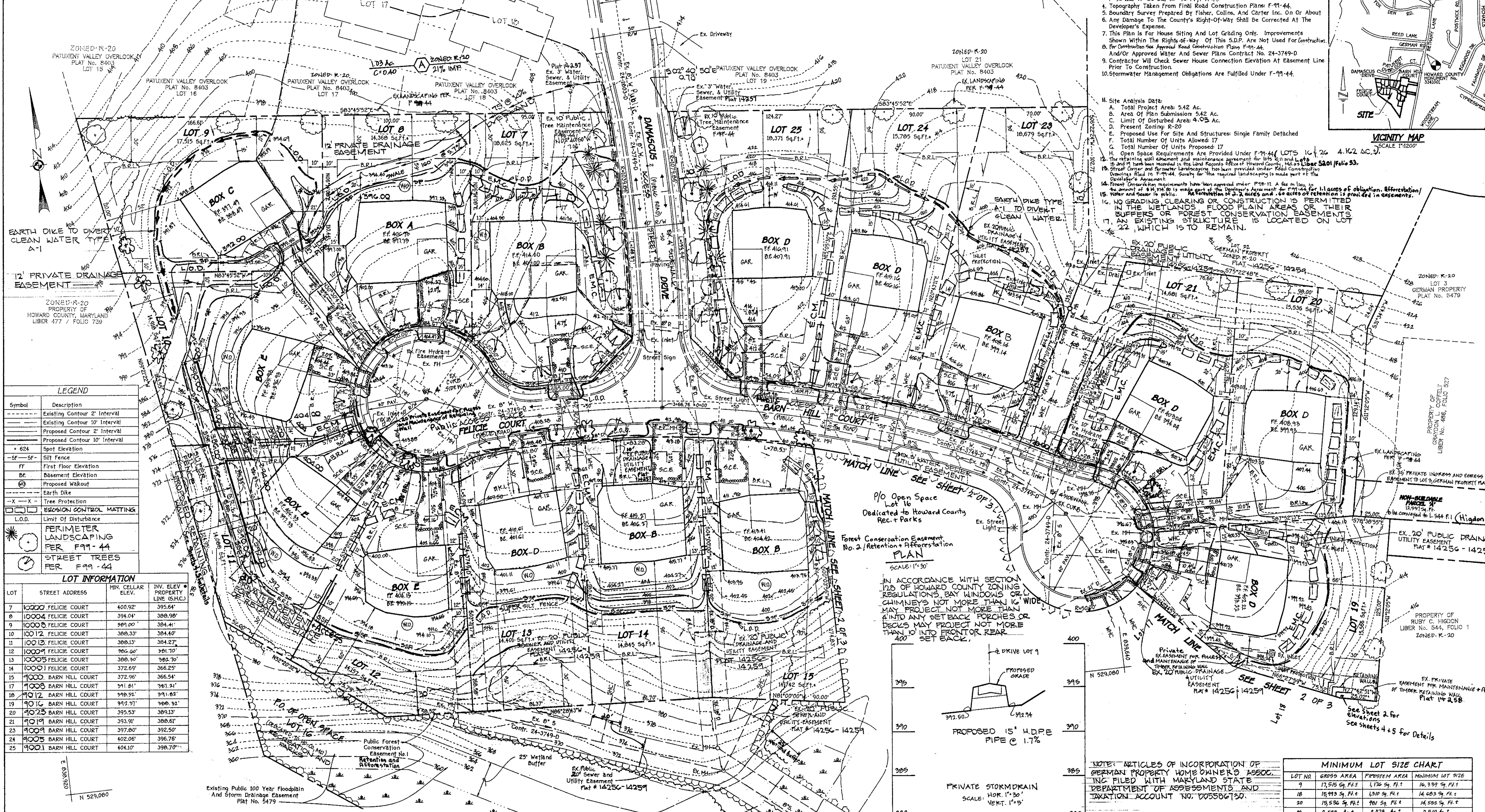


Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	Detail Sheet



**LEGEND**

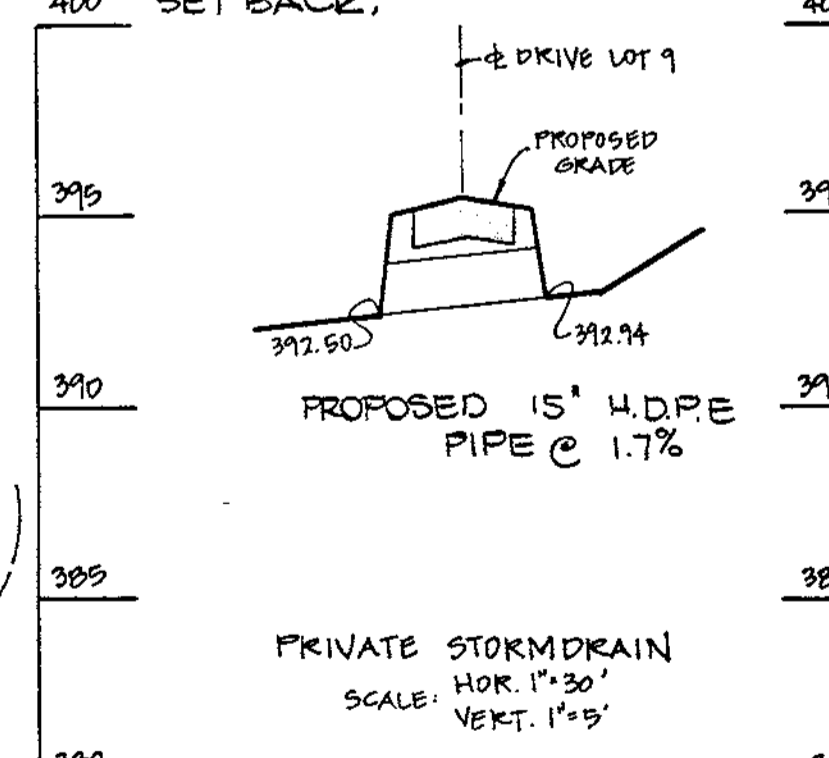
Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
+	Spot Elevation
SF	Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
W	Proposed Walkout
E	Earth Dike
X-X	Tree Protection
EMC	EROSION CONTROL MATTING
L.O.D.	Limit of Disturbance
PER F99-44	PERIMETER LANDSCAPING
STREET TREES	STREET TREES

**LOT INFORMATION**

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (S.M.C.)
7	10000 FELICITE COURT	400.92'	395.64'
8	10004 FELICITE COURT	394.04'	388.98'
9	10008 FELICITE COURT	391.00'	384.41'
10	10012 FELICITE COURT	388.33'	384.40'
11	10016 FELICITE COURT	386.13'	384.27'
12	10001 FELICITE COURT	386.60'	381.70'
13	10005 FELICITE COURT	386.30'	382.70'
14	10001 FELICITE COURT	372.69'	366.25'
15	1000 BARN HILL COURT	372.96'	366.54'
17	10008 BARN HILL COURT	371.61'	361.21'
18	10012 BARN HILL COURT	370.52'	361.62'
19	10016 BARN HILL COURT	372.37'	368.32'
20	10020 BARN HILL COURT	375.53'	369.13'
21	10019 BARN HILL COURT	373.91'	368.61'
23	10009 BARN HILL COURT	377.80'	372.50'
24	10005 BARN HILL COURT	402.06'	396.76'
25	10001 BARN HILL COURT	404.10'	398.70'

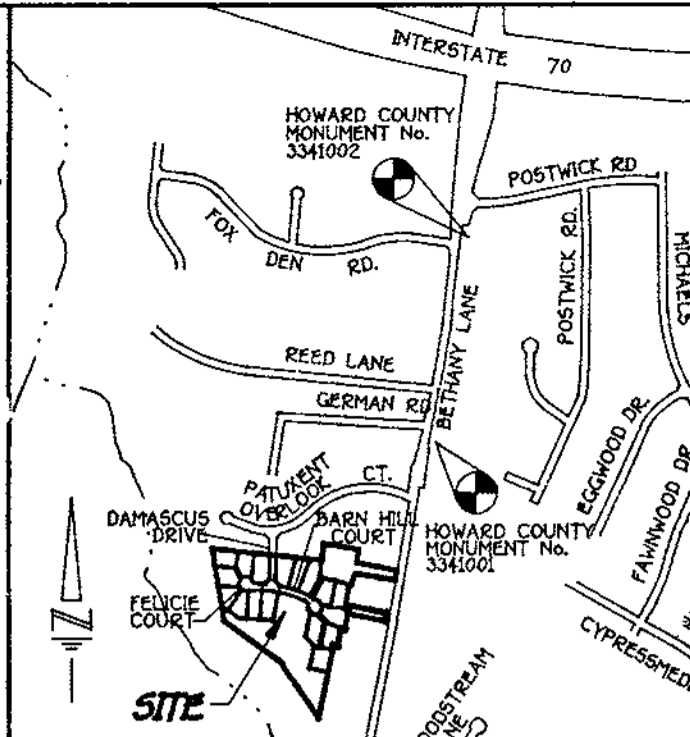
**PLAN**  
 P/O Open Space  
 Lot 16  
 Dedicated to Howard County  
 Rec. + Parks  
 Forest Conservation Easement  
 No. 2 / Retention + Afforestation  
 SCALE: 1"=30'

IN ACCORDANCE WITH SECTION 12B OF HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS OR CHIMNEYS NOT MORE THAN 16" WIDE MAY PROJECT NOT MORE THAN 4" INTO ANY SETBACK PORCHES OR DECKS MAY PROJECT NOT MORE THAN 10" INTO FRONT OR REAR SETBACK.



- General Notes:**
- The Contractor Shall Notify The Construction Inspection Division At (410) 313-1980 At Least (5) Five Working Days Prior To The Start Of Work.
  - The Contractor Shall Notify "Miss Utility" At 1-800-257-7777 At Least 48 Hours Prior To Any Excavation Work.
  - This Project Is Subject To Howard County Files: S 96-07, P 98-17, F 03-37, F 96-112, VP 83-82, WP 96-77, F99-44.
  - Topography Taken From Final Road Construction Plans: F-91-44.
  - Boundary Survey Prepared By Fisher, Collins, And Carter Inc. On Or About 6/2/99.
  - Any Damage To The County's Right-Of-Way Shall Be Corrected At The Developer's Expense.
  - This Plan Is For House Siting And Lot Grading Only. Improvements Shown Within The Right-Of-Way Of This S.D.P. Are Not Used For Construction.
  - For Construction Approved Road Construction Plans: F-99-44.
  - And/Or Approved Water And Sewer Plans Contract No. 24-3749-D.
  - Contractor Will Check Sewer House Connection Elevation At Basement Level Prior To Construction.
  - Stormwater Management Obligations Are Fulfilled Under F-99-44.

- Site Analysis Data:**
- Total Project Area: 5.42 Ac.
  - Area Of Plan Submission: 5.42 Ac.
  - Limit Of Disturbed Area: 4.03 Ac.
  - Present Zoning: R-20
  - Proposed Use For Site And Structures: Single Family Detached
  - Total Number Of Units Allowed: 17
  - Total Number Of Units Proposed: 17
  - Open Space Requirements Are Provided Under F-99-44 (LOTS 10 + 26 4.162 AC.)
  - Water And Sewer In Public Right-Of-Way
  - 25' Wetland Buffer
  - NO GRADING, CLEARING OR CONSTRUCTION IS PERMITTED IN THE WETLANDS FLOOD PLAIN AREAS OR THEIR BUFFERS OR FOREST CONSERVATION EASEMENTS
  - AN EXISTING STRUCTURE IS LOCATED ON LOT 22 WHICH IS TO REMAIN.



**MINIMUM LOT SIZE CHART**

LOT NO.	GROSS AREA	FIRESTORM AREA	MINIMUM LOT SIZE
9	17,515 Sq. Ft.	1,176 Sq. Ft.	16,339 Sq. Ft.
18	15,993 Sq. Ft.	1,310 Sq. Ft.	14,683 Sq. Ft.
20	15,536 Sq. Ft.	701 Sq. Ft.	14,835 Sq. Ft.
22	2,588 Ac.	8,878 Ac.	2,510 Ac.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 18722 BALTIMORE NATIONAL FREE  
 ELEGANT CITY, MARYLAND 21042  
 410.481.3955

DATE	DESCRIPTION	REVISION

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Enid Lee*  
 Signature of Engineer (Print name below signature) Date: 9-18-00

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*Michael Row*  
 Signature of Developer (Print name below signature) Date: 9-18-00

Reviewed for HOWARD SCD and meets Technical Requirements.  
*Chris Simon*  
 U.S.D.A. - Natural Resources Conservation Service  
 Date: 9/24/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
*Michael Row*  
 Howard SCD  
 Date: 9/28/00

**OWNERS**  
 TRINITY HOMES 6212 DEVON DRIVE COLUMBIA, MARYLAND 21044  
 JAMESTOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Carly Hamilton*  
 Chief, Division of Land Development 66  
 Date: 10/6/00

*Chris Hamilton*  
 Chief, Development Engineering Division ce  
 Date: 10/3/00

*Paul Smith*  
 Director, Department of Planning and Zoning  
 Date: 10/12/00

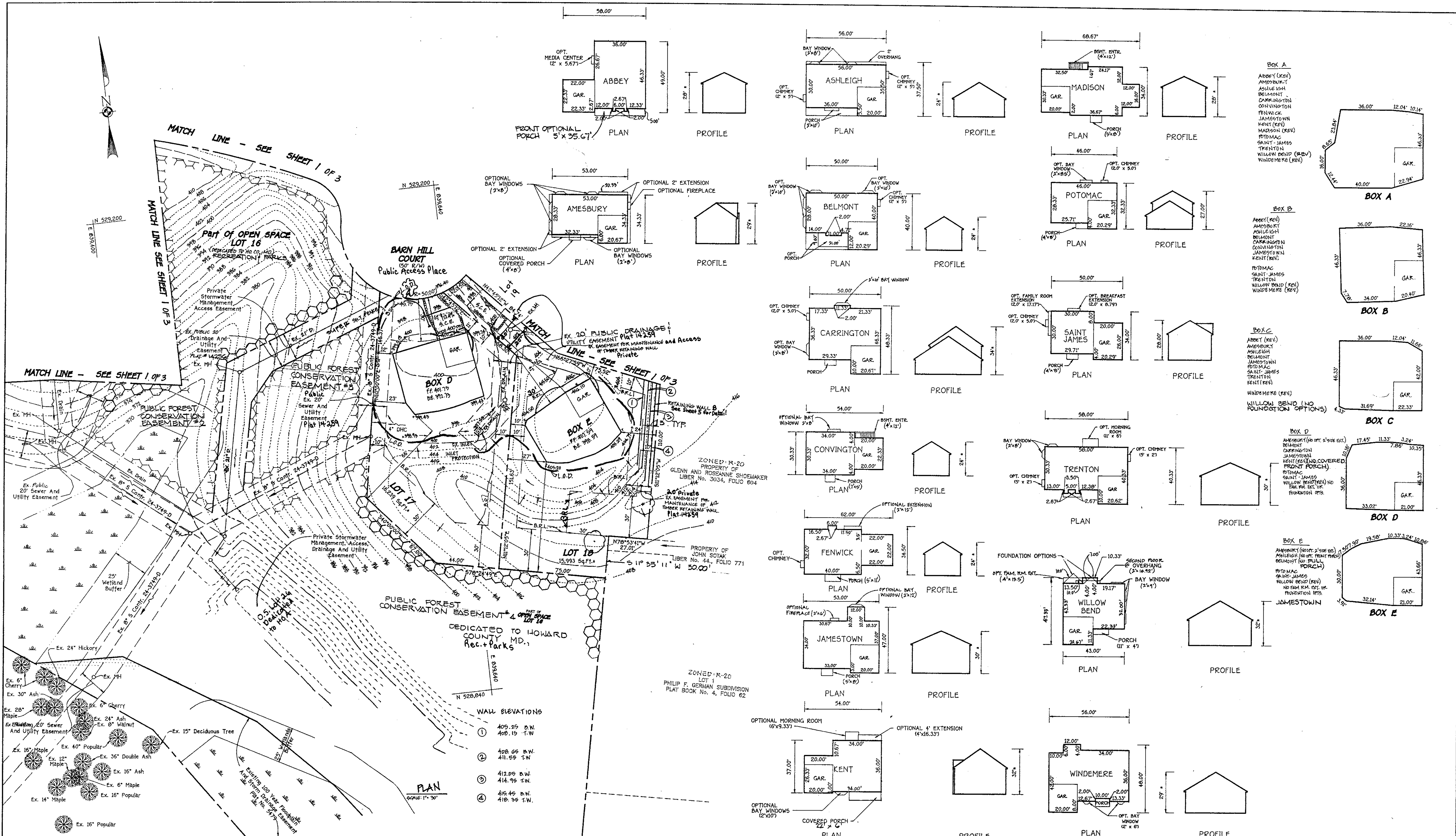
PROJECT	SECTION/AREA	LOT NO.
GERMAN PROPERTY	N/A	7-1517-21 and 23-25
PLAT # 14256 - BLOCK NO. 20	ZONE R-20	TAX/ZONE 17
ELEC. DIST. SECOND	CENSUS TR. 6022	
WATER CODE H-08	SEWER CODE 910000	

**SITE DEVELOPMENT PLAN  
 SEDIMENT CONTROL PLAN**

**GERMAN PROPERTY**  
 LOTS 7 -15, 17-21, 23-25

ZONED: R-20  
 TAX MAP NO. 17 PARCEL NO. 132 GRID NO. 20  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999  
 SHEET 1 OF 5





**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL FREE  
 ELICOTT CITY, MARYLAND 21117  
 (410) 461-2855

**STATE OF MARYLAND**  
 PROFESSIONAL ENGINEER

DATE	DESCRIPTION	REVISION

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer (Print name below signature) *Enid J. ...* Date **9-18-00**

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer (Print name below signature) *Michael Plau* Date **9-18-00**

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service Date **9/28/00**

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD Date **9/28/00**

**OWNERS**  
 TRINITY HOMES 6212 DEVON DRIVE COLUMBIA, MARYLAND 21044  
 JAMESTOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development Date **10/6/00**

Chief, Development Engineering Division Date **10/5/00**

Director, Department of Planning and Zoning Date **10/12/00**

PROJECT	SECTION/AREA	LOT NO.
GERMAN PROPERTY	N/A	7-15, 17-21 and 23-25

PLAT	BLOCK NO.	ZONE	TAX/ZONING	ELEC. DIST.	CENSUS TR.
142.56-142.59	20	R-20	17	SECOND	6022

WATER CODE **11-05** SEWER CODE **9980000**

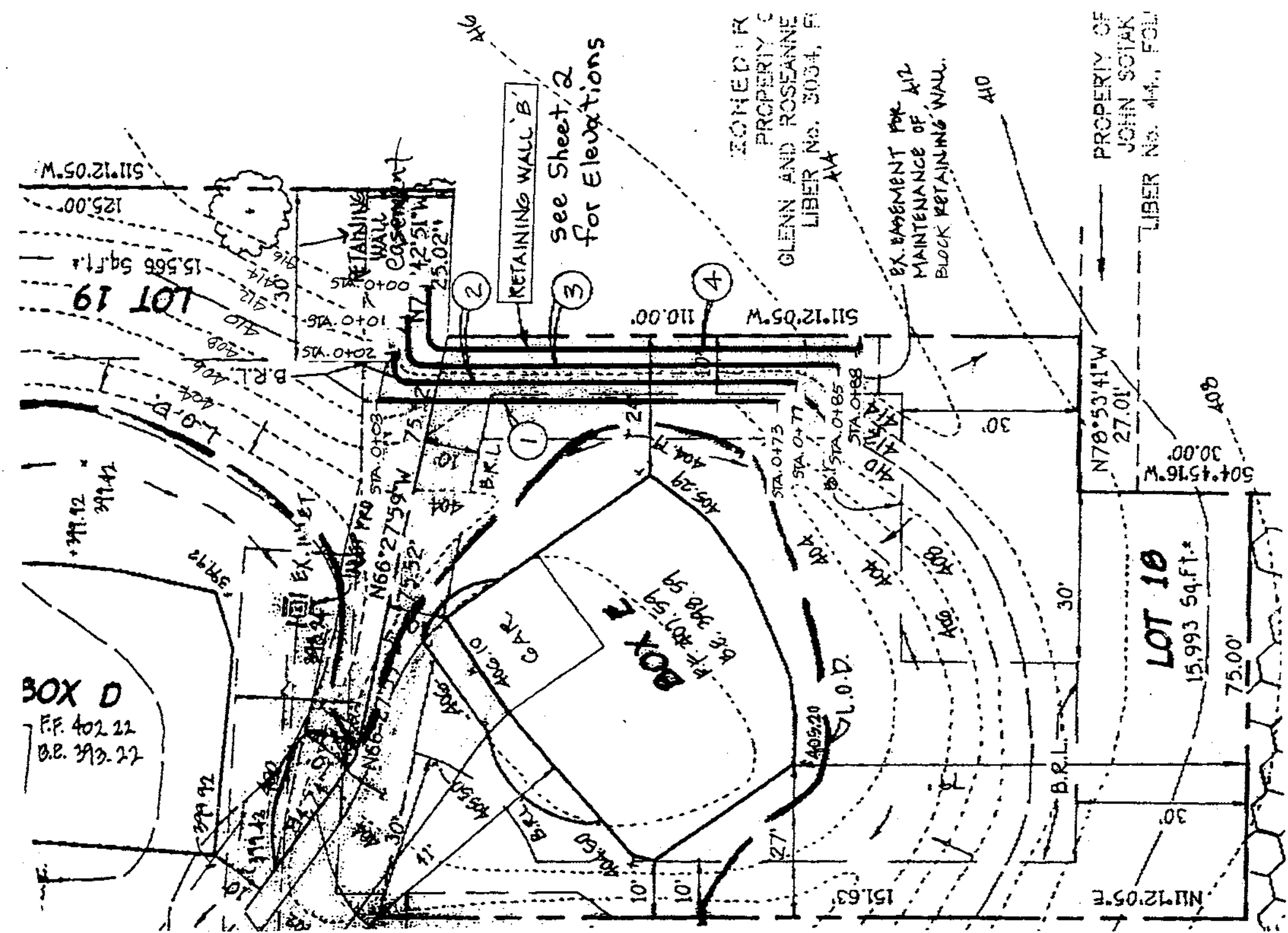
**SITE DEVELOPMENT PLAN AND DETAIL SHEET**  
**SEDIMENT CONTROL PLAN**  
**GERMAN PROPERTY**  
 LOTS 7 -15, 17-21, 23-25

ZONED: R-20  
 TAX MAP NO. 17 PARCEL NO. 132 GRID NO. 20  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999  
 SHEET 2 OF 5

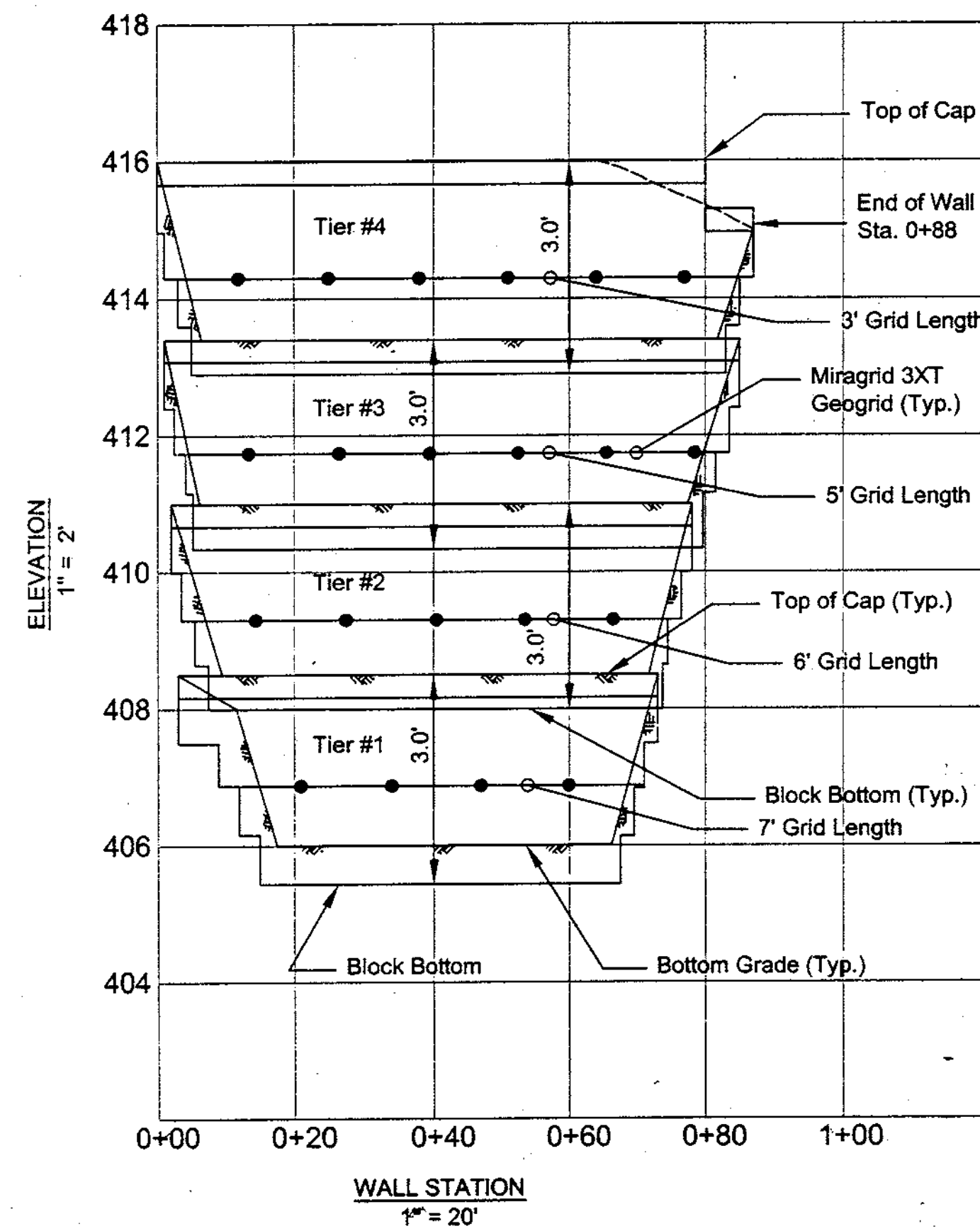




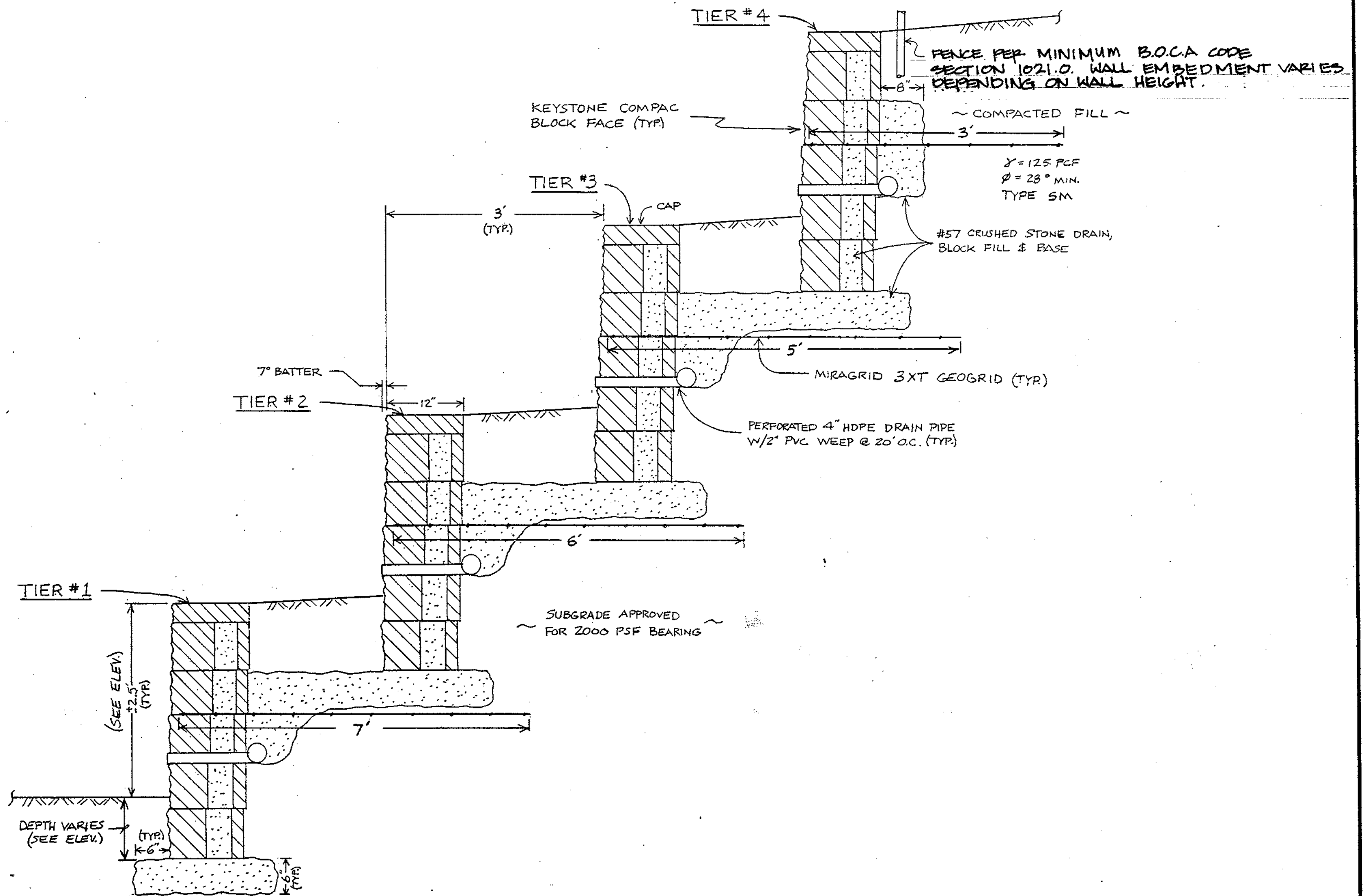




RETAINING WALL 'B' LOCATION PLAN  
1" = 20'



RETAINING WALL 'B' ELEVATION  
1" = 20'



RETAINING WALL 'B' STRUCTURAL DETAIL  
N.T.S.

APPROVED DEPARTMENT OF PLANNING AND ZONING  
 DIRECTOR DEPARTMENT OF PLANNING AND ZONING  
 CHIEF DIVISION OF LAND DEVELOPMENT  
 CHIEF DEVELOPMENT ENGINEERING DIVISION



HILLIS-CARNES  
ENGINEERING ASSOCIATES, INC.

12011 Guilford Road - Suite 106  
(410) 880-4788

Annapolis Junction, Maryland  
Fax: (410)880-4098

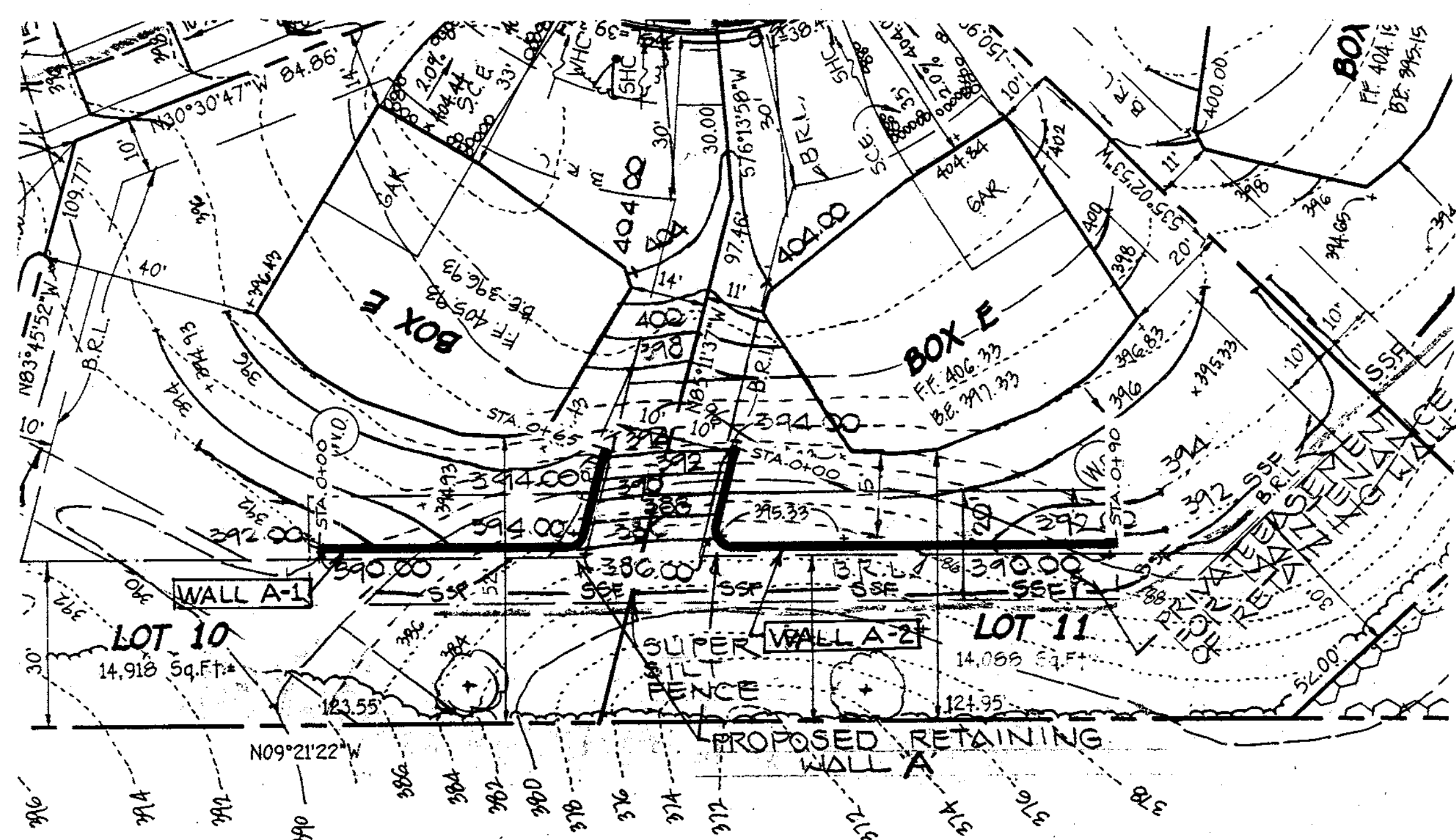
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JOB NUMBER: 00188-A  
SCALE: AS SHOWN  
PAGE OF

REVISED DATE:  
DRAWN BY: RWS  
APPROVED BY: RMH  
DATE: 9/8/00

RETAINING WALL CONSTRUCTION DETAIL  
 GERMAN PROPERTY HOWARD COUNTY, MARYLAND  
 SHEET 4 OF 5

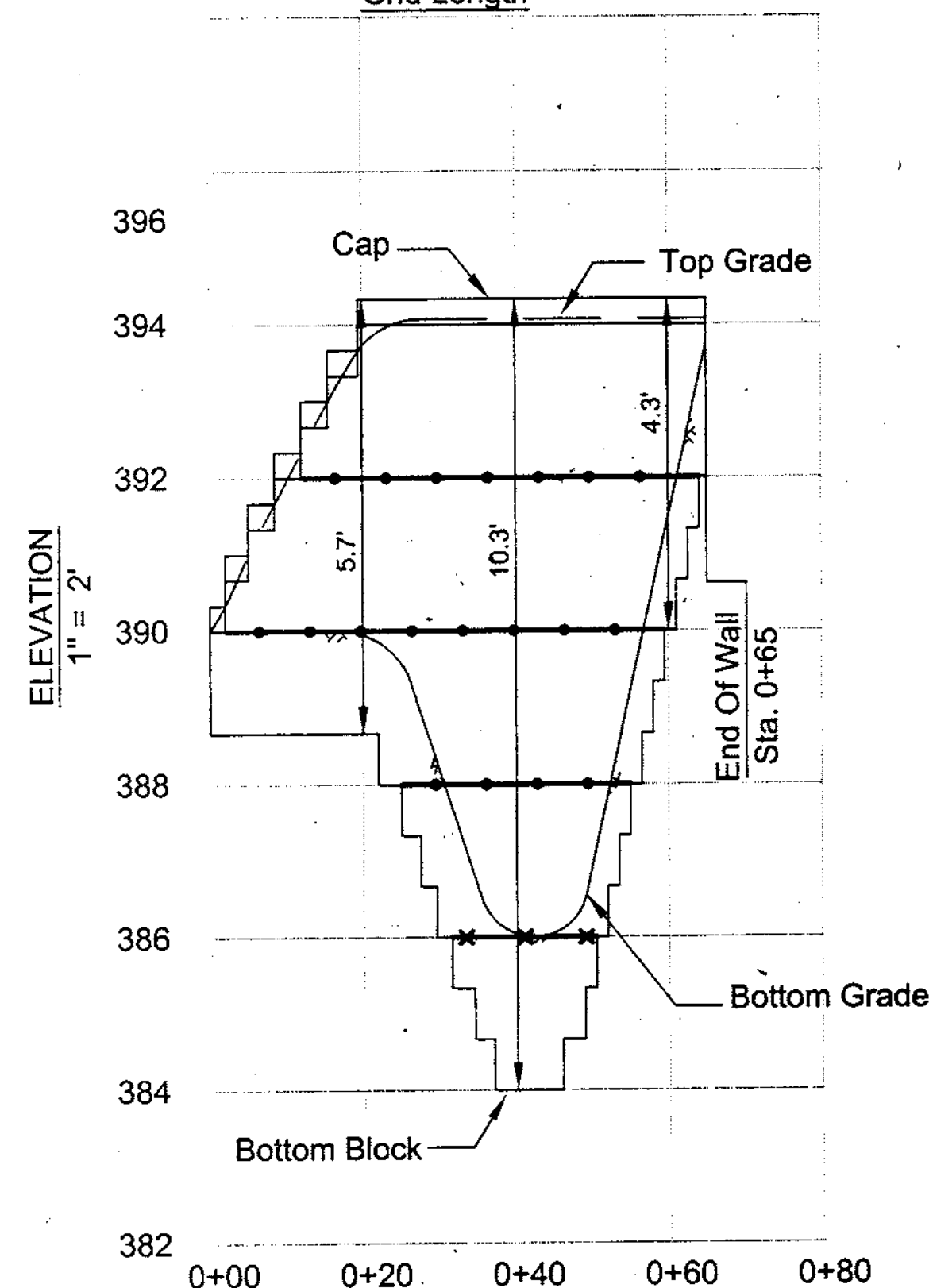
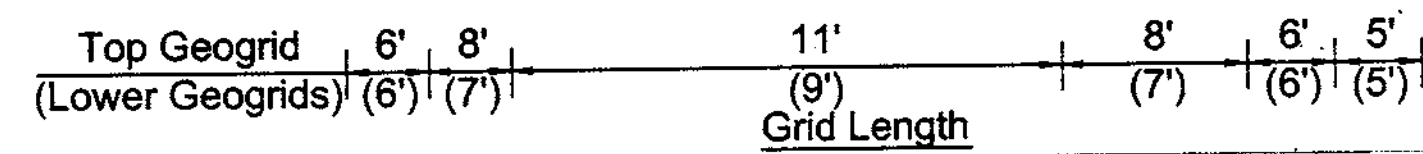
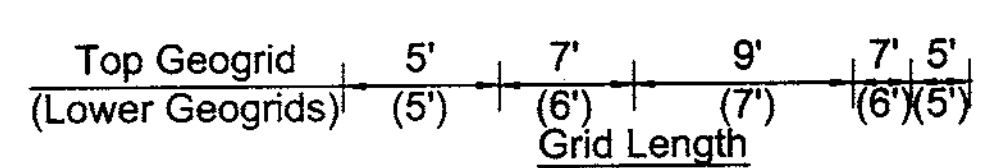
SDP 99-143





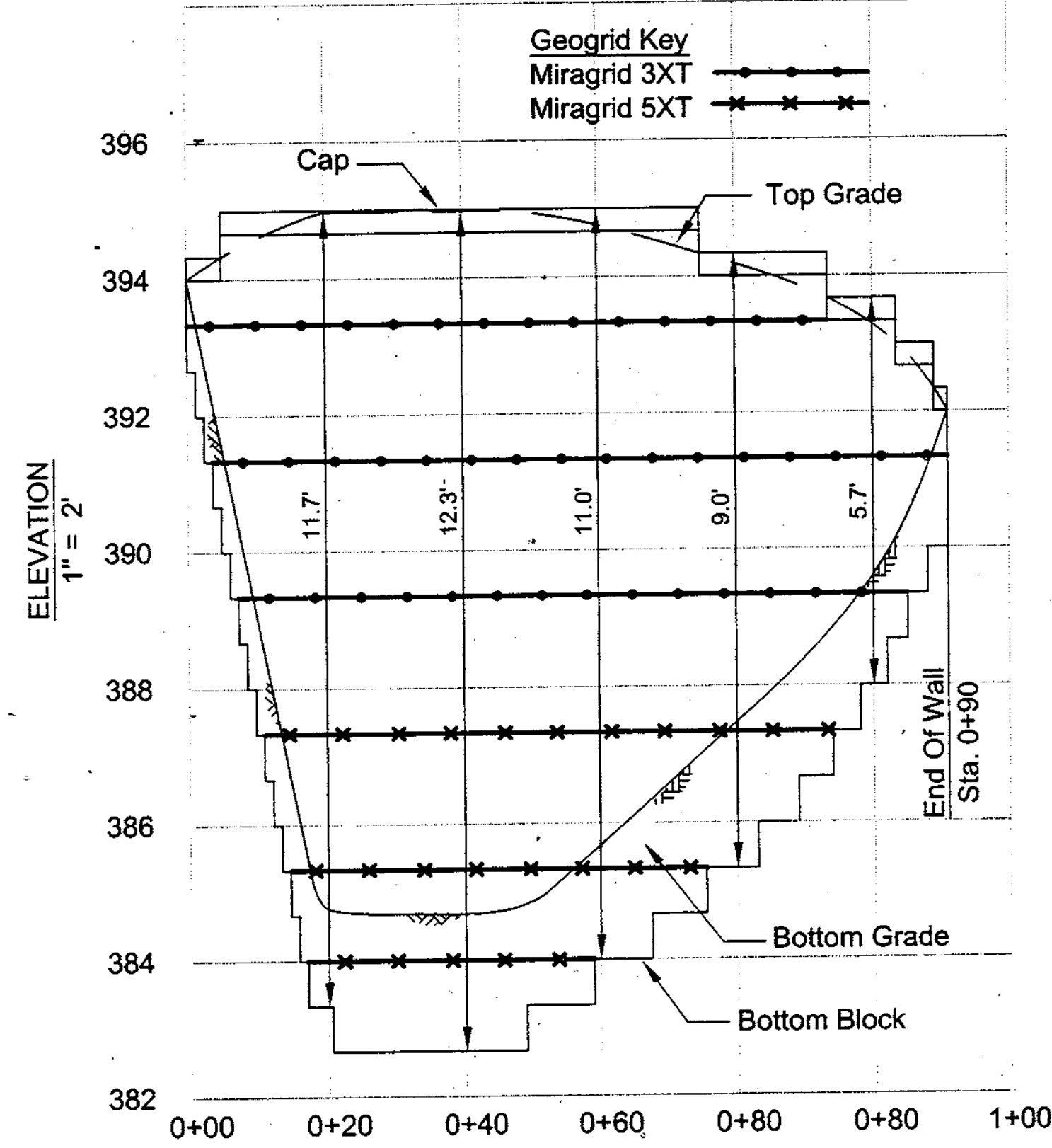
RETAINING WALL 'A' LOCATION PLAN

1" = 20'



WALL A-1 STATION  
1" = 20'

RETAINING WALL 'A' ELEVATION



WALL A-2 STATION  
1" = 20'

CONSTRUCTION OF RETAINING WALLS SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER. FOUNDATION SOIL MUST BE EXAMINED BY A SOILS ENGINEER TO ASSURE THE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTHS.

**SPECIFICATION GUIDELINES**  
**KEYSTONE CONCRETE MODULAR RETAINING WALL**

**PART 1: GENERAL**

- 1.01 DESCRIPTION
  - A. Work includes furnishing and installing modular block retaining wall units to the lines and grades designated on the construction drawings and as specified herein.
  - B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit fill and backfill to the lines and grades designated on the construction drawings.
  - C. Furnishing and installing all appurtenant materials required for construction of the retaining wall as shown on the construction drawings.
- 1.02 RELATED WORK
  - A. Section 02278 - Geogrid Soil Reinforcement.
- 1.03 REFERENCE STANDARDS
  - A. ASTM C90 - 85 Hollow Load Bearing Masonry Units.
  - B. ASTM C140 - 75 Sampling and Testing Concrete Masonry Units.
  - C. ASTM C145 - 85 Solid Load Bearing Concrete Masonry Units.
- 1.04 DELIVERY, STORAGE AND HANDLING
  - A. Contractor shall check the materials upon delivery to assure that proper material has been received.
  - B. Contractor shall prevent excessive mud, wet cement, epoxy, and like materials which may affix themselves, from coming in contact with the materials.
  - C. Contractor shall protect the materials from damage. Damaged material shall not be incorporated into the retaining wall structure.
- 1.05 SUBMITTALS
  - A. Samples of all products used in the work of this section.
  - B. Latest edition of manufacturers specifications for proposed materials, method of installation and list of material proposed for use.
- 1.06 QUALITY ASSURANCE
  - A. Soil testing and inspection service for quality control testing during earthwork operations will be supplied by the owner.

**PART 2: PRODUCTS**

- 2.01 CONCRETE UNITS
  - A. Masonry units shall be Keystone® Retaining Wall Units as manufactured by:
  - B. Concrete wall units shall have a minimum net 28 day compressive strength of 3000 psi. The concrete shall have a maximum moisture absorption of 8 to 8.5 lb/ft<sup>3</sup>.
  - C. Exterior dimensions may vary in accordance with ASTM C90 - 85. Standard and Compac units shall have a minimum of 1 square foot face area each. Mini units shall have a minimum 1/2 square foot face area each.
  - D. Keystone Standard units shall provide a minimum of 150 psi of wall face area. Fill which is contained within the dimensions of the units may be considered as 80% effective weight.

**PART 3: EXECUTION**

- 3.01 EXCAVATION
  - A. Contractor shall excavate to the lines and grades shown on the construction drawings. Over excavation shall not be paid for and replacement with compacted fill and/or wall system components will be required at contractor expense. Contractor shall be careful not to disturb embankment materials beyond lines shown.
- 3.02 FOUNDATION SOIL PREPARATION
  - A. Foundation soil shall be excavated as required for footing dimensions shown on the construction drawings, or as directed by the Engineer.

- B. Foundation soil shall be examined by the Engineer to assure that the actual foundation soil strength meets or exceeds assumed design strength. Soils not meeting required strength shall be removed and replaced with acceptable material.
- C. Over-excavated areas shall be filled with approved compacted backfill material.
- 3.03 BASE LEVELING PAD
  - A. Leveling pad materials shall be placed as shown on the construction drawings, upon undisturbed in situ soils, to a minimum thickness of 8 inches.
  - B. Material shall be compacted so as to provide a level hard surface on which to place the first course of units. Compaction shall be to 95% of standard proctor for sand or gravel type materials. For crushed rock, material shall be densely compacted.
  - C. Leveling pad shall be prepared to insure complete contact of retaining wall unit with base.
  - D. Leveling pad materials shall be to the depths and widths shown. Contractor may opt for using reduced depth of sands, gravel or crushed rock using a concrete topping. Concrete shall be unreinforced and a maximum of 1" to 3" thick.
- 3.04 UNIT INSTALLATION
  - A. First course of concrete wall units shall be placed on the base leveling pad. The units shall be checked for level and alignment. The first course is the most important to insure accurate and acceptable results.
  - B. Units are placed side by side for full length of wall alignment. Alignment may be done by means of a string line or offset from base line.
  - C. Install fiberglass connecting pins and fill all voids at units with unit fill material. Tamp fill.
  - D. Sweep all excess material from top of units and install next course. Insure each course is completely unit filled, backfilled and compacted prior to proceeding to next course.
  - E. Lay up each course insuring that pins protrude into adjoining courses above a minimum of one inch. Two pins are required per unit. Pull each unit forward, away from the embankment, against pins in the previous course and backfill as the course is completed. Repeat procedure to the extent of wall height.
  - F. As appropriate where the wall changes elevation, units can be stepped with grade or turned into the embankment with a convex return end. Provide appropriate buried units on compacted leveling pad in area of convex return end.
- 3.05 CAP INSTALLATION
  - A. Place Keystone Cap units over projecting pins from units below. Pull forward to set back position. Backfill and compact to finished grade.
  - B. As required, provide permanent mechanical connection to wall units with construction adhesive or epoxy. Apply adhesive or epoxy to bottom surface of cap units and install on top of units.
- 3.06 GEOGRID INSTALLATION
  - A. Follow the requirements of Section 02278, GEOGRID SOIL REINFORCEMENT.

**GEOGRID SOIL REINFORCEMENT**

**PART 1: GENERAL**

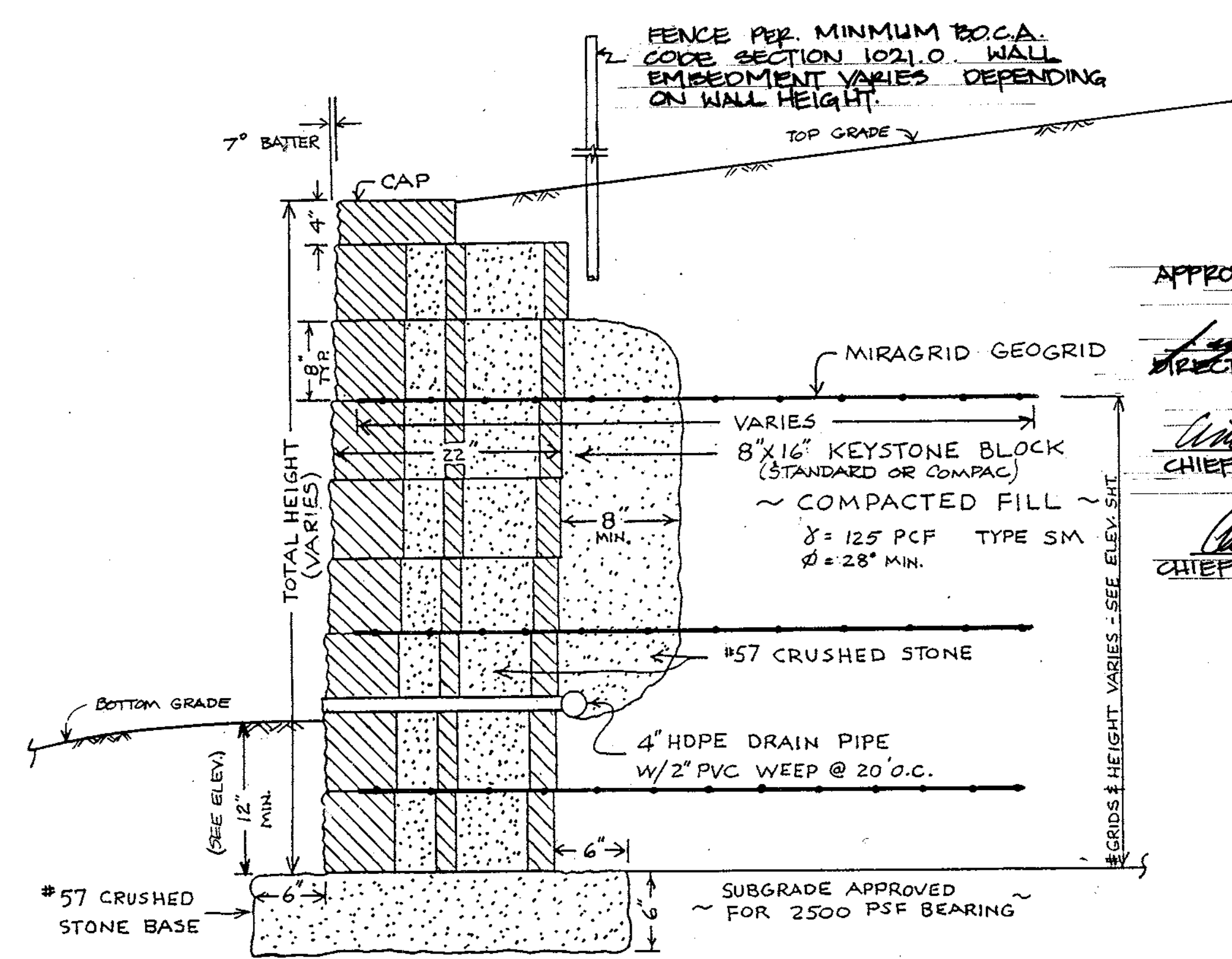
- 1.01 DESCRIPTION
  - A. Work includes furnishing and installing geogrid reinforcement, wall fill and backfill to the lines and grades designated on the construction drawings.
  - B. Work includes furnishing and installing all appurtenant materials required for construction of the geogrid reinforced soil retaining wall as shown on the construction drawings.
- 1.02 RELATED WORK
  - A. Section 02278 - KEYSTONE CONCRETE MODULAR RETAINING WALL.
- 1.03 REFERENCE STANDARDS
  - A. See specific geogrid manufacturers reference standards.
- 1.04 DELIVERY, STORAGE AND HANDLING
  - A. Contractor shall check the geogrid upon delivery to assure that the proper material has been received.
  - B. Geogrids shall be stored above -20°F.
  - C. Contractor shall prevent excessive mud, wet cement, epoxy and like materials which may affix themselves to the gridwork, from coming in contact with the geogrid material.
  - D. Rolled geogrid material may be laid flat or stood on end for storage.
- 1.05 SUBMITTALS
  - A. Samples of all products used in the work of this section.
  - B. Latest edition of manufacturers specifications for proposed materials, method of installation and list of material proposed for use.
- 1.06 QUALITY ASSURANCE
  - A. Soil testing and inspection services for quality control testing during earthwork operation will be supplied by the owner.

**PART 2: PRODUCTS**

- 2.01 DEFINITIONS
  - A. Geogrid products shall be high density polyethylene expanded sheet or polyester woven fiber materials, specifically fabricated for use as soil reinforcement.
  - B. Concrete retaining wall units are as detailed on the drawings and are specified under Section 02278 - KEYSTONE CONCRETE MODULAR RETAINING WALL.
  - C. Wall fill is a free draining granular material used within the concrete units.
  - D. Backfill is the soil which is used as fill for the reinforced soil mass.
  - E. Foundation soil is the in situ soil.
- 2.02 GEOGRID
  - A. Geogrid shall be the type as shown on the drawings having the property requirements as detailed within the manufacturers specifications.
- 2.03 ACCEPTABLE MANUFACTURERS
  - A. A manufacturer's product shall be approved by the Engineer prior to bid opening.

**PART 3: EXECUTION**

- 3.01 FOUNDATION SOIL PREPARATION
  - A. Foundation soil shall be excavated to the lines and grades as shown on the construction drawings or as directed by the Engineer.
  - B. Foundation soil shall be examined by the Engineer to assure that the actual foundation soil strength meets or exceeds assumed design strength.
  - C. Over-excavated areas shall be filled with approved compacted backfill material.
  - D. Foundation soil shall be proof rolled prior to fill and geogrid placement.
- 3.02 WALL ERECTION
  - A. Wall erection shall be as specified under Section 02278 - KEYSTONE CONCRETE MODULAR RETAINING WALL.
- 3.03 GEOGRID INSTALLATION
  - A. The geogrid soil reinforcement shall be laid horizontally on compacted backfill. Connect to the concrete wall units by hooking geogrid over fiberglass pins. Pull taut, and anchor before backfill is placed on the geogrid.
  - B. Slack in the geogrid at the wall unit connections shall be removed.
  - C. Geogrid shall be laid at the proper elevation and orientation as shown on the construction drawings or as directed by the Engineer.
  - D. Correct orientation (roll direction) of the geogrid shall be verified by the contractor.
  - E. To pretension geogrid, pull pinned geogrid taut to eliminate loose folds. Stake or secure back edge of geogrid prior to and during backfill and compaction.
  - F. Follow manufacturer guidelines relative to overlap requirements of uniaxial and biaxial geogrids.
- 3.04 FILL PLACEMENT
  - A. Backfill material shall be placed in 8 inch lifts and compacted to 95% of Standard Proctor.
  - B. Backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack or loss of pretension of the geogrid.
  - C. Only hand-operated compaction equipment shall be allowed within 3 feet of the back surface of the Keystone Units.
  - D. Backfill shall be placed from the wall rearward into the embankment to insure that the geogrid remains taut.
  - E. Tracked construction equipment shall not be operated directly on the geogrid. A minimum backfill thickness of 8 inches is required prior to operation of tracked vehicles over the geogrid. Turning of tracked vehicles should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
  - F. Rubber-tired equipment may pass over the geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.



RETAINING WALL 'A' STRUCTURAL DETAIL  
N.T.S.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 10/24/00  
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 1/4/00  
CHIEF, DIVISION OF LAND DEVELOPMENT  
*[Signature]* 10/3/00 CE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION.



**HILLIS-CARNES ENGINEERING ASSOCIATES, INC.**

12011 Guilford Road - Suite 106  
(410) 880-4788  
Annapolis Junction, Maryland  
Fax: (410) 880-4098

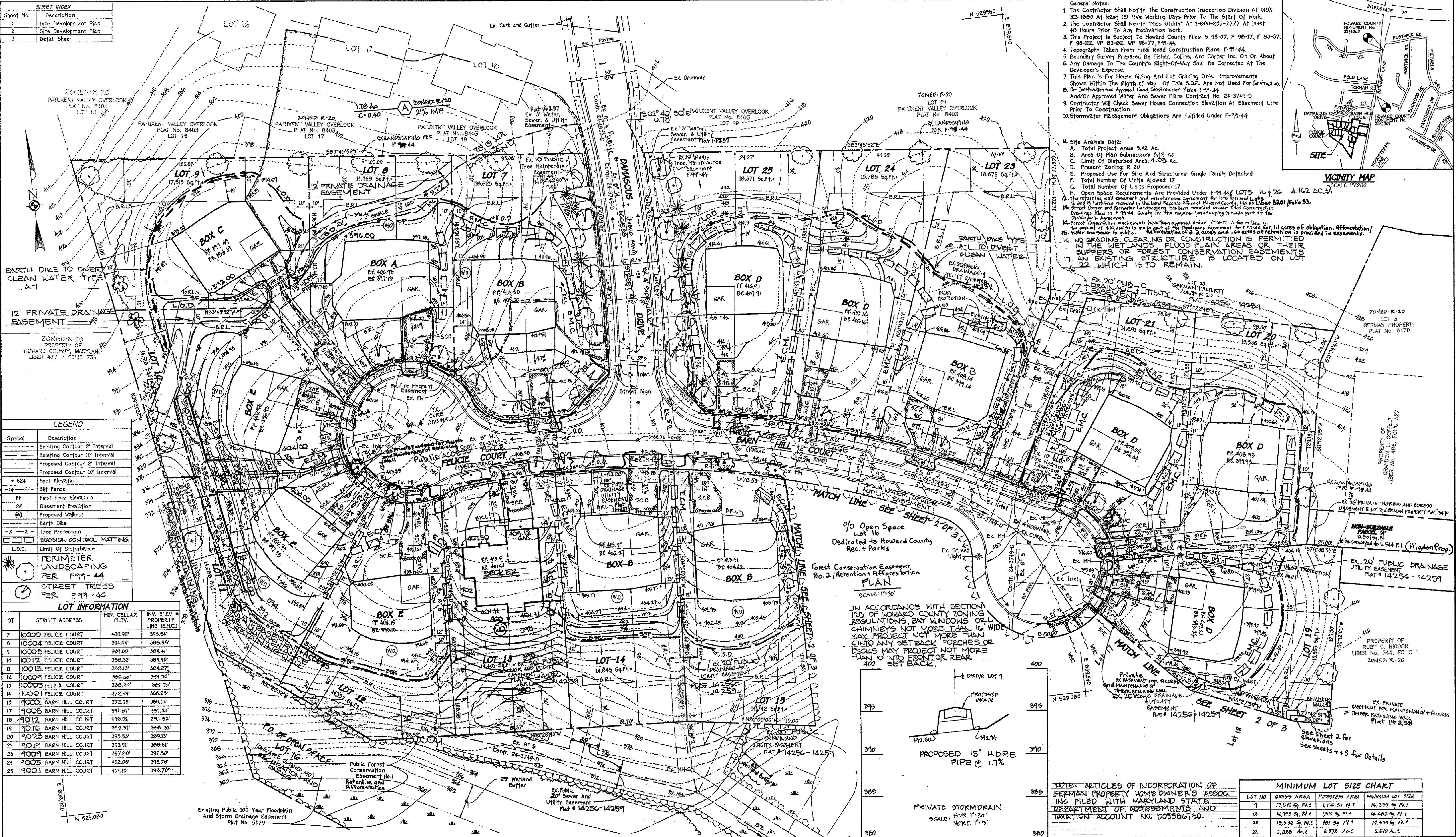
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JOB NUMBER: 00188-A  
SCALE: AS SHOWN  
PAGE OF

REVISED DATE:  
DRAWN BY: RWS  
APPROVED BY: RMH  
DATE: 9/8/00

**RETAINING WALL CONSTRUCTION DETAIL**  
**GERMAN PROPERTY HOWARD COUNTY, MARYLAND**  
SHEET 5 OF 5  
SDP 99-143



SHEET INDEX	Sheet No.	Description
	1	Site Development Plan
	2	Site Development Plan
	3	Detail Sheet



- General Notes:
- The Contractor Shall Notify The Construction Inspection Division At (410) 313-1000 At Least (5) Five Working Days Prior To The Start Of Work.
  - The Contractor Shall Notify "Miss Utility" At 1-800-257-7777 At Least 48 Hours Prior To Any Excavation Work.
  - This Project Is Subject To Howard County Files: 5 96-07, P 9B-17, F 83-37, F 96-112, VP 83-82, WP 96-77, F99-44.
  - Topography Taken From Final Road Construction Plans: F-99-44.
  - Boundary Survey Prepared By Fisher, Collins, And Carter Inc. On Or About 6/2/99.
  - Any Damage To The County's Right-Of-Way Shall Be Corrected At The Developer's Expense.
  - This Plan Is For House Siting And Lot Grading Only. Improvements Shown Within The Right-Of-Way Of This S.D.P. Are Not Used For Construction.
  - For Construction See Approved Road Construction Plans: F-99-44, And/Or Approved Water And Sewer Plans Contract No. 24-3749-D.
  - Contractor Will Check Sewer House Connection Elevation At Easement Line Prior To Construction.
  - Stormwater Management Obligations Are Fulfilled Under F-99-44.

- II. Site Analysis Data:
- Total Project Area: 542 Ac.
  - Area Of Plan Submission: 542 Ac.
  - Limit Of Disturbed Area: 4.03 Ac.
  - Present Zoning: R-20
  - Proposed Use For Site And Structures: Single Family Detached
  - Total Number Of Units Allowed: 17
  - Total Number Of Units Proposed: 17
  - Open Space Requirements Are Provided Under F-99-44: LOTS 14 & 26 4.162 AC.
  - The retaining wall easement and maintenance agreement for lots 11 and 12 and Lot 13 were taken from the local records in the office of Howard County, Maryland. The Great Corner and Farmer Landscaping, Inc. has been provided under Road Construction Drawings filed to F-99-44. Surety for the required landscaping is made part of the Developer's Agreement.
  - Forest Conservation requirements have been approved under P-18-11. A fee in lieu of the amount of \$ 1,348.80 is made part of the Developer's agreement for 1.11 acres of obligation. (Reforestation/ Water and Sewer Is provided under P-18-11 & 2.0 acres of retention is provided in easements).
  - NO GRADING, CLEARING OR CONSTRUCTION IS PERMITTED IN THE WETLANDS FLOOD PLAIN AREAS OR THEIR BUFFERS OR FORES CONSERVATION EASEMENTS.
  - AN EXISTING STRUCTURE IS LOCATED ON LOT 22 WHICH IS TO REMAIN.

**LEGEND**

Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
• 624	Spot Elevation
-SF -SF	Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
---	Proposed Walkout
---	Earth Dike
-X -X	Tree Protection
---	EROSION CONTROL MATTING
L.O.D.	Limit Of Disturbance
---	PERIMETER LANDSCAPING PER F99-44
---	STREET TREES PER F99-44

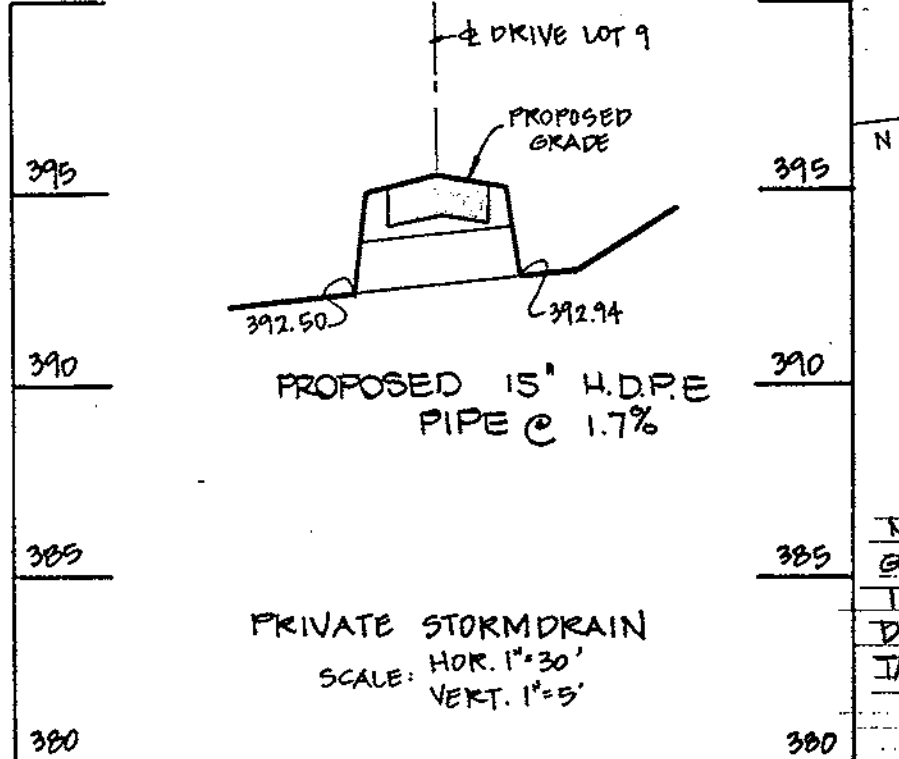
**LOT INFORMATION**

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5%HC)
7	10000 FELICIE COURT	400.92'	395.64'
8	10004 FELICIE COURT	394.04'	389.98'
9	10008 FELICIE COURT	391.00'	384.41'
10	10012 FELICIE COURT	388.33'	384.40'
11	10016 FELICIE COURT	388.13'	384.27'
12	10009 FELICIE COURT	386.60'	381.70'
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23	10009 BARN HILL COURT	397.80'	392.50'
24	10005 BARN HILL COURT	402.08'	396.78'
25	10001 BARN HILL COURT	404.10'	398.70'

1/0 Open Space Lot 16 Dedicated to Howard County Rec. + Parks

Forest Conservation Easement No. 2 / Retention + Reforestation PLAN SCALE: 1"=50'

IN ACCORDANCE WITH SECTION 12B OF HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS OR CHIMNEYS NOT MORE THAN 10' WIDE MAY PROJECT NOT MORE THAN 4' INTO ANY SETBACK PORCHES OR DECKS MAY PROJECT NOT MORE THAN 10' INTO FRONT OR REAR SETBACK.



NOTE: ARTICLES OF INCORPORATION OF GERMAN PROPERTY HOME OWNER'S ASSOCIATION FILED WITH MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ACCOUNT NO: 105586150.

LOT NO.	GROSS AREA	PISTEM AREA	MINIMUM LOT SIZE
9	17,515 Sq. Ft.	1,176 Sq. Ft.	16,339 Sq. Ft.
18	15,913 Sq. Ft.	1,310 Sq. Ft.	14,603 Sq. Ft.
20	15,536 Sq. Ft.	961 Sq. Ft.	14,575 Sq. Ft.
22	2,588 Ac.	0.078 Ac.	2,510 Ac.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL FREE  
 ELLICOTT CITY, MARYLAND 21114  
 (410) 461-2900

**REVISION**

DATE	DESCRIPTION
11-22-00	REVISE HOUSE AND GRADING LOT 13.

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Emil C. ...*  
 Signature of Engineer (Print name below signature) Date: 4-18-00

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*Michael ...*  
 Signature of Developer (Print name below signature) Date: 4-18-00

Reviewed for HOWARD SCD and meets Technical Requirements.

*Carol ...*  
 U.S.D.A. - Natural Resources Conservation Service  
 Date: 9/28/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John ...*  
 Howard SCD  
 Date: 9/28/00

**OWNERS**

TRINITY HOMES 8212 DEVON DRIVE COLUMBIA, MARYLAND 21044

JAMES TOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Carol ...*  
 Chief, Division of Land Development 05  
 Date: 10/3/00

*John ...*  
 Chief, Development Engineering Division 06  
 Date: 10/12/00

*John ...*  
 Director, Department of Planning and Zoning 05T  
 Date: 10/12/00

PROJECT: GERMAN PROPERTY SECTION/AREA: N/A LOT NO.: 7-1517-21 and 23-25

PLAT: 1425C-14259 BLOCK NO.: 20 ZONE: R-20 TAX/ZONE: 17 ELEC. DIST.: SECOND CENSUS TR.: 6022

WATER CODE: H-06 SEWER CODE: 910000

**SITE DEVELOPMENT PLAN SEDIMENT CONTROL PLAN**

**GERMAN PROPERTY**  
 LOTS 7-15, 17-21, 23-25

ZONED: R-20  
 TAX MAP No. 17 PARCEL NO. 132 GRID NO. 20  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999  
 SHEET 1 OF 5



**GEOGRID SOIL REINFORCEMENT**

**SPECIFICATION GUIDELINES  
KEYSTONE CONCRETE MODULAR RETAINING WALL**

**PART 1: GENERAL**

**1.01 DESCRIPTION**  
A. Work includes furnishing and installing modular block retaining wall units to the lines and grades designated on the construction drawings and as specified herein.  
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit fill and backfill to the lines and grades designated on the construction drawings.  
C. Furnishing and installing all appurtenant materials required for construction of the retaining wall as shown on the construction drawings.

**1.02 RELATED WORK**  
A. Section 0225 - Geogrid Soil Reinforcement.

**1.03 REFERENCE STANDARDS**  
A. ASTM C90-85 Hollow Load Bearing Masonry Units.  
B. ASTM C140-75 Sampling and Testing Concrete Masonry Units.  
C. ASTM C145-85 Solid Load Bearing Concrete Masonry Units.

**1.04 DELIVERY, STORAGE AND HANDLING**  
A. Contractor shall check the materials upon delivery to assure that proper material has been received.  
B. Contractor shall prevent excessive mud, wet cement, epoxy and like materials which may affix themselves, from coming in contact with the materials.  
C. Contractor shall protect the materials from damage. Damaged material shall not be incorporated into the retaining wall structure.

**1.05 SUBMITTALS**  
A. Samples of all products used in the work of this section.  
B. Latest edition of manufacturers specifications for proposed materials, method of installation and list of material proposed for use.

**1.06 QUALITY ASSURANCE**  
A. Soil testing and inspection services for quality control testing during earthwork operations will be supplied by the owner.

**PART 2: PRODUCTS**  
**2.01 CONCRETE UNITS**  
A. Masonry units shall be Keystone® Retaining Wall Units as manufactured by:  
B. Concrete wall units shall have a minimum net 28 day compressive strength of 3000 psi. The concrete shall have a maximum moisture absorption of 8 to 8.5%.  
C. Exterior dimensions may vary in accordance with ASTM C90-85. Standard and Compac units shall have a minimum of 1 square foot face area each. Mini units shall have a minimum 1/2 square foot face area each.  
D. Keystone Standard units shall provide a minimum of 150 psf of wall face area. Fill which is contained within the dimensions of the units may be considered as 80% effective weight.

**2.02 FIBERGLASS CONNECTING PINS**  
A. Connecting pins shall be 1/2 inch diameter, thermoset, isophthalic polyester resin/pultruded fiberglass reinforcement rods.  
B. Pins shall have a minimum flexural strength of 125,000 psi and short beam shear of 6400 psi.

**2.03 BASE LEVELING PAD MATERIAL**  
A. Material shall consist of compacted sand, gravel, crushed rock or leveling concrete (non-reinforced) as shown on construction drawing. The compacted leveling pad shall be a minimum 6 inches thick. When using a non-reinforced leveling concrete option, 1" to 3" thick, maintain the total leveling pad thickness.  
B. Place recommended fill behind the retaining wall units.

**2.04 UNIT FILL**  
A. Fill for units shall be free draining crushed stone, 3/8" to 3/4", or coarse gravel (no more than 5% shall pass the No. 200 sieve with a maximum size of 3/4"). Gradation of the fill shall be approved by the Engineer.  
B. Where additional fill is required contractor shall submit sample and specifications to the engineer to determine if acceptable.

**2.05 BACKFILL**  
A. Material shall be in situ soils when approved by the engineer unless otherwise specified in the drawings. Unsuitable soils for backfill (heavy clays or organic soils) shall not be used in the backfill or in the reinforced soil mass.  
B. Where additional fill is required contractor shall submit sample and specifications to the engineer to determine if acceptable.

**PART 3: EXECUTION**  
**3.01 EXCAVATION**  
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Over excavation shall not be paid for and replacement with compacted fill and/or wall system components will be required at contractor expense. Contractor shall be careful not to disturb embankment materials beyond lines shown.  
**3.02 FOUNDATION SOIL PREPARATION**  
A. Foundation soil shall be excavated as required for footing dimensions shown on the construction drawings, or as directed by the Engineer.

B. Foundation soil shall be examined by the Engineer to assure that the actual foundation soil strength meets or exceeds assumed design strength. Soils not meeting required strength shall be removed and replaced with acceptable material.  
C. Over-excavated areas shall be filled with approved compacted backfill material.

**3.03 BASE LEVELING PAD**  
A. Leveling pad materials shall be placed as shown on the construction drawings, upon undisturbed in situ soils, to a minimum thickness of 6 inches.  
B. Material shall be compacted so as to provide a level hard surface on which to place the first course of units. Compaction shall be 95% of standard proctor for sand or gravel type materials. For crushed rock, material shall be densely compacted.

**3.04 UNIT INSTALLATION**  
A. First course of concrete wall units shall be placed on the base leveling pad. The units shall be checked for level and alignment. The first course is the most important to insure accurate and acceptable results.  
B. Insure that units are in full contact with base.  
C. Units are placed side by side for full length of wall alignment. Alignment may be done by means of a string line or offset from base line.  
D. Install fiberglass connecting pins and fill all voids at units with unit fill material. Tamp fill.  
E. Sweep all excess material from top of units and install next course. Insure each course is completely unit filled, backfilled and compacted prior to proceeding to next course.  
F. Lay up each course insuring that pins protrude into adjoining courses above a minimum of one inch. Two pins are required per unit. Pull each unit forward, away from the embankment, against pins in the previous course and backfill as the course is completed. Repeat procedure to the extent of wall height.  
G. As appropriate where the wall changes elevation, units can be stepped with grade or turned into the embankment with a convex return end. Provide appropriate buried units on compacted leveling pad in area of convex return end.

**3.05 CAP INSTALLATION**  
A. Place Keystone Cap units over projecting pins from units below. Pull forward to set back position. Back fill and compact to finished grade.  
B. As required, provide permanent mechanical connection to wall units with construction adhesive or epoxy. Apply adhesive or epoxy to bottom surface of cap units and install on units below.

**3.06 GEOGRID INSTALLATION**  
A. Follow the requirements of Section 02275, GEOGRID SOIL REINFORCEMENT.

**PART 1: GENERAL**  
**1.01 DESCRIPTION**  
A. Work includes furnishing and installing geogrid reinforcement, wall fill and backfill to the lines and grades designated on the construction drawings.  
B. Work includes furnishing and installing all appurtenant materials required for construction of the geogrid reinforced soil retaining wall as shown on the construction drawings.

**1.02 RELATED WORK**  
A. Section 02275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.

**1.03 REFERENCE STANDARDS**  
A. Specific geogrid manufacturers reference standards.

**1.04 DELIVERY, STORAGE AND HANDLING**  
A. Contractor shall check the geogrid upon delivery to assure that the proper material has been received.  
B. Geogrids shall be stored above -20°F.  
C. Contractor shall prevent excessive mud, wet cement, epoxy and like materials which may affix themselves to the geogrid, from coming in contact with the geogrid material.  
D. Rolled geogrid material may be laid flat or stood on end for storage.

**1.05 SUBMITTALS**  
A. Samples of all products used in the work of this section.  
B. Latest edition of manufacturers specifications for proposed materials, method of installation and list of material proposed for use.

**1.06 QUALITY ASSURANCE**  
A. Soil testing and inspection services for quality control testing during earthwork operation will be supplied by the owner.

**PART 2: PRODUCTS**  
**2.01 DEFINITIONS**  
A. Geogrid products shall be high density polyethylene expanded sheet or polyester woven fiber materials, specifically fabricated for use as soil reinforcement.  
B. Concrete retaining wall units are as detailed on the drawings and are specified under Section 02275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.  
C. Wall fill is a free draining granular material used within the concrete units.  
D. Backfill is the soil which is used as fill for the reinforced soil mass.  
E. Foundation soil is the in situ soil.

**2.02 GEOGRID**  
A. Geogrids shall be the type as shown on the drawings having the property requirements as described within the manufacturer specifications.  
**2.03 ACCEPTABLE MANUFACTURERS**  
A. A manufacturer's product shall be approved by the Engineer prior to bid opening.

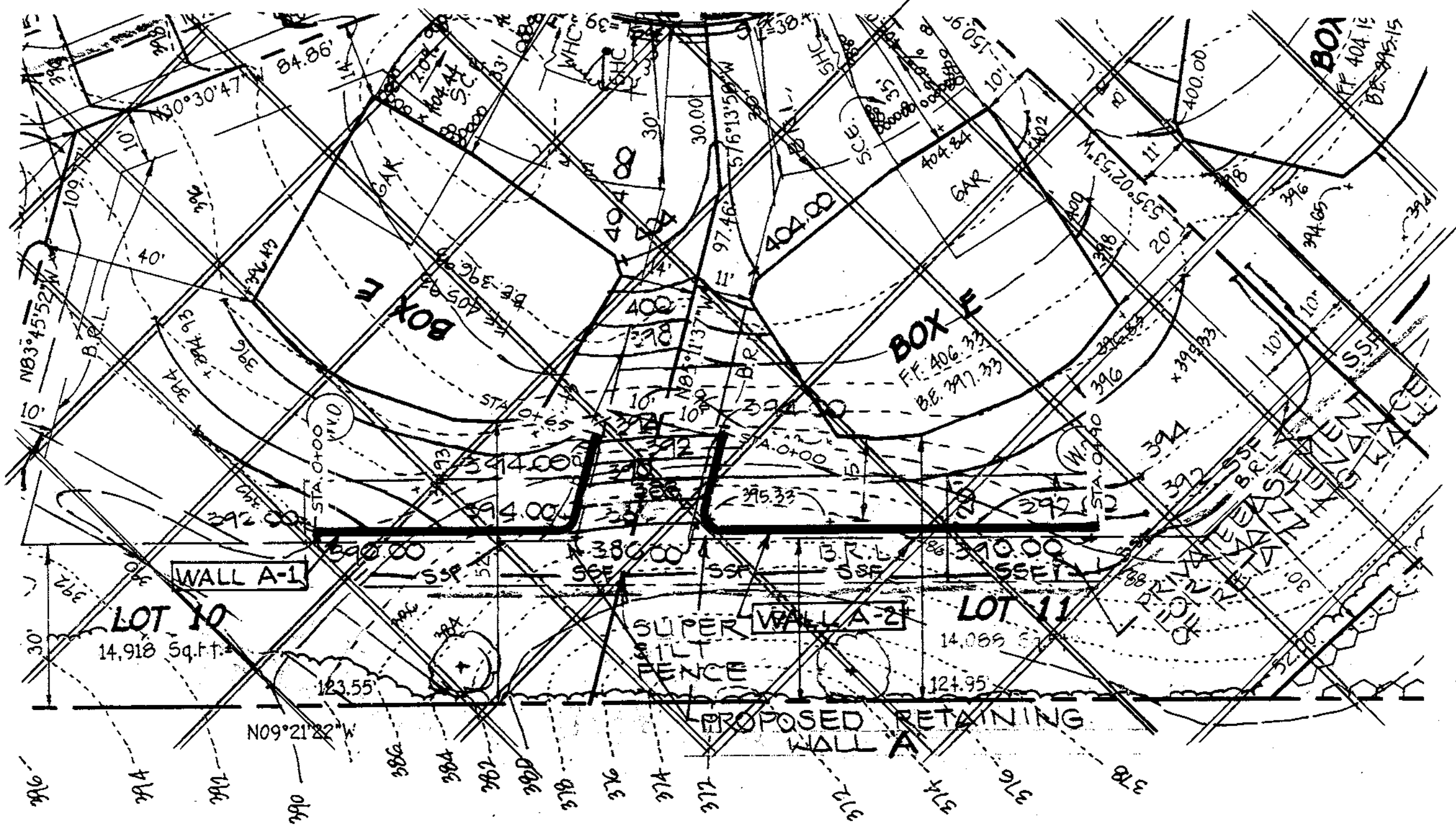
**PART 3: EXECUTION**

**3.01 FOUNDATION SOIL PREPARATION**  
A. Foundation soil shall be excavated to the lines and grades as shown on the construction drawings or as directed by the Engineer.  
B. Foundation soil shall be examined by the Engineer to assure that the actual foundation soil strength meets or exceeds assumed design strength.  
C. Over-excavated areas shall be filled with approved compacted backfill material.  
D. Foundation soil shall be proctor filled prior to fill and geogrid placement.

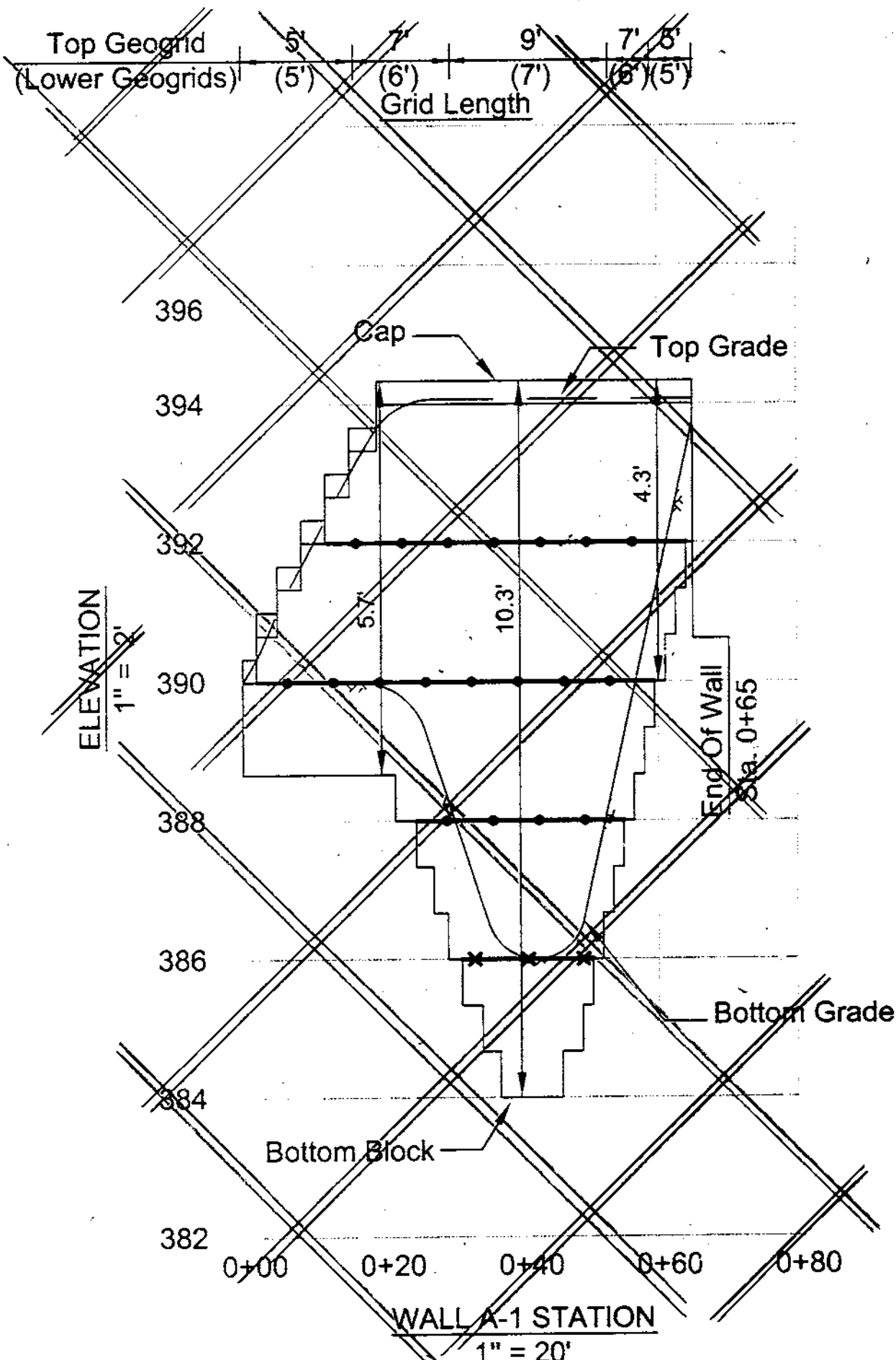
**3.02 WALL ERECTION**  
A. Wall erection shall be as specified under Section 02275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.

**3.03 GEOGRID INSTALLATION**  
A. The geogrid soil reinforcement shall be laid horizontally on compacted backfill. Connect to the concrete wall units by hooking geogrid over fiberglass pins. Pull taut, and anchor before backfill is placed on the geogrid.  
B. Slack in the geogrid at the wall unit connections shall be removed.  
C. Geogrid shall be laid at the proper elevation and orientation as shown on the construction drawings or as directed by the Engineer.  
D. Connect orientation (roll direction) of the geogrid shall be verified by the contractor.  
E. To pretension geogrid, pull pinned geogrid taut to eliminate loose folds. Stake or secure back edge of geogrid prior to and during backfill and compaction.  
F. Follow manufacturer's guidelines relative to overlap requirements of uniaxial and biaxial geogrids.

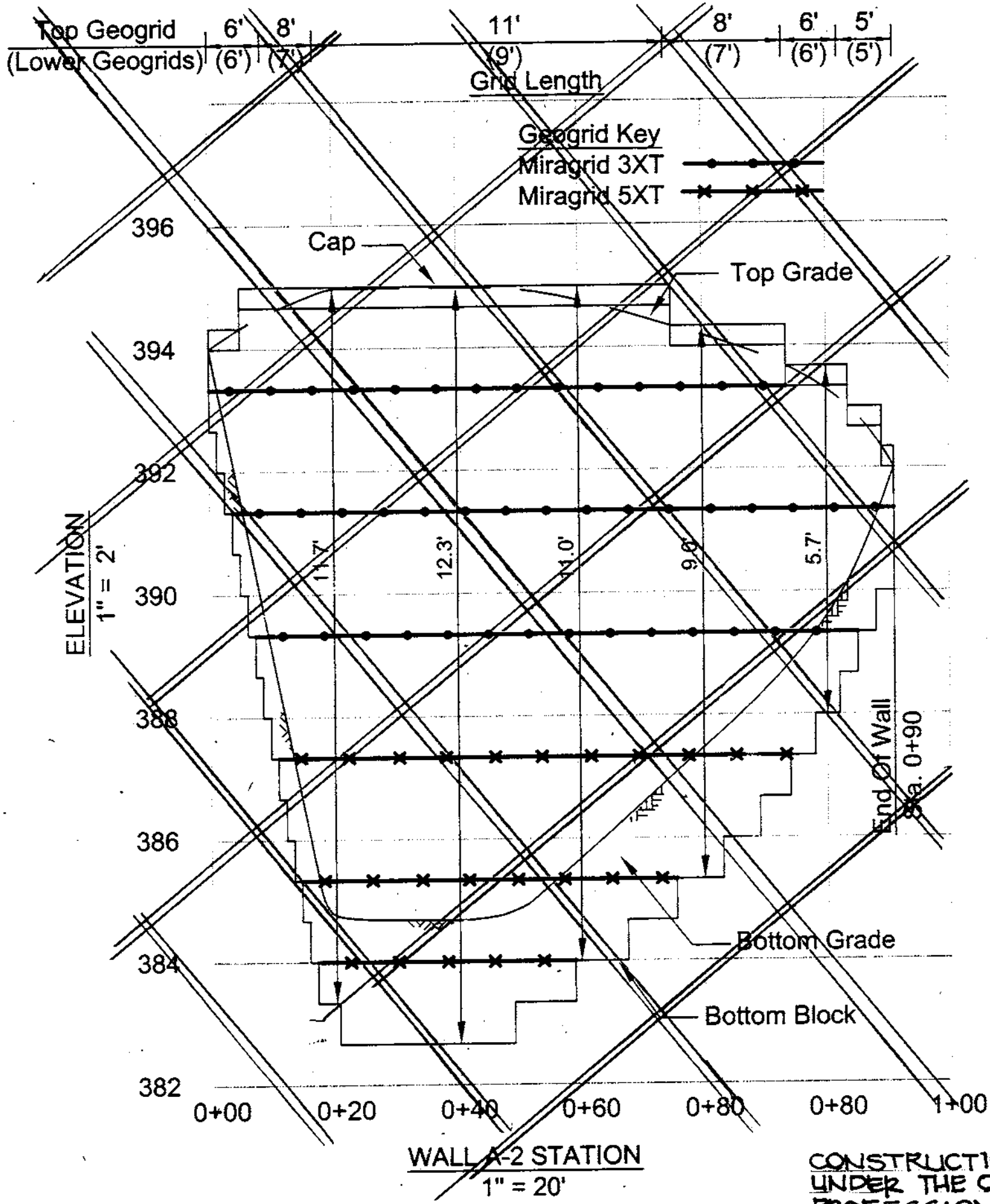
**3.04 FILL PLACEMENT**  
A. Backfill material shall be placed in 8 inch lifts and compacted to 95% of Standard Proctor.  
B. Backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slick or loss of pretension of the geogrid.  
C. Only hand-operated compaction equipment shall be allowed within 3 feet of the back surface of the Keystone units.  
D. Backfill shall be placed from the wall rearward into the embankment to insure that the geogrid remains taut.  
E. Tracked construction equipment shall not be operated directly on the geogrid. A minimum backfill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Turning of tracked vehicles should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.  
F. Rubber-tired equipment may pass over the geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.



**RETAINING WALL 'A' LOCATION PLAN**



**RETAINING WALL 'A' ELEVATION**



CONSTRUCTION OF RETAINING WALLS SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER. FOUNDATION SOIL MUST BE EXAMINED BY A SOILS ENGINEER TO ASSURE THE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTHS.

**RETAINING WALL 'A' STRUCTURAL DETAIL**  
N.T.S.

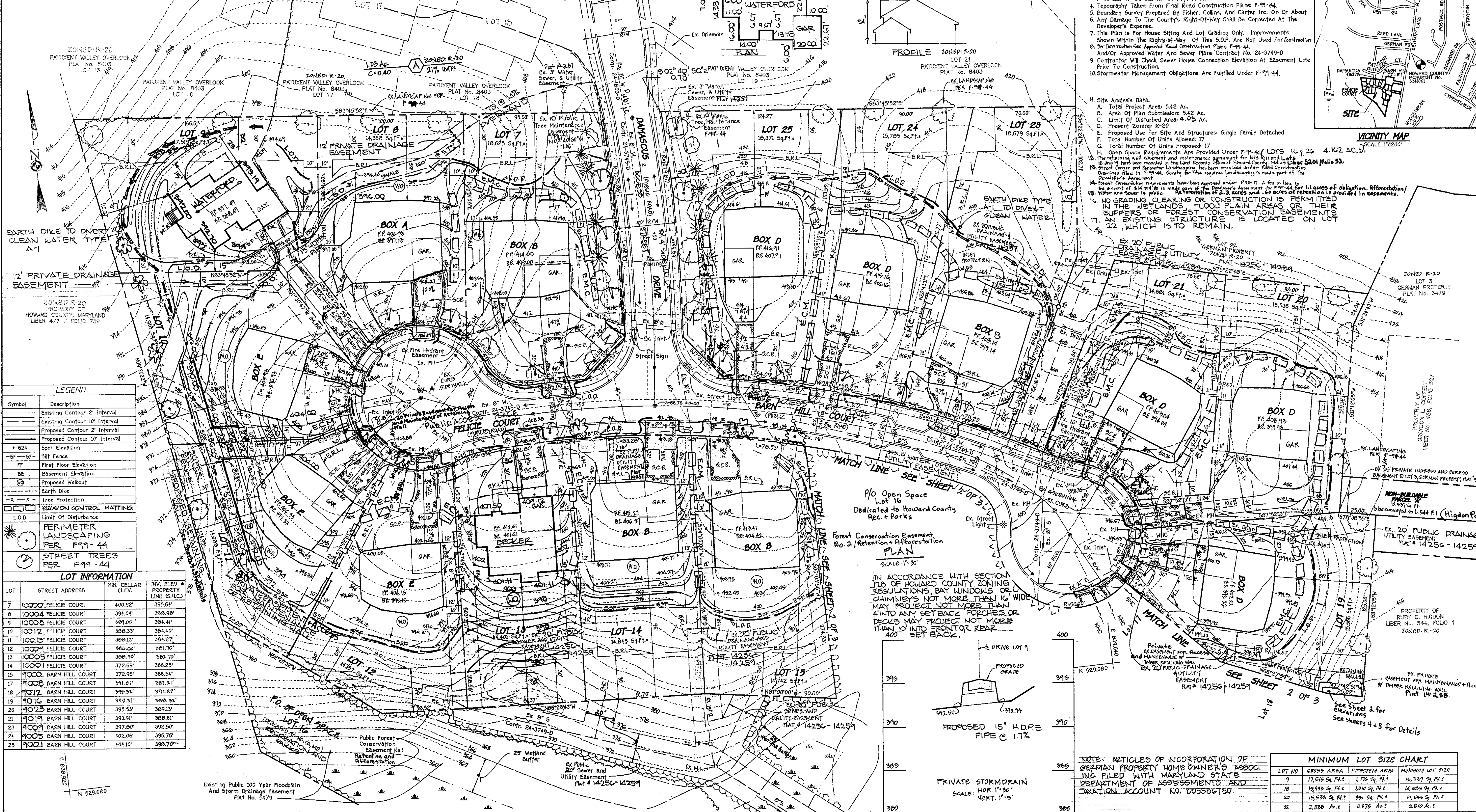
FENCE PER. MINIMUM BOCA. CODE SECTION 1021.0. WALL EMBEDEDMENT VARIES DEPENDING ON WALL HEIGHT.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 10/1/00  
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 10/1/00  
CHIEF, DIVISION OF LAND DEVELOPMENT 88  
*[Signature]* 10/3/00 CE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION.





SHEET INDEX	Description
1	Site Development Plan
2	Site Development Plan
3	Detail Sheet



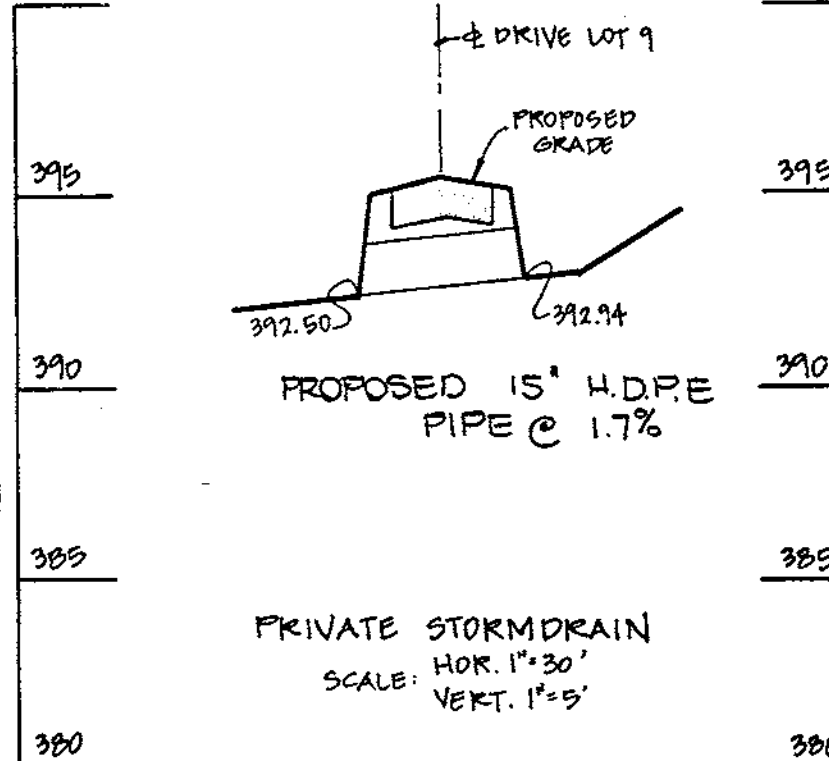
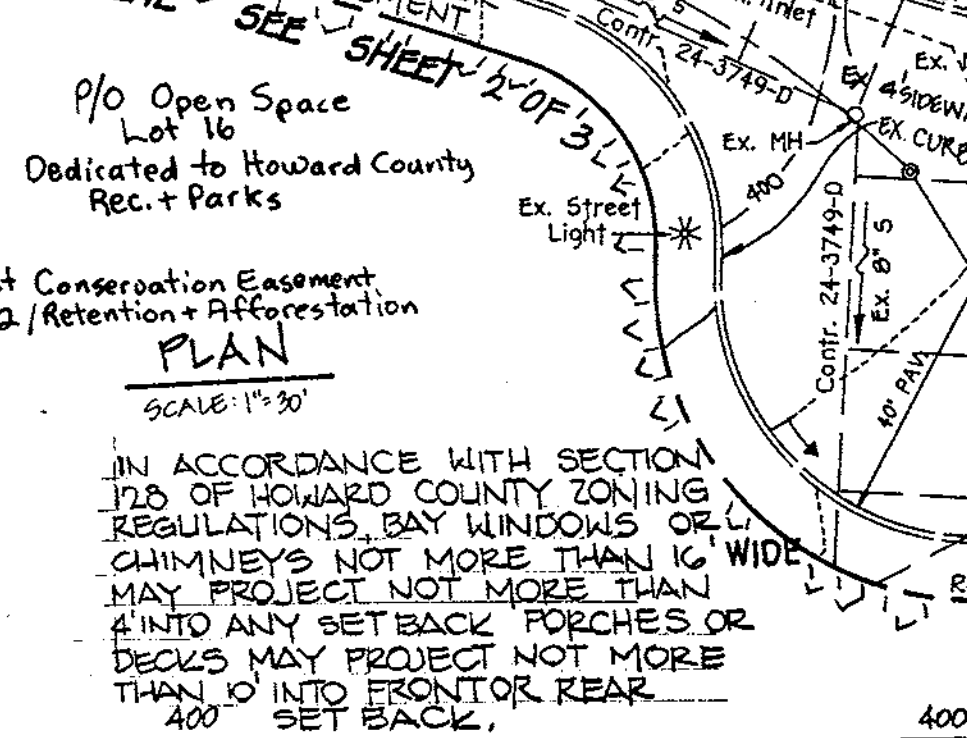
- General Notes:
- The Contractor shall Notify The Construction Inspection Division At (410) 313-1800 At least (5) Five Working Days Prior To The Start Of Work.
  - The Contractor shall Notify "Miss Utility" At 1-800-257-7777 At least 48 Hours Prior To Any Excavation Work.
  - This Project Is Subject To Howard County Files: 5 96-07, P 90-17, F 03-37, F 96-112, VP 03-82, WP 96-77, F 97-44.
  - Topography Taken From Final Road Construction Plans: F-99-44.
  - Boundary Survey Prepared By Fisher, Collins, And Carter Inc. On Or About [Date].
  - Any Damage To The County's Right-Of-Way Shall Be Corrected At The Developer's Expense.
  - This Plan Is For House Siting And Lot Grading Only. Improvements Shown Within The Right-Of-Way Of This S.D.P. Are Not Used For Construction.
  - For Contract Documents Approved Road Construction Plans: F-99-44. And/Or Approved Water And Sewer Plans: Contract No. 24-3749-D.
  - Contractor Will Check Sewer House Connection Elevation At Easement Line Prior To Construction.
  - Stormwater Management Obligations Are Fulfilled Under F-99-44.
- II. Site Analysis Data:
- Total Project Area: 5.42 Ac.
  - Area Of Plan Submission: 5.42 Ac.
  - Limit Of Disturbed Area: 4.03 Ac.
  - Present Zoning: R-20
  - Proposed Use For Site And Structures: Single Family Detached
  - Number Of Units Allowed: 17
  - Open Space Requirements: As Provided Under F-99-44, LOTS 14, 26, 4, 162, AC. 3.
  - The retaining wall easement and maintenance agreement for lots 9, 11 and 12 is shown on the site plan. The easement is shown on the site plan. The easement is shown on the site plan.
  - Street Curb and Gutter: As Shown On Final Road Construction Drawings Filed In F-99-44. Survey For The required landscaping is made part of the Developer's Agreement.
  - Forest Conservation requirements have been approved under F-99-44. A fee in lieu of the amount of \$1,174.80 is made part of the Developer's Agreement. The fee is made part of the Developer's Agreement. The fee is made part of the Developer's Agreement.
  - Water and Sewer: As Shown On Final Road Construction Plans: F-99-44. And/Or Approved Water And Sewer Plans: Contract No. 24-3749-D.
  - NO GRADING, CLEARING OR CONSTRUCTION IS PERMITTED IN THE WETLANDS FLOOD PLAIN AREAS OR THEIR BUFFERS OR FOREST CONSERVATION EASEMENTS.
  - AN EXISTING STAKE POLE IS LOCATED ON LOT 22, WHICH IS TO REMAIN.

**LEGEND**

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L.O.D.	Limit Of Disturbance
---	PERIMETER LANDSCAPING PER F99-44
---	STREET TREES PER F99-44

**LOT INFORMATION**

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5% C)
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**MINIMUM LOT SIZE CHART**

LOT NO.	GROSS AREA	PISTEM AREA	MINIMUM LOT SIZE
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22	2,588 Ac. ±	0.078 Ac. ±	2,510 Ac. ±

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PLACE - 10772 BALTIMORE NATIONAL FREE  
 ELLICOTT CITY, MARYLAND 21114  
 410.410.2955

**ENGINEER'S CERTIFICATE**

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Emilio Cuevas* 4-18-00  
 Signature of Engineer (Print name below signature) Date

**DEVELOPER'S CERTIFICATE**

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*Michael Ben* 4-18-00  
 Signature of Developer (Print name below signature) Date

DATE	DESCRIPTION
01-08-01	REVISE HOUSE AND GRADING LOT 9
11-2-00	REVISE HOUSE AND GRADING LOT 13
DATE	DESCRIPTION

Reviewed for HOWARD SCD and meets Technical Requirements.

*Carol Simon* 4/18/00  
 U.S.D.A. Natural Resources Conservation Service  
 Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John J. Kelly* 4/28/00  
 Howard SCD  
 Date

**OWNERS**

TRINITY HOMES 8212 DEVON DRIVE COLUMBIA, MARYLAND 21044  
 JAMESTOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Carol Hamilton* 4/16/00  
 Chief, Division of Land Development  
 Date

*John J. Kelly* 4/16/00  
 Chief, Development Engineering Division  
 Date

*John J. Kelly* 4/16/00  
 Director, Department of Planning and Zoning  
 Date

PROJECT	SECTION/AREA	LOT NO.			
GERMAN PROPERTY	N/A	7-15, 17-21 and 23-25			
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
1425C-14259	20	R-20	17	SECOND	6022
WATER CODE	SEWER CODE				
H-08	910000				

**SITE DEVELOPMENT PLAN**  
**SEDIMENT CONTROL PLAN**

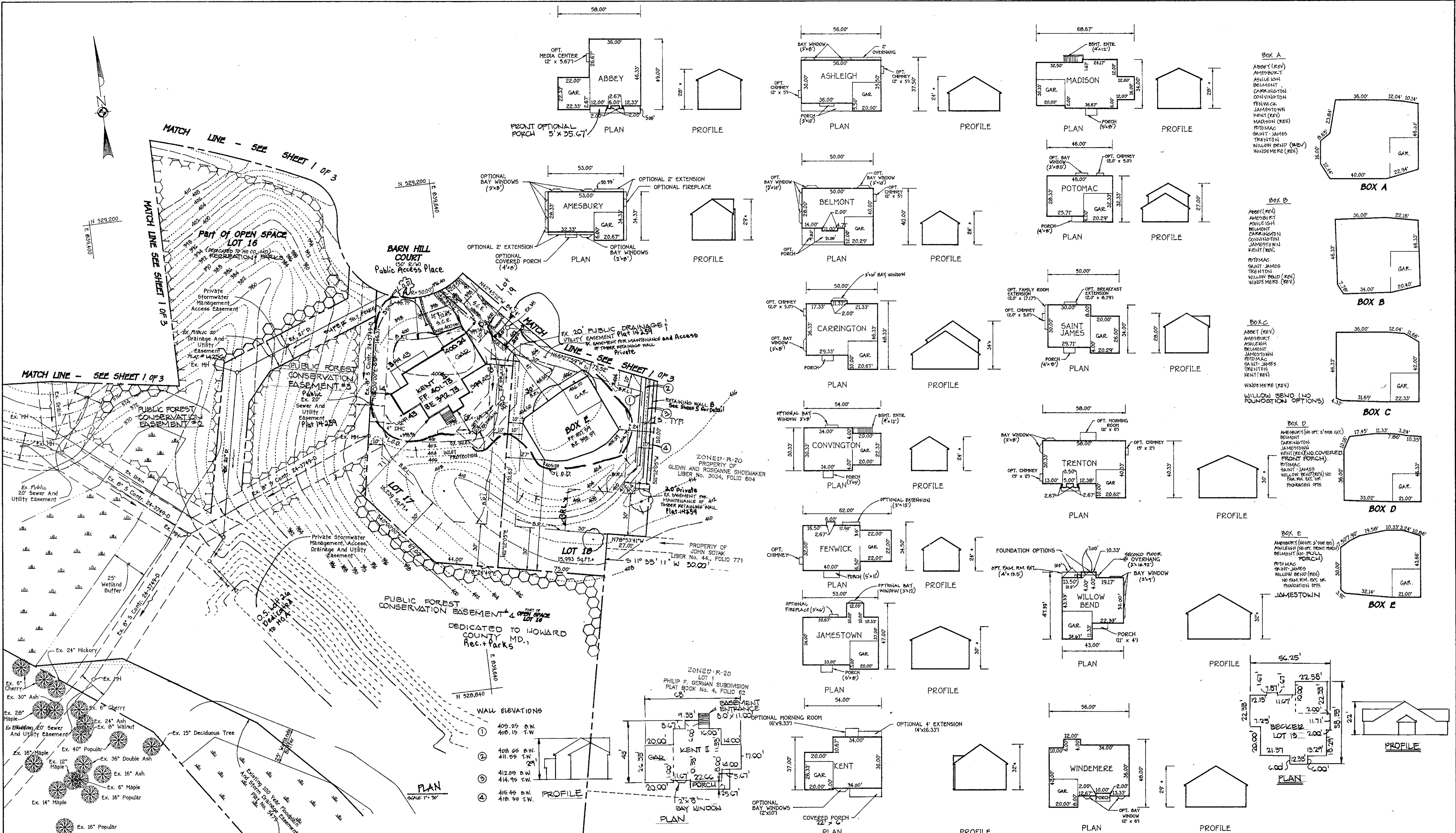
**GERMAN PROPERTY**  
 LOTS 7-15, 17-21, 23-25

ZONED: R-20  
 TAX MAP No. 17 PARCEL No. 132 GRID No. 20  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999

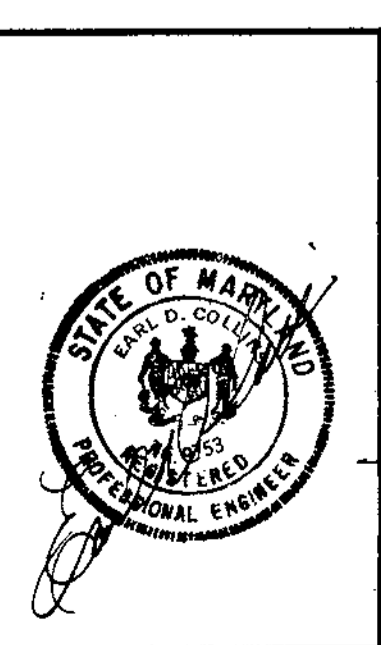
SHEET 1 OF 5

SOP 99-143





**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10772 BALDOR NATIONAL PIKE  
 ELLICOTT CITY, MARYLAND 21117  
 410-766-2955



DATE	REVISION
11-24-00	REV. LOT 17 TO KENT II MODEL
11-2-00	ADD BECKER HOUSE TYPE

**ENGINEER'S CERTIFICATE**  
 Signature of Engineer (Print name below signature) *E. Gold* Date 9-18-00

**DEVELOPER'S CERTIFICATE**  
 Signature of Developer (Print name below signature) *Michael Pfau* Date 9-18-00

Reviewed for HOWARD SCD and meets Technical Requirements.  
 U.S.D.A. National Resources Conservation Service  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

**OWNERS**  
 TRINITY HOMES  
 8212 DEVON DRIVE  
 COLUMBIA, MARYLAND 21044

FLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
14256-14259	20	R-20	17	SECOND	6022

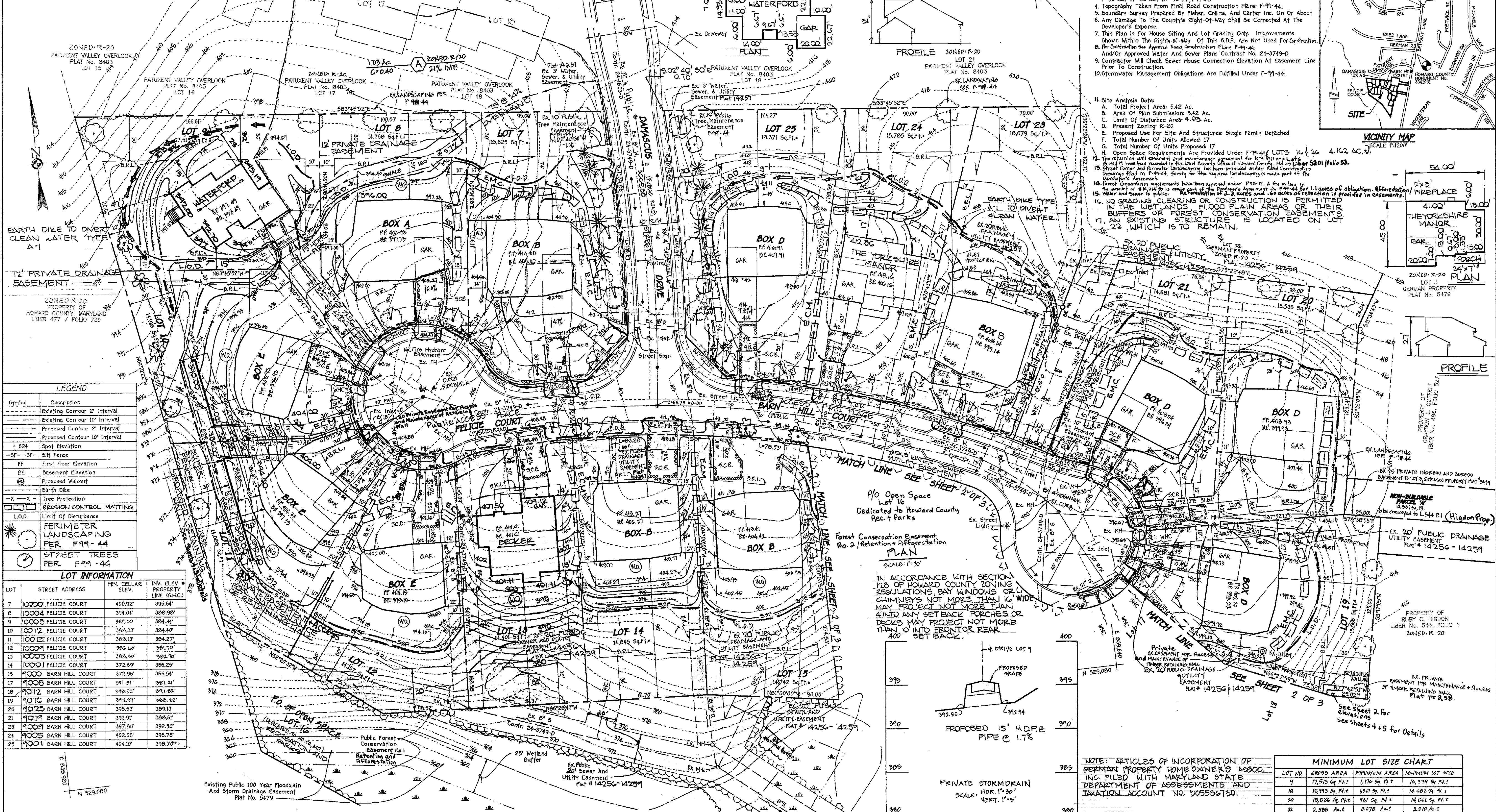
WATER CODE H-05 SEWER CODE 5700000

**SITE DEVELOPMENT PLAN AND DETAIL SHEET**  
**SEDIMENT CONTROL PLAN**  
**GERMAN PROPERTY**  
 LOTS 7-15, 17-21, 23-25

ZONED: R-20  
 TAX MAP No. 17 PARCEL No. 132 GRID NO. 20  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999  
 SHEET 2 OF 5



Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	Detail Sheet



- General Notes:
- The Contractor Shall Notify The Construction Inspection Division At (410) 313-1900 At Least (5) Five Working Days Prior To The Start Of Work.
  - The Contractor Shall Notify "Miss Utility" At 1-800-257-7777 At Least 48 Hours Prior To Any Excavation Work.
  - This Project Is Subject To Howard County Files: 5 96-07, P 98-17, F 03-37, F 98-112, V 03-02, WP 96-77, F 99-44.
  - Topography Taken From Final Road Construction Plans: F-99-44.
  - Boundary Survey Prepared By Fisher, Collins, And Carter Inc. On Or About 11/20/00.
  - Any Damage To The County's Right-Of-Way Shall Be Corrected At The Developer's Expense.
  - This Plan Is For House Siting And Lot Grading Only. Improvements Shown Within The Right-Of-Way Of This S.D.P. Are Not Used For Construction.
  - For Construction See Approved Road Construction Plans: F-99-44, And/Or Approved Water And Sewer Plans: Contract No. 24-3749-D.
  - Contractor Will Check Sewer House Connection Elevation At Easement Line Prior To Construction.
  - Stormwater Management Obligations Are Fulfilled Under F-99-44.
- Site Analysis Data:
- Total Project Area: 5.42 Ac.
  - Area Of Plan Submissions: 5.42 Ac.
  - Limit Of Disturbed Area: 4.05 Ac.
  - Present Zoning: R-20
  - Proposed Use For Site And Structures: Single Family Detached
  - Total Number Of Units Allowed: 17
  - Total Number Of Units Proposed: 17
  - Open Space Requirements Are Provided Under F-99-44 (LOTS 16 & 26 4.162 AC.).
  - The Retaining Wall Easement And Maintenance Agreement For Lots 6, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

LEGEND

Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
• 624	Spot Elevation
-SF -SF	Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
BE	Proposed Walkout
---	Earth Dike
-X -X	Tree Protection
---	EROSION CONTROL MATTING
L.O.D.	Limit Of Disturbance
---	PERIMETER LANDSCAPING PER F-99-44
---	STREET TREES PER F-99-44

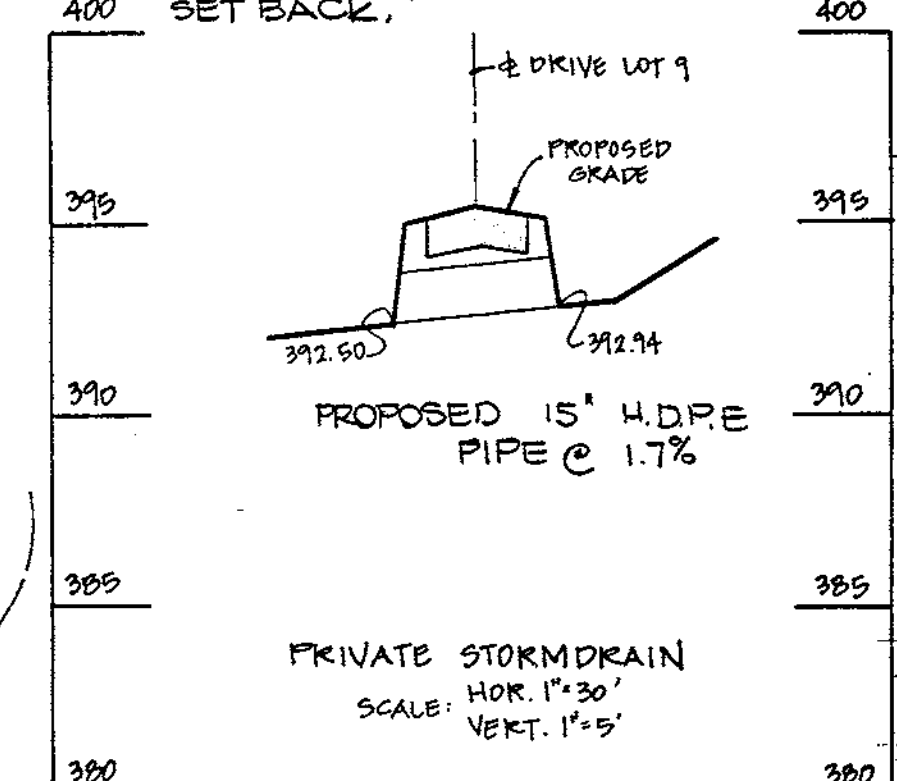
LOT INFORMATION

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (G.H.C.)
7	10000 FELICE COURT	400.92'	395.64'
8	10004 FELICE COURT	394.04'	389.98'
9	10005 FELICE COURT	389.00'	384.41'
10	10012 FELICE COURT	388.33'	384.40'
11	10013 FELICE COURT	388.13'	384.27'
12	10009 FELICE COURT	386.00'	381.70'
13	10005 FELICE COURT	388.30'	382.70'
14	10001 FELICE COURT	372.69'	366.25'
15	1000 BARN HILL COURT	372.96'	366.54'
17	1008 BARN HILL COURT	341.81'	361.21'
18	1012 BARN HILL COURT	348.92'	341.82'
19	1016 BARN HILL COURT	342.91'	368.92'
20	1023 BARN HILL COURT	395.53'	389.13'
21	1019 BARN HILL COURT	383.91'	388.81'
23	1009 BARN HILL COURT	387.80'	392.50'
24	1005 BARN HILL COURT	402.06'	396.76'
25	10021 BARN HILL COURT	404.10'	398.70'

P/O Open Space Lot 16 Dedicated to Howard County Rec + Parks

Forest Conservation Easement No. 2, Retention + Afforestation PLAN SCALE: 1"=30'

IN ACCORDANCE WITH SECTION 12B OF HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS OR CHIMNEYS NOT MORE THAN 10' WIDE MAY PROJECT NOT MORE THAN 4" INTO ANY SETBACK PORCHES OR DECKS MAY PROJECT NOT MORE THAN 10" INTO FRONTOR REAR 400' SET BACK.



MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PISTEM AREA	MINIMUM LOT SIZE
9	17,515 Sq. Ft.	1,726 Sq. Ft.	16,399 Sq. Ft.
18	15,993 Sq. Ft.	1,510 Sq. Ft.	14,683 Sq. Ft.
20	15,536 Sq. Ft.	981 Sq. Ft.	14,555 Sq. Ft.
22	2,588 Ac.	8,878 Ac.	2,810 Ac.

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL PIKE  
ELICOTT CITY, MARYLAND 21042  
410-486-2955

REVISION

DATE	DESCRIPTION
01-29-01	REVISE HOUSE AND GRADING LOT 24
01-08-01	REVISE HOUSE AND GRADING LOT 9
11-12-00	REVISE HOUSE AND GRADING LOT 13

**ENGINEER'S CERTIFICATE**  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Emuel Cole*  
Signature of Engineer (Print name below signature) Date: 4-18-00

**DEVELOPER'S CERTIFICATE**  
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*Michael Han*  
Signature of Developer (Print name below signature) Date: 4-18-00

Reviewed for HOWARD SCD and meets Technical Requirements.

*Cheryl Simon*  
U.S.D.A. Natural Resources Conservation Service Date: 9/28/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John St...*  
Howard SCD Date: 9/28/00

**OWNERS**  
TRINITY HOMES 6212 DEVON DRIVE COLUMBIA, MARYLAND 21044  
JAMESSTOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Cindy Hamilton*  
Chief, Division of Land Development Date: 10/6/00

*John...*  
Chief, Development Engineering Division Date: 10/3/00

*Paul Smith*  
Director, Department of Planning and Zoning Date: 10/12/00

PROJECT: GERMAN PROPERTY SECTION/AREA: N/A LOT NO.: 7-15, 17-21 and 23-25  
PLAT: 14256-14259 BLOCK NO.: 20 ZONE: R-20 TAX/ZONE: 17 ELEC. DIST.: SECOND CENSUS TR.: 6022  
WATER CODE: H-08 SEWER CODE: 910000

**SITE DEVELOPMENT PLAN  
SEDIMENT CONTROL PLAN**

**GERMAN PROPERTY**  
LOTS 7 -15, 17-21, 23-25

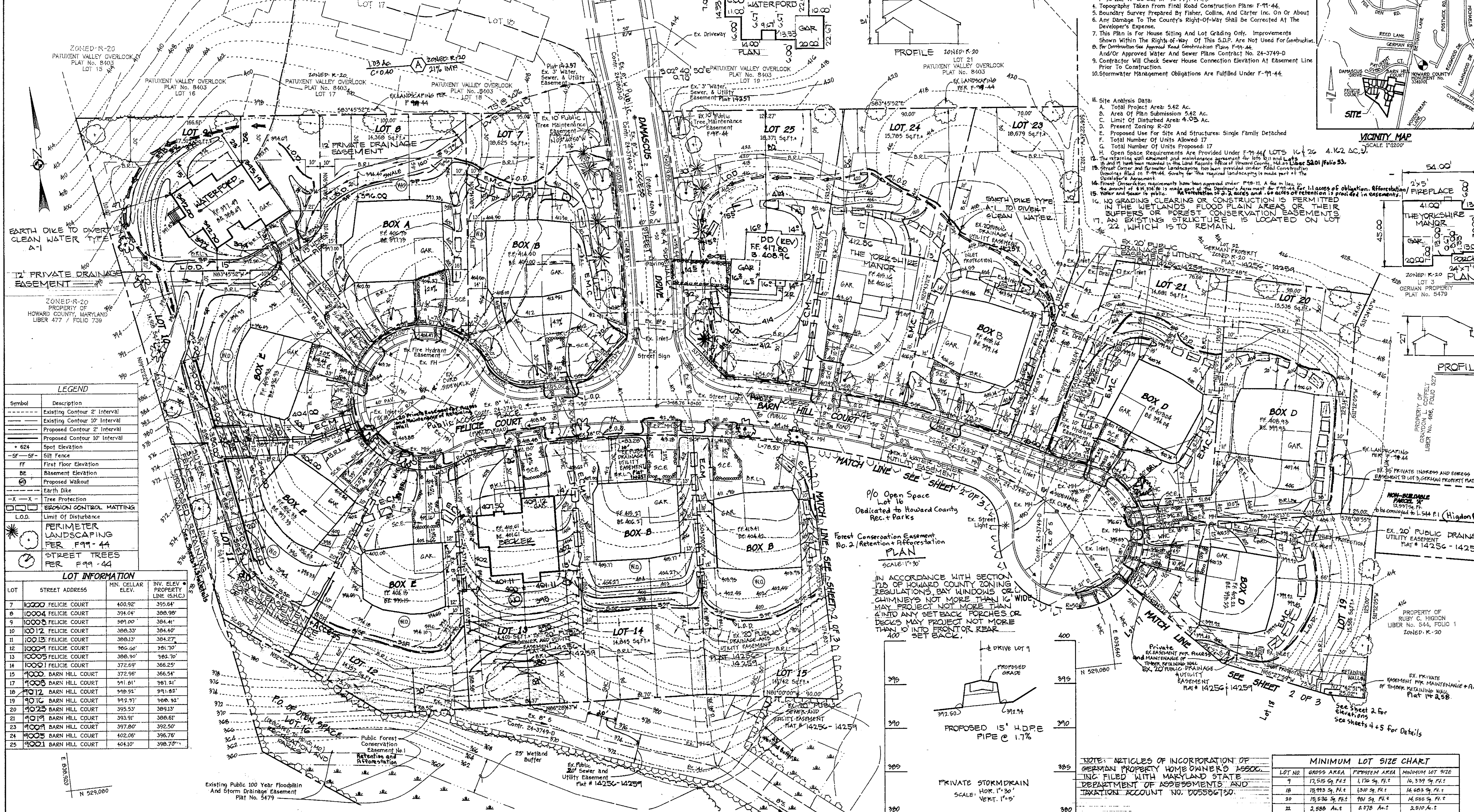
ZONED: R-20  
TAX MAP No. 17 PARCEL No. 132 GRID NO. 20  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
DATE: FEBRUARY, 1999  
SHEET 1 OF 5







Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	Detail Sheet



**LEGEND**

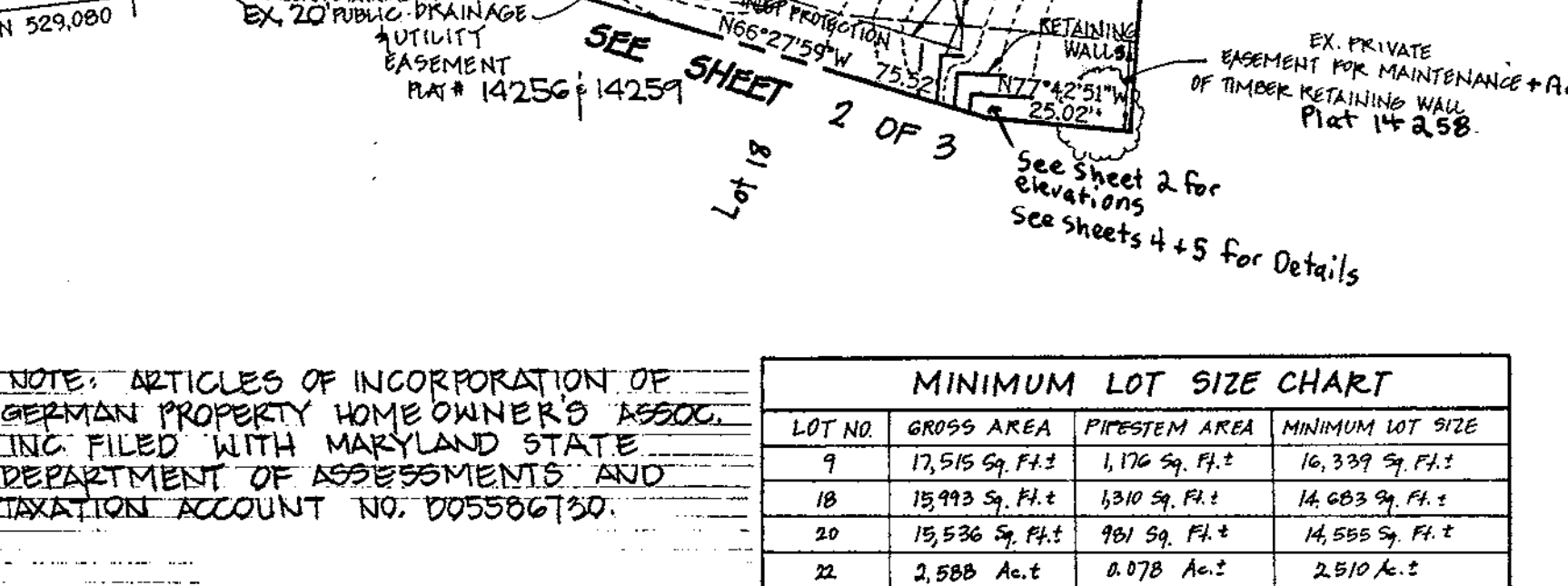
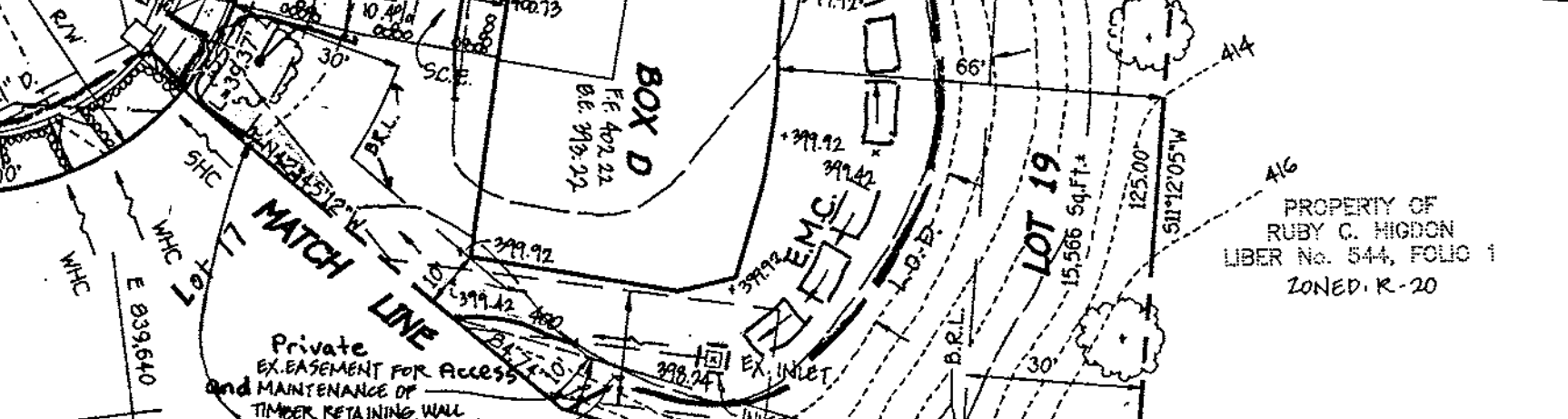
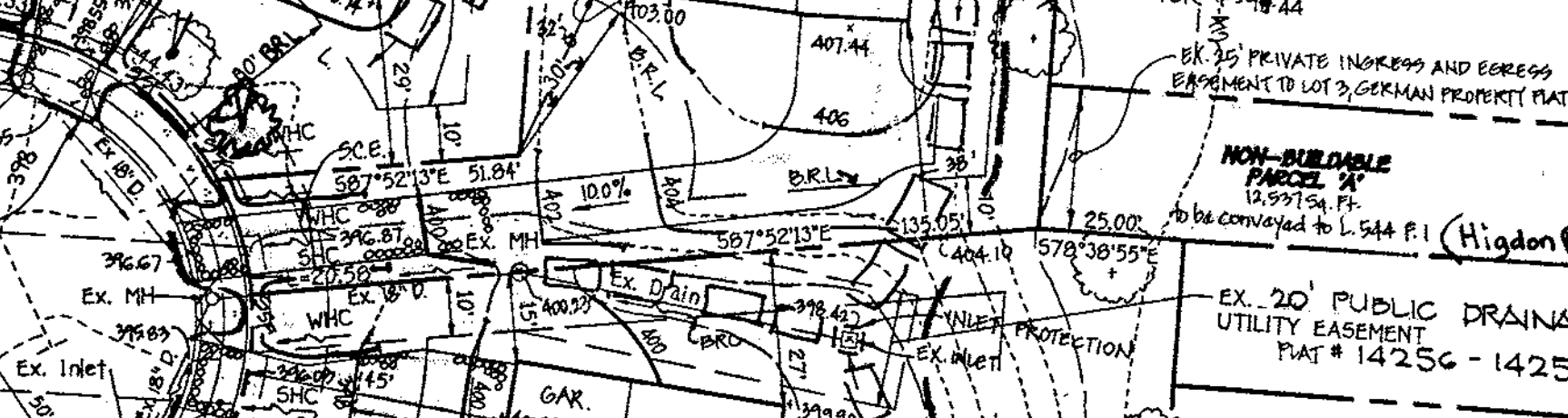
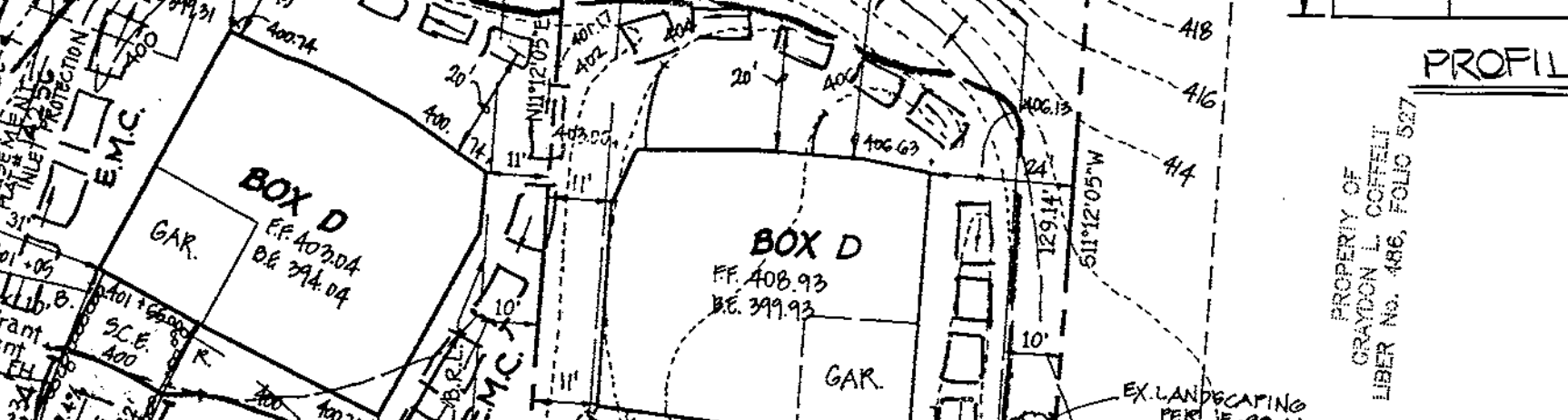
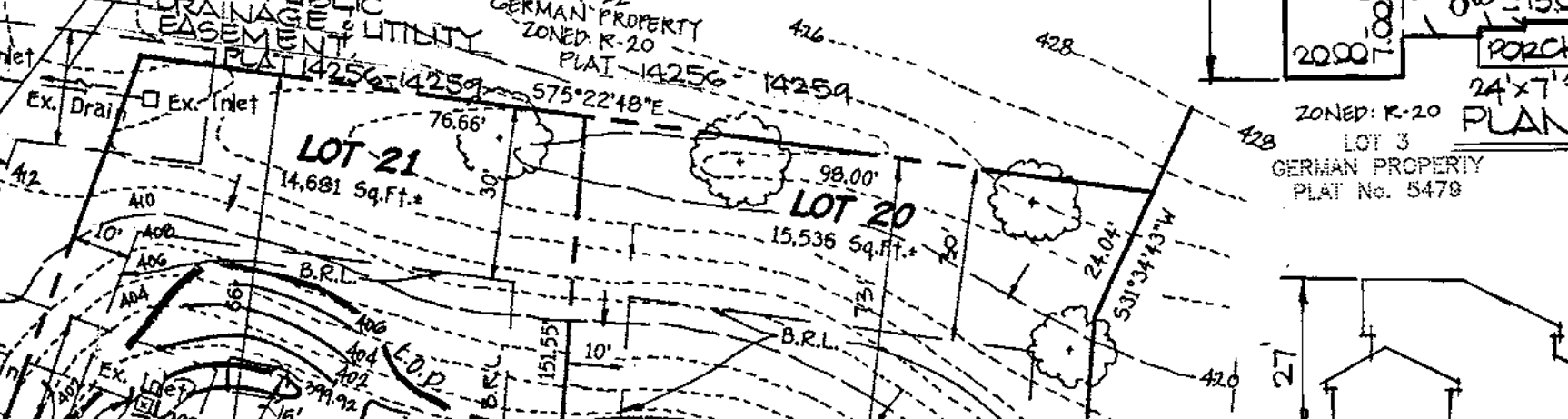
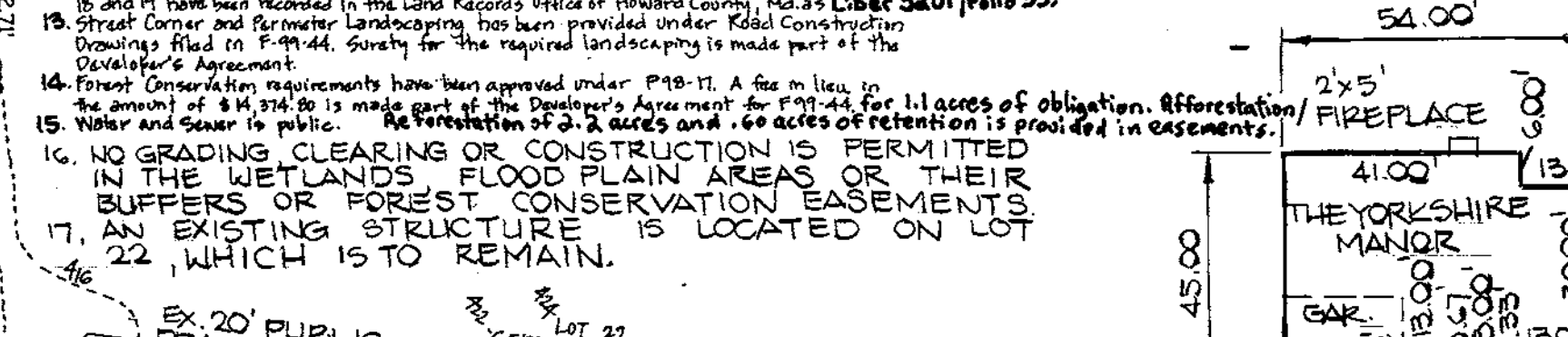
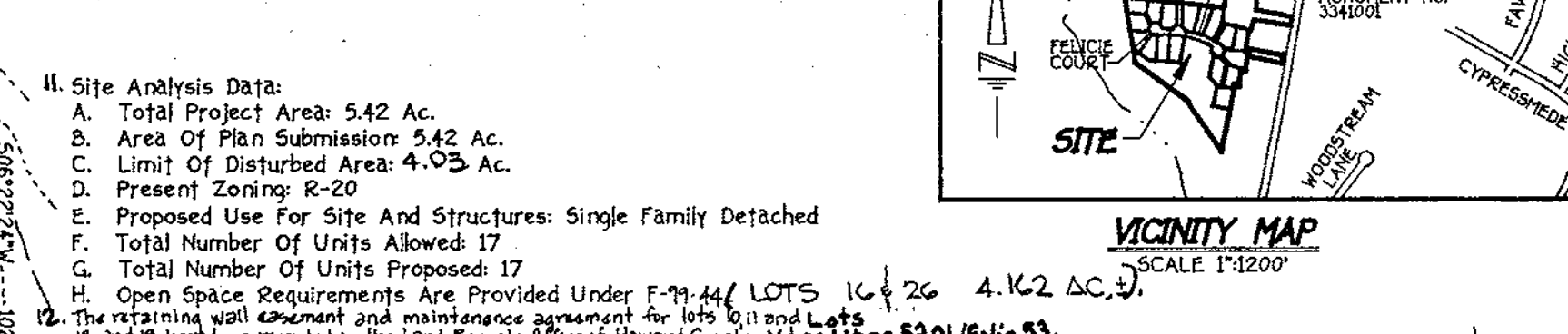
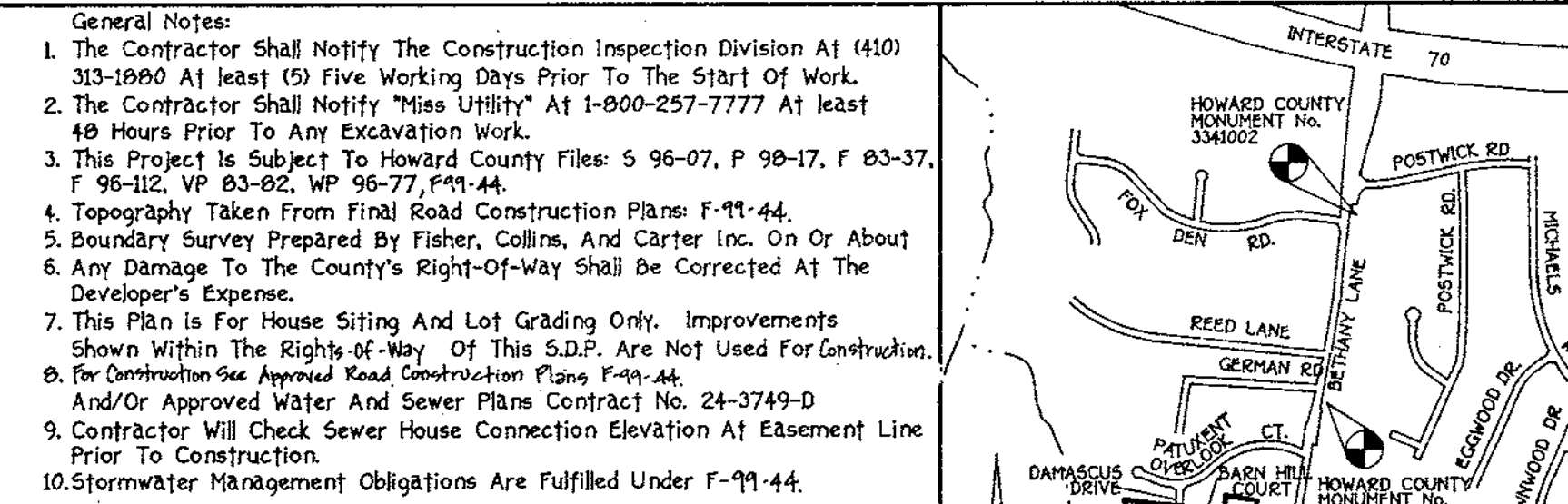
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L.O.D.	Limit of Disturbance
---	PERIMETER LANDSCAPING PER F99-44
---	STREET TREES PER F99-44

**LOT INFORMATION**

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (G.S.K.)
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17	10008 BARN HILL COURT	391.61'	391.21'
18	10012 BARN HILL COURT	398.52'	391.82'
19	10016 BARN HILL COURT	392.97'	388.52'
20	10020 BARN HILL COURT	395.53'	389.13'
21	10019 BARN HILL COURT	393.91'	388.61'
23	10009 BARN HILL COURT	397.80'	392.50'
24	10005 BARN HILL COURT	402.06'	396.78'
25	10001 BARN HILL COURT	404.10'	398.70'

**LOT 16**

Existing Public 100 Year Floodplain And Storm Drainage Easement Plat No. 5479



**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FREE  
ELLSWORTH CITY, MARYLAND 21114  
TEL: 410-329-1200

**ENGINEER'S CERTIFICATE**

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Enoch Cole*  
Signature of Engineer (Print name below signature) 9-18-00  
Date

**DEVELOPER'S CERTIFICATE**

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*Michael Row*  
Signature of Developer (Print name below signature) 9-18-00  
Date

NO.	DATE	DESCRIPTION
2-21-01	REV. USE & GRD LOT 25, ADDRESS TYP.	
01-29-01	REVISE HOUSE AND GRADING LOT 24	
01-08-01	REVISE HOUSE AND GRADING LOT 9	
11-2-00	REVISE HOUSE AND GRADING LOT 13.	

Reviewed for HOWARD SCD and meets Technical Requirements.

*Cheryl Hammett*  
U.S.D.A. Natural Resources Conservation Service  
Date: 9/28/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*Michael Row*  
Howard SCD  
Date: 9/28/00

**OWNERS**

TRINITY HOMES 6212 DEVON DRIVE COLUMBIA, MARYLAND 21044  
JAMESTOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Cheryl Hammett*  
Chief, Division of Land Development 10/6/00  
Date

*Michael Row*  
Chief, Development Engineering Division 10/3/00  
Date

*Michael Row*  
Director, Department of Planning and Zoning 10/12/00  
Date

PROJECT: GERMAN PROPERTY SECTION/AREA: N/A LOT NO.: 7-1517-21 and 23-25

PLAT: 14256-14259 BLOCK NO.: 20 ZONE: R-20 TAX/ZONE: 17 ELEC. DIST.: SECOND CENSUS TR.: 6022

WATER CODE: H-08 SEWER CODE: 970000

**SITE DEVELOPMENT PLAN**  
**SEDIMENT CONTROL PLAN**

**GERMAN PROPERTY**  
LOTS 7 -15, 17-21, 23-25

ZONED: R-20  
TAX MAP No. 17 PARCEL No. 132 GRID No. 20  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
DATE: FEBRUARY, 1999  
SHEET 1 OF 5

**MINIMUM LOT SIZE CHART**

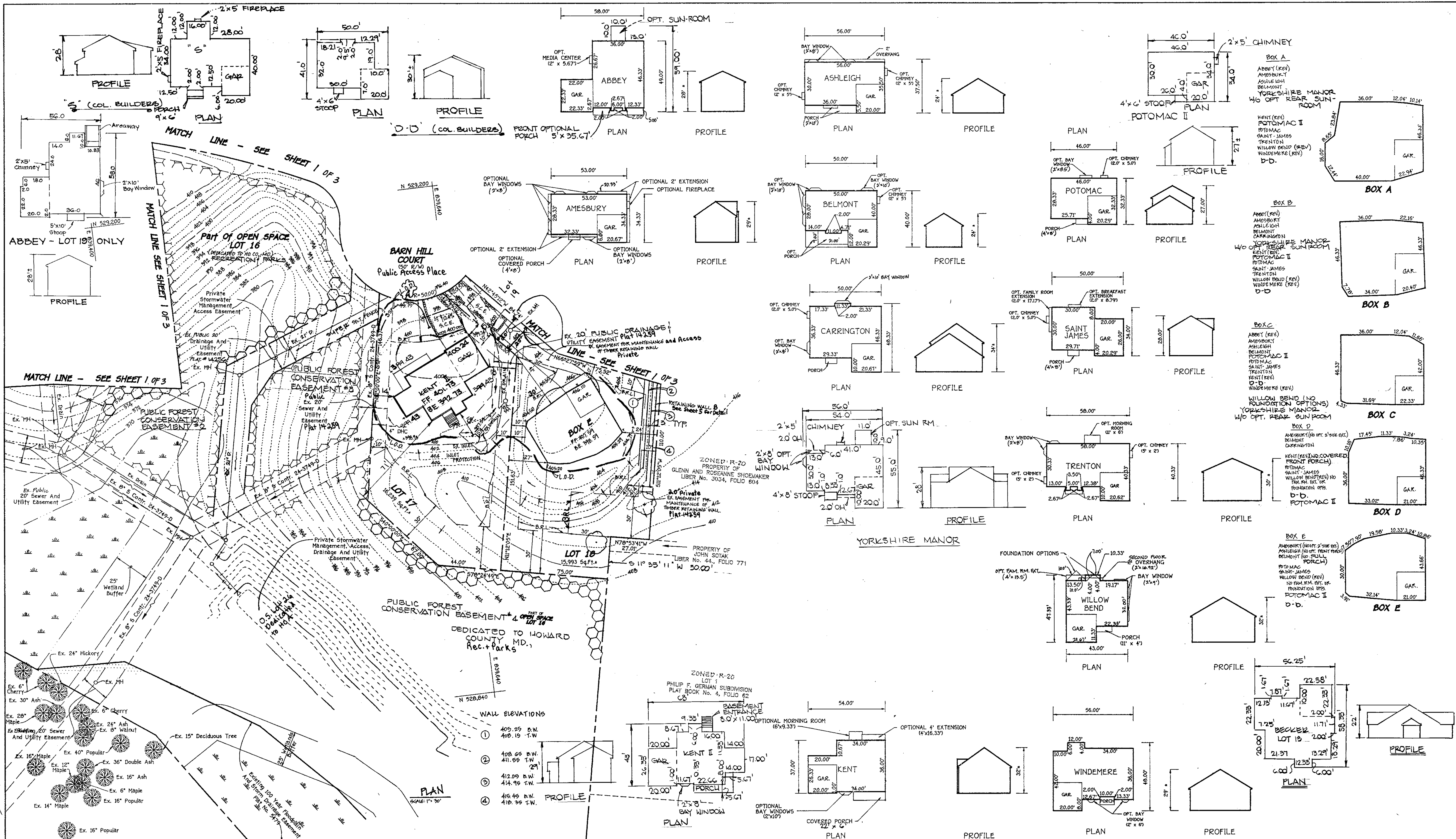
LOT NO.	GROSS AREA	PISTEM AREA	MINIMUM LOT SIZE
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20	15,536 Sq. Ft.	101 Sq. Ft.	14,525 Sq. Ft.
22	2,588 Ac.	0.878 Ac.	2,510 Ac.

NOTE: ARTICLES OF INCORPORATION OF GERMAN PROPERTY HOME OWNERS ASSOCIATION FILED WITH MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ACCOUNT NO. D05506730.









**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10722 MALTBORE NATIONAL PIKE  
 ELKLOTT CITY, MARYLAND 22912  
 410.465.1299

DATE	DESCRIPTION	REVISION
3-08-01	ADD YORKSHIRE MANOR & POTOMAC II MODELS	
2-24-01	ADD 3 MODEL	
2-21-01	ADD D-D MODEL	
11-24-00	REV LOT 17 TO KENT II MODEL	
11-2-00	ADD BECKER HOUSE TYPE	

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer (Print name below signature) *Michael Plaw* Date 9-18-00

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Signature of Developer (Print name below signature) *Michael Plaw* Date 9-18-00

Reviewed for HOWARD SCD and meets Technical Requirements.  
 U.S.D.A.-Natural Resources Conservation Service  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature of Howard SCD Date 9/28/00

Signature of Howard SCD Date 9/28/00

**OWNERS**  
 TRINITY HOMES 8212 BEYON DRIVE COLUMBIA, MARYLAND 21044  
 JAMESTOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development Date 10/6/00

Chief, Development Engineering Division Date 10/5/00

Director, Department of Planning and Zoning Date 11/20/00

PROJECT	SECTION/AREA	LOT NO.
GERMAN PROPERTY	N/A	7-15, 17-21 and 23-25
PLAT	BLOCK NO.	ZONE
14256-14259-14673	20	R-20
TAX/ZONE	ELEC. DIST.	CENSUS TR.
17	SECOND	6022
WATER CODE	SEWER CODE	
H-08	998000	

**SITE DEVELOPMENT PLAN AND DETAIL SHEET**

**SEDIMENT CONTROL PLAN**

**GERMAN PROPERTY**  
 LOTS 7-15, 17-21, 23-25

ZONED: R-20  
 TAX MAP No. 17 PARCEL No. 132 GRID No. 20  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999  
 SHEET 2 OF 5



Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	Detail Sheet

Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
• 624	Spot Elevation
-SF-SF	Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
⊙	Proposed Walkout
---	Earth Dike
-X-X-	Tree Protection
---	EROSION CONTROL MATTING
---	Limit of Disturbance
---	PERIMETER LANDSCAPING PER F99-44
---	STREET TREES PER F99-44

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
7	10000 FELICE COURT	400.92'	395.64'
8	10004 FELICE COURT	394.04'	388.98'
9	10008 FELICE COURT	389.00'	384.41'
10	10012 FELICE COURT	388.33'	384.40'
11	10016 FELICE COURT	388.13'	384.27'
12	10019 FELICE COURT	386.60'	381.70'
13	10023 FELICE COURT	388.30'	382.70'
14	10027 FELICE COURT	372.69'	366.25'
15	10031 FELICE COURT	372.96'	366.54'
16	10035 FELICE COURT	371.81'	363.21'
17	10039 FELICE COURT	370.52'	361.82'
18	10043 FELICE COURT	372.91'	368.52'
19	10047 FELICE COURT	395.53'	389.13'
20	10051 FELICE COURT	393.91'	388.61'
21	10055 FELICE COURT	397.80'	392.50'
22	10059 FELICE COURT	402.05'	396.78'
23	10063 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
1	10000 FELICE COURT	400.92'	395.64'
2	10004 FELICE COURT	394.04'	388.98'
3	10008 FELICE COURT	389.00'	384.41'
4	10012 FELICE COURT	388.33'	384.40'
5	10016 FELICE COURT	388.13'	384.27'
6	10019 FELICE COURT	386.60'	381.70'
7	10023 FELICE COURT	388.30'	382.70'
8	10027 FELICE COURT	372.69'	366.25'
9	10031 FELICE COURT	372.96'	366.54'
10	10035 FELICE COURT	371.81'	363.21'
11	10039 FELICE COURT	370.52'	361.82'
12	10043 FELICE COURT	372.91'	368.52'
13	10047 FELICE COURT	395.53'	389.13'
14	10051 FELICE COURT	393.91'	388.61'
15	10055 FELICE COURT	397.80'	392.50'
16	10059 FELICE COURT	402.05'	396.78'
17	10063 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
18	10067 FELICE COURT	372.91'	368.52'
19	10071 FELICE COURT	395.53'	389.13'
20	10075 FELICE COURT	393.91'	388.61'
21	10079 FELICE COURT	397.80'	392.50'
22	10083 FELICE COURT	402.05'	396.78'
23	10087 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
24	10091 FELICE COURT	400.92'	395.64'
25	10095 FELICE COURT	394.04'	388.98'
26	10099 FELICE COURT	389.00'	384.41'
27	10103 FELICE COURT	388.33'	384.40'
28	10107 FELICE COURT	388.13'	384.27'
29	10111 FELICE COURT	386.60'	381.70'
30	10115 FELICE COURT	388.30'	382.70'
31	10119 FELICE COURT	372.69'	366.25'
32	10123 FELICE COURT	372.96'	366.54'
33	10127 FELICE COURT	371.81'	363.21'
34	10131 FELICE COURT	370.52'	361.82'
35	10135 FELICE COURT	372.91'	368.52'
36	10139 FELICE COURT	395.53'	389.13'
37	10143 FELICE COURT	393.91'	388.61'
38	10147 FELICE COURT	397.80'	392.50'
39	10151 FELICE COURT	402.05'	396.78'
40	10155 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
41	10159 FELICE COURT	400.92'	395.64'
42	10163 FELICE COURT	394.04'	388.98'
43	10167 FELICE COURT	389.00'	384.41'
44	10171 FELICE COURT	388.33'	384.40'
45	10175 FELICE COURT	388.13'	384.27'
46	10179 FELICE COURT	386.60'	381.70'
47	10183 FELICE COURT	388.30'	382.70'
48	10187 FELICE COURT	372.69'	366.25'
49	10191 FELICE COURT	372.96'	366.54'
50	10195 FELICE COURT	371.81'	363.21'
51	10199 FELICE COURT	370.52'	361.82'
52	10203 FELICE COURT	372.91'	368.52'
53	10207 FELICE COURT	395.53'	389.13'
54	10211 FELICE COURT	393.91'	388.61'
55	10215 FELICE COURT	397.80'	392.50'
56	10219 FELICE COURT	402.05'	396.78'
57	10223 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
58	10227 FELICE COURT	400.92'	395.64'
59	10231 FELICE COURT	394.04'	388.98'
60	10235 FELICE COURT	389.00'	384.41'
61	10239 FELICE COURT	388.33'	384.40'
62	10243 FELICE COURT	388.13'	384.27'
63	10247 FELICE COURT	386.60'	381.70'
64	10251 FELICE COURT	388.30'	382.70'
65	10255 FELICE COURT	372.69'	366.25'
66	10259 FELICE COURT	372.96'	366.54'
67	10263 FELICE COURT	371.81'	363.21'
68	10267 FELICE COURT	370.52'	361.82'
69	10271 FELICE COURT	372.91'	368.52'
70	10275 FELICE COURT	395.53'	389.13'
71	10279 FELICE COURT	393.91'	388.61'
72	10283 FELICE COURT	397.80'	392.50'
73	10287 FELICE COURT	402.05'	396.78'
74	10291 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
75	10295 FELICE COURT	400.92'	395.64'
76	10299 FELICE COURT	394.04'	388.98'
77	10303 FELICE COURT	389.00'	384.41'
78	10307 FELICE COURT	388.33'	384.40'
79	10311 FELICE COURT	388.13'	384.27'
80	10315 FELICE COURT	386.60'	381.70'
81	10319 FELICE COURT	388.30'	382.70'
82	10323 FELICE COURT	372.69'	366.25'
83	10327 FELICE COURT	372.96'	366.54'
84	10331 FELICE COURT	371.81'	363.21'
85	10335 FELICE COURT	370.52'	361.82'
86	10339 FELICE COURT	372.91'	368.52'
87	10343 FELICE COURT	395.53'	389.13'
88	10347 FELICE COURT	393.91'	388.61'
89	10351 FELICE COURT	397.80'	392.50'
90	10355 FELICE COURT	402.05'	396.78'
91	10359 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
92	10363 FELICE COURT	400.92'	395.64'
93	10367 FELICE COURT	394.04'	388.98'
94	10371 FELICE COURT	389.00'	384.41'
95	10375 FELICE COURT	388.33'	384.40'
96	10379 FELICE COURT	388.13'	384.27'
97	10383 FELICE COURT	386.60'	381.70'
98	10387 FELICE COURT	388.30'	382.70'
99	10391 FELICE COURT	372.69'	366.25'
100	10395 FELICE COURT	372.96'	366.54'
101	10399 FELICE COURT	371.81'	363.21'
102	10403 FELICE COURT	370.52'	361.82'
103	10407 FELICE COURT	372.91'	368.52'
104	10411 FELICE COURT	395.53'	389.13'
105	10415 FELICE COURT	393.91'	388.61'
106	10419 FELICE COURT	397.80'	392.50'
107	10423 FELICE COURT	402.05'	396.78'
108	10427 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
109	10431 FELICE COURT	400.92'	395.64'
110	10435 FELICE COURT	394.04'	388.98'
111	10439 FELICE COURT	389.00'	384.41'
112	10443 FELICE COURT	388.33'	384.40'
113	10447 FELICE COURT	388.13'	384.27'
114	10451 FELICE COURT	386.60'	381.70'
115	10455 FELICE COURT	388.30'	382.70'
116	10459 FELICE COURT	372.69'	366.25'
117	10463 FELICE COURT	372.96'	366.54'
118	10467 FELICE COURT	371.81'	363.21'
119	10471 FELICE COURT	370.52'	361.82'
120	10475 FELICE COURT	372.91'	368.52'
121	10479 FELICE COURT	395.53'	389.13'
122	10483 FELICE COURT	393.91'	388.61'
123	10487 FELICE COURT	397.80'	392.50'
124	10491 FELICE COURT	402.05'	396.78'
125	10495 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
126	10499 FELICE COURT	400.92'	395.64'
127	10503 FELICE COURT	394.04'	388.98'
128	10507 FELICE COURT	389.00'	384.41'
129	10511 FELICE COURT	388.33'	384.40'
130	10515 FELICE COURT	388.13'	384.27'
131	10519 FELICE COURT	386.60'	381.70'
132	10523 FELICE COURT	388.30'	382.70'
133	10527 FELICE COURT	372.69'	366.25'
134	10531 FELICE COURT	372.96'	366.54'
135	10535 FELICE COURT	371.81'	363.21'
136	10539 FELICE COURT	370.52'	361.82'
137	10543 FELICE COURT	372.91'	368.52'
138	10547 FELICE COURT	395.53'	389.13'
139	10551 FELICE COURT	393.91'	388.61'
140	10555 FELICE COURT	397.80'	392.50'
141	10559 FELICE COURT	402.05'	396.78'
142	10563 FELICE COURT	404.10'	398.79'

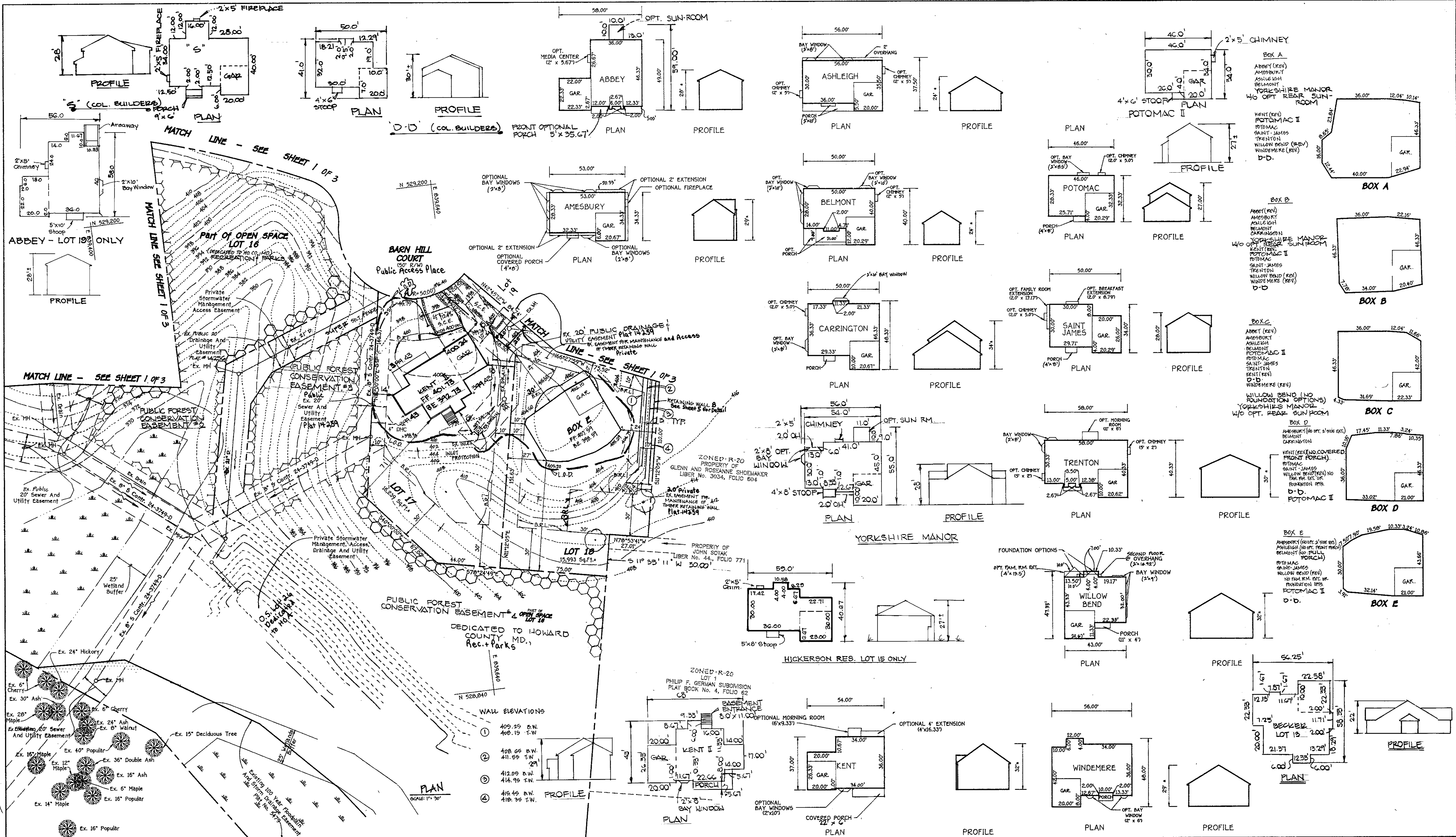
LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
143	10567 FELICE COURT	400.92'	395.64'
144	10571 FELICE COURT	394.04'	388.98'
145	10575 FELICE COURT	389.00'	384.41'
146	10579 FELICE COURT	388.33'	384.40'
147	10583 FELICE COURT	388.13'	384.27'
148	10587 FELICE COURT	386.60'	381.70'
149	10591 FELICE COURT	388.30'	382.70'
150	10595 FELICE COURT	372.69'	366.25'
151	10599 FELICE COURT	372.96'	366.54'
152	10603 FELICE COURT	371.81'	363.21'
153	10607 FELICE COURT	370.52'	361.82'
154	10611 FELICE COURT	372.91'	368.52'
155	10615 FELICE COURT	395.53'	389.13'
156	10619 FELICE COURT	393.91'	388.61'
157	10623 FELICE COURT	397.80'	392.50'
158	10627 FELICE COURT	402.05'	396.78'
159	10631 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
160	10635 FELICE COURT	400.92'	395.64'
161	10639 FELICE COURT	394.04'	388.98'
162	10643 FELICE COURT	389.00'	384.41'
163	10647 FELICE COURT	388.33'	384.40'
164	10651 FELICE COURT	388.13'	384.27'
165	10655 FELICE COURT	386.60'	381.70'
166	10659 FELICE COURT	388.30'	382.70'
167	10663 FELICE COURT	372.69'	366.25'
168	10667 FELICE COURT	372.96'	366.54'
169	10671 FELICE COURT	371.81'	363.21'
170	10675 FELICE COURT	370.52'	361.82'
171	10679 FELICE COURT	372.91'	368.52'
172	10683 FELICE COURT	395.53'	389.13'
173	10687 FELICE COURT	393.91'	388.61'
174	10691 FELICE COURT	397.80'	392.50'
175	10695 FELICE COURT	402.05'	396.78'
176	10699 FELICE COURT	404.10'	398.79'

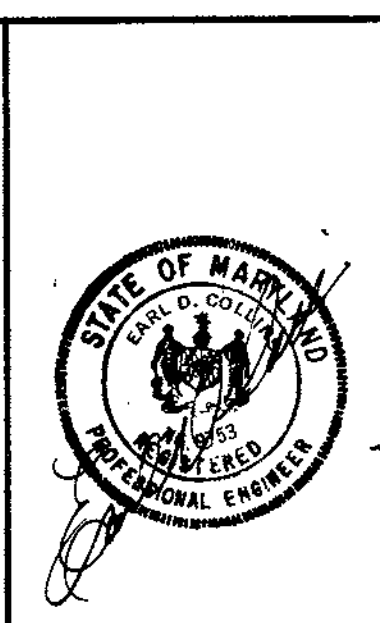
LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
177	10703 FELICE COURT	400.92'	395.64'
178	10707 FELICE COURT	394.04'	388.98'
179	10711 FELICE COURT	389.00'	384.41'
180	10715 FELICE COURT	388.33'	384.40'
181	10719 FELICE COURT	388.13'	384.27'
182	10723 FELICE COURT	386.60'	381.70'
183	10727 FELICE COURT	388.30'	382.70'
184	10731 FELICE COURT	372.69'	366.25'
185	10735 FELICE COURT	372.96'	366.54'
186	10739 FELICE COURT	371.81'	363.21'
187	10743 FELICE COURT	370.52'	361.82'
188	10747 FELICE COURT	372.91'	368.52'
189	10751 FELICE COURT	395.53'	389.13'
190	10755 FELICE COURT	393.91'	388.61'
191	10759 FELICE COURT	397.80'	392.50'
192	10763 FELICE COURT	402.05'	396.78'
193	10767 FELICE COURT	404.10'	398.79'

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (5/8")
194	10771 FELICE COURT	400.92'	395.64'
195	10775 FELICE COURT	394.04'	388.98'
196	10779 FELICE COURT	389.00'	384.41'
197	10783 FELICE COURT	388.33'	384.40'
198	10787 FELICE COURT	388.13'	384.27'
199	10791 FELICE COURT	386.60'	381.70'
200	10795 FELICE COURT	388.30'	382.70'





**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL PIKE  
 ELLICOTT CITY, MARYLAND 21114  
 MD 16 - 5925



DATE	REVISION
5-21-01	ADD HICKERSON RES. (LOT 15)
3-08-01	ADD YORKSHIRE MANOR & POTOMAC II MODELS
2-26-01	ADD S MODEL
2-21-01	ADD D-D MODEL
11-24-00	REV. LOT 17 TO KENT II MODEL
11-2-00	ADD BECKER HOUSE TYPE
	DESCRIPTION
	REVISION

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Michael P. Fisher*  
 Signature of Engineer (Print name below signature) 9-18-00  
 Date

**DEVELOPER'S CERTIFICATE**  
 I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*Michael P. Fisher*  
 Signature of Developer (Print name below signature) 9-18-00  
 Date

Reviewed for HOWARD SCD and meets Technical Requirements.  
*Carol S. Gorman* 9/28/00  
 U.S.D.A.-National Resources Conservation Service  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
*Howard SCD* 9/28/00  
 Date

**OWNERS**  
 TRINITY HOMES 5212 DEVON DRIVE COLUMBIA, MARYLAND 21044  
 JAMES TOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Chris Stumler* 10/6/00  
 Chief, Division of Land Development  
*Michael P. Fisher* 10/6/00  
 Chief, Department of Planning and Zoning  
*Michael P. Fisher* 10/6/00  
 Director, Department of Planning and Zoning

PROJECT	GERMAN PROPERTY	SECTION/AREA	N/A	LOT NO.	7-15, 17-21 and 23-25
PLAT	14256-19759-12672	BLOCK NO.	20	ZONE	R-20
WATER CODE	H-05	TAX/ZONE	17	ELEC. DIST.	SECOND
		SEWER CODE		CENSUS TR.	G022

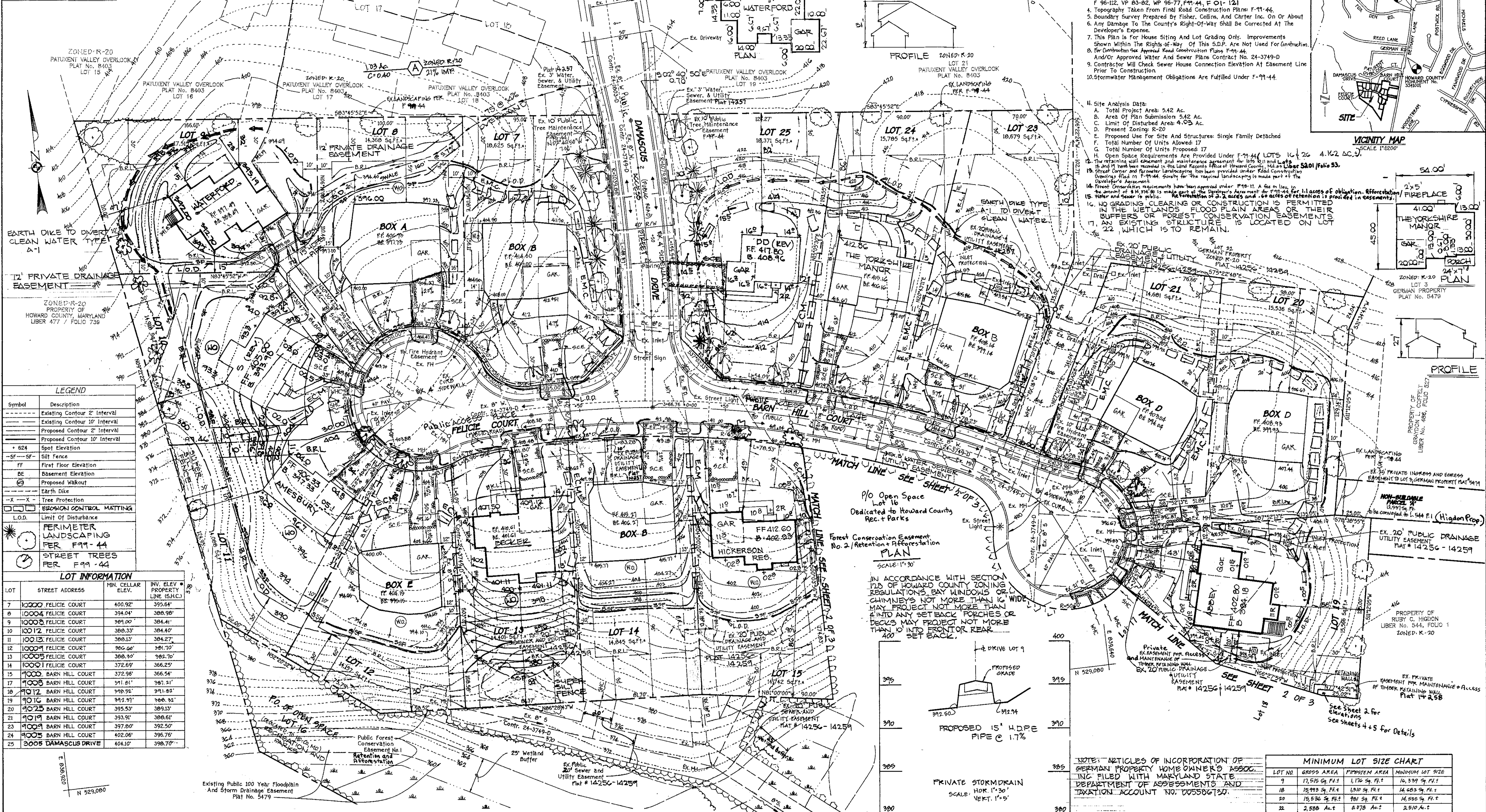
**SITE DEVELOPMENT PLAN AND DETAIL SHEET**  
**SEDIMENT CONTROL PLAN**  
**GERMAN PROPERTY**  
 LOTS 7 -15, 17-21, 23-25

ZONED: R-20  
 TAX MAP No. 17 PARCEL No. 132 GRID No. 20  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999

SHEET 2 OF 5



Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	Detail Sheet



- General Notes:
- The Contractor Shall Notify The Construction Inspection Division At (410) 333-1800 At least 5(5) Five Working Days Prior To The Start Of Work.
  - The Contractor Shall Notify "Mass Utility" At 1-800-257-7777 At least 48 Hours Prior To Any Excavation Work.
  - This Project Is Subject To Howard County Files: 5 96-07, P 98-17, F 83-37, F 96-112, VP 83-82, WP 96-77, F44-44, F 01-121.
  - Topography Taken From Final Road Construction Plans: F-99-44.
  - Boundary Survey Prepared By Fisher, Collins, And Carter Inc. On Or About 11-22-00.
  - Any Damage To The County's Right-Of-Way Shall Be Corrected At The Developer's Expense.
  - This Plan Is For House Siting And Lot Grading Only. Improvements Shown Within The Right-Of-Way Of This S.D.P. Are Not Used For Construction.
  - For Continuation Approved Road Construction Plans: F-99-44, A/D/O Approved Water And Sewer Plans Contract No. 24-3749-D.
  - Contractor Will Check Sewer House Connection Elevation At Easement Line Prior To Construction.
  - Stormwater Management Obligations Are Fulfilled Under F-99-44.
- II. Site Analysis Data:
- Total Project Area: 5.42 Ac.
  - Area Of Plan Submission: 5.42 Ac.
  - Limit Of Disturbed Area: 4.03 Ac.
  - Present Zoning: R-20
  - Proposed Use For Site And Structures: Single Family Detached
  - Total Number Of Units Allowed: 17
  - Total Number Of Units Proposed: 17
  - Open Space Requirements Are Provided Under F-99-44 (LOTS 16, 20, 21, 22, 23, 24, 25).
  - The retaining wall easement and maintenance agreement for lots 10 and 11 and 12 and 13 have been recorded in the Land Records Office of Howard County, Md. as Liber 5201 folio 53.
  15. Water And Sewer Is Public. The location of the sewer and water lines is shown in the drawings filed in F-99-44. Sewer for the required landscaping is made part of the developer's agreement.
  16. Forest Conservation Requirements have been approved under F-99-44. A fee to be paid in the amount of \$1,342.80 is made part of the Developer's Agreement for 1.14 acres of obligation. Afforestation/Reforestation in the wetlands flood plain areas or their buffers or forest conservation easements.
  17. AN EXISTING STRUCTURE IS LOCATED ON LOT 22, WHICH IS TO REMAIN.

LEGEND

Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
+ 624	Spot Elevation
-SF-SF	Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
BE	Proposed Walkout
---	Earth Dike
-X-X-	Tree Protection
---	EROSION CONTROL MATTING
L.O.D.	Limit Of Disturbance
---	PERIMETER LANDSCAPING PER F99-44
---	STREET TREES PER F99-44

LOT INFORMATION

LOT	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (54% C)
7	10000 FELICIE COURT	400.92	395.64
8	10004 FELICIE COURT	394.04	389.98
9	10008 FELICIE COURT	391.00	384.41
10	10012 FELICIE COURT	388.33	384.40
11	10016 FELICIE COURT	388.13	384.27
12	10020 FELICIE COURT	386.68	381.70
13	10024 FELICIE COURT	388.30	382.70
14	10028 FELICIE COURT	372.69	366.25
15	10032 FELICIE COURT	372.98	366.54
16	10036 FELICIE COURT	371.81	361.21
17	10040 FELICIE COURT	349.92	341.82
18	10044 FELICIE COURT	342.91	336.32
19	10048 FELICIE COURT	395.53	389.13
20	10052 FELICIE COURT	393.91	386.61
21	10056 FELICIE COURT	397.80	392.50
22	10060 FELICIE COURT	402.06	396.76
24	3005 DAMASCUS DRIVE	404.10	398.70

MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PIECEMEAL AREA	MINIMUM LOT SIZE
9	17,515 Sq. Ft.	1,176 Sq. Ft.	16,339 Sq. Ft.
18	15,913 Sq. Ft.	1,510 Sq. Ft.	14,403 Sq. Ft.
20	15,536 Sq. Ft.	981 Sq. Ft.	14,555 Sq. Ft.
22	2,588 Ac.	8,878 Ac.	2,510 Ac.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SERVICE OFFICE - 3872 BALTIMORE NATIONAL PIKE  
 ELLETT CITY, MARYLAND 21828  
 410.331.2995

REVISION

DATE	DESCRIPTION
5-21-01	Rev hse & grd, Lot 15
8-23-01	Rev. hse & grd, Lot 10
02-26-01	REMOVE RETAINING WALL, REVISE HOUSE TYPE LOT 10+11, ADD SUPER SILT FENCE TO REAR LOT 13
2-21-01	REV. HSE & GRD LOT 25, ADD HSE TYP
01-29-01	REVISE HOUSE AND GRADING LOT 24
01-08-01	REVISE HOUSE AND GRADING LOT 9
11-2-00	REVISE HOUSE AND GRADING LOT 13

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 Signature of Engineer (Print name below signature) *Enid Lee* Date 4-18-00

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.  
 Signature of Developer (Print name below signature) *Michael Han* Date 4-18-00

Reviewed for HOWARD SCD and meets Technical Requirements.  
 Signature of Reviewer *Carol Simon* Date 4/26/00  
 U.S.D.A. Natural Resources Conservation Service  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
 Signature of Reviewer *John Kelly* Date 4/28/00  
 Howard SCD

**OWNERS**  
 TRINITY HOMES 8212 DEVON DRIVE COLUMBIA, MARYLAND 21044  
 JAMESTOWN BUILDERS 10801 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development *Condy Hammett* Date 10/6/00  
 Chief, Development Engineering Division *Chad Williams* Date 10/3/00  
 Director, Department of Planning and Zoning *Paul Smith* Date 10/12/00

PROJECT: GERMAN PROPERTY SECTION/AREA: N/A LOT NO.: 7-1517-21 and 23-25  
 PLAT: 1425C-1425D BLOCK NO.: 20 ZONE: R-20 TAX/ZONE: 17 ELEC. DIST.: SECOND CENSUS TR.: 6022  
 WATER CODE: H-06 SEWER CODE: 910000

**SITE DEVELOPMENT PLAN  
 SEDIMENT CONTROL PLAN**

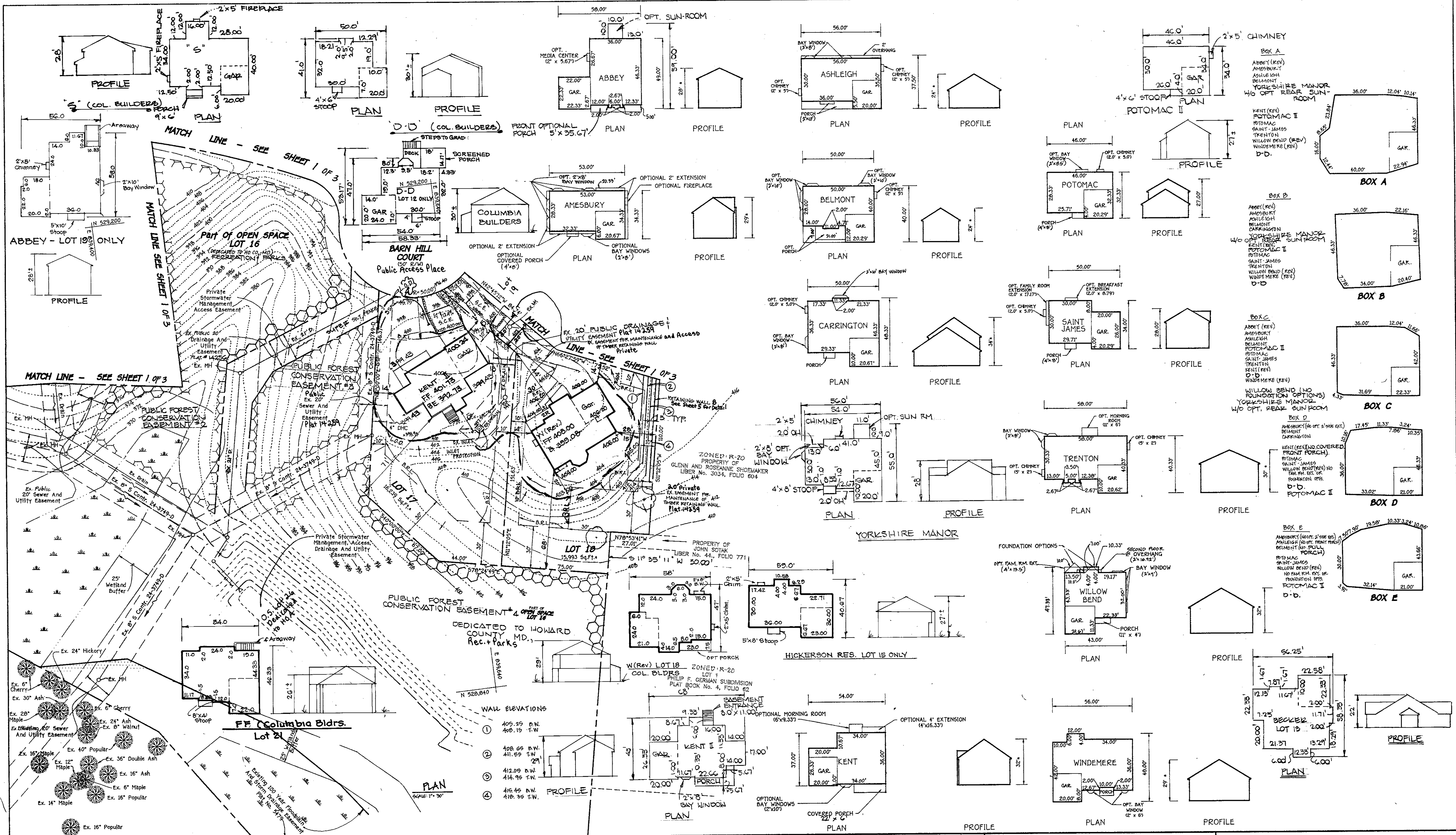
**GERMAN PROPERTY**  
 LOTS 7-15, 17-21, 23-25

ZONED: R-20  
 TAX MAP No. 17 PARCEL No. 132 GRID NO. 20  
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999  
 SHEET 1 OF 5

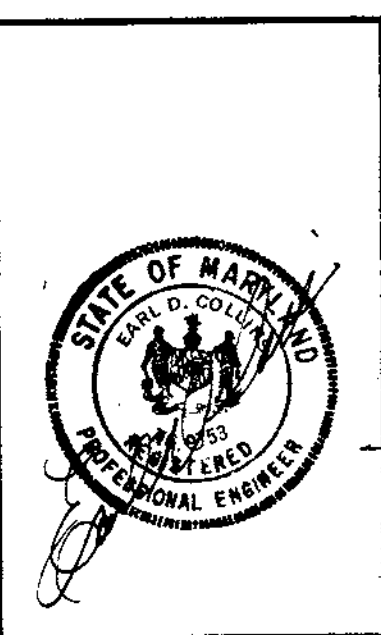








**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL OFFICE: 10722 BALTIMORE NATIONAL PIKE  
 ELKTON CITY, MARYLAND 21828  
 410.661.2955



DATE	REVISION
3-18-02	Add FF house type for Lot 21
12-10-01	Revise FF house type for Lot 18 and add W house type
8-19-01	Add D-D House type for Lot 12
5-21-01	Add HICKERSON RES. (Lot 15)
3-08-01	ADD YORKSHIRE MANOR & POTOMAC II MODELS
2-26-01	ADD S MODEL
2-21-01	ADD D-D MODEL
11-24-00	REV. LOT 17 TO KENT II MODEL
11-2-00	ADD BECKER HOUSE TYPE

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Michael P. Blaw*  
 Signature of Engineer (Print name below signature) Date: 9-18-00

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*Michael P. Blaw*  
 Signature of Developer (Print name below signature) Date: 9-18-00

Reviewed for HOWARD SCD and meets Technical Requirements.  
 U.S.D.A.-National Resources Conservation Service  
 Date: 9/20/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
 Date: 9/22/00

**OWNERS**  
 TRINITY HOMES 6212 DEVON DRIVE COLUMBIA, MARYLAND 21044  
 JAMESTOWN BUILDERS 10901 HICKORY RIDGE ROAD SUITE 210 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Cindy Hamilton* 10/6/00  
 Chief, Division of Land Development Date

*David S. Blaw* 10/5/00  
 Chief, Development Engineering Division Date

Project: Department of Planning and Zoning Date: 10/12/00

PROJECT	SECTION/AREA	LOT NO.
GERMAN PROPERTY	N/A	7-15, 17-21 and 23-25

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
14256-12358	20	R-20	17	SECOND	6022

WATER CODE	SEWER CODE
11-05	5780000

**SITE DEVELOPMENT PLAN AND DETAIL SHEET**

**SEDIMENT CONTROL PLAN**

**GERMAN PROPERTY**  
 LOTS 7 -15, 17-21, 23-25

ZONED: R-20  
 TAX MAP No. 17 PARCEL No. 132 GRID No. 20  
 SECOND ELECTION DISTRICT: HOWARD COUNTY, MARYLAND  
 DATE: FEBRUARY, 1999  
 SHEET 2 OF 5











