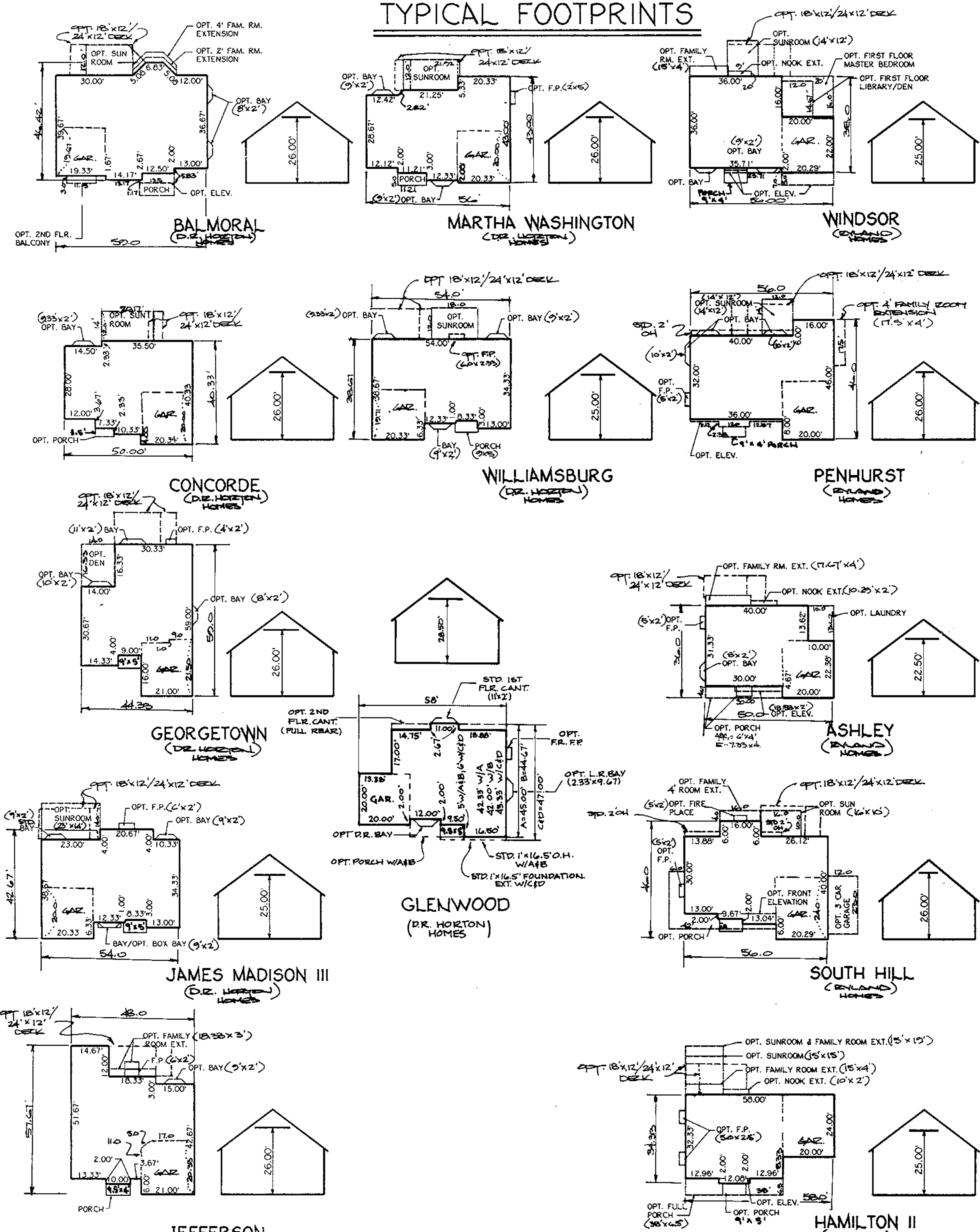


TYPICAL FOOTPRINTS

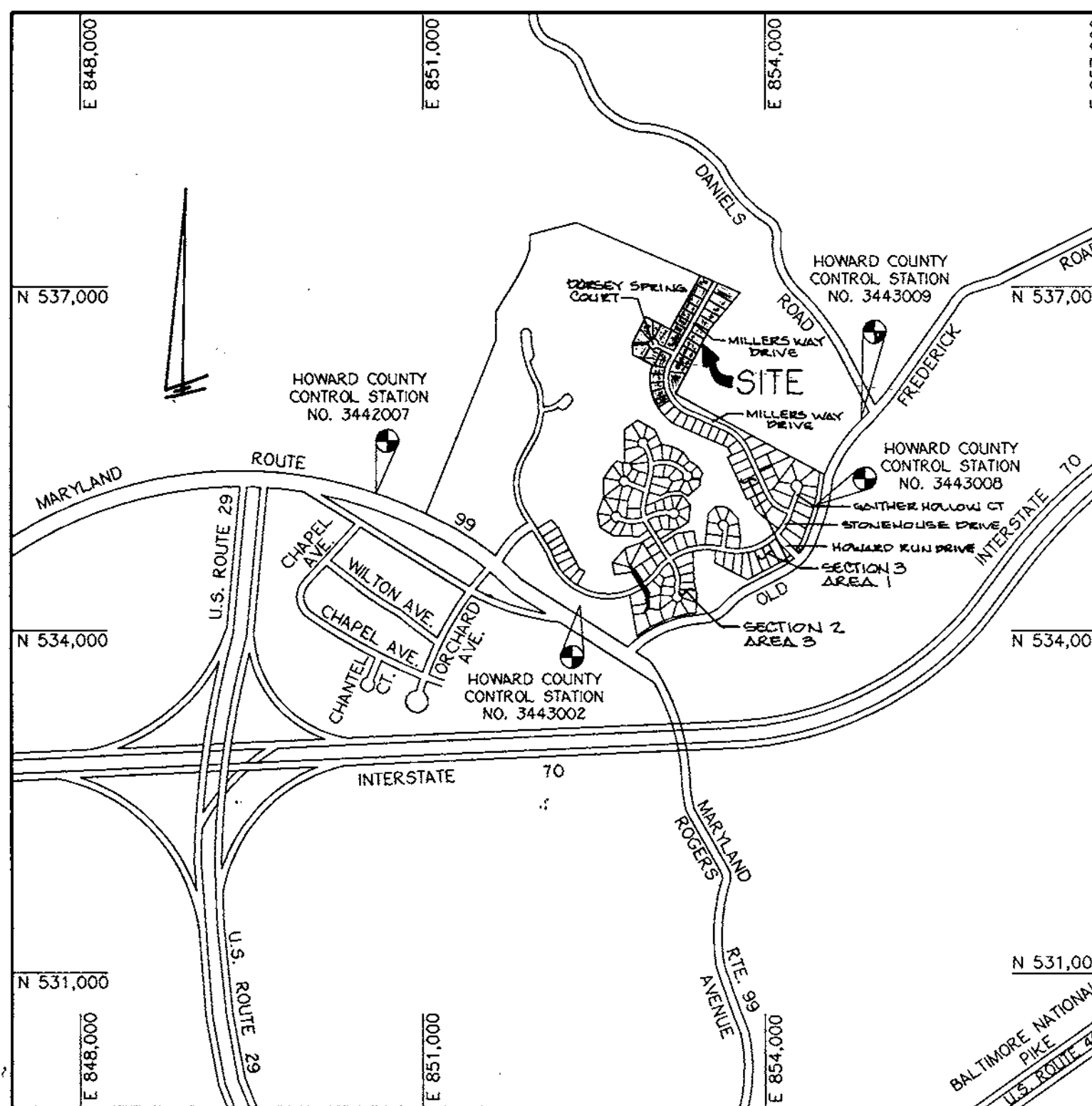


INDEX OF SHEETS

- 1.) TITLE SHEET
- 2.) PLAN SHEET - LOTS 277 THRU 282, 295, 296 & 305 THRU 308
- 3.) PLAN SHEET - LOTS 297 THRU 304
- 4.) PLAN SHEET - LOTS 283 THRU 294
- 5.) LANDSCAPING, NOTES AND DETAILS

GENERAL NOTES

- 1) AREA INCLUDED IN THIS SUBMISSION IS **SECTION 3 AREA 2** (NOT INCLUDING OPEN SPACE)
- 2) PRESENT ZONING IS R-ED PER 10/18/93 COMPREHENSIVE REZONING PLAN.
- 3) PROPOSED USE OF PROPERTY IS SINGLE FAMILY DETACHED HOUSES.
- 4) TOTAL NUMBER OF LOTS INCLUDED IN THIS SUBMISSION IS **21**.
- 5) DEPARTMENT OF PLANNING AND ZONING REFERENCE FILE NUMBERS ARE **95-18, 4P 01-25**.
- 6) UTILITIES SHOWN AS EXISTING ARE TAKEN FROM WATER AND SEWER CONTRACT NUMBERS 14 3672-D. ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED ROAD DRAWINGS (P 98-72).
- 7) ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- 8) EXISTING CONTOURS ARE BASED OFF THE MASS GRADING, WATER QUALITY, STREET TREE, GRADING AND SEDIMENT CONTROL PLANS PREPARED BY FISHER, COLLINS, AND CARTER, INC. (F 95-72).
- 9) THE COORDINATES SHOWN HEREON ARE BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. H.C.M. 17 EA AND NO. H.C.M. 17 EB.  
STATION NO. H.C.M. 17EA: N 181160.5724 (METERS)  
E 413772.7247 (METERS)  
STATION NO. H.C.M. 17EB: N 180994.8448 (METERS)  
E 413227.8979 (METERS)
- 10) THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DIVISION OF CONSTRUCTION INSPECTION AT (410) 313-1880 AT LEAST 24 HOURS PRIOR TO START OF WORK.
- 11) THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- 12) DRIVEWAY ENTRANCES ARE TO BE CONSTRUCTED PER THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, DETAILS R 6.03 AND R 6.05.
- 13) STORMWATER MANAGEMENT IS PROVIDED PER F - 98-13.
- 14) THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. SEE THE APPROVED CONSTRUCTION DRAWINGS FOR INSTALLATION OF UTILITIES, ROADWAYS, AND PUBLIC WALKWAYS.



VICINITY MAP

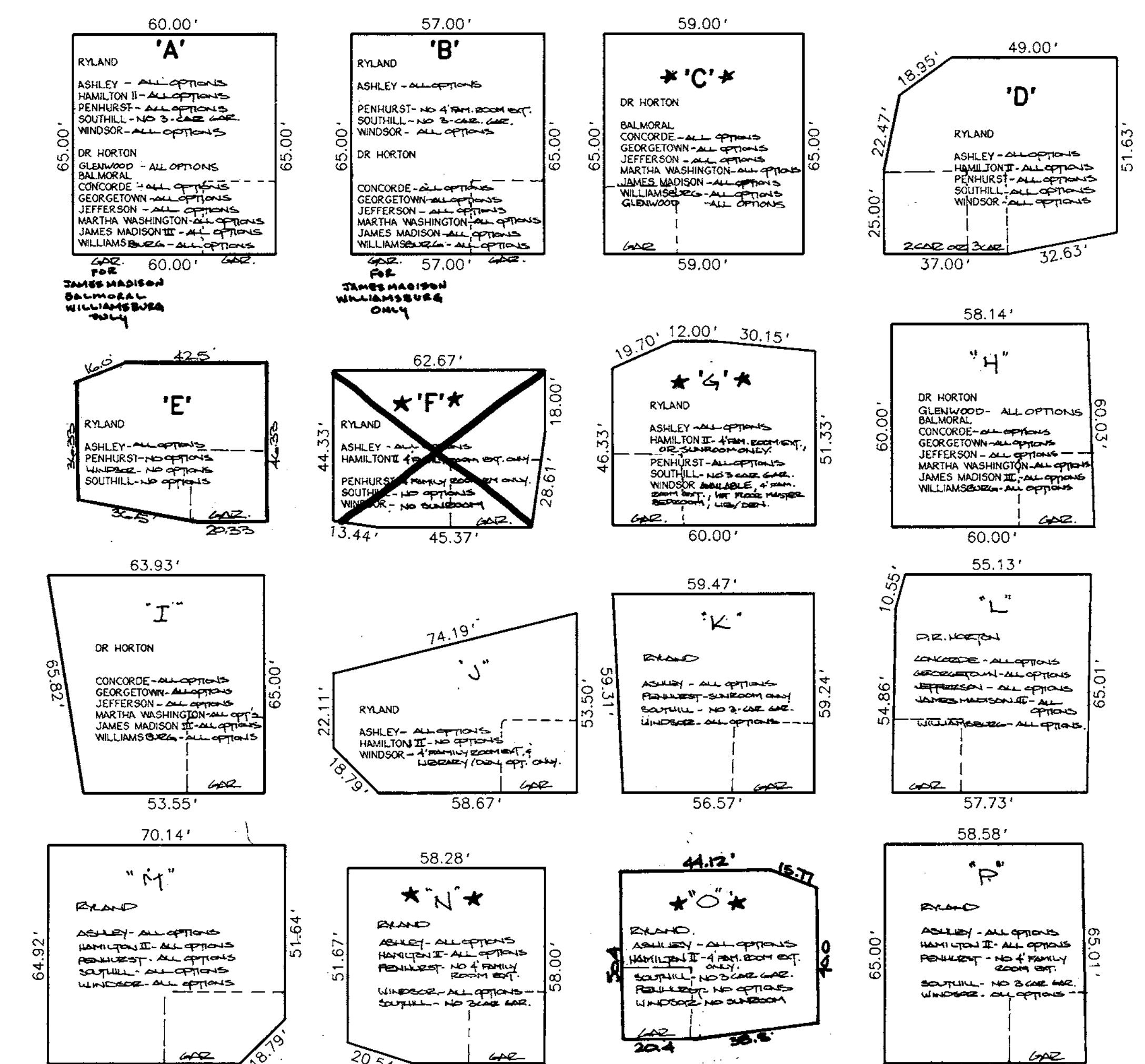
SCALE: 1" = 1200'

BENCHMARKS:

- H.C.M. 17EA: N 181160.5724 (METERS)  
E 413772.7247 (METERS)  
H.C.M. 17EB: N 180994.8448 (METERS)  
E 413227.8979 (METERS)

LEGEND

SYMBOL	DESCRIPTION
FF 0.00	FINISHED FLOOR ELEVATION
TF 0.00	FINISHED TOP OF FOOTING ELEVATION
PROPOSED	PROPOSED GROUND ELEVATION AT WALKOUT CONDITION
GROUND SPOT	GROUND SPOT ELEVATION
UNIT DESIGNATION	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
5R	NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)
W/W	WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR
PROPOSED	PROPOSED CONTOUR
EXISTING	EXISTING GROUND CONTOUR
DRAINAGE	DRAINAGE FLOW ARROW
PROPERTY	PROPERTY LINE
RIGHT-OF-WAY	RIGHT-OF-WAY
EXISTING	EXISTING CURB & GUTTER
EXISTING	EXISTING WATER MAINS
EXISTING	EXISTING STORM DRAINS
EXISTING	EXISTING SEWER LINES
HOUSE	HOUSE NUMBERS
STREET	STREET TREES



\* BOX NOTES \*

1. BOX 'C' - BALMORAL CANNOT HAVE BRICK SIDES.
2. BOX 'F' - 4' FAMILY ROOM IS NOT AVAILABLE WITH 1ST FLOOR PORCH. HOUSE TYPE WILL BE 3' FAMILY ROOM WITH 1ST FLOOR PORCH.
3. BOX 'O' - HAMILTON II CANNOT HAVE BRICK WALK ON SIDES.
4. BOX 'P' - 4' FAMILY ROOM IS NOT AVAILABLE WITH 1ST FLOOR PORCH. HOUSE TYPE WILL BE 3' FAMILY ROOM WITH 1ST FLOOR PORCH.

NOTE:  
BOX WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES, CHIMNEYS, HEATING & AIR CONDITIONING UNITS, AND EXTERIOR STAIRWAYS OR RAMPS IF NOT MORE THAN 16" IN WIDTH, MAY PROJECT NOT MORE THAN 4" INTO ANY REQUIRED SETBACK AREA, OR REQUIRED DISTANCE BETWEEN BUILDINGS. OPEN OR ENCLOSED PORCHES OR DECKS MAY PROJECT NOT MORE THAN 10' INTO REQUIRED FRONT OR REAR YARD SETBACK AREA PER SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS. SIDE WELLS AROUND PORCHES CAN NOT INFRINGE INTO ANY REQUIRED 7.5' SIDE YARD SETBACK.

**BUILDER**  
RYLAND HOMES  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE  
HANOVER, MD 21076  
PHONE 410-712-7012

**BUILDER**  
D.R. HORTON  
1370 PICCARD DRIVE, SUITE 230  
ROCKVILLE, MD 20850  
PHONE: 301-670-6144

**MORRIS & RITCHIE ASSOC., INC.**  
ENGINEERS, PLANNERS, SURVEYORS,  
AND LANDSCAPE ARCHITECTS  
139 N. Main Street, Suite 200  
Bel Air, Maryland 21014  
(410) 879-1600 - (410) 836-7560  
Fax: (410) 879-1620

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*David G. Taylor*  
DAVID G. TAYLOR DATE 3/22/99

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John J. Grand*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE 3/16/99  
JOHN J. GRAND

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE DATE  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE

**OWNER / DEVELOPER**  
THE RYLAND GROUP, INC.  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE, SUITE 520  
HANOVER, MD 21076

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Chris Hamilton* 7/16/99  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*William J. ...* 7/16/99  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*...* 7/14/99  
DATE

SUBDIVISION: DANIELS MILL OVERLOOK  
SECTION / AREA: 3 / 2  
LOT NO: 277-280, 295-308  
FLAT NO.: ...  
BLOCK NO.: 12  
ZONE: R-ED  
TAX / ZONE: ...  
ELEC. DIST.: 2ND  
CENSUS TR.: 6021  
WATER CODE: H02  
SEWER CODE: 14-3672-D

**SITE DEVELOPMENT PLAN**  
**DANIELS MILL OVERLOOK**  
**SECTION 3 AREA 2**  
LOTS 277 THRU 280 AND LOTS 295 THRU 308  
TAX MAP 17

SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1/11/99  
SHEET 1 OF 5  
SDR 99-113



LOT INFORMATION

LOT NUMBER	LOT SIZE (SQ. FT.)	STREET ADDRESS	S.H.C. INVERT AT PROPERTY LINE	MIN. CELLAR ELEVATION
297	10533	8500 DORSEY SPRING COURT	420.45	425.6
298	8912	8504 DORSEY SPRING COURT	419.15	424.5
299	11543	8508 DORSEY SPRING COURT	418.66	422.8
300	16284	8512 DORSEY SPRING COURT	418.00	422.3
301	15133	8513 DORSEY SPRING COURT	418.25	423.8
302	16525	8509 DORSEY SPRING COURT	416.77	419.6
303	10730	8505 DORSEY SPRING COURT	421.70	428.9
304	8537	8501 DORSEY SPRING COURT	419.67	424.6

NOTE: CONTRACTOR TO CHECK SEWER HOUSE CONNECTIONS ELEVATIONS AT PROPERTY LINE PRIOR TO CONSTRUCTION.

NOTE:  
TYPICAL S.H.C. SIZE IS 4"  
TYPICAL TWIN W.H.C. SIZE IS 1" FOR ALL LOTS UNLESS NOTED OTHERWISE.  
TYPICAL SINGLE W.H.C. SIZE IS 3/4"  
LOTS 277, 278, 279, 280, 292, 301, 302, 308.

(SEE F00-73)  
**SPILL OUTLET SEDIMENT TRAP NO. 4 (ST-IV)**  
(FUTURE W.G. FACILITY NO. 11)  
DESIGN AREA = 150 AC  
DESIGN SPEED = 3 MPH  
DESIGN FLOW = 100 CFS  
DESIGN DEPTH = 10"  
DESIGN LENGTH = 40'-0"  
DESIGN WIDTH = 4'-0"  
DESIGN WEIGHT = 400 LBS  
DESIGN LENGTH = 40'-0"  
DESIGN WIDTH = 4'-0"

OPEN SPACE, LOT 129 DANIELS MILL OVERLOOK SECTION 2, AREA 2 PLAT No. 12797

LEGEND

FF	FINISHED FLOOR ELEVATION
TF	FINISHED TOP OF FOOTING ELEVATION
W.O. 100x0	PROPOSED GROUND ELEVATION AT WALKOUT CONDITION
100x0	GROUND SPOT ELEVATION
STD or REV	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
3R	NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)
W.W.	WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR
400	PROPOSED CONTOUR
---	EXISTING GROUND CONTOUR
---	DRAINAGE FLOW ARROW
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EXISTING CURB & GUTTER
EX. 8" WAT	EXISTING WATER MAINS
15" RCCP	EXISTING STORM DRAINS
EX. 8" SAN	EXISTING SEWER LINES
T	STOP SIGN / STREET SIGN
○	STREET TREES (PER F 00-75)
○	STREET LIGHT
---	SILT FENCE
---	LIMIT OF DISTURBANCE
---	EDGE WOODS
---	PERIMETER LANDSCAPE EDGE (PER F 00-73)
---	SPRINKLER SYSTEM

**BUILDER**  
RYLAND HOMES  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE  
HANOVER, MD 21076  
PHONE 410-712-7012

**BUILDER**  
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Fax: (410) 879-1820

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*David M. Johnson*  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE 3/22/99

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*John W. McRae*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE 3/19/99

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Clay Simon*  
U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE DATE 4/21/99

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John W. McRae*  
HOWARD SCD DATE 6/21/99

OWNER / DEVELOPER

THE RYLAND GROUP, INC  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Cinda Hamilton*  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7/10/99

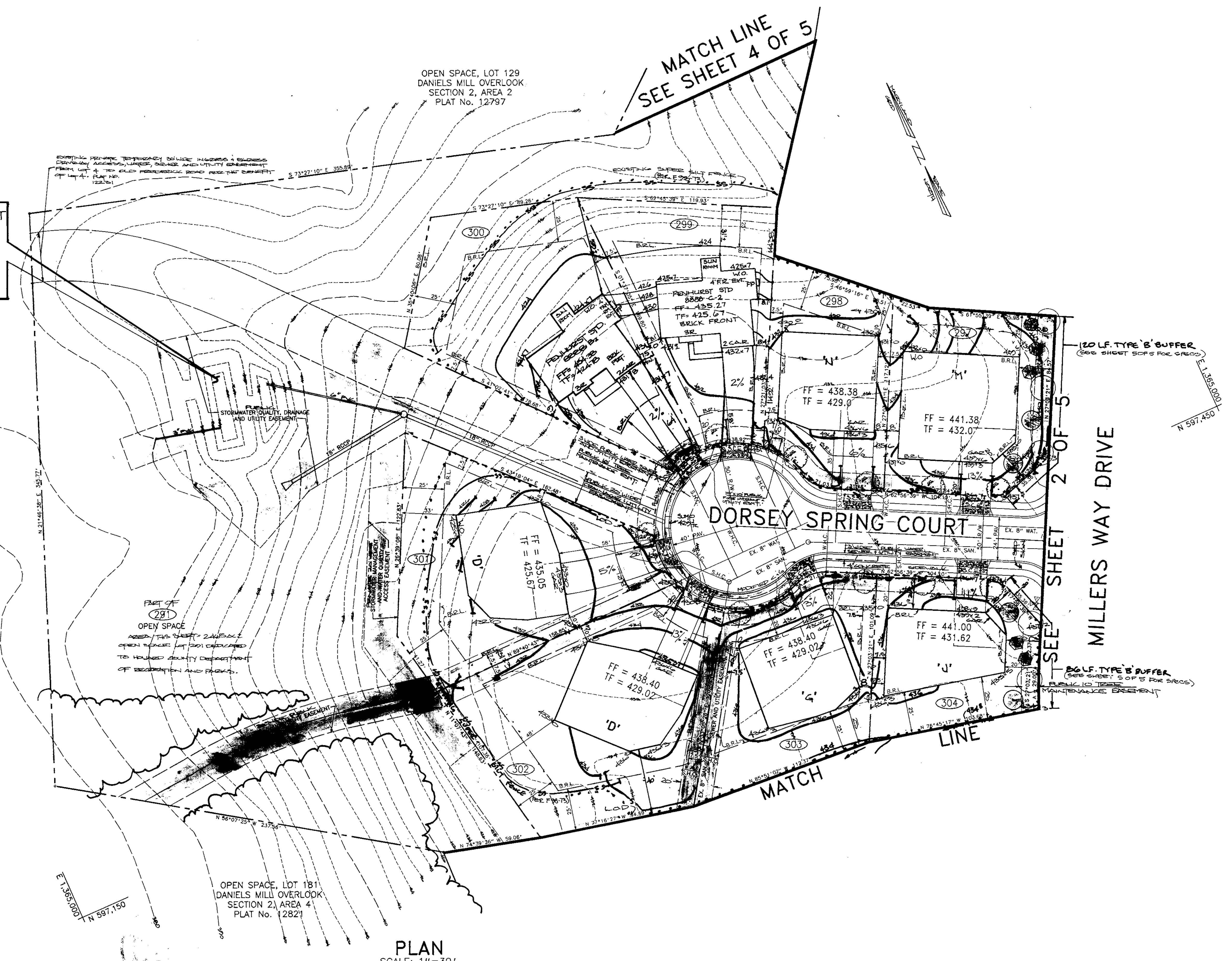
*John W. McRae*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 7/16/99

*John W. McRae*  
CHIEF, ENGINEERING DIVISION DATE 7/14/99

SUBDIVISION		SECTION / AREA		LOT NO.	
DANIELS MILL OVERLOOK		3 2		2971-304	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
13441-13444	12	R-ED	17	2ND	6021
WATER CODE		SEWER CODE			
H02		14-2422-D			

(GENERIC)  
SITE DEVELOPMENT PLAN

**DANIELS MILL OVERLOOK**  
SECTION 3 AREA 2  
LOTS 277 THRU 290 AND LOTS 292 THRU 308  
TRAIL MAP NO. 17  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/11/99  
SHEET 3 OF 5



PLAN  
SCALE: 1"=30'

LOT INFORMATION

LOT NUMBER	LOT SIZE (SQ. FT.)	STREET ADDRESS	S.H.C. INVERT AT PROPERTY LINE	MIN. CELLAR ELEVATION
283	11140	2812 MILLERS WAY DRIVE	423.51	428.6
284	11778	2816 MILLERS WAY DRIVE	423.90	429.1
285	12599	2820 MILLERS WAY DRIVE	423.94	428.2
286	13421	2824 MILLERS WAY DRIVE	424.34	428.7
287	14242	2828 MILLERS WAY DRIVE	424.64	429.2
288	21354	2832 MILLERS WAY DRIVE	425.47	431.4
289	14946	2829 MILLERS WAY DRIVE	425.19	431.1
290	11317	2825 MILLERS WAY DRIVE	424.45	428.9
292	12174	2821 MILLERS WAY DRIVE	423.85	428.0
293	12584	2817 MILLERS WAY DRIVE	423.57	427.8
294	11804	2813 MILLERS WAY DRIVE	423.31	428.5

NOTE: CONTRACTOR TO CHECK SEWER HOUSE CONNECTIONS ELEVATIONS AT PROPERTY LINE PRIOR TO CONSTRUCTION.

NOTE:  
TYPICAL S.H.C. SIZE IS 4"  
TYPICAL TWIN W.H.C. SIZE IS 1" FOR ALL LOTS UNLESS NOTED OTHERWISE.  
TYPICAL SINGLE W.H.C. SIZE IS 3/4"  
LOTS 277,278, 279, 280, 292, 301, 302, 308.

(REF. F 008-73)  
EX. STONE OUTLET SEDIMENT TRAP NO. 3 (S-I-V)  
(RIDGE W.H.C. PRELIM. NO. 12)  
DRAINAGE AREA = 2200 SQ. FT.  
SPILLWAY PERIM. D. = 10" AND 10" W.H.C.  
SPILLWAY PERIM. D. = 10" AND 10" W.H.C.  
BOTTOM AREA = 2500 SQ. FT.  
DEPTH = 2'  
BOTTOM ELEV. = 442.00  
CATCH-BASE ELEV. = 432.70  
W.H.C. ELEV. = 432.70  
W.H.C. LENGTH = 5'

LEGEND

SYMBOL	DESCRIPTION
F.F.	FINISHED FLOOR ELEVATION
T.F.	FINISHED TOP OF FOOTING ELEVATION
W.O. 100x0	PROPOSED GROUND ELEVATION AT WALKOUT CONDITION
100x0	GROUND SPOT ELEVATION
STD or REV	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
3R	NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)
W.W.	WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR
---	PROPOSED CONTOUR
---	EXISTING GROUND CONTOUR
---	DRAINAGE FLOW ARROW
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EXISTING CURB & GUTTER
EX. 8" WAT	EXISTING WATER MAINS
EX. 15" RCCP	EXISTING STORM DRAINS
EX. 8" SAN	EXISTING SEWER LINES
+	STOP SIGN
○	STREET TREES
○	STREET LIGHT
---	SILT FENCE
---	LIMIT OF DISTURBANCE
---	EDGE WOODS
---	PERIMETER LANDSCAPE EDGE
---	SHOULDER BUILT FENCE

**BUILDER**  
RYLAND HOMES  
BALTIMORE DIVISION  
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*David R. Tolan*  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE: 3/22/99

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*John J. Gorman*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE: 3/16/99

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Cheryl Simon*  
U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE: 6/21/99

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John J. Gorman*  
HOWARD SCD DATE: 6/21/99

OWNER / DEVELOPER

THE RYLAND GROUP, INC  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Cheryl Simon*  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 7/12/99

*John J. Gorman*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 7/16/99

*John J. Gorman*  
DATE: 7/14/99

SUBDIVISION	SECTION / AREA	LOT NO.
DANIELS MILL OVERLOOK	3 2	283-290
PLAT NO.	BLOCK NO.	ZONE
13441-13444	12	R-ED
WATER CODE	TAX / ZONE	ELEC. DIST.
H02	17	2ND
	SEWER CODE	CENSUS TR.
	14-3472-0	6021

(GENERIC)  
SITE DEVELOPMENT PLAN

DANIELS MILL OVERLOOK

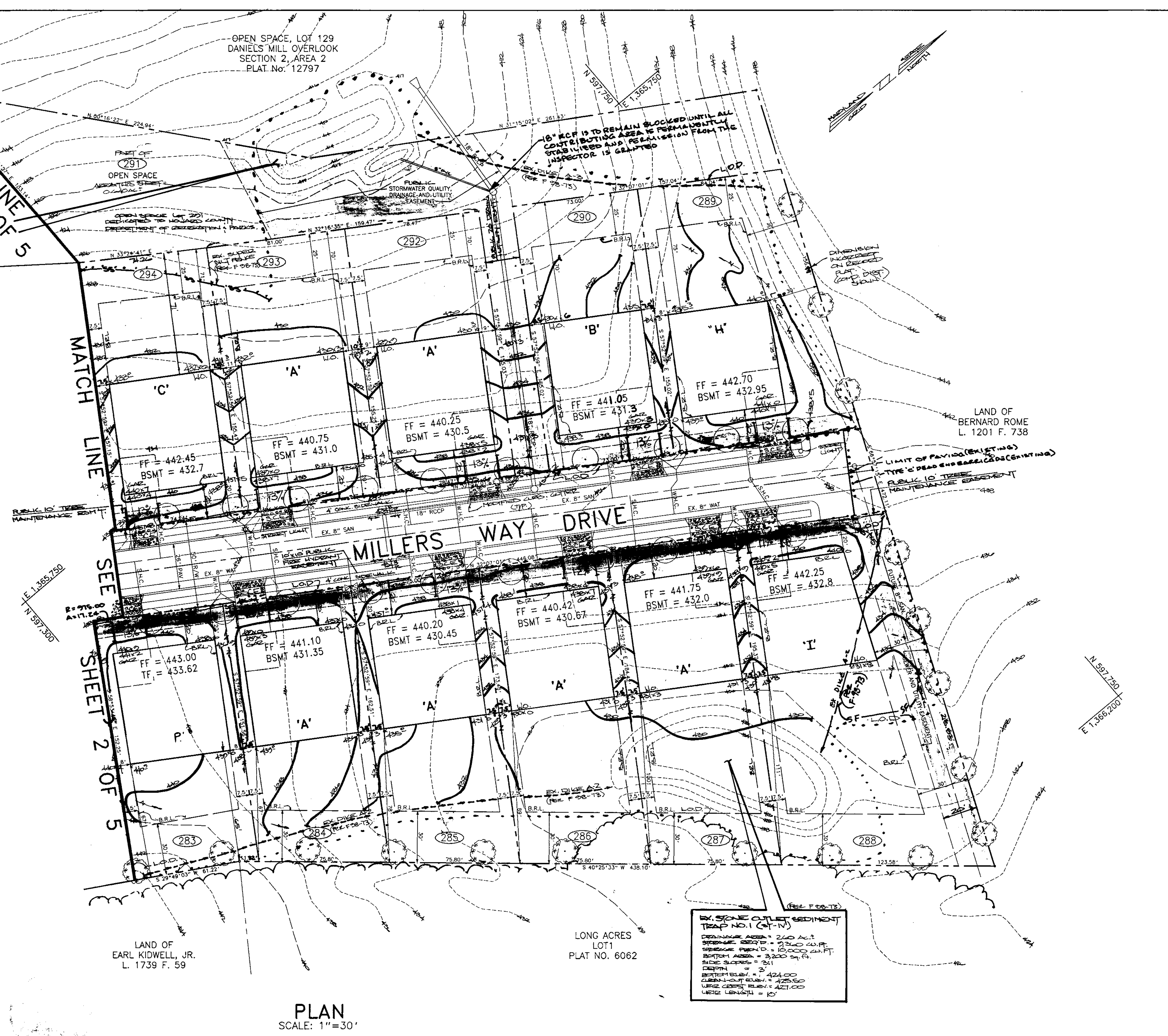
SECTION 3 AREA 2  
LOTS 277 THRU 290 AND LOTS 292 THRU 308  
TAX MAP NO. 17  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/11/99  
SHEET 4 OF 5

SEE MATCH LINE 3 OF 5

MATCH LINE

SEE SHEET 2 OF 5

OPEN SPACE, LOT 129  
DANIELS MILL OVERLOOK  
SECTION 2, AREA 2  
PLAT No. 12797



PLAN  
SCALE: 1"=30'

(REF. F 008-73)  
EX. STONE OUTLET SEDIMENT TRAP NO. 1 (S-I-V)  
DRAINAGE AREA = 2200 SQ. FT.  
SPILLWAY PERIM. D. = 10" AND 10" W.H.C.  
SPILLWAY PERIM. D. = 10" AND 10" W.H.C.  
BOTTOM AREA = 2500 SQ. FT.  
DEPTH = 2'  
BOTTOM ELEV. = 442.00  
CATCH-BASE ELEV. = 432.00  
W.H.C. ELEV. = 432.00  
W.H.C. LENGTH = 10'



LOT INFORMATION

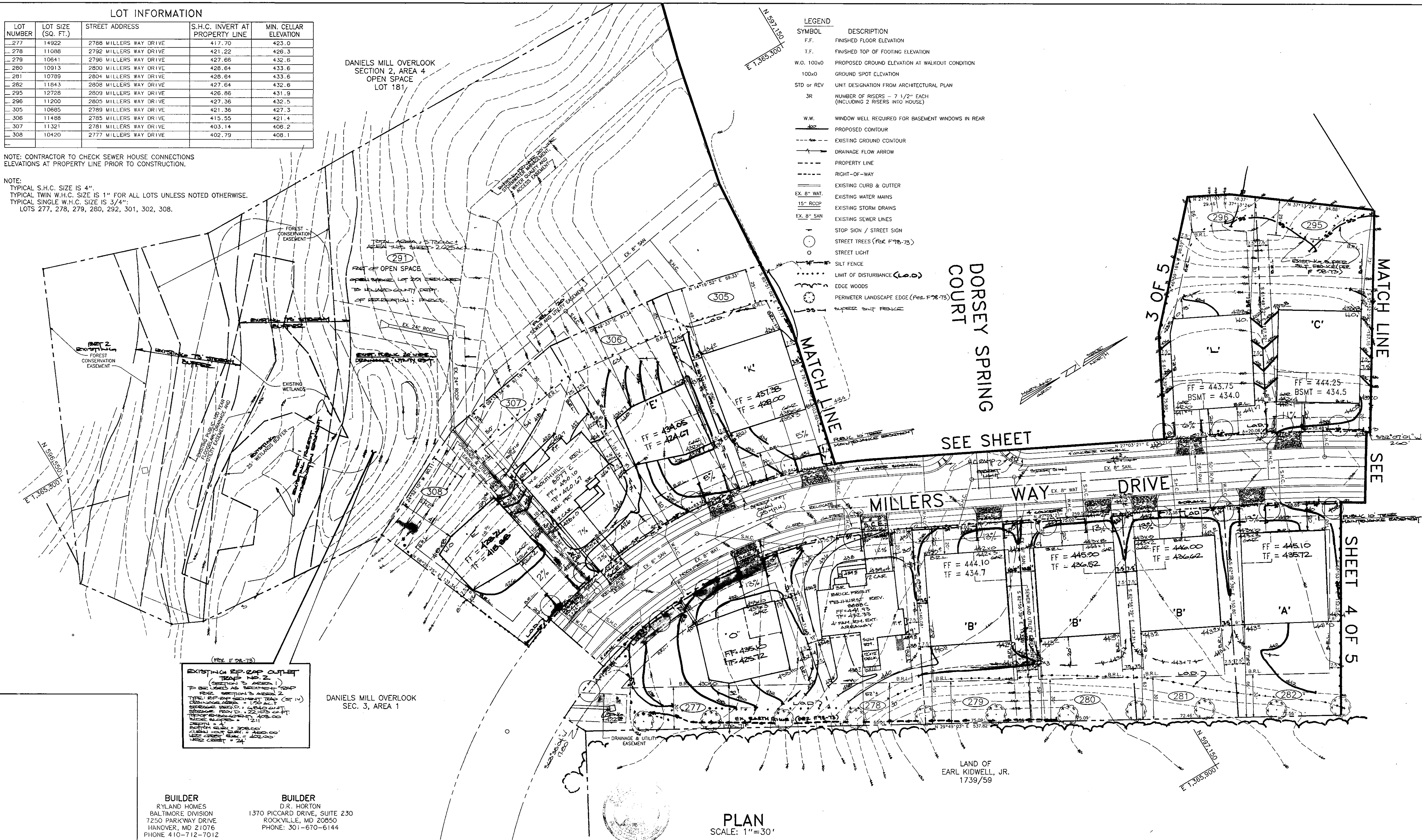
LOT NUMBER	LOT SIZE (SQ. FT.)	STREET ADDRESS	S.H.C. INVERT AT PROPERTY LINE	MIN. CELLAR ELEVATION
277	14922	2788 MILLERS WAY DRIVE	417.70	423.0
278	11088	2792 MILLERS WAY DRIVE	421.22	426.3
279	10641	2796 MILLERS WAY DRIVE	427.66	432.6
280	10913	2800 MILLERS WAY DRIVE	428.64	433.6
281	10789	2804 MILLERS WAY DRIVE	428.64	433.6
282	11843	2808 MILLERS WAY DRIVE	427.64	432.6
295	12728	2809 MILLERS WAY DRIVE	426.86	431.9
296	11200	2805 MILLERS WAY DRIVE	427.36	432.5
305	10685	2789 MILLERS WAY DRIVE	421.36	427.3
306	11488	2785 MILLERS WAY DRIVE	415.55	421.4
307	11321	2781 MILLERS WAY DRIVE	403.14	406.2
308	10420	2777 MILLERS WAY DRIVE	402.79	408.1

NOTE: CONTRACTOR TO CHECK SEWER HOUSE CONNECTIONS ELEVATIONS AT PROPERTY LINE PRIOR TO CONSTRUCTION.

NOTE:  
TYPICAL S.H.C. SIZE IS 4"  
TYPICAL TWIN W.H.C. SIZE IS 1" FOR ALL LOTS UNLESS NOTED OTHERWISE.  
TYPICAL SINGLE W.H.C. SIZE IS 3/4"  
LOTS 277, 278, 279, 280, 292, 301, 302, 308.

LEGEND

SYMBOL	DESCRIPTION
F.F.	FINISHED FLOOR ELEVATION
T.F.	FINISHED TOP OF FOOTING ELEVATION
W.O. 100x0	PROPOSED GROUND ELEVATION AT WALKOUT CONDITION
100x0	GROUND SPOT ELEVATION
STD or REV	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
3R	NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)
W.W.	WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR
402	PROPOSED CONTOUR
---	EXISTING GROUND CONTOUR
→	DRAINAGE FLOW ARROW
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EXISTING CURB & CUTTER
EX. 8" WAT.	EXISTING WATER MAINS
EX. 15" RCCP	EXISTING STORM DRAINS
EX. 8" SAN	EXISTING SEWER LINES
○	STOP SIGN / STREET SIGN
○	STREET TREES (PER F78-73)
○	STREET LIGHT
---	SILT FENCE
---	LIMIT OF DISTURBANCE (L.O.D.)
---	EDGE WOODS
---	PERIMETER LANDSCAPE EDGE (PER F78-73)
---	RAISED SILT ROAD



EXISTING RIP-RAP OUTLET TRAP NO. 2 (SECTION 3, AREA 1) TO BE USED AS SEWAGE TRAP FOR SECTION 3, AREA 2. THIS RIP-RAP SEWAGE TRAP (ST 14) IS LOCATED AT THE INTERSECTION OF MILLERS WAY DRIVE AND SECTION 3, AREA 2. THE RIP-RAP SEWAGE TRAP IS TO BE RECONSTRUCTED TO A DEPTH OF 423.00' (SEE ELEVATION) AND A 24" DIA. RIP-RAP TRAP IS TO BE INSTALLED AT THE INTERSECTION OF MILLERS WAY DRIVE AND SECTION 3, AREA 2. THE RIP-RAP TRAP IS TO BE RECONSTRUCTED TO A DEPTH OF 423.00' (SEE ELEVATION) AND A 24" DIA. RIP-RAP TRAP IS TO BE INSTALLED AT THE INTERSECTION OF MILLERS WAY DRIVE AND SECTION 3, AREA 2.

**BUILDER**  
RYLAND HOMES  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE  
HANOVER, MD 21076  
PHONE 410-712-7012

**BUILDER**  
D.R. HORTON  
1370 PICCARD DRIVE, SUITE 230  
ROCKVILLE, MD 20850  
PHONE: 301-670-6144

PLAN  
SCALE: 1"=30'

**MORRIS & RITCHIE ASSOC., INC.**  
ENGINEERS, PLANNERS, SURVEYORS,  
AND LANDSCAPE ARCHITECTS  
139 N. Main Street, Suite 200  
Bel Air, Maryland 21014  
(410) 879-1690 - (410) 836-7560  
Fax: (410) 879-1820

LOT	DATE	REVISION
278	12-1-99	REDLINE - ADD PENHURST REV.
307	11-24-99	REDLINE - ADD SOUTH HILL REV.

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*David M. Tyler*  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE 3/22/99

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*John W. Meador*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE 3/16/99

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Cheryl Simon*  
U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE DATE 6/21/99

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John W. Meador*  
HOWARD SCD DATE 6/21/99

**OWNER / DEVELOPER**  
THE RYLAND GROUP, INC.  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Chris Hentler*  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7/14/99

*John W. Meador*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 7/16/99

*John W. Meador*  
DATE 7/14/99

SUBDIVISION	SECTION / AREA	LOT NO.
DANIELS MILL OVERLOOK	3 2	277-282
PLAT NO.	BLOCK NO.	ZONE
13441-13444	12	R-ED
TAX / ZONE	ELEC. DIST.	CENSUS TR.
17	2ND	6021
WATER CODE	SEWER CODE	
H02	14-3472-D	

(GENERIC)  
SITE DEVELOPMENT PLAN

**DANIELS MILL OVERLOOK**  
SECTION 3 AREA 2  
LOTS 277 THRU 280 AND LOTS 292 THRU 308  
TAX MAP NO. 17  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/11/99  
SHEET 2 OF 5

LOT INFORMATION

LOT NUMBER	LOT SIZE (SQ. FT.)	STREET ADDRESS	S.H.C. INVERT AT PROPERTY LINE	MIN. CELLAR ELEVATION
287	10943	8500 DORSEY SPRING COURT	420.45	425.6
288	8972	8504 DORSEY SPRING COURT	419.15	424.5
289	11043	8508 DORSEY SPRING COURT	418.66	422.8
300	10284	8512 DORSEY SPRING COURT	418.00	422.3
301	11143	8516 DORSEY SPRING COURT	418.25	423.8
302	10125	8520 DORSEY SPRING COURT	416.77	419.6
303	10745	8524 DORSEY SPRING COURT	421.70	426.9
304	8557	8528 DORSEY SPRING COURT	419.67	424.6

NOTE: CONTRACTOR TO CHECK SEWER HOUSE CONNECTIONS ELEVATIONS AT PROPERTY LINE PRIOR TO CONSTRUCTION.

NOTE:  
TYPICAL S.H.C. SIZE IS 4"  
TYPICAL TWIN W.H.C. SIZE IS 1" FOR ALL LOTS UNLESS NOTED OTHERWISE.  
TYPICAL SINGLE W.H.C. SIZE IS 3/4"  
LOTS 277, 278, 279, 280, 292, 301, 302, 308.

(SEE F 08-75)  
**SEWER OUTLET SEDIMENT TRAP NO. 4 (S.F. IV)**  
(FUTURE W.P. FACILITY NO. 11)  
DESIGN AREA = 150 SQ. FT.  
DESIGN FLOW = 0.50 CFS  
DESIGN VELOCITY = 2.0 FT./SEC.  
DESIGN SLOPE = 0.005  
DESIGN INVERT = 420.45  
DESIGN LENGTH = 5'

OPEN SPACE, LOT 129 DANIELS MILL OVERLOOK SECTION 2, AREA 2 PLAT No. 12797

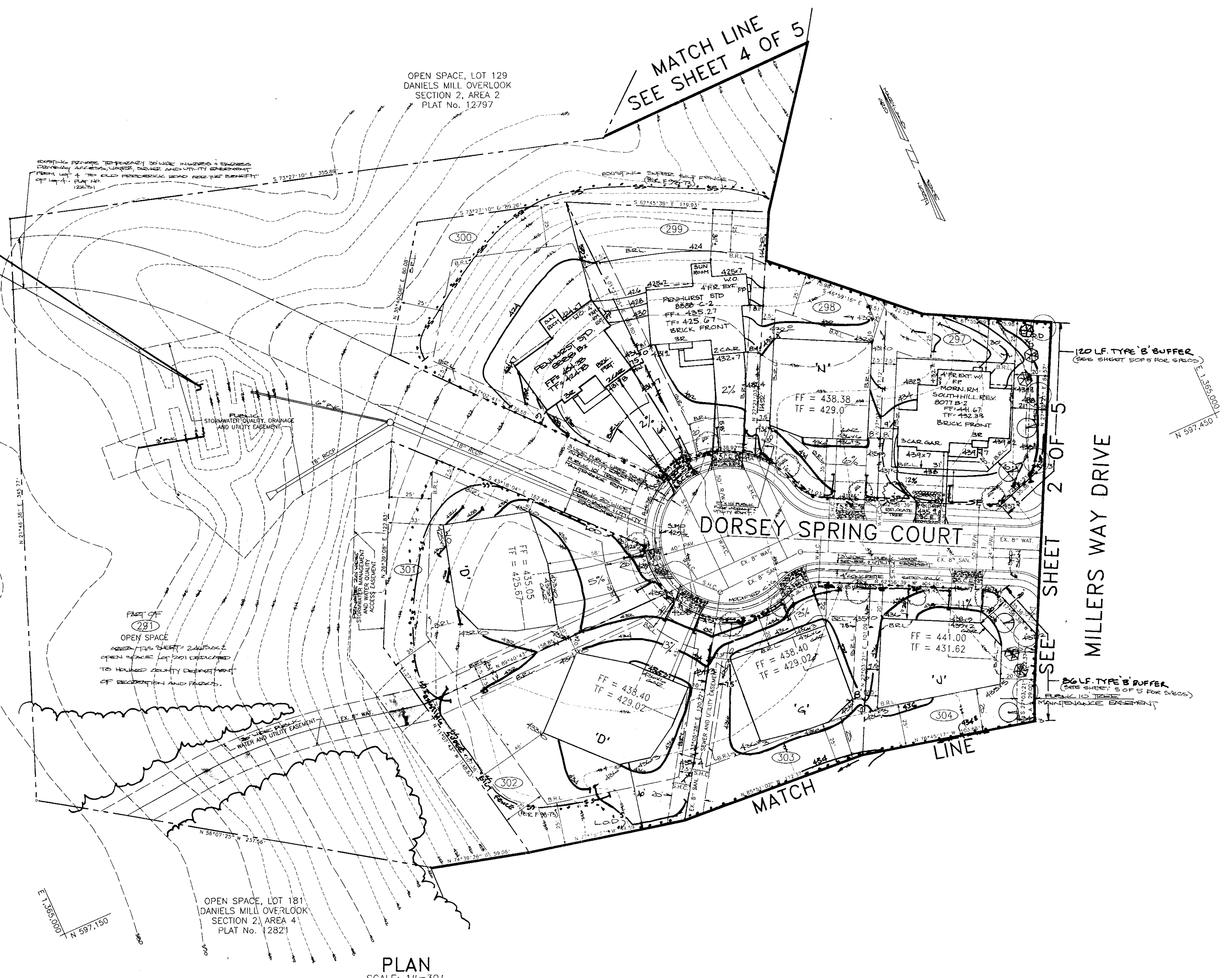
**LEGEND**

FF	FINISHED FLOOR ELEVATION
TF	FINISHED TOP OF FOOTING ELEVATION
W.O. 10040	PROPOSED GROUND ELEVATION AT "WALKOUT" CONDITION
10040	GROUND SPOT ELEVATION
STD or REV	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
BR	NUMBER OF RISERS - 7 1/2" EACH (INC. USING 2 RISERS INTO PRODUCT)
W.W.	WINDOW WELL REQUIRED FOR EGRESS WINDOWS IN REAR
---	PROPOSED CONTOUR
---	EXISTING GROUND CONTOUR
---	DRAINAGE FLOW ARROW
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EXISTING CURB & GUTTER
---	EXISTING WATER MAINS
---	EXISTING STORM DRAIN
---	EXISTING SEWER LINES
---	SHOW SIGN / STREET SIGN
---	STREET TREES (SEE F 08-75)
---	STREET LIGHT
---	SITE FENCE
---	LIMIT OF DISTURBANCE
---	SEWER AND UTILITY EASEMENT
---	PERMANENT LANDSCAPE TREE (SEE F 08-75)
---	RAILROAD RIGHT-OF-WAY

**BUILDER**  
RYLAND HOMES  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE  
HANOVER, MD 21076  
PHONE: 410-712-7012

**BUILDER**  
D.R. HORTON  
1370 PICCARD DRIVE, SUITE 230  
ROCKVILLE, MD 20850  
PHONE: 301-670-6144

DATE	REVISION
10-1-99	REV. LOT 287 ADD SOUTH HILL



**PLAN**  
SCALE: 1"=30'

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
*David M. Johnson*  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE: 3/22/99  
**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
*John W. Meade*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE: 3/16/99

REVIEWED FOR HOWARD SOIL AND MEETS TECHNICAL REQUIREMENTS.  
*Clay Simon*  
U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE DATE: 4/2/99  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*Guy Selig*  
HOWARD SOIL CONSERVATION DISTRICT DATE: 6/21/99

**OWNER / DEVELOPER**  
THE RYLAND GROUP, INC.  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE, SUITE 520  
HANOVER, MD 21076

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>Cinda Hamilton</i> CHIEF, DIVISION OF LAND DEVELOPMENT	DATE: 7/10/99
<i>William Cummings</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 7/6/99
<i>John S. Miller</i> DIRECTOR	DATE: 7/14/99

SUBDIVISION	SECTION / AREA	LOT NO.			
DANIELS MILL OVERLOOK	3 2	297-304			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
13441-13444	12	R-ED	17	2ND	8021
WATER CODE	SEWER CODE	14-3472-D			
H02					

(GENERIC)  
**SITE DEVELOPMENT PLAN**  
**DANIELS MILL OVERLOOK**  
SECTION 3 AREA 2  
LOTS 277 THRU 290 AND LOTS 292 THRU 308  
TAX MAP NO. 17  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/11/99  
SHEET 3 OF 5

LOT INFORMATION

LOT NUMBER	LOT SIZE (SQ. FT.)	STREET ADDRESS	S.H.C. INVERT AT PROPERTY LINE	MIN. CELLAR ELEVATION
283	11140	2812 MILLERS WAY DRIVE	423.51	428.6
284	11778	2816 MILLERS WAY DRIVE	423.90	429.1
285	12599	2820 MILLERS WAY DRIVE	423.94	428.2
286	13421	2824 MILLERS WAY DRIVE	424.34	428.7
287	14242	2828 MILLERS WAY DRIVE	424.64	429.2
288	21354	2832 MILLERS WAY DRIVE	425.47	431.4
289	14948	2829 MILLERS WAY DRIVE	425.19	431.1
290	11317	2825 MILLERS WAY DRIVE	424.45	428.9
292	12174	2821 MILLERS WAY DRIVE	423.85	428.0
293	12584	2817 MILLERS WAY DRIVE	423.57	427.6
294	11604	2813 MILLERS WAY DRIVE	423.31	426.5

NOTE: CONTRACTOR TO CHECK SEWER HOUSE CONNECTIONS ELEVATIONS AT PROPERTY LINE PRIOR TO CONSTRUCTION.

NOTE:  
TYPICAL S.H.C. SIZE IS 4".  
TYPICAL TWIN W.H.C. SIZE IS 1" FOR ALL LOTS UNLESS NOTED OTHERWISE.  
TYPICAL SINGLE W.H.C. SIZE IS 3/4".  
LOTS 277,278, 279, 280, 292, 301, 302, 308.

EX. SIDE OUTLET SEDIMENT TRAP NO. 3 (S-I)  
(FUTURE W.D. FACILITY NO. 12)  
DRAINAGE AREA = 240 SQ. FT.  
SPRINGS FROM D = 10,000 CU. FT.  
BOTTOM AREA = 2,000 SQ. FT.  
SIDE SLOPES = 2:1  
DEPTH = 2'  
BOTTOM ELEV. = 440.00  
CLEAN-OUT ELEV. = 435.00  
URDG. COVER ELEV. = 427.00  
WEIR LENGTH = 5'

LEGEND

SYMBOL	DESCRIPTION
F.F.	FINISHED FLOOR ELEVATION
T.F.	FINISHED TOP OF FOOTING ELEVATION
W.O. 100x0	PROPOSED GROUND ELEVATION AT WALKOUT CONDITION
100x0	GROUND SPOT ELEVATION
STD or REV	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
3R	NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)
W.W.	WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR
---o---	PROPOSED CONTOUR
---o---	EXISTING GROUND CONTOUR
→	DRAINAGE FLOW ARROW
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EXISTING CURB & GUTTER
EX 8" WAT	EXISTING WATER MAINS
15" RCPP	EXISTING STORM DRAINS
EX 8" SAN	EXISTING SEWER LINES
+	STOP SIGN
○	STREET TREES
○	STREET LIGHT
---	SILT FENCE
---	LIMIT OF DISTURBANCE
---	EDGE WOODS
---	PERIMETER LANDSCAPE EDGE
---	SURVEY POINT

**BUILDER**  
RYLAND HOMES  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE  
HANOVER, MD 21076  
PHONE 410-712-7012

**BUILDER**  
D.R. HORTON  
1370 PICCARD DRIVE, SUITE 230  
ROCKVILLE, MD 20850  
PHONE: 301-670-6144



**MORRIS & RITCHE ASSOC., INC.**  
ENGINEERS, PLANNERS, SURVEYORS,  
AND LANDSCAPE ARCHITECTS  
139 N. Main Street, Suite 200  
Bel Air, Maryland 21014  
(410) 879-1600 - (410) 836-7560  
Fax: (410) 879-1820

NO.	DATE	REVISIONS
1	10-29-99	LOT 292 BALMORAL



PLAN  
SCALE: 1"=30'

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature of Engineer: *David H. Lyle* DATE: 3/22/99

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature of Developer: *John W. General* DATE: 3/16/99

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.  
Signature: *Cheryl Sumner-Jas* DATE: 6/21/99  
U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
Signature: *Jeffrey Sely* DATE: 6/21/99  
HOWARD SCD

**OWNER / DEVELOPER**  
THE RYLAND GROUP, INC.  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Signature: *Cheryl Sumner-Jas* DATE: 7/12/99  
Signature: *David H. Lyle* DATE: 7/16/99  
Signature: *John W. General* DATE: 7/14/99  
SUBDIVISION: DANIELS MILL OVERLOOK SECTION / AREA: 3 2 LOT NO.: 283-294  
PLAT NO.: 13441-13444 BLOCK NO.: 12 ZONE: R-ED TAX/ZONE: 17 ELEC. DIST.: 2ND CENSUS TR.: 6021  
WATER CODE: H02 SEWER CODE: 14-3672-D

(GENERIC)  
**SITE DEVELOPMENT PLAN**  
**DANIELS MILL OVERLOOK**  
SECTION 3 AREA 2  
LOTS 277 THRU 290 AND LOTS 292 THRU 308  
TAX MAP NO. 17  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/11/99  
SHEET 4 OF 5



LOT INFORMATION

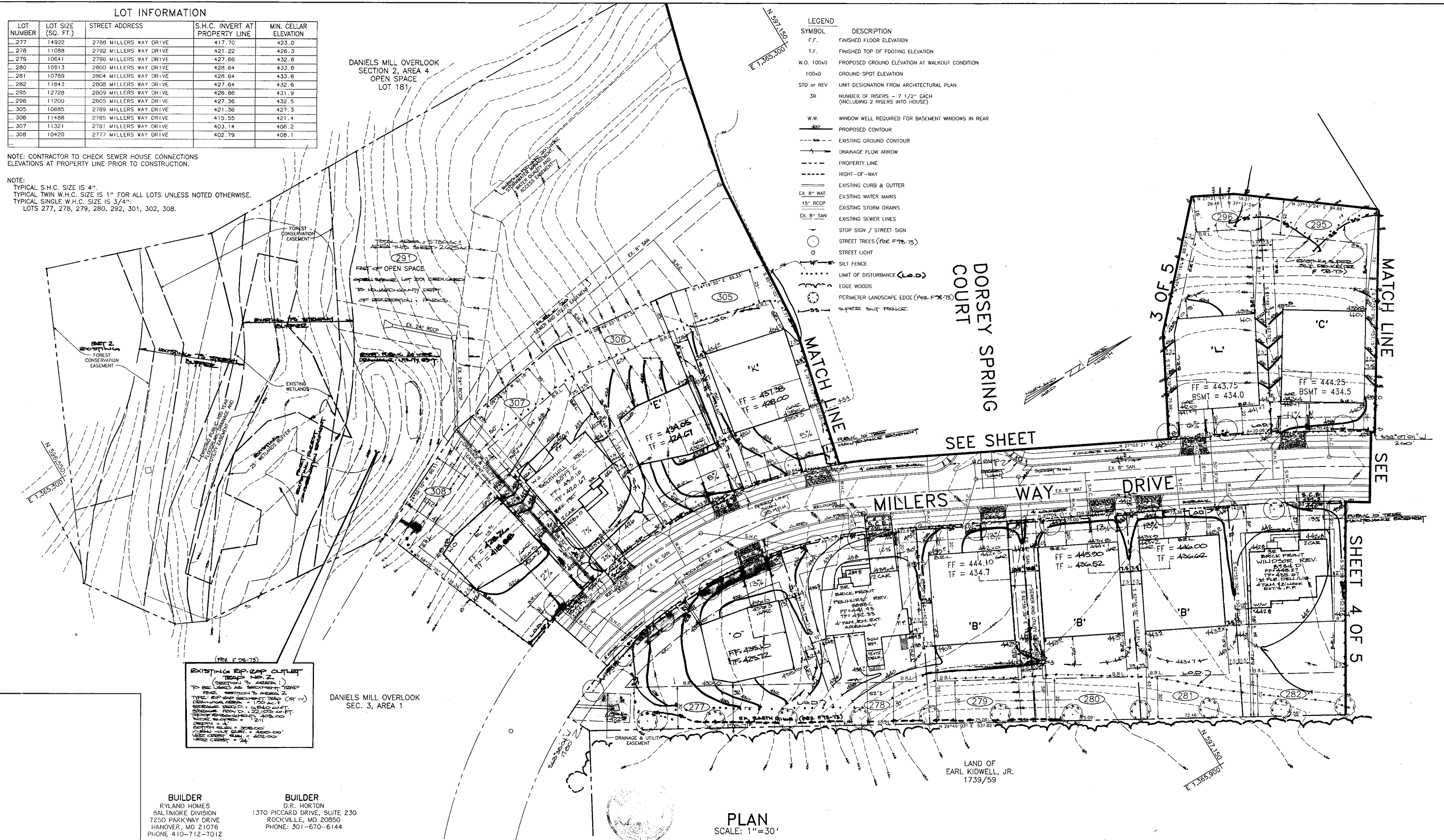
LOT NUMBER	LOT SIZE (SQ. FT.)	STREET ADDRESS	S.H.C. INVERT AT PROPERTY LINE	MIN. CELLAR ELEVATION
277	14922	2788 MILLERS WAY DRIVE	417.70	423.0
278	11088	2792 MILLERS WAY DRIVE	421.22	426.3
279	10641	2796 MILLERS WAY DRIVE	427.66	432.6
280	10913	2800 MILLERS WAY DRIVE	428.64	433.8
281	10789	2804 MILLERS WAY DRIVE	428.64	433.8
282	11843	2808 MILLERS WAY DRIVE	427.64	432.6
295	12728	2809 MILLERS WAY DRIVE	426.86	431.9
296	11200	2805 MILLERS WAY DRIVE	427.36	432.5
305	10685	2789 MILLERS WAY DRIVE	421.36	427.3
306	11488	2785 MILLERS WAY DRIVE	415.55	421.4
307	11321	2781 MILLERS WAY DRIVE	403.14	408.2
308	10420	2777 MILLERS WAY DRIVE	402.79	408.1

NOTE: CONTRACTOR TO CHECK SEWER HOUSE CONNECTIONS ELEVATIONS AT PROPERTY LINE PRIOR TO CONSTRUCTION.

NOTE:  
TYPICAL S.H.C. SIZE IS 4".  
TYPICAL TWIN W.H.C. SIZE IS 1" FOR ALL LOTS UNLESS NOTED OTHERWISE.  
TYPICAL SINGLE W.H.C. SIZE IS 3/4".  
LOTS 277, 278, 279, 280, 292, 301, 302, 308.

LEGEND

SYMBOL	DESCRIPTION
F.F.	FINISHED FLOOR ELEVATION
T.F.	FINISHED TOP OF FOOTING ELEVATION
W.O. 100x0	PROPOSED GROUND ELEVATION AT WALKOUT CONDITION
100x0	GROUND SPOT ELEVATION
STD or REV	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
3R	NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)
W.W.	WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR
---o---	PROPOSED CONTOUR
- - - - -	EXISTING GROUND CONTOUR
→	DRAINAGE FLOW ARROW
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EXISTING CURB & GUTTER
EX. 8" WAT.	EXISTING WATER MAINS
EX. 15" RCCP	EXISTING STORM DRAINS
EX. 8" SAN	EXISTING SEWER LINES
○	STOP SIGN / STREET SIGN
○	STREET TREES (PER F 78-75)
○	STREET LIGHT
---	SILT FENCE
---	LIMIT OF DISTURBANCE (L.O.D.)
---	EDGE WOODS
---	PERIMETER LANDSCAPE EDGE (PER F 78-75)
---	SUPERIOR SUEDE FENCE



EXISTING RIP-RAP OUTLET TRAP NO. 2 (SECTION 3 AREA 1) TO BE USED AS SEDIMENT TRAP FOR SECTION 3 AREA 2. TYPE: RIP-RAP SEDIMENT TRAP (ST 14). DRAINAGE AREA = 1.00 AC. STORAGE VOLUME = 25,000 GALLONS. STORAGE FROM DRAINAGE AREA = 1,000,000 GALLONS. TRAP INVERT = 408.00. TRAP TO MAINLINE = 2'. MAINLINE TO MAINLINE = 300.00'. MAINLINE TO MAINLINE = 400.00'. MAINLINE TO MAINLINE = 24'.

**BUILDER**  
RYLAND HOMES  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE  
HANOVER, MD 21076  
PHONE 410-712-7012

**BUILDER**  
D.R. HORTON  
1370 PICCARD DRIVE, SUITE 230  
ROCKVILLE, MD 20850  
PHONE: 301-670-6144

PLAN  
SCALE: 1"=30'

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(410) 879-1690 • (410) 836-7560  
Fax: (410) 879-1820

LOT	DATE	REVISION
282	1-26-00	REDLINE - ADD WINDSOR REV.
278	12-1-99	REDLINE - ADD PENHURST REV.
307	11-24-99	REDLINE - ADD SOUTH HILL REV.

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*David H. Tyler* 3/22/99  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*John W. Spink* 8/16/99  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Cheryl Simms / as* 6/21/99  
U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Yvette Selby* 6/21/99  
HOWARD SCD DATE

**OWNER / DEVELOPER**  
THE RYLAND GROUP, INC  
BALTIMORE DIVISION  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Cindy Hamilton* 7/16/99  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Robert Deane* 7/16/99  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Robert Deane* 7/14/99  
DATE

SUBDIVISION	SECTION / AREA	LOT NO.
DANIELS MILL OVERLOOK	3 2	277-282
PLAT NO.	BLOCK NO.	ZONE
13441-13444	12	R-ED
TAX / ZONE	ELC'S. DIST.	CENSUS TR.
17	2ND	6021
WATER CODE	SEWER CODE	
H02	14-3472-D	

(GENERIC)  
SITE DEVELOPMENT PLAN

**DANIELS MILL OVERLOOK**  
SECTION 3 AREA 2  
LOTS 277 THRU 280 AND LOTS 292 THRU 308  
TAX MAP NO. 17  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/11/99  
SHEET 2 OF 5