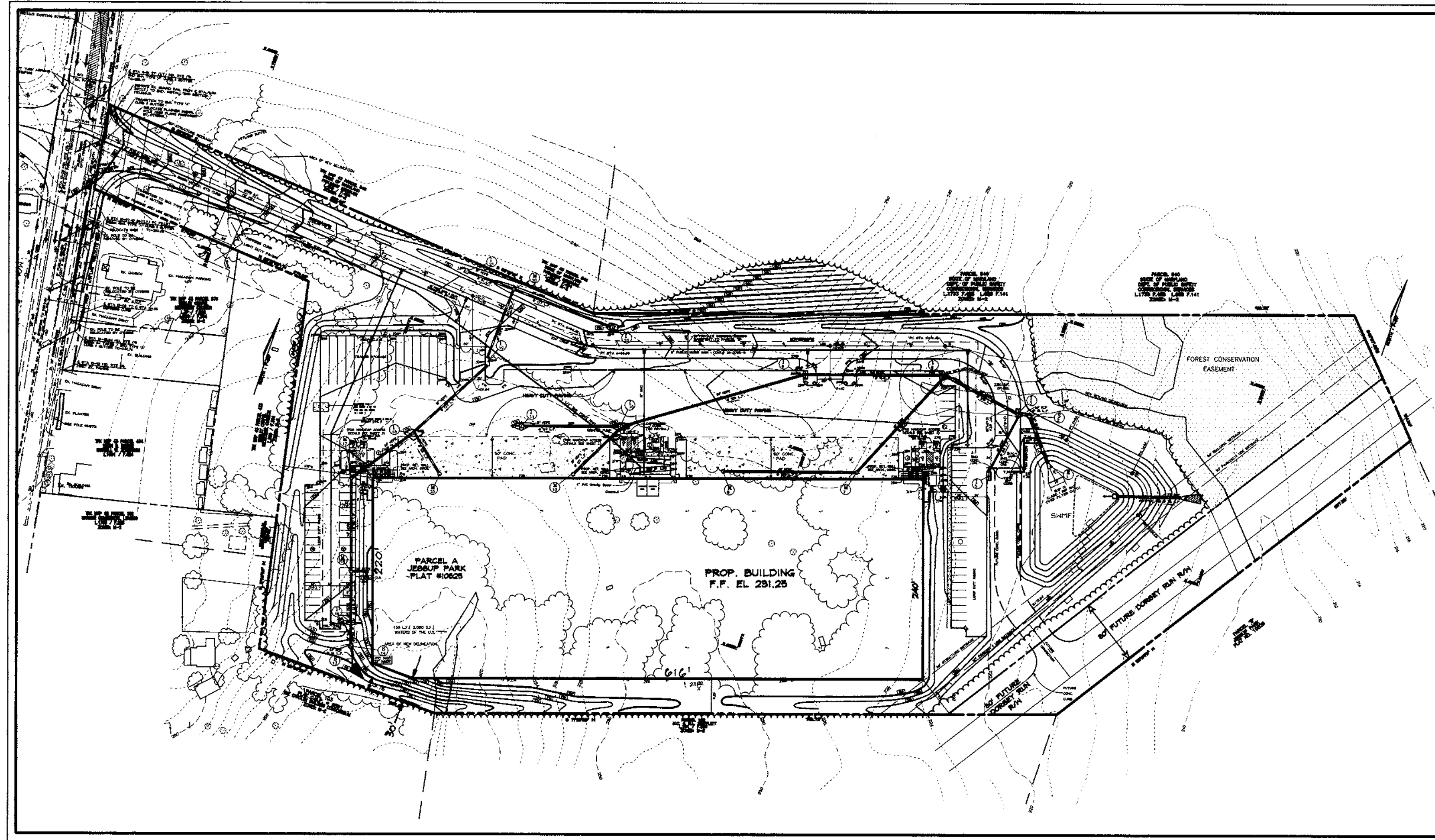
# JESSUP PARK PARCEL 'A' SITE DEVELOPMENT PLANS HOWARD COUNTY, MARYLAND



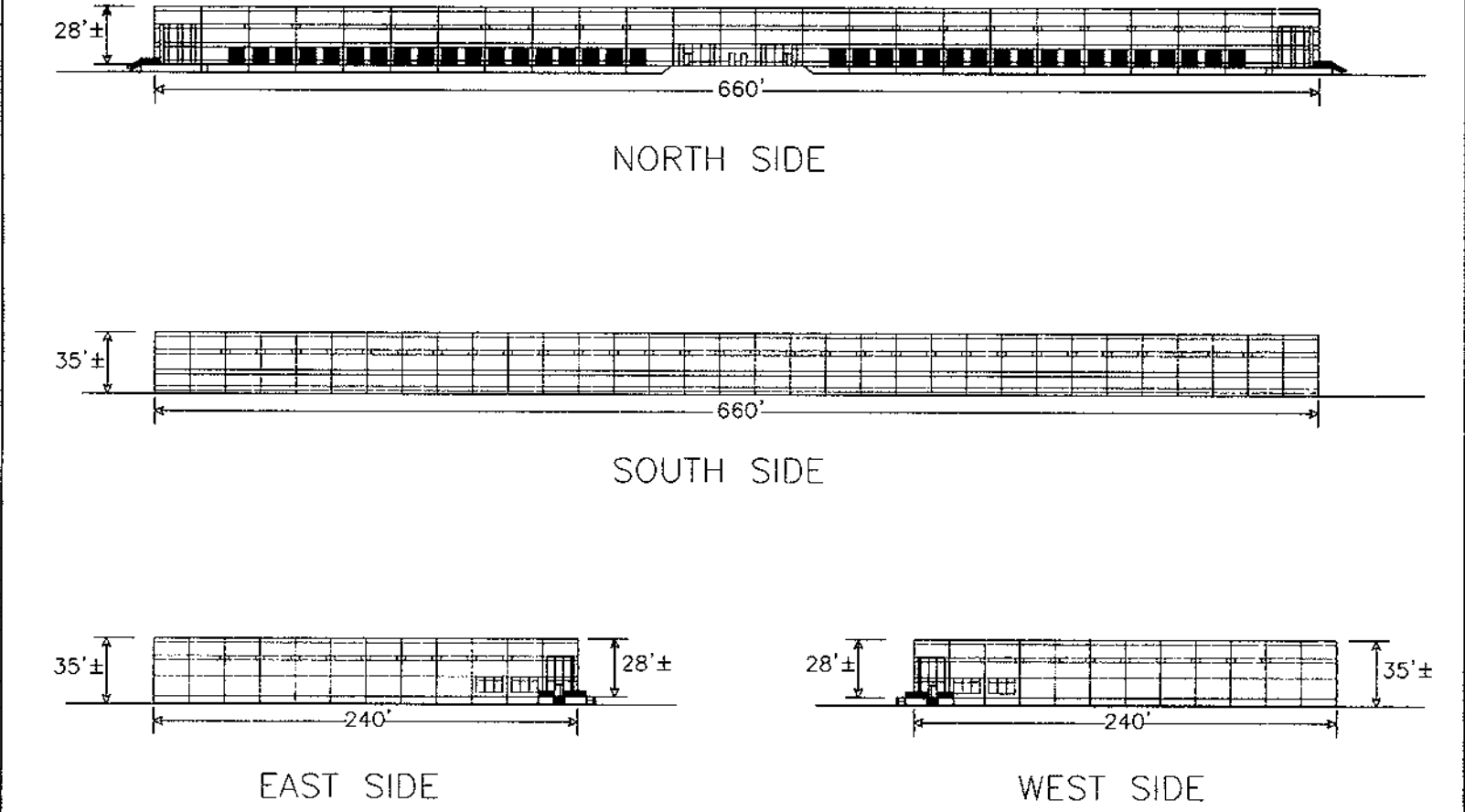
VICINITY MAP  
SCALE: 1"=2000'

## GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:  
MISS UTILITY  
C & P TELEPHONE COMPANY  
HOWARD COUNTY BUREAU OF UTILITIES  
AT&T CABLE LOCATION DIVISION  
B.G.&E. CO. CONTRACTOR SERVICES  
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL  
STATE HIGHWAY ADMINISTRATION
- SITE ANALYSIS:  
AREA OF PARCEL= 14,249 AC. 1-800-257-7777  
PRESENT ZONING: M-2 725-9976  
USE OF STRUCTURE: WAREHOUSE 157,960 SQ.FT. 513-2366  
BUILDING COVERAGE ON SITE: 3.63 AC OR 25.4% OF GROSS AREA 393-3553  
PAVED PARKING LOT/AREA ON SITE: 3.78 AC OR 26.5% OF GROSS AREA 850-4620  
AREA OF LANDSCAPE ISLAND: 0.44 AC= 19,415 SQ.FT. 531-5533
- PROJECT BACKGROUND:  
LOCATION: JESSUP, MARYLAND TAX MAP: 43 JESSUP PARK PARCEL 'A'  
ZONING: M-2  
SECTION/AREA: N/A  
SITE AREA: 14,249 AC  
DPZ REFERENCES: 5-89-26 P90-08 F-92-104, F-99-199 WP 91-23, WP 00-12
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS PERFORMED BY OTHERS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL.
- STORMWATER MANAGEMENT PROVIDED BY DETENTION POND AND STORMCEPTORS.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS #2144004 AND #2144007.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- EXISTING TOPOGRAPHY IS FROM A TOPOGRAPHIC SURVEY PERFORMED BY MACRIS, HENDRICKS & GLASCOCK, P.A.
- THE PROPOSED WATER MAIN FOR THIS PROJECT IS PUBLIC AND WILL BE CONNECTED TO EXISTING 12" WATER CONT. # 792-W.
- THE PROPOSED SEWER MAIN FOR THIS PROJECT IS PUBLIC AND WILL BE CONNECTED TO EXISTING 8" SEWER MAIN CONT. # 612-S.
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- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE OR BITUMINOUS (SEE DET. ON SHT 4).
- PROPOSED PAVING SECTIONS TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- PROJECT GEOTECHNICAL ENGINEER TO APPROVE PAVING SUBBASE PRIOR TO INSTALLATION OF PAVING SECTION.
- SITE LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- CONTRACTOR TO PROVIDE TRACER WIRE OVER PROPOSED 1 1/4" PRESSURE SEWER WITH TERMINAL AT THE RIGHT-OF-WAY LINE AND AT THE GRINDER PUMP.
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ALL 2:1 SLOPES TO BE STABILIZED WITH SOD OR EROSION CONTROL MATTING.  
SLOPES 3:1 OR FLATTER TO BE STABILIZED WITH SEED AND MULCH.
- THE ONSITE GRINDER PUMP AND LOW PRESSURE FORCE MAIN IS PRIVATE.
- PROPOSED WATER METER TO BE INSIDE SETTING.
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b. RAILROAD SPUR ( EXPIRED )  
c. CLEARING AND GRADING IN WETLANDS AND BUFFER FOR PARCEL 'B' ( EXPIRED )
- REFERENCE WAIVER PETITION WP: 00-12 APPROVED 9/ 28/ 99 TO ALLOW GRADING WITHIN THE WETLAND AND WETLAND BUFFER FOR PARCEL 'A' SUBJECT TO :  
a. PIPING OF THE NATURAL FLOW IN THE DISTURBED AREAS TO THE REMAINING WETLANDS  
b. SHOWING AN INTERMITTENT STREAM AND BUFFER AT THE SOUTHERN PROPERTY LINE.
- REFERENCE IDE NON-TIDAL WETLAND PERMIT APPLICATION # 99-NI-0055/ 1999061960
- THE OBLIGATIONS FOR 2.54 ACRES OF FOREST CONSERVATION IS PROVIDED BY PARTICIPATION IN AN APPROVED FOREST CONSERVATION BANK. REFERENCE PLAT OF FOREST CONSERVATION EASEMENT ON THE WINKLER PROPERTY, FIRST EXCHANGE ( 2.90 ACRES)
- REFERENCE ADEQUATE PUBLIC FACILITIES ANALYSIS + CHAPTER 5 STUDY PREPARED BY ROBERT L. MORRIS, P.E. DATED MAY 1999
- A MARYLAND STATE HIGHWAY ADMINISTRATION ACCESS PERMIT IS REQUIRED FOR THE ACCESS TO MD ROUTE 175 ( INCLUDES MD ROUTE 175 ROAD PLANS AND FLASHER SIGNAL DESIGN )
- REFERENCE DESIGN MANUAL WAIVER APPROVED 9/24/99 . TO ALLOW REDUCTION OF THE REQUIRED 20' NO TREE AREA WITHIN 20' OF THE TOP OF CUT OR TOE OF FILL OF A POND EMBANKMENT
- REFERENCE GRADING EASEMENT FROM THE STATE OF MARYLAND FOR OFFSITE GRADING L. 4938 F. 0066.



LOCATION MAP  
SCALE: 1"= 100'



BUILDING ELEVATIONS  
NOT TO SCALE

## SHEET INDEX

SHT. NO.	CONTENTS
1	COVER SHEET
2	SITE LAYOUT PLAN
3	SITE LAYOUT AND SECTIONS
4	SITE LAYOUT PLAN & MISCELLANEOUS SITE DETAILS
5	GRADING & SEDIMENT CONTROL PLAN
6	GRADING & SEDIMENT CONTROL PLAN AND NOTES
7	GRADING & SEDIMENT CONTROL PLAN AND DETAILS
8	DRAINAGE AREA AND SOILS MAP
9	STORM DRAIN PROFILES
10	STORMWATER MANAGEMENT POND NOTES AND DETAILS
11	LANDSCAPE PLAN
12	LANDSCAPE NOTES AND DETAILS
13	RETAINING WALL DETAIL

## PARKING TABULATION

	REQUIRED	PROPOSED
WAREHOUSE, 157,960 SQ.FT.	79 SPACES	85 SPACES
0.5 SPACES/1,000 SQ.FT.		
HANDICAP SPACES =	4 SPACES	4 SPACES

**VOGEL & ASSOCIATES**  
ENGINEERS-SURVEYORS-PLANNERS  
3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
Tel 410.461.8828 Fax 410.465.3866

**OWNER**  
WILLIAM T. WELLER, TRUSTEE  
14900 SOUTHLAWN LANE  
ROCKVILLE, MD 20850-1321

**DEVELOPER**  
INVESTMENT PROPERTIES INC.  
807-I ROCKVILLE PIKE  
ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*James P. Smith* 4/3/00  
DIRECTOR DATE

*Chris Hamilton* 3/21/00  
CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

*Chris Dammann* 3/23/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

12/24/01	2	REVISE HC RAMP AT CENTER BLDG		
1/16/01	1	REVISE SOUTHWEST BUILDING CORNER		
DATE NO.		REVISION		BY
ADDRESS CHART				
PARCEL NO.   STREET ADDRESS				
717   7751 WATERLOO ROAD				
PERMIT INFORMATION CHART				
SUBDIVISION NAME		SECTION/AREA	PARCEL NUMBER	
JESSUP PARK		N/A	A	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.
14122-23	21422	M-2	43	1ST
CENSUS TR.		6012		
WATER CODE		B01		
SEWER CODE		302000		

COVER SHEET  
FOR  
JESSUP PARK PARCEL 'A'  
SITE DEVELOPMENT PLAN

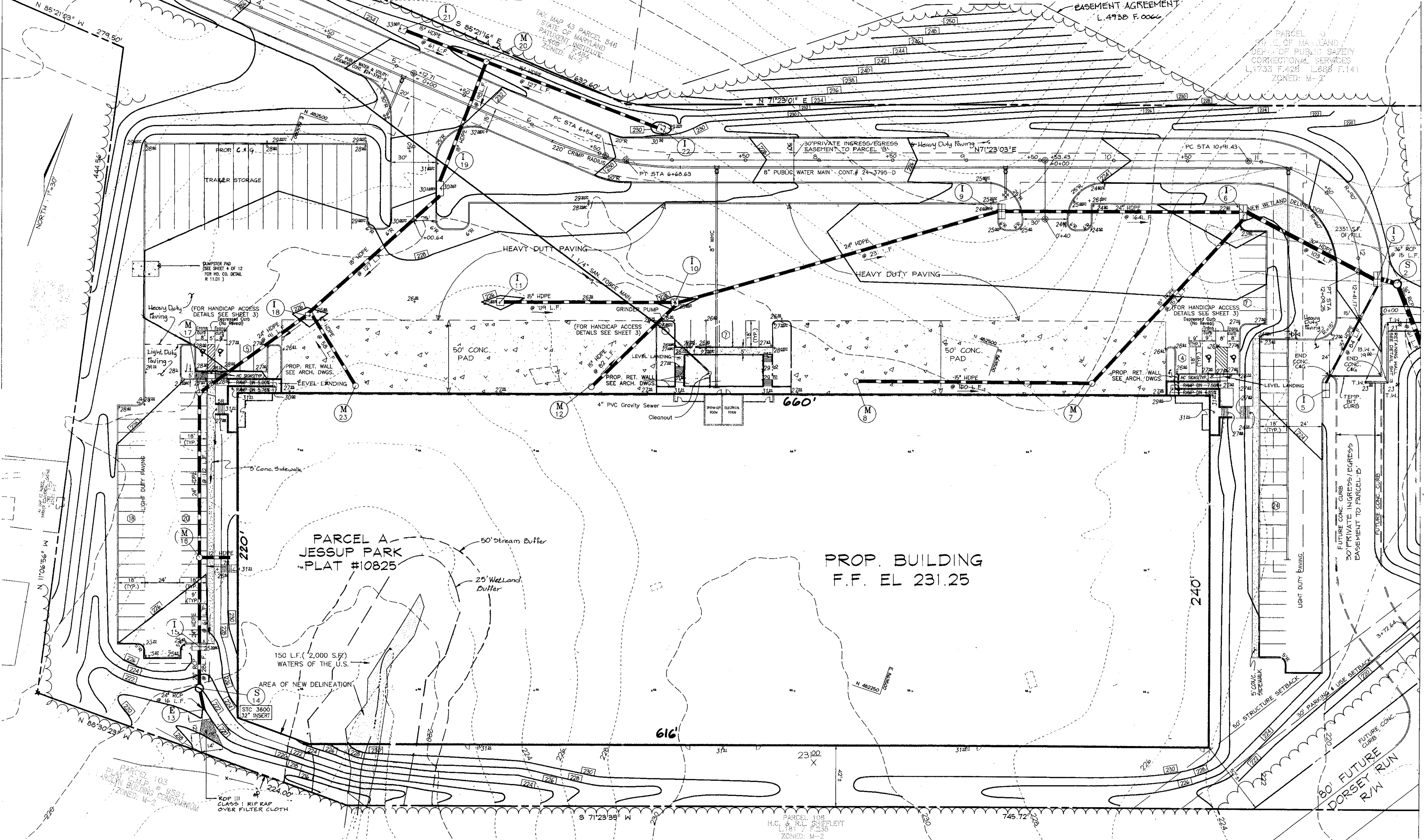
TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 AND F-99-199  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

REF F-92-104 AND F-99-199

DESIGN BY: R.H.V.  
DRAWN BY: R.L.P.  
CHECKED BY: R.H.V.  
DATE: MARCH, 2000  
SCALE: AS SHOWN  
W.O. NO.: 98-113

1 SHEET OF 13

MATCH LINE A-A (SEE SHEET 3 OF 13)



PARCEL 108  
 DIV. OF MARYLAND  
 DEPT. OF PUBLIC SAFETY  
 CORRECTIONAL SERVICES  
 L1733 F.428 L.668 F.141  
 ZONED: M-2

PROP. BUILDING  
 F.F. EL 231.25

PARCEL A  
 JESSUP PARK  
 PLAT #10825

150 L.F. (2,000 S.F.)  
 WATERS OF THE U.S.

**LEGEND**

EXISTING GROUND	232
PROPOSED GRADE	234
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & CUTTER	
PROPERTY LINE	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
EASEMENT	
PROP. HEAVY DUTY PAVEMENT	
PROP. 4" CONC. SIDEWALK	
PROP. LIGHT DUTY PAVEMENT	

**VOGEL & ASSOCIATES**  
 ENGINEERS-SURVEYORS-PLANNERS  
 3591 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
 Tel. 410.461.5828 Fax 410.465.3966

**OWNER**  
 WILLIAM T. WELLER, TRUSTEE  
 14900 SOUTHLAWN LANE  
 ROCKVILLE, MD 20850-1321

**DEVELOPER**  
 INVESTMENT PROPERTIES INC.  
 807-I ROCKVILLE PIKE  
 ROCKVILLE, MD 20862

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*James S. Smith* 4/13/00  
 DIRECTOR DATE

*Chris Smith* 7/29/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Chris Danner* 5/23/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

12/24/01	2	REVISE HC RAMP AT CENTER BLDG	
1/16/01	1	REVISE SOUTHWEST BUILDING CORNER	
DATE	NO.	REVISION	BY
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
717	WATERLOO ROAD		
PERMIT INFORMATION CHART			
SUBMISSION NAME	SECTION/AREA	PARCEL NUMBER	
JESSUP PARK	N/A	A	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE
14122-23	21222	M-2	24
WATER CODE		ELECT. DIST.	CENSUS TR.
		2ND	6012
		SEWER CODE	

**SITE LAYOUT PLAN**  
 FOR  
**JESSUP PARK**  
**SITE DEVELOPMENT PLAN**

REF: F-99-199  
 REF: F-92-104

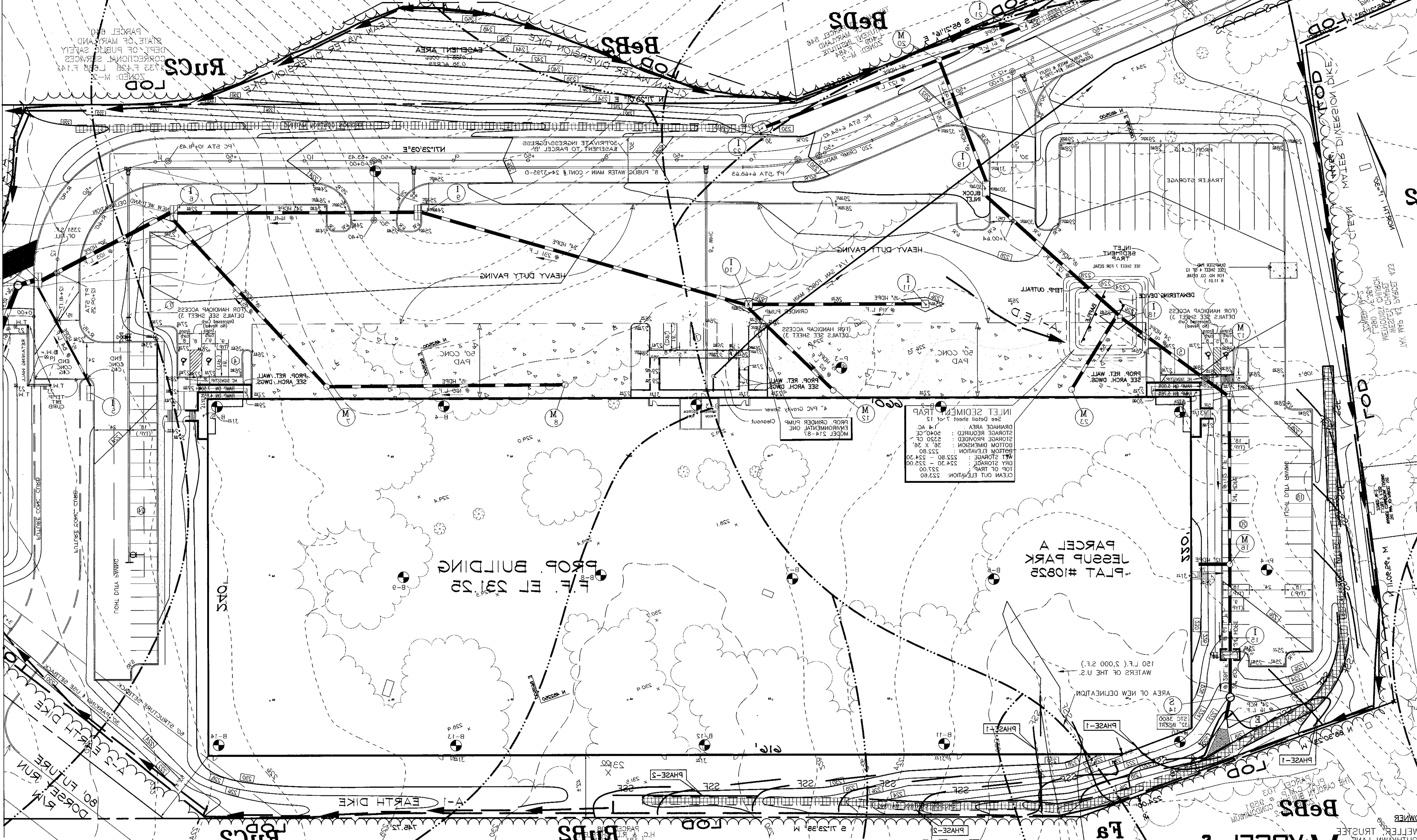
TAX MAP #43  
 1ST ELECTION DISTRICT

PARCELS 109,474,475,471,674  
 HOWARD COUNTY, MARYLAND

DESIGN BY: R.H.V.  
 DRAWN BY: J.E.R.  
 CHECKED BY: R.H.V.  
 DATE: SEPTEMBER, 1999  
 SCALE: 1"=30'  
 W.O. NO.: 98-113

2 SHEET OF 13

MATCH LINE B-B (SEE SHEET 4 OF 13)



**JESSUP PARK PARCEL 'A'**  
**SITE DEVELOPMENT PLAN**  
 FOR  
**GRADING, SEDIMENT & EROSION CONTROL PLAN**

TAX MAP #43 PARCELS 108 474, 475, 471 & 674 REF. F-92-104  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

DESIGN BY: R.H.V.  
 DRAWN BY: R.R.  
 CHECKED BY: R.H.V.  
 DATE: MARCH, 2000  
 SCALE: 1"=30'  
 W.O. NO.: 98-113  
 SHEET 13 OF 13

WATER CODE	001	SEWER CODE	2030000
PLAT NO.	112-22	BLOCK NO.	218
TAX ZONE	B-2	ELECT. DIST.	6013
SECTION	A	PARCEL NUMBER	
PERMIT INFORMATION CHART			
717 WATERLOO ROAD			
ADDRESS CHART			
REVISION			
DATE			
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING			

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 4/25/00

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 4/25/00

DIRECTOR DATE 4/25/00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

REVIEWED FOR HOWARD SOIL AND METS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

DATE 4/25/00

DATE 4/25/00

**DEVELOPER'S CERTIFICATE**

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS AND THAT I AM RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. I HAVE REVIEWED THE REVISIONS AND APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

DATE 4/25/00

SIGNATURE OF DEVELOPER

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THE PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE REVIEWED THE REVISIONS AND APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

DATE 4/25/00

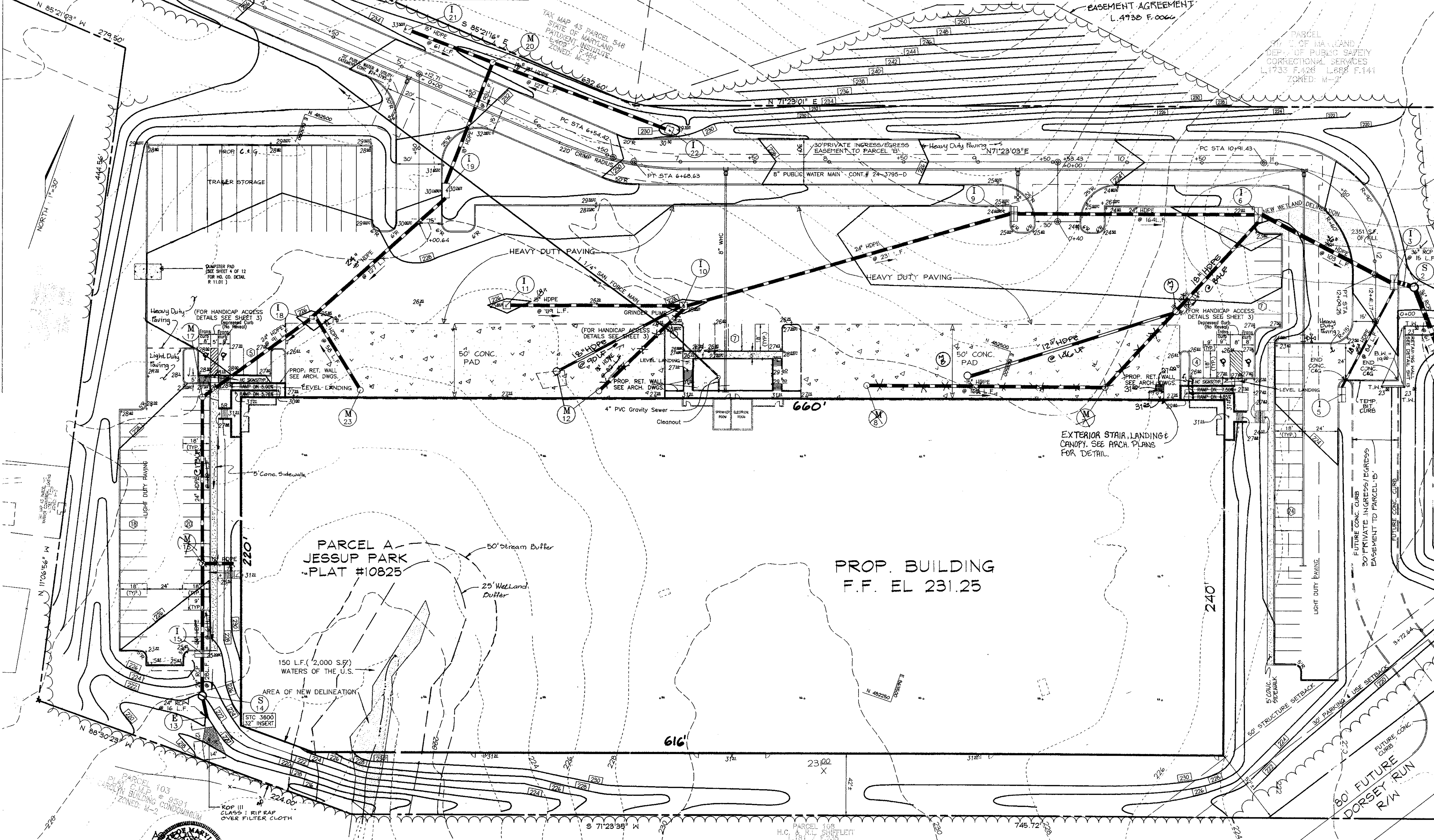
SIGNATURE OF ENGINEER: ROBERT H. VOGEL

DEVELOPER: JESSUP PARK DEVELOPMENT, INC.  
 802-1 ROCKVILLE PIKE  
 ROCKVILLE, MD 20825

DEVELOPER: ROBERT H. VOGEL & ASSOCIATES  
 14900 SOUTHWAY LANE  
 ROCKVILLE, MD 20850-1321

OWNER: WILLIAM T. WELLS, TRUSTEE  
 14900 SOUTHWAY LANE  
 ROCKVILLE, MD 20850-1321

MATCH LINE A-A (SEE SHEET 3 OF 13)



MATCH LINE B-B (SEE SHEET 4 OF 13)

**LEGEND**

EXISTING GROUND	232
PROPOSED GRADE	234
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
EASEMENT	
PROP. HEAVY DUTY PAVEMENT	
PROP. 4" CONC. SIDEWALK	
PROP. LIGHT DUTY PAVEMENT	

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 ROBERT J. VOGEL, P.E. NO. 16193  
**VOGEL & ASSOCIATES**  
 ENGINEERS SURVEYORS PLANNERS  
 3591 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
 Tel. 410.461.5828 Fax. 410.465.3966

**OWNER**  
 WILLIAM T. WELLER, TRUSTEE  
 14900 SOUTHLAWN LANE  
 ROCKVILLE, MD 20850-1321

**DEVELOPER**  
 INVESTMENT PROPERTIES INC.  
 807-1 ROCKVILLE PIKE  
 ROCKVILLE, MD 20852

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*James S. Smith* 4/13/00  
 DIRECTOR DATE

*Chris Standa* 3/29/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Chris Standa* 3/29/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

12/24/00	3	ADD EXTERIOR STAIRS			
12/24/01	2	REVISE HC RAMP AT CENTER BLDG.			
1/16/01	1	REVISE SOUTHWEST BUILDING CORNER			
DATE NO.	REVISION	BY			
ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
717	WATERLOO ROAD				
PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
JESSUP PARK	N/A	A			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
14122-23	21222	M-2	24	2ND	6012
WATER CODE	SEWER CODE				

**SITE LAYOUT PLAN**  
 FOR  
**JESSUP PARK**  
**SITE DEVELOPMENT PLAN** REF-F-99-199  
 PARCELS 109,474,175,471,674 REF-F-92-104  
 HOWARD COUNTY, MARYLAND

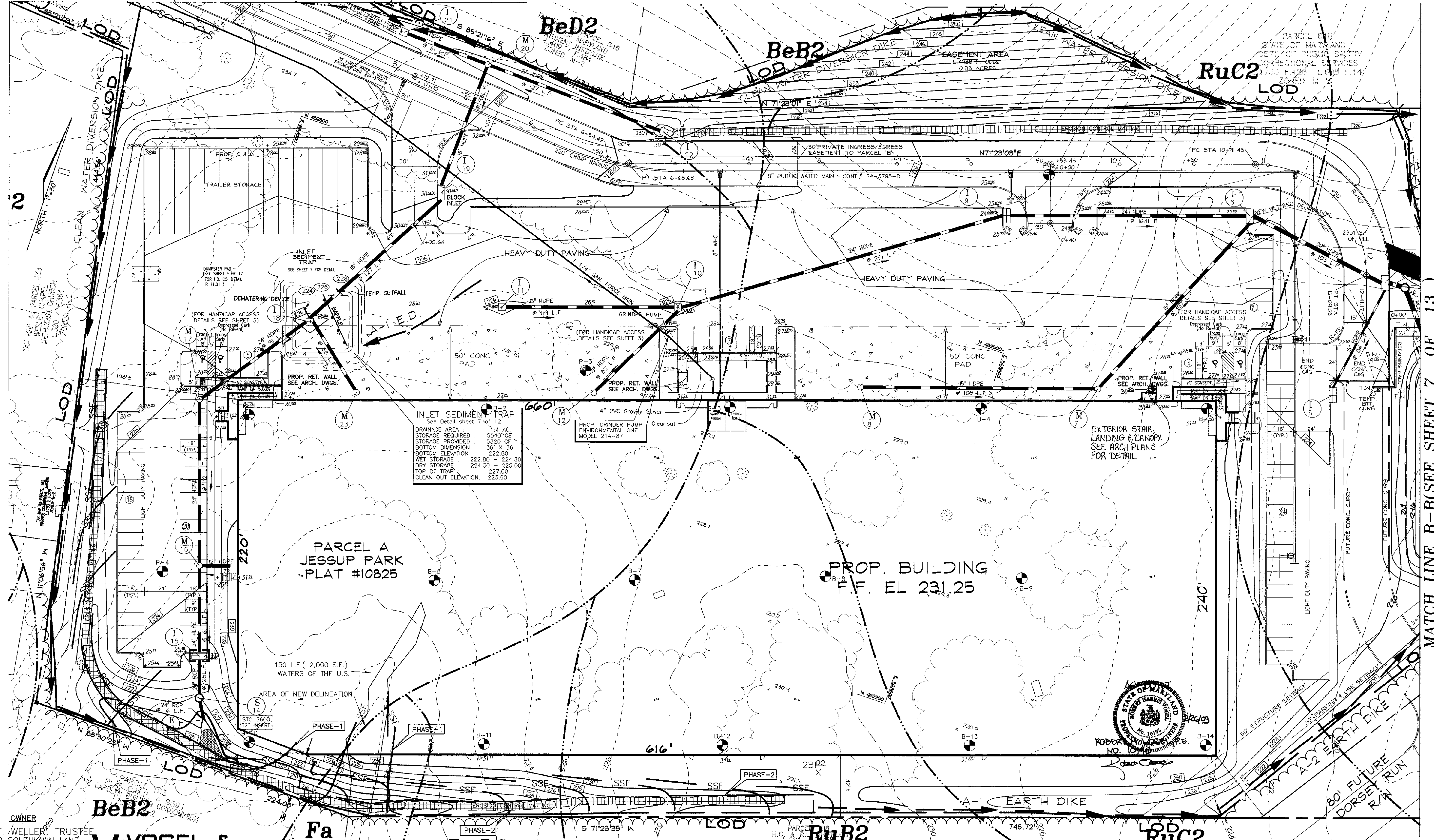
TAX MAP #43  
 1ST ELECTION DISTRICT

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 ROBERT J. VOGEL, P.E. NO. 16193

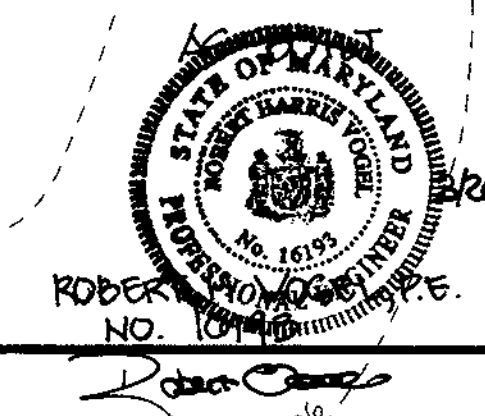
DESIGN BY: R.H.V.  
 DRAWN BY: J.E.R.  
 CHECKED BY: R.H.V.  
 DATE: SEPTEMBER 1999  
 SCALE: 1"=30'  
 W.O. NO.: 98- 5

2 SHEET OF 13

MATCH LINE A-A (SEE SHEET 6 OF 13)



**INLET SEDIMENT TRAP**  
 See Detail sheet 7 of 12  
 DRAINAGE AREA: 1.4 AC.  
 STORAGE REQUIRED: 5040 CF  
 STORAGE PROVIDED: 5320 CF  
 BOTTOM DIMENSION: 36' X 36'  
 BOTTOM ELEVATION: 222.80  
 WET STORAGE: 222.80 - 224.30  
 DRY STORAGE: 224.30 - 225.00  
 TOP OF TRAP: 227.00  
 CLEAN OUT ELEVATION: 223.60



OWNER  
 WILLIAM T. WELLER, TRUSTEE  
 14900 SOUTHLAWN LANE  
 ROCKVILLE, MD 20850-1321  
 DEVELOPER

INVESTMENT PROPERTIES INC.  
 807-I ROCKVILLE PIKE  
 ROCKVILLE, MD 20852

**VOGEL & ASSOCIATES**  
 ENGINEERS SURVEYORS PLANNERS  
 3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043  
 Tel 410.461.5828 Fax 410.465.3986

**ENGINEERS CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

ROBERT H. VOGEL 3/6/00  
 (SIGNATURE OF ENGINEER) ROBERT H. VOGEL DATE

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

ROBERT H. VOGEL 3/7/00  
 (SIGNATURE OF DEVELOPER) DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Cheryl Simms 3/14/00  
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Yosh S. 3/14/00  
 HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

4/3/00  
 DIRECTOR DATE

3/21/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

3/23/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

16/10/00	3	ADD EXTERIOR STAIRS
2/24/01	2	REVISE H.C. RAMP AT CENTER BLDG.
1/16/01	1	REVISE SOUTHWEST BUILDING CORNER
DATE	NO.	REVISION
ADDRESS CHART		
PARCEL NO. STREET ADDRESS		
7171 WATERLOO ROAD		
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
JESSUP PARK	N/A	A
PLAT NO.	BLOCK NO.	ZONE
14122-23	21 & 22	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
43	1ST	6012
WATER CODE	SEWER CODE	
801	3020000	

**GRADING, SEDIMENT & EROSION CONTROL PLAN**  
 FOR  
**JESSUP PARK PARCEL 'A'**  
**SITE DEVELOPMENT PLAN**

TAX MAP #43 PARCELS 109, 474, 475, 471 & 674 REF. F-92-104  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: R.H.V.  
 DRAWN BY: RLP  
 CHECKED BY: R.H.V.  
 DATE: MARCH, 2000  
 SCALE: 1"=30'  
 W.O. NO.: 98-113

5 SHEET OF 13

MATCH LINE B-B (SEE SHEET 7 OF 13)