

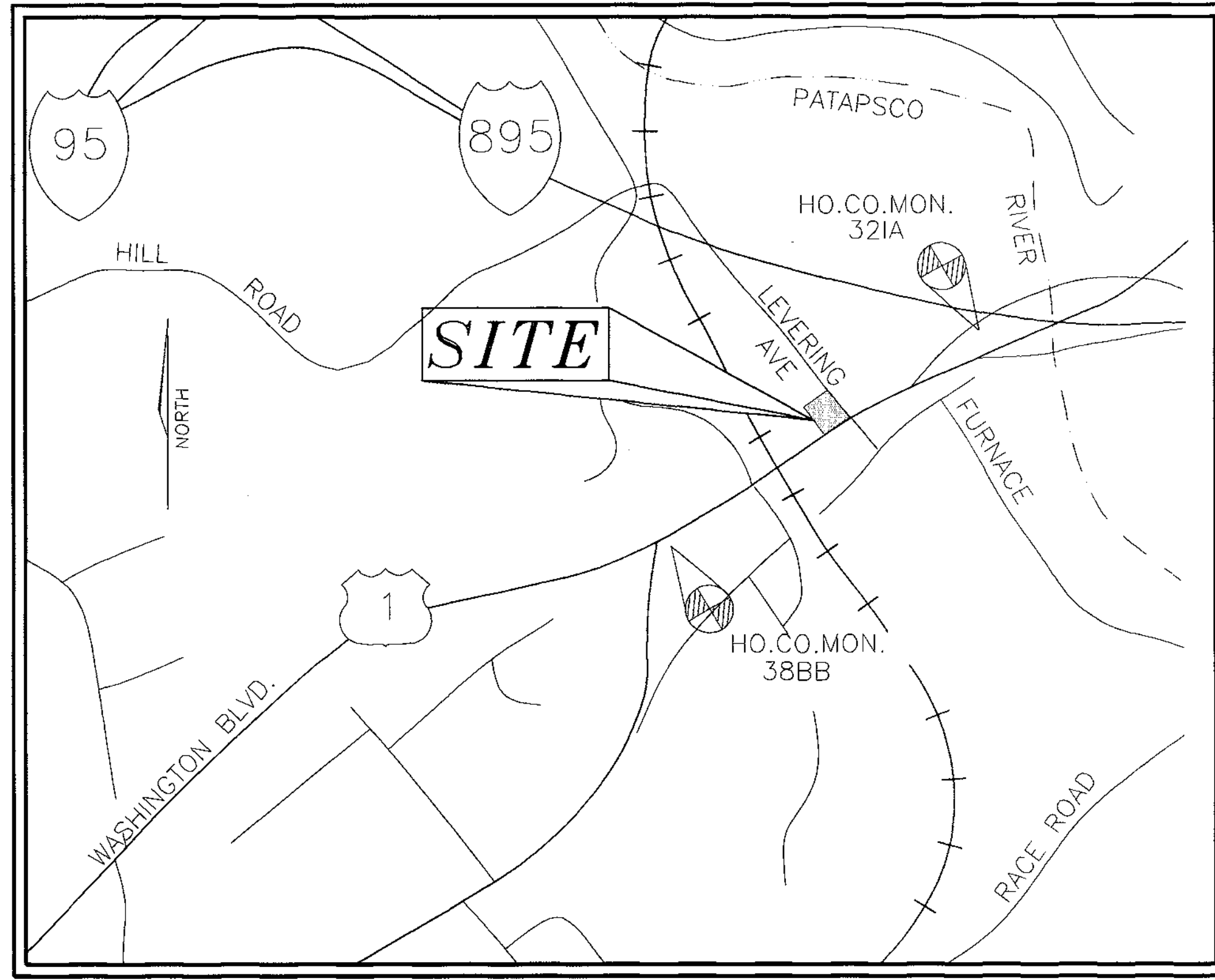
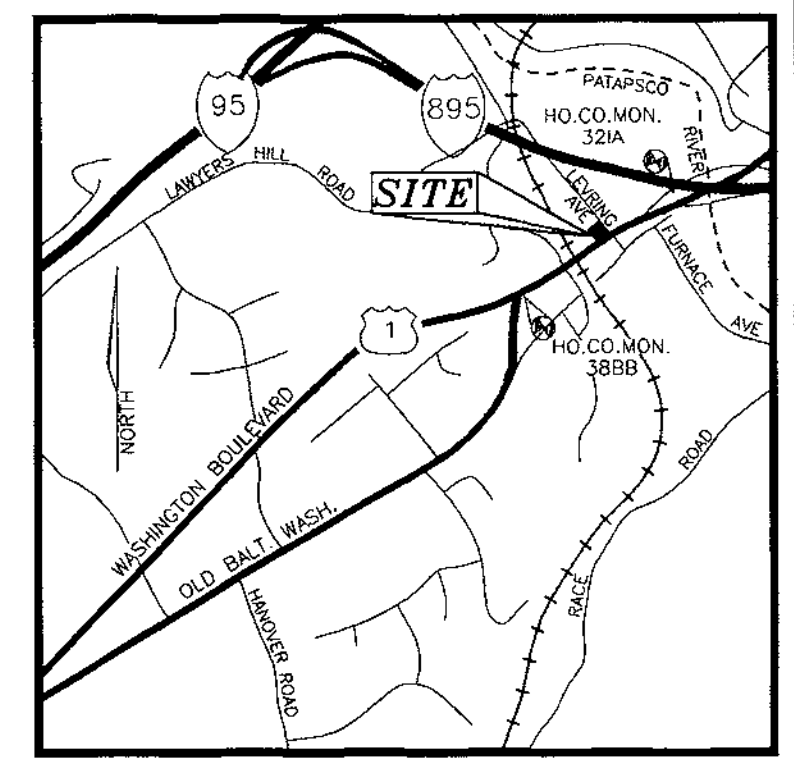
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY MSHA UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - PHIS UTILITY 1-800-257-7777 B.G. & C. CONTRACTOR SERVICES 860-4600
 - C. & P. TELEPHONE COMPANY 725-9976 B.G. & C. UNDERGROUND DAMAGE CONTROL 787-4620
 - HOWARD COUNTY BUREAU OF UTILITIES 313-2346 STATE HIGHWAY ADMINISTRATION 531-5533
 - AT&T CABLE LOCATION DIVISION 313-3553
- SITE ANALYSIS:
 - AREA OF PARCEL 409-0.22AC, AREA OF LEASE (PO PARCEL 570) 0.29AC, TOTAL SITE AREA- 0.52AC.
 - PRESENT ZONING: M-1
 - USE OF STRUCTURE: GAS STATION WITH ANCILLARY CONVENIENCE STORE
 - BUILDING AREA: 1234 SQ. FT.
 - MAXIMUM NUMBER OF EMPLOYEES: 10
 - BUILDING COVERAGE ON SITE: 0.028 AC OR 5,475 OF GROSS AREA
 - PAVED PARKING LOT/AREA ON SITE: 0.24 AC OR 51,568 OF GROSS AREA
 - AREA OF LANDSCAPE ISLAND: 0.05AC OR 92 SQ. FT.
 - RECORDING REFERENCE: L.1245 F.462, L.1577 F.201, L. 4457 F. 0080, L. 4457 F. 0083
- PROJECT BACKGROUND:
 - LOCATION: ELKBRIDGE, MARYLAND TAX MAP: 38 BLOCK: 4 PARCELS: 409 & 570
 - ZONING: M-1
 - SECTION/AREA: N/A
 - SITE AREA: 0.52 AC
 - DPZ REFERENCES: BA-95-025, BA-95-272 4 V, BA-97-392 4 V, MP-96-180
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C'.
- COORDINATES AND ELEVATIONS ARE BASED ON THE FOLLOWING HOWARD COUNTY MONUMENTS:

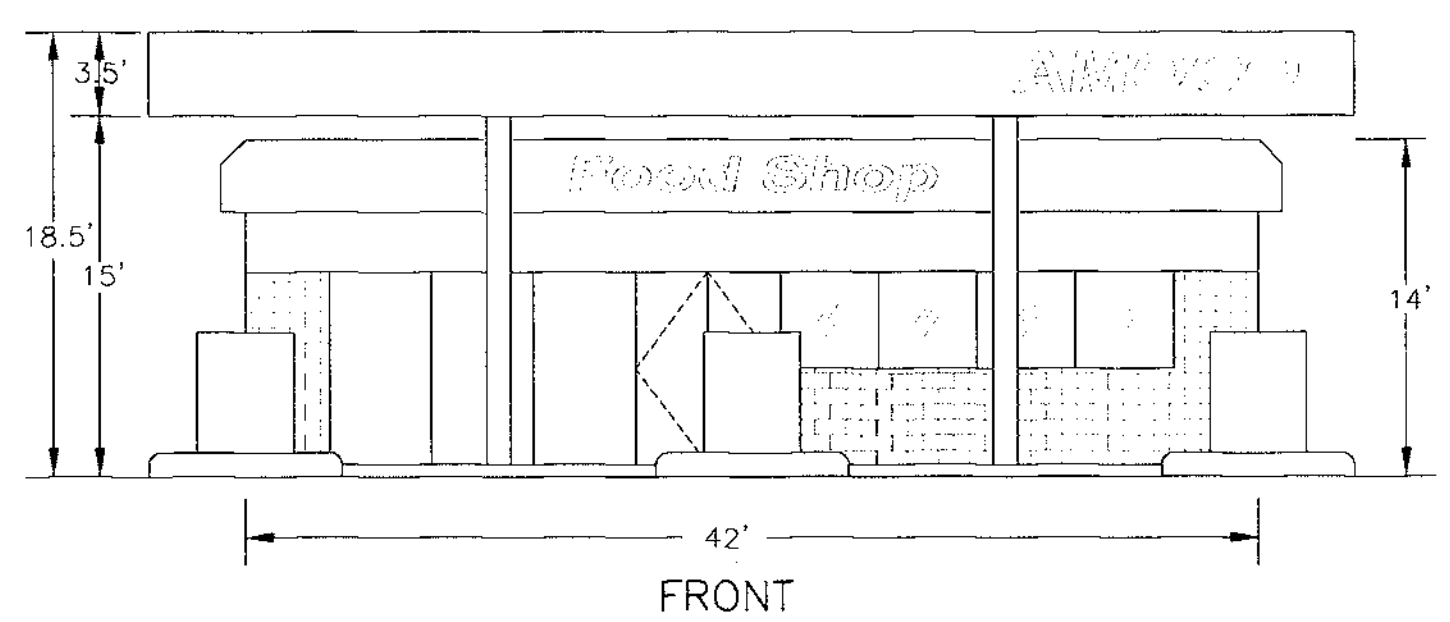
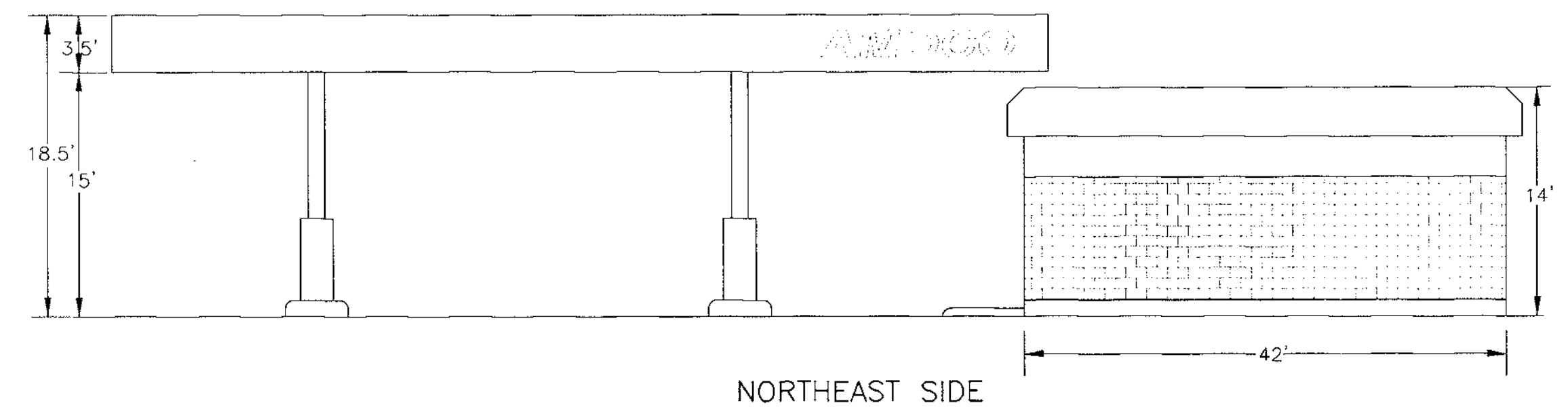
321A	N 565,065.496	E 1,399,212.101	EL. 27.91
382B	N 564,007.677	E 1,393,649.849	EL. 64.57
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- EXISTING TOPOGRAPHY IS FROM A TOPOGRAPHIC SURVEY PERFORMED BY VOGEL & ASSOCIATES, INC. DATED NOVEMBER, 1998.
- ALL PAVING TO BE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER (SEE DETAILS ON SHEET 3).
- PROPOSED PAVING SECTIONS TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- PROJECT GEOTECHNICAL ENGINEER TO MONITOR WALL CONSTRUCTION, BACKFILL AND COMPACTION.
- PROJECT GEOTECHNICAL ENGINEER TO APPROVE PAVING SUB-BASE PRIOR TO INSTALLATION OF PAVING SECTION.
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE (DETAILS ON SHEET 3 OF 7) UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- WATER WILL BE PUBLIC AND WILL BE CONNECTED TO EXISTING WATER CONTRACT NO. 14055C.
- SEWER WILL BE PUBLIC AND WILL BE CONNECTED TO EXISTING SEWER CONTRACT NO. 9255.
- STORMWATER MANAGEMENT IS NOT REQUIRED DUE TO THE DECREASE OF IMPERVIOUS AREA.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS SECTION 134.
- A NEW DETECTOR LOOP WIRE WILL BE PROVIDED FOR THE FREE RIGHT TURN LANE ON LEVERING AVENUE. (SEE PLAN BY OTHERS)
- THE CONSTRUCTION OF ALL RETAINING WALLS SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.
- THE PETITION OF EASTERN PETROLEUM CORPORATION, PETITIONER FOR A SPECIAL EXCEPTION FOR AN EXPANSION OF A GASOLINE SERVICE STATION AND FOR VARIANCES IN AN M-1 (MANUFACTURING - LIGHT) ZONING DISTRICT (BA-95-272EV) WAS GRANTED BY THE HOWARD COUNTY BOARD OF APPEALS BY DECISION IN ORDER ON AUGUST 31, 1995, SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.
 - THE HOURS OF OPERATION ARE TO BE TWENTY-FOUR (24) HOURS A DAY, SEVEN (7) DAYS A WEEK.
 - THE SPECIAL EXCEPTION AND VARIANCES SHALL APPLY SOLELY TO THE GASOLINE SERVICE STATION AND CONVENIENCE STORE AS DESCRIBED IN THE PETITION, THE DECISION IN ORDER AND IN THE PLAT SUBMITTED WITH THE PETITION, AND NOT TO ANY OTHER STRUCTURES, BUILDINGS OR USES.
 - A TYPE C (HEAVY BUFFER) LANDSCAPED EDGE COMPRISING AT LEAST TWENTY (20) PERCENT OF THE SUBJECT PROPERTY SHALL BE PROVIDED ALONG THE BOUNDARY ADJACENT TO THE RESIDENTIAL ADJACENT TO THE SUBJECT PROPERTY, IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL.
 - STORAGE OF ALL AUTOMOBILE SUPPLIES SHALL BE WITHIN THE MAIN STRUCTURE.
 - ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD SO AS NOT TO SHINE OR REFLECT ONTO ADJACENT PROPERTIES.
- THE PETITION OF EASTERN PETROLEUM CORPORATION, PETITIONER FOR A SPECIAL EXCEPTION FOR AN EXPANSION OF A GASOLINE SERVICE STATION AND FOR VARIANCES IN AN M-1 (MANUFACTURING - LIGHT) ZONING DISTRICT (BA-97-392EV) WAS GRANTED BY THE HOWARD COUNTY BOARD OF APPEALS BY DECISION IN ORDER ON NOVEMBER 25, 1997, SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE SPECIAL EXCEPTION AND VARIANCES SHALL APPLY ONLY TO THE GASOLINE SERVICE STATION AND CONVENIENCE STORE AS DESCRIBED IN THE PETITION AND PLAN SUBMITTED TO THE BOARD AND THE TESTIMONY PRESENTED BY THE PETITIONER, AND NOT TO ANY OTHER ACTIVITIES, USES, OR STRUCTURES ON THE SUBJECT PROPERTY.
 - THE PETITIONER SHALL PROMPTLY LEFT TURNS OUT OF THE SITE ONTO U.S. ROUTE 1.
 - THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.
- THE BOARD'S FINDINGS IN BA CASE NO. 95-272EV REMAIN VALID UNDER THE CURRENT BOARD OF APPEALS CASE NO. 97-392EV, EXCEPT AS SUPERSEDED BY BA CASE NO. 97-392EV. (SEE THE DECISION IN ORDER DOCUMENT FOR BA CASE NO. 97-392EV, CONCLUSIONS OF LAW, ITEMS A.3. AND A.4. UNDER SECTION 131.B, AND ITEMS B.4.(H), B.5. AND B.6. UNDER SECTION 131.N.25.)
- THIS PLAN IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS UNDER HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.1022(b)(1); EXEMPTIONS NOT REQUIRING A DECLARATION OF INTENT. THE FOLLOWING DEVELOPMENT IS EXEMPT FROM THE REQUIREMENTS OF THIS SUBTITLE: A SUBDIVISION, SITE DEVELOPMENT OR GRADING PERMIT FOR DEVELOPMENT ON LAND WHICH IS LESS THAN 40,000 SQUARE FEET.
- THE FOLLOWING ARE THE APPROVED SETBACK VARIANCES:

SETBACKS	PERMITTED	REQUESTED	VARIANCE
FROM LEVERING AVE.			
(1) for canopy	50	26	24
(2) for pump islands	50	28	22
(3) for stacking spaces	50	0	50
(4) for parking	30	0	30
(5) for building - side	50	28	22*
(6) for retaining walls - side	50	16	34*
(7) for fencing - side	30	16	14*
FROM U.S. ROUTE 1:			
(1) for diesel pump island	50	39	11
(2) for stacking space	50	7	43
(3) for canopy - front	50	30	20
(4) for pump island - front	50	40	10
(5) for retaining walls - front	50	28	22
(6) for parking use - front	30	10	20
		(0' from future R/W)	(30' from future R/W)*
		(18' from future R/W)	(32' from future R/W)*
		(0' from future R/W)	(30' from future R/W)*
FROM RESIDENTIAL DISTRICT:			
(1) for canopy	100	44	57
(2) for pump islands	100	46	54
(3) for VMS dispenser	100	42	58
(4) for stacking spaces	100	07	13
(5) for building - rear	100	39	61*
(6) for retaining walls - rear	100	14	86*
(7) for parking - rear	100	52	48*

ELKRIDGE AMOCO SITE DEVELOPMENT PLAN HOWARD COUNTY, MARYLAND



LOCATION MAP
SCALE: 1" = 600'



BUILDING ELEVATIONS
NOT TO SCALE

PARKING TABULATION

REQUIRED

ANCILLARY CONVENIENCE STORE- 1,239 SQ. FT.
2 SPACES PER 1,000 SQ. FT. = 3 SPACES
SERVICE STATION: 3 SPACES
TOTAL = 6 SPACES

PROVIDED
6 SPACES (INCLUDING 1 HANDICAP)

SHEET INDEX

SHEET #1COVER SHEET
SHEET #2EXISTING CONDITION & SITE LAYOUT PLANS
SHEET #3SITE GRADING PLAN, MISCELLANEOUS SITE DETAILS AND SECTIONS
SHEET #4LAND USE MAPS
SHEET #5STORM DRAIN PROFILES, SEDIMENT CONTROL PLAN, NOTES & DETAILS
SHEET #6LANDSCAPE PLAN, NOTES & DETAILS AND TRAFFIC CONTROL PLAN
SHEET #7RETAINING WALL, NOTES & DETAILS

VOGEL & ASSOCIATES
ENGINEERS/SURVEYORS/PLANNERS
3691 Park Avenue, Suite 101 • Elkridge City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/2/00
DIRECTOR DATE

[Signature] 2/7/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 2/2/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

OWNER/DEVELOPER

J. KENT MENEW
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401

DATE	NO.	REVISION	BY

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
409 & P/O 570	5816 WASHINGTON BLVD.

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
N/A	N/A	409 & P/O 570

DEED/LEASE NO.: 1245/462, 1875/284, 4457/0080, 4457/0083

BLOCK NO.	ZONE	TAX/ZONE ELECT. DIST.	CENSUS TR.
4	M-1	38	1ST 6012

WATER CODE A05 SEWER CODE 20221000

COVER SHEET FOR
ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN

TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

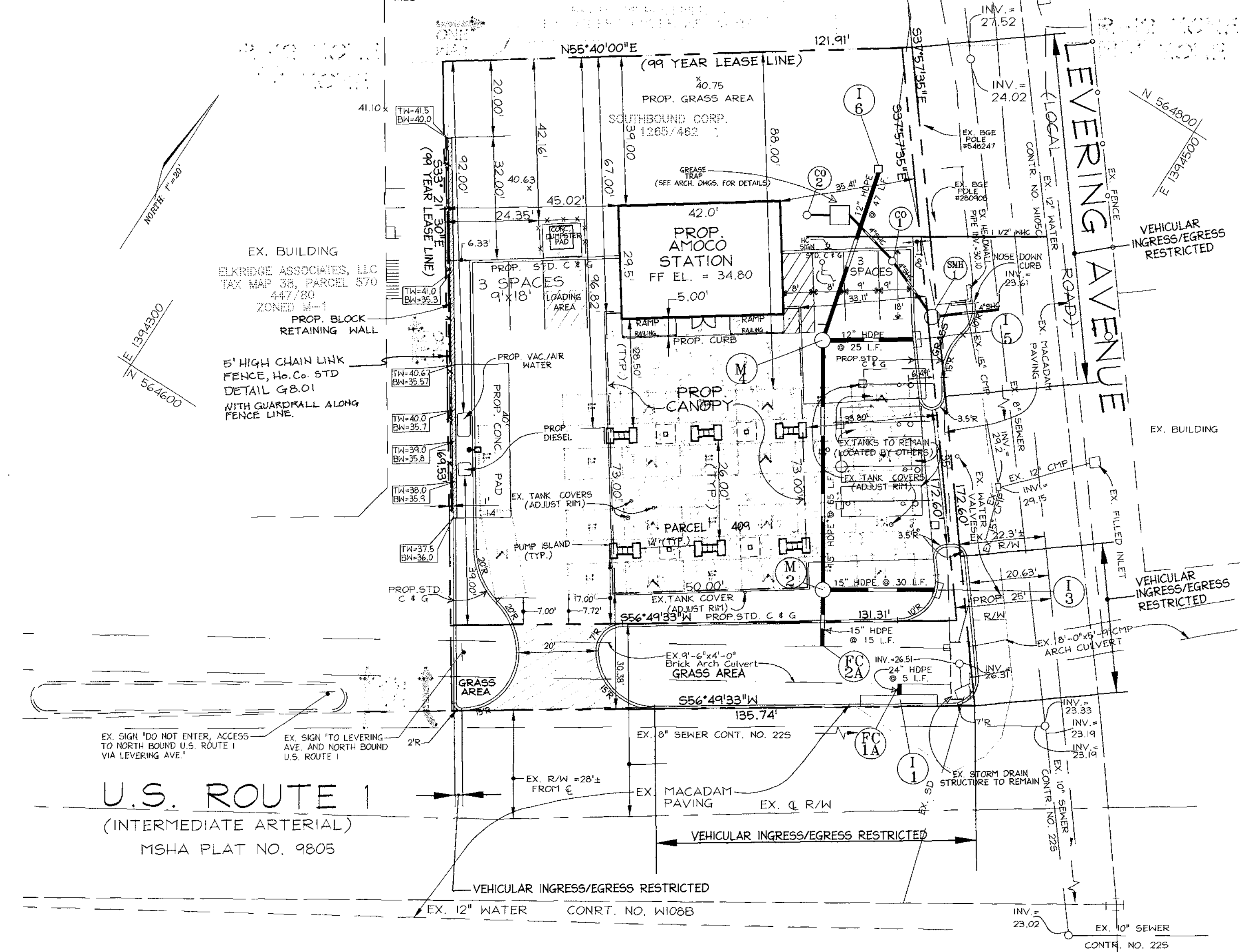
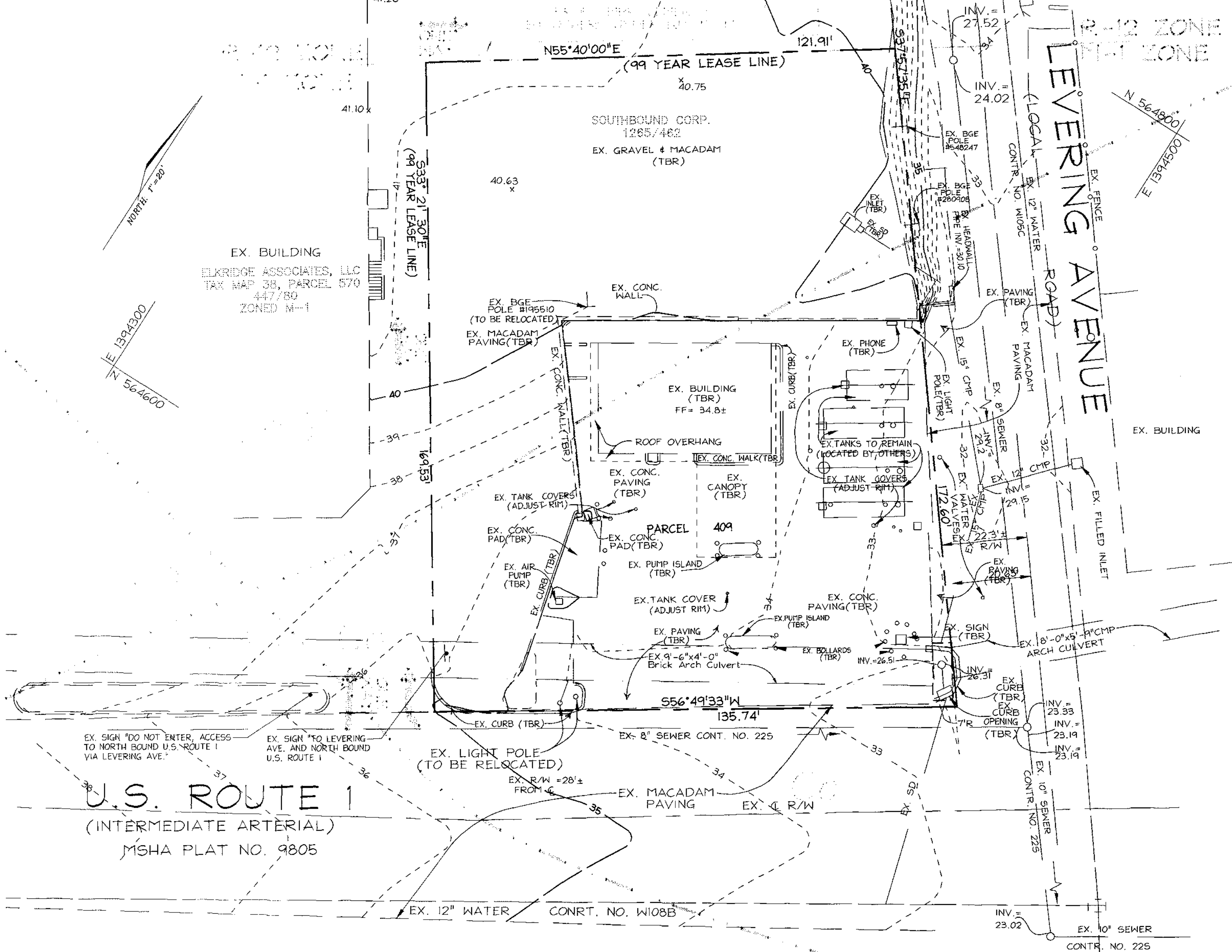
DESIGN BY: G.A.H.
DRAWN BY: J.E.R./G.A.H.
CHECKED BY: R.H.V.
DATE: JAN. 2000
SCALE: AS SHOWN
W.O. NO.: 98-092

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
ROBERT H. VOGEL, PE #16165

1 SHEET OF 7

LEGEND

EXISTING GROUND	54
PROPOSED GRADE	42
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
EXISTING ROW	
EASEMENT	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
PROP. CONCRETE PAVING	
PROP. SHA PAVING	
EX. PAVING TO BE SAWCUT, REMOVED & REPLACED WITH STD. P-3 PAVING	
PROP. PERIMETER LIGHTING TO BE REMOVED	(TBR)
STACKING SPACES	

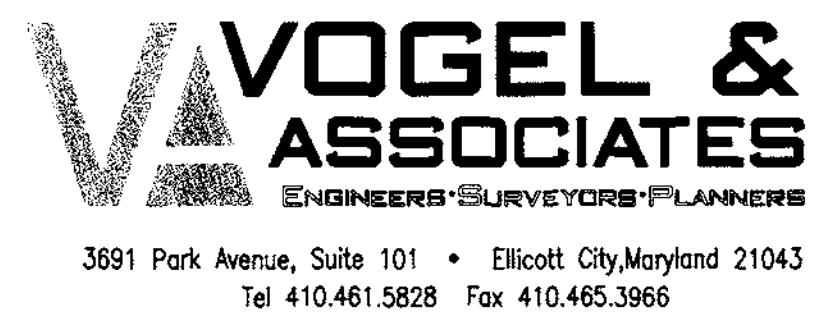


EXISTING CONDITIONS PLAN
SCALE: 1" = 20'

PROPOSED LAYOUT PLAN
SCALE: 1" = 20'

OWNER/DEVELOPER

J. KENT McNEW
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John S. Kuster 2/8/00
DIRECTOR DATE

Erica Remetta 2/7/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Chris Dammann 2/2/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DATE	NO.	REVISION	BY

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	TAX/ZONE	PARCEL NUMBER
N/A	N/A	409 & P/O 570	38	6012

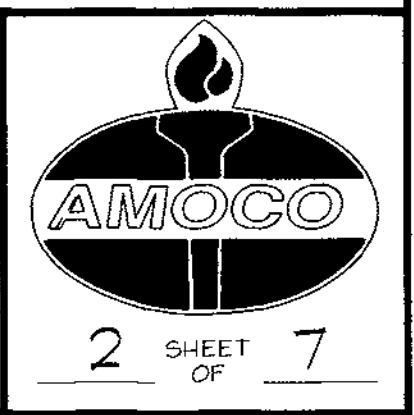
DEED/LEASE NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
1265/482	4	M-1	38	1ST	6012

WATER CODE	AOS	SEWER CODE	20221000
------------	-----	------------	----------

EXISTING CONDITION & PROPOSED LAYOUT PLANS FOR
ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



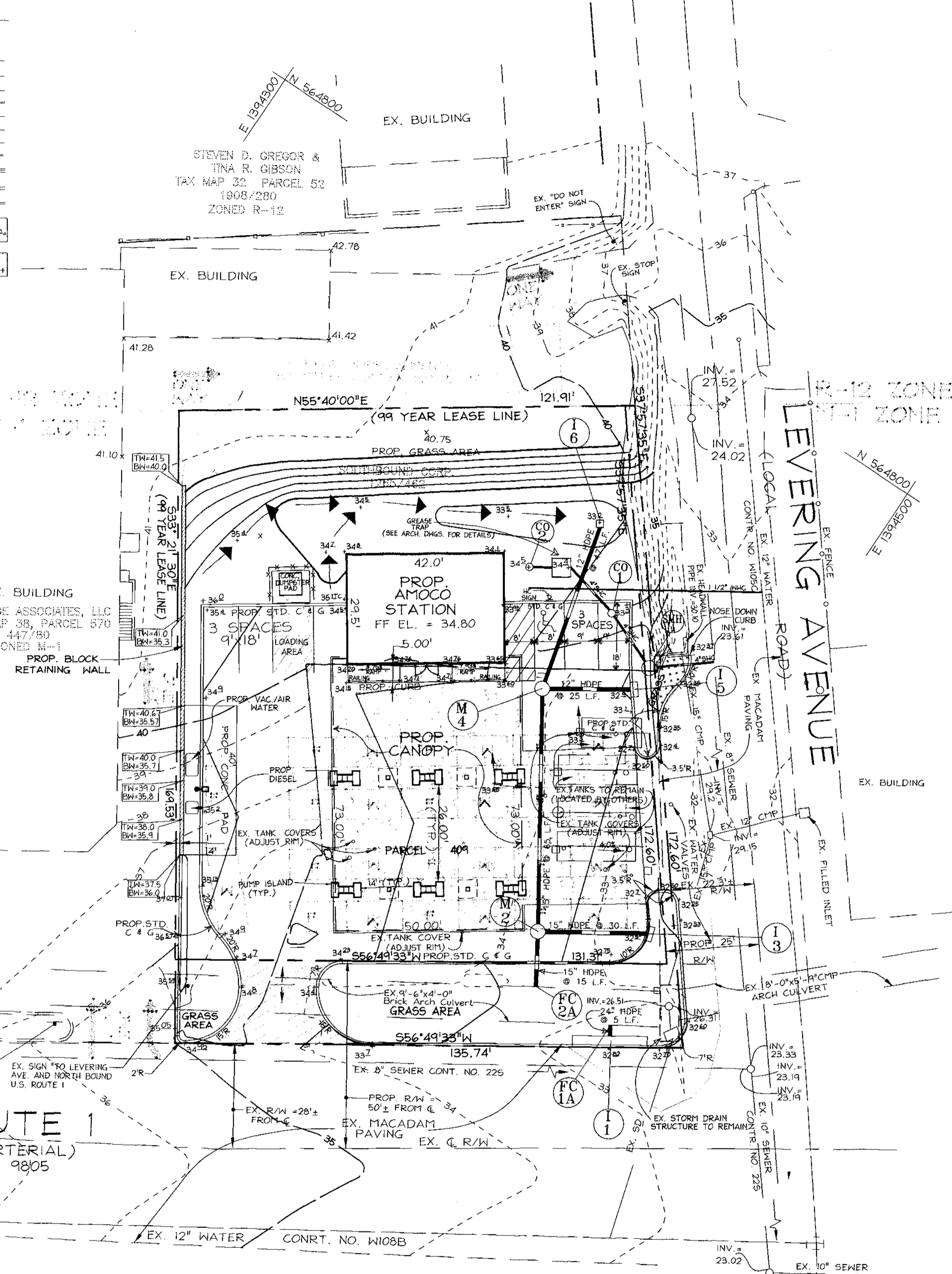
DESIGN BY: G.H.
DRAWN BY: J.E.R.V.G.H.
CHECKED BY: R.H.V.
DATE: JAN. 2000
SCALE: 1"=20'
W.O. NO.: 98-92



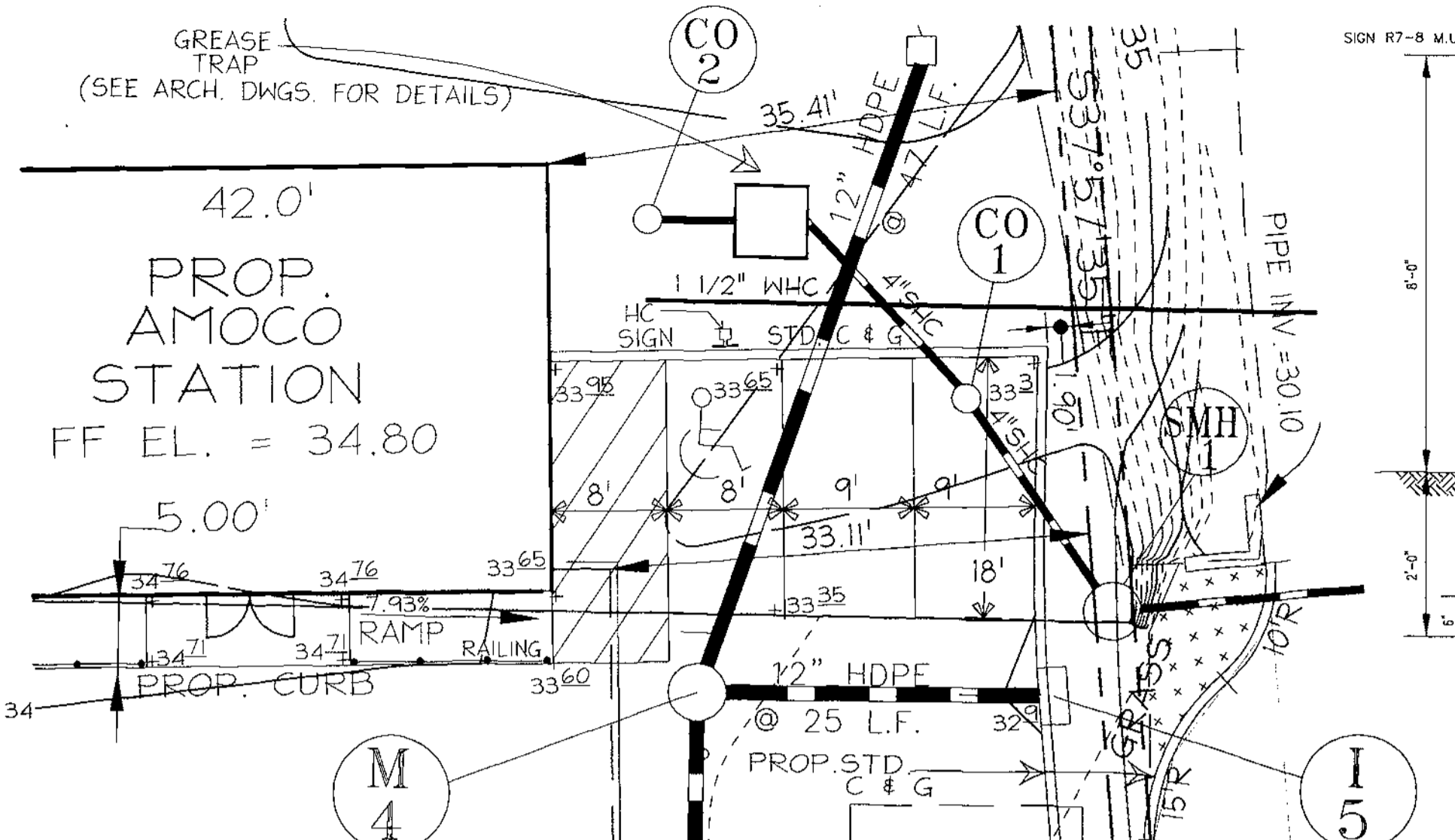
2 SHEET OF 7

LEGEND

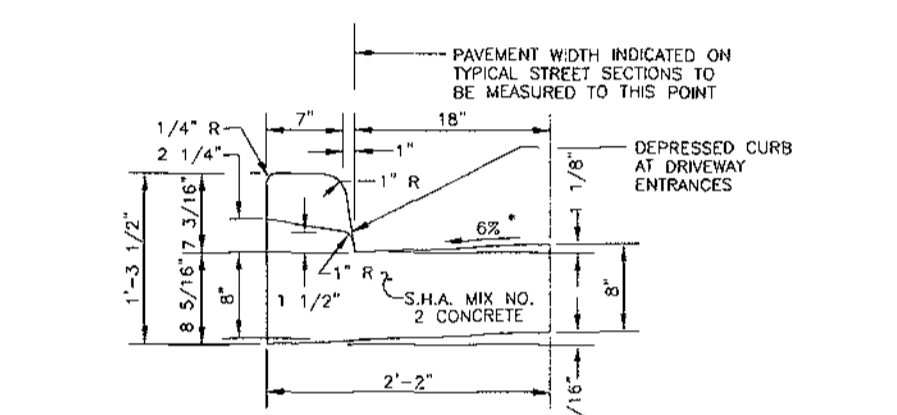
EXISTING GROUND	54
PROPOSED GRADE	42
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
EXISTING R/W	
EASEMENT	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
PROP. CONCRETE PAVING	
EX. PAVING TO BE REMOVED	
PROP. PERIMETER LIGHTING TO BE REMOVED	(TBR)
STACKING SPACES	



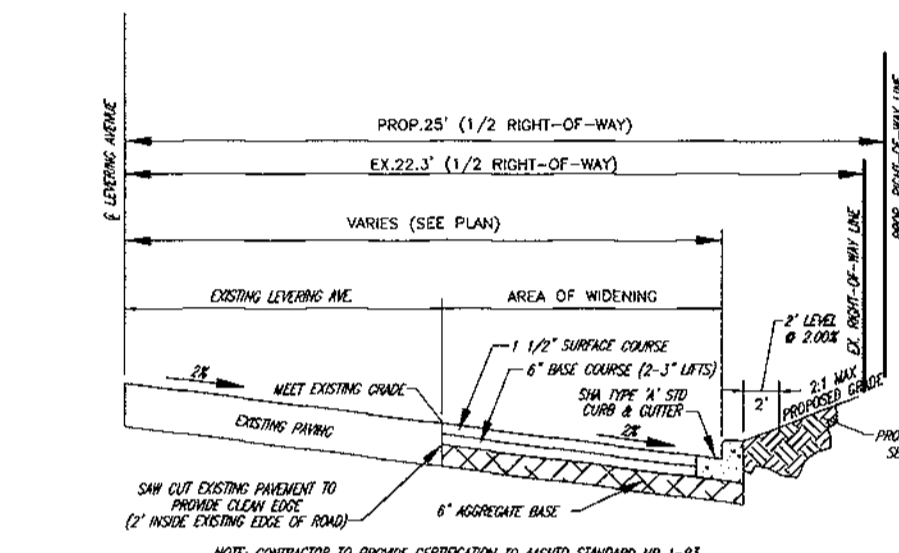
SITE GRADING PLAN
SCALE: 1" = 20'



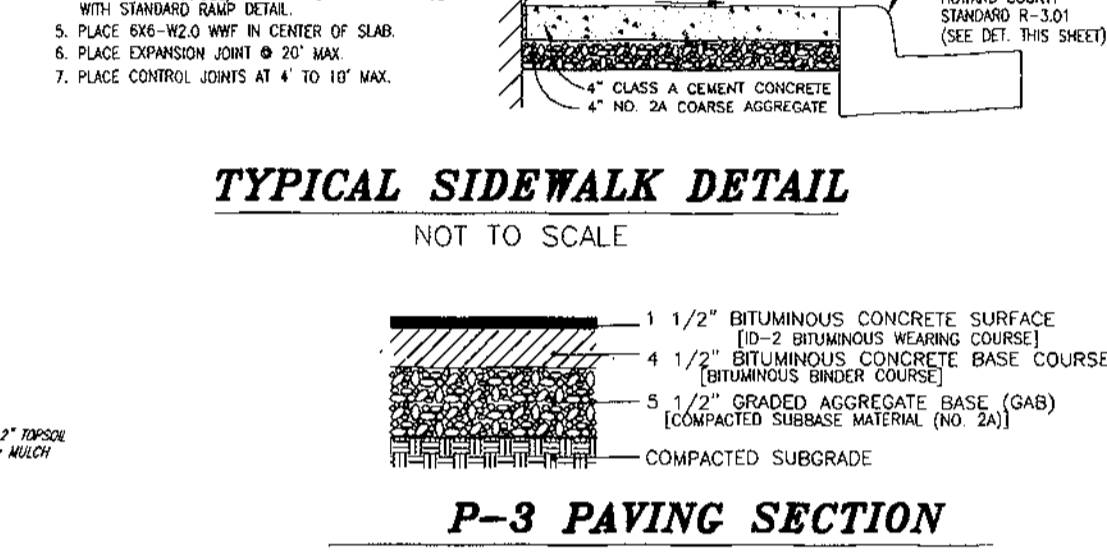
HANDICAP DETAIL
SCALE: 1" = 10'



STANDARD COMBINATION CURB & GUTTER
HOWARD COUNTY STANDARD R-3.01
NOT TO SCALE



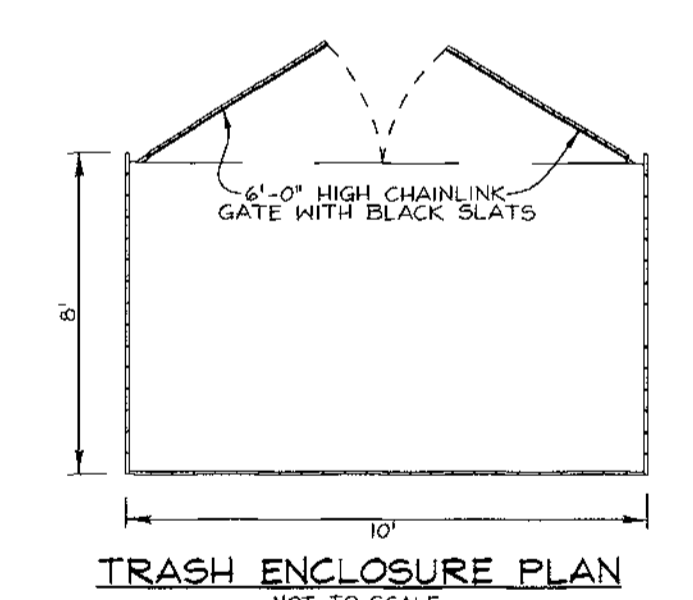
TYPICAL SECTION OF PROPOSED WIDENING LEVERING AVENUE
NOT TO SCALE



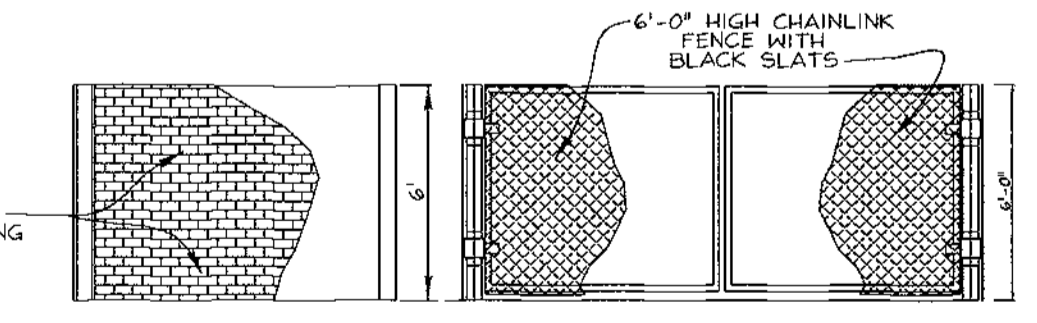
TYPICAL SIDEWALK DETAIL
NOT TO SCALE

P-3 PAVING SECTION
NOT TO SCALE

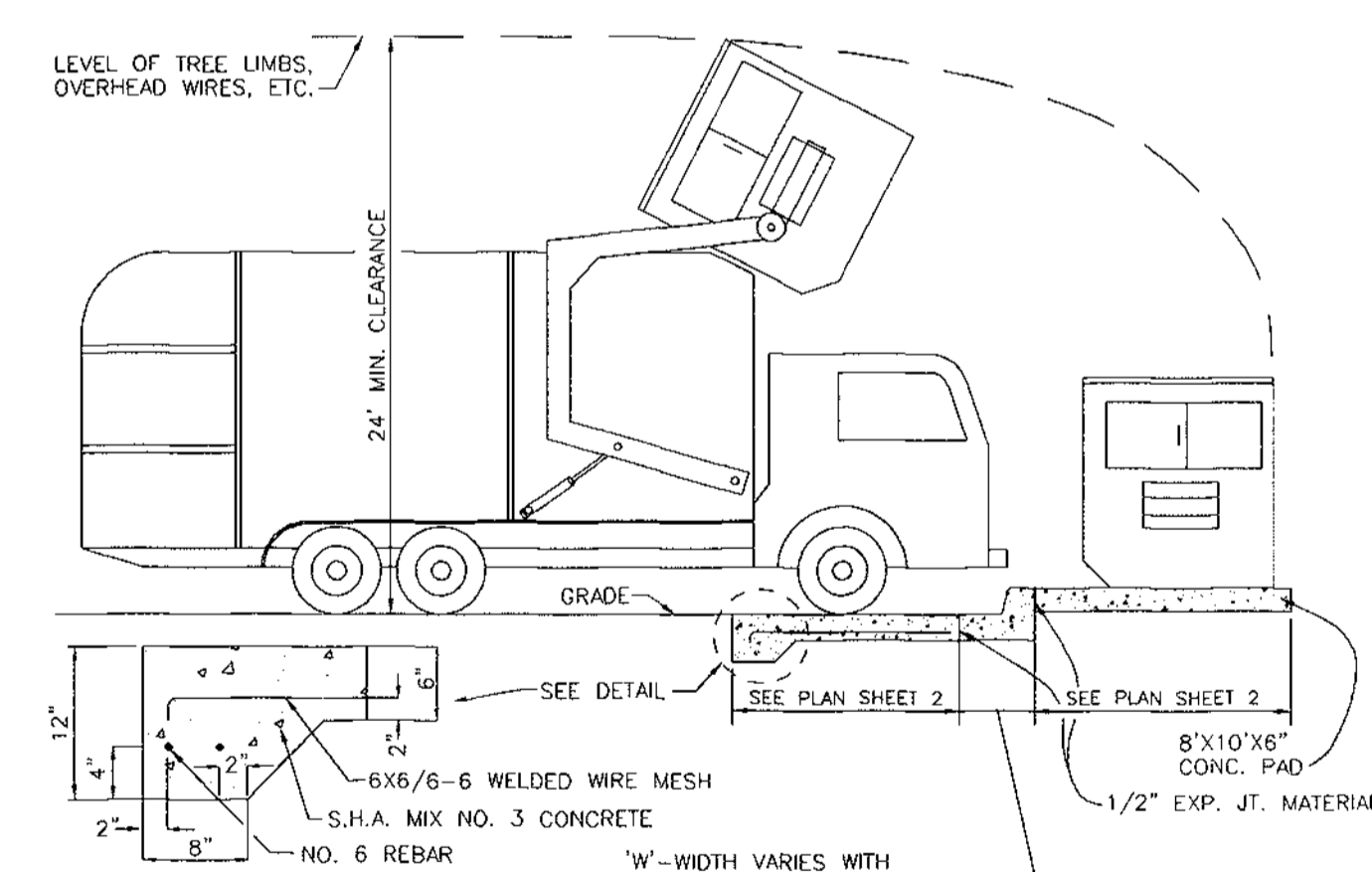
MD. TYPE 'A' CONCRETE COMBINATION CURB AND GUTTER
MD. NO. 620.02
NOT TO SCALE



TRASH ENCLOSURE PLAN
NOT TO SCALE



TRASH ENCLOSURE ELEVATION
NOT TO SCALE



SOLID WASTE SERVICE PAD
HOWARD COUNTY STD. R 11.01
NOT TO SCALE

OWNER/DEVELOPER

J. KENT McNEW
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401

VOGEL & ASSOCIATES
ENGINEERS SURVEYORS PLANNERS
3891 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

ENGINEERS CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DATE: 1/11/00
SIGNATURE OF ENGINEER: ROBERT H. VOGEL

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

DATE: 1/12/00
SIGNATURE OF DEVELOPER: [Signature]

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

USDA-NATURAL RESOURCE CONSERVATION SERVICE DATE: [Blank]

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: [Blank]

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 2/12/00
DIRECTOR: [Signature]

DATE: 2/7/00
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature]

DATE: 2/2/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature]

DATE	NO.	REVISION	BY

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
N/A	N/A	409 & P/O 570	
DEED/LEASE NO.	ZONE	TAX/ZONE	ELECT. DIST.
1265/482 1577/281 4457/0080 4457/0083	M-1	24	1ST
CENSUS TR.	WATER CODE	SEWER CODE	
6012	A05	20221000	

SITE GRADING PLAN, DETAILS & SECTIONS FOR ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN

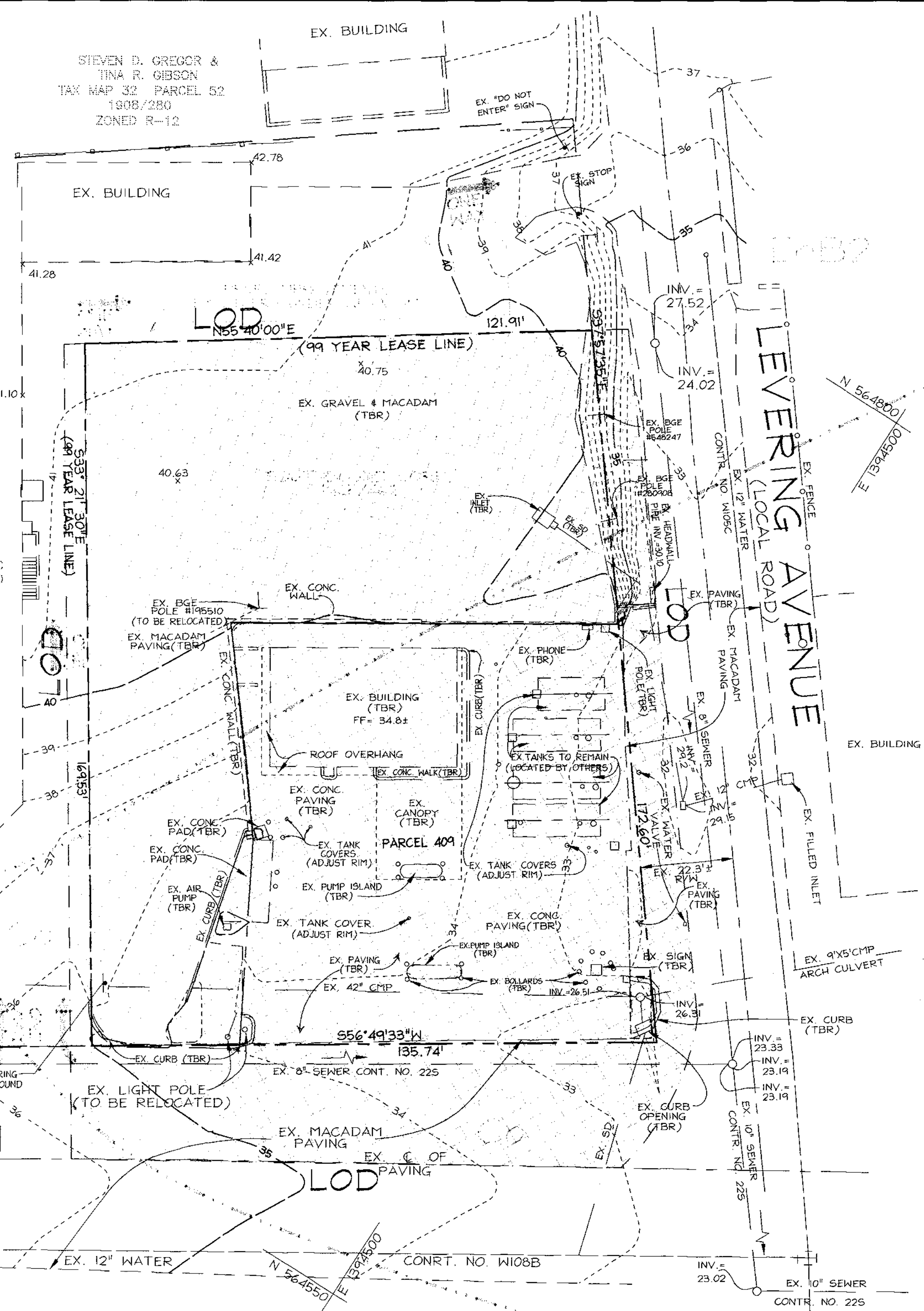
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: J.G.H.
DRAWN BY: J.E.R./G.A.H.
CHECKED BY: R.H.V.
DATE: JAN 2000
SCALE: 1"=20'
W.O. NO.: 98-092

3 SHEET OF 7

SOILS CHART		
SYMBOL	NAME/DESCRIPTION	TYPE
c6	COCORUS SILT LOAM	c
d62	ELSRBORO LOAMS, 3 TO 8 PERCENT SLOPES	B
u8	TUNIA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	c

HO. CO. SOIL SURVEY MAP NO. 28



EXISTING CONDITIONS LAND USE MAP

SCALE: 1" = 20'

A = 0.71 Ac. P.I. = 100 %
 C = 93 PROP. ZONE: M-1
 % 'B' SOIL = 38% % 'C' SOIL = 62%

LEGEND

EXISTING GROUND	54
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
EXISTING R/W	
EASEMENT	
EX. MACADAM & GRAVEL AREA	
EX. IMPERVIOUS AREA	
TO BE REMOVED	(TBR)

OWNER/DEVELOPER

J. KENT McNEW
 C/O EASTERN PETROLEUM CORP.
 33 HUDSON STREET
 ANNAPOLIS, MARYLAND 21401



3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5828 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John S. Smith 2/3/00
 DIRECTOR DATE
Cindy Hamilton 2/7/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Chris Pannunzio 2/2/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DATE	NO.	REVISION	BY

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
N/A	N/A	409 & P/O 570

FEED/LEASE NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
1265/462 1577/281 4457/2680 4457/2063	-	M-1	24	1ST	6012

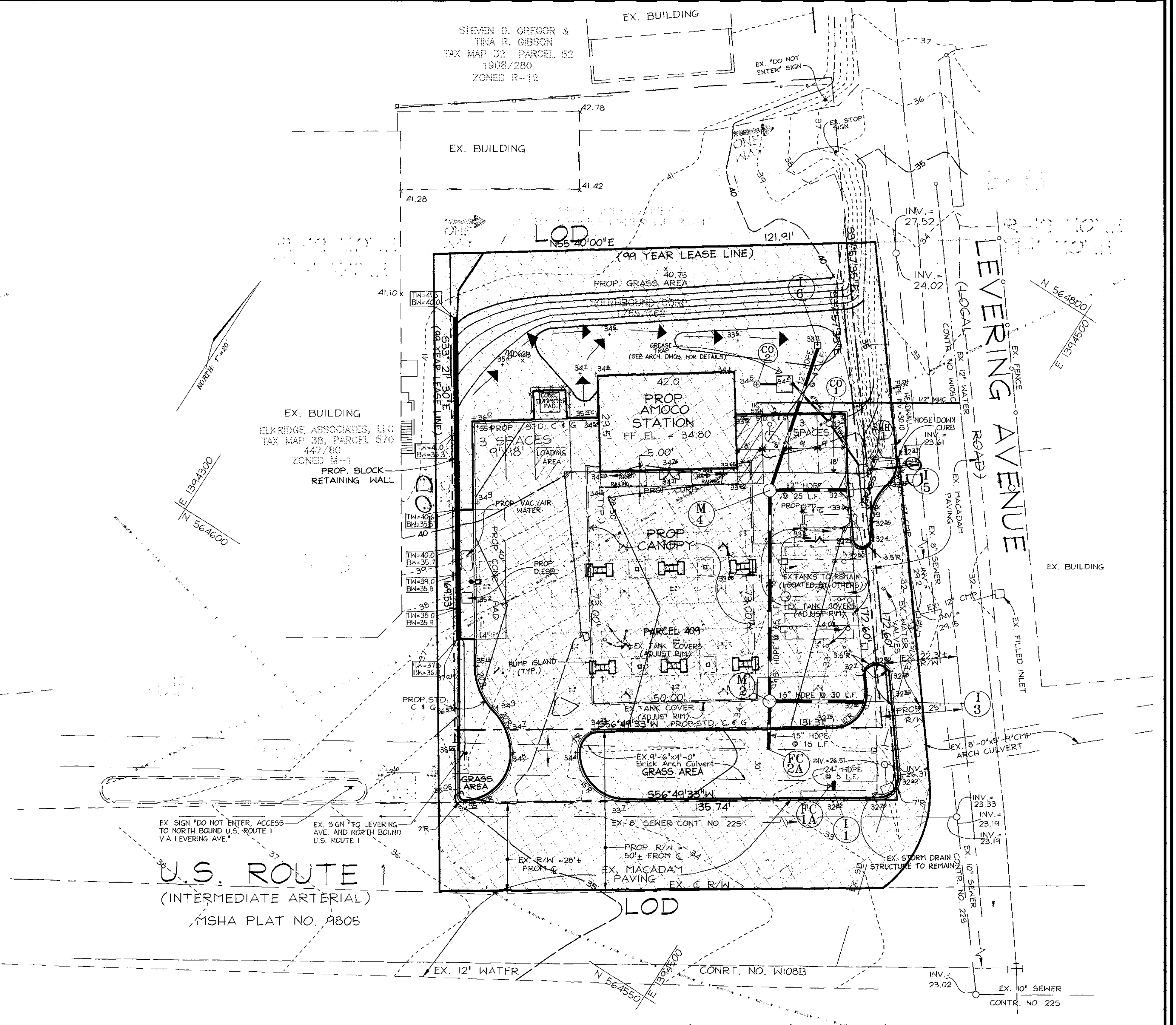
WATER CODE A05 SEWER CODE 20221000

LAND USE MAPS FOR
ELKRIDGE AMOCO
 5816 WASHINGTON BOULEVARD
 SITE DEVELOPMENT PLAN
 TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: G.A.H.
 DRAWN BY: J.E.R./G.A.H.
 CHECKED BY: R.H.V.
 DATE: JAN. 2000
 SCALE: AS SHOWN
 W.O. NO.: 98-92

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 16169
 REGISTERED

4 SHEET OF 7



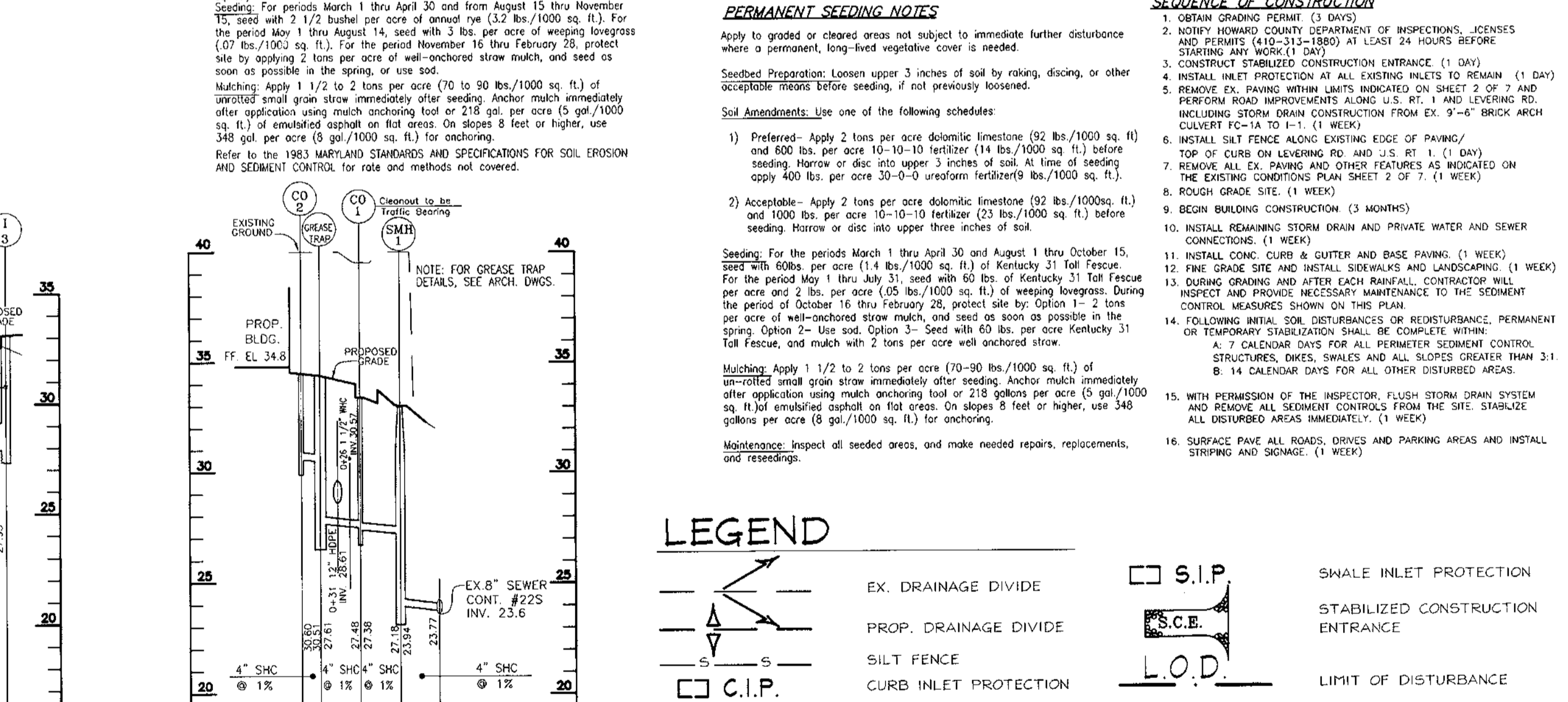
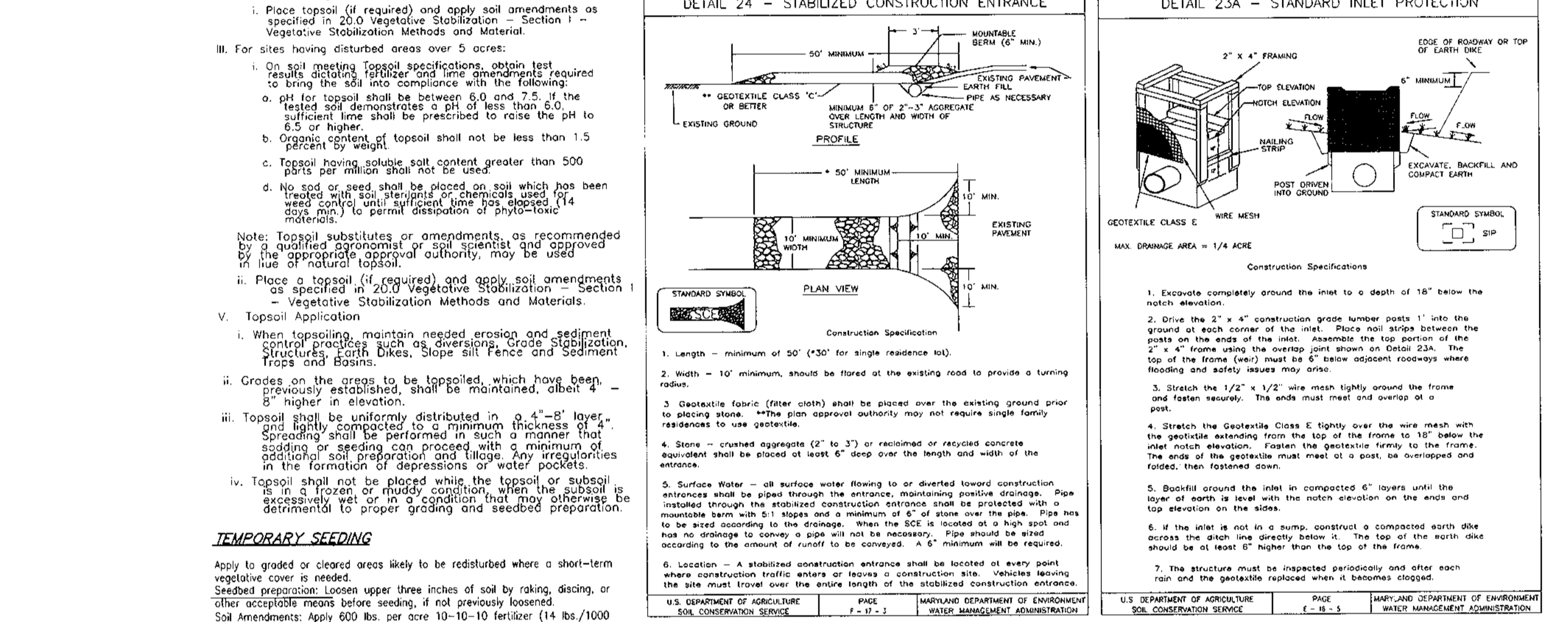
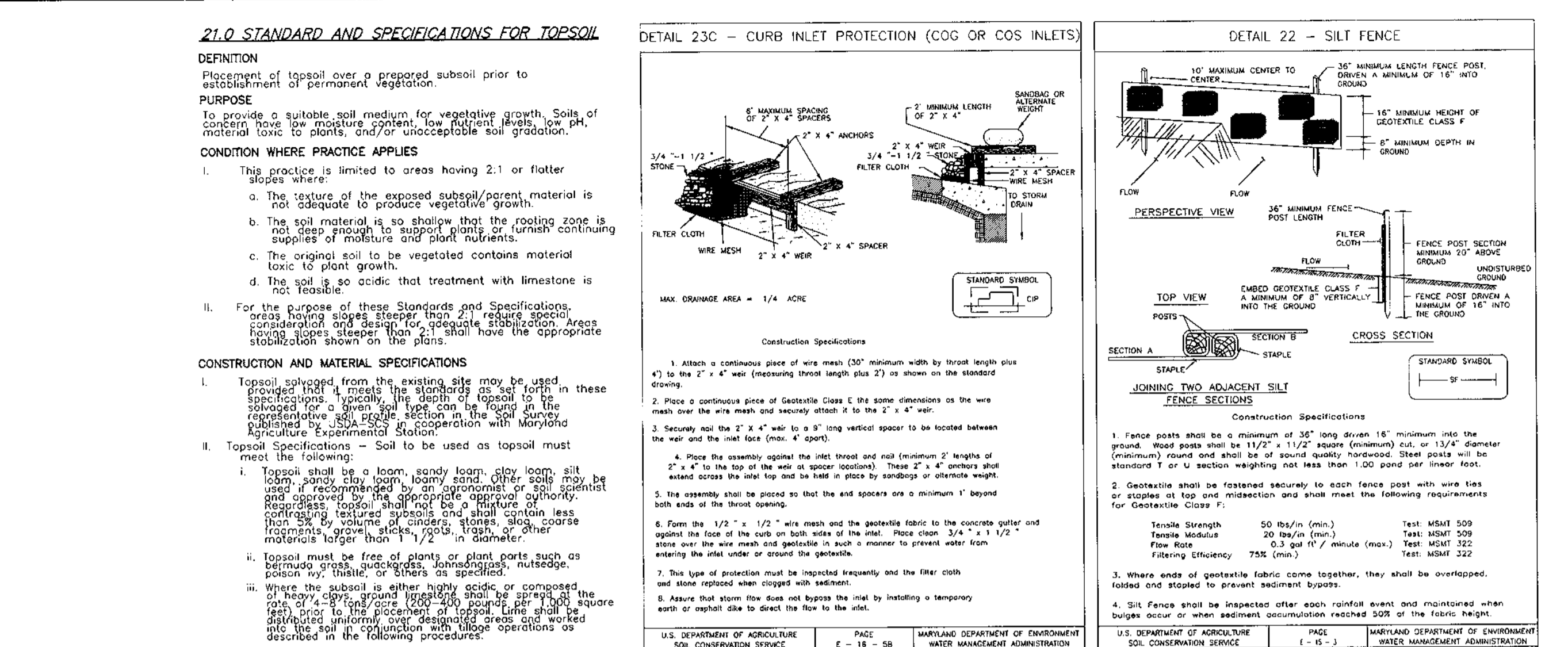
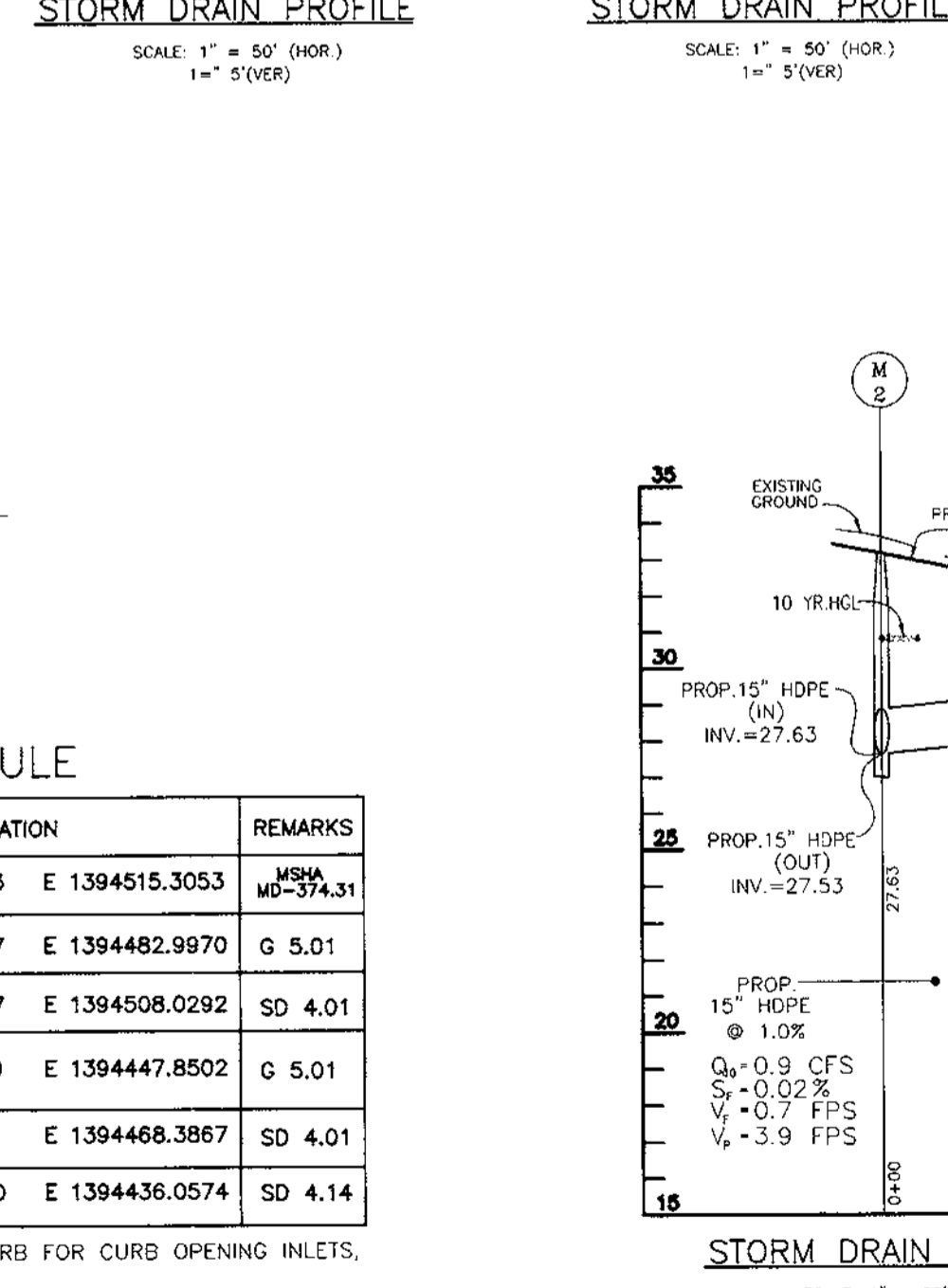
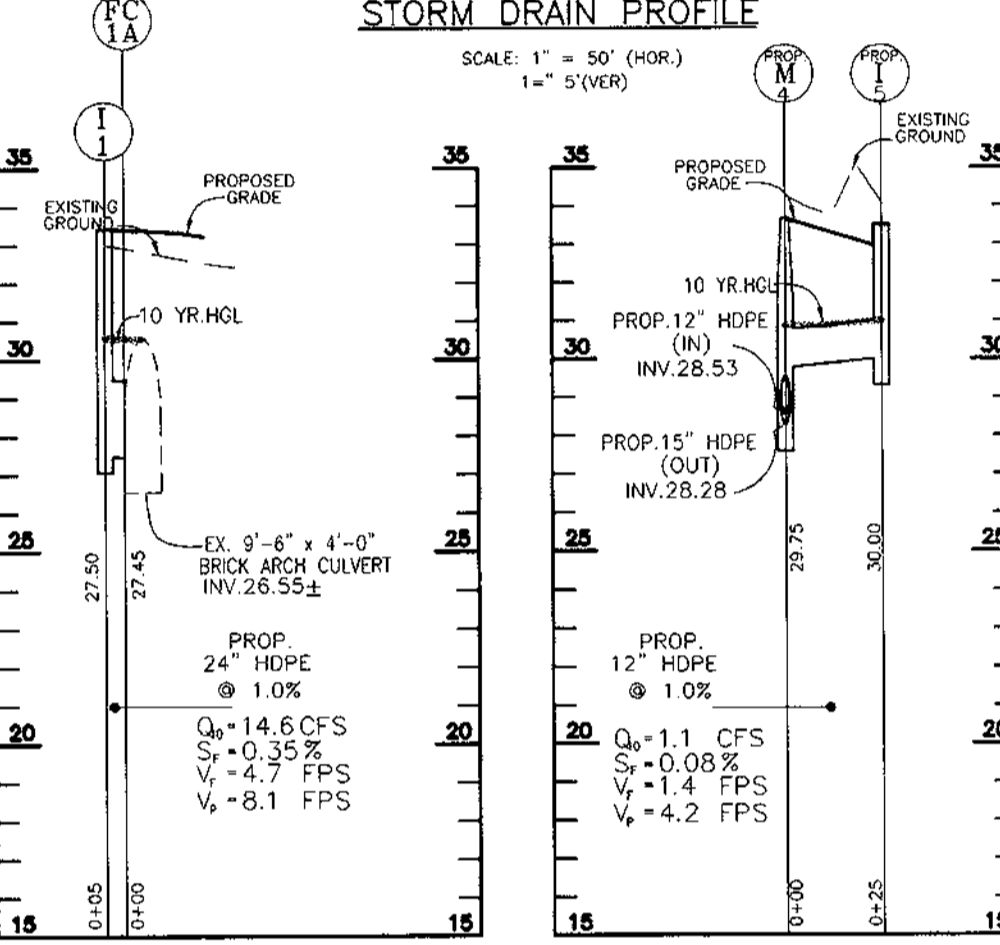
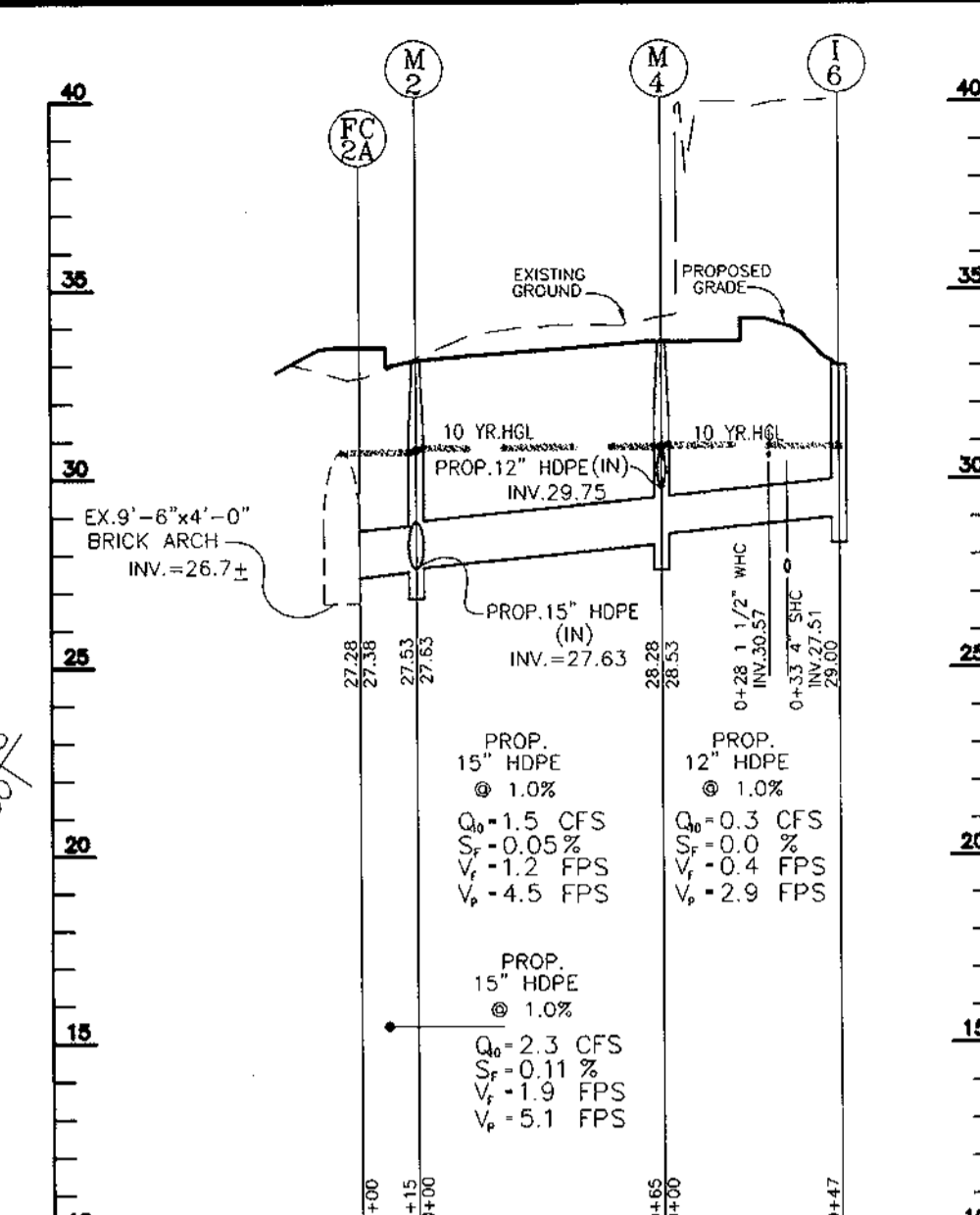
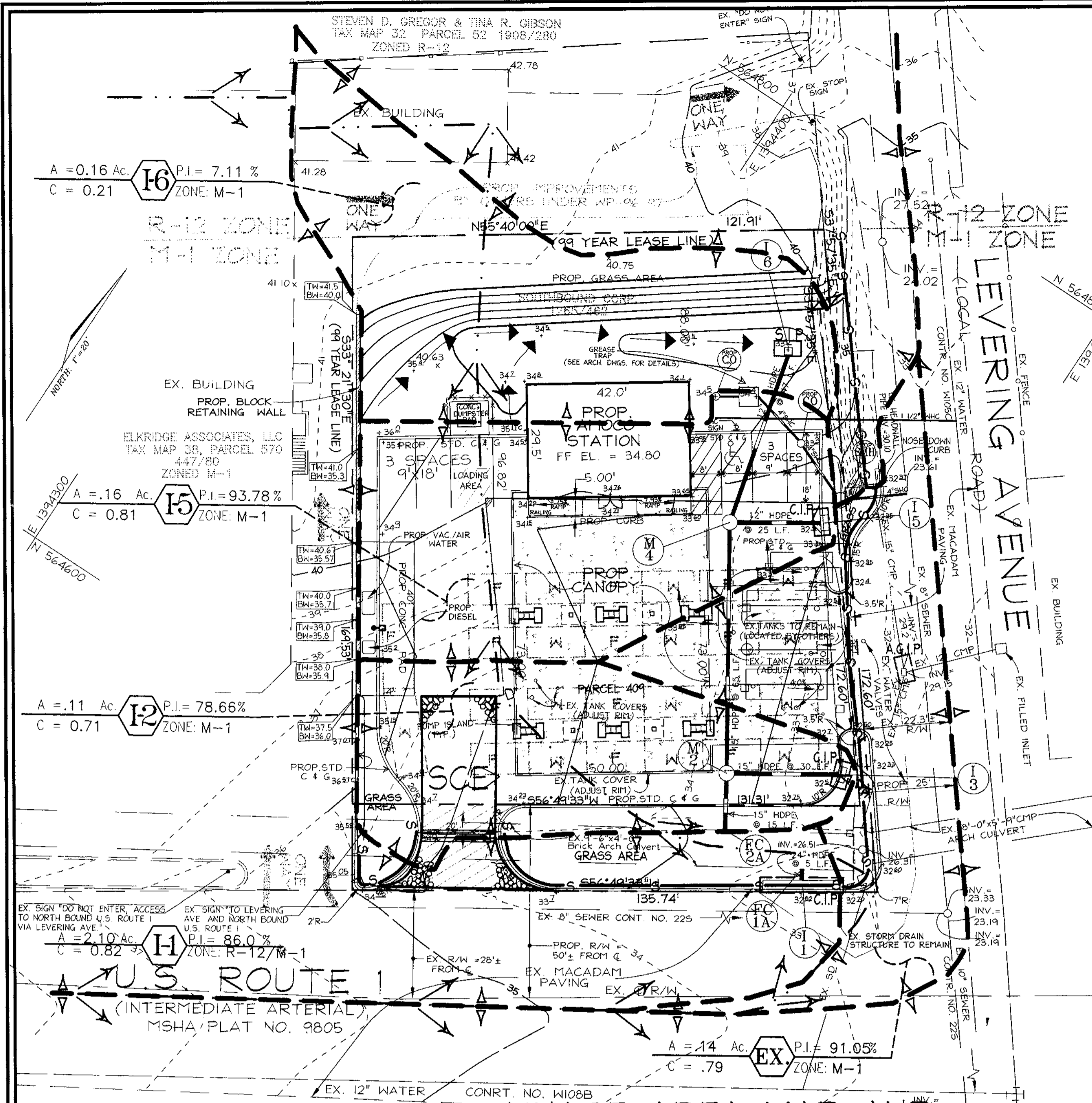
PROPOSED CONDITIONS LAND USE MAP

SCALE: 1" = 20'

A = 0.71 Ac. P.I. = 0.69 %
 C = 88 PROP. ZONE: M-1
 % 'B' SOIL = 38% % 'C' SOIL = 62%

LEGEND

PROPOSED GRADE	42
PROPERTY LINE	
EASEMENT	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
PROP. IMPERVIOUS AREA	
PROP. GRASS AREA	



STRUCTURE SCHEDULE

NO.	TYPE	TOP EL.	INV. IN.	INV. OUT.	LOCATION	REMARKS
I-1	STANDARD INLET	33.71	-	29.00	N 564633.6493 E 1394515.3053	M&S MD-374.31
M-2	STANDARD MANHOLE	33.25	27.63 (15" HDPE)	27.53 (15" HDPE)	N 564647.4897 E 1394482.9970	G 5.01
I-3	A-5 INLET	33.10	-	27.93	N 564663.5787 E 1394508.0292	SD 4.01
M-4	STANDARD MANHOLE	33.30	28.53 (12" HDPE)	28.28 (12" HDPE)	N 564702.5100 E 1394447.8502	G 5.01
I-5	A-5 INLET	33.50	-	30.00	N 564715.6913 E 1394468.3867	SD 4.01
I-6	YARD INLET	33.00	-	29.00	N 564747.7630 E 1394436.0574	SD 4.14

*NOTE: TOP ELEVATIONS ARE TO CENTER OF STRUCTURE AT FACE OF CURB FOR CURB OPENING INLETS, AND TO C.L. TOP OF GRATE FOR GRATE INLETS.

OWNER/DEVELOPER
J. KENT MCKEN
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401

ENGINEERS CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DESIGN AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

PERMIT INFORMATION CHART

DATE	NO.	REVISION	BY

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
N/A	N/A	409 & P/O 570			
DEED/LEASE NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
1577/281 1457/090 4457/003		M-1	24	157	6012
WATER CODE	SEWER CODE				
A0S	2022100				

DESIGN BY: G.A.H.
DRAWN BY: J.E.R./G.A.H.
CHECKED BY: R.H.V.
DATE: JAN. 2000
SCALE: AS SHOWN
W.O. NO.: 98-092
5 SHEET OF 7

SEWER & STORM DRAIN PROFILES, NOTES AND DETAILS FOR ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL, P.E. #16193

STEVEN D. GREGOR &
TINA R. GIBSON
TAX MAP 38, PARCEL 570
1908/280
ZONED R-12

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
Ar	6	ACER RUBRUM RED MAPLE	2 1/2"-3" CAL	B & B
Ag	15	ACER GRESUM PAPERBARK MAPLE	1 1/2"-2" CAL	B & B
Pb	8	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HT.	B & B
Tm	36	TAXUS MEDIA 'DENSIFORMIS' DENSIFORMIS YEW	2 1/2"-3" HT	B & B
Ab	12	ABELIA x GRANDIFLORA GLOSSY ABELIA	24"-30" HT.	B & B OR CONT.

NOTE:
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$6,510.00 FOR 13 SHADE TREES, 8 EVERGREEN TREES, AND 47 SHRUBS (SUBSTITUTIONS).

LEGEND

EXISTING GROUND	---	54
PROPOSED GRADE	---	42
EXISTING WATER	---	
EXISTING SEWER	---	
EXISTING STORM DRAIN	---	
EXISTING CURB & GUTTER	---	
PROPERTY LINE	---	
EXISTING R/W	---	
EASEMENT	---	
PROPOSED C&G	---	
PROP. STORM DRAIN	---	
PROP. SEWER	---	
PROP. WATER MAIN	---	
EX. PAVING TO BE REMOVED	---	
PROP. CONCRETE PAVING	---	
PROP. SHA PAVING	---	
EX. PAVING TO BE SAHCUT, REMOVED & REPLACED WITH STD. P-3 PAVING	---	
CHANNELIZING DEVICES	---	
TRAFFIC SIGN	---	
DIRECTION OF TRAFFIC	---	
WORK SITE	---	
STACKING SPACES	---	

SCHEDULE A PERIMETER LANDSCAPE EDGE

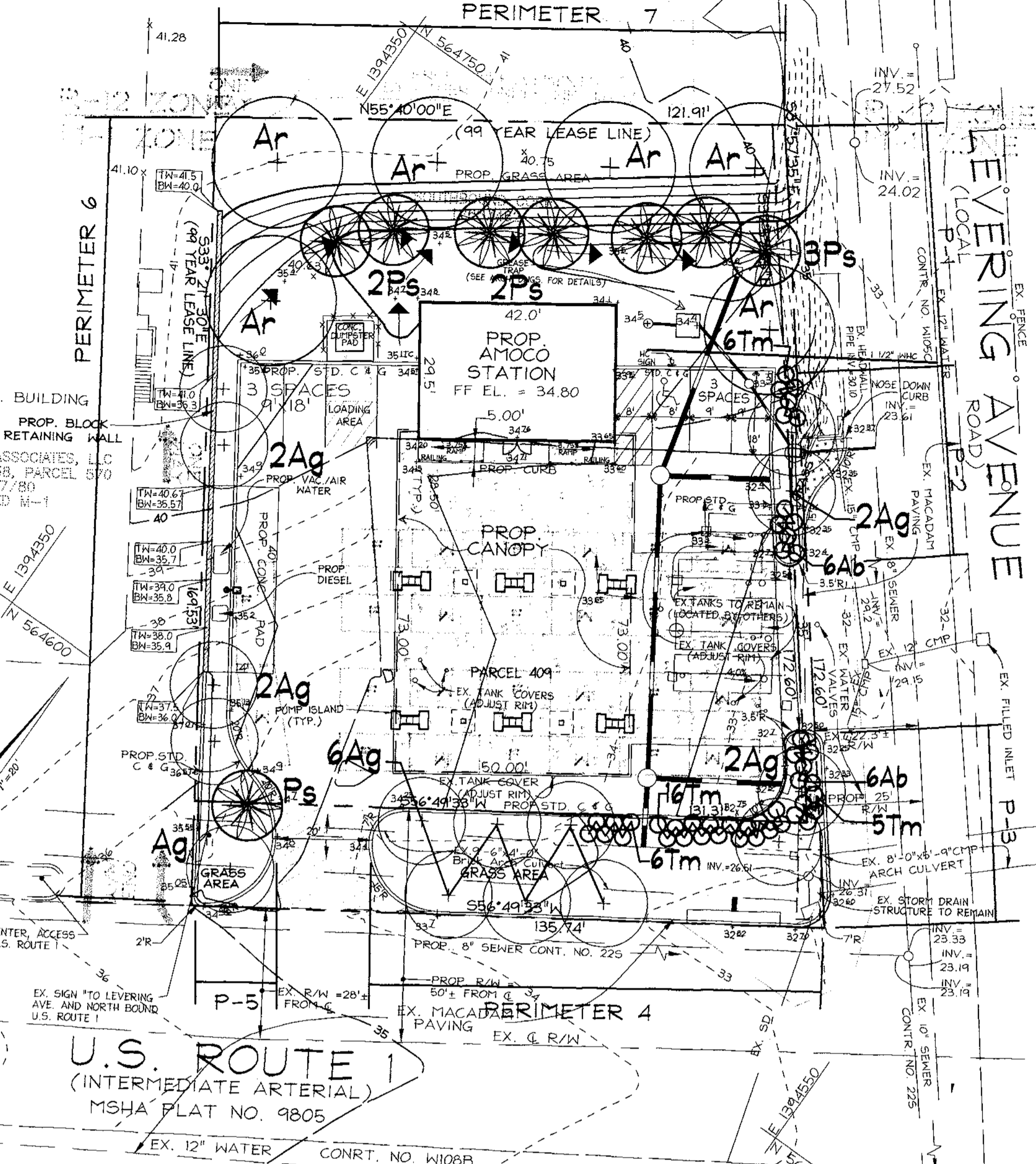
CATEGORY	P-1	P-2	P-3	P-4	P-5	P-6	P-7
LANDSCAPE TYPE	B	E	E	E	B	A	C
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	51	42	43	99	18	170	122
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED (BASED ON TOTAL PERIMETER)							
SHADE TREES	1	1	1	3	1	3	3
EVERGREEN TREES	0	0	0	0	0	0	0
SHRUBS	10	11	11	25	0	0	0
NUMBER OF PLANTS PROVIDED	△	△	△	△	△	△	△
SHADE TREES	2	0	0	0	0	1	3
EVERGREEN TREES	0	0	0	0	0	0	0
OTHER TREES (1 SUBSTITUTION)	0	0	0	0	0	0	0
SHRUBS	0	0	0	0	0	0	0

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	8
NUMBER OF TREES REQUIRED	0
NUMBER OF TREES PROVIDED	0
SHADE TREES (2:1 SUBSTITUTION)	0
OTHER TREES (10:1 SUBSTITUTION)	0
NUMBER OF ISLANDS REQUIRED	0
NUMBER OF ISLANDS PROVIDED	0

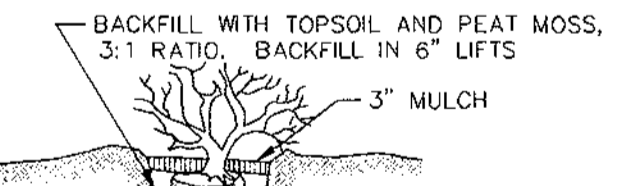
PLANTING NOTES

- PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, MATURE, FREE FROM DEFECTS, DISCOLORATIONS, INSECT PEST EGGS, BOGIES AND ALL FORMS OF INFECTION OR OBSCURABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FREELY DUG; NO HELELD-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1986, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, SEPTEMBER, 1981, INCLUDING ALL ADDENDA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MSS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANTING MATERIALS TO AVOID CONFLICTS WITH UTILITIES.
- PLANTING BED SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD BARK MULCH. GROUND-COVER BEDS SHALL BE MULCHED TO A DEPTH OF 2".
- ALL AREAS WITHIN THE CONTRACT LIMIT NOT COVERED BY BUILDING, PAVING, PLANTING BEDS OR OTHERWISE DESIGNATED ON THE PLANS SHALL BE SEEDED AND MULCHED OR SODED IN ACCORDANCE WITH "1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," PERMANENT SEEDING SPECIFICATIONS (SEE SHEET 6), INCLUDING ALL ADDENDA, AS DIRECTED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. PLANTING MIX SHALL BE DONE AS FOLLOWS:
DECIDUOUS PLANTS - TWO PARTS TOP SOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD 10-10-10 FERTILIZER PER CUBIC YARD OF PLANTING MIX.
EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX.
- SOIL SHALL CONFORM TO LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR LANDSCAPE PLAN ONLY. SEE OTHER PLAN SHEETS FOR INFORMATION ON GRADING, SEDIMENT CONTROL, LAYOUT, ETC.
- CONTRACTOR TO ADJUST PLANTINGS AS REQUIRED WITH PRIOR APPROVAL OF THE ENGINEER OR LANDSCAPE ARCHITECT.

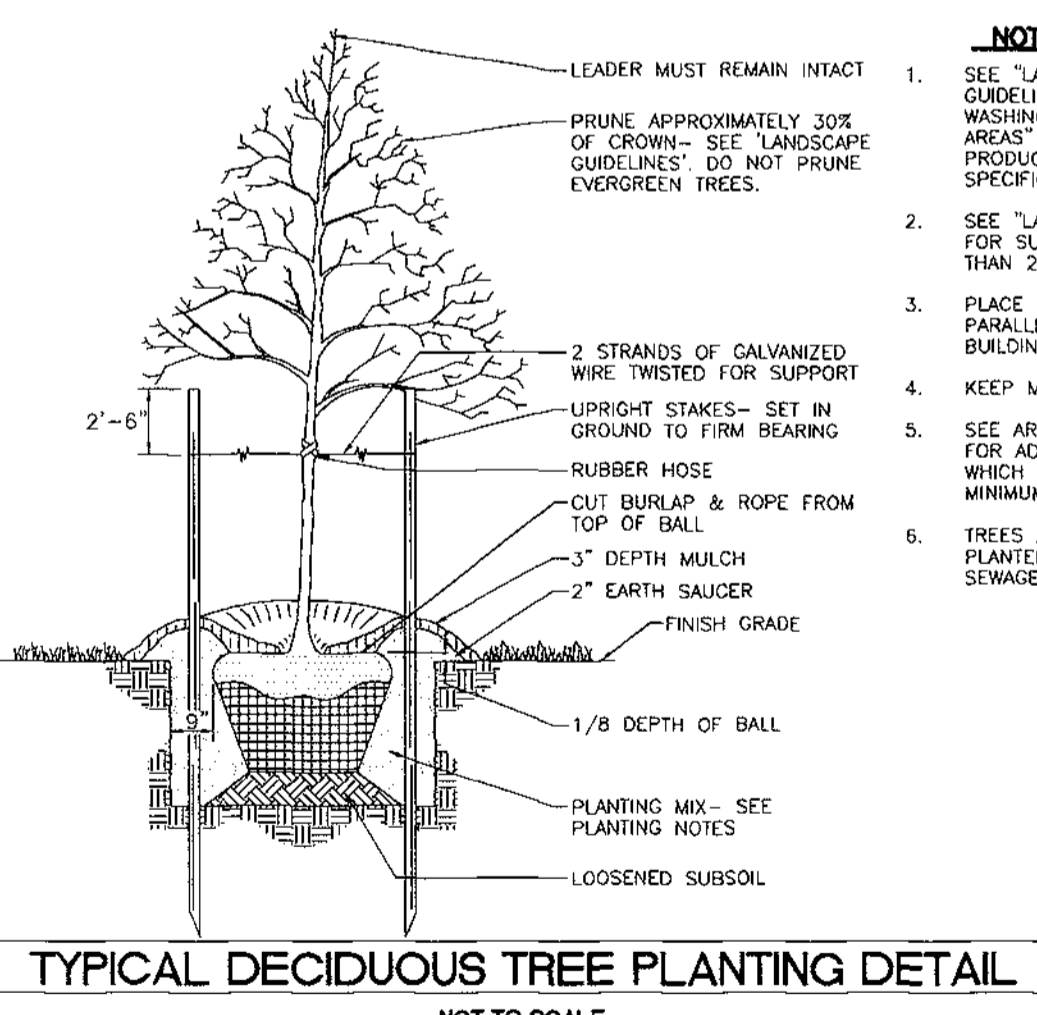


LANDSCAPE PLAN
SCALE: 1" = 20'

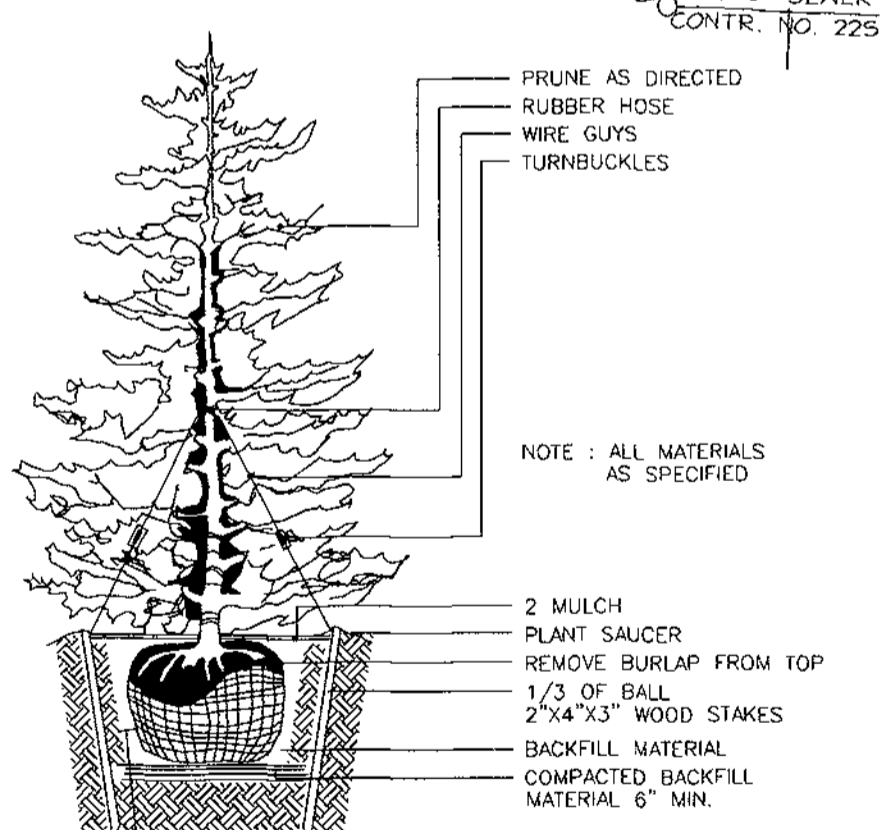
TRAFFIC CONTROL PLAN
SCALE: 1" = 20'



SHRUB PLANTING DETAIL
NOT TO SCALE



TYPICAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

OWNER/DEVELOPER
J. KENT McNEIL
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401

VOGEL & ASSOCIATES
ENGINEERS-SURVEYORS-PLANNERS
3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

DEVELOPER'S BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer: *[Signature]* DATE: 1/12/00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Director: *[Signature]* DATE: 2/9/00
Chief, Division of Land Development: *[Signature]* DATE: 2/10/00
Chief, Development Engineering Division: *[Signature]* DATE: 2/10/00

DATE	NO.	REVISION	BY

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
N/A	N/A	409 & P/O 570

CREED/LEASE NO. 1265/482
1577/281
4457/0083

BLOCK NO. 4 ZONE M-1 TAX/ZONE ELECT. DIST. CENSUS TR. 38 1ST 6012

WATER CODE A05 SEWER CODE 20221000

TRAFFIC CONTROL AND LANDSCAPE PLANS, NOTES AND DETAILS FOR
ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN

TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: G.H.
DRAWN BY: J.E.R.
CHECKED BY: R.H.V.
DATE: JAN 2000
SCALE: 1"=20'
W.O. NO.: 98-92

6 SHEET OF 7

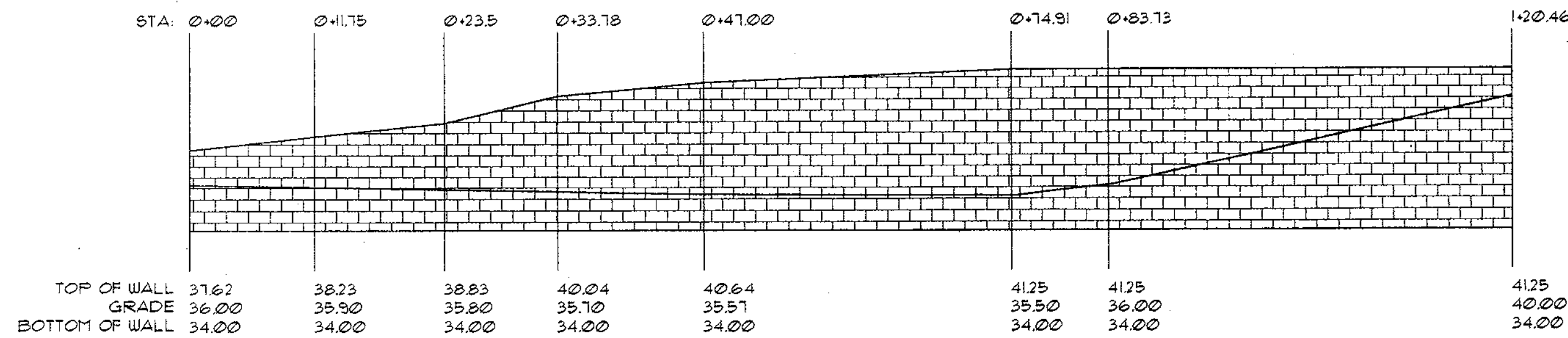
ALLAN BLOCK RETAINING WALL SYSTEM

AS MANUFACTURED BY NITTERHOUSE MASONRY PRODUCTS, LLC Chambersburg, PA 717-267-4500

Page 1

Page 2

ELEVATION VIEW



AMOCO
ELKRIDGE, MD

THIS IS A PRELIMINARY DESIGN PREPARED BY THE ALLAN BLOCK CORPORATION. FINAL DESIGN IS THE SOLE RESPONSIBILITY OF THE PROJECT DESIGN ENGINEER. ALL CONSTRUCTION TECHNIQUES SHALL BE ACCORDING TO ALLAN BLOCK SPECIFICATIONS.

PROJECT NAME: AMOCO
PROJECT LOCATION: ELKRIDGE, MD
CONSTRUCTION SPECIFICATIONS

- STRIP ALL VEGETATION AND ORGANIC SOIL FROM THE WALL AND FOOTING ALIGNMENT AREA.
- BENCH CUT ALL EXCAVATED SLOPES.
- DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOILS. AN EVALUATION OF ALL FOOTING EXCAVATION AND GRID AREAS SHOULD BE PERFORMED BY A GEOTECHNICAL ENGINEER TO CONFIRM THE DESIGN BEARING CAPACITY OF THE SOIL.
- UNSATURATED OR DISTURBED SOILS SHALL BE REMOVED AND THE UNDERCUT AREA BACKFILLED AND COMPACTED WITH COMPETENT STRUCTURAL FILL.
- BASE SHALL CONSIST OF COMPACTED GRAVEL, MINIMUM 6" THICK. WELL GRADED SAND MAY BE USED TO SMOOTH OR LEVEL THE TOP 5 IN TO 1 IN OF BASE.
- MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 1 INCH PER FOOT OF WALL HEIGHT WITH A MINIMUM OF 2.5 BLOCK BURIED EQUALING 1.5 FT.
- FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURERS INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.
- DRAINAGE FILL 12" THICK SHALL BE INSTALLED BEHIND THE WALL TO WITHIN 12" OF THE TOP OF THE WALL. IT SHALL ALSO EXTEND DOWN TO A DEPTH LEVEL WITH THE GRADE IN FRONT OF THE WALL. WEEP HOLES CAN BE ESTABLISHED TO OUTLET WATER.
- WHERE DRAIN TILE IS USED, PROVIDE OUTLETS - MIN. 30 FT ON CENTER VENT TO DAYLIGHT THROUGH WALL FACE AND TO WALL ENDS OR STORM SEWER.
- BACKFILL AND COMPACT IN FRONT OF THE WALL AS WALL IS INSTALLED.
- COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOIL ENGINEER.
- COMPACTION SHALL BE A MINIMUM OF 90% STANDARD PROCTOR DENSITY TO ACHIEVE UNIT WEIGHT AND DESIGN SOIL FRICTION ANGLE.
- PROVIDE LATERAL DRAINAGE SWALES TO DIRECT SURFACE WATER AWAY FROM WALL FACE.
- ESTABLISH IMPERVIOUS FILL AT FINISH GRADE WHEN THE WALL IS COMPLETED.
- FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD. IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.
- AT THE CONCLUSION OF EACH DAYS CONSTRUCTION AND AT FINAL COMPLETION, GRADE BACKFILL TO AVOID WATER ACCUMULATION BEHIND WALL OR IN REINFORCED ZONE.
- COMPACTION WITHIN 3 FT. OF WALL SHALL BE DONE WITH A PLATE COMPACTOR. EMPLOY METHODS USING LIGHTWEIGHT COMPACTION EQUIPMENT THAT WILL NOT DISRUPT THE STABILITY OR BATTER OF THE WALL.
- IF WATER IS ENCOUNTERED IN THE AREA OF THE WALL DURING EXCAVATION OR CONSTRUCTION, A DRAINAGE SYSTEM (CHIMNEY OR COMPOSITE) MUST BE INSTALLED AS DETERMINED BY THE DESIGN ENGINEER.

- CELLS SHALL BE FILLED WITH PEA GRAVEL STRUCTURAL CONCRETE GROUT. MORTAR FILLING OF REINFORCED CELL IS NOT PERMITTED. MASONRY CELLS TO BE REINFORCED AND FILLED WITH GROUT SHALL BE ALIGNED TO PROVIDE CONTINUOUS UNOBSTRUCTED VERTICAL OPENING. THE MAXIMUM HEIGHT OF WALL FOR FILLING OF WALL SHALL BE 4 FT. MINIMUM COMPRESSIVE STRENGTH OF PEA-GRAVEL GROUT IS 3000 PSI.
- ENGINEER TO INSPECT AND RECORD WALL CONSTRUCTION REINFORCING PLACEMENT, VERIFYING IN ACCORDANCE WITH PLANS, EVERY DAY UNTIL WALL CONSTRUCTION IS COMPLETE.
- CONCRETE FOR THE FOOTING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
- ALLOWABLE BEARING PRESSURE IS 3000 PSF
- FACTORS OF SAFETY: SLIDING 1.5, OVERTURN = 2.0
- DESIGN METHODOLOGY PER NCMATK 15-7A, AND NCMATK DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS
- 3 DEGREE WALL BATTER PER DESIGN WITH 1 DEGREE CONSTRUCTION TOLERANCE
- SOILS: INFILL - 30 DEGREE FRICTION ANGLE, 120 PCF UNIT WEIGHT, RETAINED - 30 DEGREE FRICTION ANGLE, 120 PCF UNIT WEIGHT
- ALL INSTALLATION PER ALLAN BLOCK SPECIFICATIONS
- HYDROSTATIC LOADING IS NOT CONSIDERED IN THIS ANALYSIS. SUFFICIENT DRAINAGE MUST BE PROVIDED SUCH THAT HYDROSTATIC LOADING (PORE PRESSURE) DOES NOT DEVELOP IN THE REINFORCED ZONE.

SURFACE DRAINAGE SPECIFICATIONS

- SURFACE WATER MUST NOT BE ALLOWED TO POND OR BE TRAPPED IN THE AREA ABOVE THE WALL NOR AT THE TOE OF THE WALL.
- ALL ROOF EAVES SHOULD BE GUTTERED, WITH THE OUTLETS FROM THE DOWNSPOUTS PROVIDED WITH ADEQUATE CAPACITY TO CARRY STORM WATER FROM THE STRUCTURE TO REDUCE THE POSSIBILITY OF SOIL SATURATION AND/OR EROSION. THE CONNECTION SHOULD BE IN A CLOSED CONDUIT, WHICH DISCHARGES AT AN APPROVED LOCATION AWAY FROM THE WALL STRUCTURE.
- ESTABLISH FINAL GRADE WITH A POSITIVE GRADIENT AWAY FROM THE WALL STRUCTURE. CONCENTRATIONS OF SURFACE WATER RUNOFF SHOULD BE HANDLED BY PROVIDING NECESSARY STRUCTURES, SUCH AS PAVED DITCHES, DRAINAGE SWALES, CATCH BASINS, ETC.
- CUT AND FILL SLOPES SHALL BE CONSTRUCTED SO THAT SURFACE WATER WILL NOT BE ALLOWED TO DRAIN OVER THE TOP OF THE SLOPE FACE AND OR WALL. THIS MAY REQUIRE BERMS ALONG THE TOP OF FILL SLOPES AND SURFACE DRAINAGE DITCHES ABOVE CUT SLOPES.
- IRRIGATION ACTIVITIES AT THE SITE SHOULD NOT BE DONE IN AN UNCONTROLLED OR UNREASONABLE MANNER.
- ANY DESIGN DRAINAGE FEATURES OR SITE FEATURES, EITHER ADDRESSED OR DISCOVERED DURING EXCAVATION MUST BE ADDRESSED BY THE CONSULTING GEOTECHNICAL OR ENGINEER OF RECORD FOR THE PROJECT.
- CONTAIN SOURCES OF CONCENTRATED WATER FLOW SUCH AS ROOF SCUPPERS, DRAINS AND VALLEYS, PARKING LOTS, ETC... AND ROUTE AROUND WALL ACCORDINGLY.

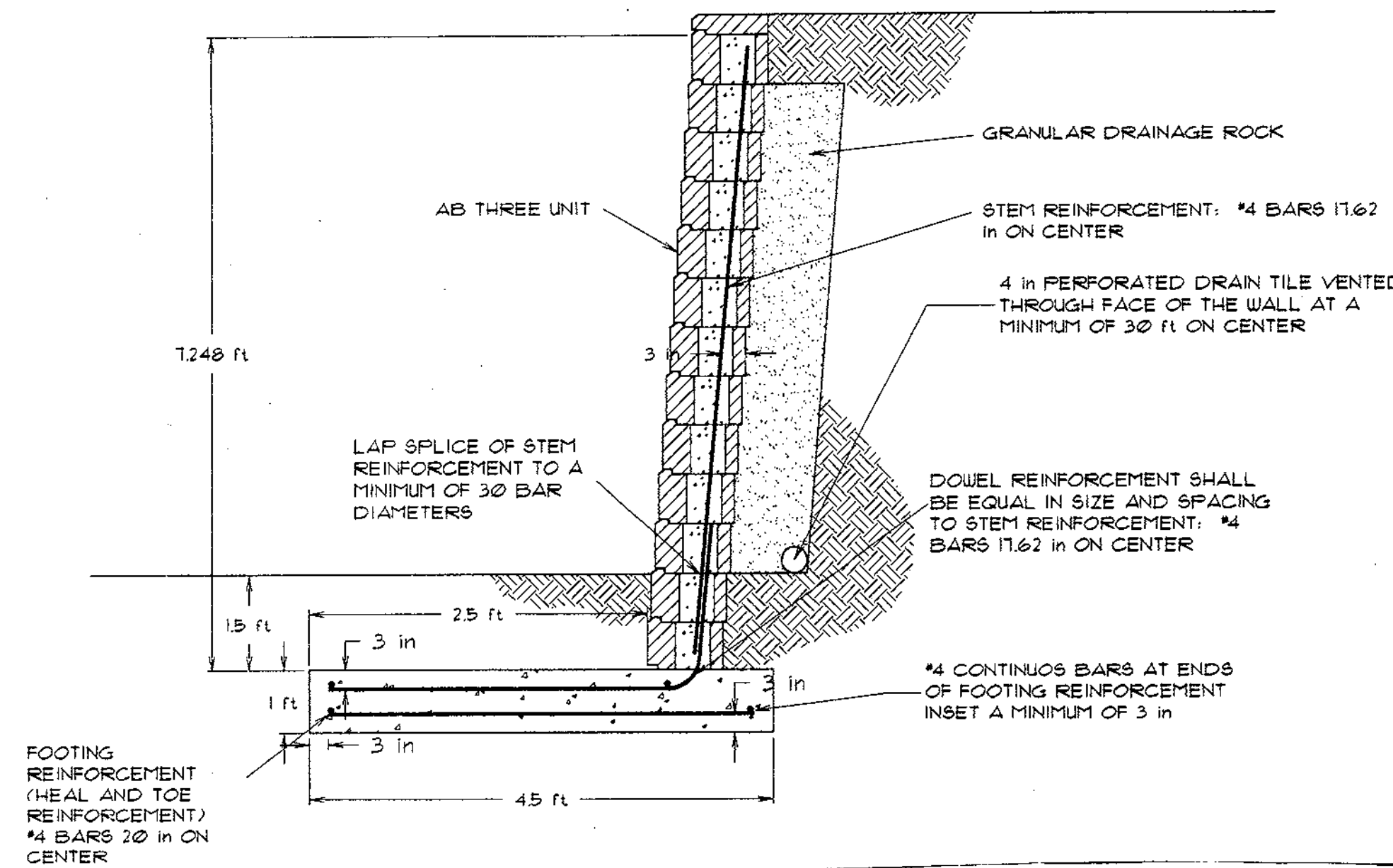
DESIGN SPECIFICATIONS

- WALL DESIGN WAS BASED ON LEVEL GRADE ABOVE THE WALL.
- WALL DESIGN WAS BASED ON A MAXIMUM WALL HEIGHT OF 7.248 FT PLUS THE THICKNESS OF THE FOOTING.
- REINFORCING BARS SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. BARS SHALL BE BRANDED BY THE MANUFACTURER WITH BAR SIZE AND GRADE OF STEEL AND CERTIFIED MILL REPORTS SHALL BE SUBMITTED FOR RECORD. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE ACE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, LATEST EDITION.
- MINIMUM COVER REQUIREMENTS SHALL BE 3 IN FROM THE BACK OF THE STEM AND 3 IN FOR ALL FOOTING REINFORCEMENT.
- MASONRY CONSTRUCTION AND MATERIALS MUST CONFORM TO THE REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602-92).

ALLAN BLOCK CORPORATION
03/05/99

ALLAN BLOCK CORPORATION
03/05/99

MASONRY REINFORCEMENT TYPE A WALL 7.248 ft SECTION



MASONRY NOTES

REINFORCING BARS SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. BARS SHALL BE BRANDED BY THE MANUFACTURER WITH BAR SIZE AND GRADE OF STEEL AND CERTIFIED MILL REPORTS SHALL BE SUBMITTED FOR RECORD. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE ACE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, LATEST EDITION.

MASONRY CONSTRUCTION AND MATERIALS MUST CONFORM TO THE REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602-92).

HOLLOW CONCRETE BLOCK USED IN WALLS SHALL CONFORM TO ASTM C-90. REQUIRED MINIMUM MASONRY STRENGTH $f_m = 3000$ PSI.

CELL SHALL BE FILLED WITH PEA-GRAVEL STRUCTURAL CONCRETE GROUT. MORTAR FILLING OF REINFORCED CELL IS NOT PERMITTED. MASONRY CELLS TO BE REINFORCED AND FILLED WITH GROUT SHALL BE ALIGNED TO PROVIDE A CONTINUOUS UNOBSTRUCTED VERTICAL OPENING. THE MAXIMUM HEIGHT OF WALL FOR FILLING OF WALL SHALL BE 4 FT. MINIMUM COMPRESSIVE STRENGTH OF PEA-GRAVEL GROUT IS 3000 PSI. COMPRESSIVE STRENGTH OF THE GROUT SHALL BE PERFORMED ACCORDING TO ASTM TEST C 1010-89a AND REPORTED AT 7, 14, 21 AND 28 DAYS.

ENGINEER TO INSPECT AND RECORD WALL CONSTRUCTION REINFORCING PLACEMENT, VERIFYING IN ACCORDANCE WITH PLANS, EVERY DAY UNTIL WALL IS COMPLETE.

COMPACTION OF WALL BACKFILL MUST BE TO 90% OF STANDARD PROCTOR

CONSTRUCTION OF THE WALL SHALL BE PERFORMED UNDER THE SUPERVISION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.

MASONRY WALL DESIGN SUMMARY

Project Name: Amoco
Project Location: Elkridge, MD
Project Number: NH091.99
Designer: MJR
Date: 3-5-99

Wall Height H, ft	Footing Width B, ft	Footing Thickness t, ft	Toe Width a, ft	Key Depth y, ft	Key Width x, ft	Key Location u, ft	Stem Reinforcement, bar size - bar spacing, in	Heel Reinforcement, bar size - bar spacing, in	Toe Reinforcement, bar size - bar spacing, in	Allan Block Units, Concrete and Grout Compressive Strength, psi
4.228	3	1	1	-	-	-	#4 - 52.86 in	#4 - 28 in	#4 - 28 in	3000
7.248	4.5	1	2.5	-	-	-	#4 - 17.62 in	#4 - 24 in	#4 - 24 in	3000

OWNER/DEVELOPER
SOUTHBOUND CORPORATION
C/O EASTERN PETROLEUM CORP.
J. KENT MENEN
35 HUDSON STREET
ANNAPOLIS, MARYLAND 21401

VOGEL & ASSOCIATES
ENGINEERS/SURVEYORS/PLANNERS
3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3965

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County 2/10/00
Andy Hamilton 2/7/00
Michael 2/2/00

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

PERMIT INFORMATION CHART	
SUBDIVISION NAME	SECTION/AREA
N/A	N/A
Parcel Number	409 & P/O 570
Deed/Lease No.	BLOCK NO. ZONE TAX/ZONE ELECT. DIST. CENSUS TR.
1267/422 187/281 4457/0800 4457/0800	4 M-1 38 1ST 6012
Water Code	SEWER CODE
A 05	2522.1000

DATE	NO.	REVISION	BY

RETAINING WALL DETAILS
FOR
ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

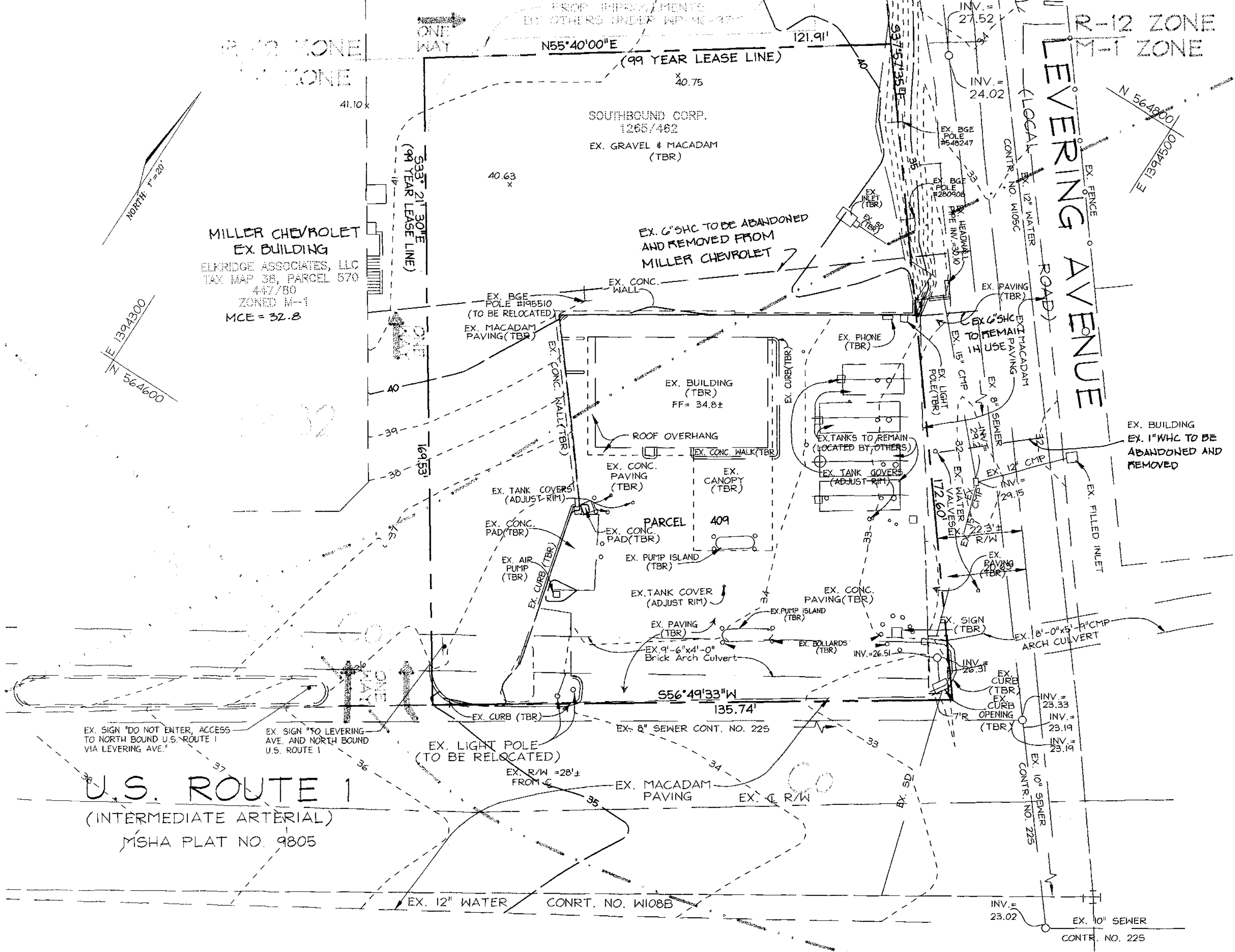
DESIGN BY: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: MARCH, 1999
SCALE: AS SHOWN
W.O. NO.: 98-92

7 SHEET OF 7

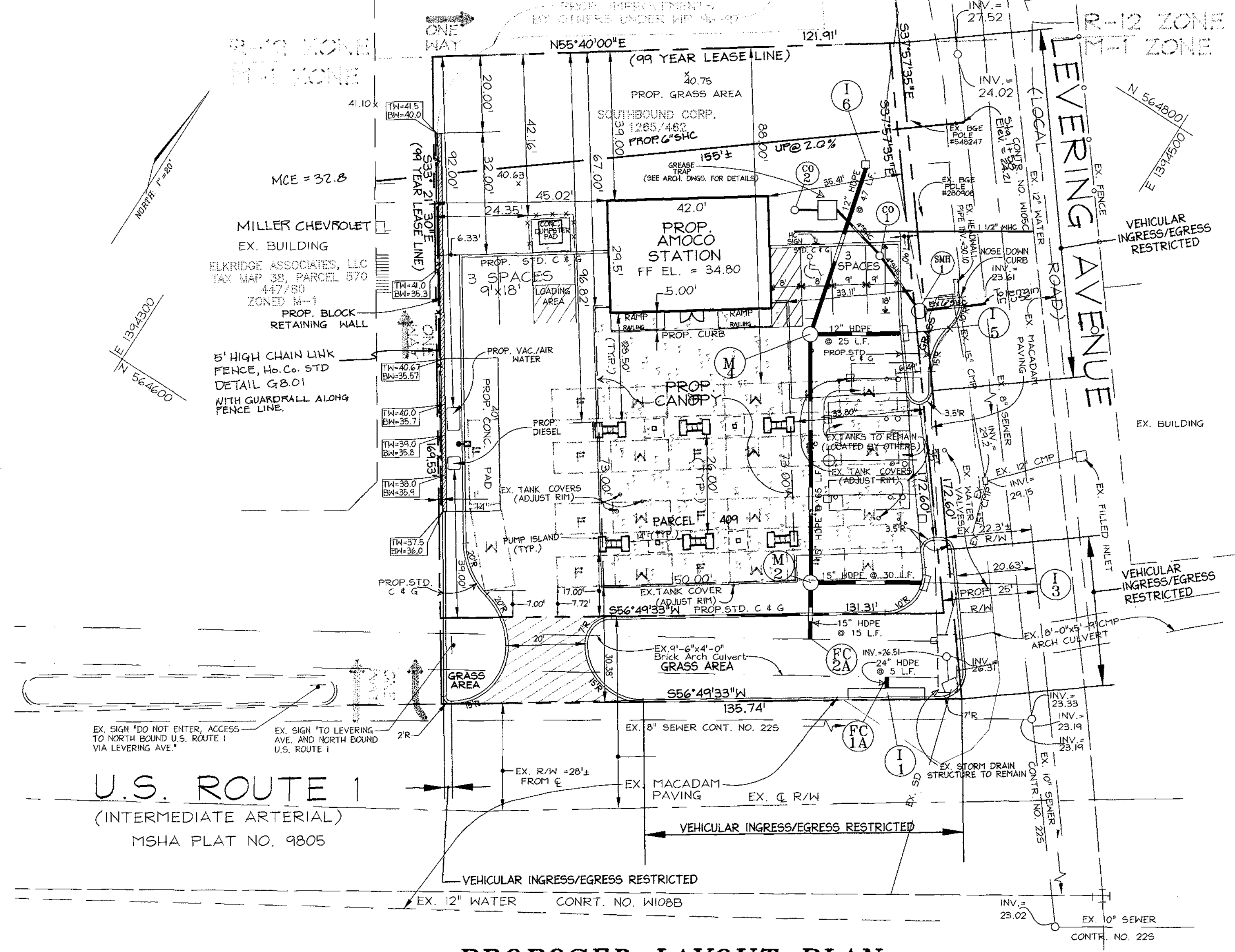
SDP-99-124

LEGEND

EXISTING GROUND	54
PROPOSED GRADE	(2)
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
EXISTING R/W	
EASEMENT	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
PROP. CONCRETE PAVING	
PROP. SHA PAVING	
EX. PAVING TO BE SAHCUT, REMOVED & REPLACED WITH STD. P-3 PAVING	
PROP. PERIMETER LIGHTING TO BE REMOVED	(TBR)
STACKING SPACES	



EXISTING CONDITIONS PLAN
SCALE: 1" = 20'



PROPOSED LAYOUT PLAN
SCALE: 1" = 20'

OWNER/DEVELOPER

J. KENT McNEW
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John R. K... 2/8/00
DIRECTOR DATE

Wendy ... 2/7/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

... 2/2/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

5-11-00	1	Rev. WHC & SHC information	R/LP
DATE	NO.	REVISION	BY
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
N/A	N/A	409 & P/O 570	
DEED/LIASE NO.	BLOCK NO.	ZONE	TAX/ZONE
1259/482	4	M-1	38
1577/581			
445/5090			
445/2283			
WATER CODE	405	SEWER CODE	20221000

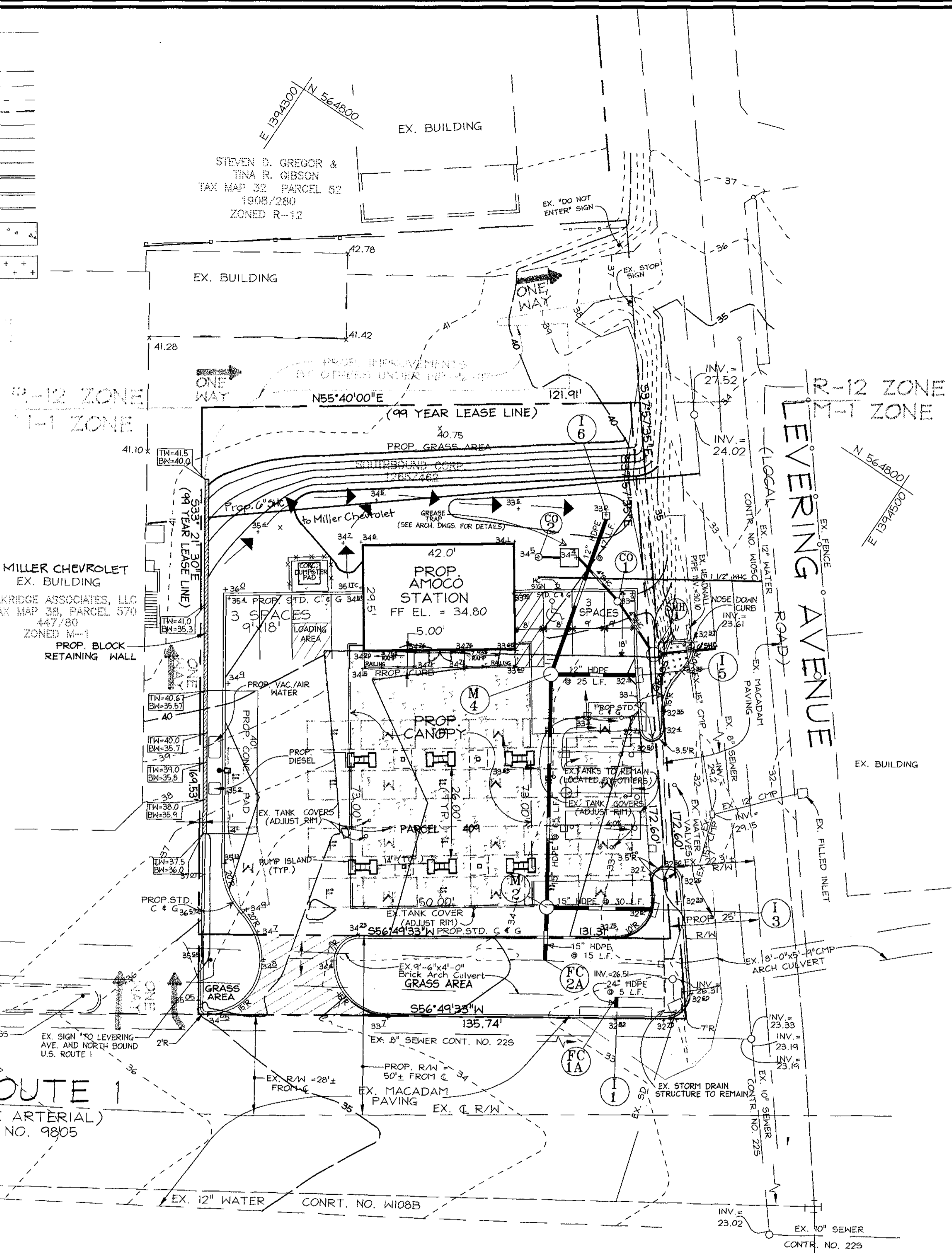
EXISTING CONDITION & PROPOSED LAYOUT PLANS FOR
ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: G.H.
DRAWN BY: J.E.R./G.H.
CHECKED BY: R.H.V.
DATE: JAN. 2000
SCALE: 1"=20'
W.O. NO.: 98-92

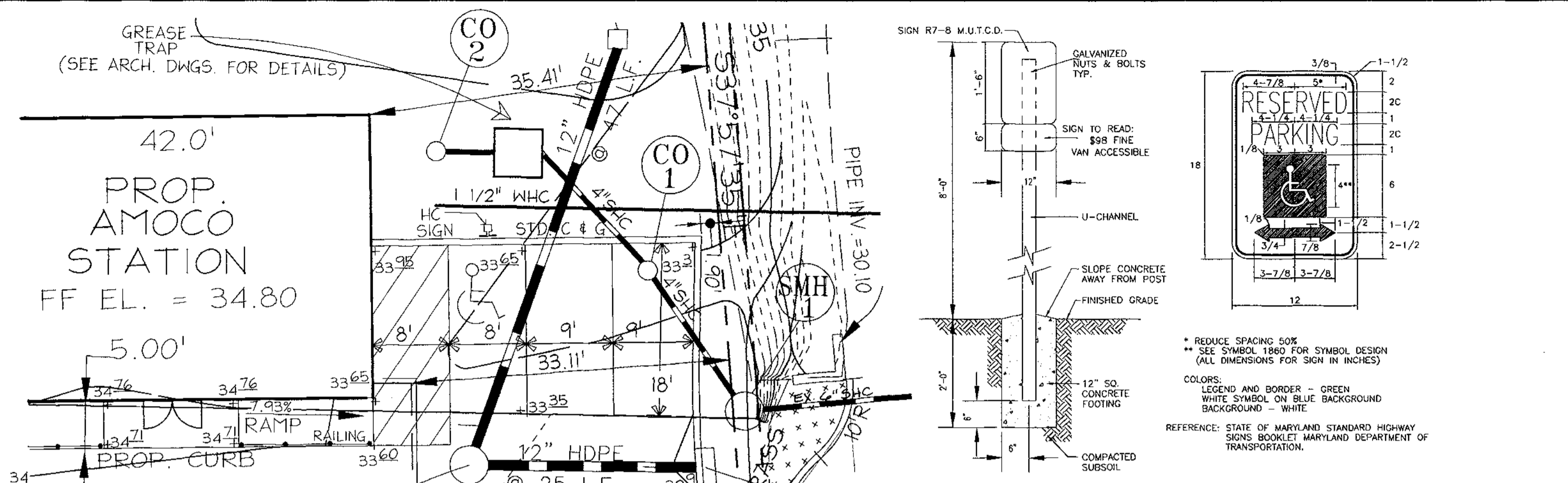
2 SHEET OF 7

LEGEND

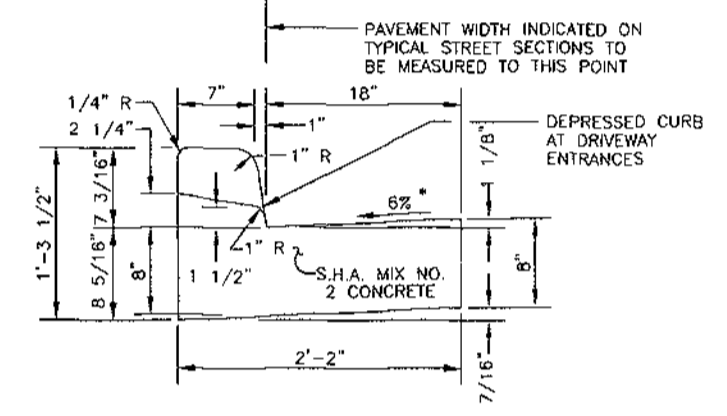
EXISTING GROUND	54
PROPOSED GRADE	42
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
EXISTING R/W	
EASEMENT	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
PROP. CONCRETE PAVING	
EX. PAVING TO BE REMOVED	
PROP. PERIMETER LIGHTING TO BE REMOVED (TBR)	
STACKING SPACES	



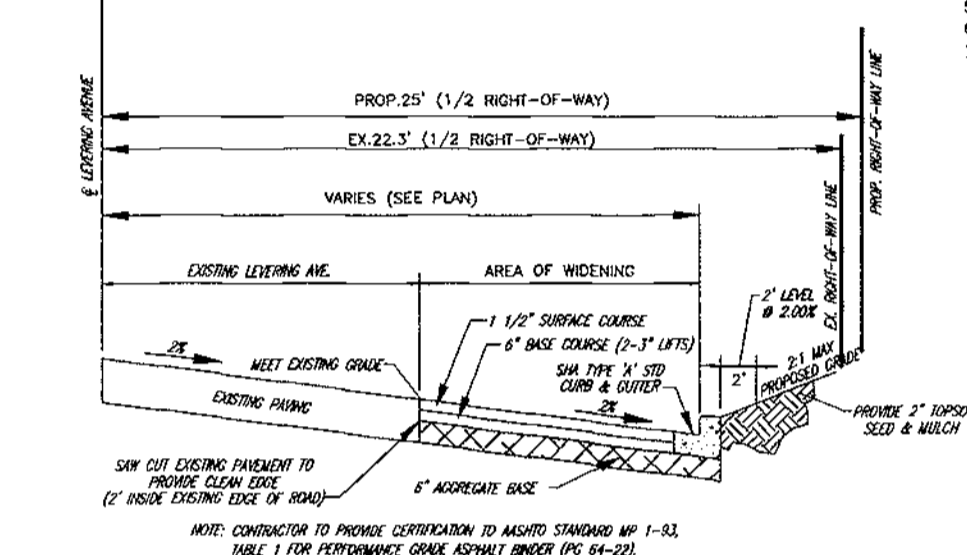
SITE GRADING PLAN
SCALE: 1" = 20'



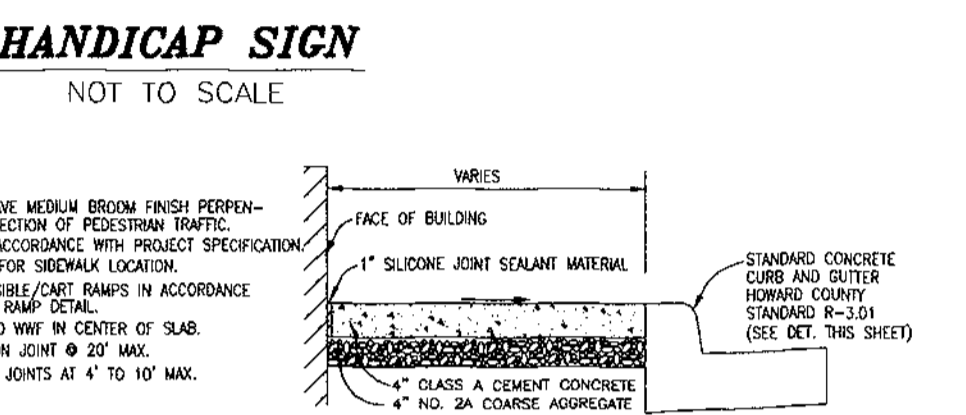
HANDICAP DETAIL
SCALE: 1"=10'



STANDARD COMBINATION CURB & GUTTER
HOWARD COUNTY STANDARD R-3.01
NOT TO SCALE



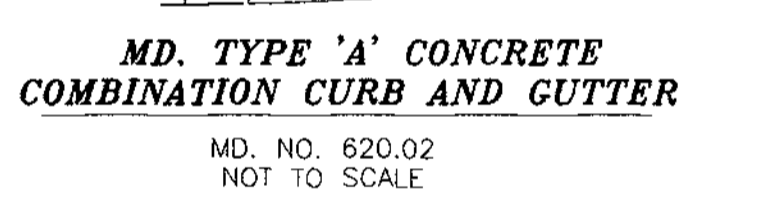
TYPICAL SECTION OF PROPOSED WIDENING LEVERING AVENUE
NOT TO SCALE



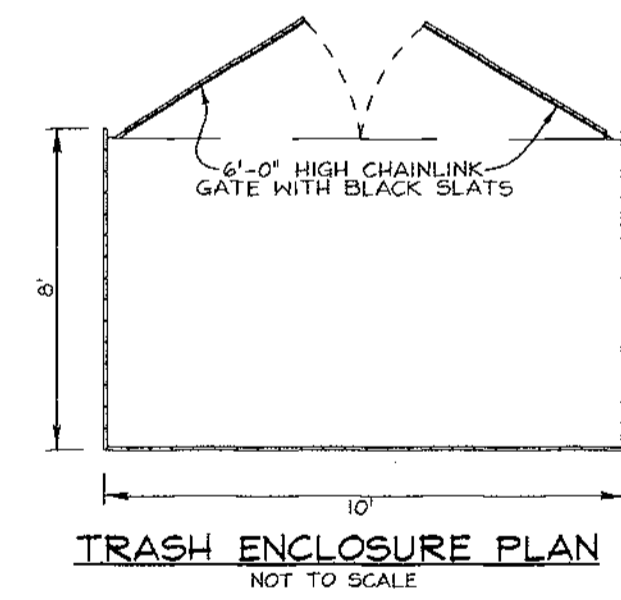
TYPICAL SIDEWALK DETAIL
NOT TO SCALE



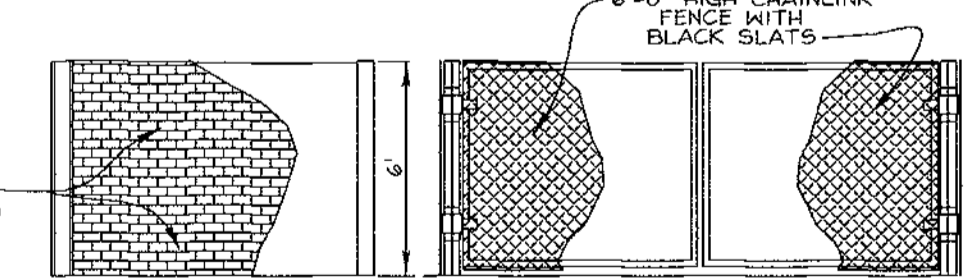
P-3 PAVING SECTION
NOT TO SCALE



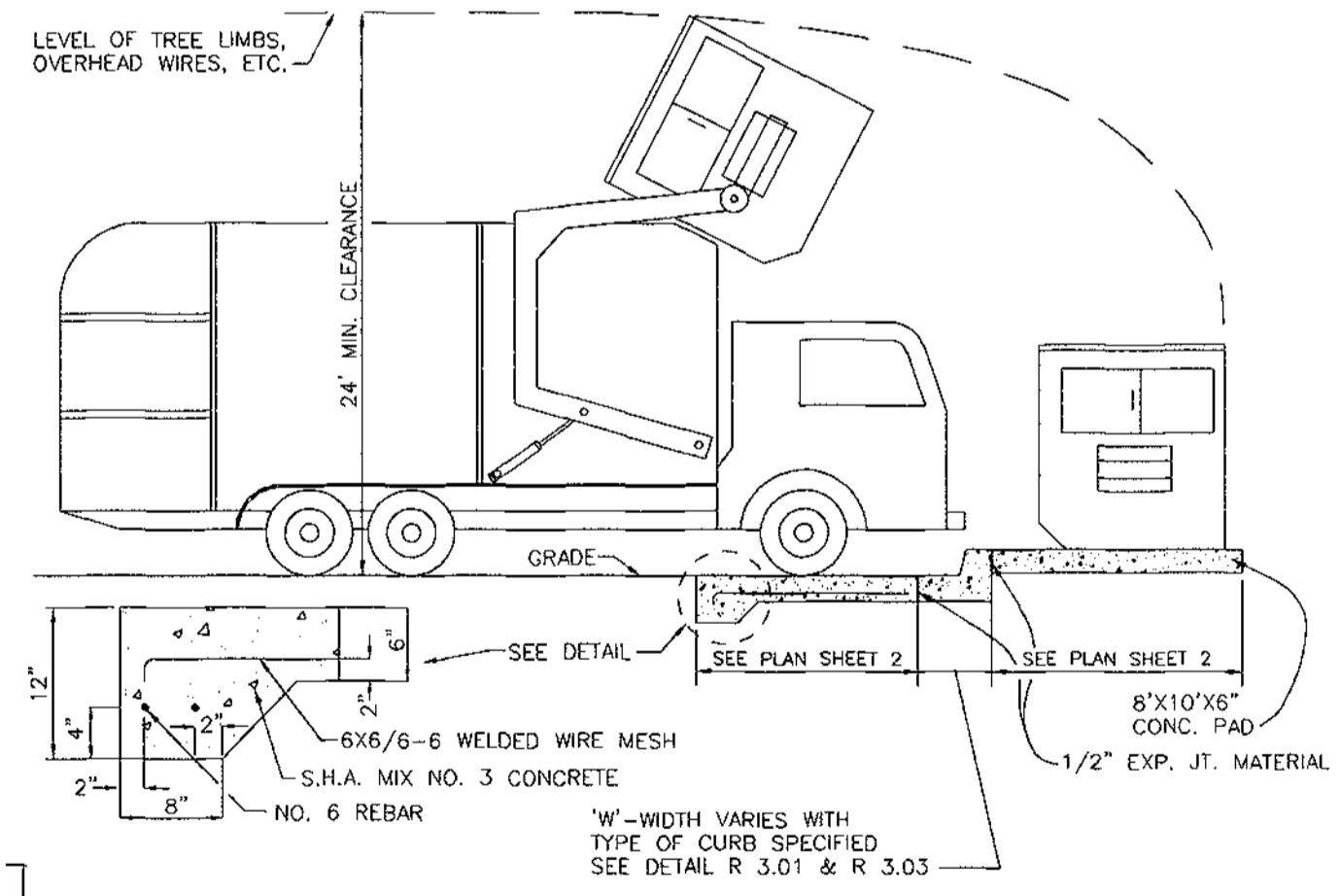
MD. TYPE 'A' CONCRETE COMBINATION CURB AND GUTTER
MD. NO. 620.02
NOT TO SCALE



TRASH ENCLOSURE PLAN
NOT TO SCALE



TRASH ENCLOSURE ELEVATION
NOT TO SCALE



SOLID WASTE SERVICE PAD
HOWARD COUNTY STD. R 11.01
NOT TO SCALE

OWNER/DEVELOPER

J. KENT McNEIN
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401

VOGEL & ASSOCIATES
ENGINEERS/SURVEYORS/PLANNERS
3891 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3965

ENGINEERS CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer
ROBERT H. VOGEL
DATE: 1/11/00

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC, ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Developer
DATE: 1/12/00

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

USA - NATURAL RESOURCES CONSERVATION SERVICE DATE
THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL MEETING THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature of Director
DATE: 2/12/00
Signature of Chief, Division of Land Development
DATE: 2/7/00
Signature of Chief, Development Engineering Division
DATE: 2/2/00

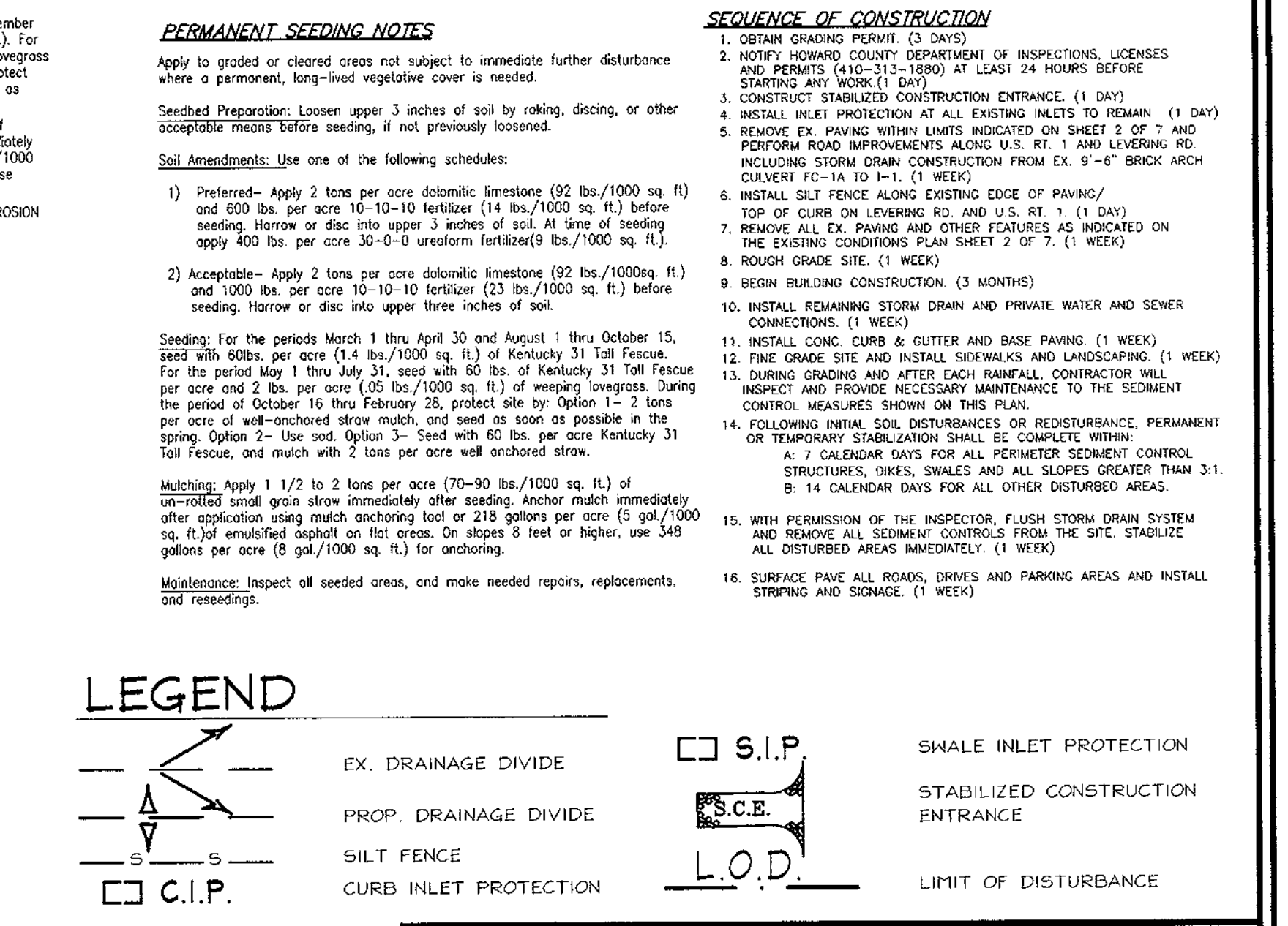
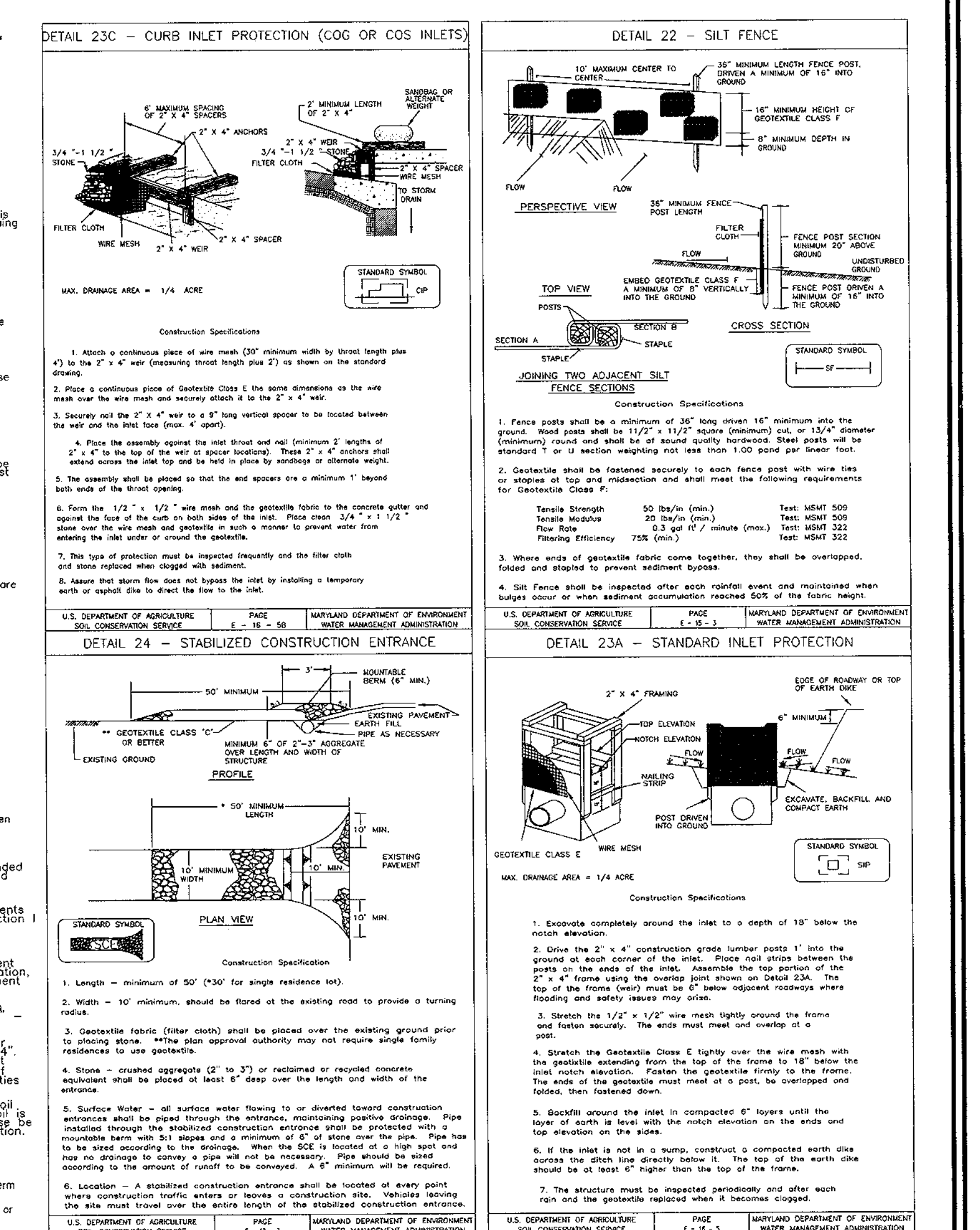
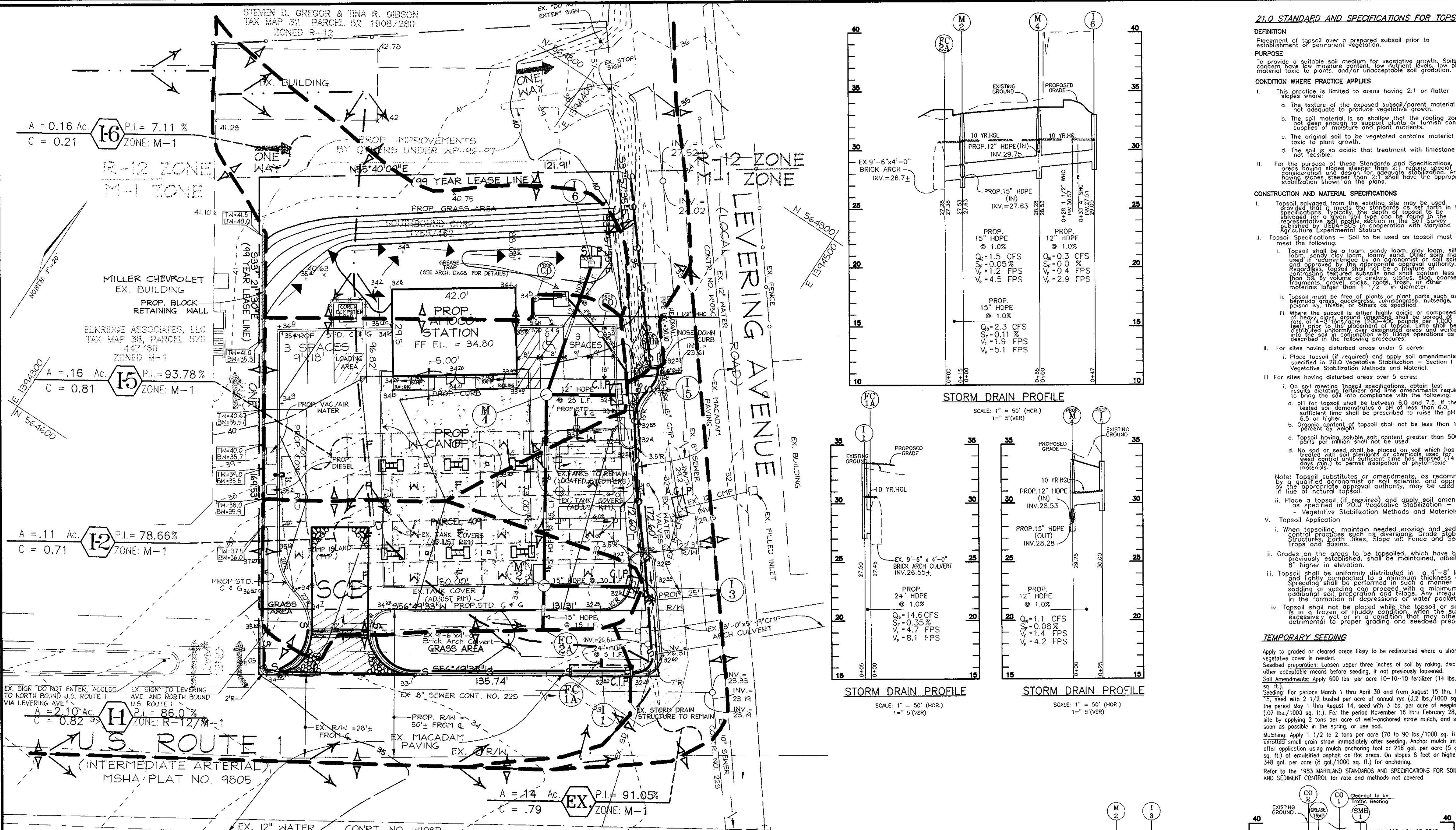
5-1200	Revised SHC	PLP
DATE	NO.	BY
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
N/A	N/A	409 & P/O 570
DEED/LEASE NO.	BLOCK NO.	ZONE
1265/462	24	M-1
1577/281		
4457/0090		
4457/2083		
TAX/ZONE	ELECT. DIST.	CENSUS TR.
24	1ST	6012
WATER CODE	AD5	SEWER CODE
		20221000

SITE GRADING PLAN, DETAILS & SECTIONS FOR ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: G.H.
DRAWN BY: J.E.R./G.A.H.
CHECKED BY: R.H.V.
DATE: JAN 2000
SCALE: 1"=20'
W.O. NO.: 98-092

3 SHEET OF 7

ROBERT H. VOGEL, PE #16193



OWNER/DEVELOPER
J. KENT McNEW
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401

ENGINEERS CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

PERMIT INFORMATION CHART

DATE	NO.	REVISION	BY
01/10/00	1	Revised SHC	FLP

SEWER & STORM DRAIN PROFILES, NOTES AND DETAILS FOR ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: G.A.H.
DRAWN BY: J.E.R./G.A.H.
CHECKED BY: R.H.V.
DATE: JAN. 2000
SCALE: AS SHOWN
W.O. NO.: 98-092
5 SHEET OF 7

VOGEL & ASSOCIATES
ENGINEERS/SURVEYORS/PLANNERS
3691 Park Avenue, Suite 101 • Elkridge City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3566

ROBERT H. VOGEL
SIGNATURE OF ENGINEER
DATE: 1/10/00

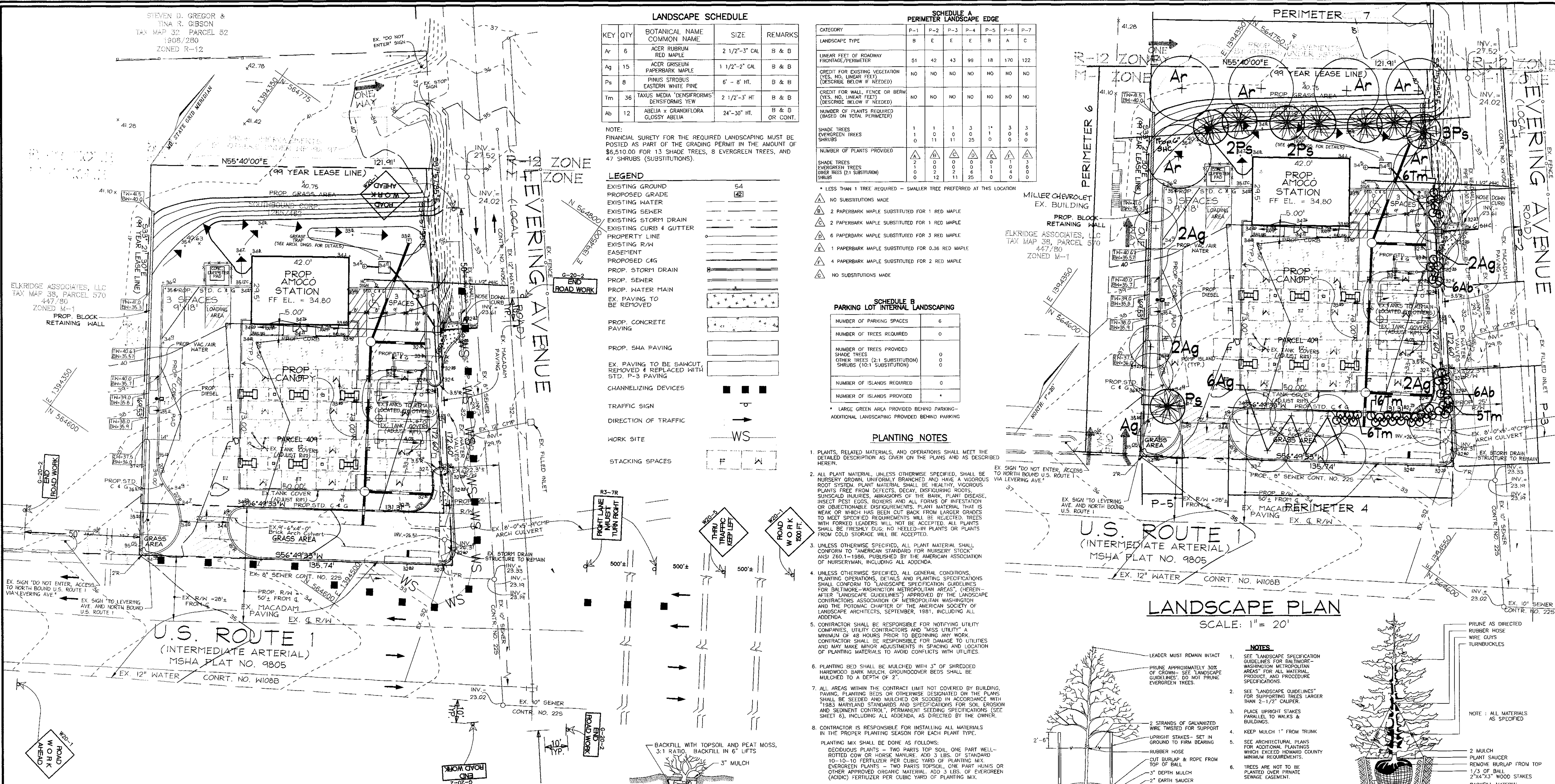
J. KENT McNEW
SIGNATURE OF DEVELOPER
DATE: 1/13/00

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 2/7/00

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 2/6/00

ROBERT H. VOGEL, P.E. #16193

STEVEN D. GREGOR &
TINA R. GIBSON
TAX MAP 38, PARCEL 52
1308/280
ZONED R-12



LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
Ar	6	ACER RUBRUM RED MAPLE	2 1/2"-3" CAL	B & B
Ag	15	ACER GRiseum PAPERBARK MAPLE	1 1/2"-2" CAL	B & B
Ps	8	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HT.	B & B
Tm	36	TAXUS MEDIA 'DENSIFORMIS' DENSIFORMIS YEW	2 1/2"-3" HT	B & B
Ab	12	ABELIA x GRANDIFLORA GLOSSY ABELIA	24"-30" HT.	B & B

NOTE:
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$6,510.00 FOR 13 SHADE TREES, 8 EVERGREEN TREES, AND 47 SHRUBS (SUBSTITUTIONS).

LEGEND

EXISTING GROUND	54
PROPOSED GRADE	42
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
EXISTING R/W EASEMENT	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
EX. PAVING TO BE REMOVED	
PROP. CONCRETE PAVING	
PROP. SHA PAVING	
EX. PAVING TO BE SAWCUT, REMOVED & REPLACED WITH STD. P-3 PAVING	
CHANNELIZING DEVICES	
TRAFFIC SIGN	
DIRECTION OF TRAFFIC	
WORK SITE	WS
STACKING SPACES	

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	P-1	P-2	P-3	P-4	P-5	P-6	P-7
LANDSCAPE TYPE	B	E	E	E	B	A	C
LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	51	42	43	99	18	170	122
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED (BASED ON TOTAL PERIMETER)							
SHADE TREES	1	1	1	3	1	3	3
EVERGREEN TREES	1	0	11	0	25	0	0
SHRUBS	0	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED	1	0	12	0	11	4	0
SHADE TREES	2	0	0	0	0	1	3
EVERGREEN TREES	0	0	0	0	0	1	0
SHRUBS (BY SUBSTITUTION)	0	0	0	0	0	0	0

- * LESS THAN 1 TREE REQUIRED - SMALLER TREE PREFERRED AT THIS LOCATION
- △ NO SUBSTITUTIONS MADE
- △ 2 PAPERBARK MAPLE SUBSTITUTED FOR 1 RED MAPLE
- △ 2 PAPERBARK MAPLE SUBSTITUTED FOR 1 RED MAPLE
- △ 6 PAPERBARK MAPLE SUBSTITUTED FOR 3 RED MAPLE
- △ 1 PAPERBARK MAPLE SUBSTITUTED FOR 0.36 RED MAPLE
- △ 4 PAPERBARK MAPLE SUBSTITUTED FOR 2 RED MAPLE
- △ NO SUBSTITUTIONS MADE

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	6
NUMBER OF TREES REQUIRED	0
NUMBER OF TREES PROVIDED	0
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
SHRUBS (10:1 SUBSTITUTION)	0
NUMBER OF ISLANDS REQUIRED	0
NUMBER OF ISLANDS PROVIDED	*

* LARGE GREEN AREA PROVIDED BEHIND PARKING - ADDITIONAL LANDSCAPING PROVIDED BEHIND PARKING

PLANTING NOTES

- PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISKURING ROOTS, SUNSCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFECTION OR OBSTRUCTIBLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FREELY DUG, NO FUELLED-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1986, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREIN-AFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, SEPTEMBER, 1981, INCLUDING ALL ADDENDA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANTING MATERIALS TO AVOID CONFLICTS WITH UTILITIES.
- PLANTING BED SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD BARK MULCH, GROUND COVER BEDS SHALL BE MULCHED TO A DEPTH OF 2".
- ALL AREAS WITHIN THE CONTRACT LIMIT NOT COVERED BY BUILDING, PAVING, PLANTING BEDS OR OTHERWISE DESIGNATED ON THE PLANS SHALL BE SEEDED AND MULCHED OR SOURED IN ACCORDANCE WITH 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PERMANENT SEEDING SPECIFICATIONS (SEE SHEET 6), INCLUDING ALL ADDENDA, AS DIRECTED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. PLANTING MIX SHALL BE DONE AS FOLLOWS:
DECIDUOUS PLANTS - TWO PARTS TOP SOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE, ADD 3 LBS. OF STANDARD 10-10-10 FERTILIZER PER CUBIC YARD OF PLANTING MIX.
EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL, ADD 3 LBS. OF EVERGREEN (40:0:0) FERTILIZER PER CUBIC YARD OF PLANTING MIX.
- TOPSOIL SHALL CONFORM TO LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR LANDSCAPE PLAN ONLY. SEE OTHER PLAN SHEETS FOR INFORMATION ON GRADING, SEDIMENT CONTROL, LAYOUT, ETC.
- CONTRACTOR TO ADJUST PLANTINGS AS REQUIRED WITH PRIOR APPROVAL OF THE ENGINEER OR LANDSCAPE ARCHITECT.



OWNER/DEVELOPER
J. KENT McNEW
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401

VOGEL & ASSOCIATES
ENGINEERS-SURVEYORS-PLANNERS
3891 Park Avenue, Suite 101 • Elkridge, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

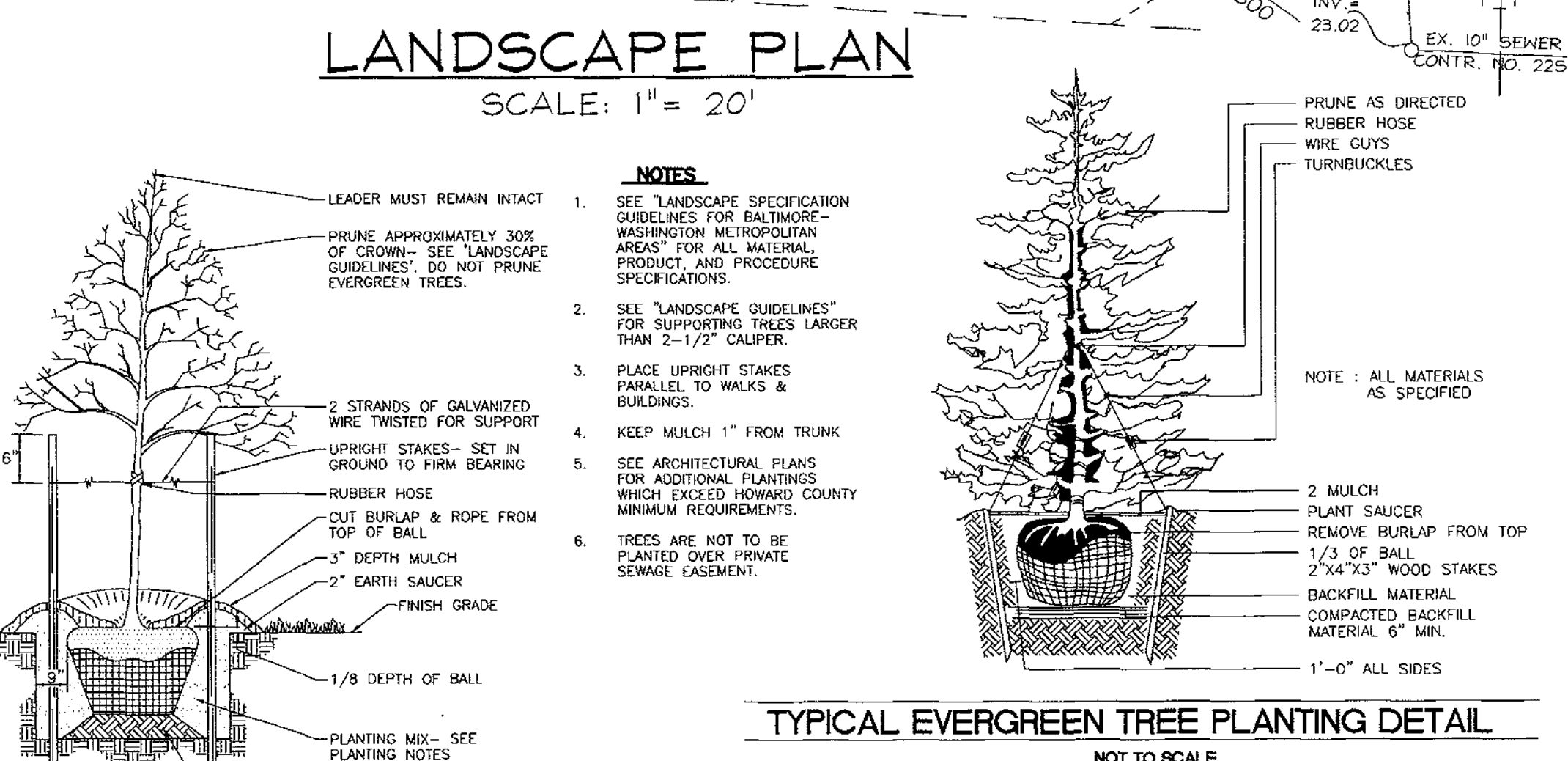
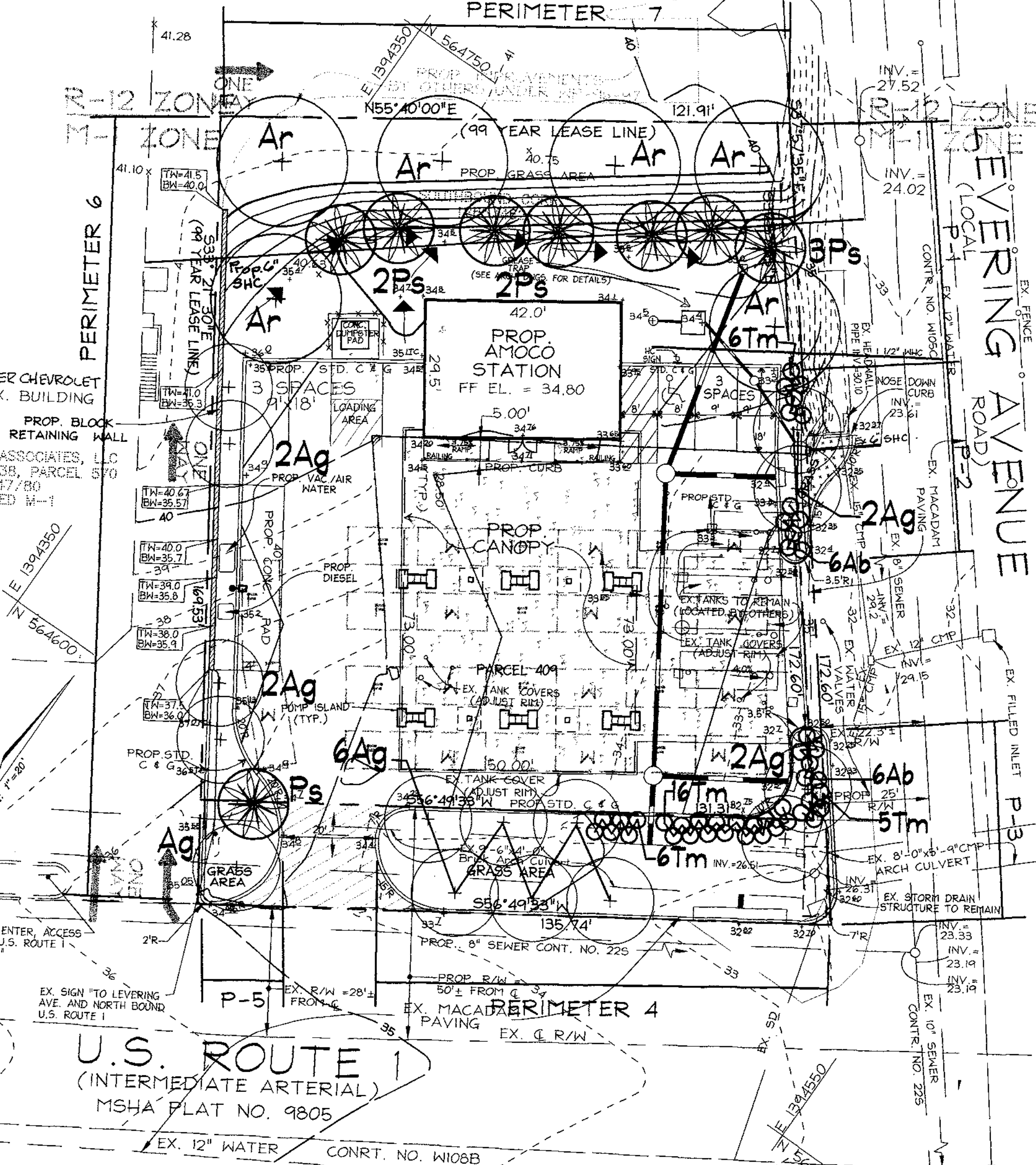
[Signature] 1/12/00
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/9/00
DIRECTOR DATE

[Signature] 2/10
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 2/10/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



TRAFFIC CONTROL AND LANDSCAPE PLANS, NOTES AND DETAILS FOR ELKRIDGE AMOCO

5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN

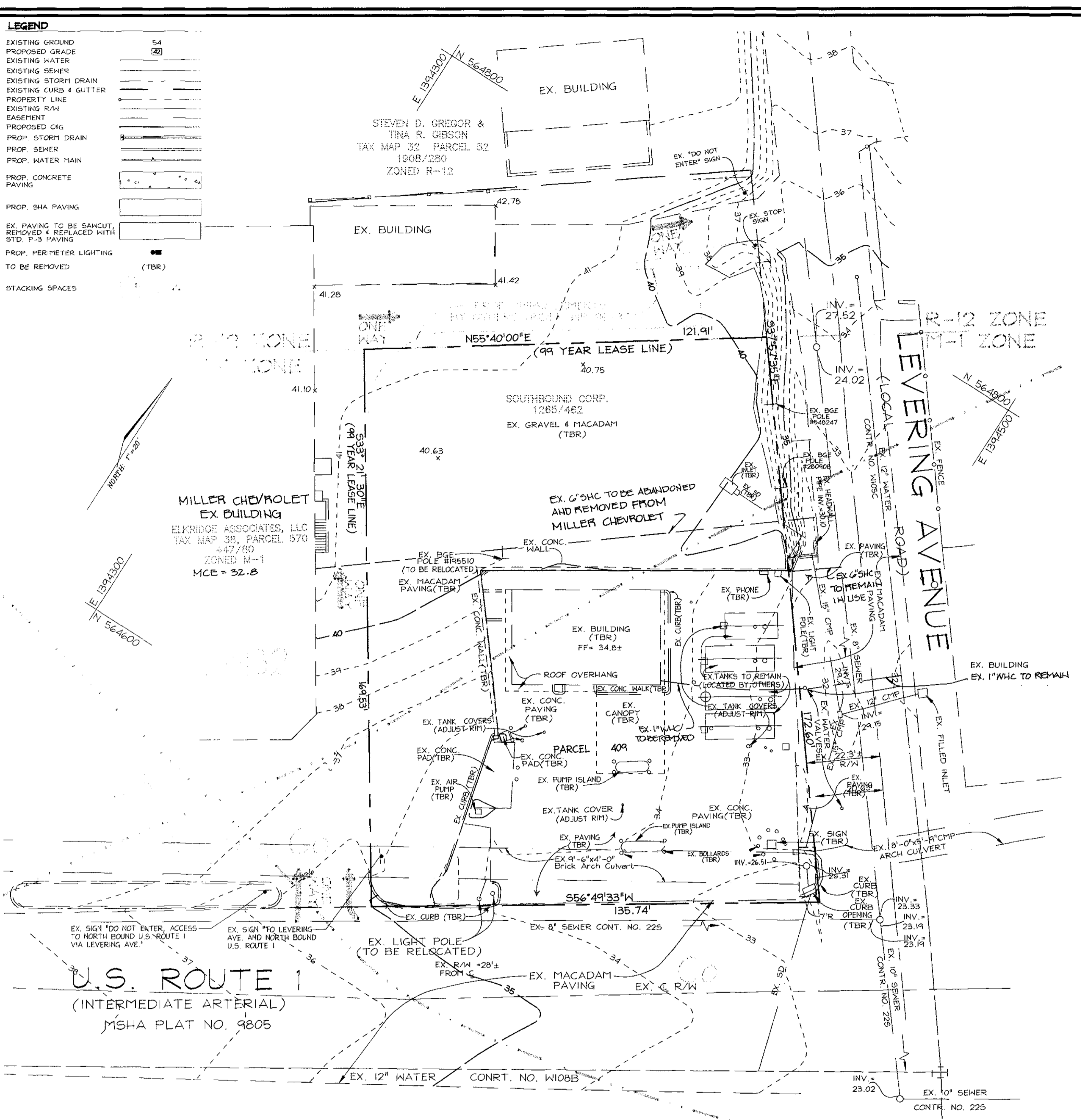
TAX MAP #38 BLOCK 4 PARCELS 404 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DESIGN BY: G.H.
DRAIN BY: J.E.R.
CHECKED BY: R.H.W.
DATE: JAN. 2000
SCALE: 1" = 20'
H.O. NO.: 98-92

6 SHEET OF 7

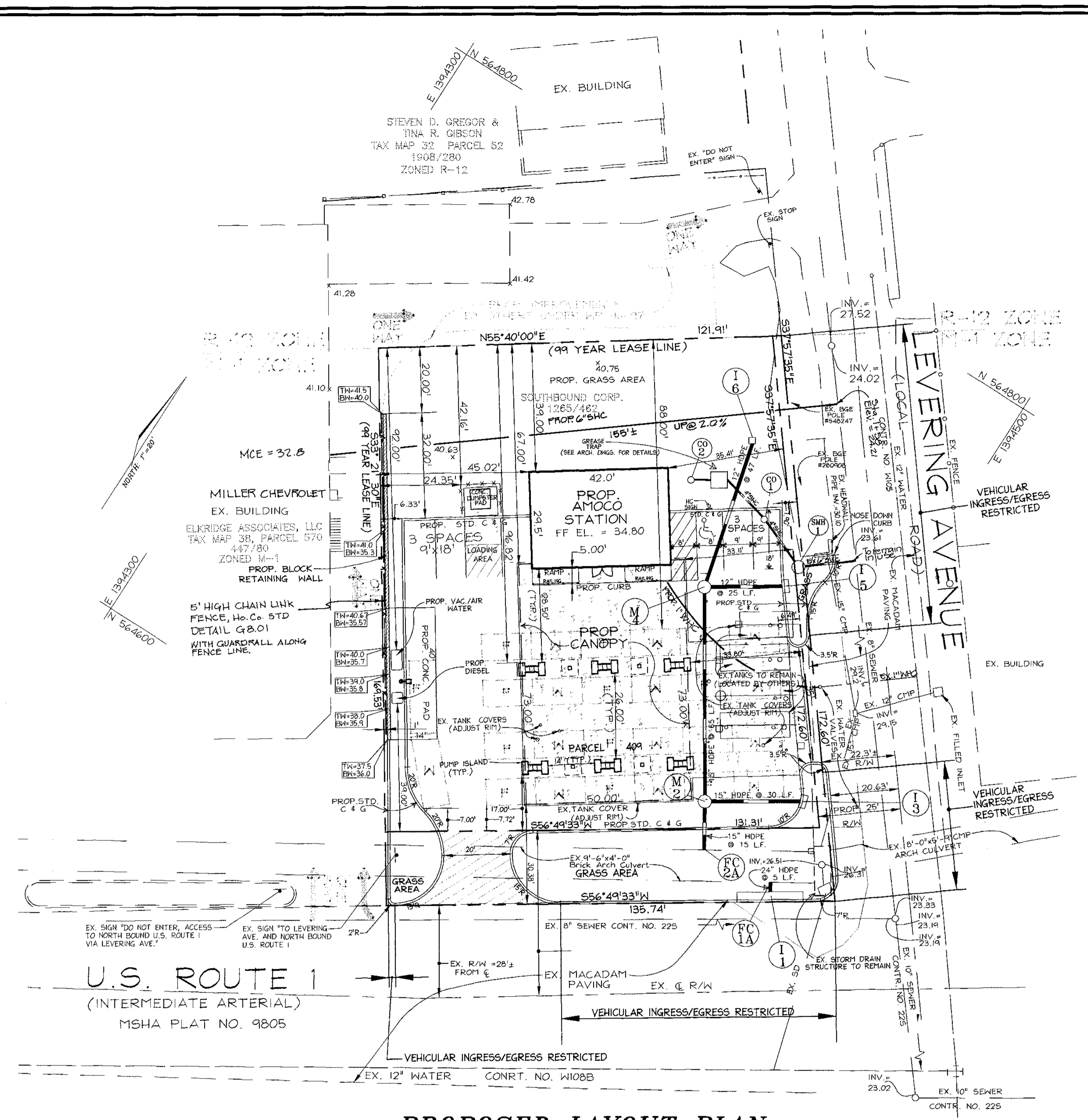
LEGEND

EXISTING GROUND	54
PROPOSED GRADE	54
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CURB & GUTTER	
PROPERTY LINE	
EXISTING R/W	
EASEMENT	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
PROP. CONCRETE PAVING	
PROP. SHA PAVING	
EX. PAVING TO BE SANICUT, REMOVED & REPLACED WITH STD. F-3 PAVING	
PROP. PERIMETER LIGHTING TO BE REMOVED	(TBR)
STACKING SPACES	



EXISTING CONDITIONS PLAN

SCALE: 1" = 20'



PROPOSED LAYOUT PLAN

SCALE: 1" = 20'

OWNER/DEVELOPER

J. KENT McNEW
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401



3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John A. ... 2/8/00
DIRECTOR DATE

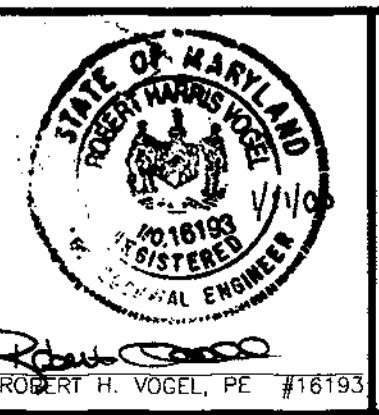
Wendy Hamilton 2/7/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Chris ... 2/2/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

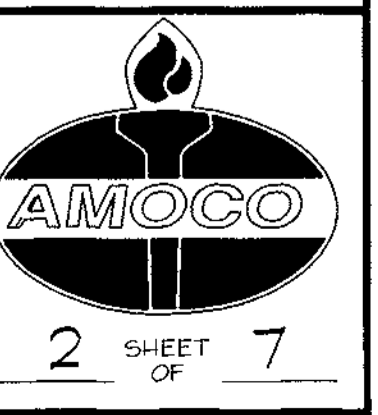
DATE	NO.	REVISION	BY
2-5-00	2	REVISE PROPOSED WHIC	JCO
5-11-00	1	Rev. WHIC & SHC Information	RLP

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
N/A	N/A	409 & P/O 570	
DEED/LEASE NO.	BLOCK NO.	ZONE	TAX/ZONE
1265/482	4	M-1	38
1877/281			
4457/2090			
4457/2093			
WATER CODE	A05	SEWER CODE	20221000

EXISTING CONDITION & PROPOSED LAYOUT PLANS FOR
ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



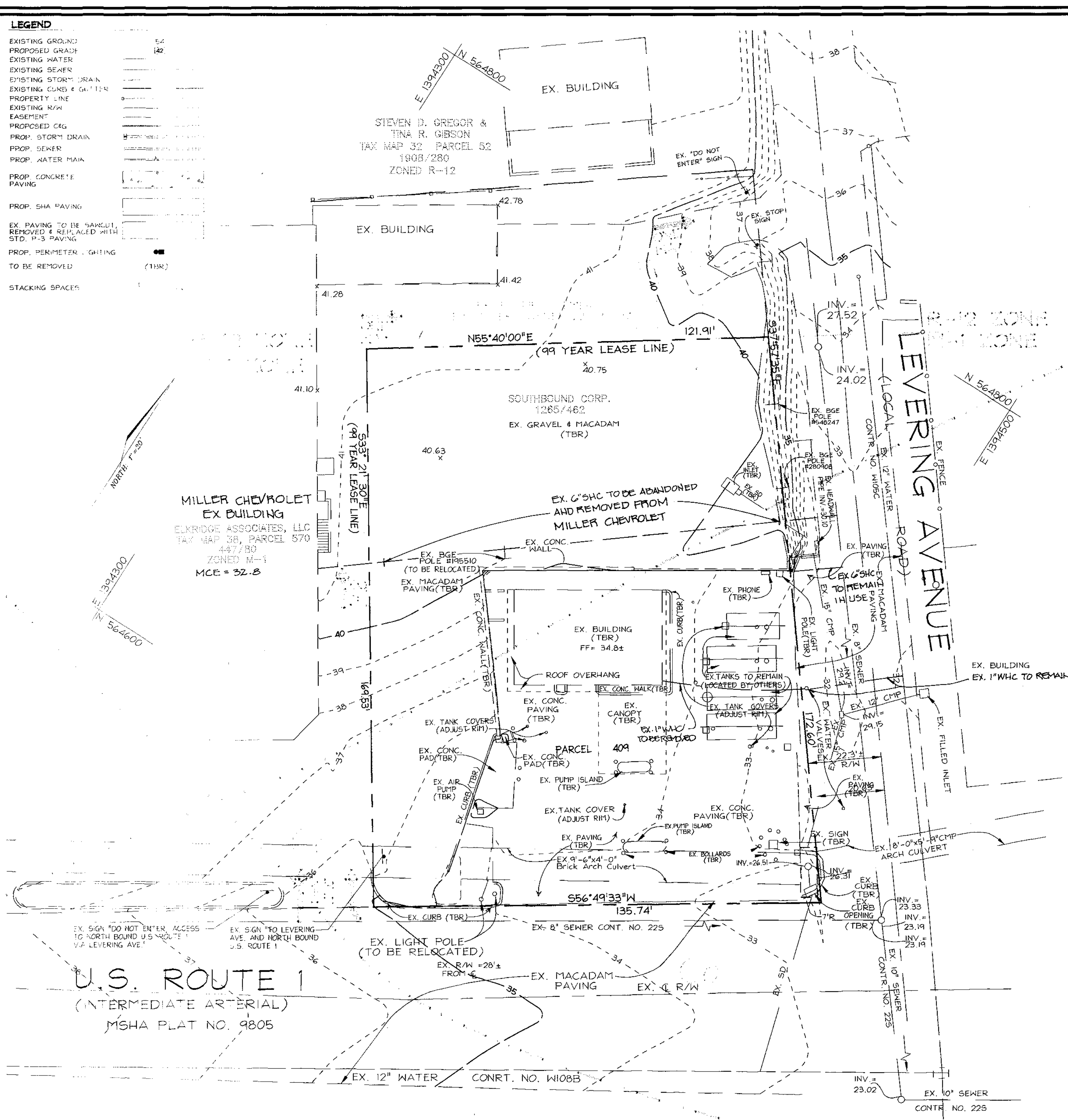
DESIGN BY: G.H.
DRAINED BY: J.E.R.N.G.H.
CHECKED BY: R.H.V.
DATE: JAN. 2000
SCALE: 1"=20'
W.O. NO.: 98-92



2 SHEET OF 7

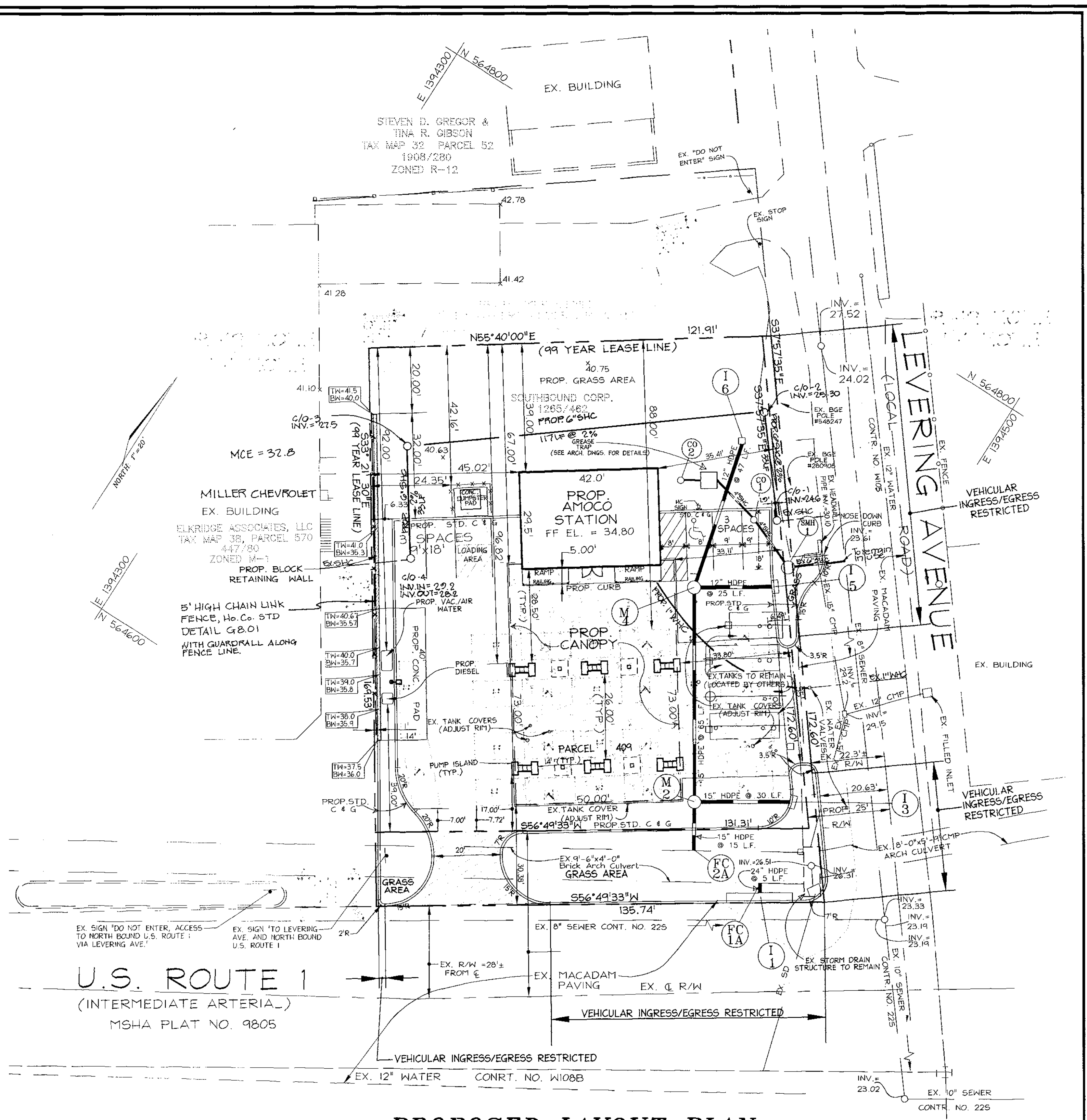
LEGEND

EXISTING GROUND	54
PROPOSED GRADE	12
EXISTING WATER	
EXISTING SEWER	
EXISTING STORM DRAIN	
EXISTING CONC & GUTTER	
PROPERTY LINE	
EXISTING R/W	
EASEMENT	
PROPOSED C&G	
PROP. STORM DRAIN	
PROP. SEWER	
PROP. WATER MAIN	
PROP. CONCRETE PAVING	
PROP. SHA PAVING	
EX. PAVING TO BE REMOVED, REMOVED & REPLACED WITH STD. 1'-3" PAVING	
PROP. PERIMETER LIGHTING TO BE REMOVED	(THK)
STACKING SPACES	



EXISTING CONDITIONS PLAN

SCALE: 1" = 20'



PROPOSED LAYOUT PLAN

SCALE: 1" = 20'

OWNER/DEVELOPER

J. KENT McNEW
C/O EASTERN PETROLEUM CORP.
33 HUDSON STREET
ANNAPOLIS, MARYLAND 21401



3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John A. Kuster 2/6/00
DIRECTOR DATE

Wanda R. Hamilton 2/7/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

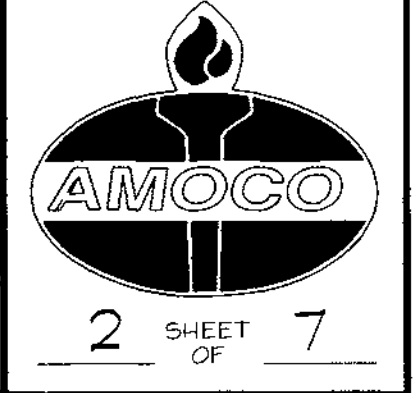
William J. Dammann 2/2/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

11-20-00	2	REVISE SHC TO MILLER CHEVROLET	JCO
2-5-00	2	REVISE PROPOSED WHC	JCO
5-11-00	1	Rev. WHC & SHC information	RLP
DATE	NO.	REVISION	BY
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER	
N/A	N/A	409 & P/O 570	
DEED/LEASE NO.	BLOCK NO.	ZONE	TAX/ZONE
	4	M-1	38
			ELECT. DIST.
			1ST
			CENSUS TR.
			6012
WATER CODE	AD5	SEWER CODE	20221000

EXISTING CONDITION & PROPOSED LAYOUT PLANS
FOR
ELKRIDGE AMOCO
5816 WASHINGTON BOULEVARD
SITE DEVELOPMENT PLAN
TAX MAP #38 BLOCK 4 PARCELS 409 & P/O 570
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



DESIGN BY: G.H.
DRAWN BY: J.E.R.N.G.H.
CHECKED BY: R.H.V.
DATE: JAN 2000
SCALE: 1"=20'
W.O. NO.: 98-92



2 SHEET OF 7