

**Construction Notes**

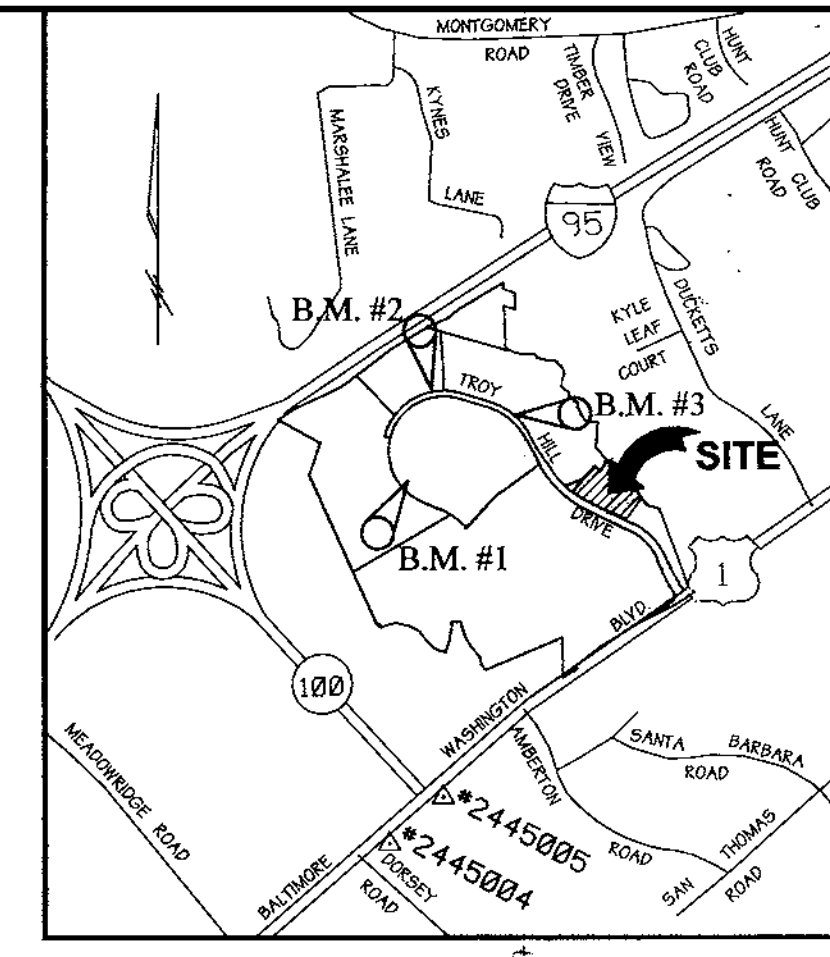
1. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-315-1800 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
2. ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
3. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
4. CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
5. ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
7. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
8. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
9. CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
10. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
12. ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERNING. ALL GRADING UNDER PROPOSED PAVING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
13. CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 IN PER FOOT).
14. MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
15. CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS.
16. CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
17. CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.

18. ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES." ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
19. THE CONTRACTOR SHALL REPLACE ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REFILLED AND COMPACTED.
20. IN AN AREA WHERE EXCAVATION IS NEEDED WITHIN THE ROAD RIGHT-OF-WAY, EXCAVATION MUST BE MADE WITHIN ONE (1) FOOT OF THE FINAL SUBGRADE.
21. WHERE FILL IS PROPOSED WITHIN THE ROAD RIGHT-OF-WAY, THE FILL SHALL BE A MINIMUM OF TWO (2) FEET BELOW THE FINAL ROAD SUBGRADE.
22. STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED IN THE EXISTING FOND #4 ON ADJACENT PARCEL A-5.
23. ALL LIGHTING TO BE MOUNTED TO BUILDING WHICH WILL BE SHOWN ON ARCHITECTURAL PLANS.
24. ALL LIGHTING TO COMPLY WITH ZONING REGULATION SPECIFICATIONS SECTION 134 OUTDOOR LIGHTING.
25. ALL STORM DRAINS TO BE RCCP OR HDPE UNLESS OTHERWISE NOTED.

**BENCHMARKS**

- BENCHMARK #1**  
IRON PIN @ TRAVERSE #1066  
N 496.601.3597 E 869.134.4576  
ELEVATION = 175.92'
- BENCHMARK #2**  
IRON PIN @ TRAVERSE #1061  
N 498.036.6945 E 868.791.1502  
ELEVATION = 242.49'
- BENCHMARK #3**  
IRON PIN @ TRAVERSE #1034  
N 497.636.7437 E 869.835.6586  
ELEVATION = 214.85'

COORDINATES BASED ON NAD 27.  
AS PROJECTED BY HOWARD COUNTY  
GEODETIC CONTROL STATIONS  
#2445004 AND #2445005



**Vicinity Map**  
SCALE: 1" = 2000'

**Site Data**

**TOTAL PROJECT AREA = 152,460 SQ.FT. OR 3.55 AC. +/-**  
**EXISTING ZONING = M-1**  
**PROPERTY REFERENCE = PLAT NO. 12431 / L. 4746 F. 0224**  
**EXISTING USE = VACANT**  
**PROPOSED USE = OFFICE / WAREHOUSE**  
**BUILDING COVERAGE = 12,325 SQ.FT.**  
**% OF BUILDING COVERAGE = 8.01%**  
**FLOOR AREA = 0.28 AC. +/-**  
**AREA TO BE PAVED PLUS BUILDING AREA = 37,435 SQ.FT. OR 0.86 AC. +/-**  
**OPEN SPACE = 2.67 AC. +/-**  
**TOTAL AREA OF PARKING LOT = 25,10 SQ.FT. OR 0.58 AC. +/-**  
**% OF PARKING LOT COVERAGE = 16.90%**  
**NUMBER OF PARKING SPACES REQUIRED = 31**  
**NUMBER OF PARKING SPACES PROVIDED = 35 INCLUDING 2 HANDICAPPED -**  
**AREA TO BE DISTURBED = 58,806 SQ.FT. OR 1.35 AC. +/-**  
**AREA TO BE VEGETATIVELY STABILIZED = 21,344.40 SQ.FT. OR 0.49 AC. +/-**  
**SKETCH PLAN NO. = S-90-05**  
**PRELIMINARY PLAN NO. = P-90-23**

# Site Development Plan

for

## Parcel A - 3

# Troy Hill Corporate Center

## Howard County, Maryland

### SDP 99-127

**Parking Tabulation**

TOTAL BUILDING AREA = 12,325 SQ. FT.  
**PARKING REQUIRED:**  
 2,725 SQ. FT. GENERAL OFFICE  
 @ 3.3 SPACES/1000 SQ.FT. = 9.0 SPACES  
 3,980 SQ. FT. VEHICLE SALES  
 @ 2.0 SPACES/1000 SQ. FT. = 8.0 SPACES  
 2 - 2,400 SQ. FT. VEHICLE SERVICE BAYS  
 @ 3.0 SPACES /SERVICE BAY = 6.0 SPACES  
 @ 2.0 SPACES /1000 SQ. FT. = 10.0 SPACES  
 820 SQ. FT. RETAIL SHOW ROOM  
 @ 5.0 SPACES/1000 SQ. FT. = 4.0 SPACES  
**TOTAL REQUIRED= 31.0 SPACES**

**PARKING PROVIDED = 34 SPACES (INCLUDES 2 HANDICAPPED)**

**Index of Sheets**

- SHEET NO. 1 - COVER SHEET
- SHEET NO. 2 - SITE PLAN
- SHEET NO. 3 - SITE PLAN DETAILS
- SHEET NO. 4 - DRAINAGE AREA MAP AND PROFILES
- SHEET NO. 5 - STORMCEPTER PLAN & DETAILS
- SHEET NO. 6 - SEDIMENT EROSION CONTROL PLAN
- SHEET NO. 7 - SEDIMENT EROSION CONTROL DETAILS & NOTES
- SHEET NO. 8 - LANDSCAPE PLAN & DETAILS

**Legend**

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Bldg. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Prop. Sidewalk
- Silt Fence
- Super Silt Fence
- Wetland
- 100 YR Floodplain
- Wetland Buffer

**NOTE:** The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

**NOTE:** The Owner of any lot or parcel at Troy Hill Commerce Center shall submit a traffic engineer's estimate of peak hour vehicular site trip generation with each re-subdivision plat or site development plan it files with the County for approval. The submission of any subdivision plat or site development plan that results in a total aggregate peak hour projected trip volume from Troy Hill of at least 1746 vehicles per peak hour on a typical weekday shall require that the Owner of such plan must apply for the construction of the U.S. Route 1 Phase III traffic improvements and must complete construction of such improvements within three years after plan approval in accordance with the Adequate Public Agreement F-91-24

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John R. Planton*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
DATE: 9/16/99

PLAN NUMBER: \_\_\_\_\_

Reviewed for Howard SCD and meets Technical Requirements

*John R. Planton*  
APPROVED: USDA-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*William D. ...*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/21/99

*Cindy ...*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/22/99

*...*  
DIRECTOR  
DATE: 9/24/99

ADDRESS CHART	PARCEL NO.	STREET ADDRESS
	A-3	701 TROY HILL DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #			
TROY HILL CORPORATE CENTER	N/A	A-3			
PLAT #	BLOCK #	ZONE	/ZONE MAP	ELECT. DIST.	CENSUS TRACT
12431	1b	M-1	37	1st	6011.02
WATER CODE	SEWER CODE				
C04	4020000				

**PREPARED BY:**

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120

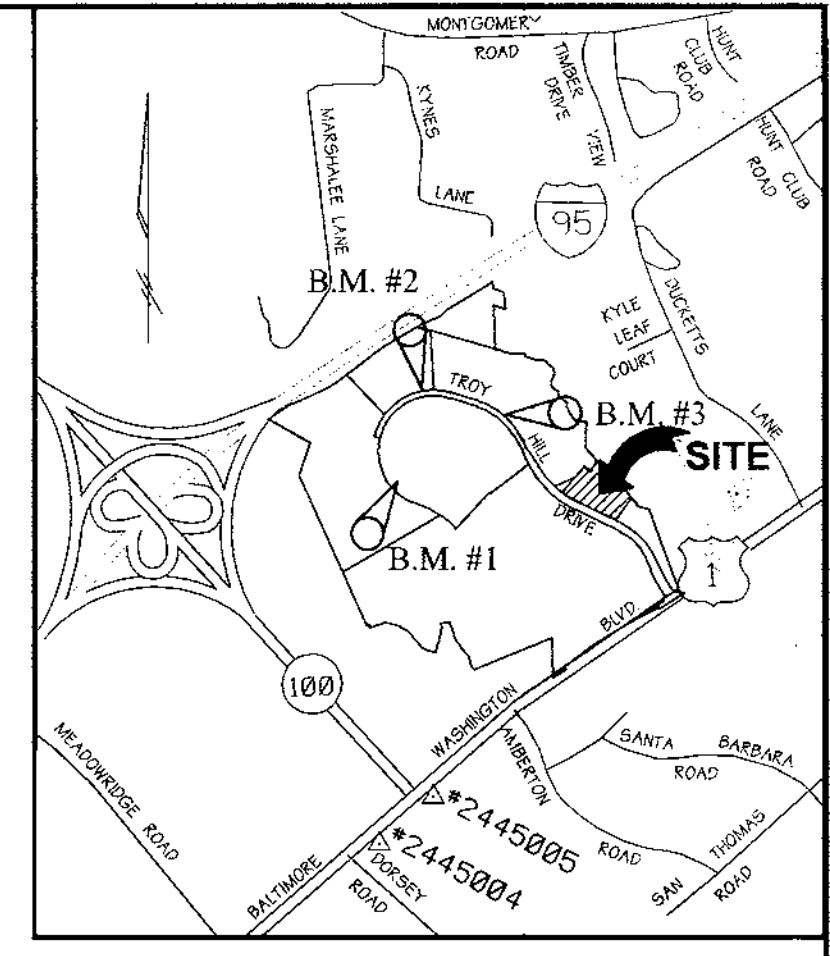


**OWNER / DEVELOPER / CONTRACTOR**

**THE MORRIS L. WEISS BUILDING LLC**  
10545 GUILFORD ROAD, UNIT #107  
JESSUP, MD. 20794-9109  
301-490-9525

DESIGNED BY: J.P./P.R.C.  
 DRAWN BY: P.T./K.E.  
 CHECKED BY: J.P./P.R.C./K.E.  
 REVISIONS

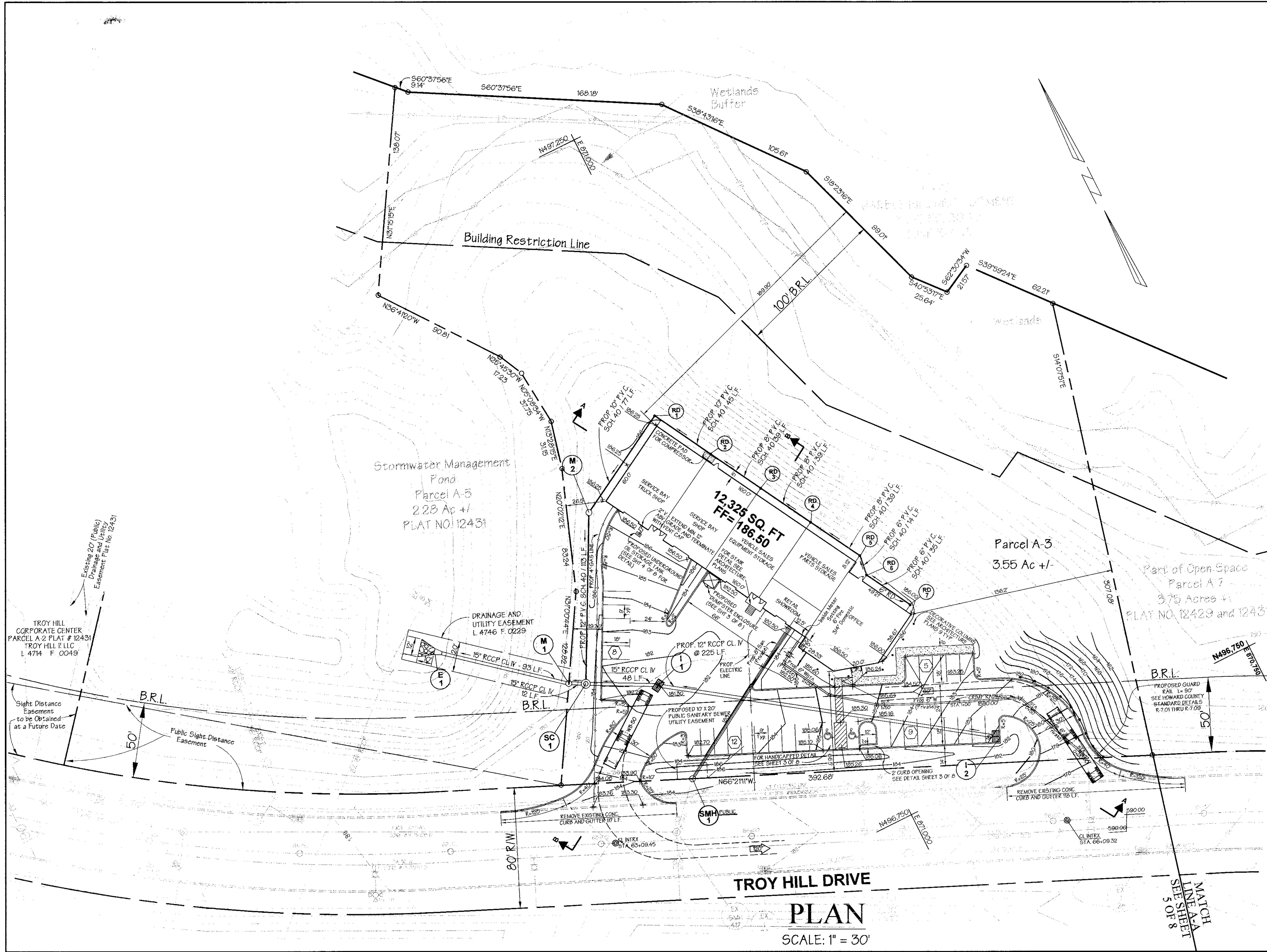
**COVER SHEET**  
FOR  
**TROY HILL CORPORATE CENTER**  
PARCEL A-3  
PREVIOUS FILE #S 590-05, P90-23, F91-24, W96-91, F96-136  
ELECTION DISTRICT: 1st  
HOWARD CO., MARYLAND  
SHT. 1 OF 8  
SCALE: As Shown  
DATE: MARCH 08, 1999



**Vicinity Map**  
SCALE: 1" = 2000'

**Legend**

- Ex. 2' Contours ----- 394
- Ex. 10' Contours ----- 395
- Prop. 2' Contours ----- 394
- Prop. 10' Contours ----- 395
- Ex. Curb & Gutter -----
- Prop. Curb & Gutter -----
- Blgd. Restriction Line -----
- Ex. Sanitary -----
- Ex. Storm Drain -----
- Ex. Water -----
- Prop. Sanitary -----
- Prop. Storm Drain -----
- Prop. Water -----
- Prop. Sidewalk -----
- Wetland ----- W
- 100 YR Floodplain ----- FP
- Wetland Buffer ----- WB



**TROY HILL DRIVE**

**PLAN**

SCALE: 1" = 30'

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John P. ...*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE: 9/16/99

PLAN NUMBER: [blank] DATE: [blank]

Reviewed for Howard SCD and meets Technical Requirements

*Cheryl Scrimmon*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*John ...*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 9/23/99

*Cindy ...*  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 9/22/99

*John ...*  
DIRECTOR DATE: 9/24/99

PARCEL NO.	STREET ADDRESS
A-3	7011 TROY HILL DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	N/A	A-3

PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
12431	18	M1	37	15	6011.02

WATER CODE C04 SEWER CODE 4020000

PREPARED BY:

**GWS**

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120

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10545 GUILFORD ROAD, UNIT #107  
JESSUP, MD. 20794-9109  
301-490-9525

DESIGNED BY: J.P.P.C.  
DRAWN BY: P.T.K.E.  
CHECKED BY: J.P.K.E.  
REVISIONS

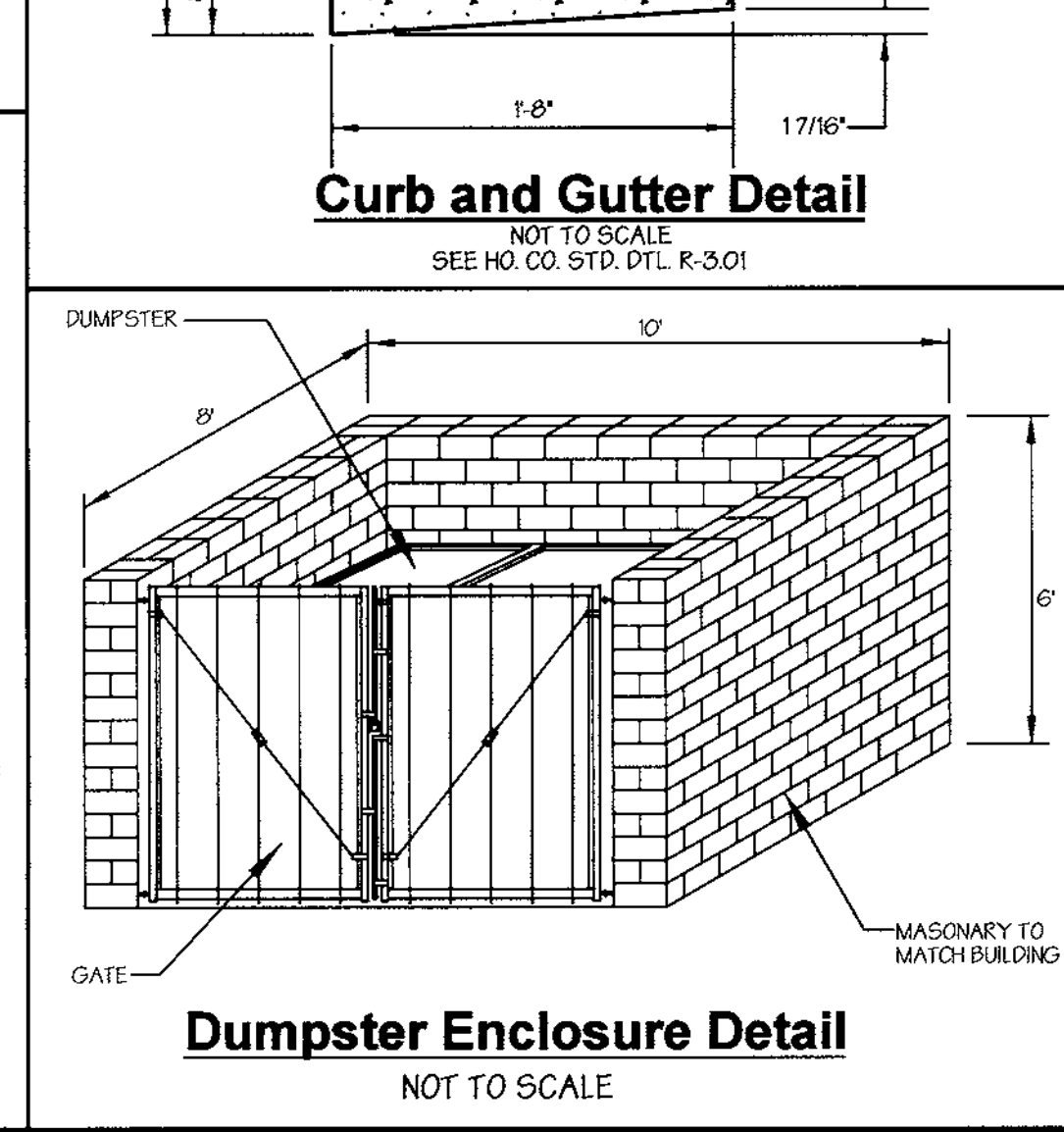
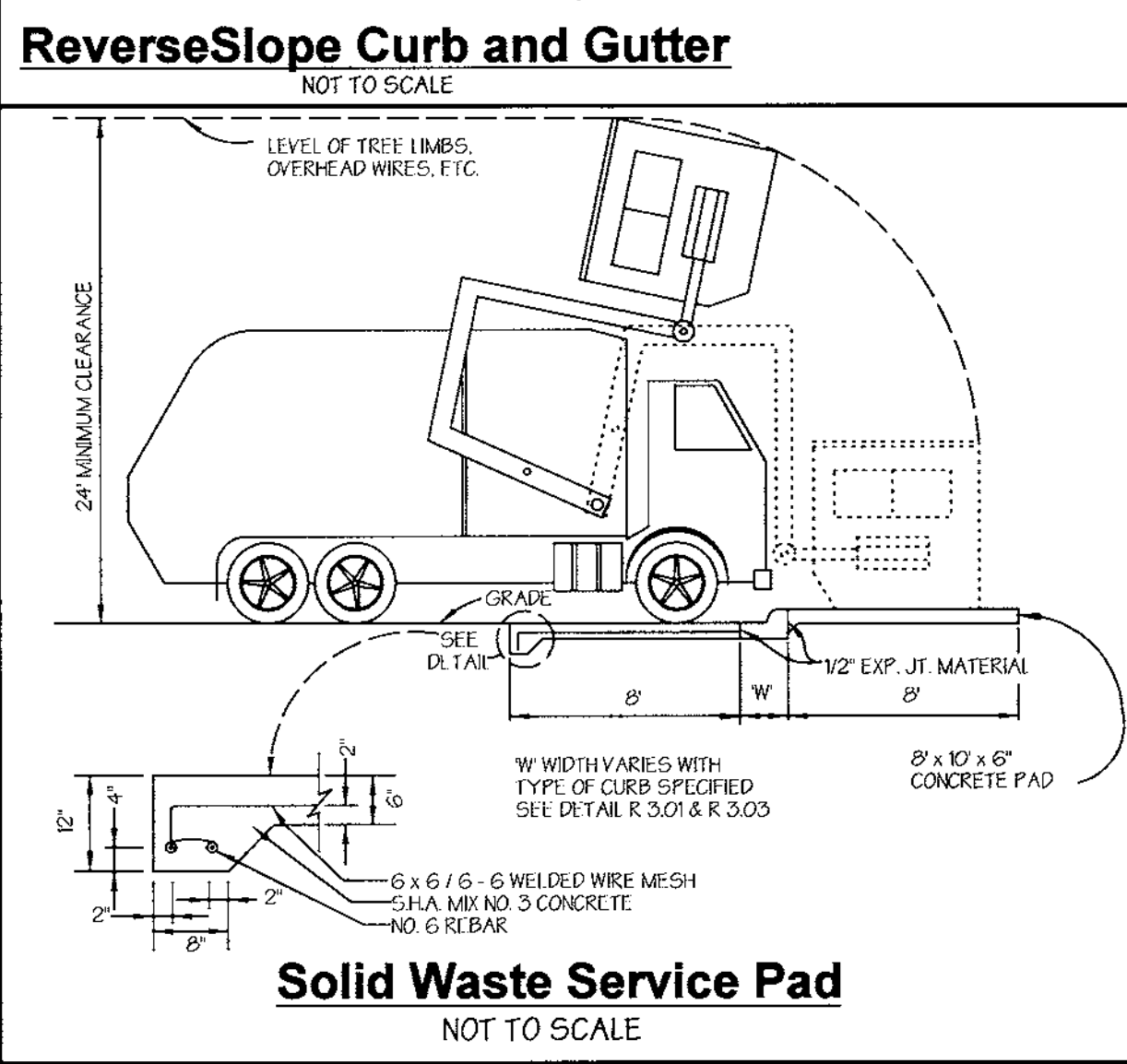
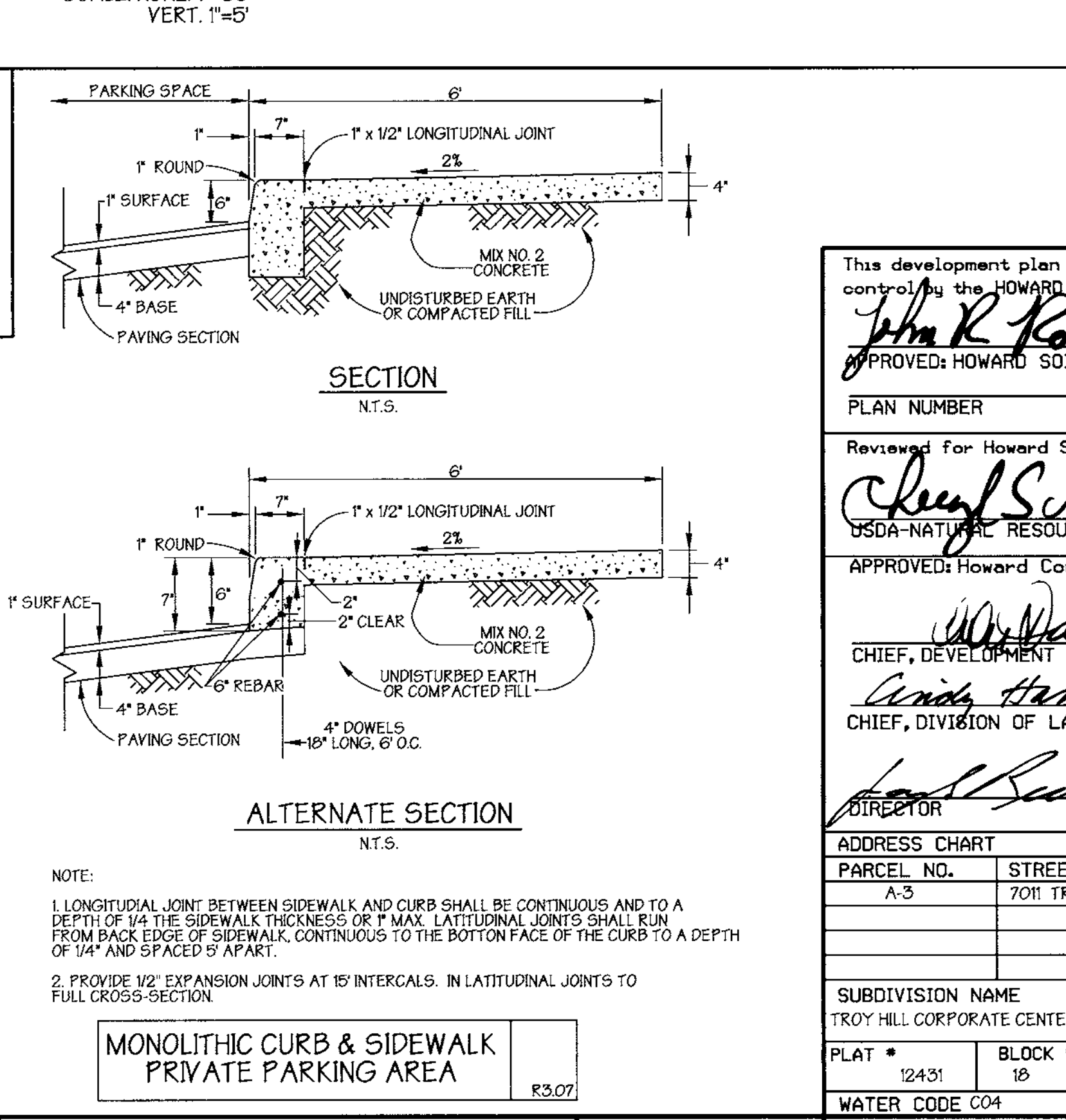
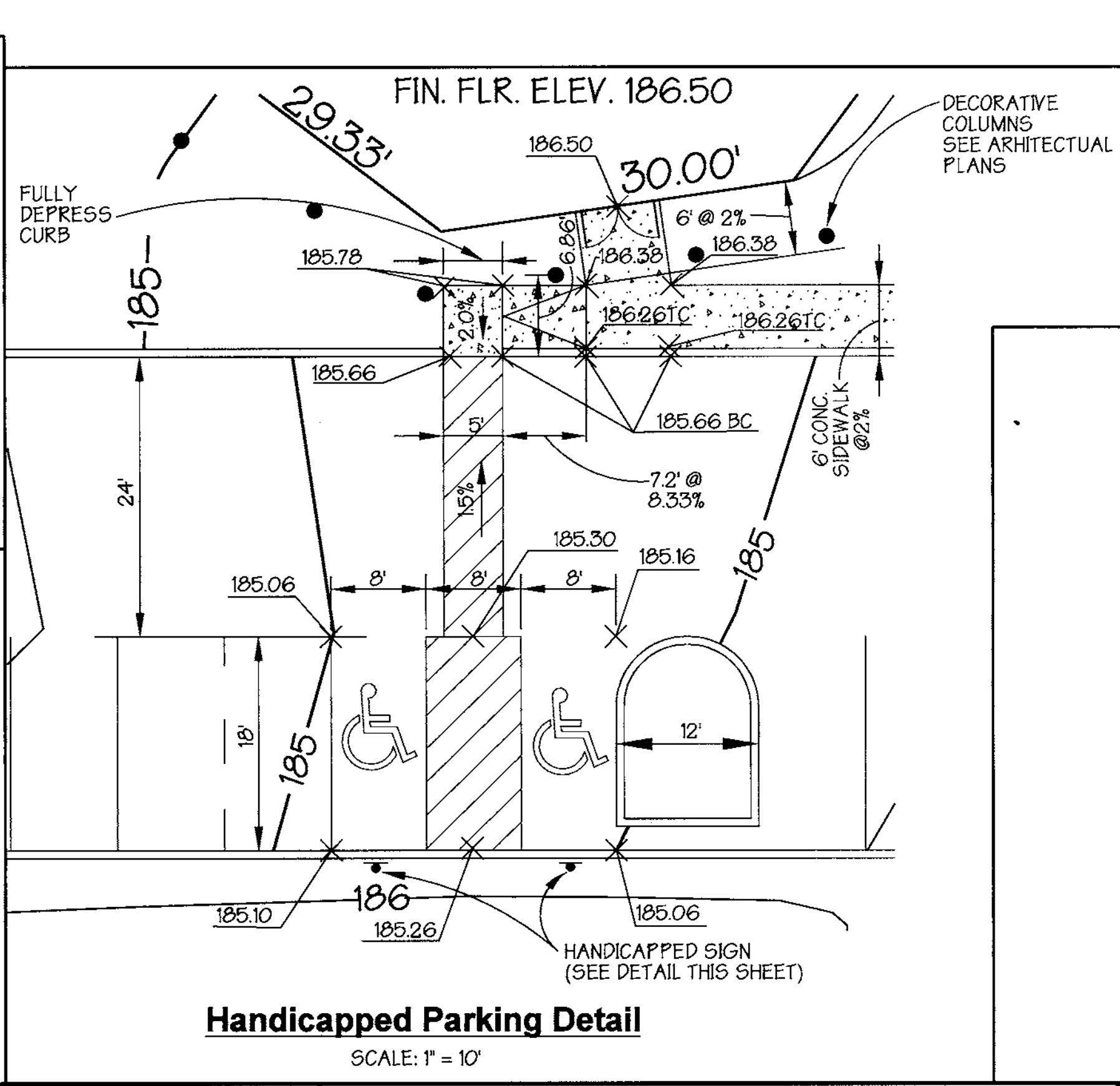
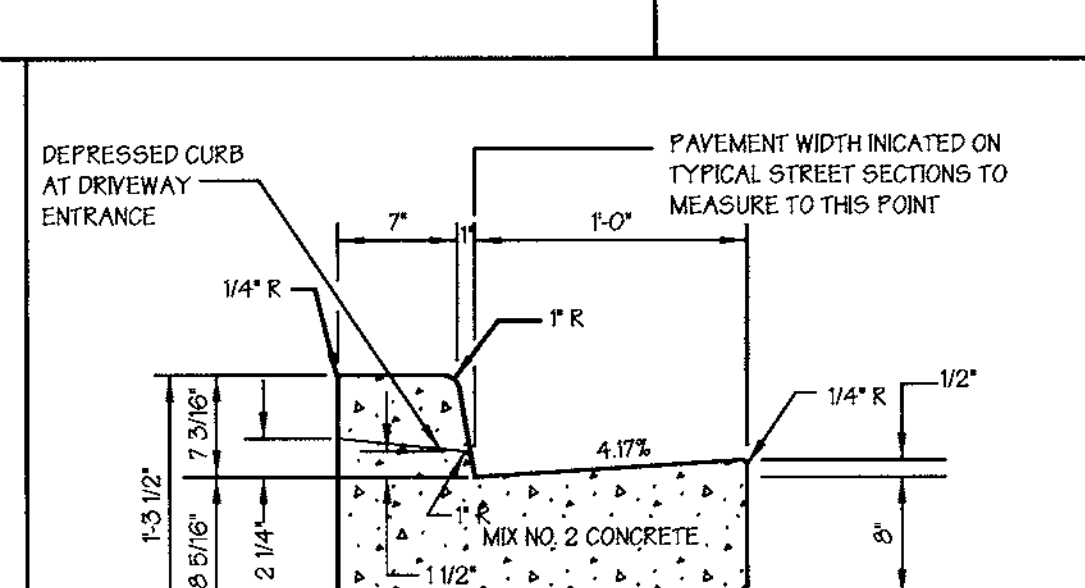
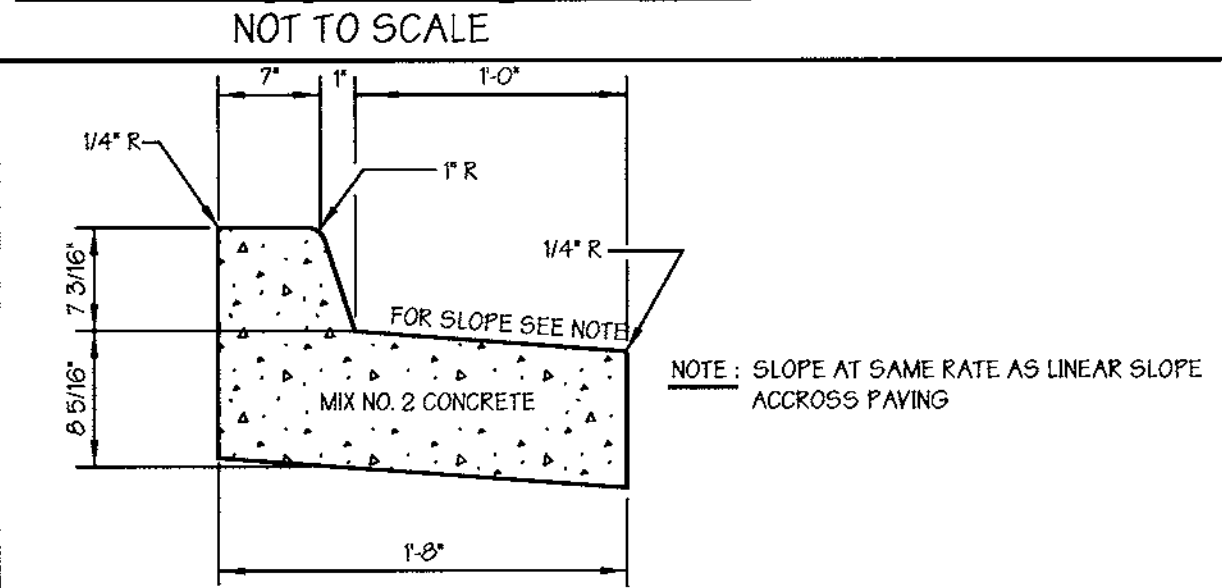
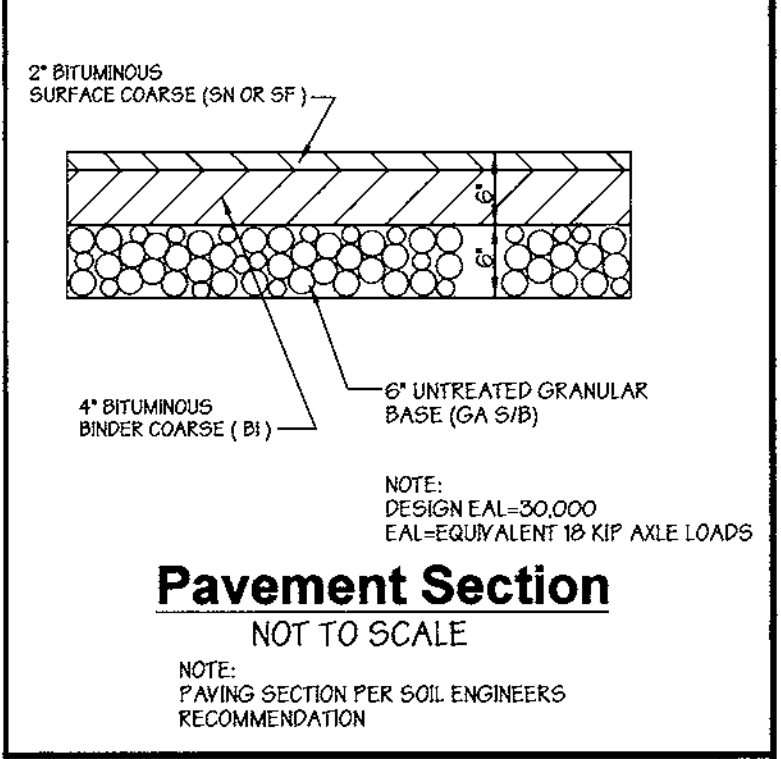
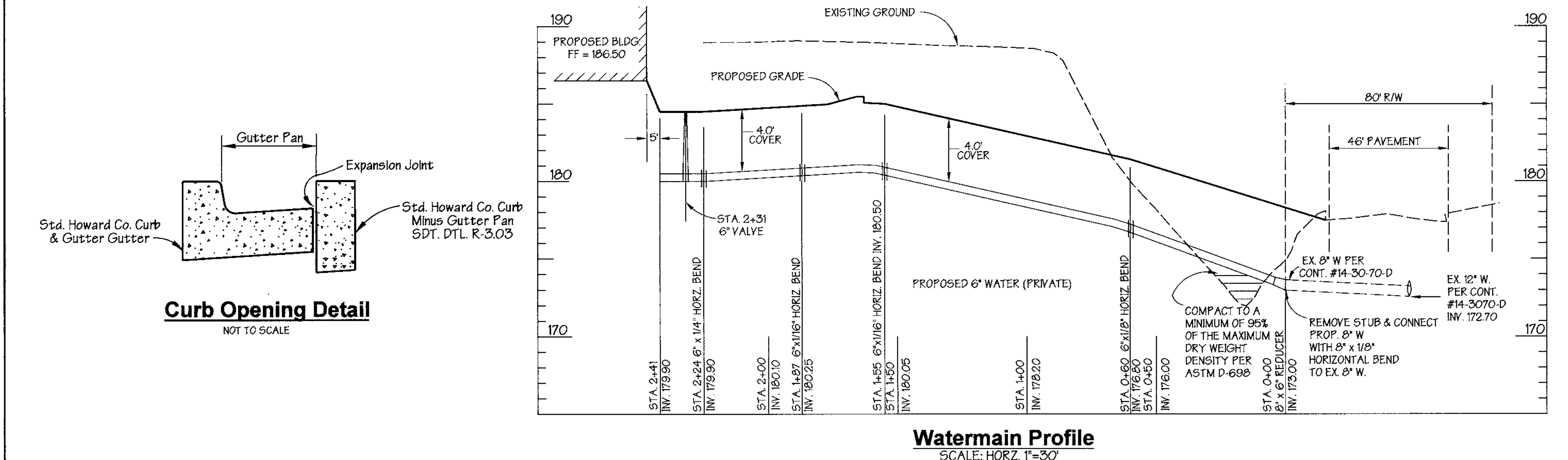
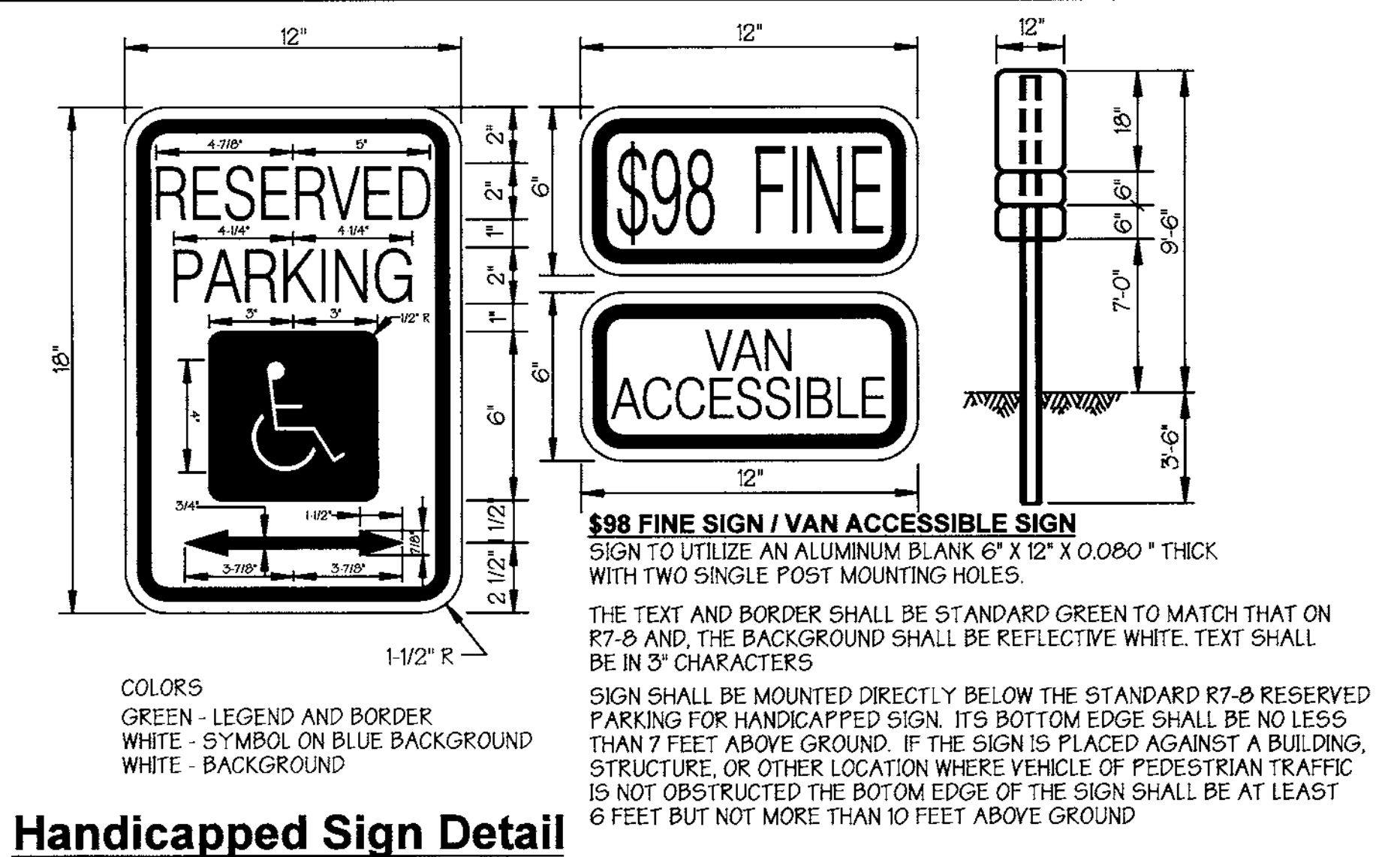
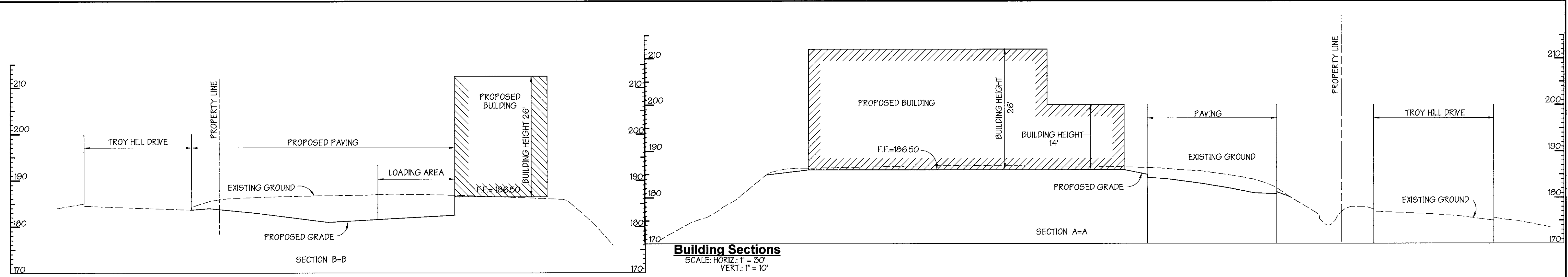
**SITE PLAN**  
FOR  
**TROY HILL CORPORATE CENTER**  
PARCEL A-3

ELECTION DISTRICT: 1st  
HOWARD CO., MARYLAND

SHT. 2 OF 8

SCALE: As Shown  
DATE: MARCH 08, 1999

SDP 99-127



This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John R. Rhoton*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
DATE: 9/10/99

PLAN NUMBER: \_\_\_\_\_

Reviewed for Howard SCD and meets Technical Requirements

*Cheryl Simmons*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*W. Dammann*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/21/99

*Arinda Hamilton*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/22/99

*Paul Smith*  
DIRECTOR  
DATE: 9/24/99

ADDRESS CHART	
PARCEL NO. A-3	STREET ADDRESS 7011 TROY HILL DRIVE
SUBDIVISION NAME TROY HILL CORPORATE CENTER	SECTION NAME N/A
PLAT 12431	BLOCK 1B
ZONE M-1	MAP 57
ELECT. DIST. 1st	CENSUS TRACT 6011.02
WATER CODE C04	SEWER CODE 4020000

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120

OWNER / DEVELOPER / CONTRACTOR

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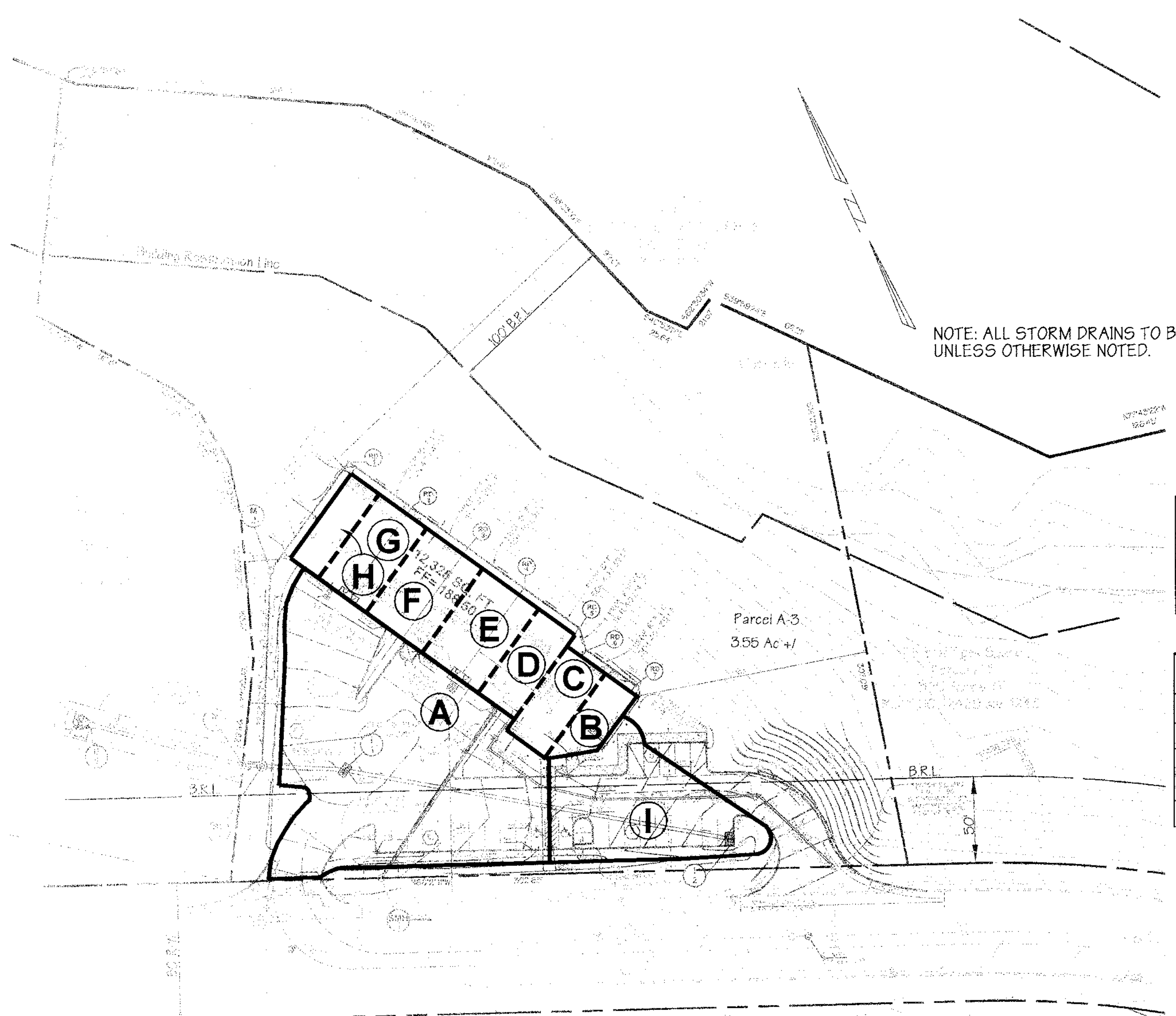
DESIGNED BY: \_\_\_\_\_  
DRAWN BY: J.L.P.T.  
CHECKED BY: J.P.  
REVISIONS: \_\_\_\_\_

**SITE PLAN DETAILS**

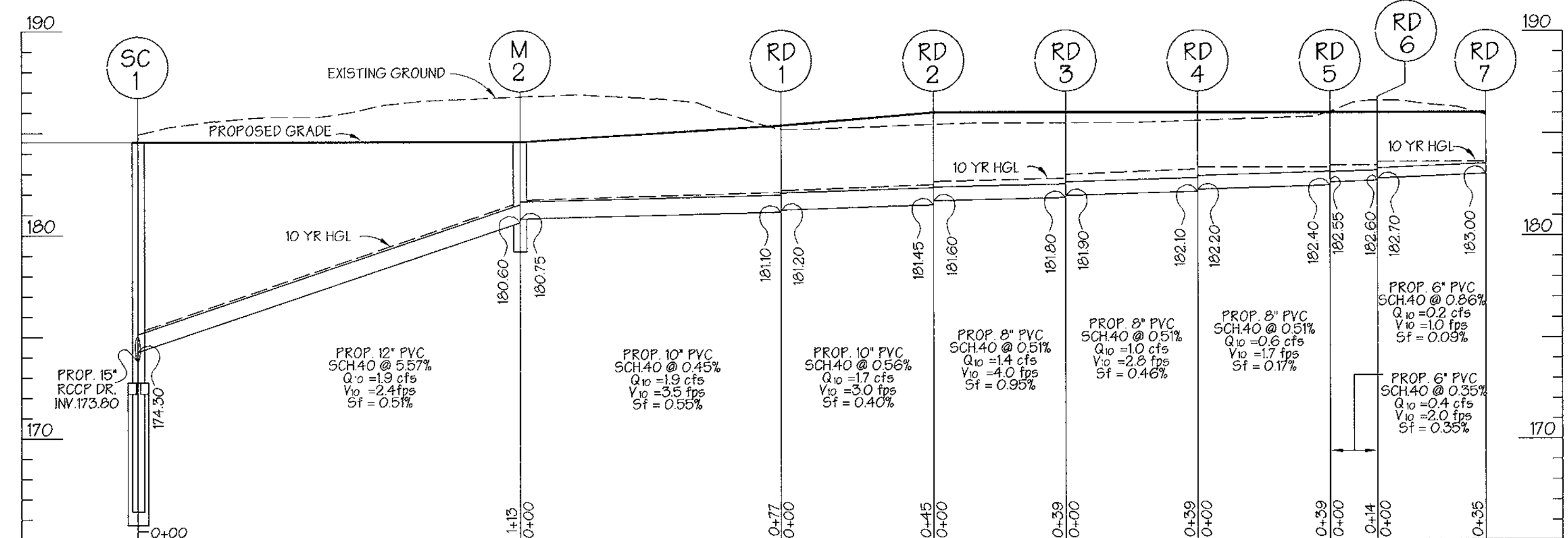
FOR  
**TROY HILL CORPORATE CENTER**  
PARCEL A-3

ELECTION DISTRICT: 1st HOWARD CO., MARYLAND  
SHT. 3 OF 8  
SCALE: As Shown  
DATE: MARCH 08, 1999

SDP 99-127 P/N: 914 NAME: 914sitecdet.spl



NOTE: ALL STORM DRAINS TO BE RCCP OR HDPE UNLESS OTHERWISE NOTED.



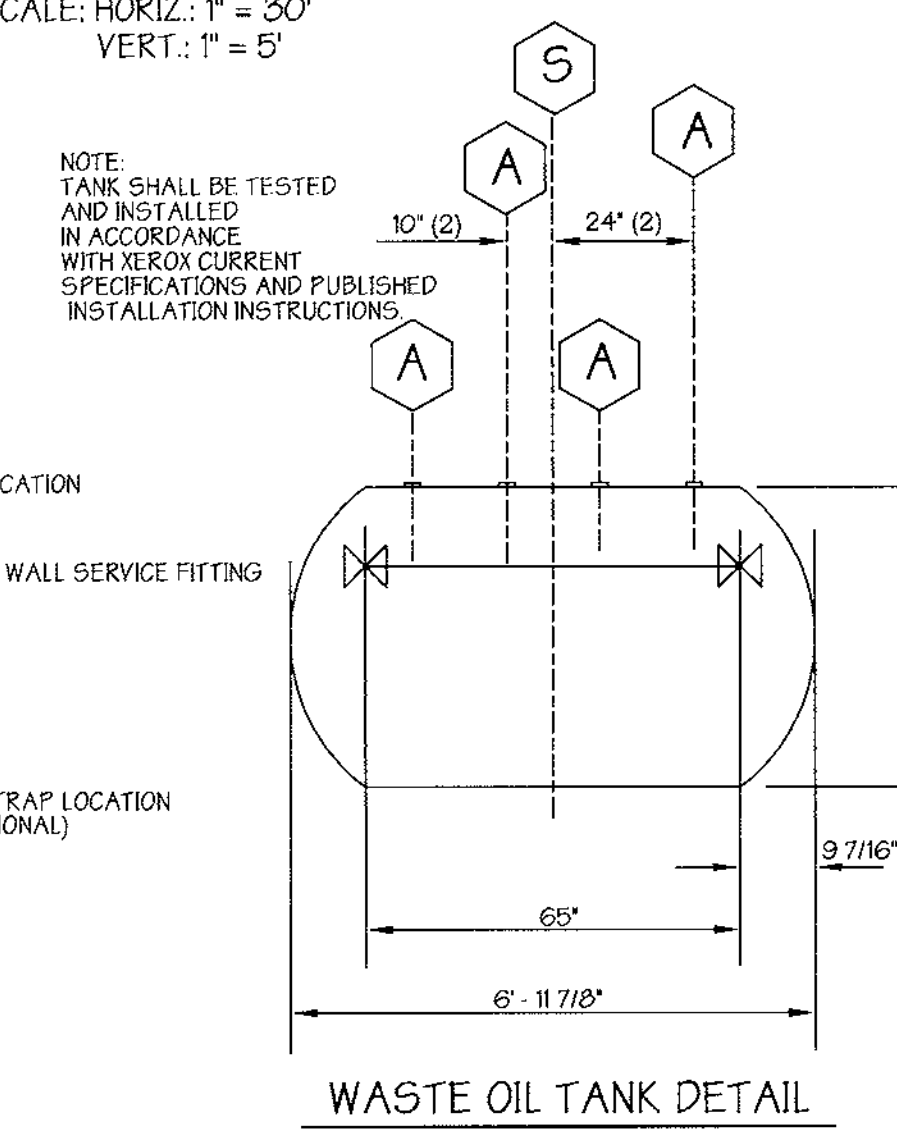
STORM DRAIN PROFILE: RD-7 TO SC-1

SCALE: HORIZ.: 1" = 30'  
VERT.: 1" = 5'

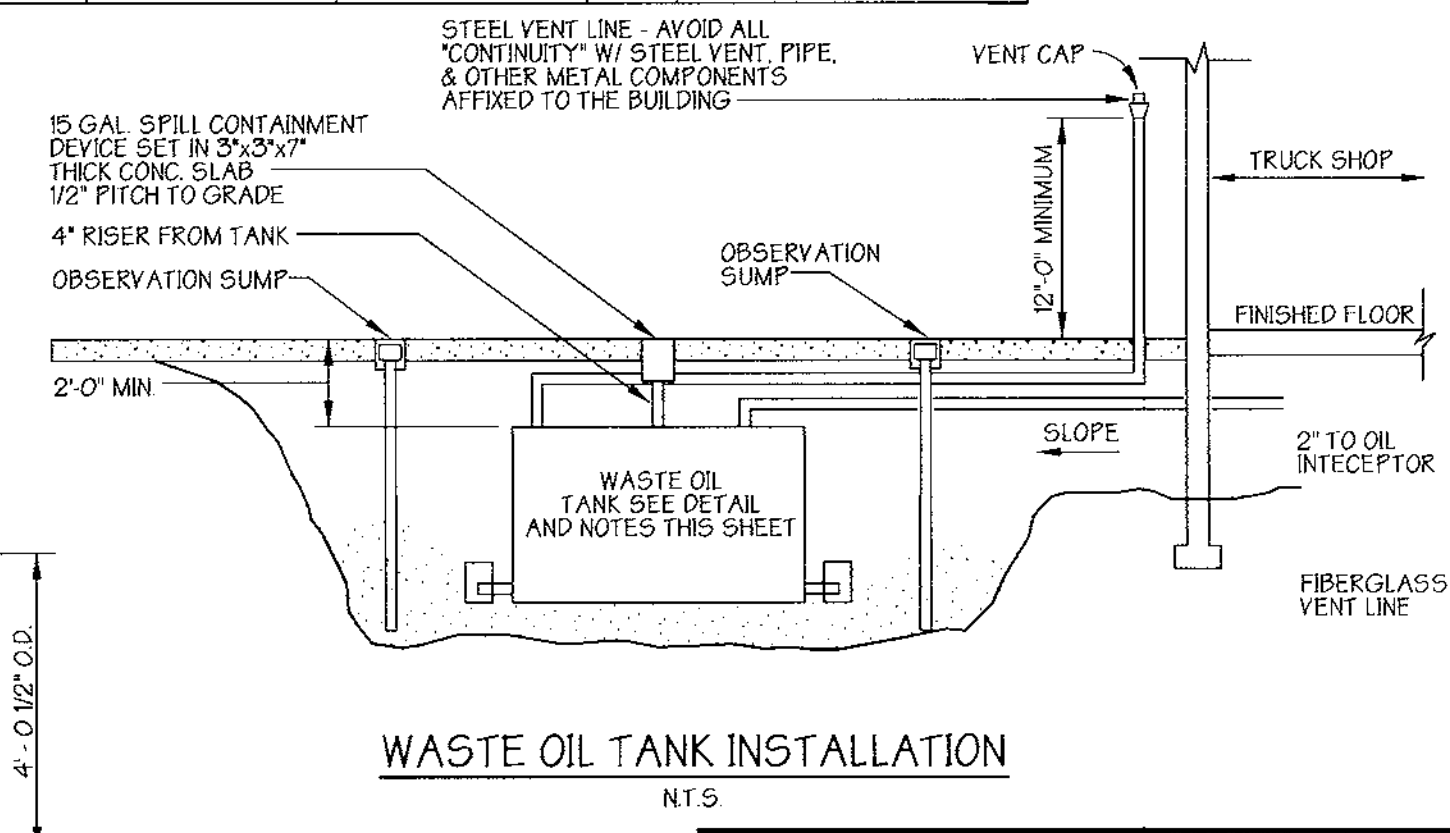
INLET SCHEDULE					
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	HO. CO. DTL.
I-1	DOUBLE S	181.30	175.18	174.73	2.6 SD 4.23
I-2	DOUBLE S COMB	181.00*		177.99	0.6 SD 4.34

\* BOTTOM OF CURB ELEVATION

STRUCTURE SCHEDULE					
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	HO. CO. DTL.
M-1	STD	182.00	172.00	170.75	G 5.12
M-2	STD	184.50	180.75	180.60	G 5.12
SC-1	STC 1200	184.50	173.90	173.80	
E-1	CONC. END SEC. 15"			158.00	SD 5.51



WASTE OIL TANK DETAIL

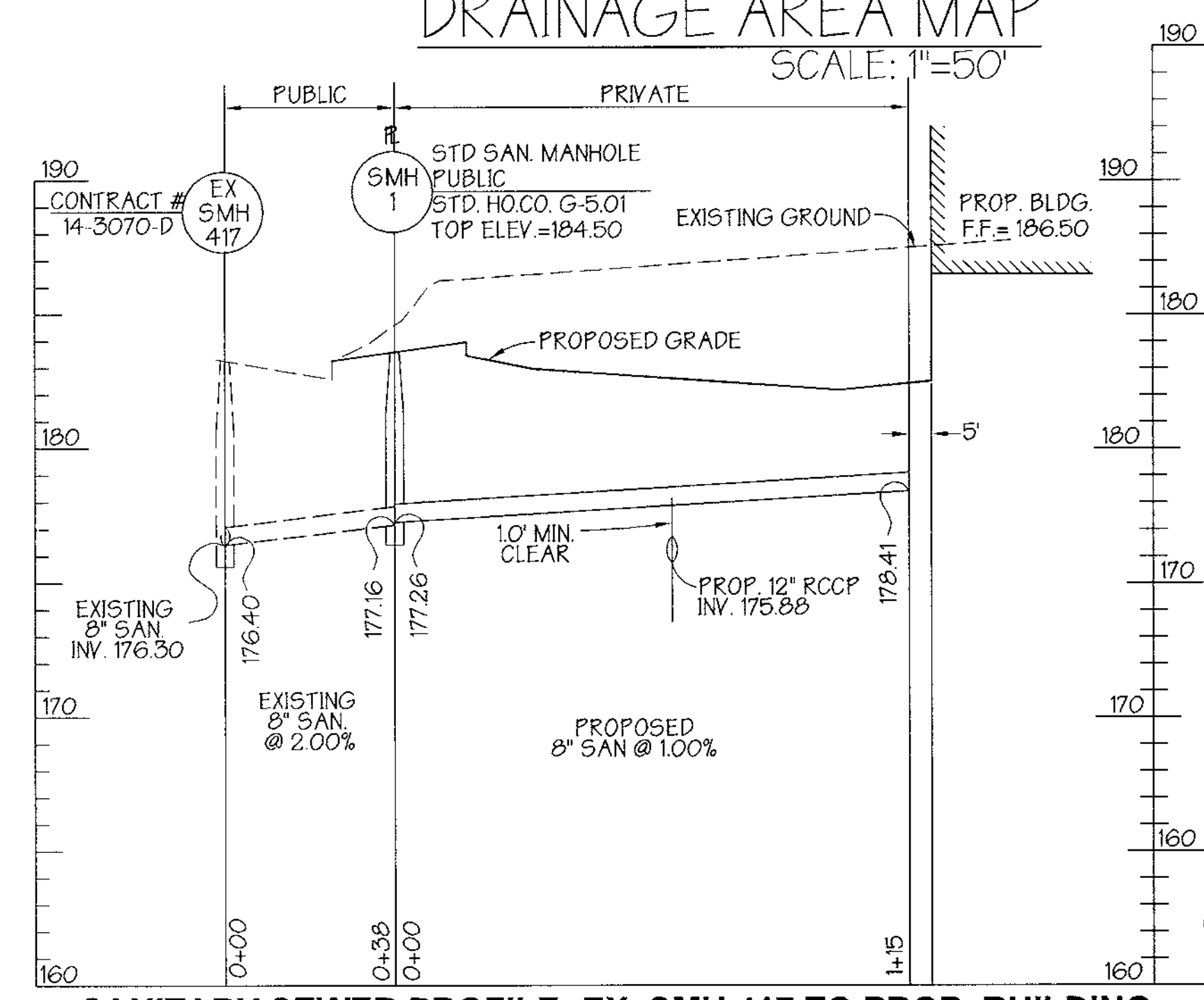


WASTE OIL TANK INSTALLATION

- NOTES:
- 4 FOOT DIAMETER 600 GALLON T-1 SINGLE WALL. ACCEPTABLE MANUFACTURER: XEROX CORPORATION. GOVERNING STANDARDS: 1. ASTM STANDARD DOCUMENT NUMBER D4021 86. 2. UNDERWRITERS LABORATORIES, INC. (UL) STANDARD FOR SAFETY 1516. FILE NUMBER M9061 FOR STORAGE OF FLAMMABLE LIQUIDS: A UL CERTIFICATION PLATE SHALL BE ATTACHED TO TANK. 3. NATIONAL FIRE PROTECTION ASSOCIATION: FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE (NFPA 30). AUTOMOTIVE AND MARINE SERVICE STATION CODE (NFPA 30A). 4. STANDARD FOR INSTALLATION OF OIL BURNING EQUIPMENT (NFPA 31). 5. FACTORY MUTUAL SYSTEMS APPROVAL. 6. MILITARY SPECIFICATIONS NO. MIL T 52777A.

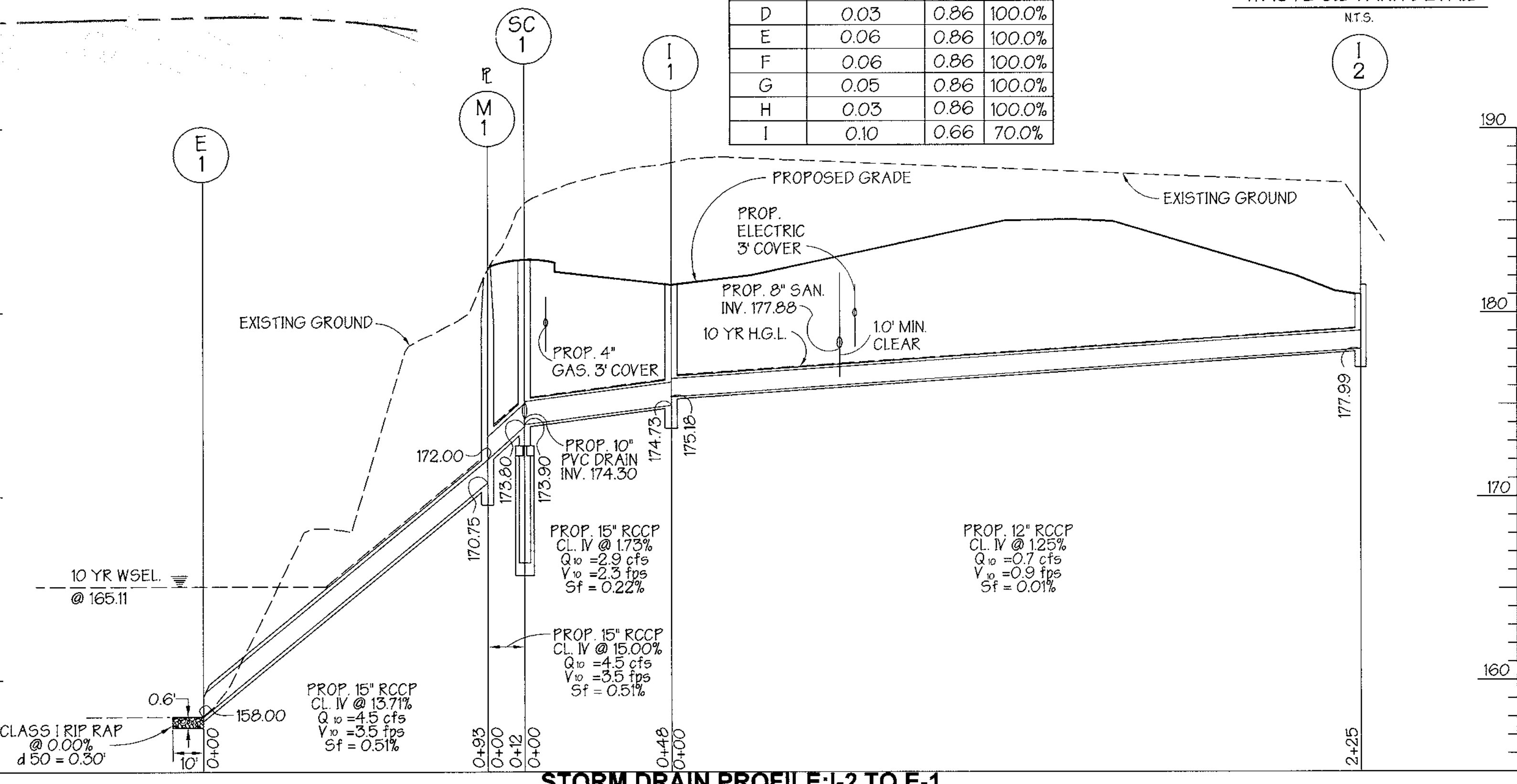
AREA	ACREAGE	'C'	% IMP.
A	0.41	0.74	82.5%
B	0.02	0.86	100.0%
C	0.04	0.86	100.0%
D	0.03	0.86	100.0%
E	0.06	0.86	100.0%
F	0.06	0.86	100.0%
G	0.05	0.86	100.0%
H	0.03	0.86	100.0%
I	0.10	0.66	70.0%

DRAINAGE AREA MAP  
SCALE: 1" = 50'



SANITARY SEWER PROFILE: EX. SMH 417 TO PROP. BUILDING

SCALE: HORIZ.: 1" = 30'  
VERT.: 1" = 5'



STORM DRAIN PROFILE: I-2 TO E-1

SCALE: HORIZ.: 1" = 30'  
VERT.: 1" = 5'

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John R. Kebertson*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE: 9/16/99

Reviewed for Howard SCD and meets Technical Requirements

*Cheryl Simmons*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*Chris Daneman*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 9/21/99

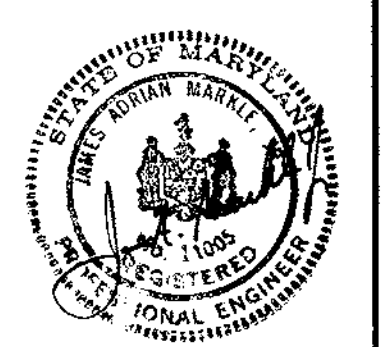
*Arinda Hammett*  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 9/24/99

*Paul Smith*  
DIRECTOR DATE: 9/24/99

ADDRESS CHART		
PARCEL NO.	STREET ADDRESS	
A-3	7011 TROY HILL DRIVE	
SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	N/A	A-3
PLAT #	BLOCK #	ZONE
12431	1B	M-1
TAX MAP	ELECT. DIST.	CENSUS TRACT
37	1st	601102
WATER CODE C04	SEWER CODE	4020000

PREPARED BY:

**GWS** GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120



OWNER / DEVELOPER / CONTRACTOR

THE MORRIS L. WEISS BUILDING LLC  
10545 GUILFORD ROAD, UNIT #107  
JESUP, MD. 20794-9109  
301-490-9525

DESIGNED BY: P.R.C. J.P.  
DRAWN BY: J.L.P.T.  
CHECKED BY: J.P.  
REVISIONS

DRAINAGE AREA MAP & PROFILES

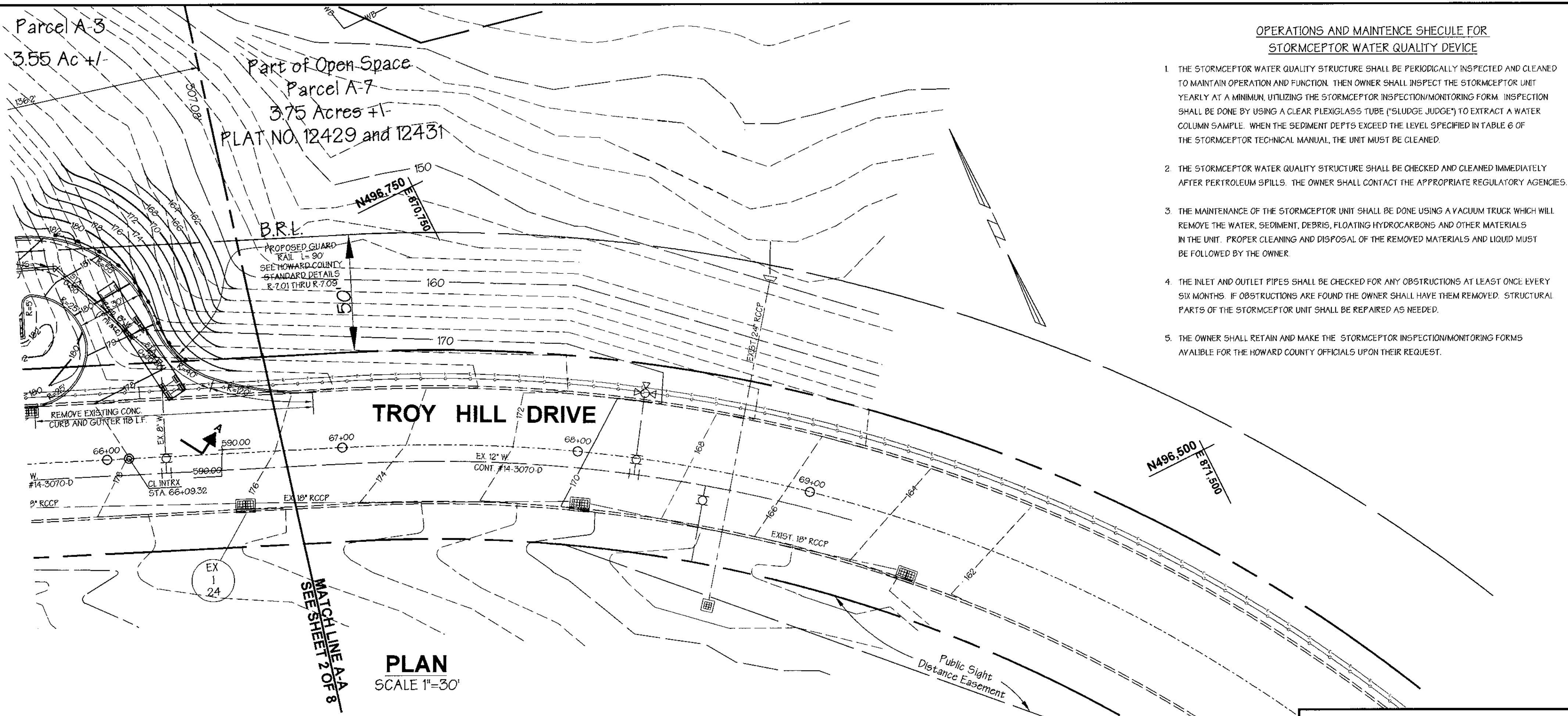
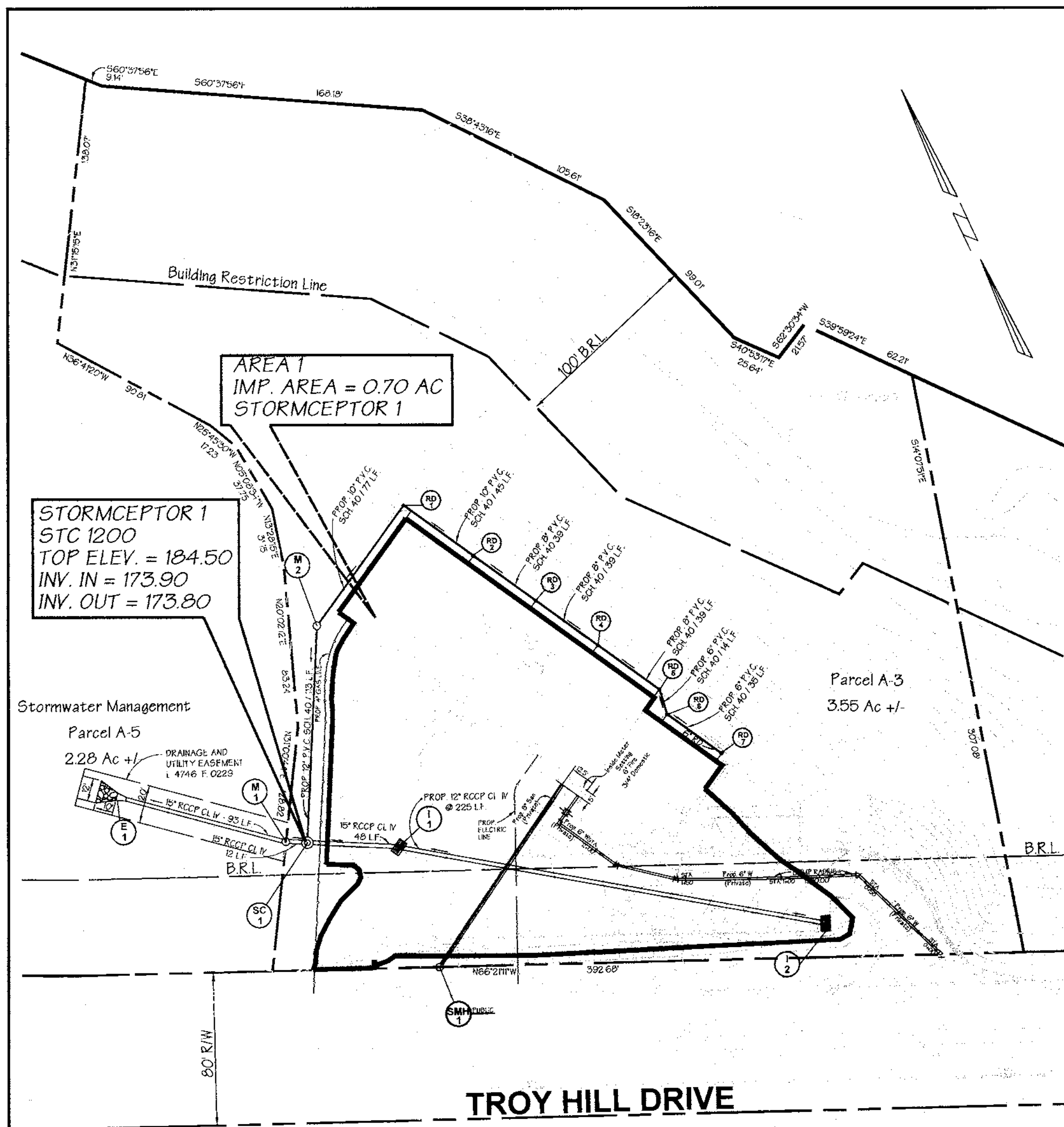
FOR

**TROY HILL CORPORATE CENTER**

PARCEL A-3

ELECTION DISTRICT: 1st HOWARD CO., MARYLAND DATE: MARCH 08, 1999

SCALE: As Shown  
SHT. 4 OF 8



**OPERATIONS AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE**

1. THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THEN OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTION SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE (\"SLUDGE JUDGE\") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE UNIT MUST BE CLEANED.
2. THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.
3. THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
4. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR UNIT SHALL BE REPAIRED AS NEEDED.
5. THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE FOR THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

**Installation Procedures**

**Concrete Stormceptor Installation:**  
The installation of the concrete Stormceptor should conform in general to state highway or local specifications for the construction of manholes. Selected sections of a general specification that are applicable are summarized in the following sections.

**Excavation:**  
Excavation for the installation of the Stormceptor should conform to state highway or local specifications. Topsoil that is removed during the excavation for the Stormceptor should be stockpiled in designated areas and should not be mixed with subsoil or other materials. Topsoil stockpiles, and the general site preparation for the installation of the Stormceptor should conform to state highway or local specifications.

The Stormceptor should not be installed on frozen ground. Excavation should extend a minimum of 12 inches from the precast concrete surfaces plus an allowance for shoring and bracing where required. If the bottom of the excavation provides an unsuitable foundation additional excavation may be required.

In areas with a high water table, continuous dewatering should be provided to ensure that the excavation is stable and free of water.

**Leveling:**  
A 6 to 12 inch layer of granular material (conforming to local or state highway backfill specifications) should be installed, compacted, and leveled at the bottom of the excavation to the proper elevation for the installation of the Stormceptor base.

**Backfilling:**  
Backfill material should conform to state highway or local specifications. Generally, backfill material should be placed in uniform layers not exceeding 12 inches in depth. Each layer should be compacted to 95% of the maximum dry density. Backfill is not to contain topsoil.

- Stormceptor Construction Sequence:**  
The concrete Stormceptor is installed in sections in the following sequence:
1. Aggregate base
  2. Base slab
  3. Treatment chamber section(s)
  4. Transition slab (if required)
  5. By pass section
  6. Connect inlet and outlet pipes
  7. Transition slab
  8. Maintenance access way
  9. Frame and access cover

The precast base should be placed level at the specified grade. The entire base should be in contact with the underlying compacted granular material. Subsequent sections, complete with joint seals, should be installed in accordance with the precast concrete manufacturer's recommendations.

Adjustment of the Stormceptor can be performed by lifting the upper sections free of the excavator area, re leveling the base, and re installing the sections. Damaged sections and gaskets should be replaced. Once the Stormceptor has been constructed, the lift holes should be plugged with mortar.

**Down Pipe and Riser Pipe:**  
Once the by-pass section has been attached to the treatment chamber the down pipe and riser pipe can be attached. To install these pipes a worker enters the treatment chamber through the central access way in the by-pass section.

STC 900, STC 1200, STC 1800:

The inlet pipe (pipe with the tee at the end) is installed by coating the outside of the end of the pipe with quick dry PVC cement and pushing the pipe into the coupling provided on the underside of the by-pass section. The tee must be oriented such that water which enters the treatment chamber is directed tangentially around the inside walls of the chamber.

The outlet riser pipe (straight pipe without the tee) is installed in a similar fashion using the quick dry PVC cement and coupling provided underneath the by-pass section near the downstream pipe.

STC 2400, STC 3600, STC 4800, STC 6000, STC 7200:  
The inlet pipe (pipe with the tee at the end) is installed by coating the outside of the end of the pipe with lubricant and pushing the pipe into the pressure coupling provided on the underside of the by-pass section. The tee must be oriented such that water which enters the treatment chamber is directed tangentially around the inside walls of the chamber.

The outlet riser pipe (straight pipe without the tee) is installed in a similar fashion using pipe lubricant and a pressure coupling provided underneath the by-pass section near the downstream pipe.

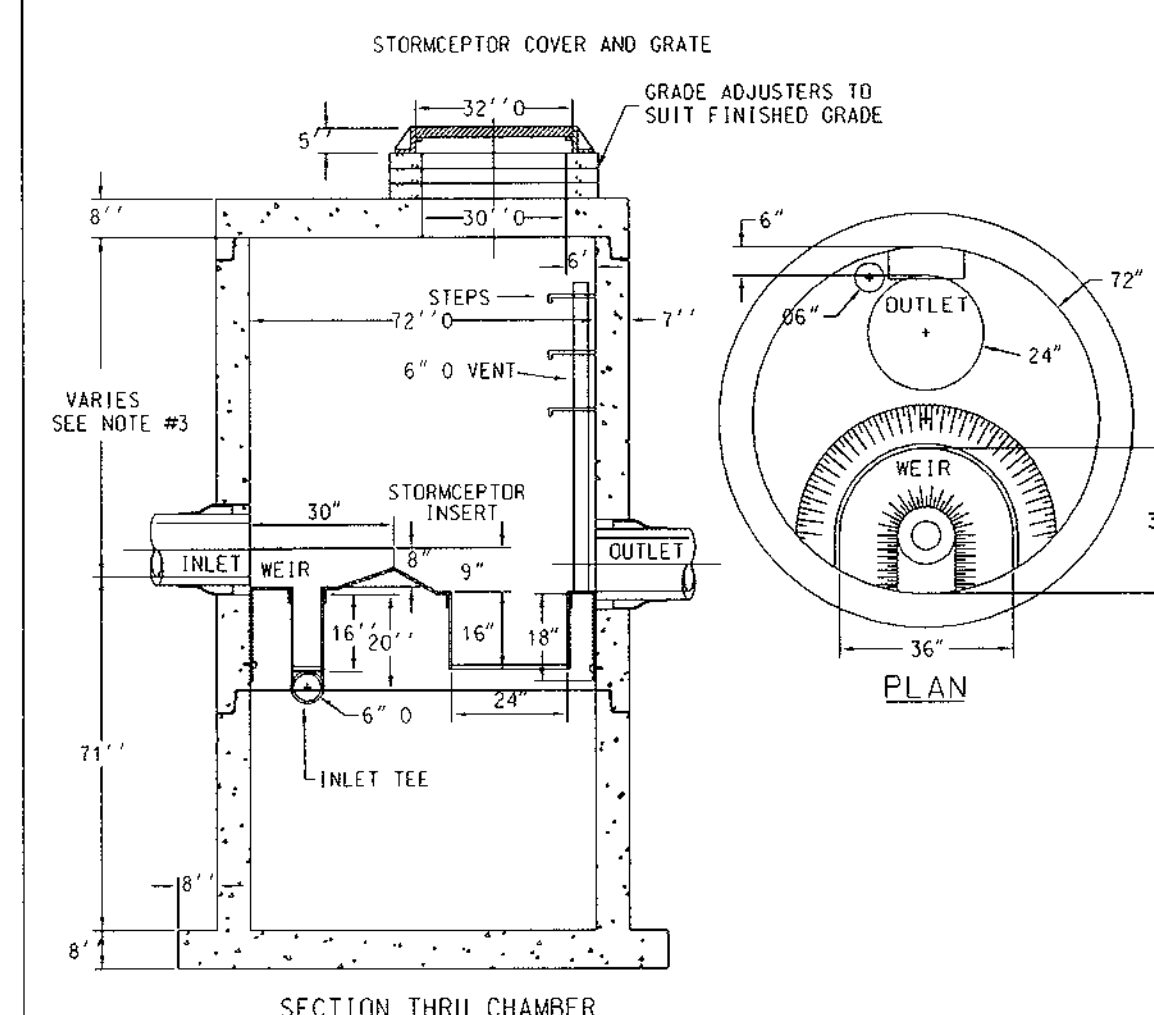
**Inlet and Outlet Pipes:**  
Inlet and outlet pipes should be securely set into the by-pass chamber using grout or approved pipe seals so that the structure is watertight. Kor-N-Seal boots are normally used and installed at the precast concrete plant prior to shipping. The Kor-N-Seal boots are applicable for pipes with an outside diameter up to 46 inches. Stormceptor Corporation should be notified if the pipe is to be grouted in the field at the time of ordering (i.e. Kor-N-Seal boots will not be used) since the boots are generally included in the price quotations.

Installation of the Kor-N-Seal boots should follow the manufacturer's recommendations. As previously mentioned, the boots will already be attached to the Stormceptor at the concrete plant. Accordingly, the following procedure should be followed to attach the inlet and outlet pipes to the Stormceptor in the field:

1. Center the pipe in the boot opening
2. Lubricate the outside of the pipe and/or inside of the boot, if the pipe outside diameter is the same as the inside diameter of the boot.
3. Position the pipe clamp in the groove of the boot with the screw at the top.
4. Tighten the pipe clamp screw to 60 inch pounds.
5. On minimum outside diameter installations lift the boot such that it contacts the bottom of the pipe while tightening the pipe clamp to ensure even contraction of the rubber.
6. Move the pipe horizontally and/or vertically to bring it to grade.

**Frame and Cover Installation:**  
Precast concrete adjustment units should be installed to set the frame and cover at the required elevation. The adjustment units should be laid in a full bed of mortar with successive units being joined using sealant recommended by the manufacturer. Frames for the cover should be set in a full bed of mortar at the elevation specified.

**SC-1 IMPERVIOUS AREA 0.70 AC +/-**  
STC 1200 Precast Concrete Stormceptor  
(1200 US Gallon Capacity)  
(Disc Design)



- NOTE:**
1. FLEXIBLE CONNECTIONS ARE RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
  2. COVER TO BE POSITIONED OVER OUTLET AND VENT PIPE
  3. THIS IS A GENERAL ARRANGEMENT DRAWING. CONSULT LOCAL REPRESENTATIVE FOR SPECIAL CONDITIONS.
  4. INLET DROP PIPE WILL BE EITHER 6\"/>
- DESIGN SPECIFICATIONS:**
1. ASTM C 478
  2. BASE WEIGHT = 7.60 TONS

**Concrete Stormceptor Order Request Form**

<b>Contractor Information</b>		Office Use Only	
Name: _____		Order # _____	
Address: _____		Date: _____	
City: _____		Internal Sub: _____	
State: _____			
Zip Code: _____			
Contract: _____			
Phone: _____			
Fax: _____			
<b>Owner Information</b>			
Name: _____			
Phone: _____			
Fax: _____			
<b>Stormceptor Model</b>		<b>Insert Size</b>	
900 <input type="checkbox"/>	3600 <input type="checkbox"/>	22" <input type="checkbox"/>	SC-1 <input type="checkbox"/>
1200 <input checked="" type="checkbox"/>	4800 <input type="checkbox"/>	32" <input type="checkbox"/>	184.50 <input type="checkbox"/>
1800 <input type="checkbox"/>	6000 <input type="checkbox"/>	44" <input type="checkbox"/>	173.80 <input type="checkbox"/>
2400 <input type="checkbox"/>	7200 <input type="checkbox"/>	Custom <input type="checkbox"/>	
Monthly Number		Pipe Inside Diameter (in) [ID]	
Top Elevation (ft)		15" <input type="checkbox"/>	
Inlet Pipe Invert (ft)		Pipe Outside Diameter (in) [OD]	
Outlet Pipe Invert (ft)		15" <input type="checkbox"/>	
Pipe Type: R.C.C.P.			
Project Name: TROY HILL PARCEL A-3			
Approximate time frame until required delivery (weeks)			
Delivery Address: Street _____			
City _____ State _____ Zip Code _____			
Designer Company: GEORGE W. STEPHENS, JR. & ASSOCIATES			
Designer Contact: PAT CIARLO Phone: 410-825-8120 Fax: 410-803-0288			

Please fax this order to stormceptor at (301) 762-4190  
For Technical Assistance Please Call Stormceptor Corporation at  
(301) 762-8361 or toll free at (800) 762-4703

ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR

**PREPARED BY:**

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120

**DEVELOPER CERTIFICATION:**  
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: *Mois Weiss* Date: 7-21-99  
Print Name: Mois Weiss

**ENGINEER CERTIFICATION:**  
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: *James A. Markie Jr.* Date: 7/21/99  
Print Name: James A. Markie Jr. PE # 11005

**OWNER / DEVELOPER / CONTRACTOR**

**THE MORRIS L. WEISS BUILDING LLC**  
10545 GUILFORD ROAD, UNIT #107  
JESUP, MD. 20794-9109  
301-490-9525

DESIGNED BY: J.P.  
DRAWN BY: P.T./K.E.  
CHECKED BY: J.P./K.E.  
REVISIONS

**STORMCEPTOR PLAN AND DETAILS**  
FOR  
**TROY HILL CORPORATE CENTER**  
PARCEL A-3

ELECTION DISTRICT: 1st HOWARD CO., MARYLAND SHT. 5 OF 8 SCALE: As Shown DATE: MARCH 08, 1999

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *John R. Plutner* DATE: 9/16/99  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER

Reviewed for Howard SCD and meets Technical Requirements

APPROVED: *Cheyl Simmons* DATE: 9/16/99  
USDA-NATURAL RESOURCES CONSERVATION SERVICE

APPROVED: Howard County Department of Planning and Zoning

APPROVED: *Chris Hanlon* DATE: 9/24/99  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: *Chris Hanlon* DATE: 9/24/99  
CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: *John R. Plutner* DATE: 9/24/99  
DIRECTOR

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
A-3	7011 TROY HILL DRIVE

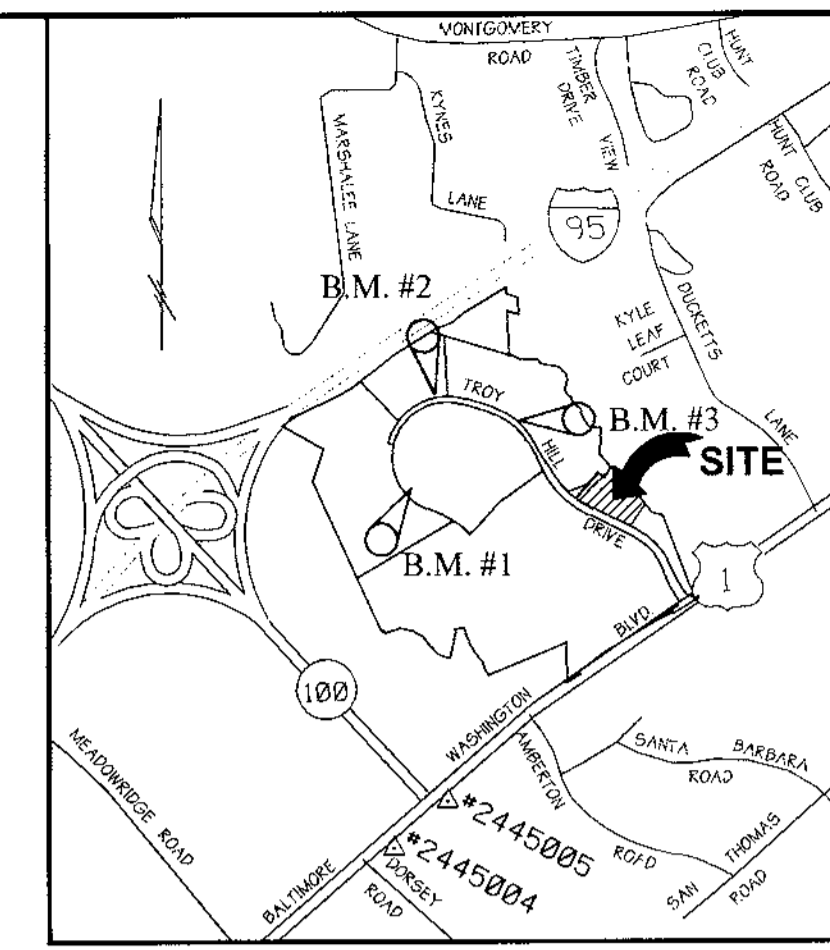
SUBDIVISION NAME: TROY HILL CORPORATE CENTER SECTION NAME: N/A PARCEL #: A-3

PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
12431	18	M-1	37	1st	601.02

WATER CODE C04 SEWER CODE 4020000

**Legend**

- Ex. 2' Contours ----- 394
- Ex. 10' Contours ----- 395
- Prop. 2' Contours ----- 394
- Prop. 10' Contours ----- 395
- Ex. Curb & Gutter -----
- Prop. Curb & Gutter -----
- Bldg. Restriction Line -----
- Ex. Sanitary -----
- Ex. Storm Drain -----
- Prop. Sanitary -----
- Prop. Storm Drain -----
- Prop. Water -----
- Heavy Duty Paving (P-3) -----
- Limit of Disturbance ----- LOD
- Inlet Protection ----- IP
- Stabilized Construction Entrance ----- SCS
- Silt Fence ----- SF ----- SF
- Super Silt Fence ----- SSF ----- SSF
- Wetland ----- W -----
- 100 YR Floodplain ----- FP -----
- Wetland Buffer ----- WB -----

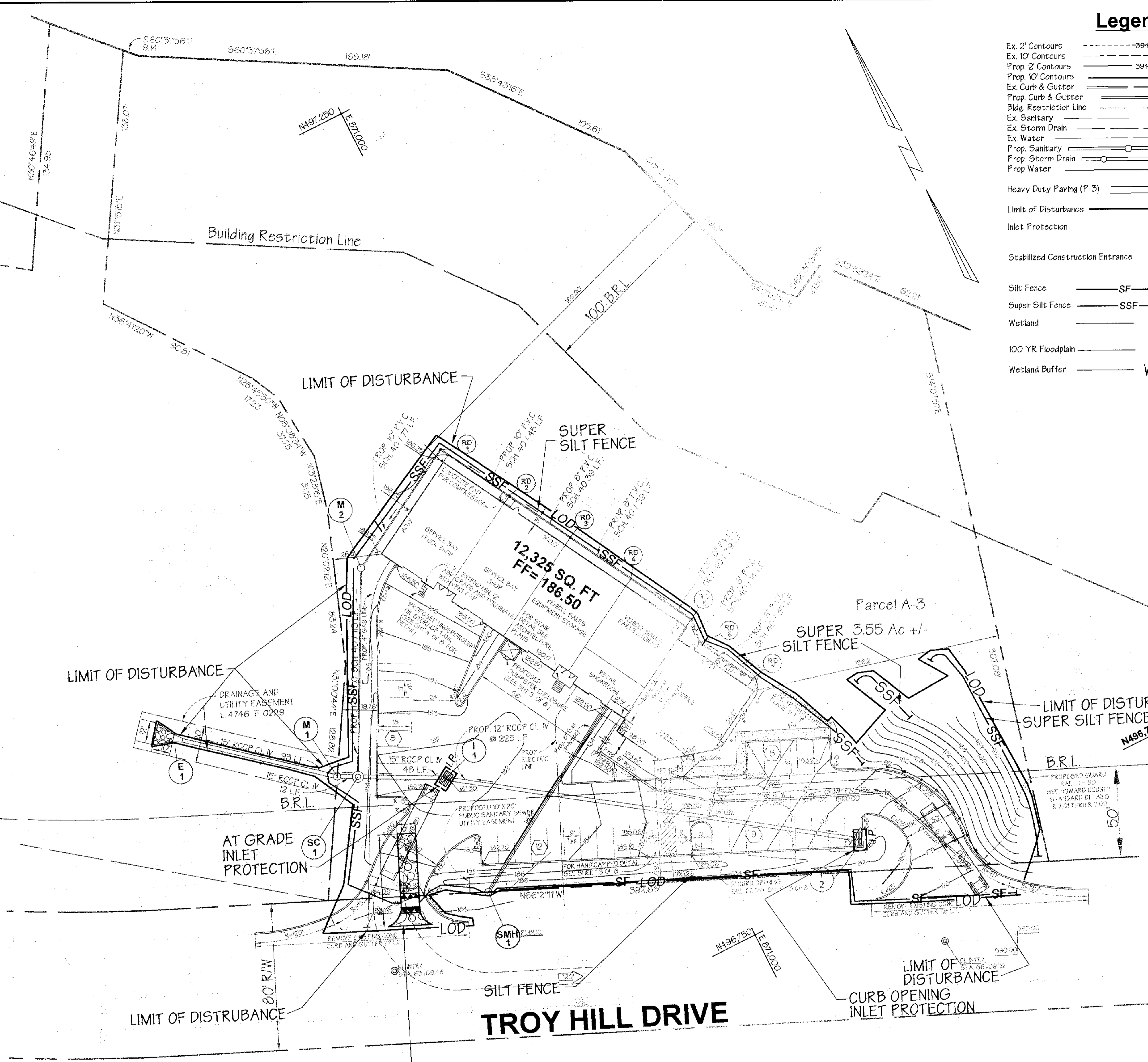


**Vicinity Map**

SCALE: 1" = 200'

**Sequence of Operation**

1. OBTAIN GRADING PERMIT. (1 DAY)
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS BEFORE BEGINNING WORK. (1 DAY)
3. WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, INSTALL STABILIZED CONSTRUCTION ENTRANCE. (2 DAYS)
4. WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB AND INSTALL SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES. NO MASS GRADING OR EARTH WORK IS TO OCCUR. (4 DAYS)
5. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB THE REMAINDER OF THE SITE AND BEGIN GRADING OPERATIONS. (15 DAYS)
6. CONTINUE GRADING. BEGIN FOOTINGS FOR THE PROPOSED BUILDING. CONTINUE BUILDING CONSTRUCTION. (20 DAYS)
7. AS WORK PROGRESSES BEGIN INSTALLATION OF UTILITIES. INSTALL INLET PROTECTION FOR I-1 AND I-2. (15 DAYS)
8. CONTINUE GRADING AND BUILDING CONSTRUCTION. FINE GRADE, INSTALL STONE SUBBASE, AND CONCRETE CURB AND GUTTER. PROCEED WITH LANDSCAPING AND STABILIZATION OPERATION. (10 DAYS)
9. COMPLETE REMAINING LANDSCAPING AND PERMANENT STABILIZATION. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES. (10 DAYS)
10. PROCEED WITH PAVING OPERATIONS. (10 DAYS)



**PLAN**

SCALE: 1"=30'

LIMIT OF DISTURBANCE: 58,806 SQ. FT. OR 1.35 AC. +/-

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John R. Redator*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
DATE: 9/16/99

Reviewed for Howard SCD and meets Technical Requirements  
*Cheryl Simmons*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning  
*Chris Dammann*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/24/99

*Condy Hamilton*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/23/99

*John R. Redator*  
DIRECTOR  
DATE: 9/24/99

ADDRESS CHART	
PARCEL NO. A-3	STREET ADDRESS 7011 TROY HILL DRIVE
SUBDIVISION NAME TROY HILL CORPORATE CENTER	SECTION NAME N/A
PARCEL # A-3	
PLAT # 12431	BLOCK # 18
ZONE M1	TAX MAP 37
ELECT. DIST. 1st	CENSUS TRACT 601102
WATER CODE C04	SEWER CODE 4020000

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120

**DEVELOPER CERTIFICATION:**  
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard soil Conservation District.

Signature of Developer: *Manis Weiss* Date: \_\_\_\_\_  
Print Name: Manis Weiss

**ENGINEER CERTIFICATION:**  
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion.

Signature of Engineer: *James A. Marice Jr.* Date: 7/21/99  
Print Name: James A. Marice Jr. PE # 11005

OWNER / DEVELOPER / CONTRACTOR

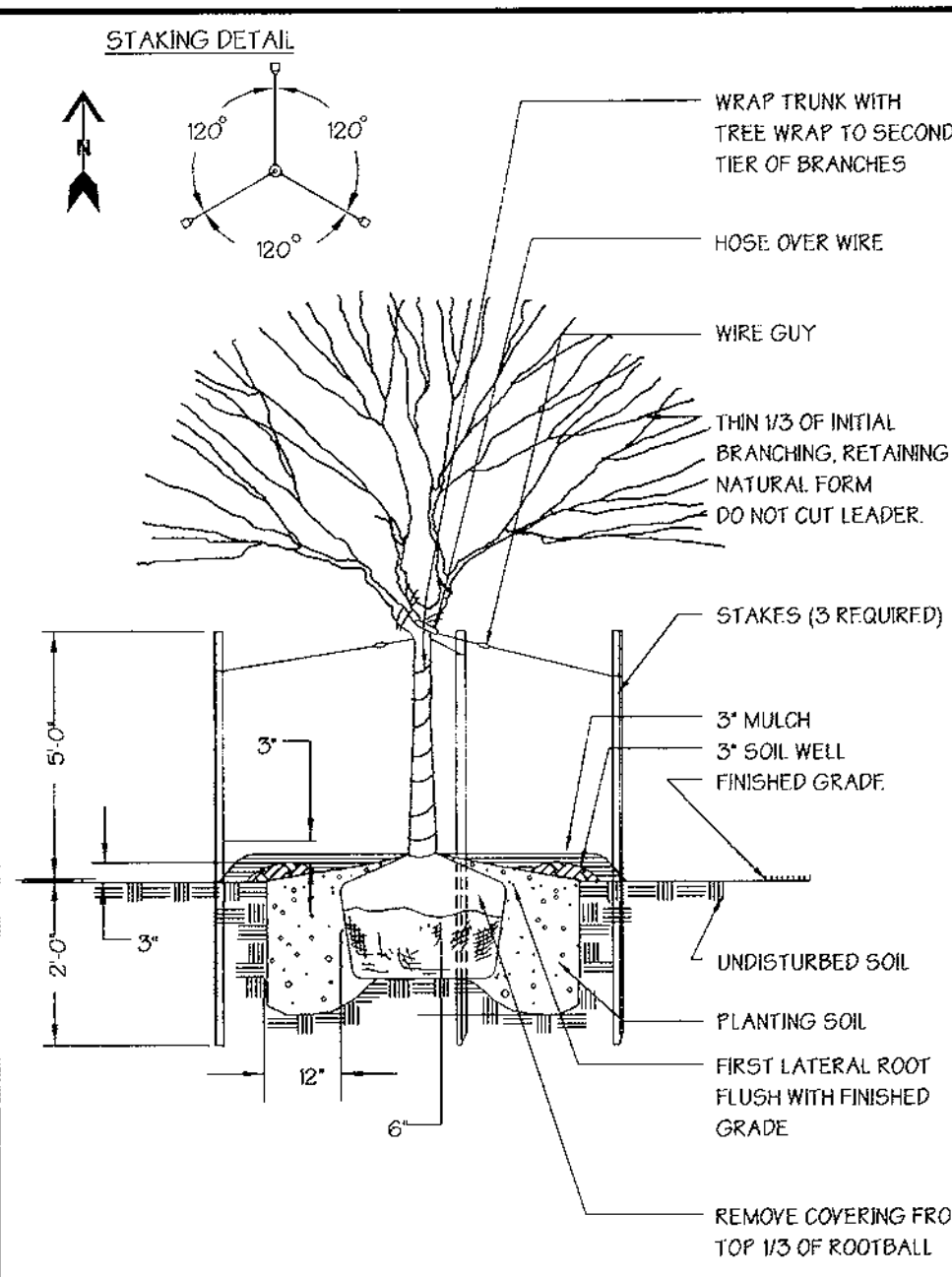
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10545 GUILFORD ROAD, UNIT #107  
JESSUP, MD. 20794-9109  
301-490-9525

DESIGNED BY: J.P.  
DRAWN BY: P.T.J.K.E.  
CHECKED BY: J.P.  
REVISIONS:

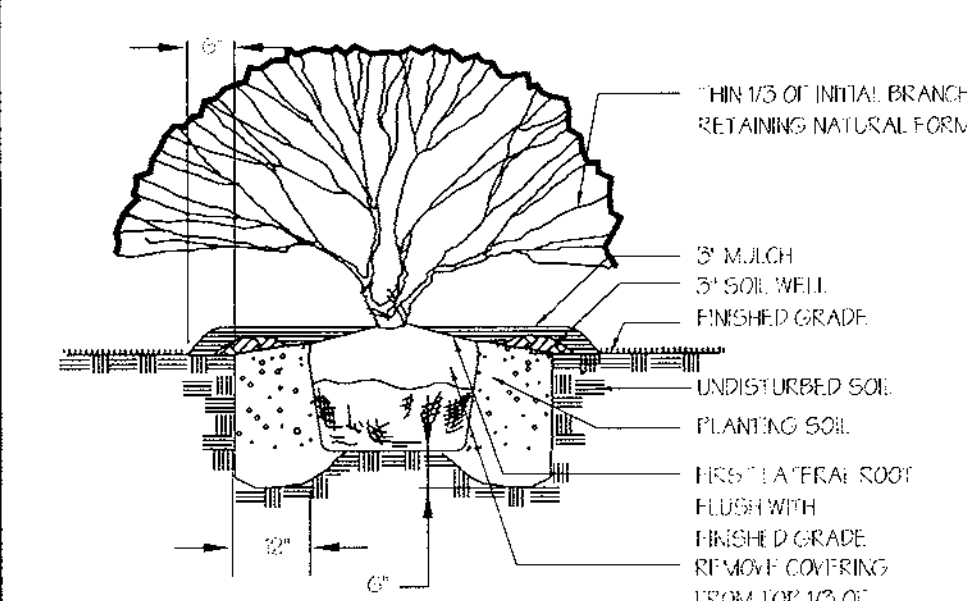
**SEDIMENT EROSION CONTROL PLAN**  
FOR  
**TROY HILL CORPORATE CENTER**  
PARCEL A-3

ELECTION DISTRICT: 1st HOWARD CO., MARYLAND SHT. 6 OF 8  
SCALE: As Shown DATE: MARCH 08, 1999





**Tree Planting Detail**  
NOT TO SCALE



**Shrub Planting Detail**  
NOT TO SCALE

**PLANTING NOTES**  
PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO ACCOMMODATE TREE, GENERAL OR TO RESPONSIBILITY FOR PLANTING UNLESS OTHERWISE STATED. ALL TREES AND SHRUBS SHALL BE PLANTED TO A MINIMUM OF 18" BELOW THE EDGE OF THE ROOT BALL. SHRUBS AND SMALL TREES SHALL BE PLANTED TO A MINIMUM OF 12" BELOW THE EDGE OF THE ROOT BALL. PLANTING SHALL BE COMPLETED WITHIN 30 DAYS OF THE START DATE OF THE PROJECT.

**PLANT STANDARDS**  
ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPE ARCHITECTS (A.A.L.A.) STANDARDS FOR PLANTING AND MAINTENANCE OF PLANTS AND SHRUBS. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE.

**CHANGES MAY IMPACT REQUIRED CERTIFICATION**  
PLANTING OF TREES, SHRUBS, PERENNIALS, ETC., SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPE ARCHITECTS (A.A.L.A.) STANDARDS FOR PLANTING AND MAINTENANCE OF PLANTS AND SHRUBS. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE.

**LANDSCAPE SPECIFICATIONS**  
LANDSCAPE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF PROFESSIONAL LANDSCAPE ARCHITECTS (A.A.L.A.) STANDARDS FOR PLANTING AND MAINTENANCE OF PLANTS AND SHRUBS. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE.

**SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS**  
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS AND SHRUBS. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE. ALL PLANTS SHALL BE OF THE QUALITY AND SPECIES LISTED IN THE LANDSCAPE ARCHITECT'S PLANTING SCHEDULE.

**NO PROVISIONS TO THE GUARANTEE PROVISIONS ARE APPLICABLE UNLESS OTHERWISE STATED IN THIS PLAN.**

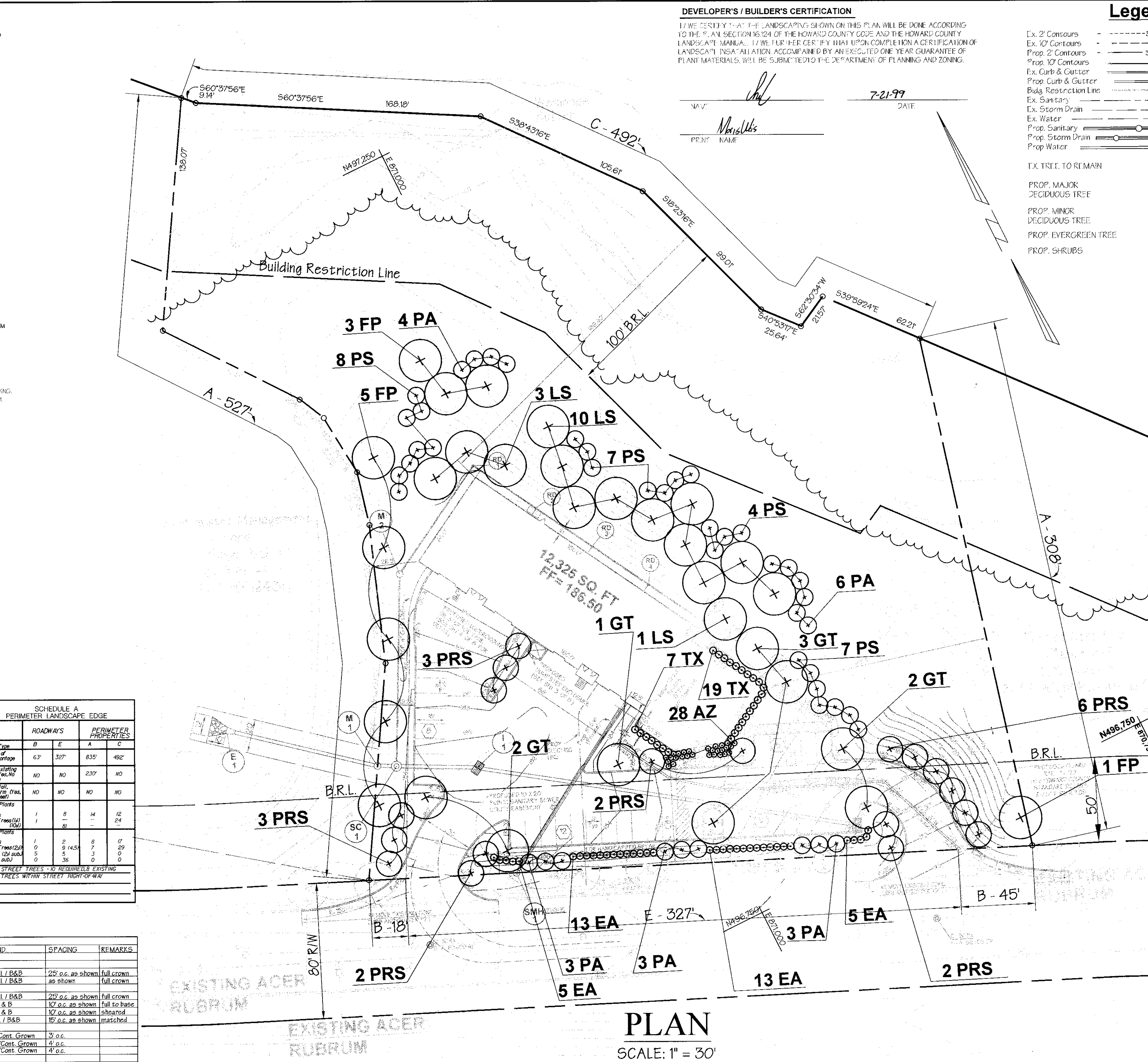
**THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 17.02 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE ARCHITECT'S MANUAL. THE LANDSCAPE ARCHITECT'S MANUAL IS A PART OF THIS PLAN AND IS INCORPORATED BY REFERENCE.**

SCHEDULE A PERIMETER LANDSCAPE EDGE		ROADWAYS			
Landscaping Type	B	E	A	C	
Upper Foot of Roadway/ Frontage	63'	327'	835'	492'	
Credit for existing Vegetation/Trees No. (Upper Foot)	NO	NO	230'	NO	
Credit for existing Vegetation/Trees No. (Lower Foot)	NO	NO	NO	NO	
Number of Plants Required	1	8	14	12	
Shade Trees	1	1	1	24	
Evergreen Trees (12' or Smaller)	0	0	0	0	
Other Trees (12' or Smaller)	0	0	0	0	
Shade Trees	1	2	8	17	
Evergreen Trees (12' or Smaller)	0	0	0	0	
Other Trees (12' or Smaller)	0	0	0	0	
Shade Trees	0	0	0	0	
Evergreen Trees (12' or Smaller)	0	0	0	0	
Other Trees (12' or Smaller)	0	0	0	0	

Comments: STREET TREES - 10 REQUIRED, 8 EXISTING TREES WITHIN STREET RIGHT-OF-WAY

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of Parking Spaces	Number of Trees Required
34	7
Number of Trees Provided	Number of Trees Provided
3	3
Other Trees (21' or Smaller)	Other Trees (21' or Smaller)
3	3

KEY	QUANT.	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPECING	REMARKS
FP	9	Fraxinus pennsylvanica / Patmore/Patmore Green Ash	2 1/2' - 3' cal / B&B	25' o.c. as shown	full crown
GT	8	Gleditsia triacanthos inermis / Skyline/Skyline Honeylocust	2 1/2' - 3' cal / B&B	as shown	full crown
LS	14	Liquidambar styraciflua / Sweetgum	2 1/2' - 3' cal / B&B	25' o.c. as shown	full crown
PA	19	Pinus strobus / Eastern White Pine	6-8' ht. / B & B	10' o.c. as shown	full to base
PS	26	Pinus strobus / Eastern White Pine	6-8' ht. / B & B	10' o.c. as shown	sheared
PRS	19	Prunus serrulata Kwanzan/Kwanzan Cherry	1 1/2' - 2' cal / B&B	15' o.c. as shown	matched
SHRUBS					
AZ	28	Azalea Gumpo Pink/Sateuki Gumpo Pink Azalea	18-24" ht. / Cont. Growth	3' o.c.	
EA	36	Echinops alba Compacta/Dwarf Windmill Echinops	24-30" ht. / Cont. Growth	4' o.c.	
TX	26	Taxus baccata Repandens/Spreading English Yew	24-30" ht. / Cont. Growth	4' o.c.	

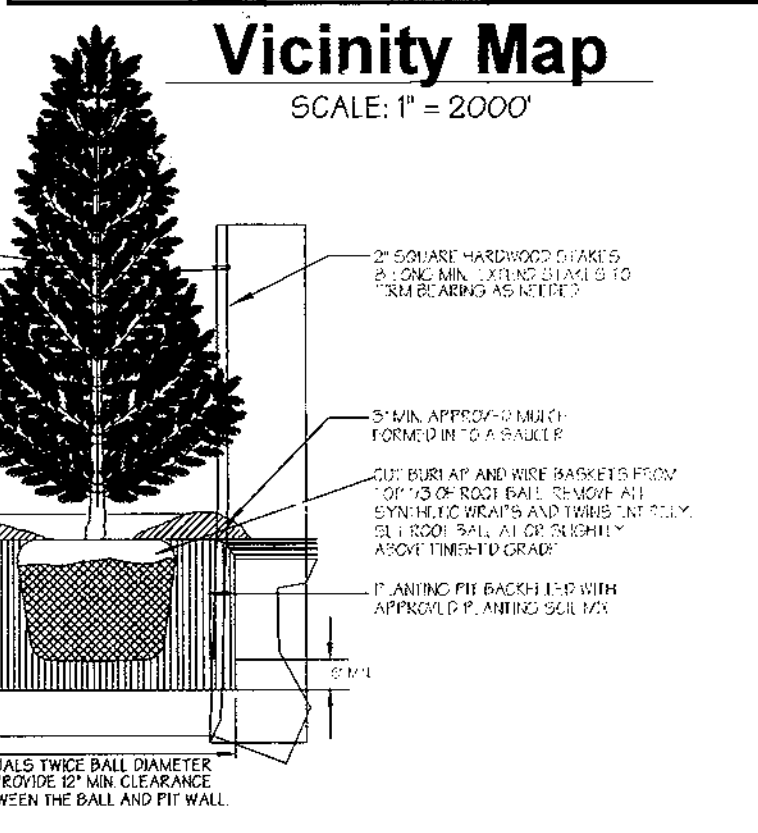
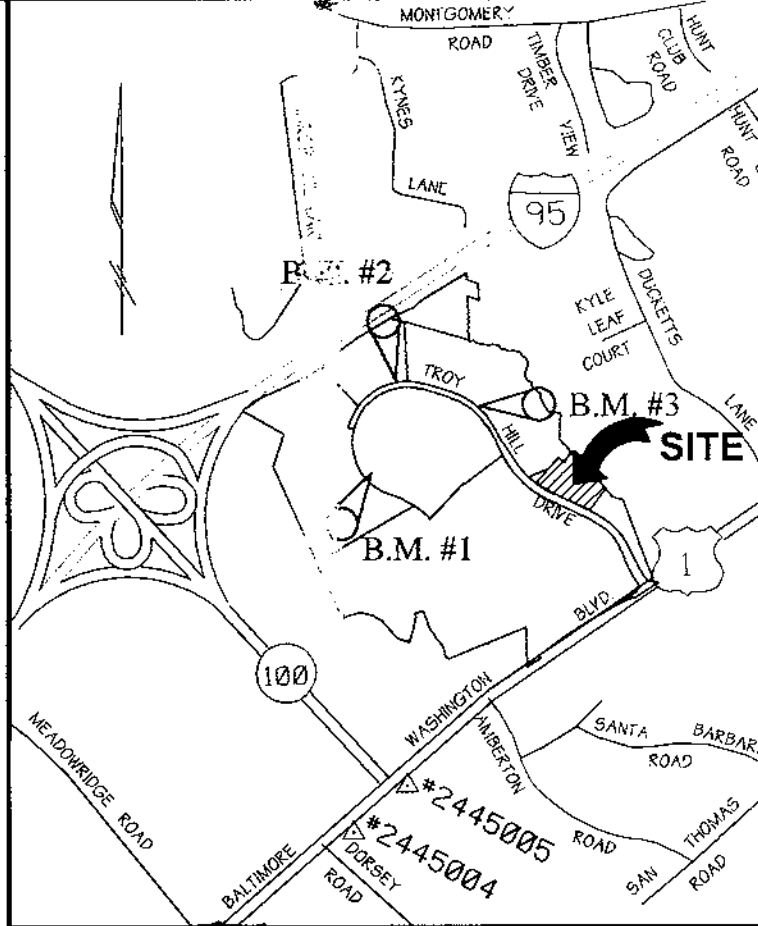


**PLAN**  
SCALE: 1" = 30'

**DEVELOPER'S / BUILDER'S CERTIFICATION**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.02 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE ARCHITECT'S MANUAL. I/WE HEREBY CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DATE: 7-21-99  
NAME: [Signature]

- Legend**
- Ex. 2' Contours - 394
  - Ex. 10' Contours - 395
  - Prop. 2' Contours - 394
  - Prop. 10' Contours - 395
  - Prop. Curb & Gutter
  - Prop. Storm Drain
  - Prop. Sanitary
  - Prop. Storm Drain
  - Prop. Water
  - Prop. Sanitary
  - Prop. Storm Drain
  - Prop. Water
- EX. TREE TO REMAIN  
PROP. MAJOR DECIDUOUS TREE  
PROP. MINOR DECIDUOUS TREE  
PROP. EVERGREEN TREE  
PROP. SHRUBS



**Evergreen Planting Detail**  
NOT TO SCALE

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John R. Blanton*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE: 9/16/99

PLAN NUMBER: [Blank] DATE: 9/16/99

Reviewed for Howard SCD and meets Technical Requirements

*Cheyl Simmon*  
USDA-NATURAL RESOURCE CONSERVATION SERVICE DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*Mr. [Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 9/21/99

*Chris Hamilton*  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 9/22/99

*John R. Blanton*  
DIRECTOR DATE: 9/24/99

ADDRESS CHART  
PARCEL NO. A-3 STREET ADDRESS 7011 TROY HILL DRIVE

SUBDIVISION NAME TROY HILL CORPORATE CENTER SECTION NAME N/A PARCEL # A-3

PLAT # 12431 BLOCK # 15 ZONE M-1 MAP # 37 ELECT. DIST. 1st CENSUS TRACT 6011.02

WATER CODE C04 SEWER CODE 4020000

**PREPARED BY:**  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120

NOTE: THE OWNER, DEVELOPER, AND/OR HIS AGENT SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTING MATERIALS AND BERM, FENCE AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIREMENTS FOR LANDSCAPING SHALL BE QUANTITATIVELY MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED OR REPLANTED.

**OWNER / DEVELOPER / CONTRACTOR**  
**THE MORRIS L. WEISS BUILDING LLC**  
10545 GUILFORD ROAD, UNIT #107  
JESSUP, MD. 20794-9109  
301-490-9525

DESIGNED BY: S.T.U.  
DRAWN BY: P.T. S.T.U.  
CHECKED BY: D.L.M.  
REVISIONS

**LANDSCAPE PLAN & DETAILS**  
FOR  
**TROY HILL CORPORATE CENTER**  
PARCEL A-3

ELECTION DISTRICT: 1st HOWARD CO., MARYLAND SHT. 8 OF 8 SCALE: As Shown DATE: MARCH 08, 1999

SDP 99-127



**Construction Notes**

1. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1800 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
2. ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
3. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
4. CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
5. ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
7. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
8. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
9. CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
10. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
12. ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING. ALL GRADING UNDER PROPOSED PAVING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
13. CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 IN PER FOOT).
14. MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
15. CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS.
16. CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
17. CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
18. ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES." ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
19. THE CONTRACTOR SHALL REPLACE ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REFILLED AND COMPACTED.
20. IN AN AREA WHERE EXCAVATION IS NEEDED WITHIN THE ROAD RIGHT-OF-WAY, EXCAVATION MUST BE MADE WITHIN ONE (1) FOOT OF THE FINAL SUBGRADE.
21. WHERE FILL IS PROPOSED WITHIN THE ROAD RIGHT-OF-WAY, THE FILL SHALL BE A MINIMUM OF TWO (2) FEET BELOW THE FINAL ROAD SUBGRADE.
22. STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED IN THE EXISTING POND #4 ON ADJACENT PARCEL A-5.
23. ALL LIGHTING TO BE MOUNTED TO BUILDING WHICH WILL BE SHOWN ON ARCHITECTURAL PLANS.
24. ALL LIGHTING TO COMPLY WITH ZONING REGULATION SPECIFICATIONS SECTION 154 OUTDOOR LIGHTING.
25. ALL STORM DRAINS TO BE RCCP OR HDPE UNLESS OTHERWISE NOTED.

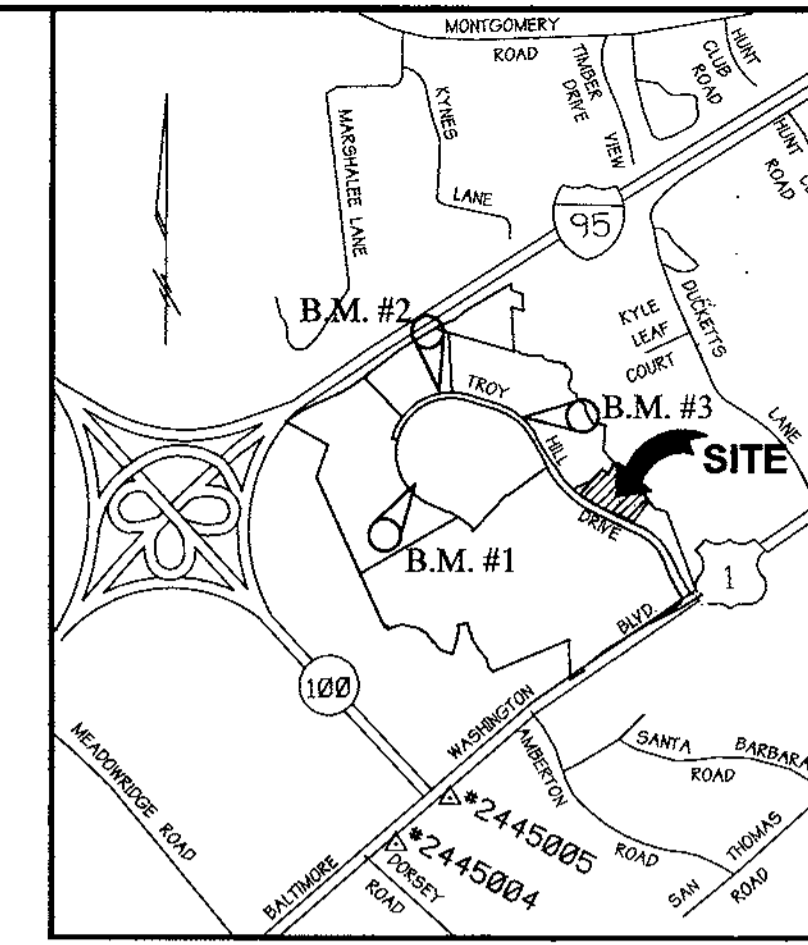
**BENCHMARKS**

**BENCHMARK #1**  
IRON PIN @ TRAVERSE #1066  
N 496.501 3597 E 869.134.4576  
ELEVATION = 175.92'

**BENCHMARK #2**  
IRON PIN @ TRAVERSE #1061  
N 498.036.5945 E 868.791.1502  
ELEVATION = 242.49'

**BENCHMARK #3**  
IRON PIN @ TRAVERSE #1034  
N 497.636.7437 E 869.835.6586  
ELEVATION = 214.85'

COORDINATES BASED ON NAD 27.  
AS PROJECTED BY HOWARD COUNTY  
GEODETIC CONTROL STATIONS  
#2445004 AND #2445005



**Vicinity Map**  
SCALE: 1" = 2000'

**Site Data**

TOTAL PROJECT AREA = 152,460 SQ.FT. OR 3.55 AC. +/-  
EXISTING ZONING = M-1 -  
PROPERTY REFERENCE = PLAT NO. 12431 / L. 4746 F. 0224  
EXISTING USE = VACANT  
PROPOSED USE = OFFICE / WAREHOUSE  
BUILDING COVERAGE = 12,325 SQ.FT.  
% OF BUILDING COVERAGE = 8.01%  
FLOOR AREA = 0.28 AC. +/-  
FLOOR AREA RATIO = 8.01%  
AREA TO BE PAVED PLUS BUILDING AREA = 37,435 SQ.FT. OR 0.86 AC. +/-  
OPEN SPACE = 2.67 AC. +/-  
TOTAL AREA OF PARKING LOT = 25,10 SQ.FT. OR 0.58 AC. +/-  
% OF PARKING LOT COVERAGE = 16.90%  
NUMBER OF PARKING SPACES REQUIRED = 31  
NUMBER OF PARKING SPACES PROVIDED = 31 INCLUDING 2 HANDICAPPED -  
AREA TO BE DISTURBED = 58,806 SQ.FT. OR 1.35 AC. +/-  
AREA TO BE VEGETATIVELY STABILIZED = 21,344.40 SQ.FT. OR 0.49 AC. +/-  
SKETCH PLAN NO. = S-90-05  
PRELIMINARY PLAN NO. = P-90-23

# Site Development Plan

for

## Parcel A - 3

# Troy Hill Corporate Center

## Howard County, Maryland

### SDP 99-127

**Parking Tabulation**

TOTAL BUILDING AREA = 12,325 SQ. FT.  
PARKING REQUIRED:  
2,725 SQ. FT. GENERAL OFFICE @ 3.3 SPACES/1000 SQ.FT. = 9.0 SPACES  
3,980 SQ. FT. VEHICLE SALES @ 2.0 SPACES/1000 SQ. FT. = 8.0 SPACES  
2 - 2,400 SQ. FT. VEHICLE SERVICE BAYS @ 3.0 SPACES /SERVICE BAY = 6.0 SPACES  
@ 2.0 SPACES /1000 SQ. FT. = 10.0 SPACES  
820 SQ. FT. RETAIL/SHOW ROOM @ 5.0 SPACES/1000 SQ. FT. = 4.0 SPACES  
TOTAL REQUIRED = 31.0 SPACES

PARKING PROVIDED = 31 SPACES (INCLUDES 2 HANDICAPPED)

**Index of Sheets**

- SHEET NO. 1 - COVER SHEET
- SHEET NO. 2 - SITE PLAN
- SHEET NO. 3 - SITE PLAN DETAILS
- SHEET NO. 4 - DRAINAGE AREA MAP AND PROFILES
- SHEET NO. 5 - STORMCEPTER PLAN & DETAILS
- SHEET NO. 6 - SEDIMENT EROSION CONTROL PLAN
- SHEET NO. 7 - SEDIMENT EROSION CONTROL DETAILS & NOTES
- SHEET NO. 8 - LANDSCAPE PLAN & DETAILS

**Legend**

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Bldg. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Prop. Sidewalk
- Silt Fence
- Super Silt Fence
- Wetland
- 100 YR Floodplain
- Wetland Buffer

NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

NOTE: The Owner of any lot or parcel at Troy Hill Commerce Center shall submit a traffic engineer's estimate of peak hour vehicular site trip generation with each re-subdivision plat or site development plan it files with the County for approval. The submission of any subdivision plat or site development plan that results in a total aggregate peak hour projected trip volume from Troy Hill of at least 1746 vehicles per peak hour on a typical weekday shall require that the Owner of such plan must apply for the construction of the U.S. Route 1 Phase III traffic improvements and must complete construction of such improvements within three years after plan approval in accordance with the Adequate Public Agreement F-9F-24

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John R. Blanton*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
DATE: 9/16/99

PLAN NUMBER: \_\_\_\_\_ DATE: \_\_\_\_\_

Reviewed for Howard SCD and meets Technical Requirements

*John R. Blanton*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*John R. Blanton*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/21/99

*Cindy Hamilton*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 7/22/99

*Ann S. Smith*  
DIRECTOR  
DATE: 9/24/99

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
A-3	7011 TROY HILL DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	N/A	A-3

PLAT #	BLOCK #	ZONE	TAX /ZONE MAP	ELECT. DIST.	CENSUS TRACT
12431	18	M-1	37	1st	601102

WATER CODE 004 SEWER CODE # 4020000

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120

OWNER / DEVELOPER / CONTRACTOR

**THE MORRIS L. WEISS BUILDING LLC**  
10545 GUILFORD ROAD, UNIT #107  
JESSUP, MD. 20794-9109  
301-490-9525

DESIGNED BY: J.P./P.R.C.  
DRAWN BY: P.T./K.E.  
CHECKED BY: J.P./P.R.C./K.E.

REVISIONS  
3/14/00 BY GWS  
REV. PROVIDED PARKING COUNT

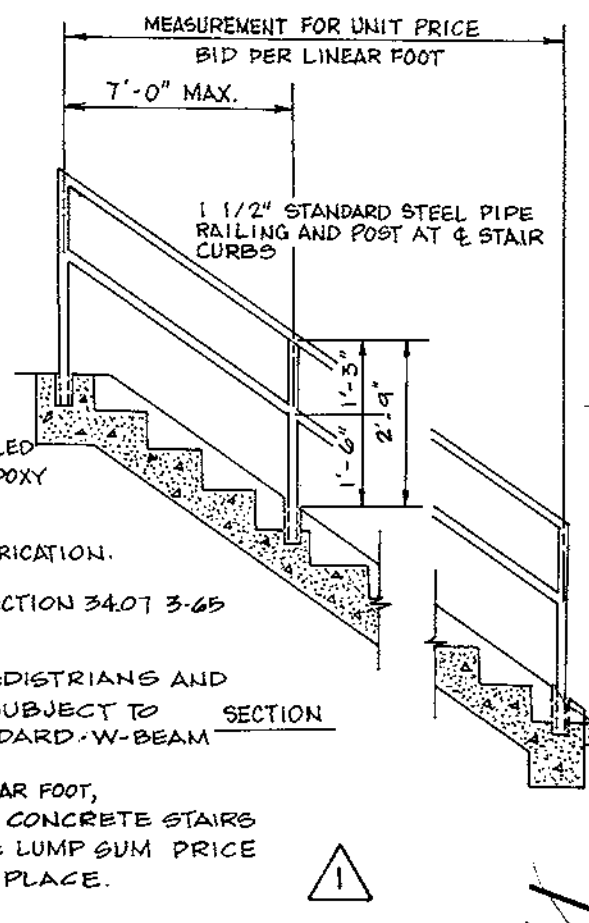
COVER SHEET FOR

## TROY HILL CORPORATE CENTER

PARCEL A-3

PREVIOUS FILE #S 990-05, P90-23, F91-24, W96-91, F96-136  
ELECTION DISTRICT: 1st SHT. 1 OF 8 SCALE: As Shown  
HOWARD CO., MARYLAND DATE: MARCH 08, 1999

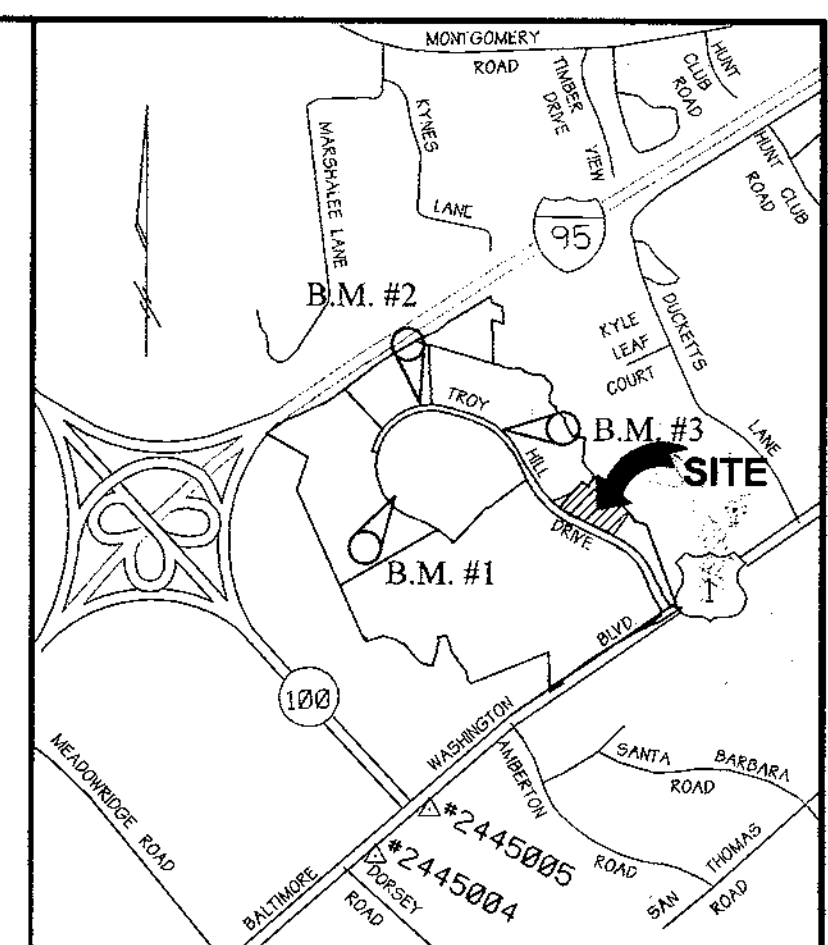
- NOTES:
- UNLESS OTHERWISE NOTED, PAINTED RAILING SHALL BE FURNISHED.
  - RAILING AND POSTS TO BE PAINTED SHALL CONFORM TO A.S.T.M. DESIGNATION A-120 STANDARD WEIGHT.
  - RAILING AND POSTS TO BE GALVANIZED SHALL CONFORM TO A.S.T.M. DESIGNATION A-441 SEE SPECIFICATIONS.
  - UNLESS OTHERWISE NOTED, RAILINGS SHALL BE FURNISHED FOR BOTH SIDES OF STAIRS AND ON ALL STAIRS HAVING 4 RISERS AND OVER.
  - RAILING SHALL BE ALL WELDED WITH ITS JOINTS GROUND SMOOTH AND FREE OF BURRS.
  - RAILING POSTS SHALL BE SET IN METAL SLEEVES, 6" DEEP AND FILLED WITH HOT POURED LEAD OR HOT POURED SULFUR OR AN EQUIVALENT EPOXY COMPOUND.
  - GALVANIZED RAILINGS SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION.
  - PAINTED RAILINGS SHALL BE PAINTED IN ACCORDANCE WITH SECTION 3401 3-65 OF THE SPECIFICATIONS.
  - THIS HANDRAIL IS TO BE USED ONLY AS PROTECTION FOR PEDESTRIANS AND NOT BE PLACED IN ANY LOCATION WHERE IT MIGHT BE SUBJECT TO VEHICULAR IMPACT. FOR VEHICULAR PROTECTION STANDARD W-BEAM GUARD RAIL SHOULD BE USED.
  - THE RAILING SHALL BE PAID FOR AT THE UNIT PRICE BID PER LINEAR FOOT, MEASURED HORIZONTALLY FOR STANDARD PIPE RAILING FOR CONCRETE STAIRS COMPLETE IN PLACE; OR ITS COST SHALL BE INCLUDED IN THE LUMP SUM PRICE BID FOR STANDARD CONCRETE STAIR COMPLETE IN PLACE.



HOWARD COUNTY, MARYLAND  
DEPARTMENT OF PUBLIC WORKS  
Approved: *William C. Ray* 1-12-81  
Chief, Div. of Engr. Date

STANDARD PIPE RAILING FOR  
CONCRETE STAIRS

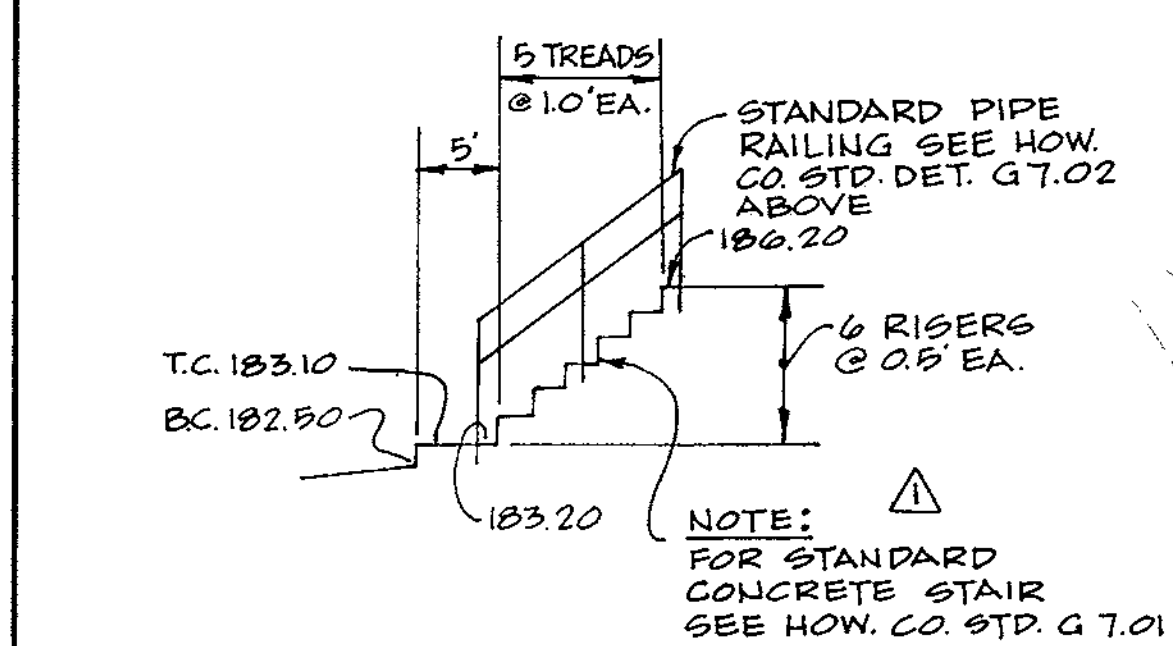
REV. JAIL 1982  
DRAWN BY  
W.C. BALLARD  
CHECKED BY  
J.L.R.  
NO SCALE  
G.T.O.Z.



Vicinity Map  
SCALE: 1" = 2000'

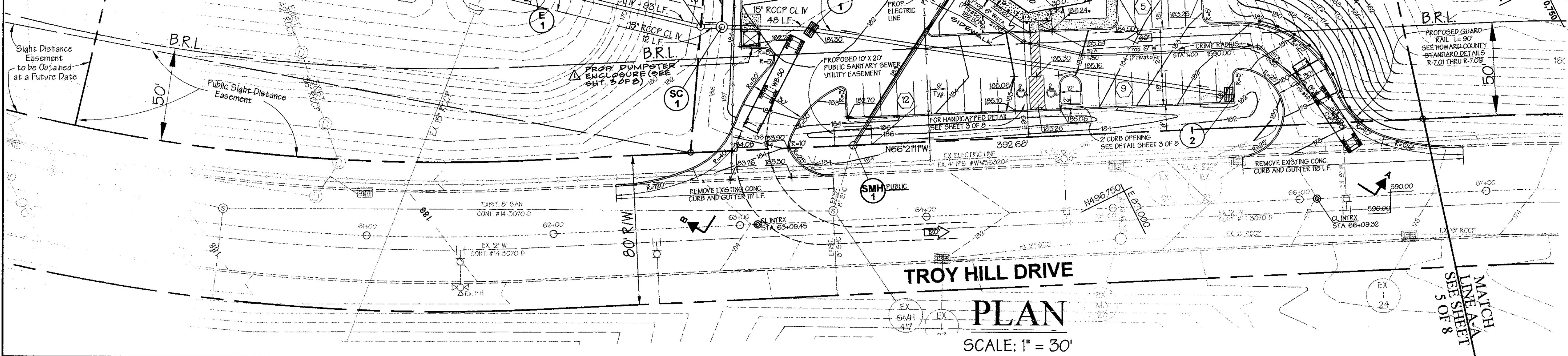
Legend

- Ex. 2' Contours ----- 364
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- Prop. 2' Contours ----- 394
- Prop. 10' Contours ----- 365
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- Ex. Sanitary -----
- Ex. Storm Drain -----
- Ex. Water -----
- Prop. Sanitary -----
- Prop. Storm Drain -----
- Prop. Water -----
- Prop. Sidewalk -----
- Wetland ----- W
- 100 YR Floodplain ----- FP
- Wetland Buffer ----- WB



STAIR ELEVATION  
NOT TO SCALE

TROY HILL CORPORATE CENTER  
PARCEL A-2 PLAT # 12431  
TROY HILL P.L.L.C.  
L 4714 F 0049



This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John K. Blanton*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
DATE: 9/16/99

PLAN NUMBER: \_\_\_\_\_ DATE: \_\_\_\_\_

Reviewed for Howard SCD and meets Technical Requirements

*Kevin Scimmone*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*Robert J. ...*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/21/99

*Carole Hamilton*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/24/99

*James Butler*  
DIRECTOR  
DATE: 9/24/99

ADDRESS CHART	
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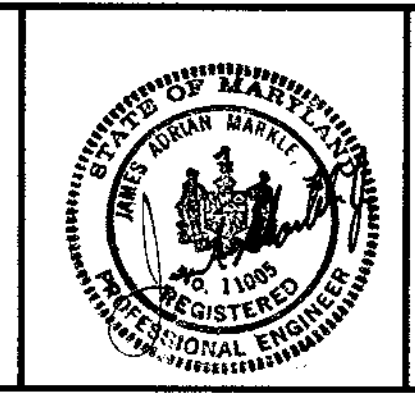
PLAT #	BLOCK #	ZONE	MAP	ELECT. DIST.	CENSUS TRACT
12431	15	M-1	EX	1st	6011.02

WATER CODE	SEWER CODE
C04	4020000

PREPARED BY:

**GWS** GEORGE W. STEPHENS, JR.  
AND ASSOCIATES, INC.  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
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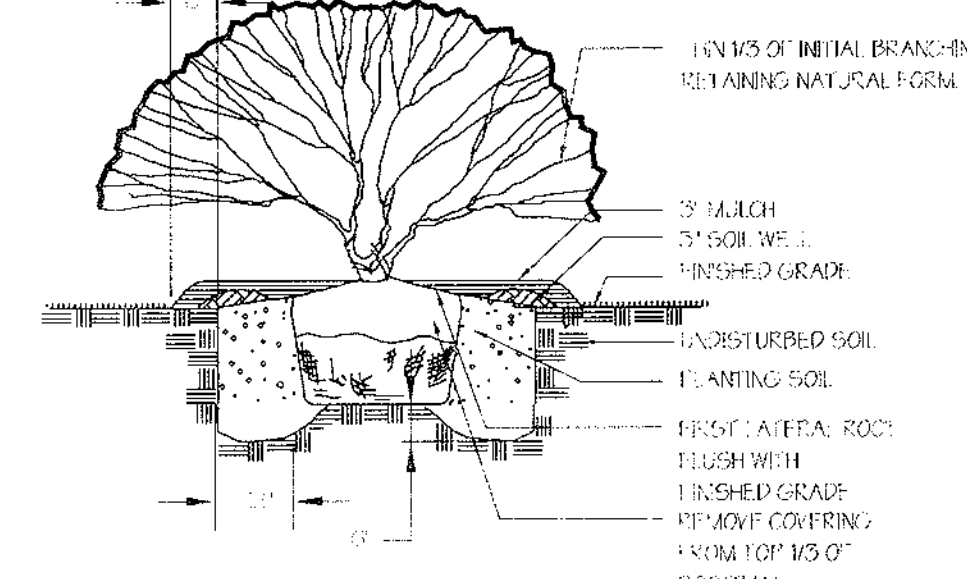
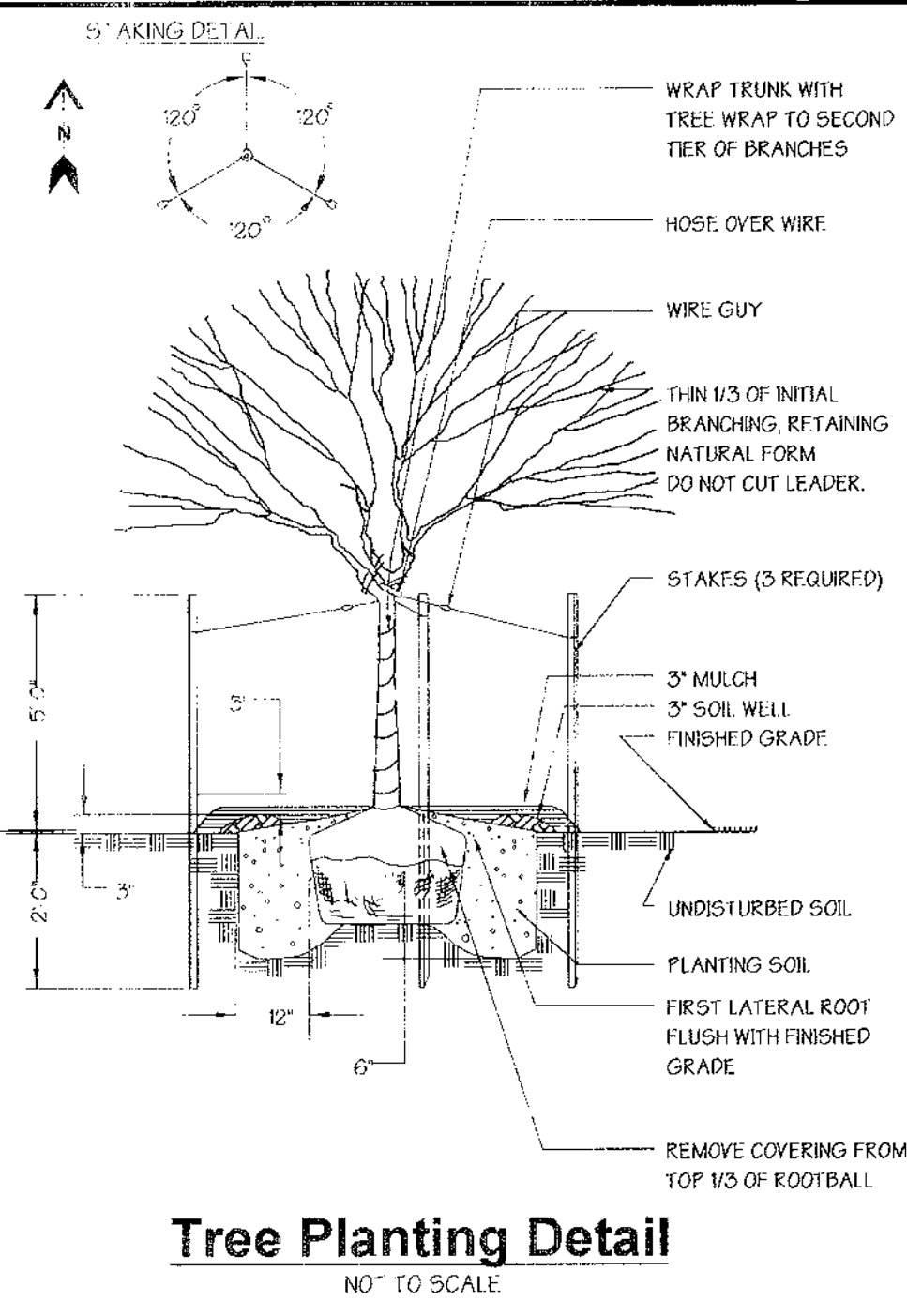
DESIGNED BY: J.P./J.C.  
DRAWN BY: P.T./K.E.  
CHECKED BY: J.P./K.E.

REVISIONS  
3/14/00 BY G.W.S.  
REV. DUMPSTER LOCATION  
PARKING QUALITY ADDED  
STAIRS & SIDEWALK IN  
FRONT OF BLDG. AND  
ADDED STAIR ELEV. &  
RAIL DETAIL

SITE PLAN  
FOR  
TROY HILL CORPORATE CENTER  
PARCEL A-3

ELECTION DISTRICT: 1st  
HOWARD CO., MARYLAND  
SHT. 2 OF 8

SCALE: As Shown  
DATE: MARCH 08, 1999



**PLANTING NOTES**

1. ALL PLANTING SHALL BE ACCORDING TO THE AMERICAN SOCIETY OF HORTICULTURE'S (ASPCA) PRACTICES AND STANDARDS FOR THE PLANTING OF TREES AND SHRUBS.

2. ALL PLANTING SHALL BE ACCORDING TO THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING'S LANDSCAPE INSTALLATION REQUIREMENTS.

3. ALL PLANTING SHALL BE ACCORDING TO THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING'S LANDSCAPE INSTALLATION REQUIREMENTS.

4. ALL PLANTING SHALL BE ACCORDING TO THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING'S LANDSCAPE INSTALLATION REQUIREMENTS.

5. ALL PLANTING SHALL BE ACCORDING TO THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING'S LANDSCAPE INSTALLATION REQUIREMENTS.

**LANDSCAPE SPECIFICATIONS**

ROADWAYS	PERIMETER PROPERTIES
Lineal Feet of Property Frontage	63' 317' 827' 510'
Credit for existing Vegetation	NO NO 230' YES
Credit for Wall, Fence, or Other	NO NO NO NO
Number of Plants	1 8 14 0
Shade Trees	1 1 1 0
Evergreen Trees (10' or taller)	0 2 1 0
Other Trees (2' sub)	0 2 1 0
Shrubs (10' sub)	0 36 0 0

**SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS**

1. ALL PLANTING SHALL BE ACCORDING TO THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING'S LANDSCAPE INSTALLATION REQUIREMENTS.

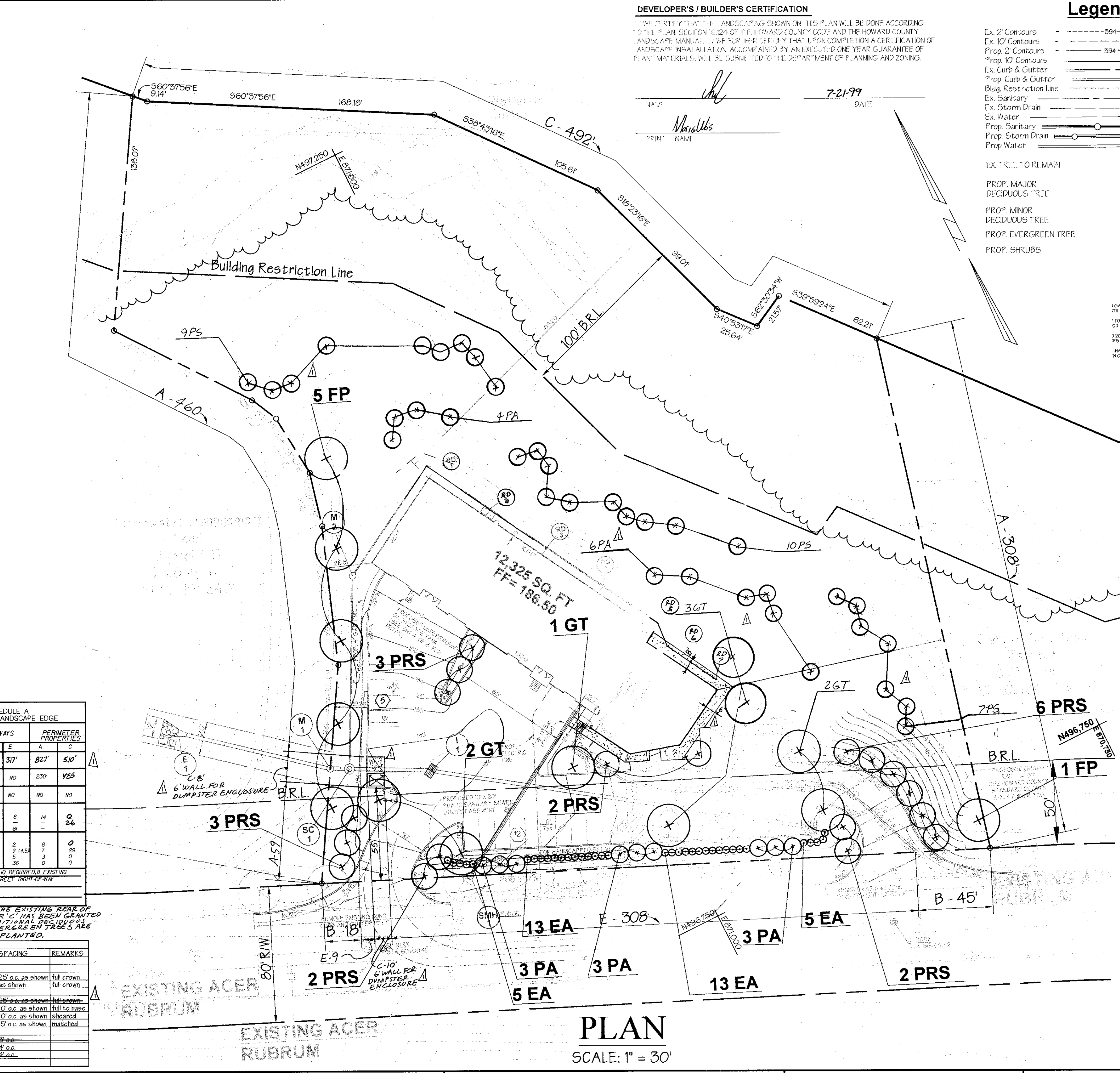
2. ALL PLANTING SHALL BE ACCORDING TO THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING'S LANDSCAPE INSTALLATION REQUIREMENTS.

**SCHEDULE B PARKING LOT INTERNAL LANDSCAPING**

KEY	QUANT.	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPACING	REMARKS
GP	6	Fraxinus pennsylvanica / Patmore Green Ash	2 1/2' 3' cal / P & B	25' o.c. as shown	full crown
EP	9	Gleditsia tricanthos / Skyline Skyline Honeylocust	2 1/2' 3' cal / P & B	as shown	full crown
EG	14	Thuja occidentalis / Blue Star Arborvitae	2 1/2' 3' cal / P & B	25' o.c. as shown	full crown
PA	19	Picea abies / Norway Spruce	6-8' ht. / B & B	10' o.c. as shown	full to base
PS	26	Pinus strobus / Eastern White Pine	6-8' ht. / B & B	10' o.c. as shown	sheared
PRS	10	Prunus serotina / Kwanzan Cherry	1 1/2' 2' cal / B & B	10' o.c. as shown	matched
EA	20	Aralia / Comp. Pink / Sp. Gumpo Pink / Azalea	18-24" ht. / Cont. Growth	3' o.c.	
EA	26	Eunymia alata / Dwarf Winged Euonymus	24-30" ht. / Cont. Growth	4' o.c.	
EA	26	Lonicera maackii / Japanese Euonymus	24-30" ht. / Cont. Growth	4' o.c.	

**PREPARED BY:**

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120



**NOTE:**

THE OWNER, DESIGNER, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BEAMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PROMPTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

**DEVELOPER'S / BUILDER'S CERTIFICATION**

I HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16224 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE INSTALLATION REQUIREMENTS. I AM PROVIDING THIS CERTIFICATION AND LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Morris Weiss*  
DATE: 7-21-99

**Legend**

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Blgd. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water

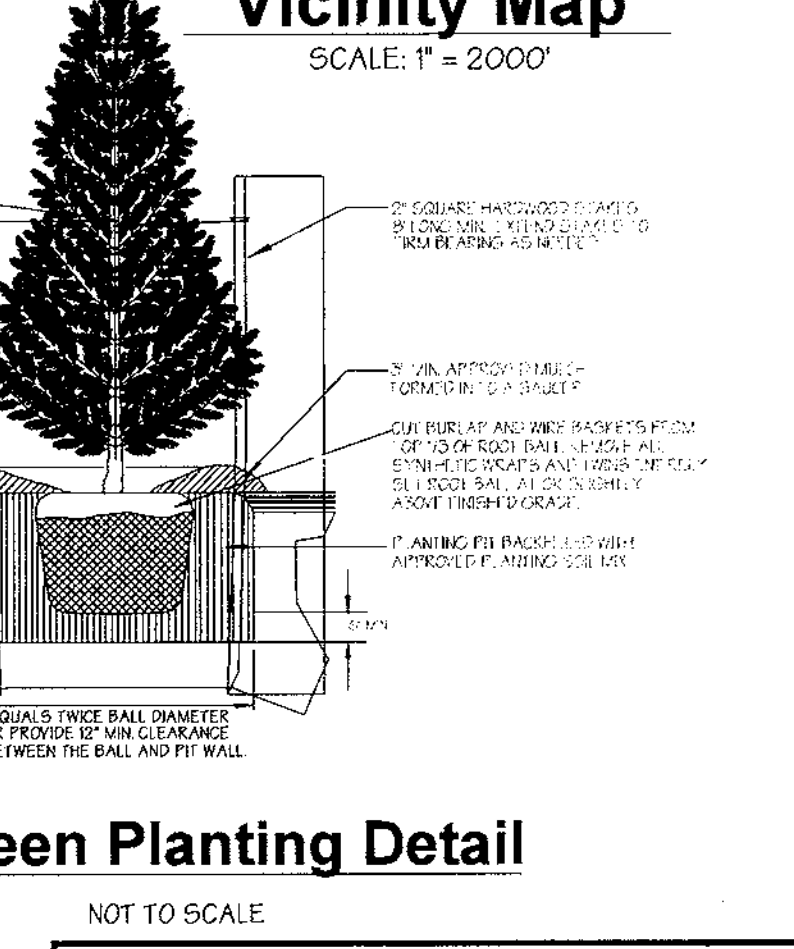
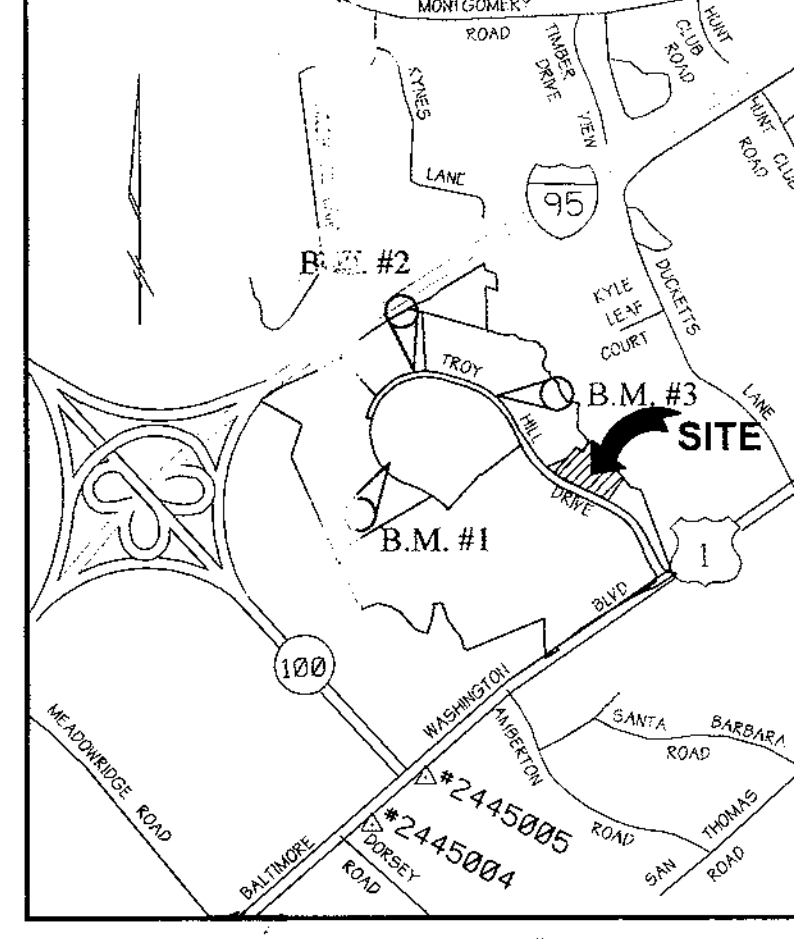
EX. TREE TO REMAIN

PROP. MAJOR DECIDUOUS TREE

PROP. MINOR DECIDUOUS TREE

PROP. EVERGREEN TREE

PROP. SHRUBS



This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*John R. Rutter*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
DATE: 9/16/99

PLAN NUMBER: \_\_\_\_\_ DATE: 9/16/99

Reviewed for Howard SCD and meets Technical Requirements

*Cheyl Simmon*  
NDA-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*M. Williams*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/21/99

*Cindy Hamilton*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/23/99

*John R. Rutter*  
DIRECTOR  
DATE: 9/24/99

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
A-3	7011 TROY HILL DRIVE

SUBDIVISION NAME: TROY HILL CORPORATE CENTER SECTION NAME: N/A PARCEL #: A-3

PLAT #	BLOCK #	ZONE	7-ZONE MAP	ELECT. DIST.	CENSUS TRACT
12431	15	M-1	37	15E	601102

WATER CODE C04 SEWER CODE 4020000

**LANDSCAPE PLAN & DETAILS**  
FOR  
**TROY HILL CORPORATE CENTER**  
PARCEL A-3

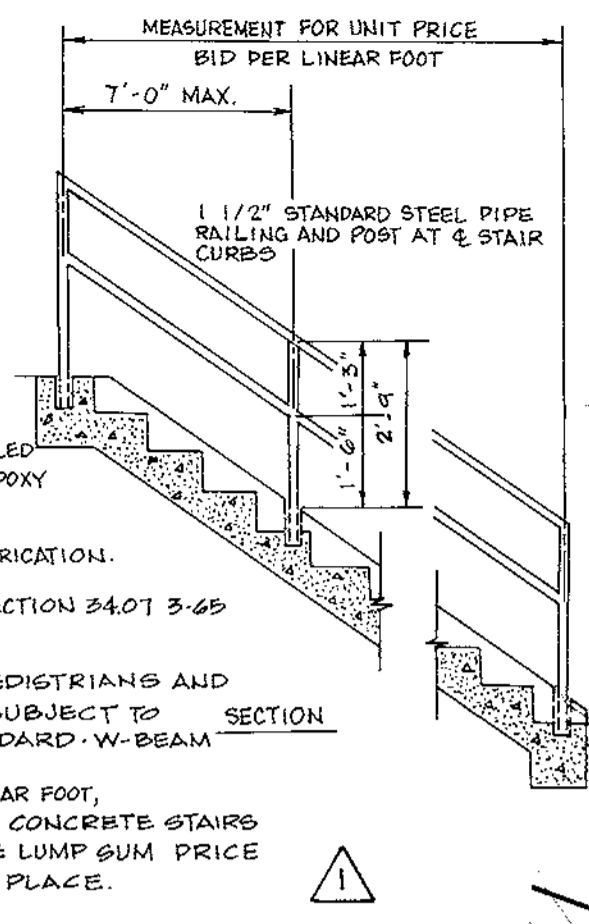
ELECTION DISTRICT: 1st HOWARD COUNTY, MARYLAND SHT. 8 OF 8 SCALE: As Shown DATE: MARCH 08, 1999

**OWNER / DEVELOPER / CONTRACTOR**

**THE MORRIS L. WEISS BUILDING LLC**  
10545 GUILFORD ROAD, UNIT #107  
JESSUP, MD. 20794-9109  
301-490-9525

**DESIGNED BY: S.T.U.**  
DRAWN BY: P.T. S.T.U.  
CHECKED BY: D.L.M.  
REVISIONS:  
1. Deleted By G.W.S. REVISED TREE PLANTING AND REVISED SCHEDULES AND ADDED SIDEWALKS AND NEW DUMPSTER LOCATION.

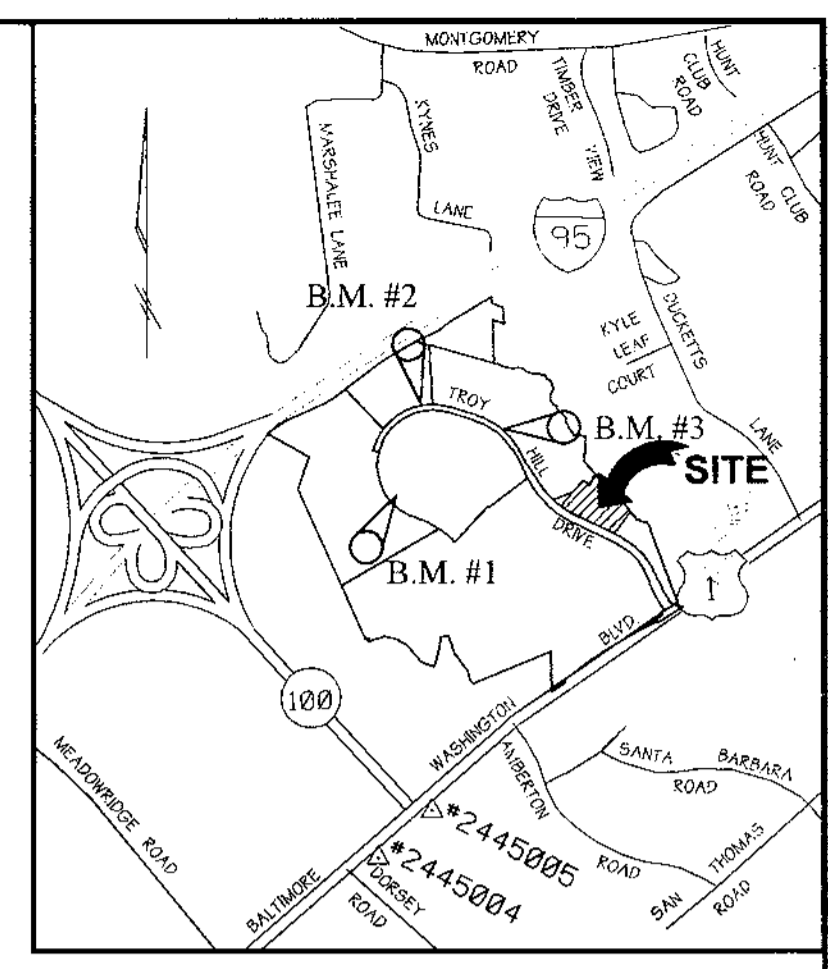
- NOTES:
- UNLESS OTHERWISE NOTED, PAINTED RAILING SHALL BE FURNISHED.
  - RAILING AND POSTS TO BE PAINTED SHALL CONFORM TO A.S.T.M. DESIGNATION A-120 STANDARD WEIGHT.
  - RAILING AND POSTS TO BE GALVANIZED SHALL CONFORM TO A.S.T.M. DESIGNATION A-441 98E SPECIFICATIONS.
  - UNLESS OTHERWISE NOTED, RAILINGS SHALL BE FURNISHED FOR BOTH SIDES OF STAIRS AND ON ALL STAIRS HAVING 4 RISERS AND OVER.
  - RAILING SHALL BE ALL WELDED WITH ITS JOINTS GROUND SMOOTH AND FREE OF BURRS.
  - RAILING POSTS SHALL BE SET IN METAL SLEEVES, 6" DEEP AND FILLED WITH HOT POURED LEAD OR HOT POURED SULFUR OR AN EQUIVALENT EPOXY COMPOUND.
  - GALVANIZED RAILINGS SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION.
  - PAINTED RAILINGS SHALL BE PAINTED IN ACCORDANCE WITH SECTION 24.01 3-65 OF THE SPECIFICATIONS.
  - THIS HANDRAIL IS TO BE USED ONLY AS PROTECTION FOR PEDESTRIANS AND NOT BE PLACED IN ANY LOCATION WHERE IT MIGHT BE SUBJECT TO VEHICULAR IMPACT. FOR VEHICULAR PROTECTION STANDARD W-BEAM GUARD RAIL SHOULD BE USED.
  - THE RAILING SHALL BE PAID FOR AT THE UNIT PRICE BID PER LINEAR FOOT, MEASURED HORIZONTALLY FOR "STANDARD PIPE RAILING FOR CONCRETE STAIRS COMPLETE IN PLACE"; OR ITS COST SHALL BE INCLUDED IN THE LUMP SUM PRICE BID FOR "STANDARD CONCRETE STAIR COMPLETE IN PLACE".



HOWARD COUNTY, MARYLAND  
DEPARTMENT OF PUBLIC WORKS  
Approved: *[Signature]* 1-12-81  
Chief-Dir. of Engr. Date

REV. JAIL 1982  
DRAWN BY: W.F. BILLARD  
CHECKED BY: J.L.R.  
NO SCALE  
GT.02

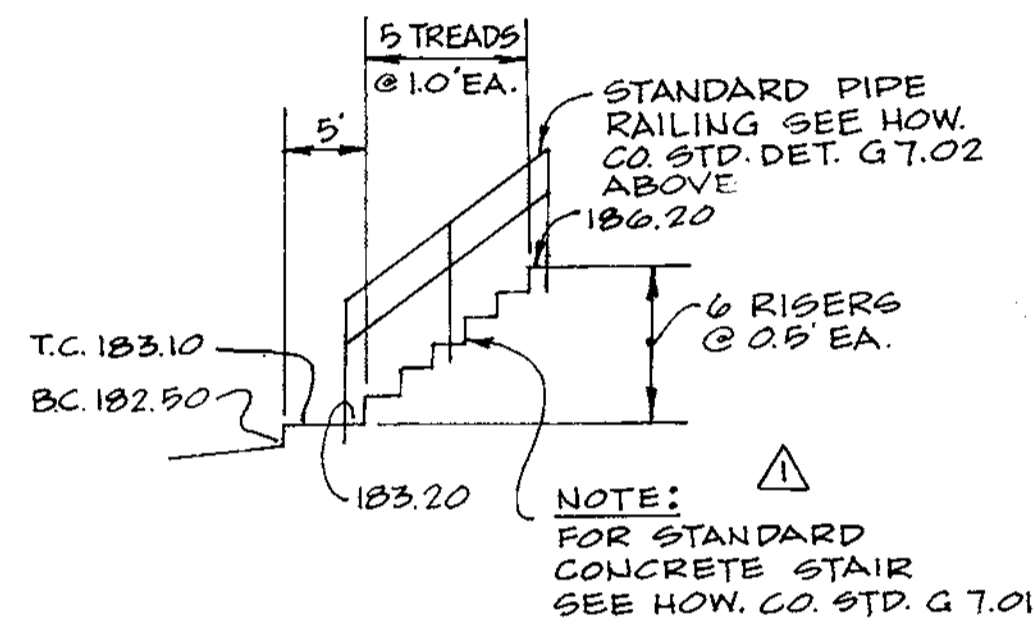
STANDARD PIPE RAILING FOR  
CONCRETE STAIRS



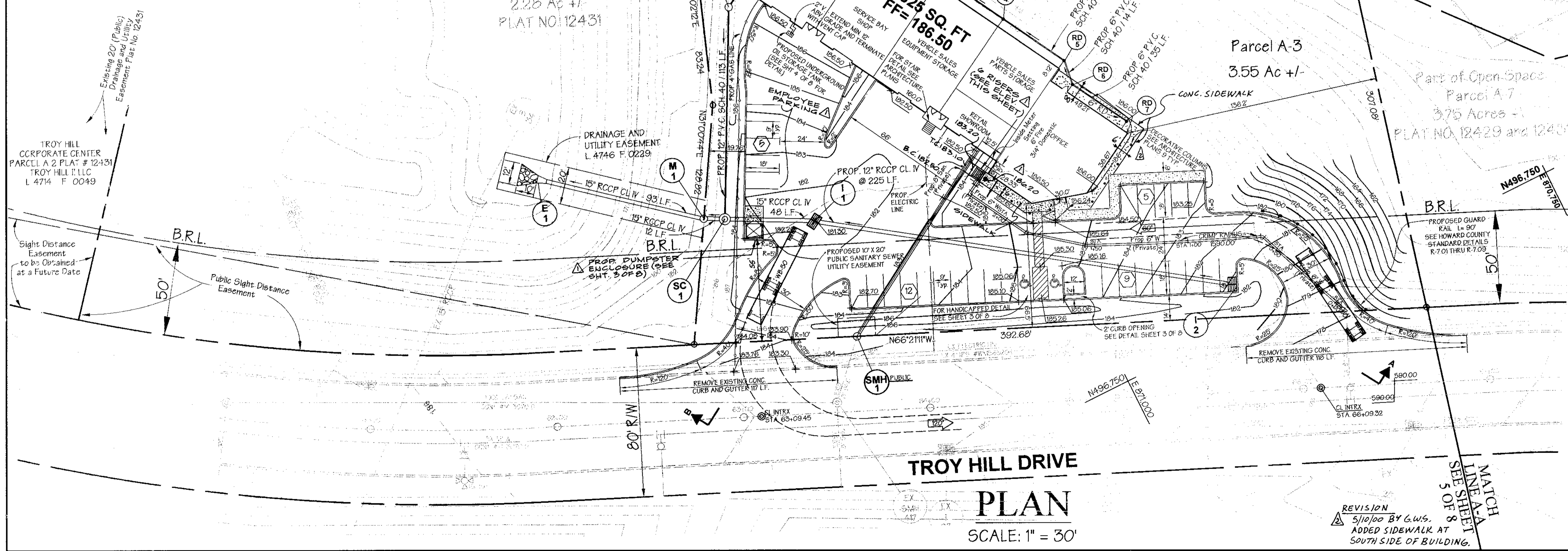
Vicinity Map  
SCALE: 1" = 2000'

Legend

- Ex. 2' Contours --- 394 ---
- Ex. 10' Contours --- 395 ---
- Prop. 2' Contours --- 394 ---
- Prop. 10' Contours --- 395 ---
- Ex. Curb & Gutter ---
- Prop. Curb & Gutter ---
- Bldg. Restriction Line ---
- Ex. Sanitary ---
- Ex. Storm Drain ---
- Ex. Water ---
- Prop. Sanitary ---
- Prop. Storm Drain ---
- Prop. Water ---
- Prop. Sidewalk ---
- Wetland --- W ---
- 100 YR Floodplain --- FP ---
- Wetland Buffer --- WB ---



STAIR ELEVATION  
NOT TO SCALE



TROY HILL DRIVE  
PLAN  
SCALE: 1" = 30'

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]*  
APPROVED: HOWARD SOIL CONSERVATION DISTRICT  
DATE: 9/16/99

PLAN NUMBER: \_\_\_\_\_ DATE: 9/16/99

Revised for Howard SCD and meets Technical Requirements

*[Signature]*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 9/16/99

APPROVED: Howard County Department of Planning and Zoning

*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/20/99

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/22/99

*[Signature]*  
DIRECTOR  
DATE: 9/24/99

ADDRESS CHART					
PARCEL NO. A-3	STREET ADDRESS 7011 TROY HILL DRIVE				
SUBDIVISION NAME TROY HILL CORPORATE CENTER	SECTION NAME N/A				
PARCEL # A-3					
PLAT # 12431	BLOCK # 18	ZONE M-1	/ZONE MAP 37	ELECT. DIST. 18c	CENSUS TRACT 601102
WATER CODE C04		SEWER CODE 4020000			

PREPARED BY:

**GWS** GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120

OWNER / DEVELOPER / CONTRACTOR

THE MORRIS L. WEISS BUILDING LLC  
10545 GUILFORD ROAD, UNIT #107  
JEFFERS, MD. 20794-9109  
301-490-9525

DESIGNED BY: J.P.I.C.  
DRAWN BY: P.T.I.K.E.  
CHECKED BY: J.P.I.K.E.

REVISIONS  
3/14/00 BY G.W.S. REV. DUMPSTER LOCATION, PARKING, GUYOT ADDED STAIRS & SIDEWALK IN FRONT OF BLDG. AND ADDED STAIR ELEV. & RAIL DETAIL

SITE PLAN FOR TROY HILL CORPORATE CENTER PARCEL A-3

ELECTION DISTRICT: 1st HOWARD CO., MARYLAND SHT. 2 OF 8 SCALE: As Shown DATE: MARCH 08, 1999

SDP 99-127