

INDEX OF SHEETS	
SHEET NO.	TITLE
1	Cover Sheet
2	Site Development Plan
3	Sediment & Erosion Control Plan
4	Landscape Plan and Details
5	Sediment & Erosion Control Details and Notes

SEWER HOUSE CONNECTION

Lot No.	Inv. @ E	Min. Cell.
1	435.6 ±	439.50
2	435.9 ±	440.00
3	436.1 ±	440.00
4	436.2 ±	440.50
5	436.5 ±	440.50
6	436.6 ±	440.50
7	436.9 ±	441.00

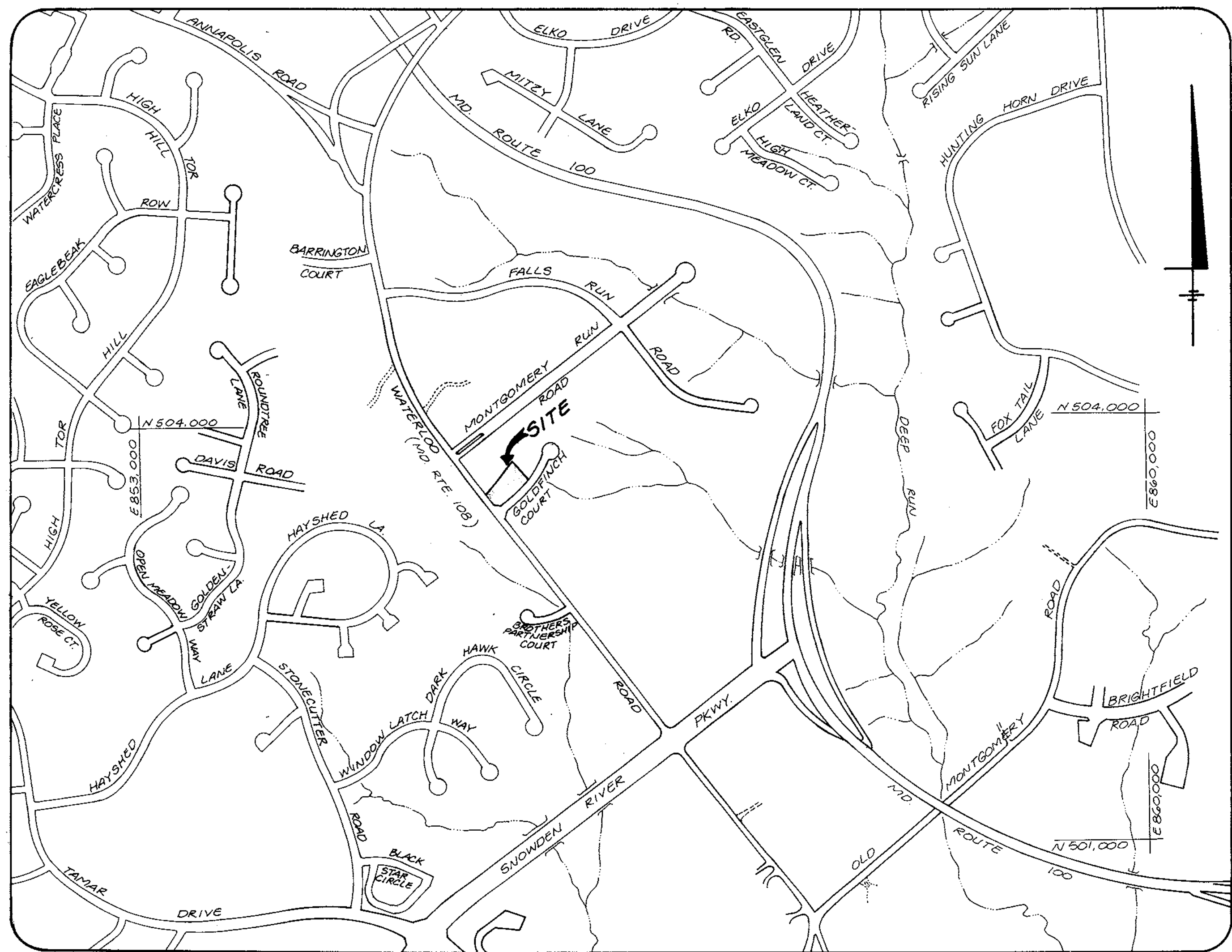
LOT AREA CHART

Lot Number	Area	Lot Coverage*
1	2612 S.F.	36.8 %
2	2197 S.F.	43.7 %
3	2235 S.F.	43.0 %
4	2273 S.F.	42.2 %
5	2240 S.F.	42.9 %
6	2137 S.F.	44.9 %
7	2525 S.F.	38.0 %

* Lot Coverage Includes The Typical Unit (720 SF) and Typical Deck (240 SF). Total Typical Lot Coverage = 960 SF. The maximum coverage requirement of 40% is not exceeded.

SITE ANALYSIS

- Subject property is zoned: RSA-8 per Comprehensive Zoning Plan on Oct. 18, 1993.
- Unit type proposed: Single Family Attached
- Number of units allowed: 7
- Number of units provided: 7
- Number of parking spaces required: 14
- Number of parking spaces provided: 14
 - Driveways and Garages: 14
- Area Tabulation:
 - Total area of lots: 0.7526 Acst/-



LOCATION MAP

Scale: 1" = 600'

SITE DEVELOPMENT PLAN

MONTGOMERY TOWNSHIP II

LOTS 1 THRU 7

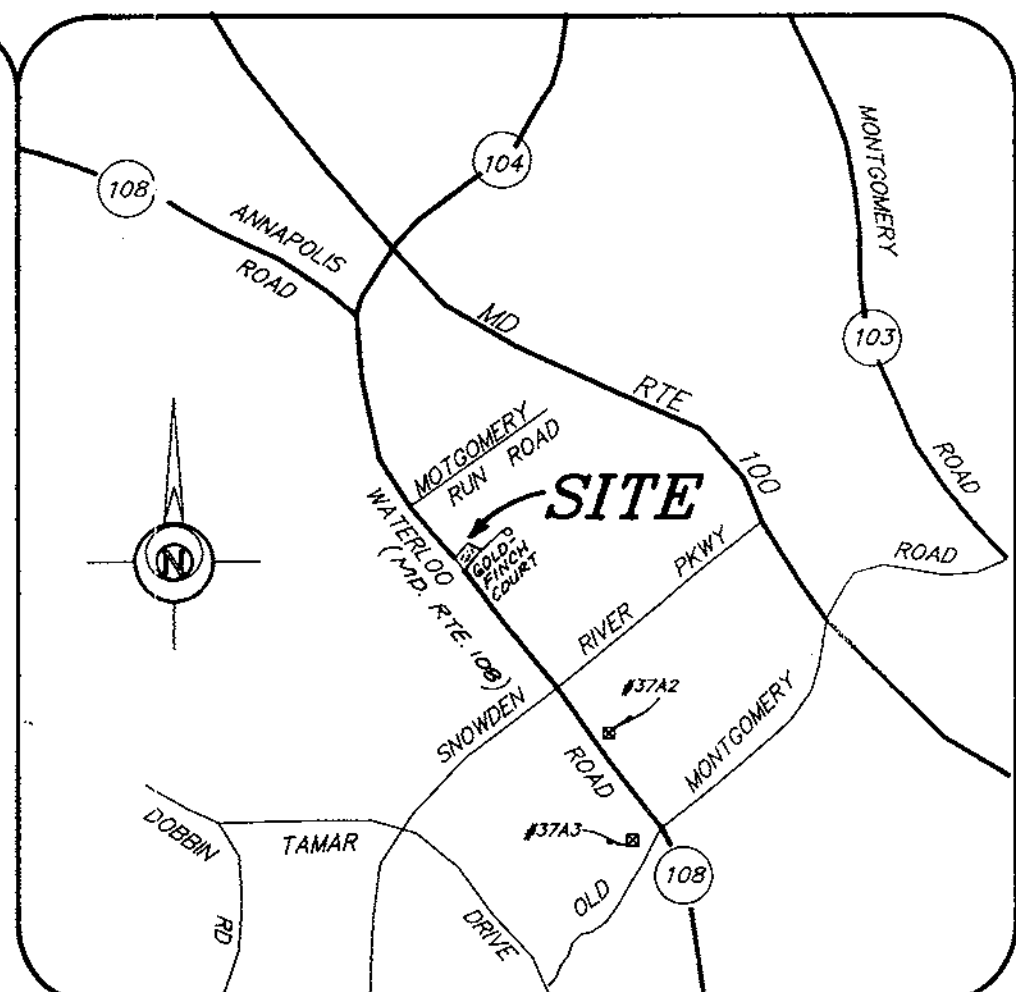
1st Election District - Howard County, Maryland

BENCHMARKS:

37A2 : ELEV. = 403.707
 CONCRETE MONUMENT 0.1 FT. BELOW SURFACE AT TOP OF SLOPE NORTH SIDE OF WATERLOO ROAD NEAR # 5866

37A3 : ELEV. = 385.659

CONCRETE MONUMENT 0.3 FT. BELOW SURFACE AT TOE OF SLOPE SOUTHWEST QUADRANT OF WATERLOO ROAD AND OLD MONTGOMERY ROAD INTERSECTION



VICINITY MAP

Scale 1" = 2000'

GENERAL NOTES

- Subject property is zoned: RSA-8 per 10-18-93 Comprehensive Zoning Plan.
- Total area included in this submission: 0.7526 Acst/-
- Number of lots included in this submission: 7
- Improvement to property: Single Family Attached
- Maximum Lot Coverage permitted is: 60%
- Department of Planning and Zoning reference file numbers are: SP94-04, WP94-10, SP94-04, F95-136, SP99-02, F99-141.
- Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- Utilities shown as existing are located from field surveys and construction drawings of record. The approximate location of existing utilities are shown for the contractor's information and convenience. The contractor shall locate existing utilities to his own satisfaction and well in advance of any activities. Additionally, the contractor shall take necessary precautions to protect all existing utilities and maintain uninterrupted service.
- All roads are public and existing.
- The topography shown hereon was compiled from field run data prepared by LDE, Inc., March 1995, and Nov. 1998 post grade (F95-136 & SDP96-116), and "As-Built" surveys of public record.
- Coordinates shown hereon are based on the Maryland State Grid System (MADRS) as projected by Howard County Geodetic Control Station Nos. 37A2 and 37A3.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least five (5) days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1 800 257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R6.02.
- In accordance with Sections 128.A.1.b and .c of the Zoning Regulations, the following building features, if not more than 18 feet in width, may project not more than four feet into any required setback area or required distance between buildings: bay windows and window wells; oriels; vestibules; balconies; chimneys; heating or air conditioning units; and exterior stairways or ramps, whether above or below ground level and open or enclosed porches and decks may project not more than 10 feet into any required front or rear setback area or into a required setback from a project boundary or different zoning district. Exterior stairways or ramps, above or below ground level, may extend not more than 10 feet into a front setback area or a setback from a project boundary or different zoning district, and not more than 16 feet into a rear setback area.
- Stormwater Management is provided per: F95-136 and F99-141.
- There are no Wetlands on the site.
- The Open Space lot denoted as "Community Owned" will be maintained by a Community Owned Homeowners Association. The Articles of Incorporation for Montgomery Township Assoc., Identification No. 414655, has been accepted and approved by the Department of Assessments and Taxation on January 11, 1996.
- This subdivision is exempt from the requirements of the Howard County Forest Conservation Program. The gross area of the project is less than 40,000 square feet.
- All lots will be served by Public Water and Public Sewer by House Connections from Contract # 14-3437-D. All individual water house connections to be 1" diameter minimum, all water connections to be 1-1/2" diameter and all units shall have 3/4" diameter water meters. All sewer house connections to be 4".
- The 65dBA noise contour line represents the approximate location of the 65dBA decibel noise exposure level, compiled by LDE, Inc. as part of the SP99-02 Plan approval.

ABANDONMENT NOTE:

The existing private well and septic system located on the project shall be abandoned by the developer in accordance with approved procedures of the Howard County Health Department. The developer shall provide notification to the Health Department of the abandonment prior to signature approval of the Record Plat. (F99-141)

The monitoring wells located along the northern boundary line shall remain in place until such time as the Maryland Department of the Environment and/or the Environmental Protection Agency approves their removal or relocation. (F99-141)

PLEASE NOTE, INSPECTION BY THE HOWARD COUNTY HEALTH DEPARTMENT IS REQUESTED PRIOR TO THE INITIATION OF WORK

NOTE:

IN ACCORDANCE WITH SECTION 133.D.2.4 OF THE ZONING REGULATIONS, THE DRIVEWAY AND GARAGE ON EACH LOT SHALL BE USED FOR PARKING PURPOSES ONLY.

SPECIAL NOTE:

This plan is for house siting and lot grading only. Improvements shown within the right-of-way on this SDP are not to be used for construction. For construction, see approved Road Construction Plans F95-136, F99-141 and/or approved Water and Sewer Plans Contract No. 14-3437-D.

SUBDIVISION NAME Montgomery Township II		SECTION/AREA ---	PARCEL NO. LOTS 1-7
PLAT NO. 13932-13493	BLOCK NO. 1	ZONE RSA-8	TAX MAP NO. 37
WATER CODE G07		ELECTION DISTRICT 1st	CENSUS TRACT G011.02
SEWER CODE 2780000			

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Damman
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

11/2/99

Cindy Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT

11/4/99

James S. Smith
 DIRECTOR

11/6/99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Cheryl Simmons
 NATURAL RESOURCE CONSERVATION SERVICE

10/8/99

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Hartman
 HOWARD SOIL CONSERVATION DISTRICT

11/29/99

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN, PERMITS AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE PROJECT AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE HOWARD SOIL CONSERVATION DISTRICT."

Bruce D. Burton
 REGISTERED PROFESSIONAL ENGINEER

11/1/99

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFY DATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Scott S. Szulgi
 SIGNATURE OF DEVELOPER

11/21/99



7	5715 Goldfinch Court
6	5713 Goldfinch Court
5	5711 Goldfinch Court
4	5709 Goldfinch Court
3	5707 Goldfinch Court
2	5705 Goldfinch Court
1	5703 Goldfinch Court

Lot # _____ Street Address _____

NO.	DATE	REVISIONS

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: E.D.S. SCALE: As Shown

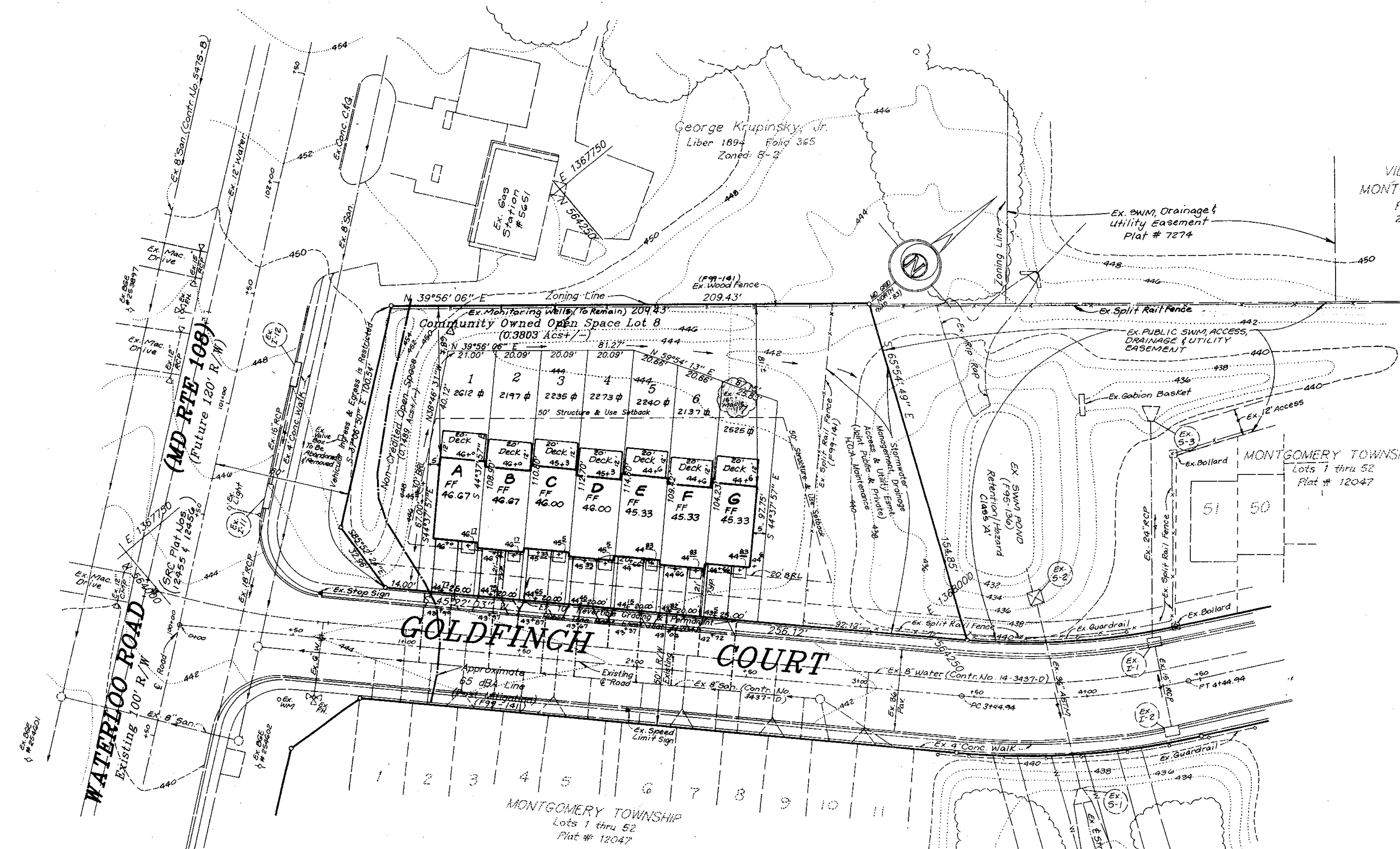
DRAWN: K.B.W. SHEET: 1 of 5

CHECKED: B.D.B. JOB NO.: 98015

DATE: 10/99

OWNER / DEVELOPER: WINTHORPE DEVELOPERS
 P O BOX 222
 HIGHLAND, MARYLAND 20777-0223

FILE NO.: SDP 99-142

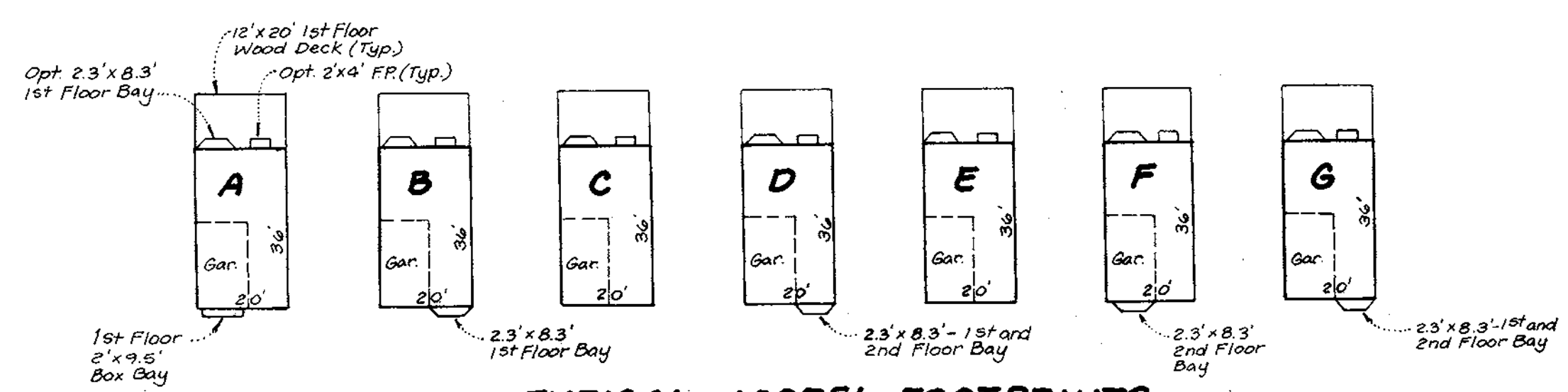
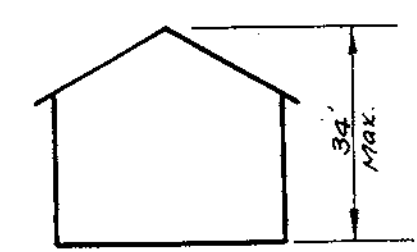


VILLAGE OF MONTGOMERY RUN
Plat # 8042
Zoned: RSA-8

MONTGOMERY TOWNSHIP
Lots 1 thru 52
Plat # 12047

LEGEND

- CONTOUR INTERVAL 2 FT.
- EXISTING CONTOUR 402
- PROPOSED CONTOUR 402
- SPOT ELEVATION 45+5
- DIRECTION OF DRAINAGE
- EX. TREE TO BE SAVED
- APPROX. G5 dBA LINE (Mitigated)



TYPICAL MODEL FOOTPRINTS
Scale: 1" = 30'

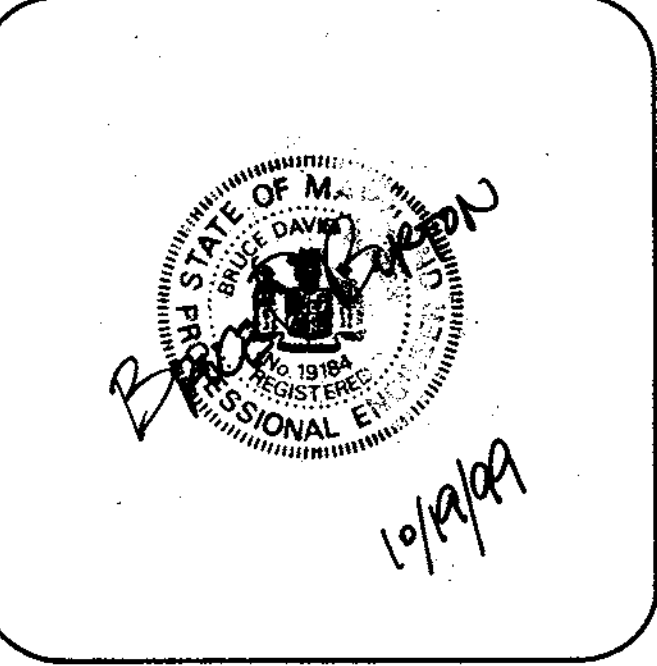
NOTE: 1. Coverage for all unit types is 722 S.F.
2. Coverage for the typical 12' x 20' deck is 240 S.F.
3. See the lot area chart on sheet 1.

NOTE:
IN ACCORDANCE WITH SECTION 133.D.2.a OF THE ZONING REGULATIONS, THE DRIVEWAY AND GARAGE ON EACH LOT SHALL BE USED FOR PARKING PURPOSES ONLY.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John R. Smith 11/2/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cindy Hammett 11/5/99
CHIEF, DIVISION OF LAND DEVELOPMENT
John R. Smith 11/5/99
DIRECTOR

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.
John R. Smith 10/29/99
NATURAL RESOURCE CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Smith 10/29/99
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Bruce D. Burton 10/19/99
SIGNATURE OF ENGINEER
DEVELOPER'S CERTIFICATE
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."
Scott S. Melyni 4/21/99
SIGNATURE OF DEVELOPER



SPECIAL NOTE:
This plan is for house siting and lot grading only. Improvements shown within the right-of-way on this SDP are not to be used for construction. For construction, see approved Road Construction Plans F95-130, F99-141 and/or approved Water and Sewer Plans Contract No. 14-3437-D.

NO.	DATE	REVISIONS

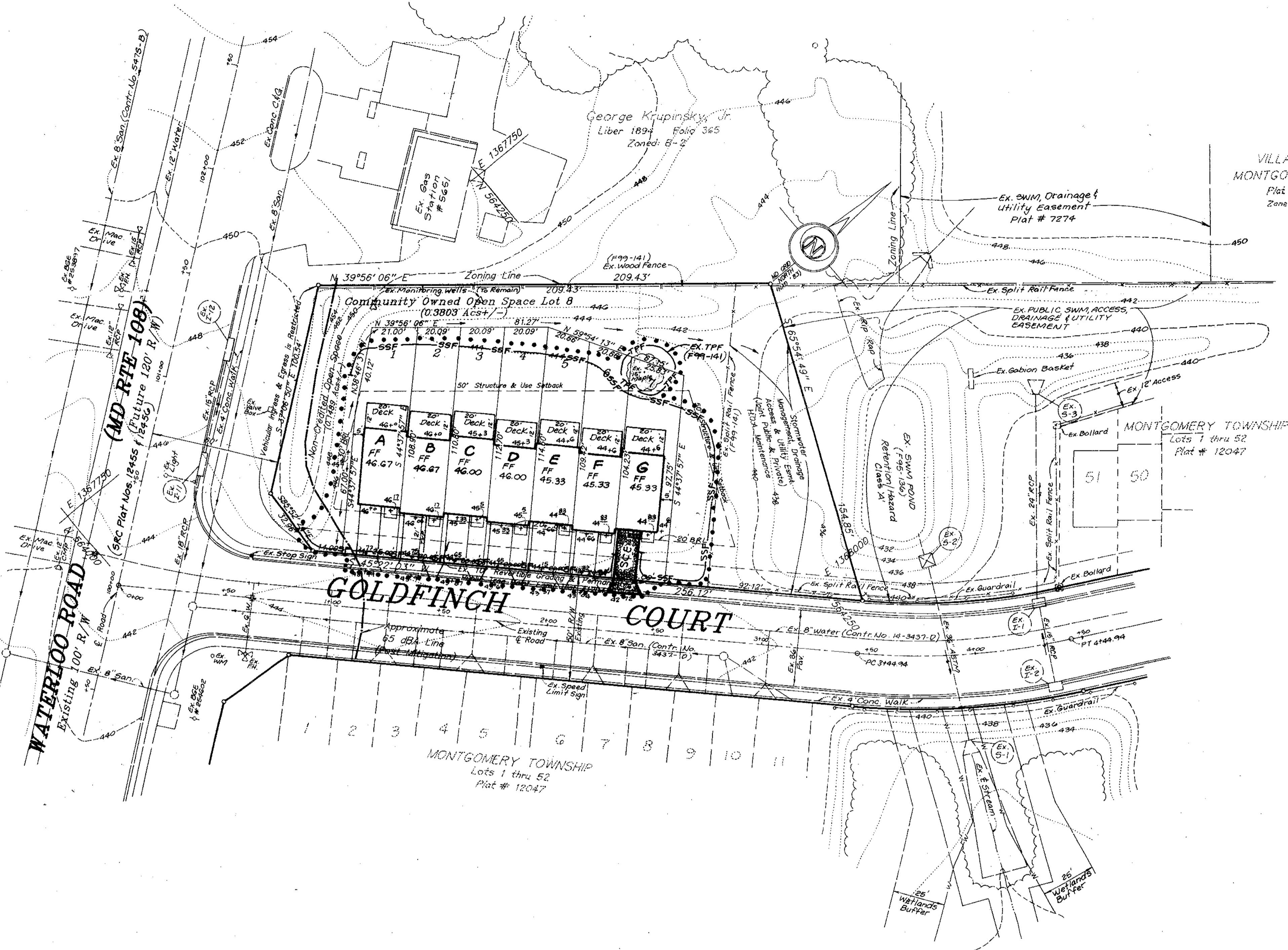
SUBDIVISION NAME Montgomery Township II		SECTION/AREA	PARCEL NO. LOTS 1-7
PLAT NO. 13992-13993	BLOCK NO. 1	ZONE RSA-8	TAX MAP NO. 37
ELECTION DISTRICT 1st		GENSUS TRACY G011.02	
WATER CODE G07		SEWER CODE 2780000	

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED E.D.S.	SITE DEVELOPMENT PLAN MONTGOMERY TOWNSHIP II LOTS 1 THRU 7 Tax Map # 37 BLOCK 1 P/O PARCEL NO 2 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND Previous Submittals: SP4-04, SP4-10, SP4-04, P95-130, SP99-02, F99-141 OWNER / DEVELOPER WINTHORPE DEVELOPERS P.O. BOX 283 HIGHLAND, MARYLAND 20777-0283	SCALE 1" = 30'
DRAWN K.B.W.		SHEET 2 of 5
CHECKED B.D.B.		JOB NO. 98015
DATE 10/99		FILE NO. SDP 99-142

CONSTRUCTION SEQUENCE

1. Obtain Grading Permit. - 1 day
2. Stakeout limits of disturbance. - 1 day
3. Install Tree Protection Fence (TPF), Silt Fence (SF) and Super Silt Fence (SSF) at the limit of disturbance where shown. - 2 days
4. Construct SCE w/ mountable berm as shown hereon. - 1 day
5. After permission has been given by Sediment Control Inspector, grade site for unit slab and temporarily stabilize. - 3 days
6. Construct structure, driveways and sidewalks - 60 Days
7. After permission has been given by Sediment Control Inspector, remove silt fence, super silt fence, and stabilize area with permanent seeding mixture and straw mulch - 2 days



LEGEND

- CONTOUR INTERVAL 2 FT.
- EXISTING CONTOUR 402
- PROPOSED CONTOUR 402
- SPOT ELEVATION 45+5
- DIRECTION OF DRAINAGE
- EX. TREE TO BE SAVED
- APPROX. 65 dba LINE (Mitigated)
- STABILIZED CONSTRUCTION ENTRANCE SCE
- LIMIT OF DISTURBANCE
- SILT FENCE SF — SF — SF
- SUPER SILT FENCE SSF — SSF
- TREE PROTECTION FENCE TPF — TPF

NOTE:
 IN ACCORDANCE WITH SECTION 133.D.2.a OF THE ZONING REGULATIONS, THE DRIVEWAY AND GARAGE ON EACH LOT SHALL BE USED FOR PARKING PURPOSES ONLY.

SUBDIVISION NAME Montgomery Township II		SECTION/AREA	PARCEL NO. LOTS 1-7
PLAT NO. 1399-2	BLOCK NO. 1	ZONE RSA-B	TAX MAP NO. 37
ELECTION DISTRICT 1st		CENSUS TRACT 6011.02	
WATER CODE G07		SEWER CODE 2780000	

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3434 (410) 715-9540 (Fax)

SEDIMENT and EROSION CONTROL PLAN
MONTGOMERY TOWNSHIP II
 LOTS 1 THRU 7

Tax Map # 37 BLOCK 1 P/O PARCEL NO 2
 1ST ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

Previous Submittals: SP4-04, WP4-10, SP4-04, P05-136, SP99-02, P99-141

OWNER / DEVELOPER
WINTHORPE DEVELOPERS
 P.O. BOX 263
 HIGHLAND, MARYLAND 20777-0263

DESIGNED: E.D.S. SCALE: 1" = 30'
 DRAWN: K.B.W. SHEET: 3 of 5
 CHECKED: B.D.B. JOB NO.: 98015
 DATE: 10/99 FILE NO.: SDP 99-142

SPECIAL NOTE:
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NO.	DATE	REVISIONS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 11/2/99
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 11/4/99
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 11/5/99
 CHIEF

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

[Signature] 10/29/99
 NATURAL RESOURCE CONSERVATION SERVICE

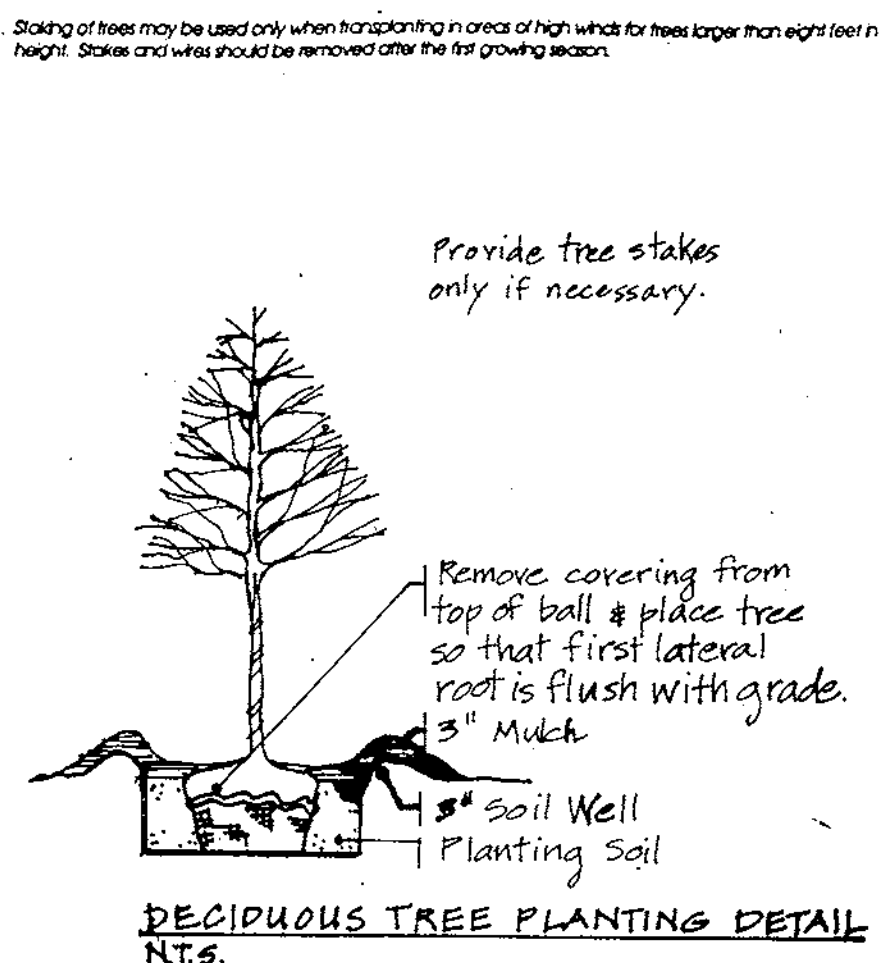
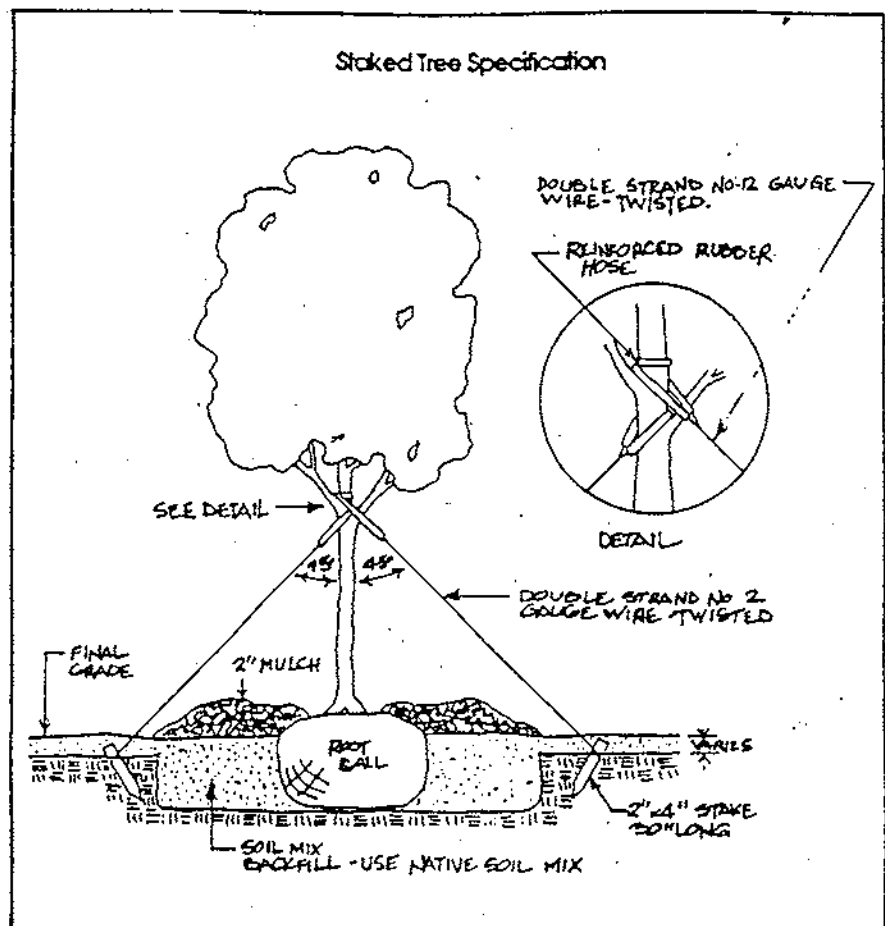
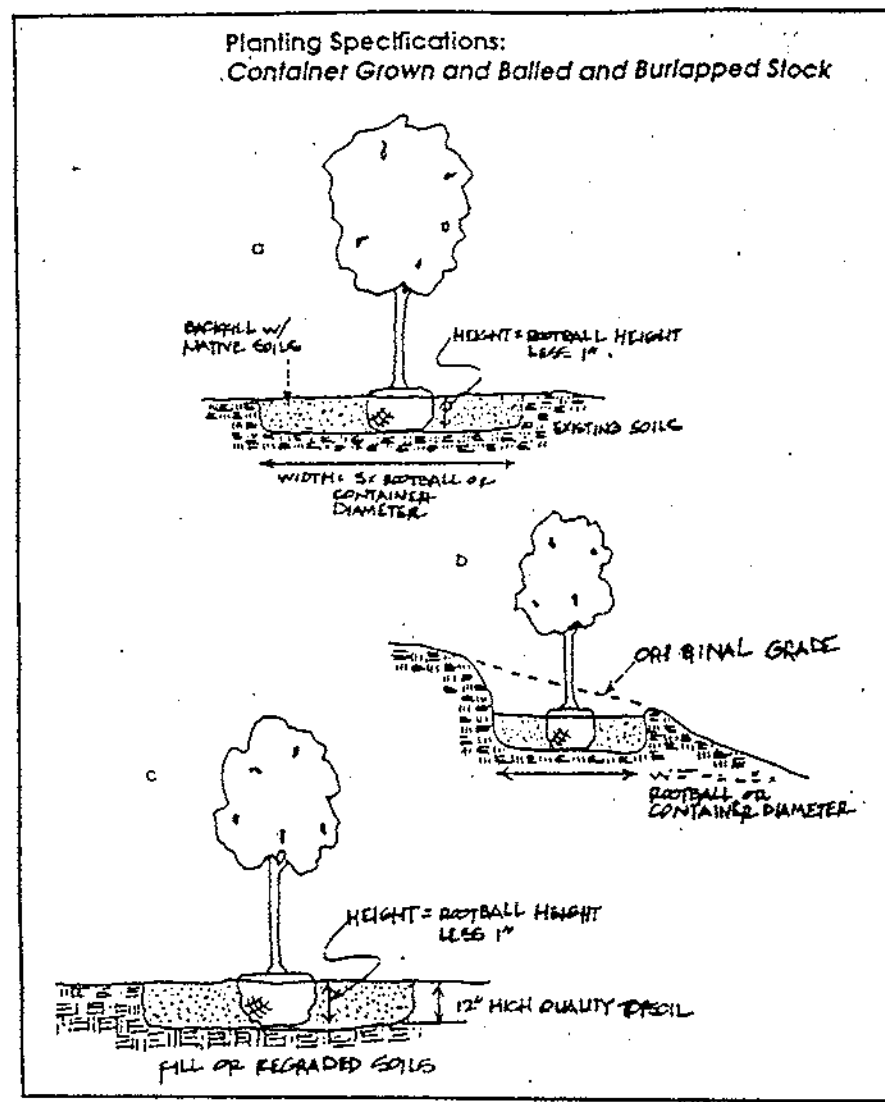
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 10/29/99
 HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND RESPONSIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature] 10/29/99
 SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE
 "I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."
[Signature] 10/29/99
 SIGNATURE OF DEVELOPER





NOTES:
1. THE SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE APPROVED F99-141 LANDSCAPE PLAN.
2. THE DEVELOPER IS RESPONSIBLE FOR THE REPLACEMENT OF ANY STREET TREES DAMAGED OR REMOVED DURING CONSTRUCTION.

SCHEDULE C *
RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

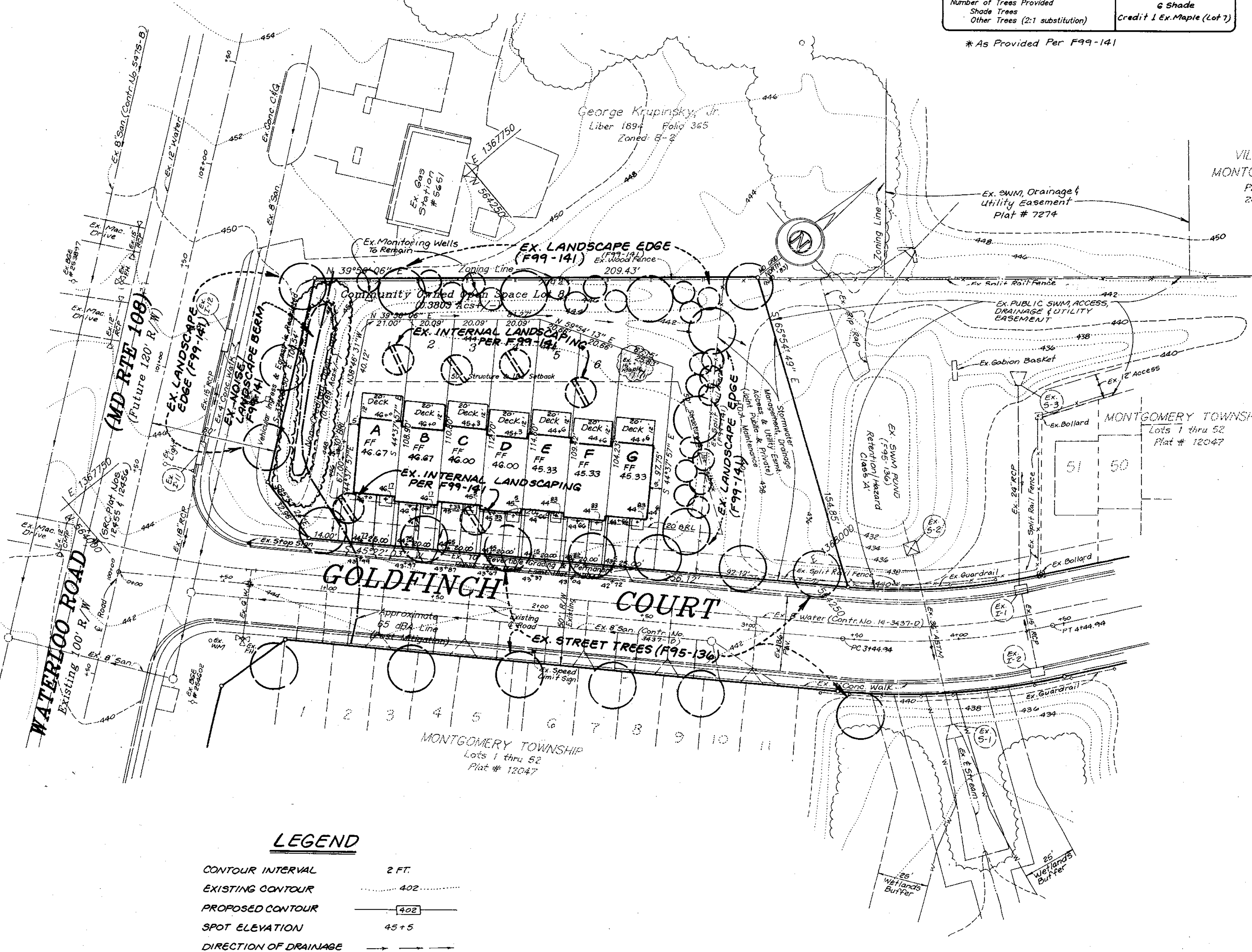
Number of Dwelling Units	7
Number of Trees Required (100 SF = 13 DB APTS)	7
Number of Trees Provided	6 Shade
Other Trees (2:1 substitution)	Credit 1 Ex. Maple (Lot 7)

* As Provided Per F99-141

PLANT LIST *

Key	Qty.	Plant Names	Size	Code	Remarks
6		Acer Saccharum Green Mountain	7' - 8' Ht.	A	As Shown
		Green Mountain Sugar Maple			

* As Provided Per F99-141



LEGEND

CONTOUR INTERVAL	2 FT.
EXISTING CONTOUR	402
PROPOSED CONTOUR	402
SPOT ELEVATION	45+5
DIRECTION OF DRAINAGE	
EX. TREE TO BE SAVED	
APPROX. 65 DBA LINE (Mitigated)	
EX. STREET/LANDSCAPE TREES INSTALLED UNDER F95-136 OR F99-141	
PROPOSED LANDSCAPE TREE	

NOTE:
IN ACCORDANCE WITH SECTION 133.D.2.a OF THE ZONING REGULATIONS, THE DRIVEWAY AND GARAGE ON EACH LOT SHALL BE USED FOR PARKING PURPOSES ONLY.

GENERAL NOTES

- This plan has been prepared in accordance with the provisions of Section 134 of the Howard County Code and Landscape Manual.
- The Owner/Developer is responsible for the planting of all plant material required to meet the standards established by the Howard County Landscape Manual.
- Financial Surety for the required landscaping has been posted as part of the Department of Public Works Developer's Agreement under F99-141.

NOTE: THIS SUBDIVISION IS EXEMPT FROM THE REQUIREMENTS OF THE HOWARD COUNTY FOREST CONSERVATION PROGRAM. THE GROSS ACREAGE OF THE PROJECT IS LESS THAN 40,000 SQUARE FEET AND IS DEVELOPED TO ITS MAXIMUM DENSITY.

PLANTING / STREET TREE NOTES

- Notify "Miss Utility" 72 hours prior to installation of all plant material.
- Plant installation must conform to the minimum standards cited in the latest edition of Landscape Specification Guidelines, published by the Landscape Contractors Association.
- Plants to be located in the field by the owner or owner's representative. Notify owner 72 hours in advance of planting.
- A Certification of Landscape Installation is required as per the Howard County Landscape Ordinance.
- The number, size, location of plants shall not be changed without the approval of the Landscape Architect. Substitutions must be included in the recommended plant list in the Howard County Landscape Ordinance.
- Street tree locations may be adjusted for final location of driveways. The drive aprons may not allow the typical 1 per 40 foot requirement. Trees to be located a minimum of 10 feet from driveways.
- Street tree planting must conform to the Subdivision and Land Development Regulations and the Department of Public Works Design Manual of Howard County.
- Balled and burlapped plant material shall not be accepted if ball is cracked or broken before or during planting. Protect all plants from drying by either sun or wind.
- Tree pits shall be backfilled with 50% topsoil, 25% peat, 25% sand with one pound of 10-10-10 fertilizer per pit.
- Top soil shall be sandy loam soil free from noxious weeds or grasses, roots, clay clumps, stones, sticks, etc. Peat moss shall be commercial with pH 4.5 to 5.5, free of woody material or harmful minerals.
- All plants shall be watered at planting with weekly watering thereafter for the first 80 days. Watering shall continue bi-monthly or as necessary to maintain plants in a healthy condition during the guarantee period.
- Maintain the site in an orderly manner. Streets and sidewalks shall be swept clean. All rejected or dead materials shall be immediately removed from the site.
- Plant material to be alive and healthy at the time of the guarantee period (one year), as specified in the Howard County Landscape Ordinance.
- Maintenance shall begin immediately after planting and continue to the end of guarantee period.
- Maintenance consists of pruning, watering, weeding, mulching, resetting plants to proper grades as needed and repairing guys and stakes as needed.
- Biological root inhibitor barrier or containment shall be installed for trees planted closer than 3 feet to sidewalk.
- Trees shall be placed 30 feet (min) from all signs and intersections when planting occurs between sidewalk & curb.
- Street trees may not be planted within 5 feet of drain inlets, 5 feet of an open space access strip and 10 feet of a driveway.
- There shall be a minimum of 20 feet between street lights and street trees.

SUBDIVISION NAME	Montgomery Township II	SECTION/AREA	PARCEL NO.
PLAT NO.	13993	BLOCK NO.	1
ZONE	RSA-8	TAX MAP NO.	37
ELECTION DISTRICT	1st	CENSUS TRACT	6011.02
WATER CODE	G07	SEWER CODE	2780000

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 11/2/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 11/4/99
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 11/5/99
DIRECTOR

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

[Signature] 10/29/99
NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 10/29/99
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 10/19/99
SIGNATURE OF ENGINEER

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[Signature] 10/21/99
SIGNATURE OF DEVELOPER

STATE OF MARYLAND

[Signature] 10/19/99

SPECIAL NOTE:
This plan is for house siting and lot grading only. Improvements shown within the right-of-way on this SDP are not to be used for construction. For construction, see approved Water and Sewer Plans Contract No. 14-3437-D.

NO.	DATE	REVISIONS

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: E.D.S.
DRAWN: K.B.W.
CHECKED: B.D.B.
DATE: 10/99

SCALE: 1" = 30'
SHEET: 4 of 5
JOB NO.: 98015
FILE NO.: SDP 99-142

LANDSCAPE PLAN and DETAILS
MONTGOMERY TOWNSHIP II
LOTS 1 THRU 7

Tax Map #37 BLOCK 1 P/O PARCEL NO 2
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

Previous Submittals: 894-04, W94-10, SP94-04, F95-136, SP99-02, F99-141

OWNER / DEVELOPER
WINTHORPE DEVELOPERS
P.O. BOX 283
HIGHLAND, MARYLAND 20777-0283

**HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES**

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction. (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section 6) for permanent seeding, sod, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	0.75 Acres
Area Disturbed	0.45 Acres
Area to be roofed or paved	0.20 Acres
Area to be vegetatively stabilized	0.20 Acres
Total Cut	1350 Cu. Yds.
Total Fill	1350 Cu. Yds.
- Off-site waste/borrow area location *N/A*.
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- As stipulated in the permit provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be required until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.

**HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- PREFERRED** — Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000sq. ft.)
- ACCEPTABLE** — Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

SEEDING — For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 80 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue and 2 lbs. per acre (.05 lbs/1000sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) — 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) — Use sod. Option (3) — Seed with 60 lbs per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

MULCHING — Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

MAINTENANCE — Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

SEEDBED PREPARATION: — Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

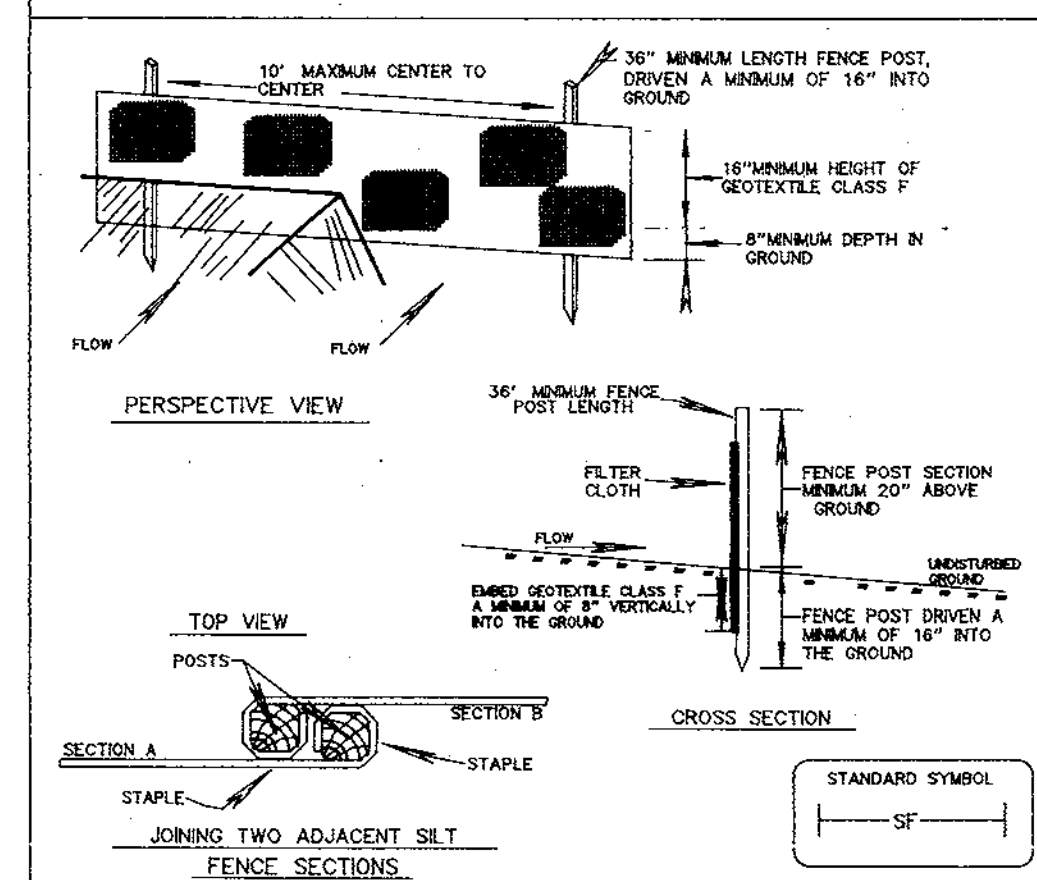
SOIL AMENDMENTS: — Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.).

SEEDING — For periods March 1 thru April 30, and from August 15 thru October 15 seed with 2-12 bushels per acre of annual rye (3.2 lbs./1000sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs/1000sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING — Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

DETAIL 22 - SILT FENCE



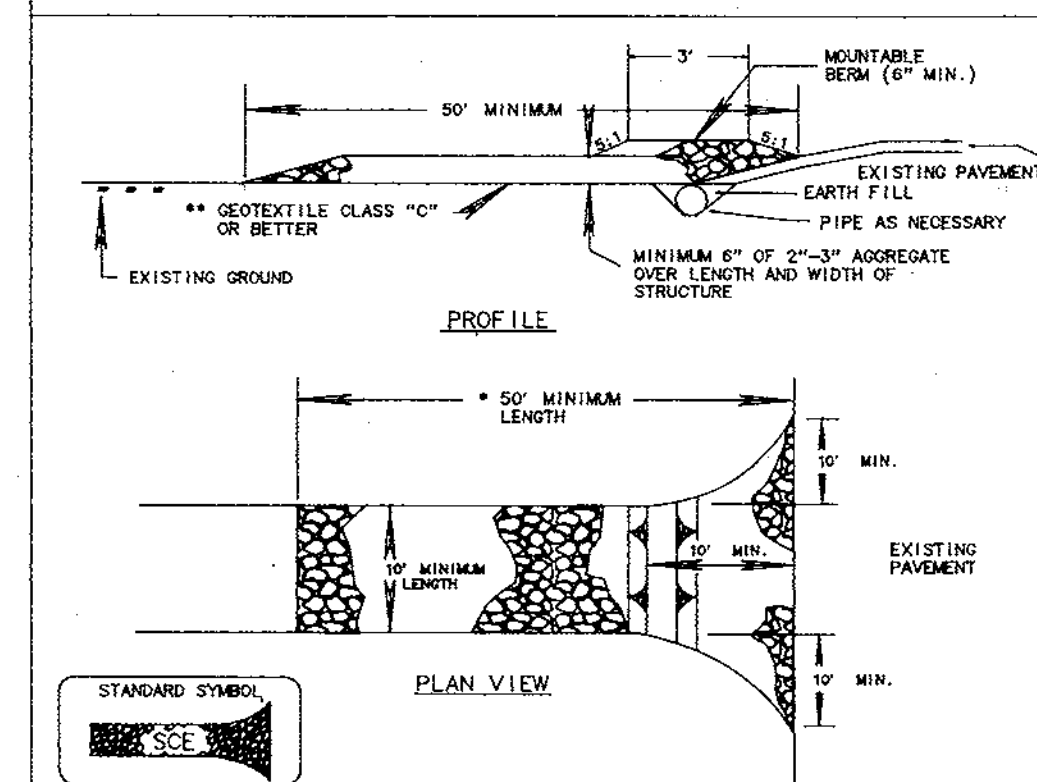
Construction Specifications

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard 1" or U section weighting not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements:

Tensile Strength	50 lbs/in (min)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min)	Test: MSMT 509
Flow Rate	0.3 gal ft / minute (max)	Test: MSMT 322
Filtration Efficiency	75% (min)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt fence shall be inspected after each rainfall event and maintained when bypass occur or when sediment accumulation reached 50% of the fabric height.

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DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



Construction Specification

- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrance shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SSE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

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21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low nutrient content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

- Conditions Where Practice Applies**
- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
 - For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 3% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization—Section I—Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.0 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization—Section I—Vegetative Stabilization Methods and Materials.

Topsoil Application

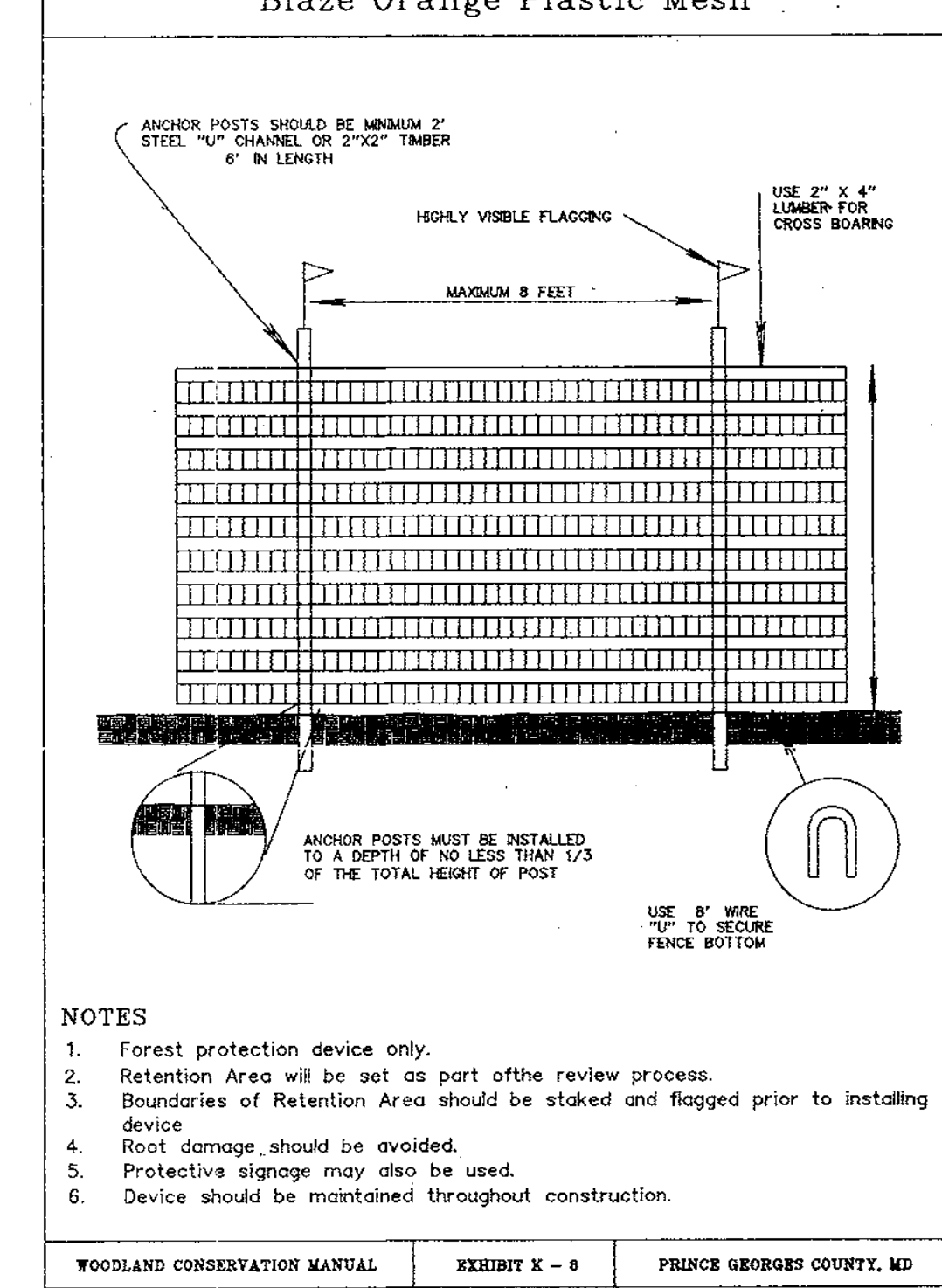
- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Alternative for Permanent Seeding - Instead of applying the full amount of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb./1,000 square feet, and 1/3 the normal lime application rate.

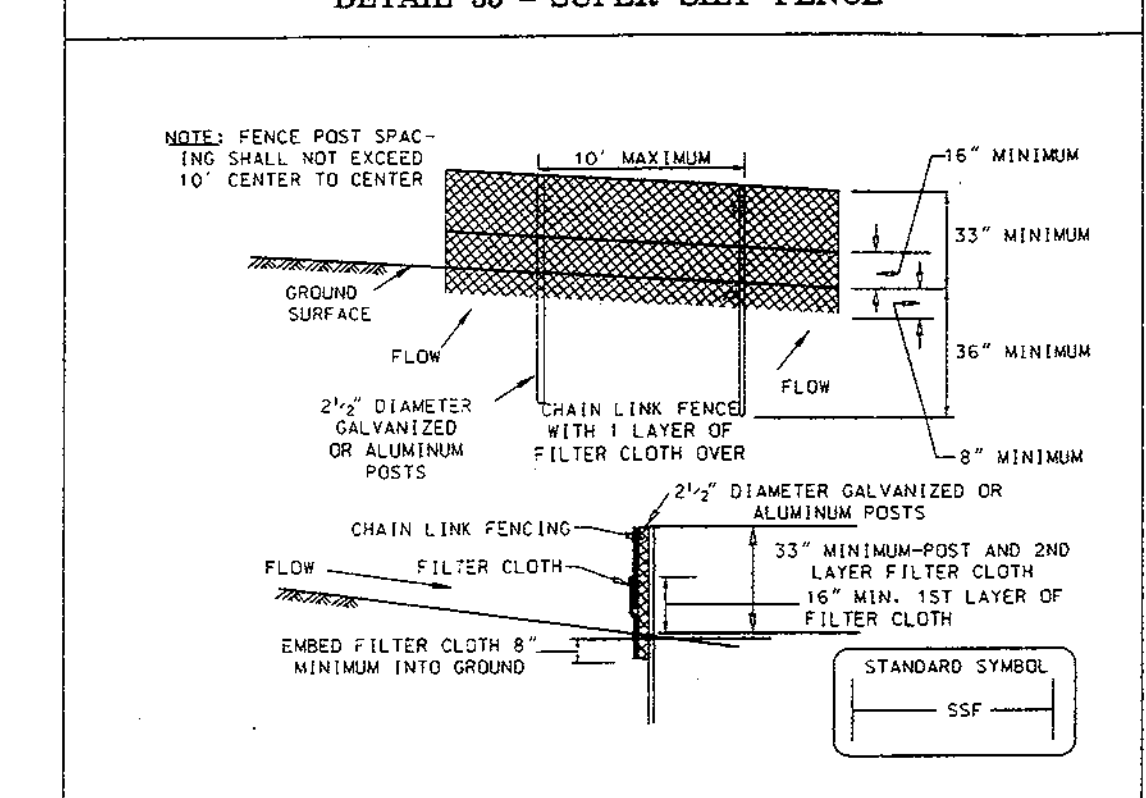
References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

Blaze Orange Plastic Mesh



WOODLAND CONSERVATION MANUAL	EXHIBIT X - 8	PRINCE GEORGES COUNTY, MD
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DETAIL 33 - SUPER SILT FENCE



- Construction Specifications**
- Fencing shall be 42 inches in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.
- The poles do not need to be set in concrete.
 - Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
 - Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - Filter cloth shall be embedded a minimum of 6" into the ground.
 - When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and silt buildups removed when "bunches" develop in the silt fence.

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ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS PRACTICAL AND WORKABLE PLAN BASED UPON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT THE SAME ARE PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Paul D. Burman
SIGNATURE OF ENGINEER

DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Paul D. Burman
DATE 10/29/99

APPROVED: DEPARTMENT OF PLANNING & ZONING

Michael J. ...
DATE 11/2/99

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE FEEDBACK ON THIS INSTRUCTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Scott S. Szeglin
SIGNATURE OF DEVELOPER

DATE 11/2/99

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. ...
DATE 10/29/99

Cindy Hemmick
DATE 11/5/99

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED	E.D.S.	SCALE	As Shown
DRAWN	K.B.W.	DRAWING	5 of 5
CHECKED	B.D.B.	JOB NO.	98015
DATE	10/99	FILE NO.	SDP 99-142

SEDIMENT & EROSION CONTROL DETAILS and NOTES
MONTGOMERY TOWNSHIP II
LOTS 1 THRU 7

Tax Map # 37 BLOCK 1 P/O PARCEL NO 2
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

Previous Submittals: 504-04, 5794-10, 5794-04, 5794-15A, 5794-02, 700-141

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