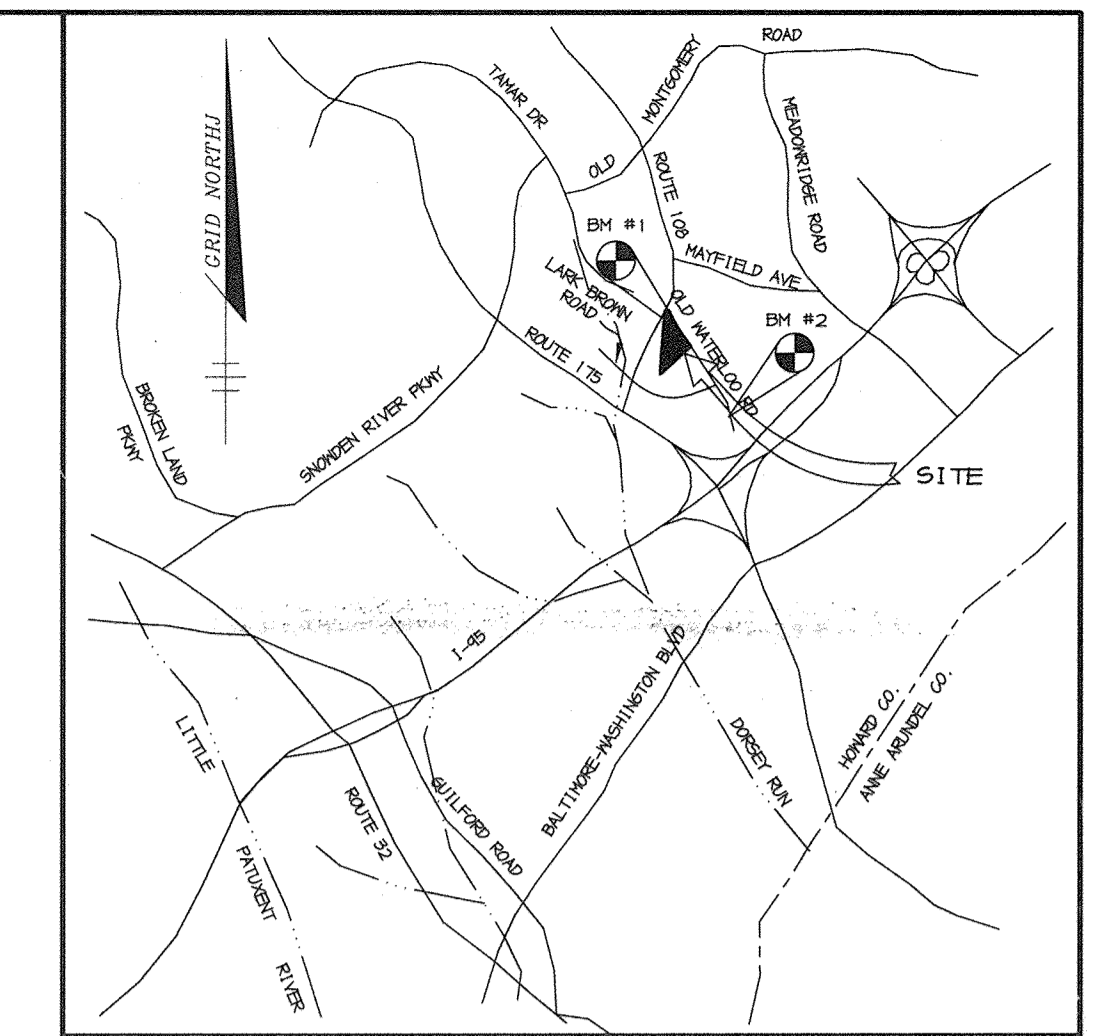


SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	DRAINAGE AREA MAP, GRADING AND SEDIMENT CONTROL PLAN
4	PROFILES AND DETAILS
5	SEDIMENT CONTROL NOTES AND DETAILS
6	SWM PROFILES AND DETAILS
7	WATER QUALITY NOTES AND DETAILS
8	LANDSCAPING PLAN

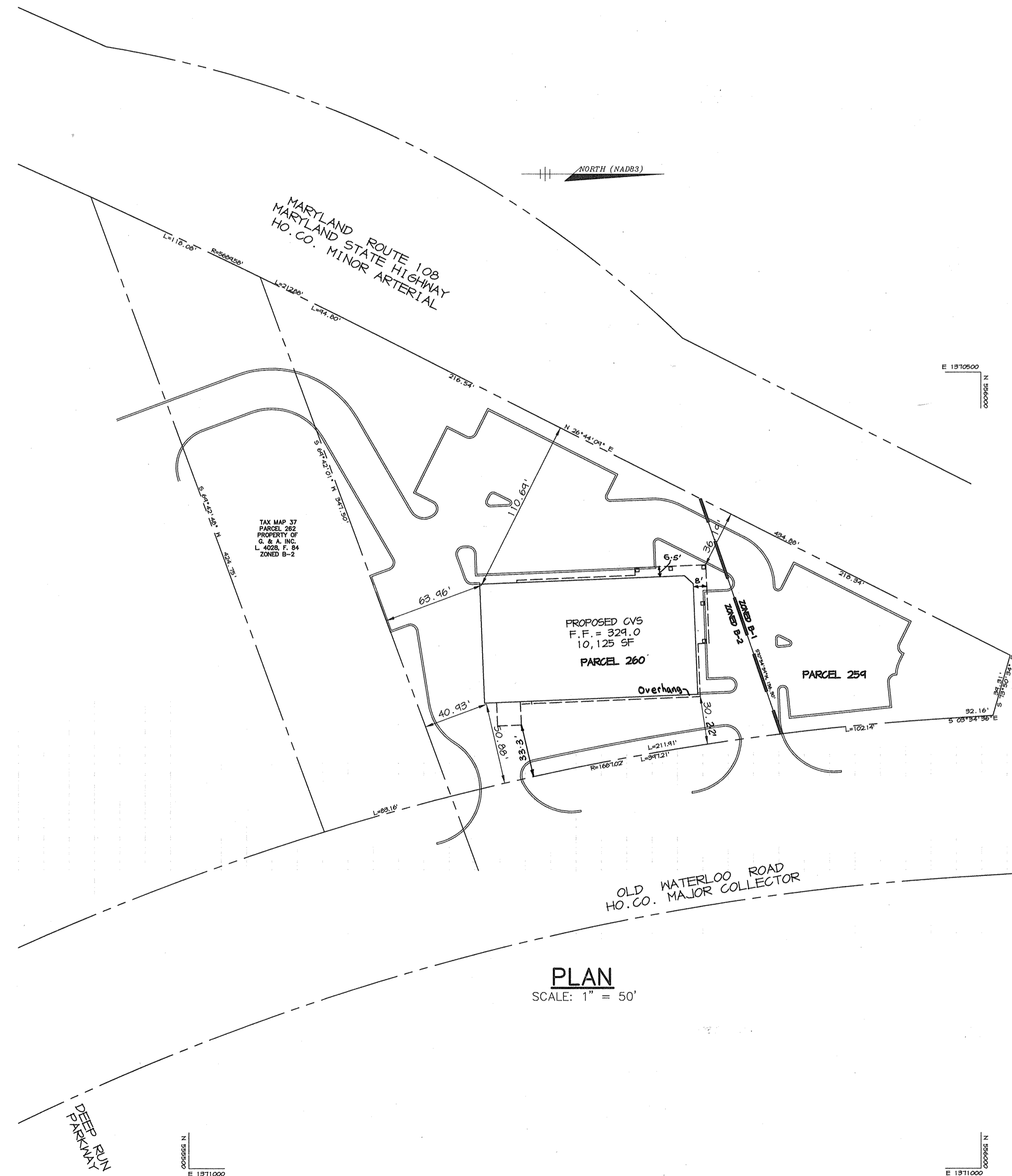
CVS SITE DEVELOPMENT PLAN RETAIL STORE 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



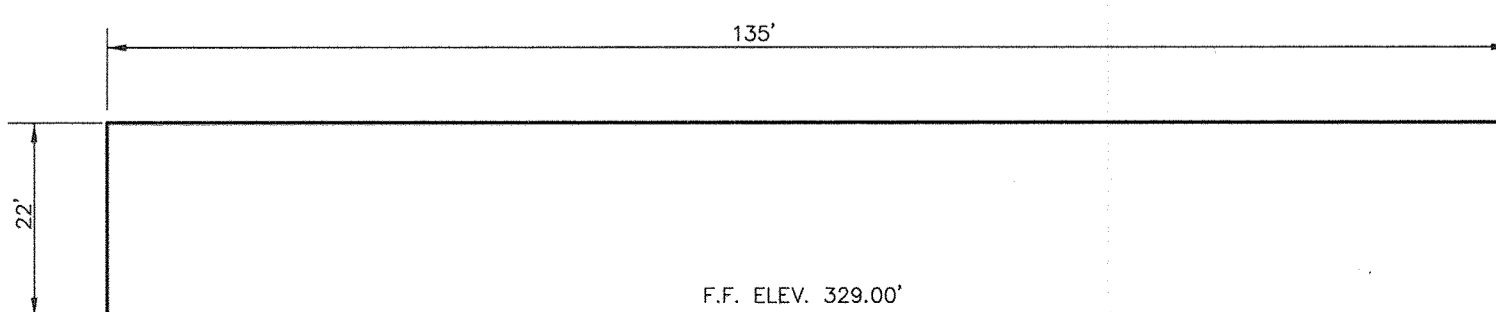
VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOC. DATED AUGUST, 1997.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. STATION NUMBERS 37GC AND 37HC WERE USED.
- WATER IS PUBLIC, CONTRACT NO. 320-W.
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: DORSEY TREATMENT PLANT: DORSEY RUN PUMPING STATION CONTRACT NO. 24-3629-D.
- STORMWATER MANAGEMENT IS PROVIDED VIA A BAYSAYER UNIT AND AN EXPANSION OF THE OFF-SITE RETENTION POND CONSTRUCTED UNDER SDP-97-106. A SHARED MAINTENANCE AGREEMENT FOR USE OF THE PRIVATE SWM FACILITY HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MD AS LIBER NO. 4834 / FOLIO NO. 520.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL STUDY FOR THIS PROJECT WAS PERFORMED BY LAW ENGINEERING AND ENVIRONMENTAL SERVICES, INC. AND IS DATED JUNE 18, 1996. A SUPPLEMENTAL STORMWATER MANAGEMENT GEOTECHNICAL REPORT WAS PERFORMED BY ENGINEERING CONSULTING SERVICES DATED APRIL, 1997.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PERFORMED BY RIEMER MUEGGE & ASSOCIATES, INC. DATED MAY, 1997.
- SUBJECT PROPERTY ZONED B-1 & B-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S - SDP-97-106, F-98-56(FOOD LION SITE)
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THERE ARE NO WETLANDS ON-SITE FOR THIS PROJECT BASED ON A FIELD INSPECTION CONDUCTED BY RMA, INC. ON MARCH, 1999.
- A LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE TO SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL FOR THIS SITE. SEE SHEET 8 FOR THE REQUIRED FINANCIAL SURETY.
- A CROSS-EASEMENT TO UTILIZE THE USE-IN-COMMON ACCESS EASEMENT ACROSS PARCELS A AND B OF THE FOOD LION SITE AND PARCEL 262 HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MARYLAND, AS LIBER 4834, FOLIO 561.
- THE FOREST CONSERVATION OBLIGATIONS INCURRED BY THIS PROJECT (0.23 ACRES OF AFFORESTATION) HAS BEEN MET BY PAYMENT OF A FEE-IN-LIEU IN THE AMOUNT OF \$3005.64.
- DESIGN MANUAL WAIVER REQUEST DATED 3-24-99 WAIVING SECTIONS 5.2.6.A, 5.2.6.D, 5.2.6.E AND 5.2.6.F WERE APPROVED BY DEVELOPMENT ENGINEERING DIVISION ON 4-2-99 AND 6-24-99.



PLAN
SCALE: 1" = 50'



NOTE: SEE ARCHITECTURAL DRAWINGS FOR COMPLETE BUILDING DETAILS AND ELEVATIONS.
WEST ELEVATION - BUILDING A
NO SCALE



***ADA COMPLIANT REVISIONS PROFESSIONAL CERTIFICATION**
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 27221 **BRADLEY J. DAVIS**
EXP. 03/19/2020

SITE ANALYSIS

AREA OF PARCEL 259	0.328 ACRES (14,267 SF)
AREA OF PARCEL 260	1.215 ACRES (52,924 SF)
	TOTAL: 1.543 ACRES (67191 SF)
DISTURBED AREA	2.30 ACRES (100,188.00 SF)
PRESENT ZONING	B-1 & B-2
PROPOSED USE	RETAIL
BUILDING COVERAGE	10,094 SF (15.02% OF SITE)
# OF PARKING SPACES REQUIRED @ 5.0 SP/1000 SF	51 SPACES
# OF PARKING SPACES PROVIDED*	51 SPACES (3 HC)
PAVED AREA	52,272 SF (77.80% OF SITE)

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Dione Matunak M.D. 11/9/99
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Ken S. Smith 11/15/99
DIRECTOR DATE

Chris R. Williams 11/4/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Carole Hamilton 11/12/99
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

9/12/18 ADA COMPLIANT REVISIONS

DATE NO. REVISION

OWNER	OWNER
AUDREY OWENS ETAL 7533 GLENEAGLE DR. JESSUP, MD 20794 (410) 749-4655	OM HOSPITALITY MANAGEMENT, INC. 6251 WASHINGTON BLVD. ELKRIDGE, MD 21075 (410) 374-3045

DEVELOPER
ASTON PROPERTIES
6525 MORRISON BLVD., SUITE 300
CHARLOTTE, NC 28211
(704) 366-7337

PROJECT
CVS
RETAIL STORE

AREA
Parcels 259 & 260
Tax Map 37 Block 14, 20 Zoned B-1, B-2
6th Election District
Howard County, Maryland

TITLE
TITLE SHEET

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8900 fax 410.997.8282

DESIGNED BY : C.J.R.
DRAWN BY : D.A.M.
PROJECT NO : 98313 SDP1.DWG
DATE : OCTOBER 13, 1999
SCALE : AS SHOWN
DRAWING NO. 1 OF 8

AS-BUILT CERTIFICATE

Christopher J. Reid 9-12-00
CHRISTOPHER J. REID #19949 DATE

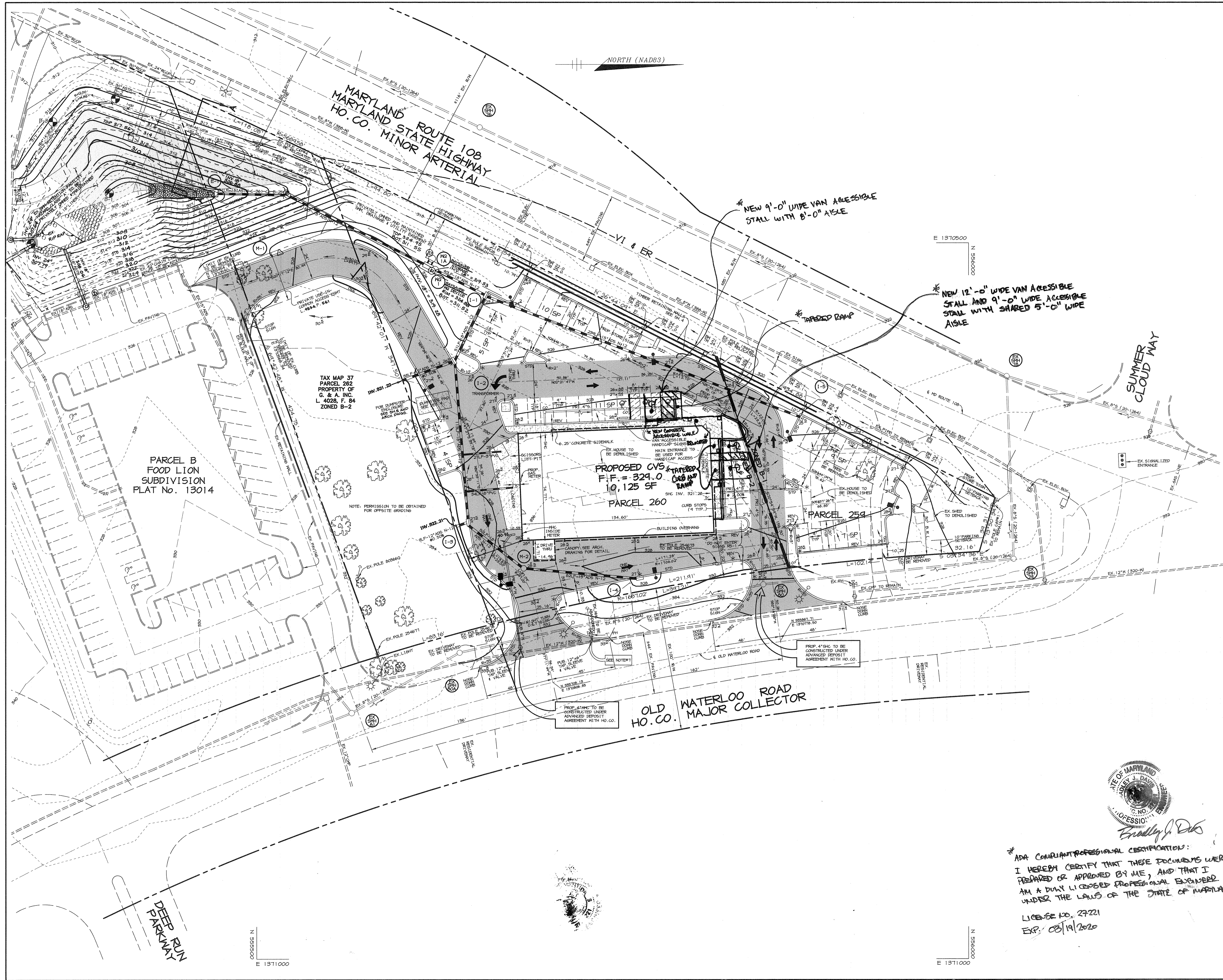
ADDRESS CHART

PARCEL	STREET ADDRESS
259 & 260	6480 OLD WATERLOO ROAD

SUBDIVISION NAME	SECT./AREA	PARCEL
CVS PHARMACY		259 & 260
PLAT # -	BLOCK # -	ZONING
N/A	14 & 20	B-1 B-2
TAX MAP NO. -	37	ELECT. DIST. -
		6th
SEWER CODE -	6067.03	
E08		
SEWER CODE -	3460000	

AS-BUILT CONTROL BENCHMARKS

- ✓ BM #1
HOCO MONUMENT 37GC
ELEV. 331.93
N 555,250.79 E 1,370,946.36
- ✓ BM #2
HOCO MONUMENT 37HC
ELEV. 291.79
N 552,854.21 E 1,372,639.50



LEGEND

- P-1 PAVING
- P-3 PAVING (HEAVY DUTY PAVING)
- STREET LIGHT-SEE NOTE
- SITE LIGHT (SINGLE)-SEE NOTE

- NOTES:**
1. STREET LIGHTS TO BE 150 WATT VAPOR PENDANT FIXTURES MOUNTED AT 30' WITH BRONZE FIBERGLASS POLE AND 12' ARM. SITE LIGHTS TO BE 1000 WATT METAL HALIDE VERTICAL LAMP ON SHOULDER ON 2'-4" BASE WITH 3" POLE (SINGLE, DOUBLE OR QUAD). SEE LIGHT POLE DETAIL SHEET 4.
 2. ALL OUTDOOR LIGHTING TO BE IN ACCORDANCE WITH SEC. 184 OF THE ZONING REGULATIONS. SEE SHEET 4 FOR DETAIL.
 3. ALL CURB RADII ARE 5' UNLESS OTHERWISE LABELED.
 4. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE LABELED.
 5. * LIMITS OF STD/REV CURB AND GUTTER.
 6. SEE TITLE SHEET FOR BUILDING LOCATION DIMENSIONS.
 7. HIC ABANDONMENT PROCEDURES:
 - A. CONTACT BUREAU OF UTILITIES.
 - B. SEWER AT CORPORATION COOK AND ENCASE IN CONCRETE AT MAIN. PROPOSED FIRE HYDRANT TO BE CONSTRUCTED UNDER ADD.
 8. SIG ABANDONMENT PROCEDURES:
 - A. CONTACT BUREAU OF UTILITIES.
 - B. DISCONNECT SIG AND FLAG AT MAIN.
 9. VI & ER = VEHICULAR INGRESS AND EGRESS RESTRICTED

AS-BUILT CERTIFICATE

Chris Reid

CHRISTOPHER J. REID # 19949 9.12.00 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Dione Matuszak M.D./R.N. 11/9/99 DATE
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph Smith 11/15/99 DATE
DIRECTOR

William Smith 11/4/99 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Cinda Hamilton 11/12/99 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

9/12/16 | ADA COMPLIANT REVISIONS

DATE NO.	REVISION
OWNER	OWNER
AUDREY OWENS ETAL 7533 GLENAGLE DR. JESSUP, MD 20794 (410) 799-4655	OM HOSPITALITY MANAGEMENT, INC. 6251 WASHINGTON BLVD. ELKRIDGE, MD 21075 (410) 379-3095
DEVELOPER	DEVELOPER
ASTON PROPERTIES 6525 MORRISON BLVD., SUITE 300 CHARLOTTE, NC 28211 (704) 366-7337	
PROJECT	PROJECT
CVS RETAIL STORE	
AREA	AREA
Parcels 259 & 260 Tax Map 37 Block 14, 20 Zoned B-1, B-2 6th Election District Howard County, Maryland	
TITLE	TITLE
SITE DEVELOPMENT PLAN	

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8900 fax 410.997.9282

DATE: 9/11/00

DESIGNED BY: C.J.R.

DRAWN BY: D.A.M.

PROJECT NO: 98313 SDP2.DWG

DATE: OCTOBER 13, 1999

SCALE: 1" = 30'

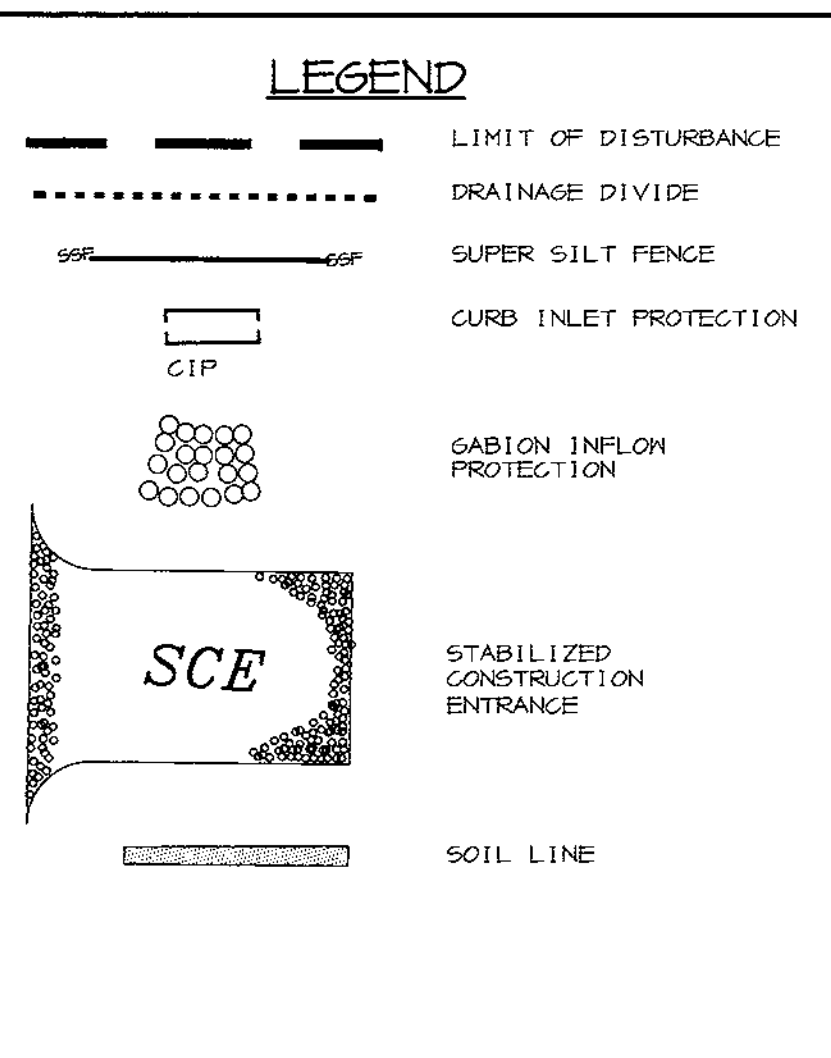
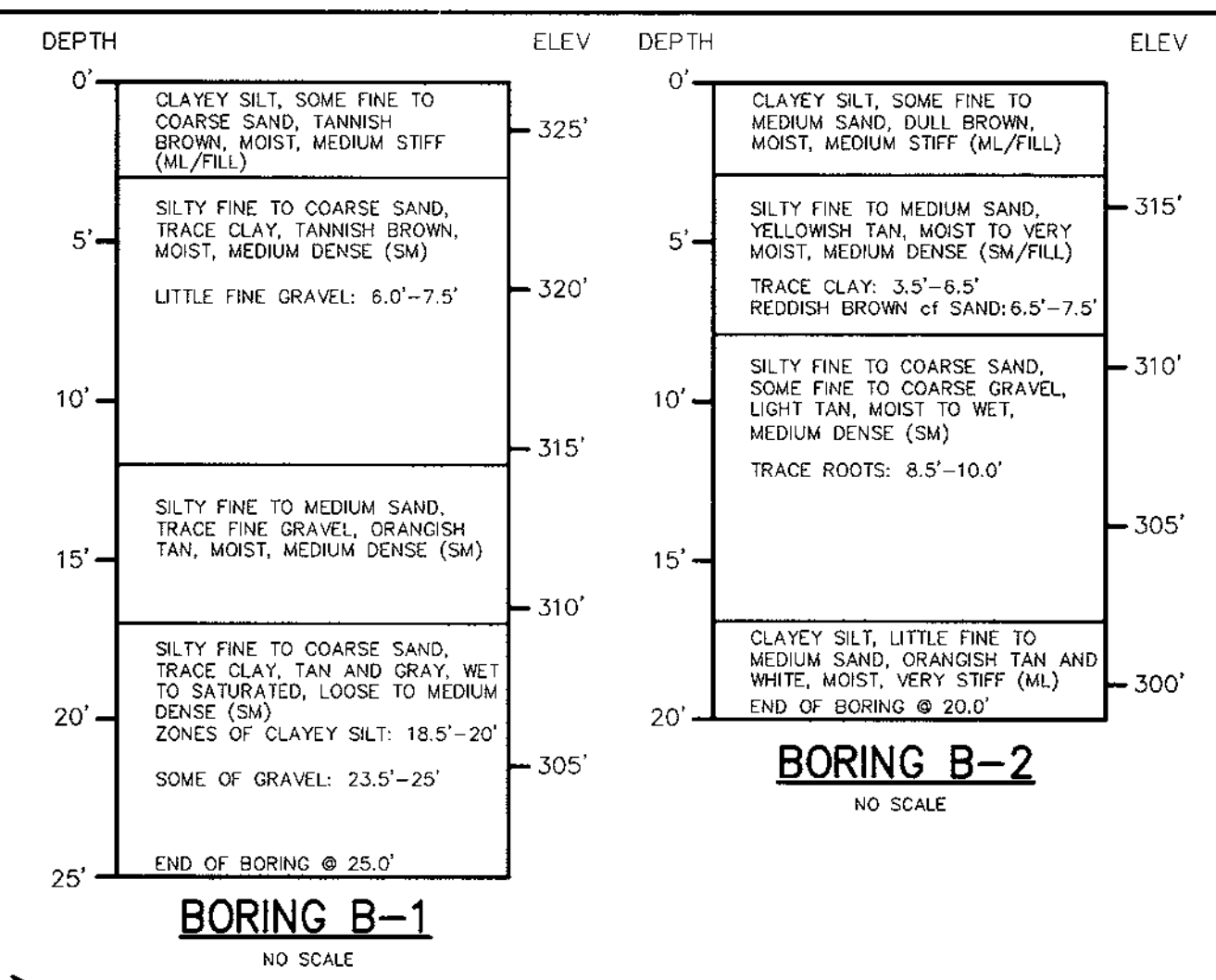
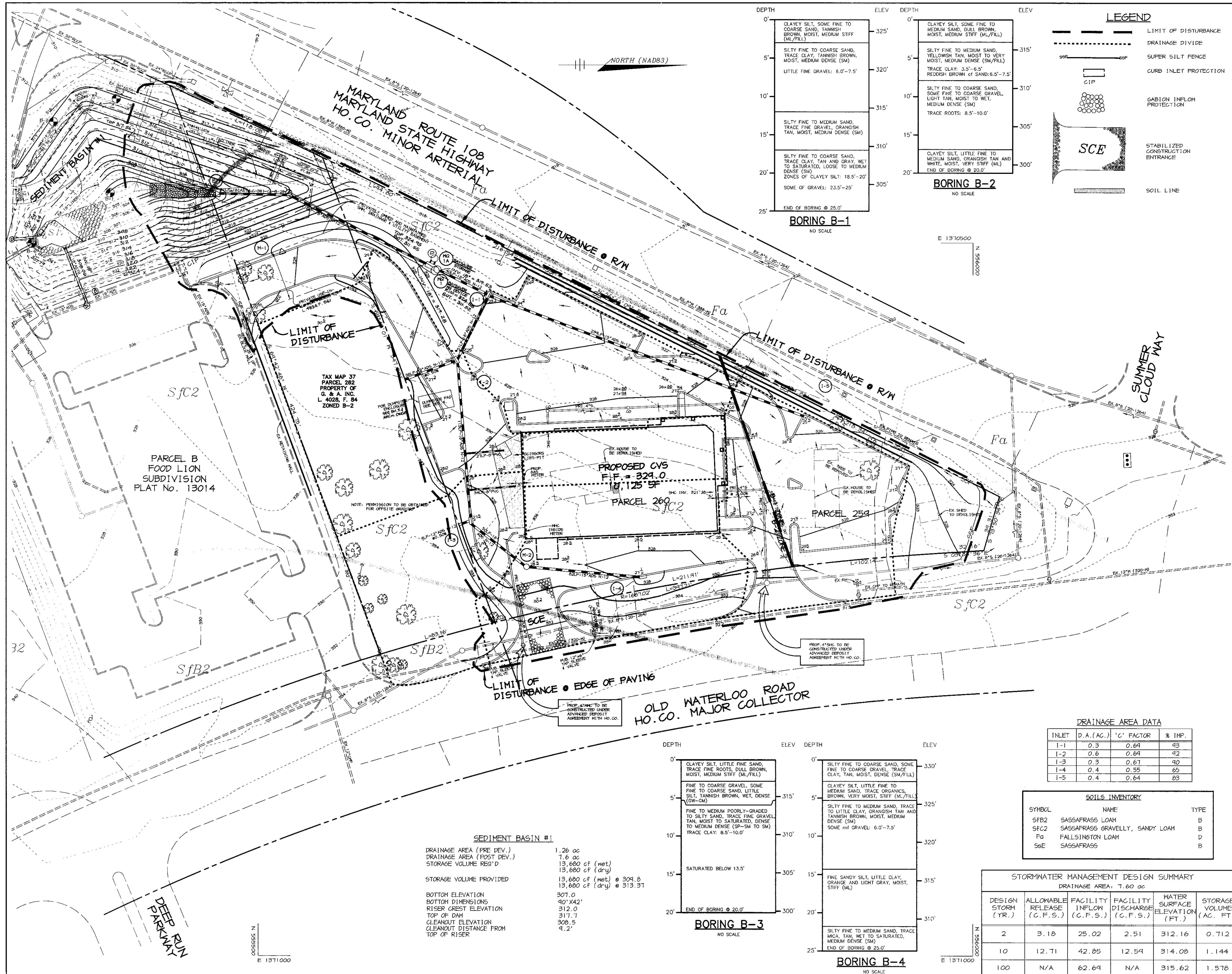
DRAWING NO. 2 OF 8

ADA COMPLIANT PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

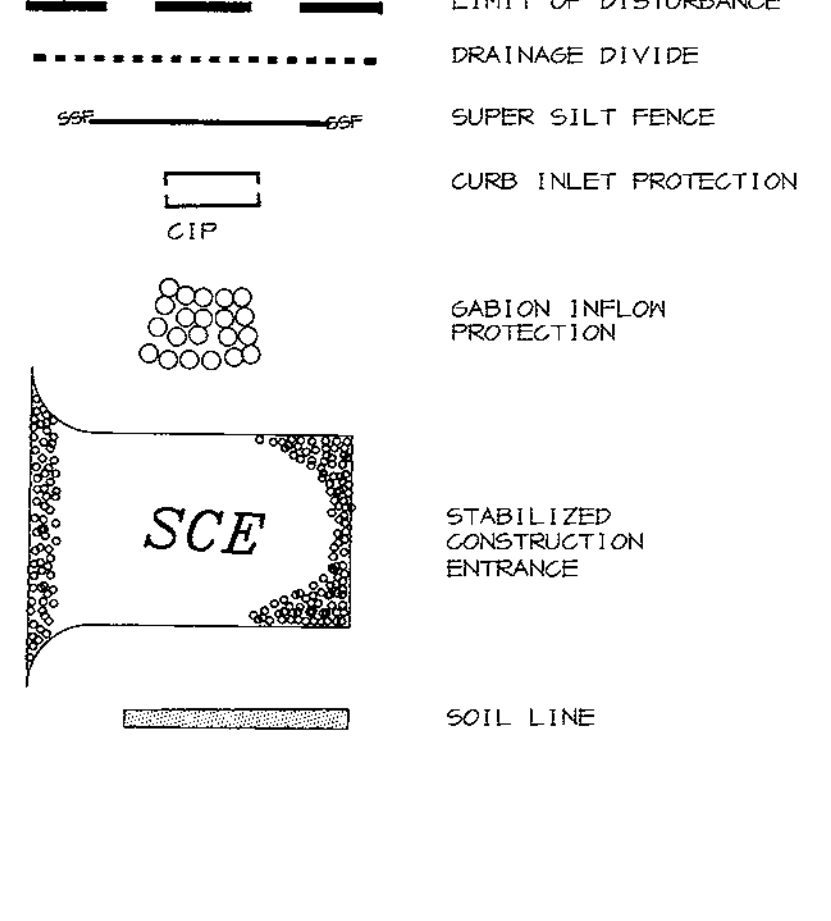
LICENSE NO. 27221
 EXP. 03/19/2020

Arthur E. Muegge
 ARTHUR E. MUEGGE #8707

M:\PROJECT\98313\SDP2.DWG Fri, Aug 06 11:58:36 1999 RIEMER MUEGGE & ASSOCIATES, INC.



LEGEND



CERTIFICATE
 CHRISTOPHER J. REID #19949
 DATE 9-12-00
 BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
 DEVELOPER DATE 10-7-99

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
 ENGINEER DATE 8-6-99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.
 NATURAL RESOURCES CONSERVATION SERVICE DATE 11/2/99

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD SOIL CONSERVATION DISTRICT DATE 11/2/99

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 COUNTY HEALTH OFFICER DATE 11/9/99

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR DATE 11/15/99

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 11/9/99

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 11/9/99

DATE	NO.	REVISION

OWNER
 AUDREY OWENS ETAL 7533 GLENEAGLE DR. JESSUP, MD 20714 (410) 799-4655
OWNER
 OM HOSPITALITY MANAGEMENT, INC. 6251 WASHINGTON BLVD. ELK RIDGE, MD 21075 (410) 379-3095

DEVELOPER
 ASTON PROPERTIES 6525 MORRISON BLVD., SUITE 300 CHARLOTTE, NC 28211 (704) 366-7337

PROJECT
 CVS RETAIL STORE

AREA
 Parcels 259 & 260 Tax Map 37 Block 14, 20 Zoned B-1, B-2 6th Election District Howard County, Maryland

TITLE
 DRAINAGE AREA MAP GRADING AND SEDIMENT CONTROL PLAN

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8000 fax 410.997.9282

DATE
 DESIGNED BY: C.J.R.
 DRAWN BY: D.A.M.
 PROJECT NO: 98313 SDP3.DWG
 DATE: OCTOBER 13, 1999
 SCALE: 1" = 30'
 DRAWING NO. 3 OF 8

DRAINAGE AREA DATA

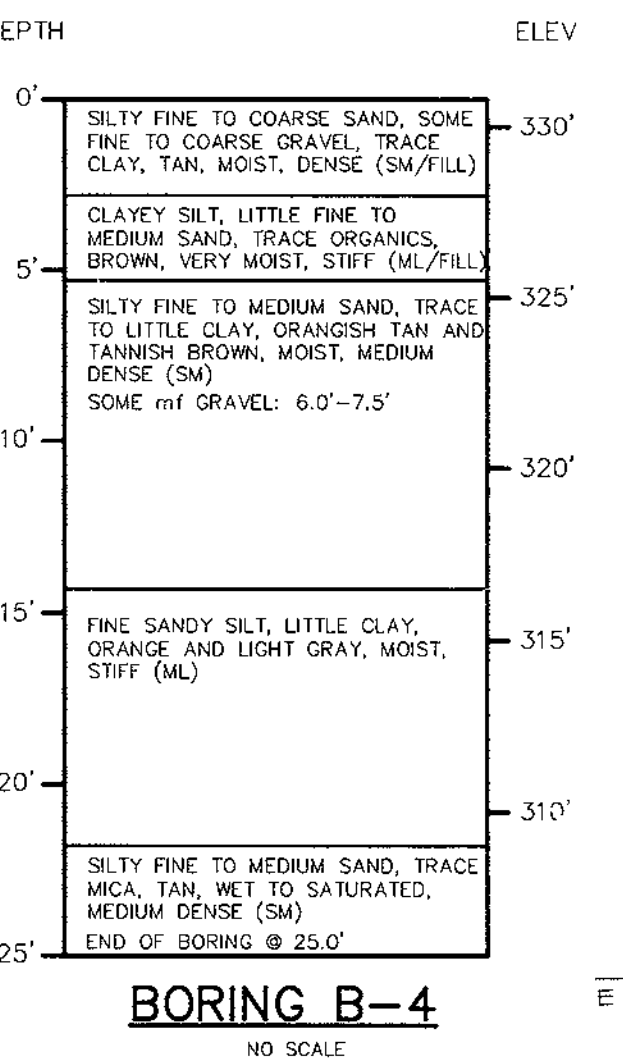
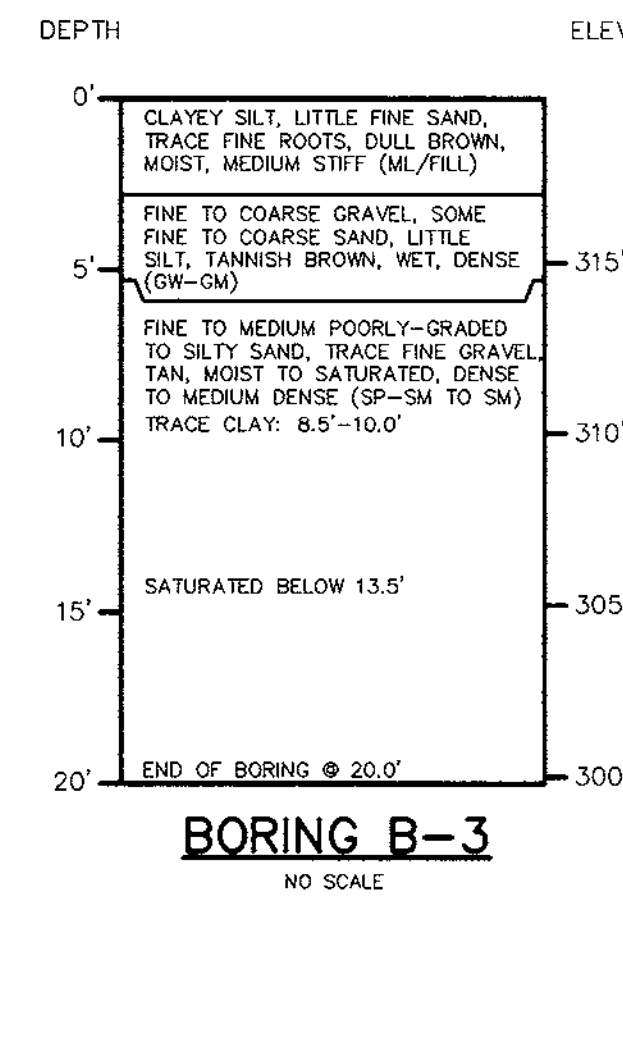
INLET	D.A. (AC.)	'C' FACTOR	% IMP.
I-1	0.3	0.69	43
I-2	0.6	0.69	42
I-3	0.3	0.67	40
I-4	0.4	0.55	65
I-5	0.4	0.64	83

SOILS INVENTORY

SYMBOL	NAME	TYPE
SFB2	SASSAFRASS LOAM	B
SFC2	SASSAFRASS GRAVELLY, SANDY LOAM	B
Fa	FALLSINGTON LOAM	D
SsE	SASSAFRASS	B

STORMWATER MANAGEMENT DESIGN SUMMARY
 DRAINAGE AREA: 7.60 ac

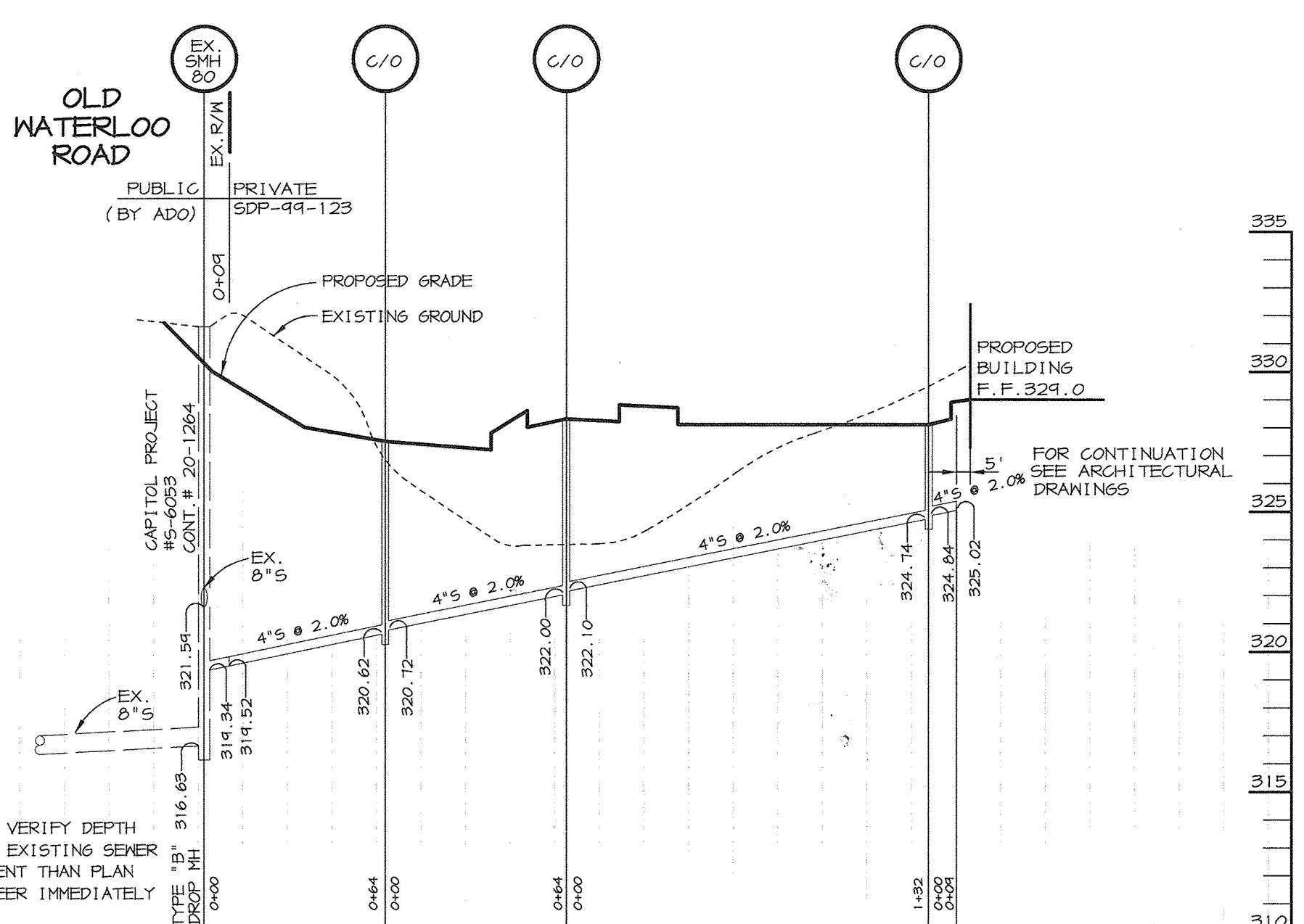
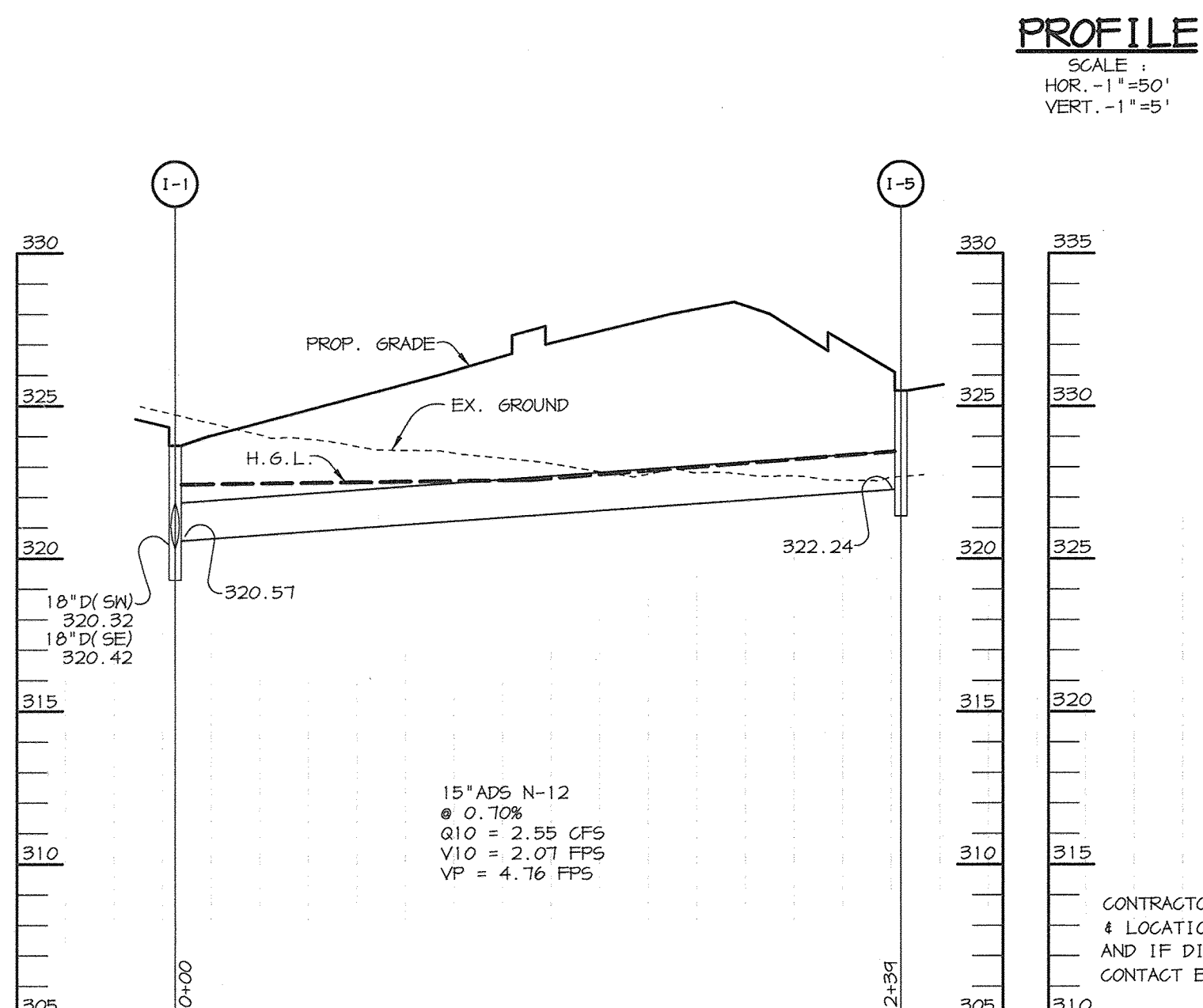
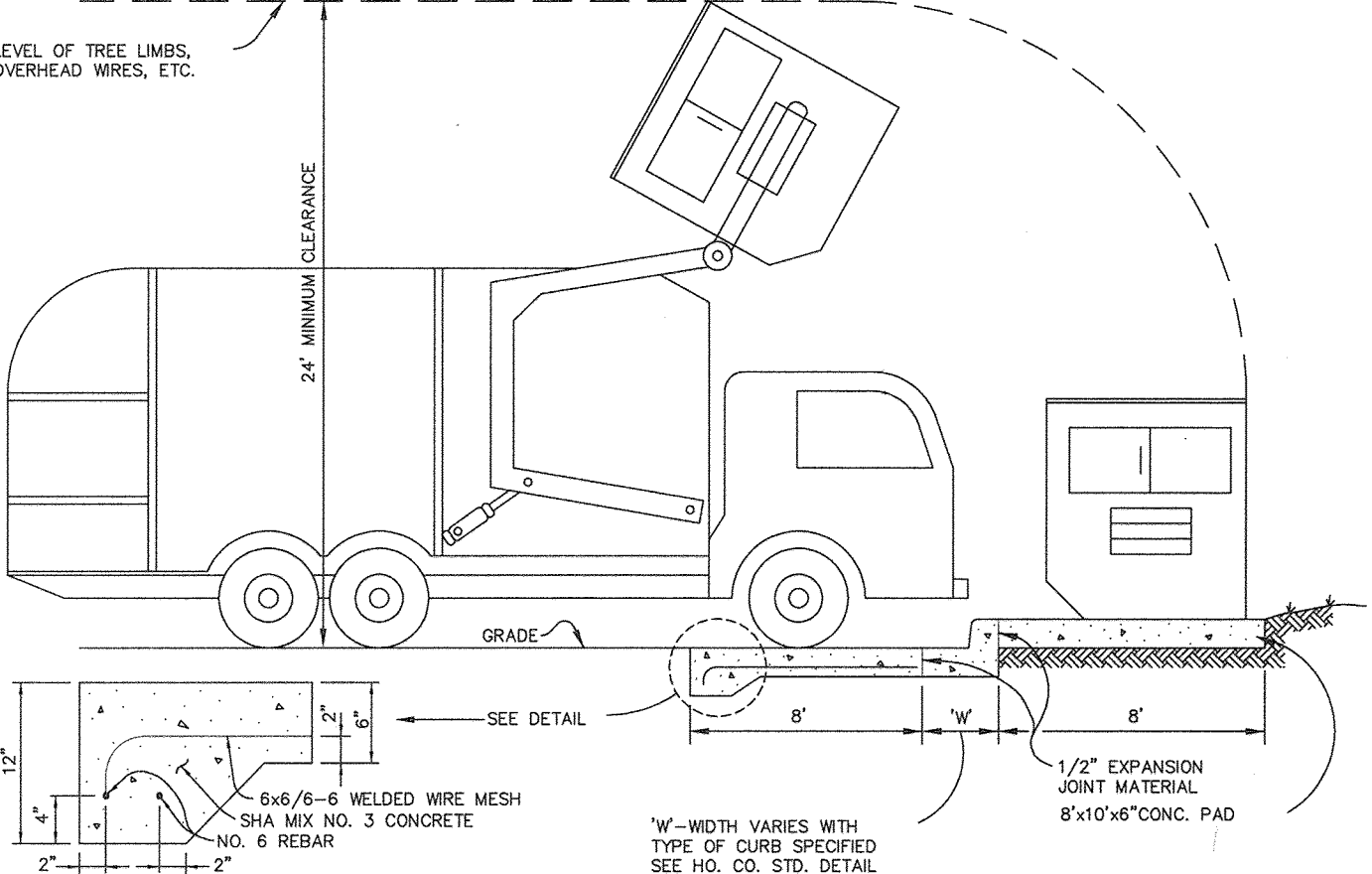
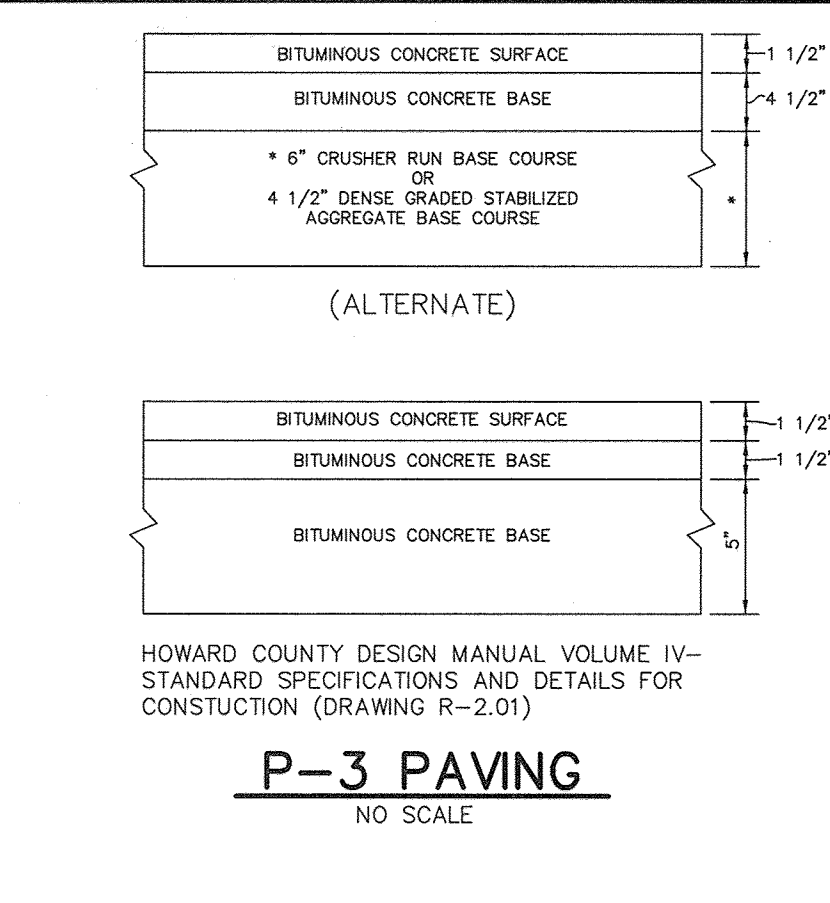
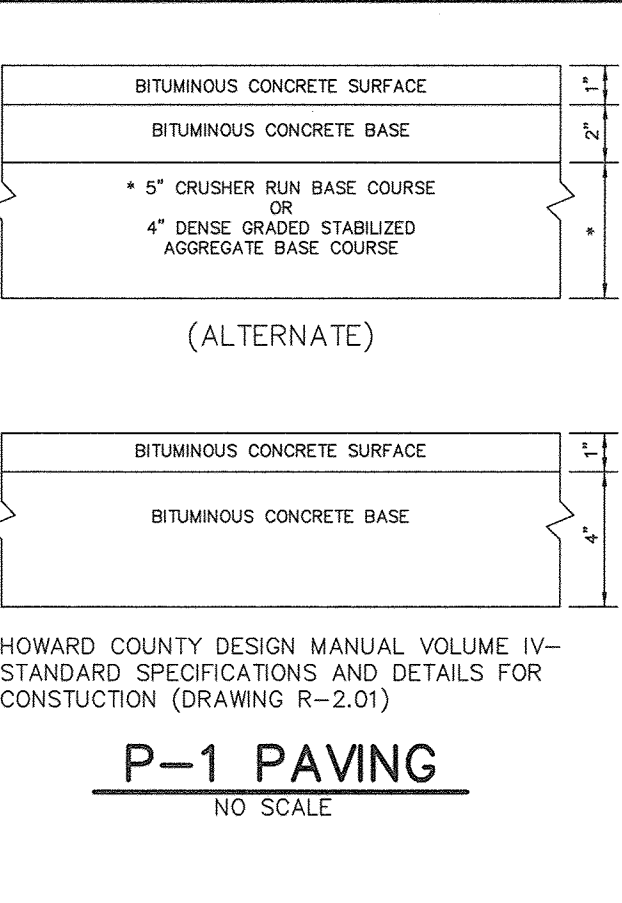
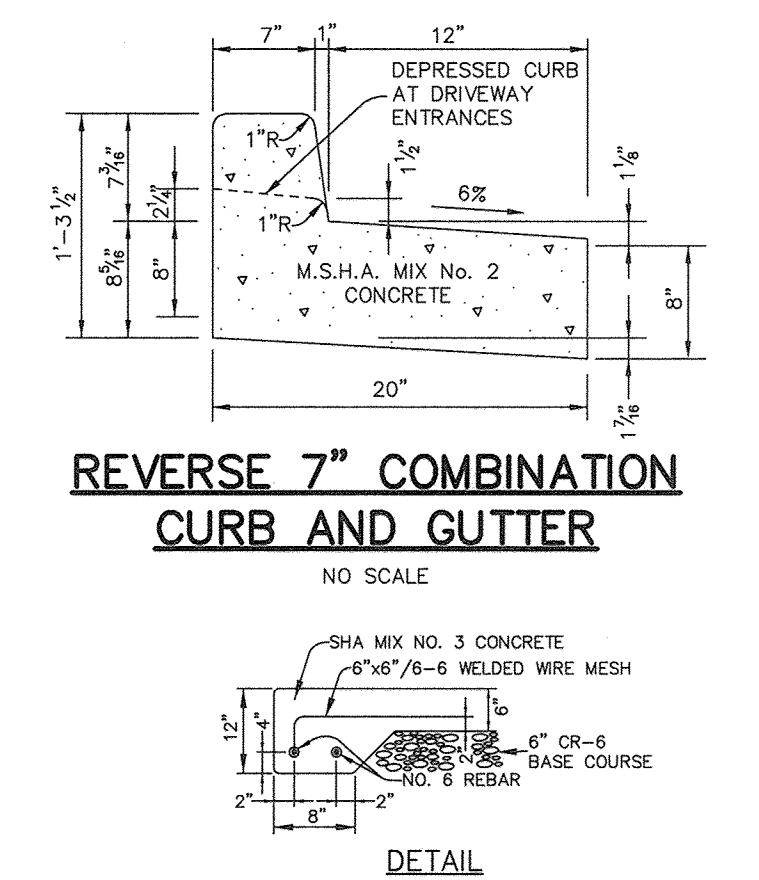
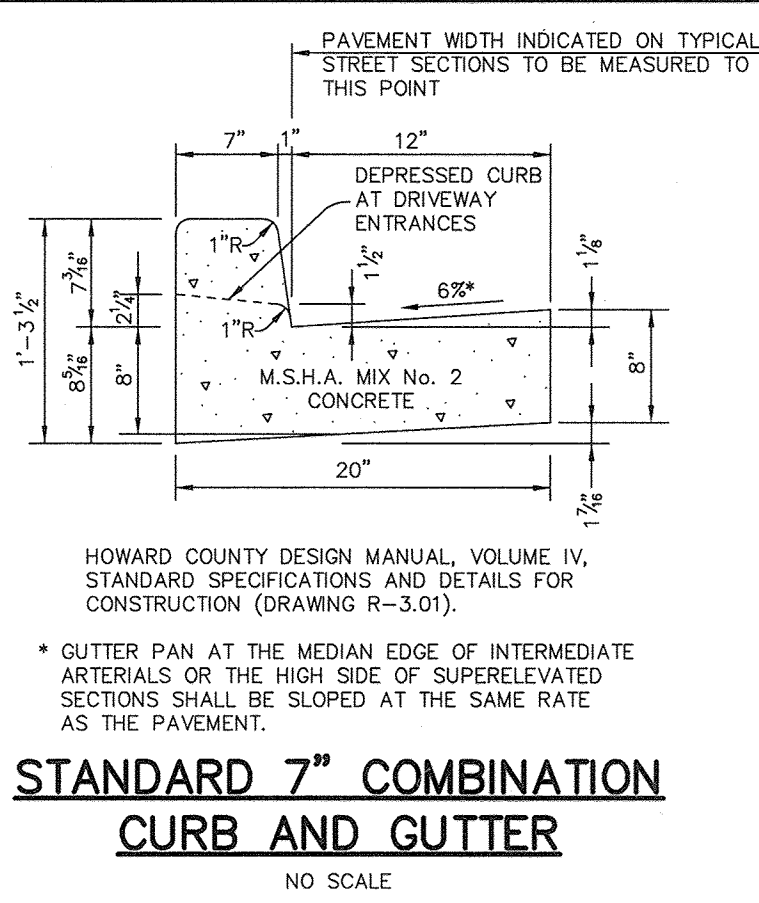
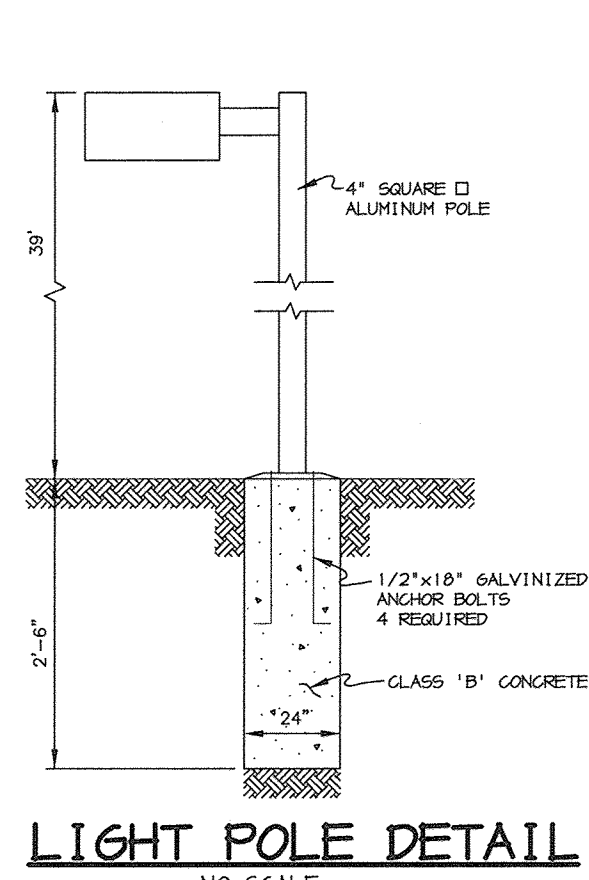
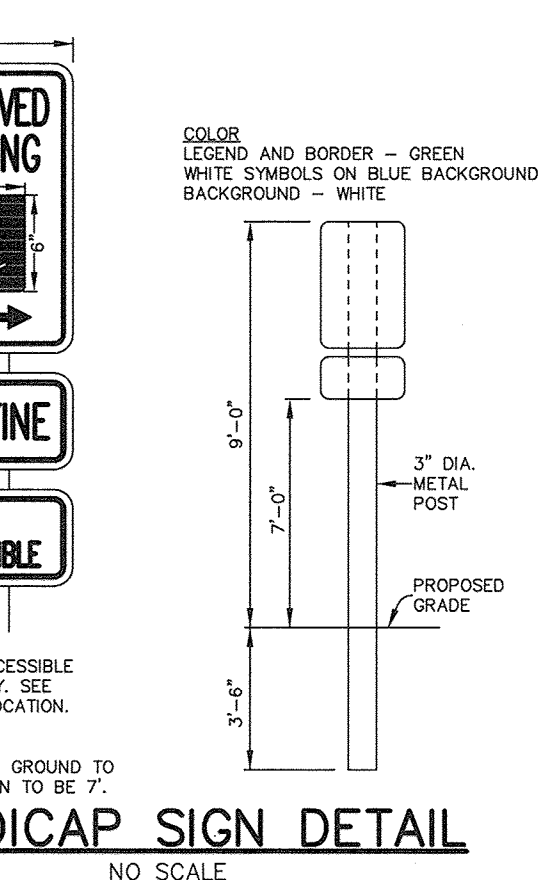
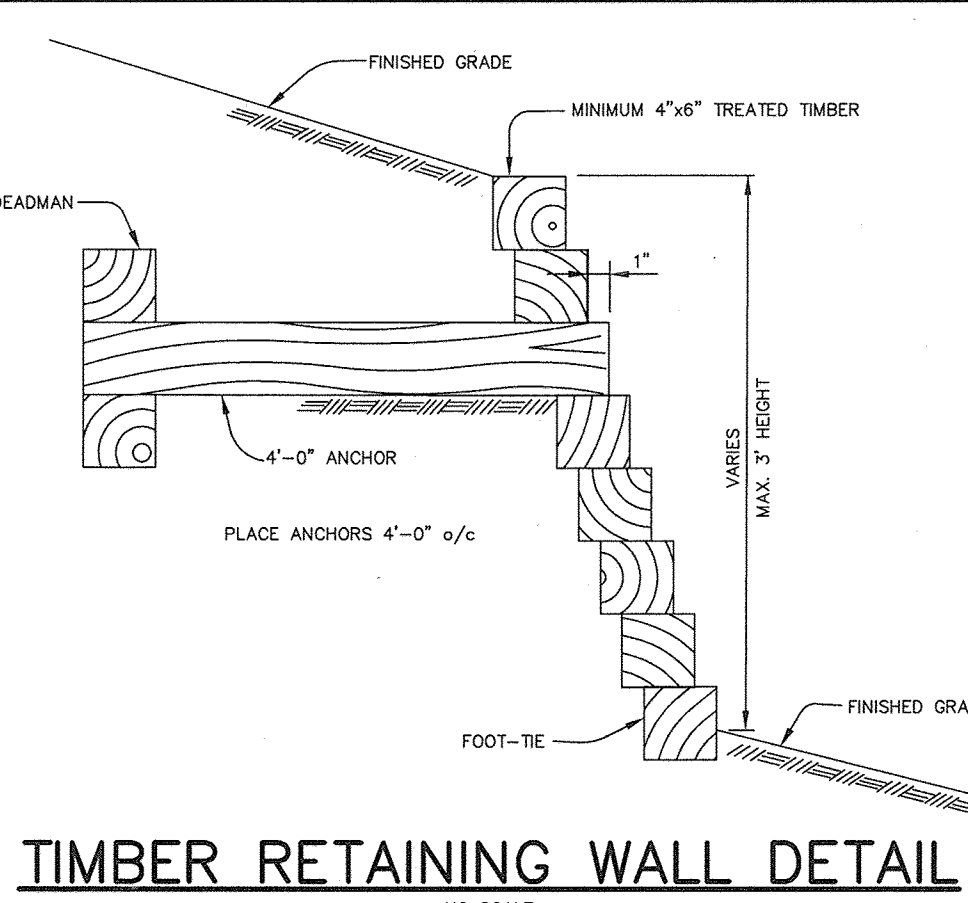
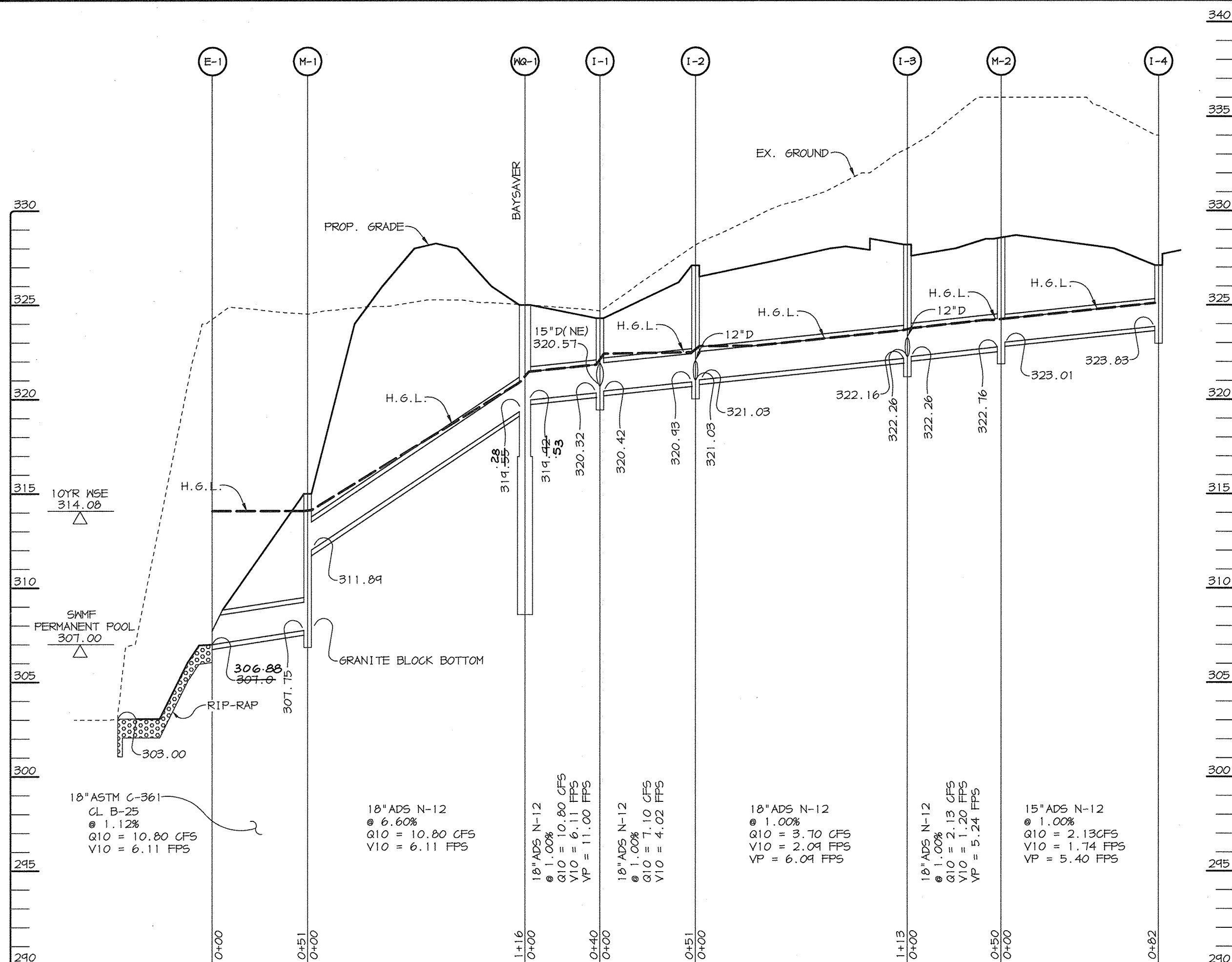
DESIGN STORM (YR.)	ALLOWABLE RELEASE (C.F.S.)	FACILITY INFLOW (C.F.S.)	FACILITY DISCHARGE (C.F.S.)	WATER SURFACE ELEVATION (FT.)	STORAGE VOLUME (AC. FT.)
2	3.18	25.02	2.51	312.16	0.712
10	12.71	42.85	12.59	314.08	1.144
100	N/A	62.69	N/A	315.62	1.578



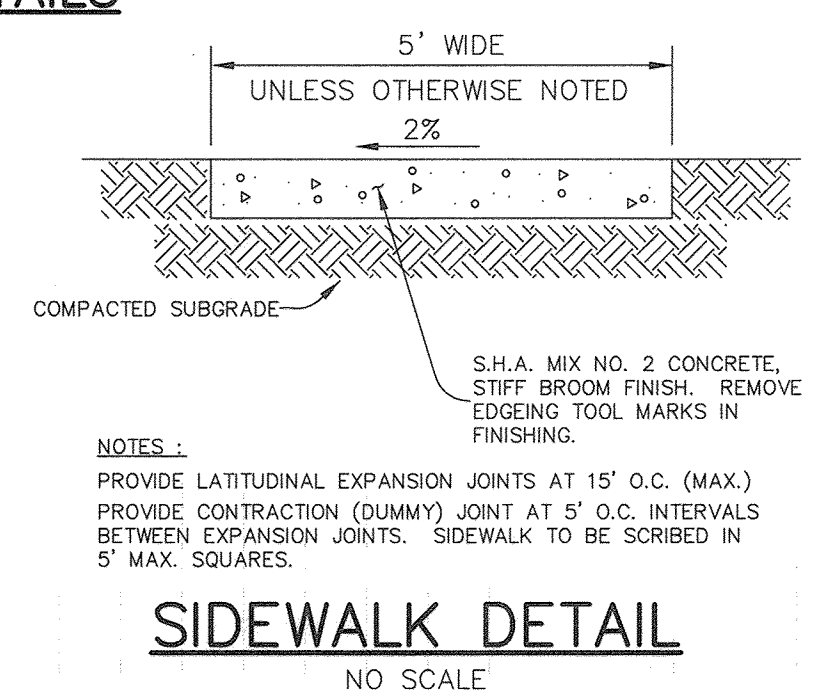
SEDIMENT BASIN #1

DRAINAGE AREA (PRE DEV.)	1.26 ac
DRAINAGE AREA (POST DEV.)	7.6 ac
STORAGE VOLUME REQ'D	13,680 cf (wet) 13,680 cf (dry)
STORAGE VOLUME PROVIDED	13,680 cf (wet) @ 309.8 13,680 cf (dry) @ 313.37
BOTTOM ELEVATION	307.0
BOTTOM DIMENSIONS	90'x42'
RISER CREST ELEVATION	312.0
TOP OF DAM	317.7
CLEANOUT ELEVATION	308.5
CLEANOUT DISTANCE FROM TOP OF RISER	4.2'

M:\PROJECT\98313\SDP3.DWG F:\1 Aug 06 12:00:27 1999 RIEMER MUEGGE & ASSOCIATES, INC.



AS-BUILT CERTIFICATE
 Christopher J. Reid #19949
 DATE: 9-12-00

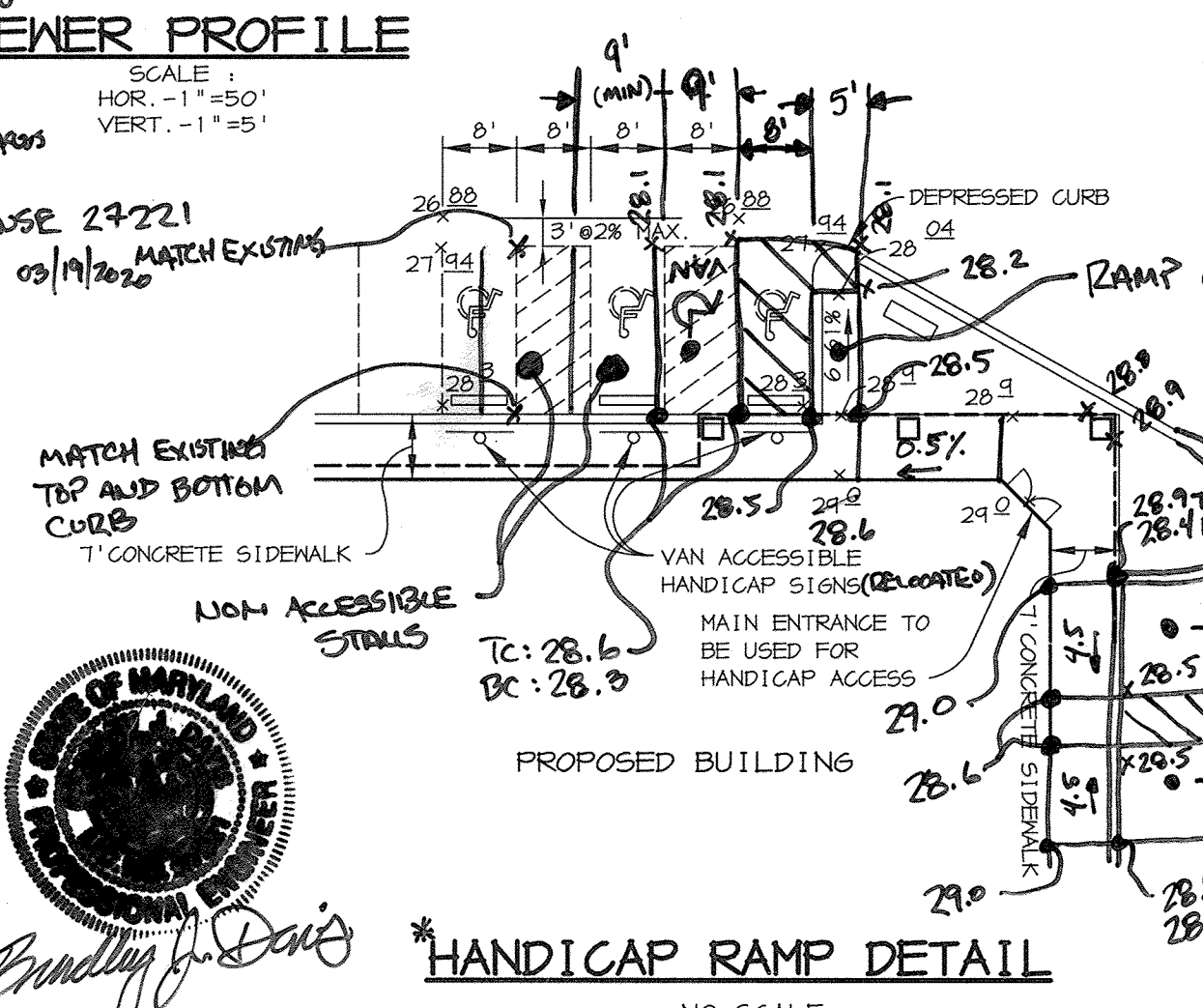


SIDEWALK DETAIL
 NO SCALE

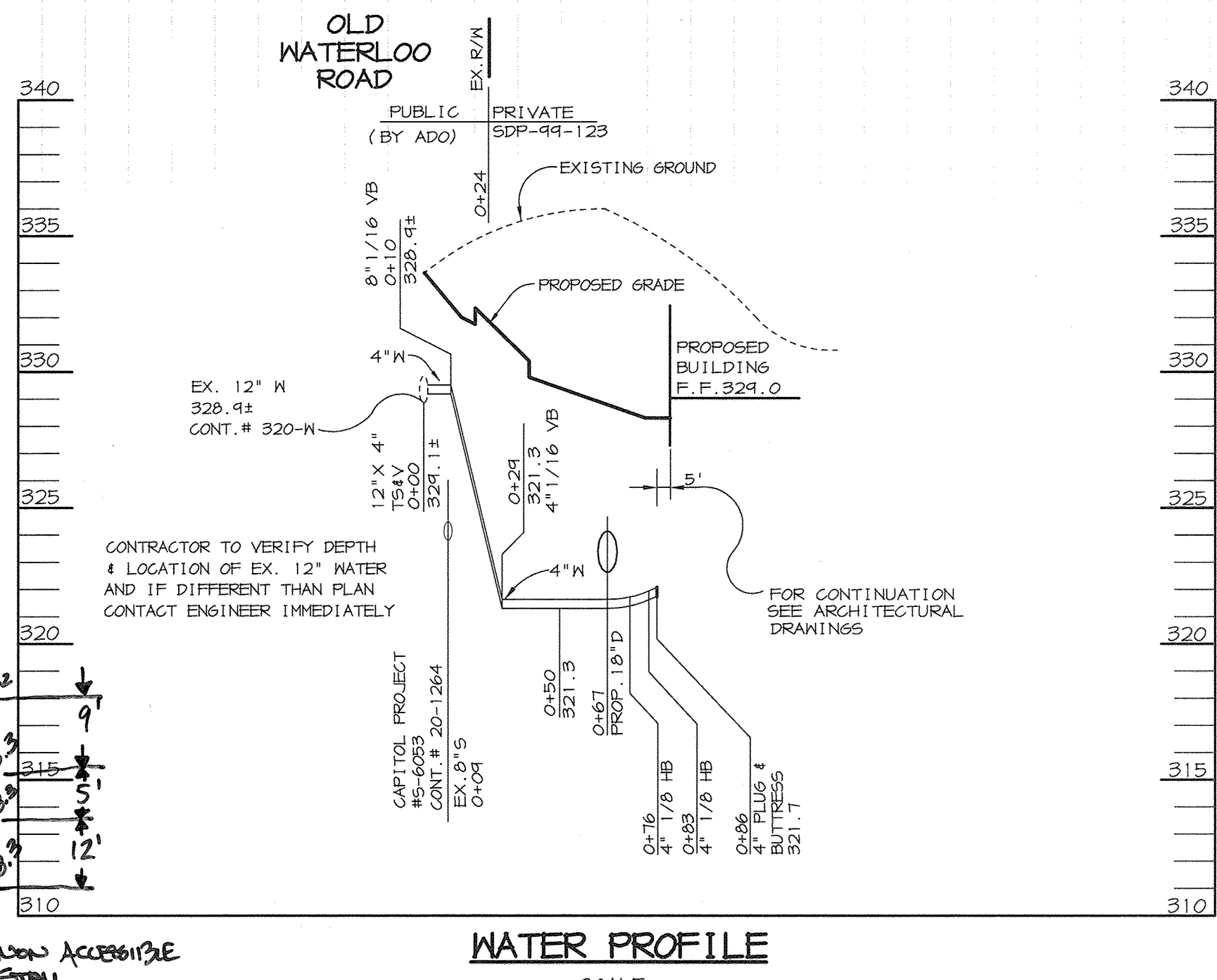
PROFILE
 SCALE: HOR. - 1"=50', VERT. - 1"=5'

STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
1-1	A-5	* N 555,662.33 E 1,370,537.35	320.42 (18')	320.32	324.3	HOCO STD. DETAIL SD 4.40
1-2	A-5	* N 555,637.46 E 1,370,583.04	321.03 (12')	320.93	327.2	HOCO STD. DETAIL SD 4.40
1-3	A-5	* N 555,650.13 E 1,370,644.87	322.26 (12')	322.16	328.2	HOCO STD. DETAIL SD 4.40
1-4	A-5	* N 555,764.01 E 1,370,732.78	322.26 (18')	322.16	327.7	HOCO STD. DETAIL SD 4.40
1-5	S-COMB	* N 555,883.53 E 1,370,621.04	-	322.24	325.5	HOCO STD. DETAIL SD 4.92
M-1	4' MH	* N 555,521 E 1,370,466	311.84	307.75	315.0	HOCO STD. DETAIL 6 5.12
M-2	4' MH	* N 555,674 E 1,370,726	323.01	322.76	328.5	HOCO STD. DETAIL 6 5.12
E-1	18' CONC. END SECTION	* N 555,427 E 1,307,462	307.00 306.88	-	-	HOCO STD. DETAIL SD 5.51
NQ-1	BAYSAVER	* N 555,625 E 1,370,518	314.53 314.55	314.55	324.95 325.0	SEE DETAIL, SHEET 7



HANDICAP RAMP DETAIL
 NO SCALE



WATER PROFILE
 SCALE: HOR. 1"=50', VERT. 1"=5'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 Diane Maturo M.D. 11/9/99
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 Director 11/15/99
 DATE

11/14/99
 DATE

11/12/99
 DATE

9/12/01 ADA COMPLIANT REVISIONS

DATE	NO.	REVISION

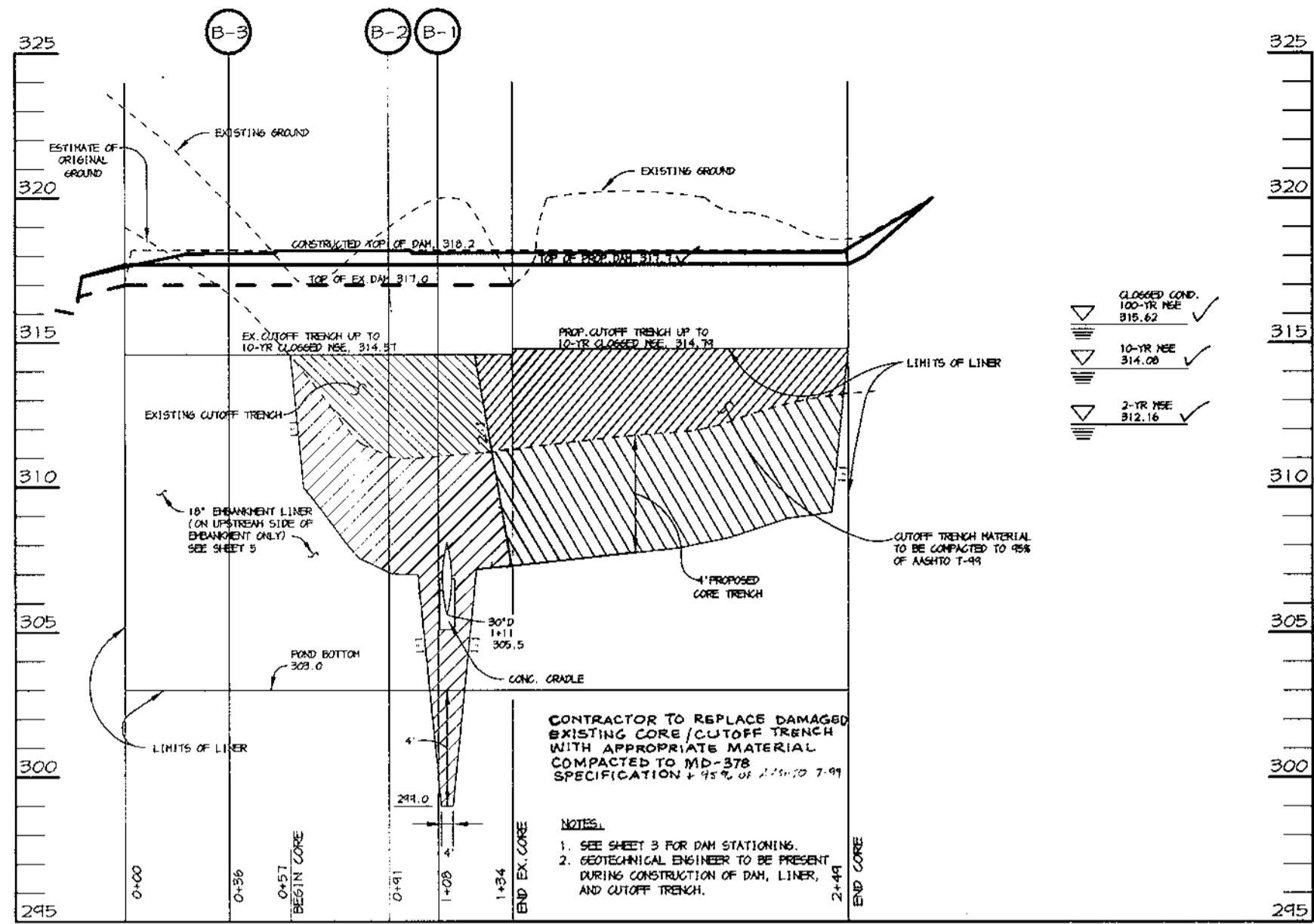
OWNER	OWNER
AUDREY OWENS ETAL 1533 GLENEAGLE DR. JESSUP, MD 20714 (410) 799-4655	OM HOSPITALITY MANAGEMENT, INC. 6251 WASHINGTON BLVD. ELK RIDGE, MD 21075 (410) 379-3095

DEVELOPER	PROJECT
ASTON PROPERTIES 6525 MORRISON BLVD., SUITE 300 CHARLOTTE, NC 28211 (704) 366-7337	CVS RETAIL STORE

AREA	TITLE
Parcels 259 & 260 Tax Map 37 Block 14, 20 Zoned B-1, B-2 6th Election District Howard County, Maryland	PROFILES, NOTES AND DETAILS

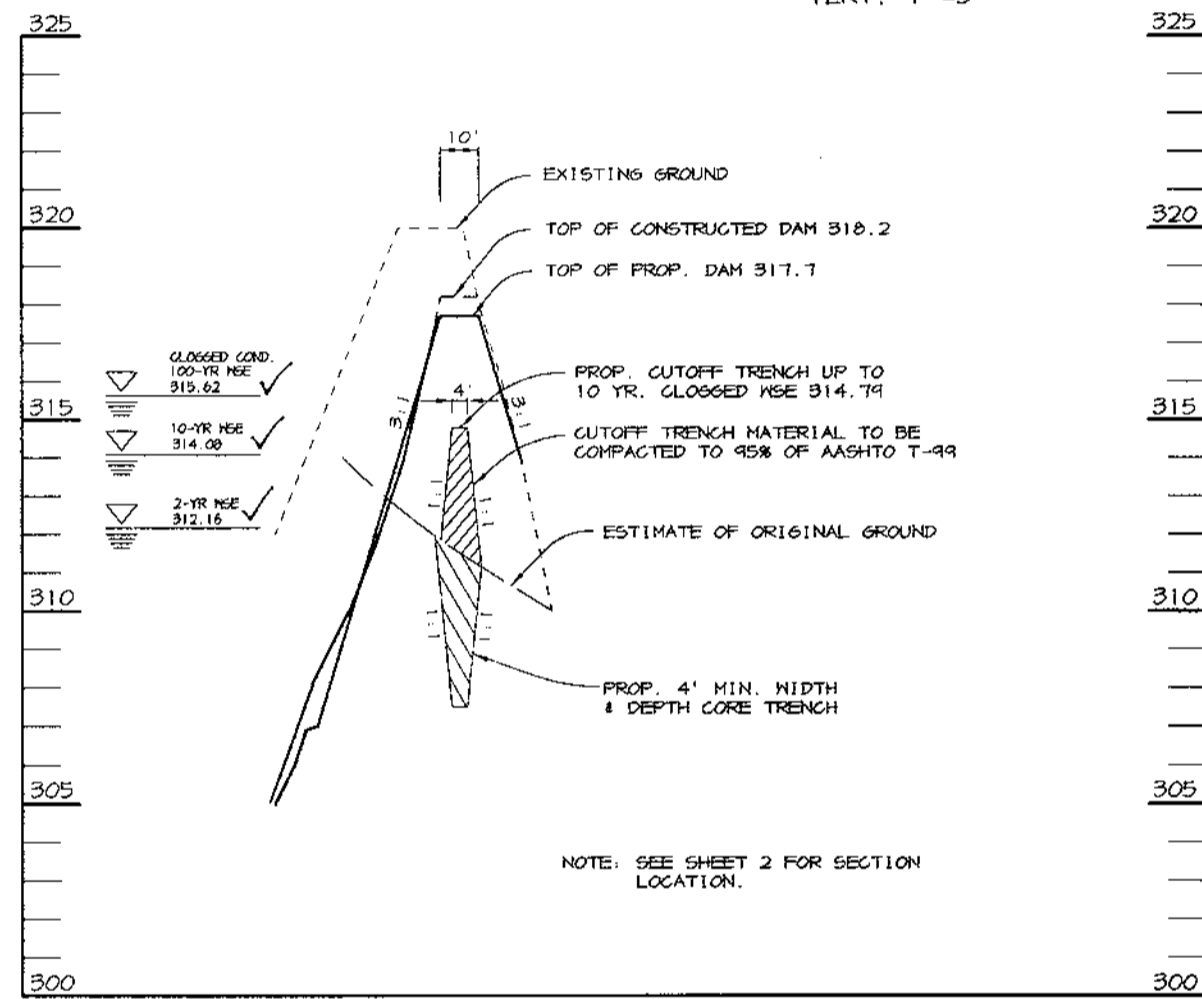
RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8800 fax 410.997.9282

DESIGNED BY: C.J.R.
 DRAWN BY: D.A.M.
 PROJECT NO: 98313
 SDP4.DWG
 DATE: OCTOBER 13, 1999
 SCALE: AS SHOWN
 DRAWING NO. 4 OF 8



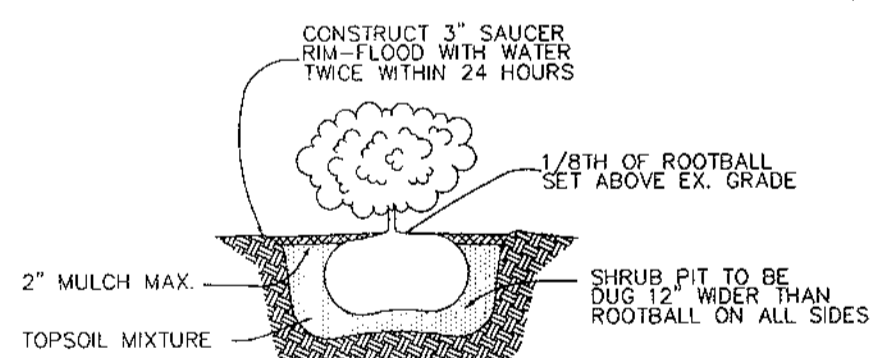
PROFILE OF EMBANKMENT C

SCALE
HOR. - 1" = 50'
VERT. - 1" = 5'

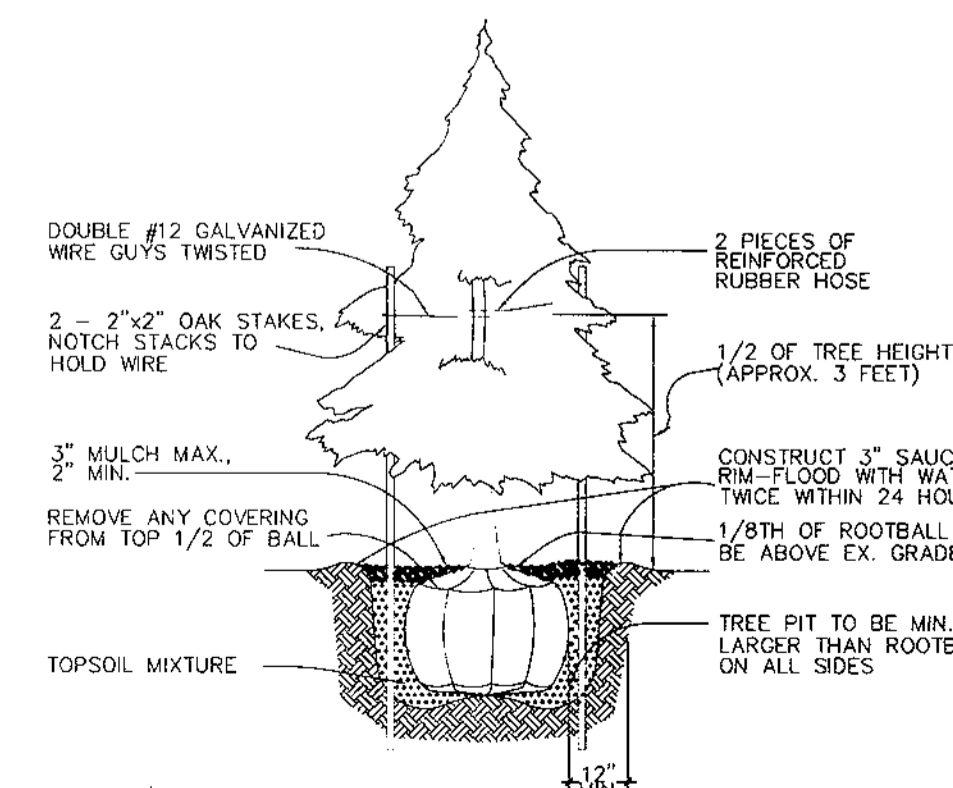


SECTION A-A THROUGH EMBANKMENT

SCALE
HOR. - 1" = 50'
VERT. - 1" = 5'

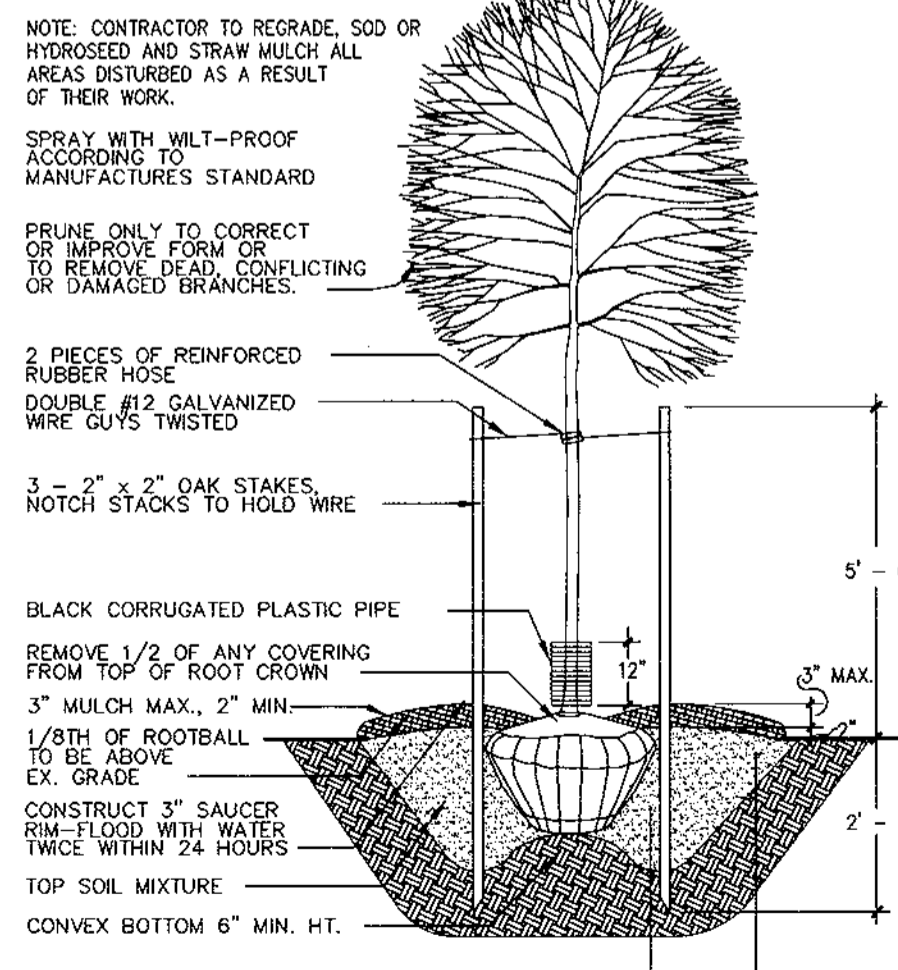


SHRUB PLANTING DETAIL



EVERGREEN PLANTING DETAIL

PLANTING DETAILS



TREE PLANTING DETAIL

GEOTECHNICAL RECOMMENDATIONS FOR POND CONSTRUCTION

- STRUCTURE 5-4 FOUNDATION MATERIALS TO BE VISUALLY EXAMINED AND TESTED FOR A NET BEARING CAPACITY OF 2500 psf (MIN.) IMMEDIATELY PRIOR TO PLACEMENT OF FOUNDATION CONCRETE.
- PRIOR TO BACKFILLING, EXPOSED SUBGRADE SHALL BE EXAMINED, PROFFERED, AND/OR PROBED AS NECESSARY AND UNSTABLE MATERIALS SHALL BE REMOVED AND COMPACTED WITH APPROVED FILL.
- DEMATERING DURING CONSTRUCTION SHALL BE ACCOMPLISHED USING INTERCEPTOR TRENCHES, SUMPS, AND/OR PUMPS AS NECESSARY TO TWO FEET BELOW THE BOTTOM OF THE CONSTRUCTION AREA. SUMPS SHALL BE REMOVED AND BACKFILLED WITH CLAYEY SOILS AFTER CONSTRUCTION. GRAVEL MAY BE USED TO PROVIDE A WORKING SURFACE, BUT NOT BENEATH THE FOOTPRINT OF THE EMBANKMENT.
- SURFACE RUNOFF SHALL BE DIVERTED AWAY FROM THE LIMITS OF CONSTRUCTION BY BERMING, TRENCHING, AND/OR GRADING AS NECESSARY. THE GROUND SURFACE SHALL BE SEALED WITH A SMOOTH DRUM ROLLER AT THE END OF EACH WORKDAY AND PRIOR TO RAINFALL. WATER SHALL NOT BE ALLOWED TO POOL ON TOP OF SLOPE AREAS.
- A SHEEPFOOT ROLLER SHALL BE USED FOR COMPACTING. A SMOOTH DRUM ROLLER SHALL BE USED FOR SEALING ONLY.
- A SOIL TECHNICIAN SHALL BE PRESENT DURING FILL OPERATIONS TO OBSERVE AND TEST COMPACTING DENSITY TESTS SHALL BE 1 TEST PER 2500 SF OF FILL AREA (MIN.) FOR EACH LIFT PLACED.

OPERATION, MAINTENANCE AND INSPECTION

INSPECTION OF THE POND SHOWN HEREON SHALL BE PERFORMED AT LEAST ONCE ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, SCS "STANDARDS AND SPECIFICATION FOR PONDS" (MD378). THE POND OWNER AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

OPERATION AND MAINTENANCE SCHEDULE FOR BAYSAYER WATER QUALITY DEVICE

- Stormceptor water quality structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Stormceptor unit inspected yearly or as required by Howard County, utilizing the Stormceptor Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed the specified level (Table 6 of Technical Manual) then cleaning of the unit is required.
- Stormceptor water quality structures must be checked and cleaned immediately after petroleum spills. Contact appropriate regulatory agencies.
- Maintenance of Stormceptor units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons, and other materials in the unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
- Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the Stormceptor will be repaired as needed.
- Owner shall retain and make Stormceptor Inspection/Monitoring Forms available to Howard County officials upon their request.

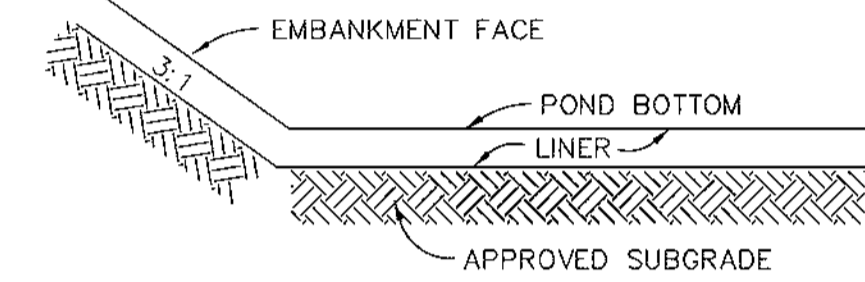
OPERATION AND MAINTENANCE SCHEDULE OF PRIVATELY OWNED AND MAINTAINED STORMWATER MANAGEMENT FACILITY RETENTION POND

ROUTINE MAINTENANCE

- Facility shall be inspected annually and after major storms. Inspections should be performed during wet weather to determine if the pond is functioning properly.
- Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
- Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.
- Visible signs of erosion in the pond as well as riprap outlet area shall be repaired as soon as it is noticed.

NON-ROUTINE MAINTENANCE

- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components should be inspected during routine maintenance operations.
- Sediment should be removed when its accumulation significantly reduces the design storage, interferes with the function of the riser, when deemed necessary for aesthetic reasons, or when deemed necessary by the Howard County's Department of Public Works.

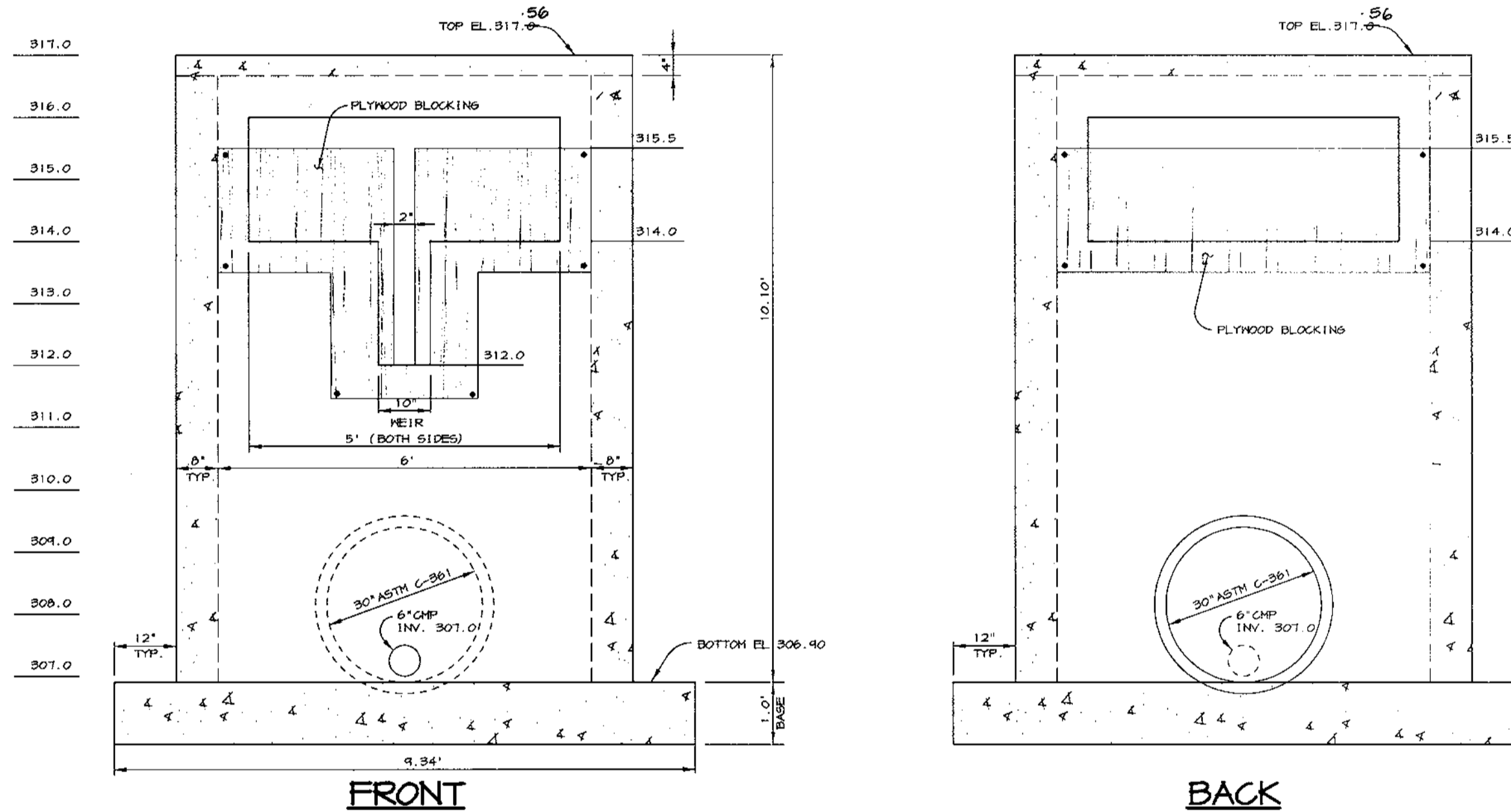


LINER NOTES

- THE LINER SHALL BE AT LEAST 18" THICK PLACED AS COMPACTED FILL IN LOOSE LIFTS OF 8", COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D-698).
- FILL MATERIAL FOR THE LINER SHALL CONSIST OF SILTY OR SANDY CLAY (CL), OR CLAYEY SAND (SC). CLAYEY SAND MATERIALS SHALL HAVE NO LESS THAN 30% PASSING THE NO. 200 SIEVE. OTHER BACKFILL MATERIALS MAY BE CONSIDERED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- THE LINER SUBGRADE SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO BE STABLE PRIOR TO BACKFILLING THE LINER.
- THE LINER SHALL EXTEND VERTICALLY AT LEAST TO THE 10-YEAR WATER SURFACE ELEVATION.

LINER DETAIL

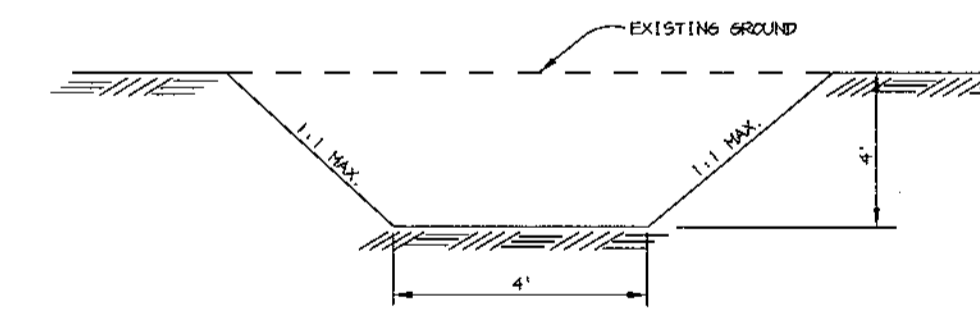
NO SCALE



EXISTING 5-4 DETAIL

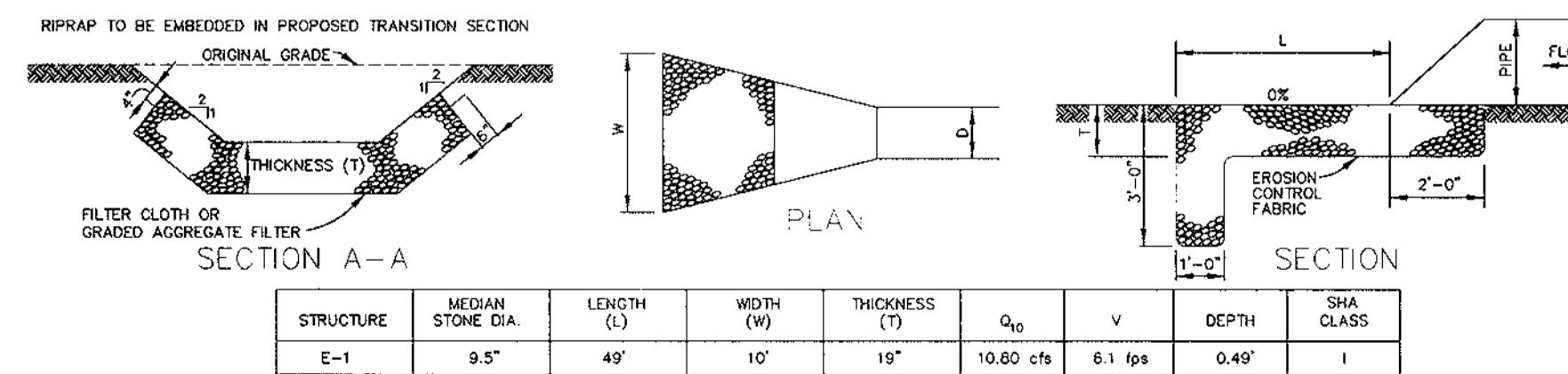
SCALE: 1" = 2'

- NOTES:
- OTHER THAN THE MODIFICATIONS SHOWN HERE, THIS STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH HO. CO. STD. DETAIL SD 4.01, HOWEVER A BRICK STRUCTURE IS NOT ALLOWED.
 - SHOP DRAWINGS TO BE SUBMITTED TO HOWARD COUNTY AND CONSULTANT PRIOR TO FABRICATION.
 - DURING CONSTRUCTION, OPENINGS TO BE BLOCKED USING PLYWOOD BOLTED TO INSIDE OF RISER UP TO ELEV. 315.5. ALL SEALS TO BE WATER TIGHT. A 3" MIER STARTING AT 312.0 TO BE CUT INTO PLYWOOD.
 - REMOVE EXISTING TRASH RACK IF NECESSARY TO ATTACH PLYWOOD AND REPLACE AFTER PLYWOOD IS IN PLACE.



CORE TRENCH DETAIL

NO SCALE



RIPRAP OUTLET PROTECTION DETAIL

NO SCALE

STRUCTURE	MEAN STONE DIA.	LENGTH (L)	WIDTH (W)	THICKNESS (T)	Q ₅₀	V	DEPTH	SKA CLASS
E-1	9.5"	40'	10'	15"	10.80 cfs	6.1 fps	0.49'	1

AS-BUILT CERTIFICATE

Christopher J. Reid
CHRISTOPHER J. REID #19949
DATE: 9.12.00

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 10.7.99
DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Arthur E. Muegge 8.6.99
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Cheryl Swain 10/2/99
NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Shirley L. Kelly 11/2/99
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Diane Mathis 11/9/99
COUNTY HEALTH OFFICER: HK DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

John S. Smith 11/15/99
DIRECTOR: BS DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

Mike Deamus 11/4/99
DATE

Carly Hamatta 11/12/99
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER: AUDREY OWENS ETAL, 1533 GLENEAGLE DR., JESSUP, MD 20714 (410) 749-4655

OWNER: OM HOSPITALITY MANAGEMENT, INC., 6251 WASHINGTON BLVD., ELKRIE, MD 21075 (410) 374-3045

DEVELOPER: ASTON PROPERTIES, 6525 MORRISON BLVD., SUITE 300, CHARLOTTE, NC 28211 (704) 366-7337

PROJECT: CVS RETAIL STORE

AREA: Parcels 259 & 260, Tax Map 37 Block 14, 20 Zoned B-1, B-2, 6th Election District, Howard County, Maryland

SWM PROFILES AND DETAILS

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.9800 fax 410.997.9282

DATE: 9/11/00

DESIGNED BY: C.J.R.

DRAWN BY: D.A.M.

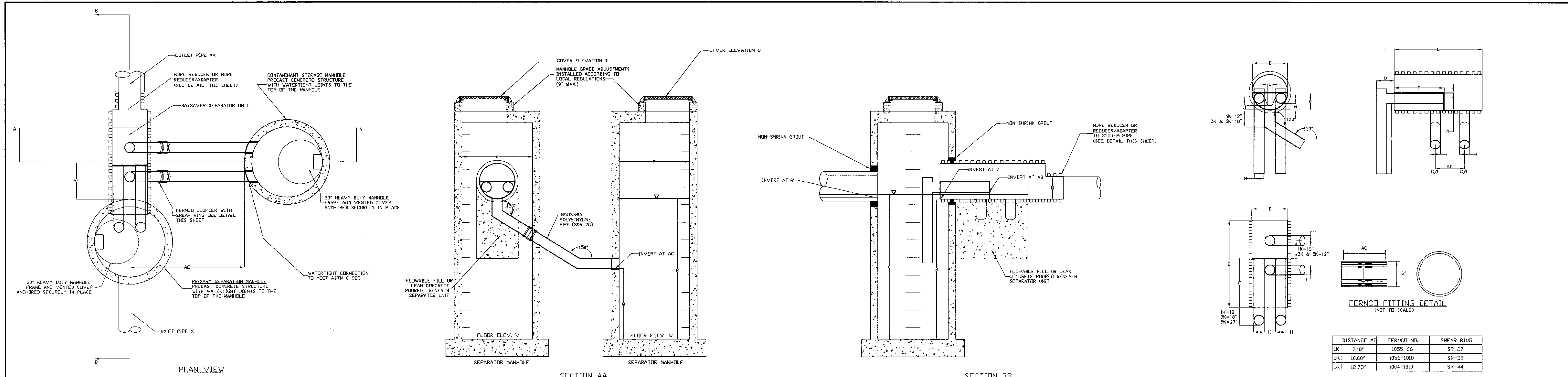
PROJECT NO: 98313 SDP6.DWG

DATE: OCTOBER 13, 1999

SCALE: AS SHOWN

DRAWING NO. 6 OF 8

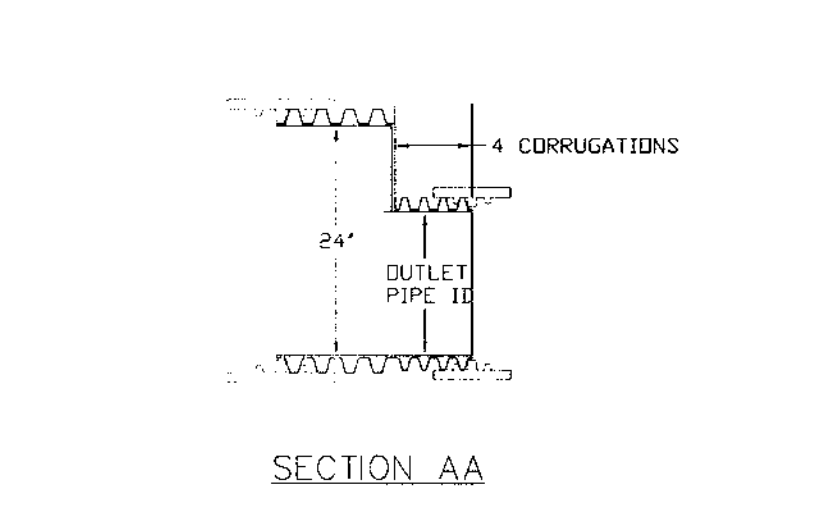
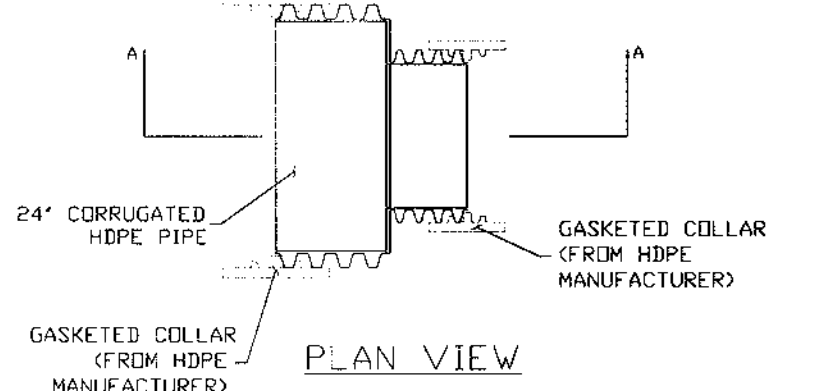
Arthur E. Muegge #8707
ARTHUR E. MUEGGE #8707



DISTANCE AC	FERROUS NO.	SHEAR RING
1K	7.10"	1055-66 SR-27
3K	10.60"	1056-100 SR-39
5K	12.73"	1004-1010 SR-44

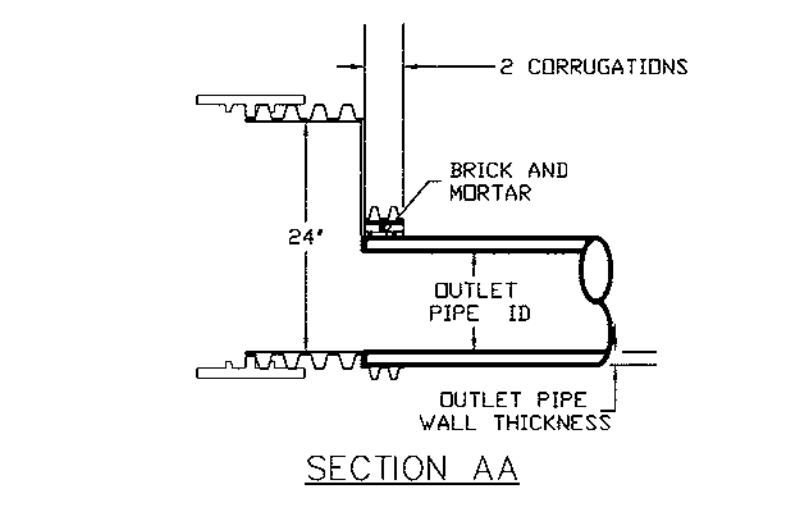
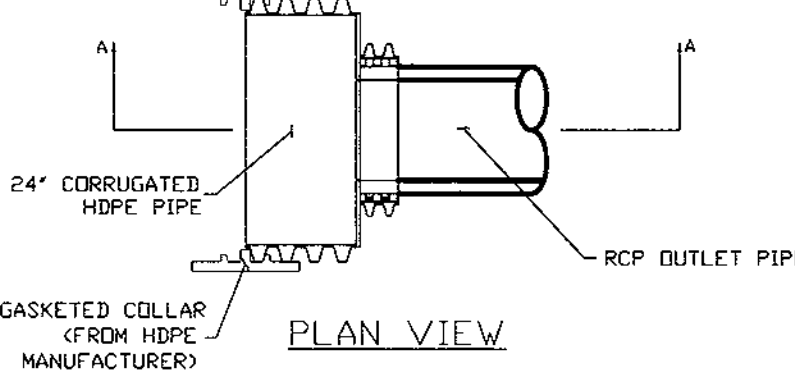
HDPE-HDPE REDUCER DETAIL

FOR USE WITH HDPE OUTLET PIPES
NOT TO SCALE



REDUCER/ADAPTER DETAIL

FOR USE WITH OUTLET PIPES OTHER THAN HDPE
NOT TO SCALE



- GENERAL CONSTRUCTION NOTES**
- ALL WORK MUST BE DONE WITH REGARD FOR THE SAFETY OF THE CONSTRUCTION CREW.
 - ALL WORK AND MATERIALS MUST COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS.
 - KNOW THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.

- BAYSAYER MAINTENANCE**
- BAYSAYER SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. MINIMUM INSPECTION IS REQUIRED TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF BAYSAYER.
- MAINTENANCE CONSISTS OF THE FOLLOWING:
- A. CONTAMINANT STORAGE MANHOLE**
- REMOVE THE ENTIRE VOLUME OF THE CONTAMINATED WATER BY VACUUM TRUCK.
 - CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
- B. PRIMARY SEPARATION MANHOLE**
- USING A SUBMERSIBLE PUMP, PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY INTO THE EMPTY STORAGE MANHOLE UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
 - REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
 - CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
 - CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM TRUCK.

- BAYSAYER INSTALLATION INSTRUCTIONS**
- EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO SEPARATOR MANHOLE AND BAYSAYER UNIT. INSTALL PRECAST DROP STRUCTURES ON SOLID GROUND AS VERIFIED BY A GEOTECHNICAL ENGINEER.
 - VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS.
 - MAKING SURE THE BASES ARE LEVEL AND THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT, INSTALL PRIMARY AND STORAGE MANHOLES. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED. SEAL LIFT HOLES WITH NON-SHRINK GROUT.
 - BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING APPROVED BACKFILL MATERIAL, BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL AND COMPACTION SHOULD BE MONITORED BY A GEOTECHNICAL ENGINEER.
 - INSTALL BAYSAYER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL SEPARATOR UNIT/STORM DRAIN JOINT COLLAR. CUT EXCESS LENGTH OFF CONNECTING PIPES INSIDE STORAGE MANHOLE.
 - BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTION EQUIPMENT MUST BE BACKFILLED WITH LEAN CONCRETE OR FLOWABLE FILL.
 - INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENT RINGS AS NECESSARY.
 - INSTALL AND SET MANHOLE FRAME AND COVER UNITS.

SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR DUAL MANHOLE SEPARATORS

Stage (X = Approval Required)	Developer's/Engineer Approval		Inspector		Geotechnical Engineer	
	Initials	Date	Initials	Date	Initials	Date
1. Pre-Construction Meeting.	X		X		X	
2. Install Manholes and associated storm drainage.						
a. Obtain approval of subgrade from Geotechnical Engineer. (Subgrade to have a minimum of 95% compaction)					X	
b. Installation of precast base, lower tank and lower piping.	X		X			
c. Backfill and min. 95% compaction around lower tank and lower piping.					X	
d. Installation of precast middle section(s) with separator unit and remaining piping.	X		X			
e. Installation of precast top slab.	X		X			
f. Installation of adjustment rings and frame and cover.	X		X			
g. Installation of flowable fill or concrete backfill.					X	
3. Backfilling operation and compaction.					X	
4. Site is permanently stabilized. Sediment control measures removed and all sediment and debris removed from dual manhole separators.			X			
5. Final inspection.			X			

BAYSAYER SYSTEM DIMENSIONS

DESCRIPTION	SEPARATOR MANHOLE DIMENSIONS		
	1K SYSTEM	3K SYSTEM	5K SYSTEM
A PRIMARY MANHOLE DIAMETER	48"	60"	72"
B MANHOLE DEPTH BELOW OUTLET	8' - 0"	8' - 0"	8' - 0"
C MINIMUM FLUID DEPTH	8' - 3"	8' - 4 1/2"	8' - 6"
STANDARD SEPARATOR UNIT DIMENSIONS			
D SEPARATOR UNIT ID	24"	36"	48"
E SEPARATOR UNIT LENGTH	60"	78.2"	75.4"
F BYPASS PLATE LENGTH	34"	45"	45"
G WEIR/BYPASS PLATE THICKNESS	3/4"	3/4"	3/4"
H ELBOW AND CONNECTING PIPE OD	7.125"	10.75"	12.75"
I ELBOW LENGTH	48"	48"	48"
J WEIR HEIGHT ABOVE INVERT	3"	4"	6"
K BYPASS PLATE HEIGHT ABOVE INVERT	12"	18"	24"
L WIDTH OF WEIR AT BASE	3"	4 1/2"	6"
M OUTLET PIPE DIAMETER	M	M	M
N ELBOW INVERT HEIGHT ABOVE UNIT INVERT	4 1/2"	7 1/2"	11"
O ELBOW PIPE OVERHANG	12"	18"	24"
STORAGE MANHOLE DIMENSIONS			
P STORAGE MANHOLE DIAMETER	48"	60"	72"
Q MANHOLE DEPTH BELOW INLET/OUTLET	48"	48"	48"
R FLUID DEPTH	8' - 0"	8' - 0"	8' - 0"
S TOTAL STORAGE VOLUME	200 CF	300 CF	450 CF
SYSTEM DIMENSIONS AND ELEVATIONS			
T SEPARATOR MANHOLE COVER ELEVATION	T	T	T
U STORAGE MANHOLE COVER ELEVATION	U	U	U
V SEPARATOR MANHOLE FLOOR ELEVATION	V	V	V
W STORAGE MANHOLE FLOOR ELEVATION	W	W	W
X INLET PIPE ID AND MATERIAL	X1 X2	X1 X2	X1 X2
Y INLET PIPE INVERT	Y1 Y2	Y1 Y2	Y1 Y2
Z SEPARATOR UNIT INVERT	Z	Z	Z
AA OUTLET PIPE ID AND MATERIAL	AA	AA	AA
AB ELBOW INVERT ELEVATION	AB	AB	AB
AC CONNECTING PIPE INVERT ELEVATION	AC	AC	AC
AD CONNECTION PIPE SPACING	20"	24"	24"
AE STORAGE MANHOLE SIDE OFFSET	72 ± 6"	72 ± 6"	72 ± 6"
AF STORAGE MANHOLE DOWNSTREAM OFFSET	23"	31"	25"

NOTE:
BAYSAYERS ARE TO BE INSTALLED WITH THE STORM DRAIN SYSTEM AND WILL FUNCTION AS SECONDARY SEDIMENT CONTROL DEVICES. UPON COMPLETION OF SITE STABILIZATION, EACH BAYSAYER SYSTEM SHALL BE FLUSHED CLEAN & THE MANHOLES CLEANED OUT AND REFILLED WITH CLEAN WATER.

Baysaver Separator Unit	Baysaver Manhole Sizes (prim. x stor.)	Maximum Treatment (cfs)*1	Maximum Treatment (gpm)*1	Impervious Area (acres)
1K Baysaver Separator	48x48	2.4	1076	1.2
	48x50	2.4	1076	1.4
	48x72	2.4	1076	1.6
	60x60	2.4	1076	1.5
3K Baysaver Separator	60x60	7.2	3231	3.6
	60x72	7.2	3231	4.1
	60x84	7.2	3231	4.6
	72x72	7.2	3231	4.4
5K Baysaver Separator	72x72	11.1	4981	5.5
	72x84	11.1	4981	6.5
	72x96	11.1	4981	7.5
	96x96	11.1	4981	8.0

NOTE: DIMENSIONAL SHOP DRAWINGS ARE TO BE APPROVED BY THE DESIGN ENGINEER

Project: CVS Designer: RIEMER MUEGGE
 Address: WATERLOO RD Contact: CHRIS REID
ELKBRIDGE, MD. Phone: 410-997-8900
21075 Fax: 410-997-9282
 Delivery Date: _____
 Owner: _____ Contractor: _____
 Contact: _____ Address: _____
 Phone: _____ Fax: _____

Separator Unit Model:
 1K
 3K
 5K

 Circle system orientation above

Manhole Specifications:
 Primary Manhole Diameter: 60 inches
 Storage Manhole Diameter: 60 inches
 Floor Elevations:
 Primary Manhole: 311.55
 Storage Manhole: 311.55
 Primary Manhole Inverts:
 Separator Unit: 319.55 - 28
 Inlet Pipe(s): 319.42 - 25
 Please show orientation (including angle), size and material of inlet pipes above.
 Cover Elevations:
 Primary Manhole: 324.95
 Storage Manhole: 315.0
WQ-1/WQ-1A
 This order can be faxed to Bay Saver, Inc. at (301) 829-3747

CERTIFICATE
 CHRISTOPHER J. REID #19949 DATE 9.12.00
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
Diane Matuszak M.D. 11/9/99 DATE
 COUNTY HEALTH OFFICER
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
James S. Rosta 11/15/99 DATE
 DIRECTOR
Chris Reid 11/24/99 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cindy Hamilton 11/21/99 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT

DATE NO. _____ REVISION _____
 OWNER: AUDREY OMENS ETAL OM HOSPITALITY MANAGEMENT, INC.
1533 GLENEAGLE DR. 6251 WASHINGTON BLVD.
JESSUP, MD 20794 ELKBRIDGE, MD 21075
(410) 794-4655 (410) 379-5095

DEVELOPER: ASTON PROPERTIES
6525 MORRISON BLVD., SUITE 300
CHARLOTTE, NC 28211
(704) 366-1337

PROJECT: CVS
RETAIL STORE
 AREA: Parcels 259 & 260
Tax Map 37 Block 14, 20 Zoned B-1, B-2
6th Election District
Howard County, Maryland

WATER QUALITY NOTES AND DETAILS

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8800 fax 410.997.8282

DATE _____
 DESIGNED BY: C.J.R.
 DRAWN BY: D.A.M.
 PROJECT NO: 98313
SDP7.DWG
 DATE: OCTOBER 13, 1999
 SCALE: AS SHOWN
 DRAWING NO. 7 OF 8

ADA COMPLIANT PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27221
 Exp. 02/19/2020
Bradley J. Davis

SCHEDULE 'B' - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	1
NUMBER OF PARKING SPACES	52
NUMBER OF SHADE TREES/ISLANDS* REQUIRED (1/20 SPACES)	3
NUMBER OF TREES PROVIDED	2
SHADE TREES	20
SHRUBS (10:1 SUBSTITUTION)	3
NUMBER OF ISLANDS REQUIRED	3
NUMBER OF ISLANDS PROVIDED	3

SUBSTITUTION NOTES:
 (20) EVERGREEN SHRUBS WERE SUBSTITUTED FOR (2) SHADE TREE

SCHEDULE 'A' - PERIMETER LANDSCAPE EDGE							
PERIMETER	ADJACENT TO ROADWAYS						
	1	* 2	3	4	5	6	7
LANDSCAPE TYPE	B	E	B	E	C	C	C
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 165'	± 300'	± 188'	± 40'	± 140'	± 280'	± 25'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	YES 300' @ 3' H X2 WALLS	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED							
SHADE TREES	0	0	0	0	0	0	0
EVERGREEN TREES	0	0	0	0	0	0	0
SHRUBS	0	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED							
SHADE TREES	0	0	0	0	0	0	0
EVERGREEN TREES	0	0	0	0	0	0	0
SMALL FLOWERING TREES	0	0	0	0	0	0	0
SHRUBS	0	0	0	0	0	0	0

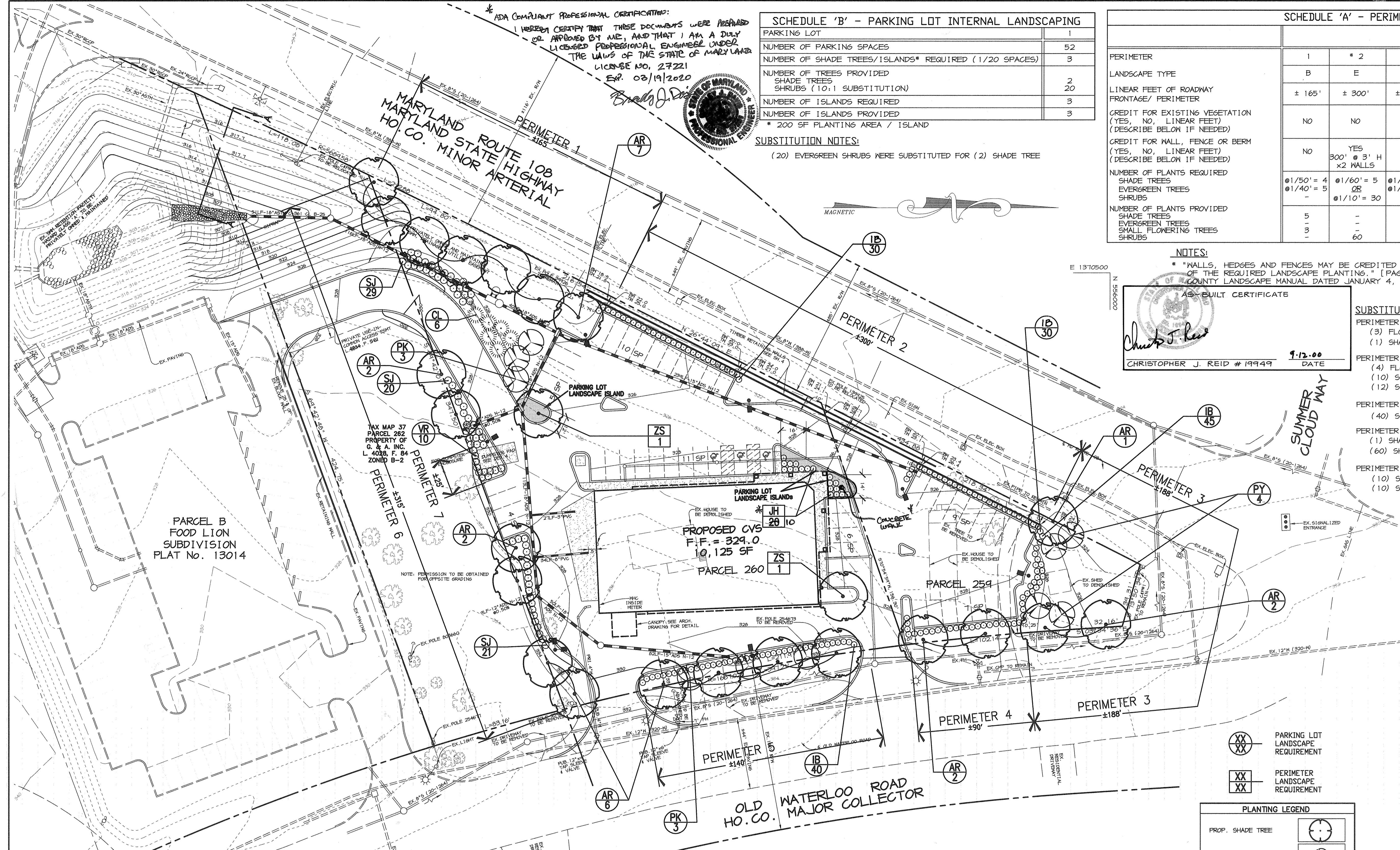
NOTES:

* WALLS, HEDGES AND FENCES MAY BE CREDITED TOWARDS MEETING 100% OF THE REQUIRED LANDSCAPE PLANTING. [PAGE 24 OF THE HOWARD COUNTY LANDSCAPE MANUAL DATED JANUARY 4, 1998]

AS-BUILT CERTIFICATE
Christopher J. Reid
 CHRISTOPHER J. REID # 19949
 9-12-00
 DATE

SUBSTITUTION NOTES:

- PERIMETER 1:
 (3) FLOWERING TREES WERE SUBSTITUTED FOR (3) EVERGREEN TREES
 (1) SHADE TREE WAS SUBSTITUTED FOR (2) EVERGREEN TREES
- PERIMETER 3:
 (4) FLOWERING TREES WERE SUBSTITUTED FOR (4) EVERGREEN TREES
 (10) SHRUBS WERE SUBSTITUTED FOR (1) SHADE TREE
 (12) SHRUBS WERE SUBSTITUTED FOR (1) EVERGREEN TREE
- PERIMETER 5:
 (40) SHRUBS WERE SUBSTITUTED FOR (4) EVERGREEN TREES
- PERIMETER 6:
 (1) SHADE TREE WAS SUBSTITUTED FOR (2) EVERGREEN TREES
 (60) SHRUBS WERE SUBSTITUTED FOR (6) EVERGREEN TREES
- PERIMETER 7:
 (10) SHRUBS WERE SUBSTITUTED FOR (1) SHADE TREE
 (10) SHRUBS WERE SUBSTITUTED FOR (1) EVERGREEN TREE



PARCEL B
 FOOD LION
 SUBDIVISION
 PLAT No. 13014

PROPOSED CVS
 F.F. = 329.0
 10,125 SF
 PARCEL 260

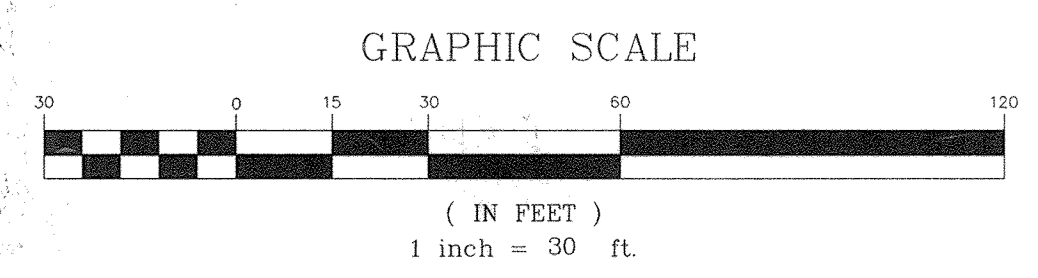
PARCEL 259

OLD HO. CO. WATERLOO ROAD MAJOR COLLECTOR

PLANT LIST				
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT
AR	22	Acer rubrum 'October Glory' / October Glory Red Maple	2 1/2" - 3" CAL	B&B
ZS	* 2	Zelkova serrata 'Green Vase' / Green Vase Zelkova	2 1/2" - 3" CAL	B&B
CL	6	Cupressocyparis leylandii / Leyland Cypress	5' - 6' HT.	B&B
PY	4	Prunus yedoensis / Yoshino Cherry	1 1/2" - 2" CAL	B&B
PK	6	Prunus serrulata 'Kwanzan' / Kwanzan Cherry	1 1/2" - 2" CAL	B&B
IB	* 140	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	2 1/2" - 3" HT.	B&B
JH	* 10	Juniperus Horiz. 'Plumosa Compacta' / Compact Andorra Juniper	18" - 24" SP.	CONT
SJ	70	Spiraea japonica 'Snowmound' / Snowmound Spiraea	2' - 2 1/2' HT.	CONT
VR	10	Viburnum rhytidophyllum / Leatherleaf Viburnum	2 1/2" - 3" HT.	B&B

PLANT LIST NOTES:
 1) SURETY AMOUNT IS BASED ON REQUIRED LANDSCAPE MATERIAL ONLY
 2) FOR LANDSCAPE PLANTING DETAILS, SEE SHEET 6 OF 8
 3) SHOW IRRIGATION SYSTEM WITH SLEEVES, SEPARATE WATER METER WITH BACKFLOW PREVENTER, HEADS, AND MANUAL OVERRIDE STATION.

PLANTING LEGEND	
PROP. SHADE TREE	(Symbol)
PROP. ORNAMENTAL TREE	(Symbol)
PROP. EVERGREEN TREE	(Symbol)
PROP. EVERGREEN SHRUB	(Symbol)
PROP. DECIDUOUS SHRUB	(Symbol)
EXISTING SHADE TREE	(Symbol)
PARKING LOT LANDSCAPE ISLAND	(Symbol)
EXISTING PLANTS	(Symbol)



- NOTES:
 1) A LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE TO SECTION 16.124 OF THE LANDSCAPE MANUAL FOR THIS SITE.
 2) FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$14,490.00.
 3) THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 4) CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

DEVELOPER'S/BUILDER'S CERTIFICATE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
David T. Dows
 NAME DATE 10.7.99

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
Diane Matranga M.D. 11/9/99
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Paul R. Smith 11/15/99
 DIRECTOR DATE

William J. ... 11/4/99
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

David ... 11/12/99
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

9/12/18: ADA COMPLIANCE REVISIONS

DATE NO.	REVISION

OWNER: AUDREY OWENS ETAL 7533 GLENEAGLE DR. JESSUP, MD 20744 (410) 749-4655
 OWNER: OM HOSPITALITY MANAGEMENT, INC. 6251 WASHINGTON BLVD. ELKRIEGE, MD 21075 (410) 374-3095

DEVELOPER: ASTON PROPERTIES 6525 MORRISON BLVD., SUITE 300 CHARLOTTE, NC 28211 (704) 366-7337

PROJECT: CVS RETAIL STORE

AREA: Parcels 259 & 260 Tax Map 37 Block 14, 20 Zoned B-1, B-2 6th Election District Howard County, Maryland

TITLE: LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21046
 tel 410.997.8900 fax 410.997.9282

8.6.99 DATE
 DESIGNED BY: D.T.D.
 DRAWN BY: A.L.
 PROJECT NO. 98313 LSCP.DWG
 DATE: OCTOBER 13, 1999
 SCALE: 1" = 30'
 DRAWING NO. 8 OF 8