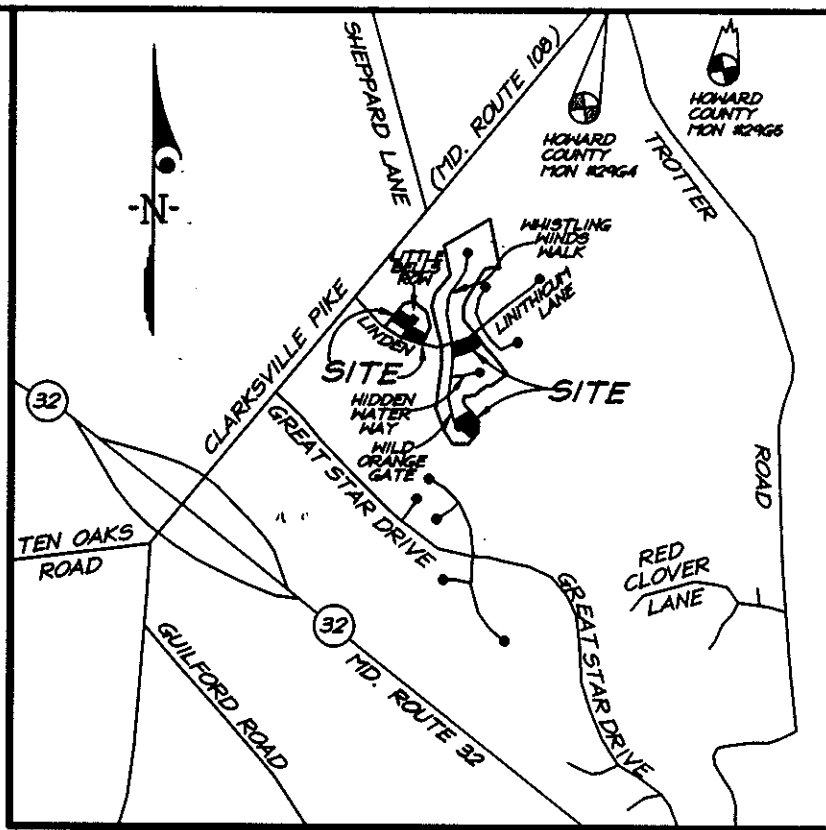
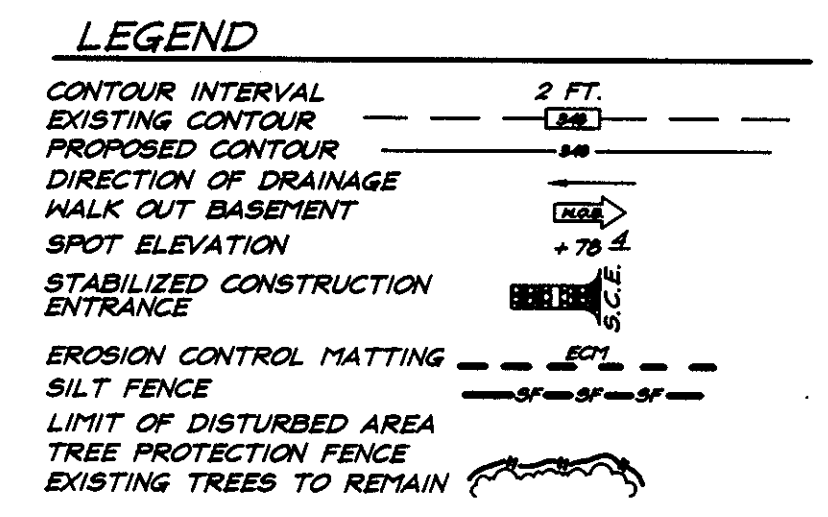


**ADDRESS CHART**

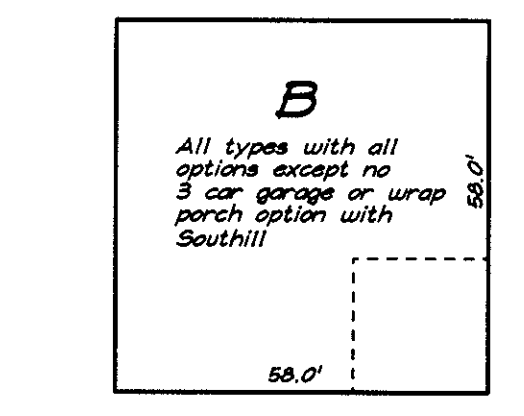
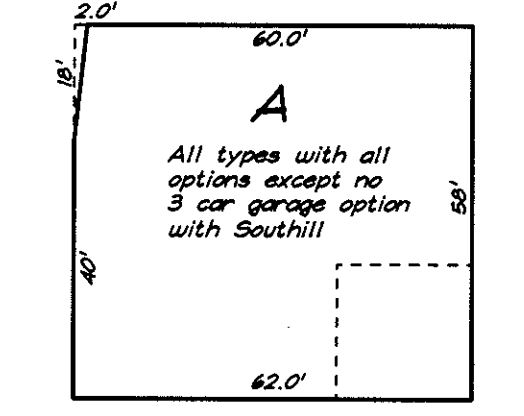
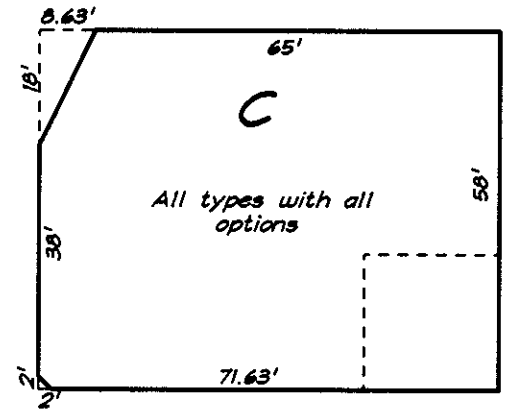
LOT NUMBER	STREET ADDRESS
2	5705 LITTLE BELLS ROW
6	5700 LITTLE BELLS ROW
155	5837 WILD ORANGE GATE
156	5833 WILD ORANGE GATE
172	12160 LINDEN LINTHICUM LANE
173	12164 LINDEN LINTHICUM LANE
174	12168 LINDEN LINTHICUM LANE



**SHEET INDEX**

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT PLAN	1 AND 2
SEDIMENT AND EROSION CONTROL PLAN	3
SEDIMENT AND EROSION CONTROL DETAILS	4

**BENCHMARKS:**  
 Howard County Monument 2964  
 Intersection of MD. Route 108 and Trotter Road  
 Howard County Monument 2965  
 an additional 2,544'± Northeastly along MD. Route 108 away from Site



NOTE: NO AREAWAYS MAY PROJECT INTO ANY SETBACK AREA.

- GENERAL NOTES:**
- Subject property is zoned: NTSFLD per 10-18-93 Comprehensive Zoning Plan.
  - The total area included in this submission is: 2.13 Acres.
  - The total number of lots included in this submission is: 7
  - Improvement to property: Single Family Detached
  - The maximum lot coverage permitted is: 30%
  - Department of Planning and Zoning reference file numbers: 5-93-21; F-95-12; F-96-102; F-98-122
  - Utilities shown as existing are taken from approved Water and Sewer plans Contract #34-3586-D, approved Road Construction plans F-96-102, and actual field survey.
  - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
  - All roadways are public and existing.
  - The existing topography was field run by Clark, Finefrock and Sackett, Inc.
  - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2964 & 2965
  - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1800 at least twenty-four (24) hours prior to the start of work.
  - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
  - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
  - In accordance with FDP-Phase 222 -A - Part V bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Areaways may not project into any setback areas.
  - Stormwater Management is provided per: F-96-102. Quantity Stormwater Management for Section 4, Area 5 is provided by three facilities; the refurbished SWM Pond #1 South of Linden Linthicum Lane (F-96-89), The culvert at Great Star Drive (F-96-110) and SWM Pond #4 in Section 4, Area 4 (F-96-130). Quality Management for this section will be provided by three facilities: A Forebay North of SWM Pond #1 (F-96-89), a shallow marsh facility at the end of Wild Orange Gate and an Extended Detention Facility within Pond #4 (F-96-130). The subdivision is located in the Patuxent River Area Sub-Basin and is a Class I Watershed.
  - SHC Elevations shown are at the property lines.

**SPECIAL NOTES:**  
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-102 and/or approved Water and Sewer Plans Contract #34-3586-D.

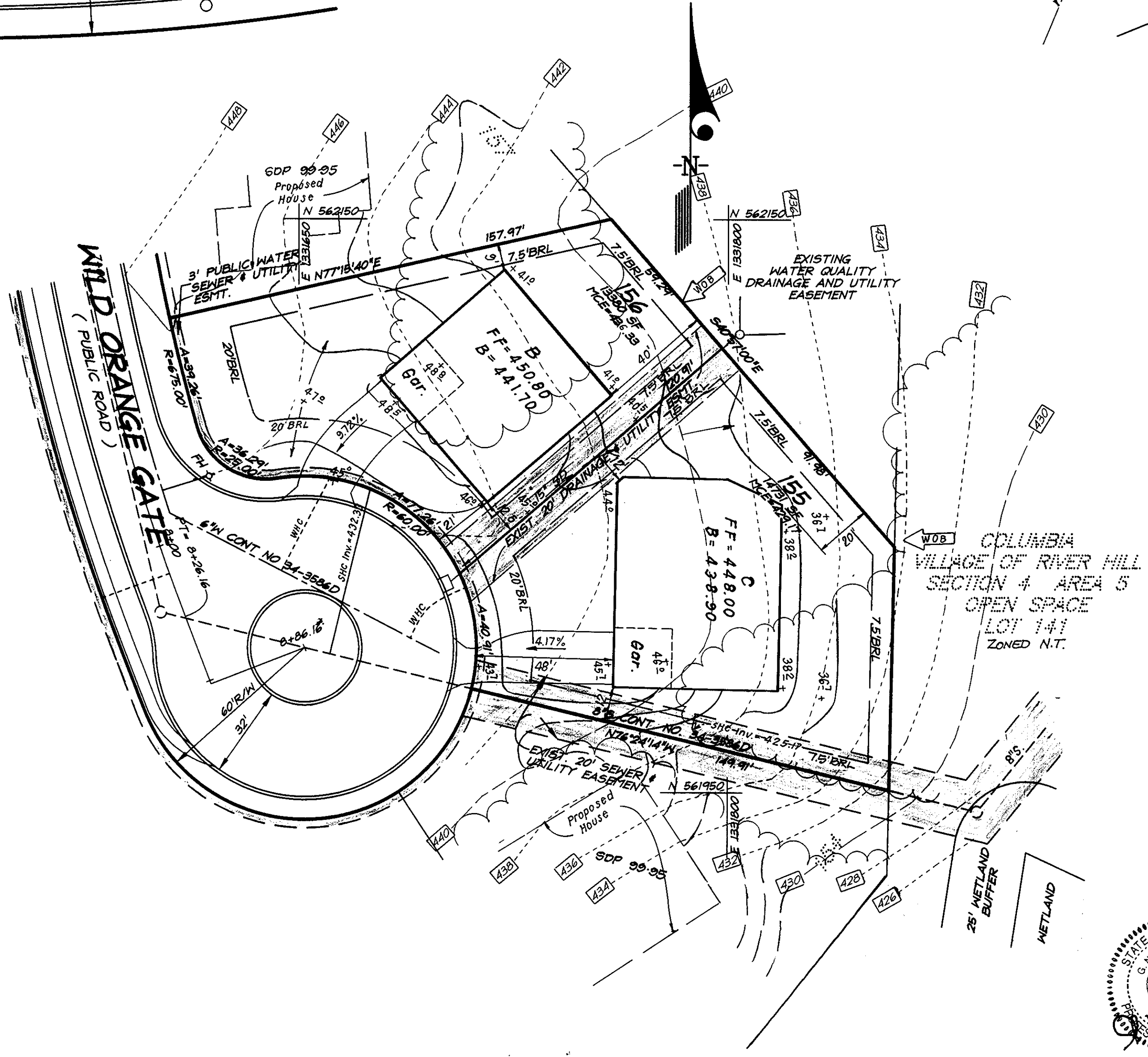
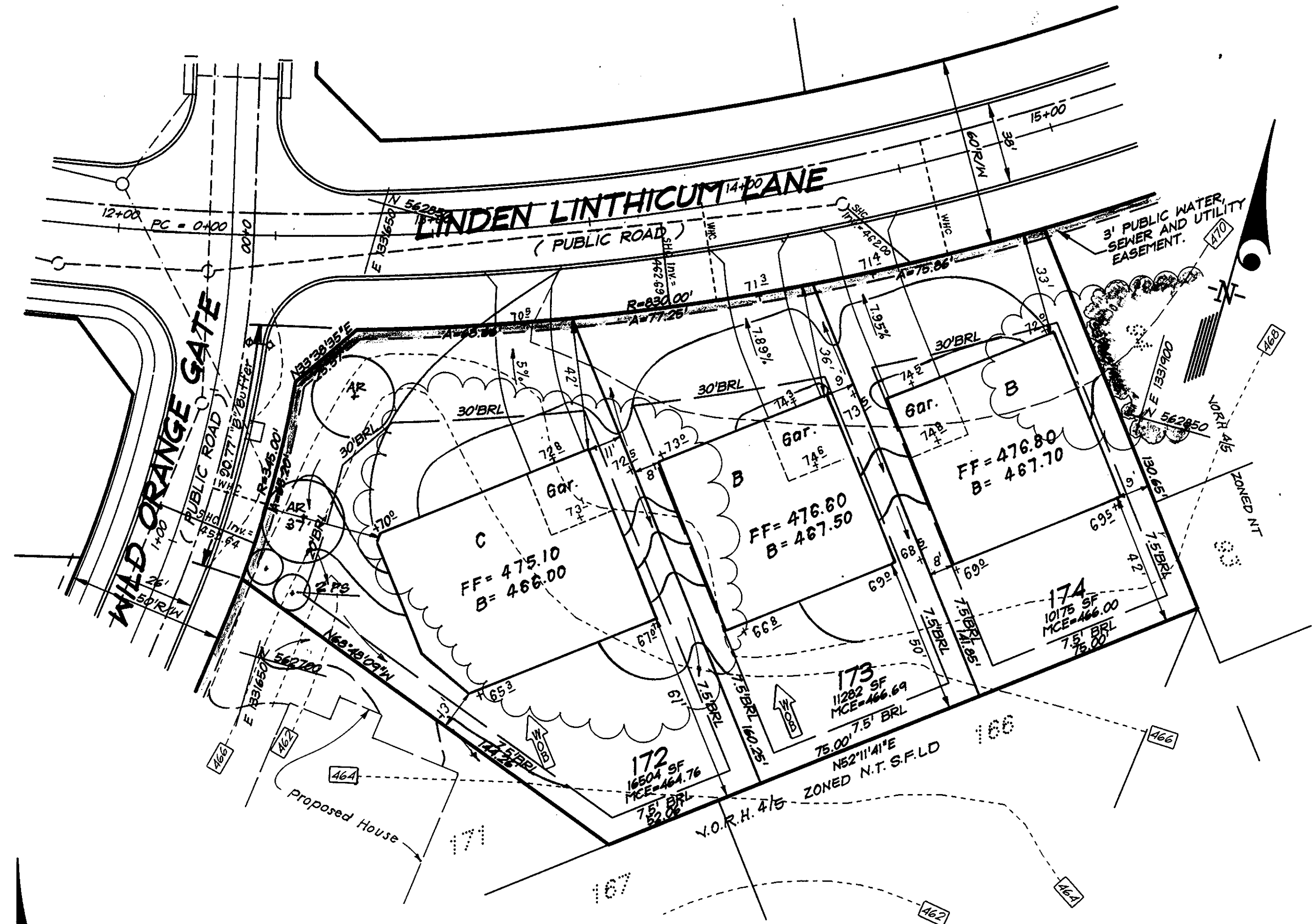
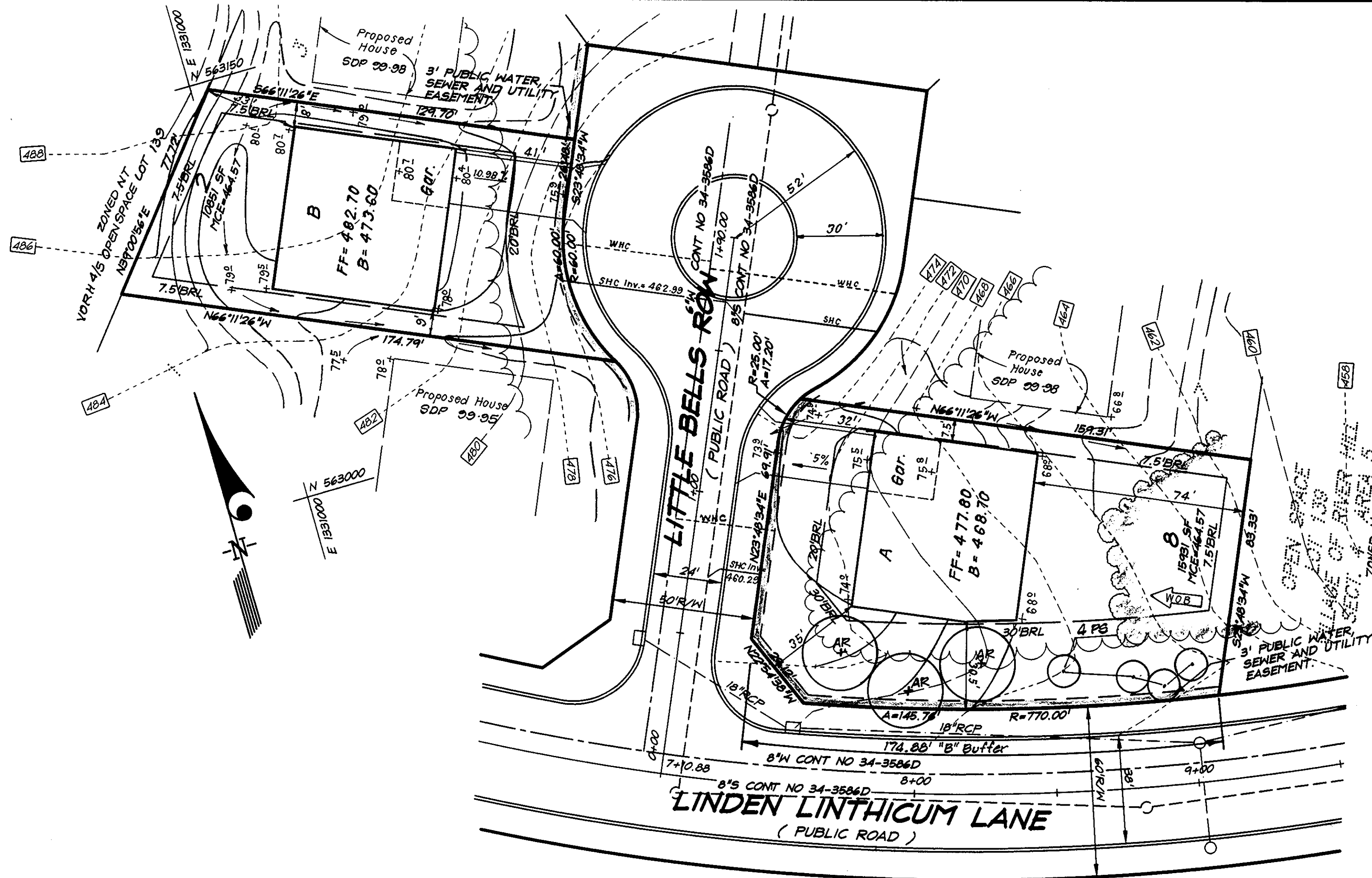
APPROVED: DEPARTMENT OF PLANNING & ZONING  
 [Signature] 4/22/99  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 4/25/99  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 4/28/99  
 DIRECTOR

OWNER / DEVELOPER  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10276 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044



SUBDIVISION NAME		SECTION/AREA	LOTS/PARCELS	
COLUMBIA VILLAGE OF RIVER HILL		4/5	2, 8, 155, 156, 172, 173, 174	
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.
12855, 13274, 13275 & 13277	1	NTSFLD	35	5TH
WATER CODE		SEWER CODE		
1-12		6652500		
<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b>				
ENGINEERS • PLANNERS • SURVEYORS				
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.				
DESIGNED	SITE DEVELOPMENT PLAN			SCALE
DM	LOTS 2, 8, 155, 156, 172, 173 AND 174			1" = 30'
DRAWN	COLUMBIA VILLAGE OF RIVER HILL			DRAWING
BLP/ZH	SECTION 4 AREA			1 of 4
CHECKED	FIFTH (5TH) ELECTION DISTRICT			JOB NO.
DM	HOWARD COUNTY, MARYLAND			99-009
DATE	FOR: RYLAND GROUP, INC.			FILE NO.
3-1-99	1250 Parkway Drive			99-009-x
	Hanover, Maryland 21076			

SDP 99-104

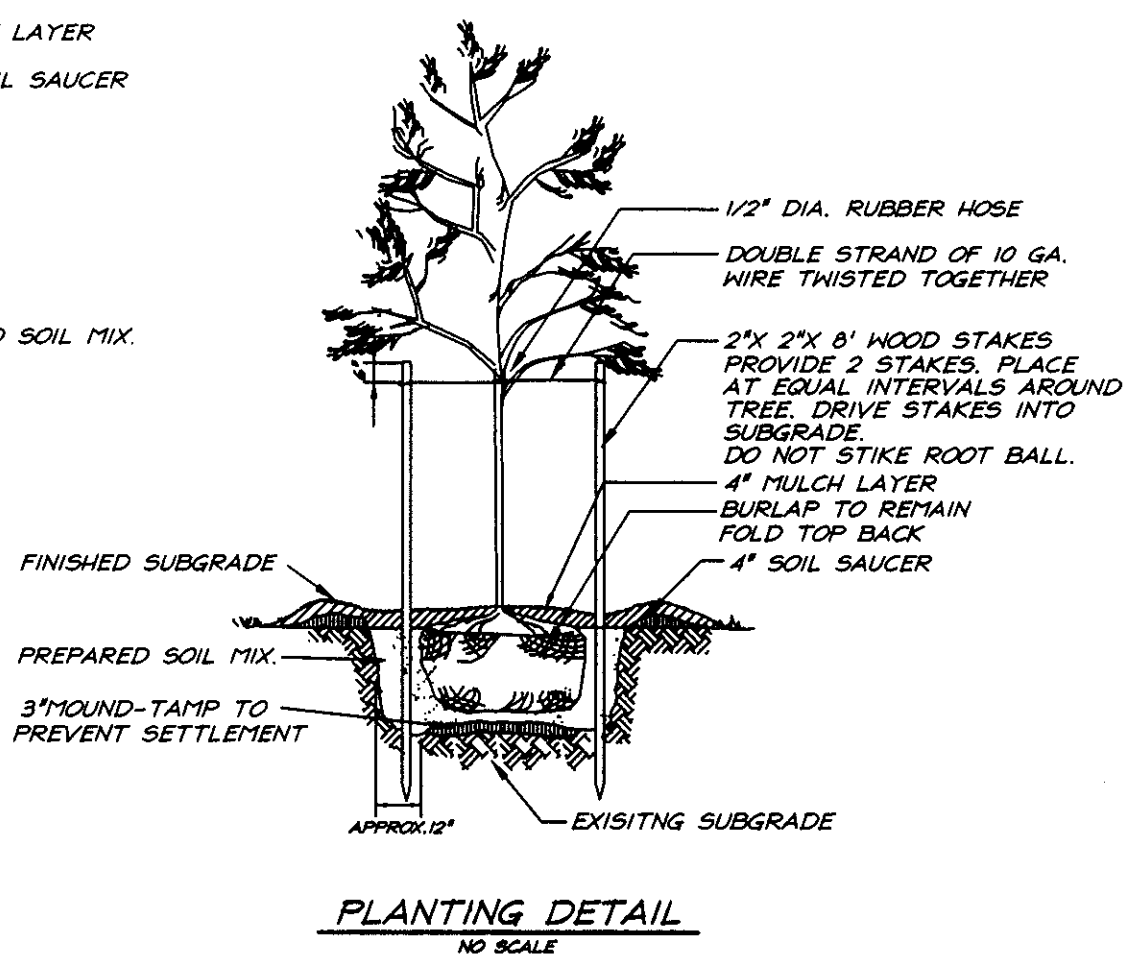
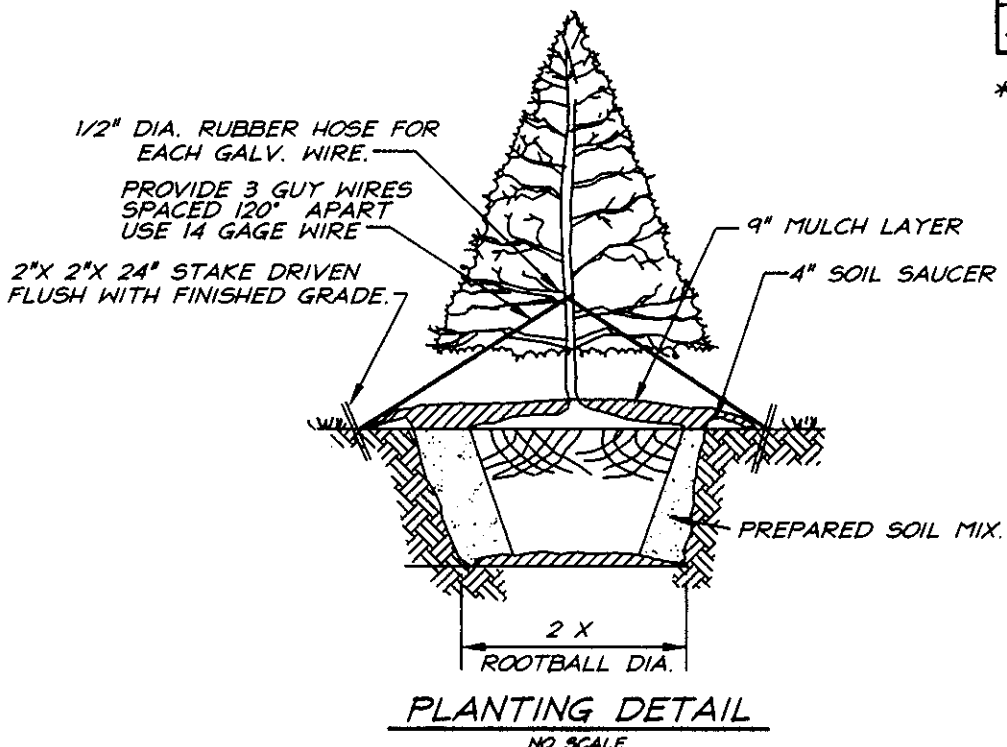


PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARK
(AR)	ACER RUBRUM	2 1/2" - 3" CAL.	5	B&B HEAVY
(AR)	OCT. GLORY RED MAPLE	12-14' HT.	5	B&B HEAVY
(C)	PINUS STROBUS	6'-8' HT.	6	B&B HEAVY

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with H&R planting specifications.
  - Contractor shall verify location of all underground utilities prior to digging.
  - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

SCHEDULE A PERIMETER LANDSCAPE EDGE			
Category	Adjacent to Roadways	LOT B	LOT 172
Landscape Type		B	B
Frontage/Perimeter		74.00'	90.71'
Number of Plants Required			
Shade Trees	(1/30)	3	2
Evergreen Trees	(1/40)	4	2
Number of Plants Provided			
Shade Trees		3	2
Evergreen Trees		4	2
Surety Amounts		\$1500	\$1900

\* Comments: Planting to be provided per the New Town Alternative Compliance method.



**BONDING NOTE:**  
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.  
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE TREES IN THE AMOUNT OF \$2400.00 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION.

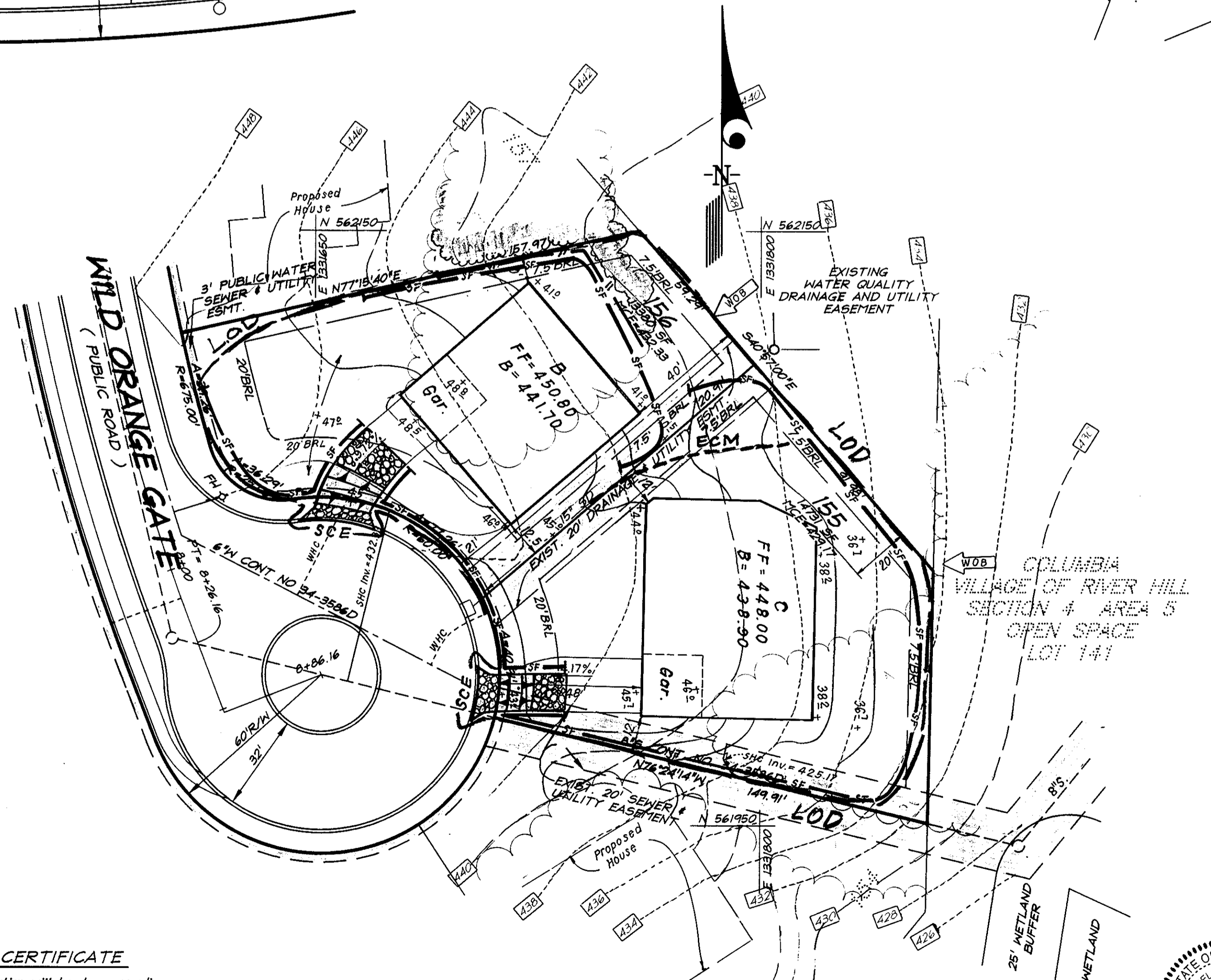
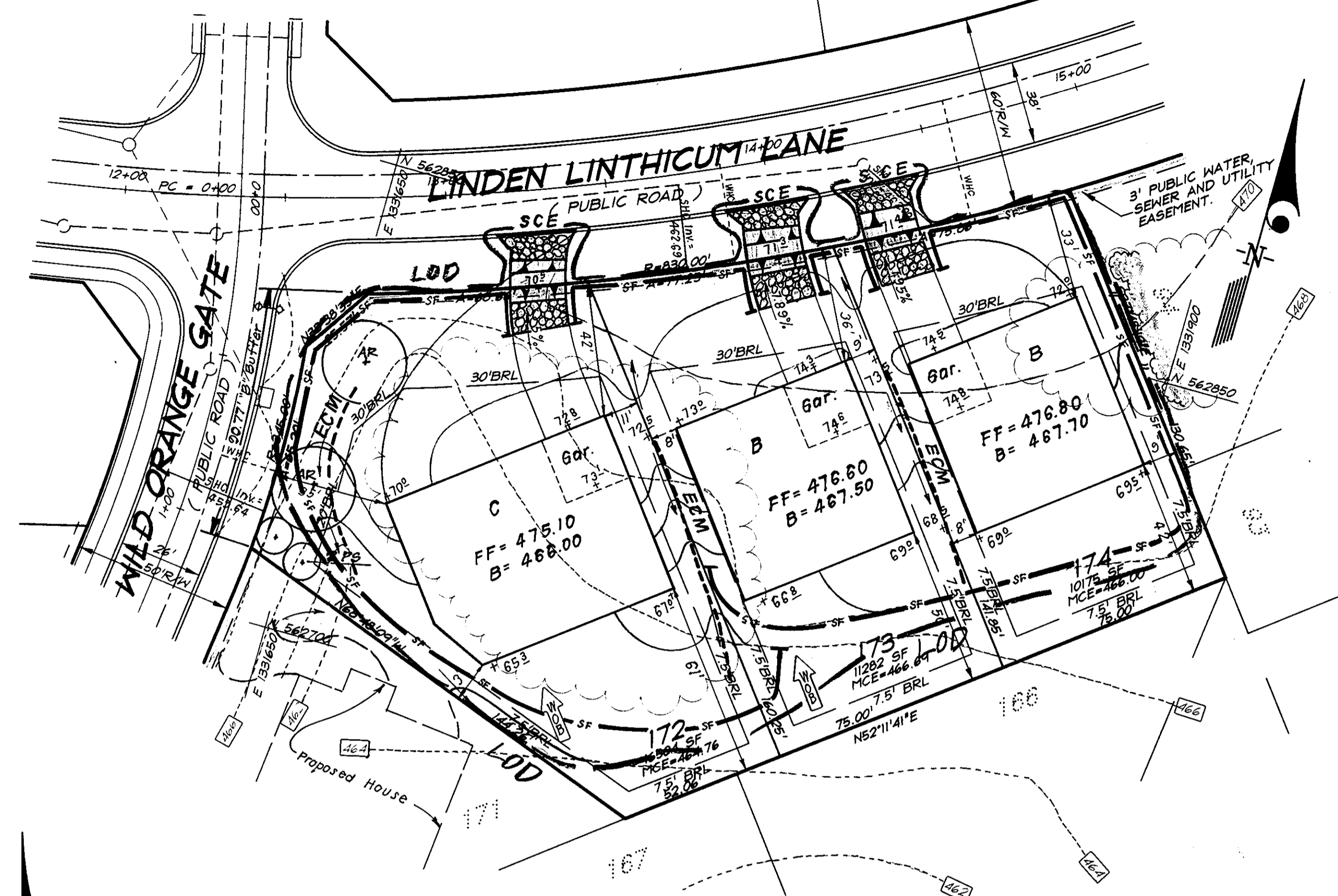
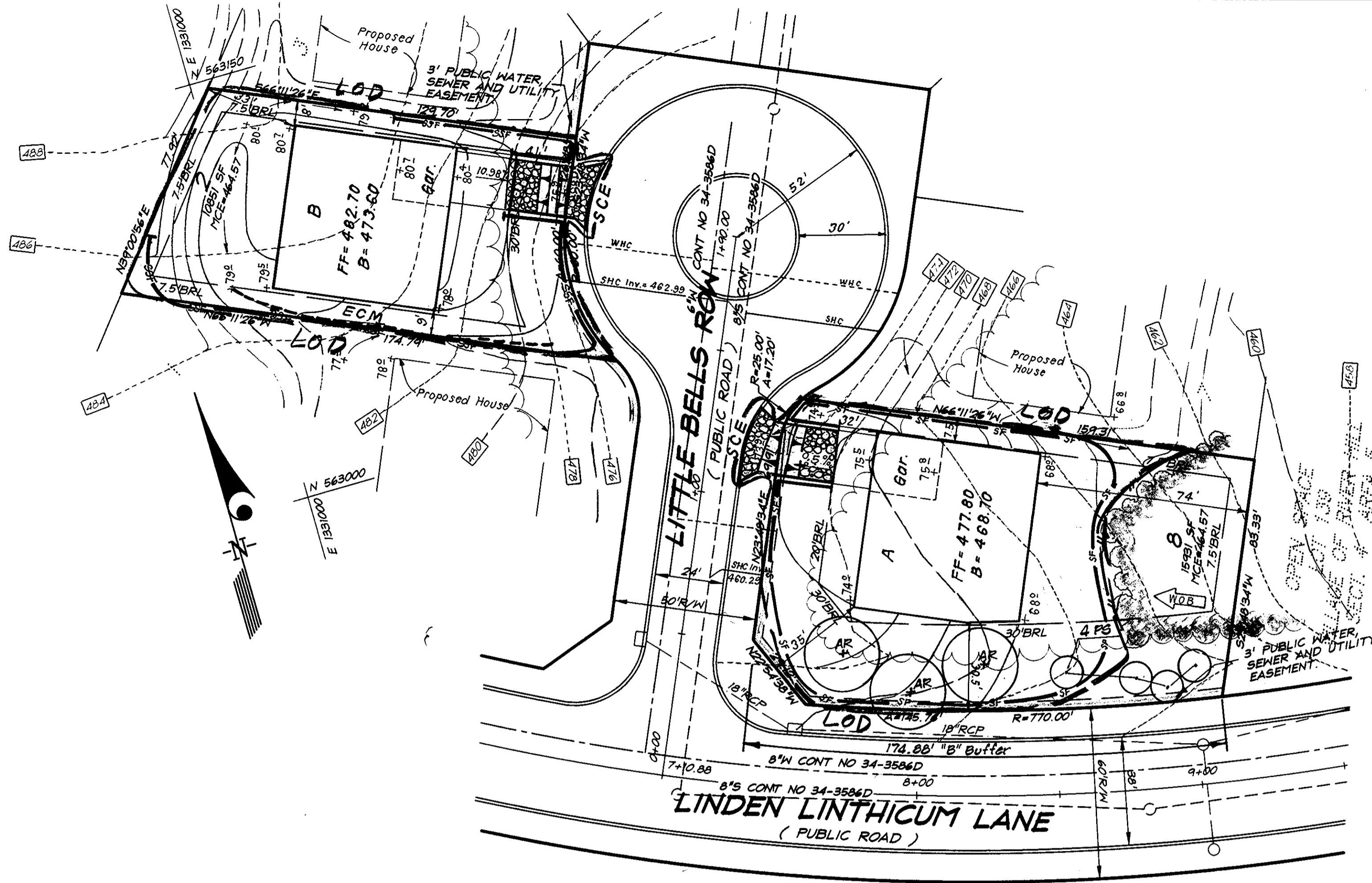
**DEVELOPER'S/BUILDERS CERTIFICATE**  
I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.  
Name: Bob Padgett, OWNER / DEVELOPER, Date: 2-24-99  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10276 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	SCALE
DRAWN	1" = 30'
CHECKED	DRAWING
DATE	2 of 4
	JOB NO.
	99-009
	FILE NO.
	99-009-X

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 [Signature] 4/28/99 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 4/28/99 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 4/28/99 DATE  
 DIRECTOR





APPROVED: DEPARTMENT OF PLANNING & ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

Reviewed for: HOWARD S.G.D.  
 and meets Technical Requirements  
 Signature: [Signature] Date: 4/16/99  
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED  
 FOR SOIL EROSION AND SEDIMENT  
 CONTROL BY THE HOWARD SOIL  
 CONSERVATION DISTRICT.  
 Approved: [Signature] Date: 4/16/99

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.  
 NAME: Bob Padgett DATE: 2-24-99

**ENGINEER'S CERTIFICATE**  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 G. NELSON CLARK DATE: 3-1-99

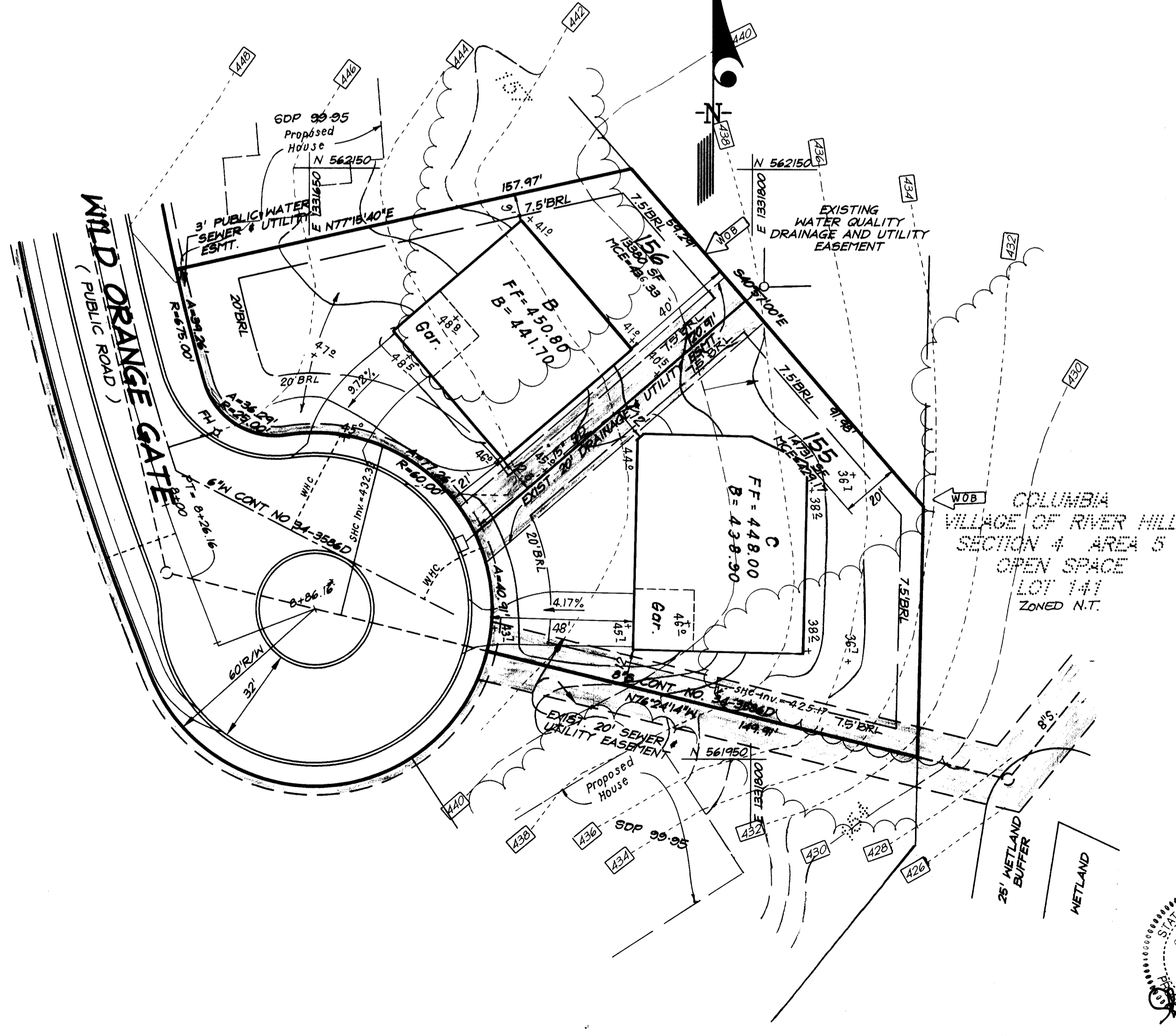
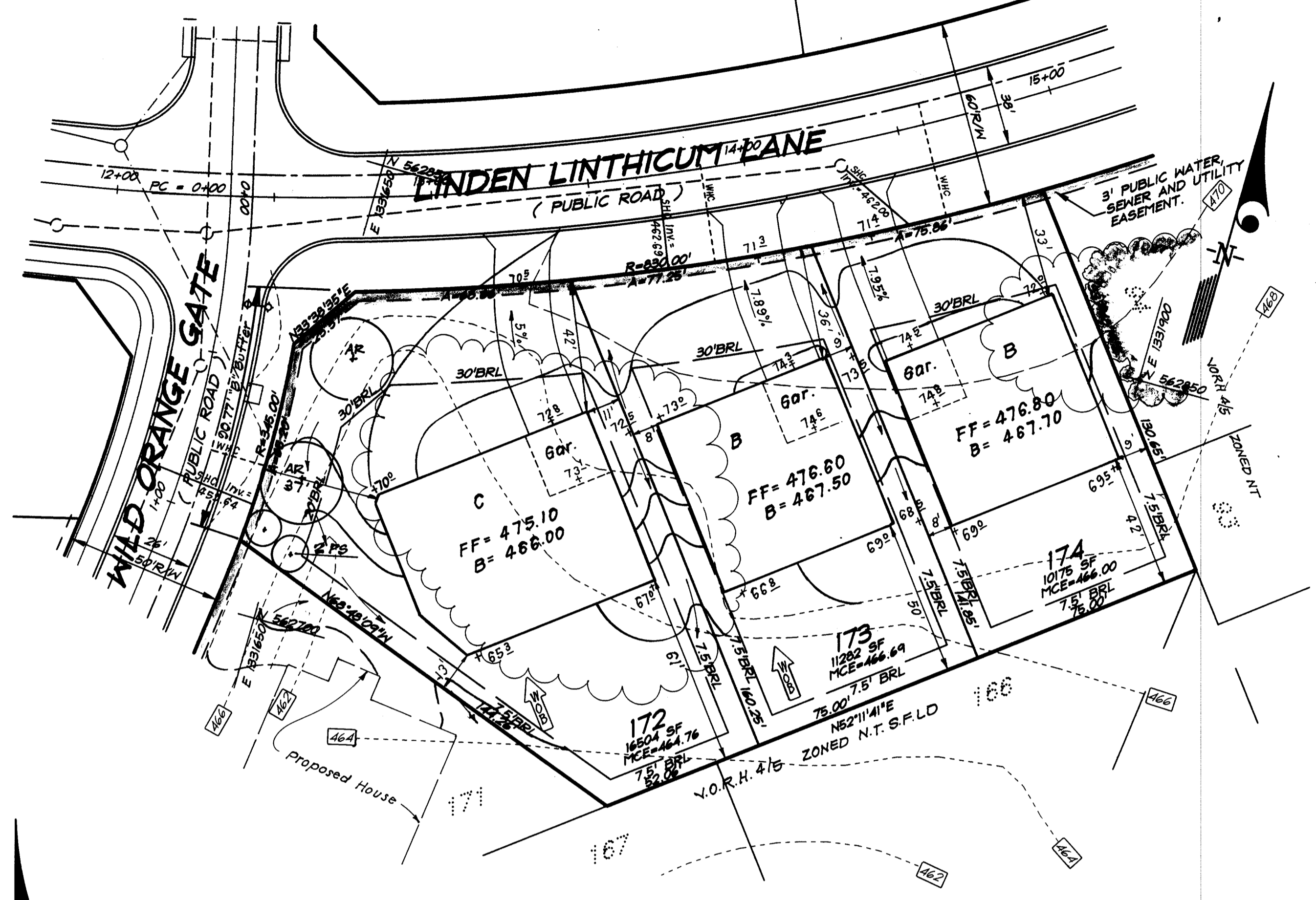
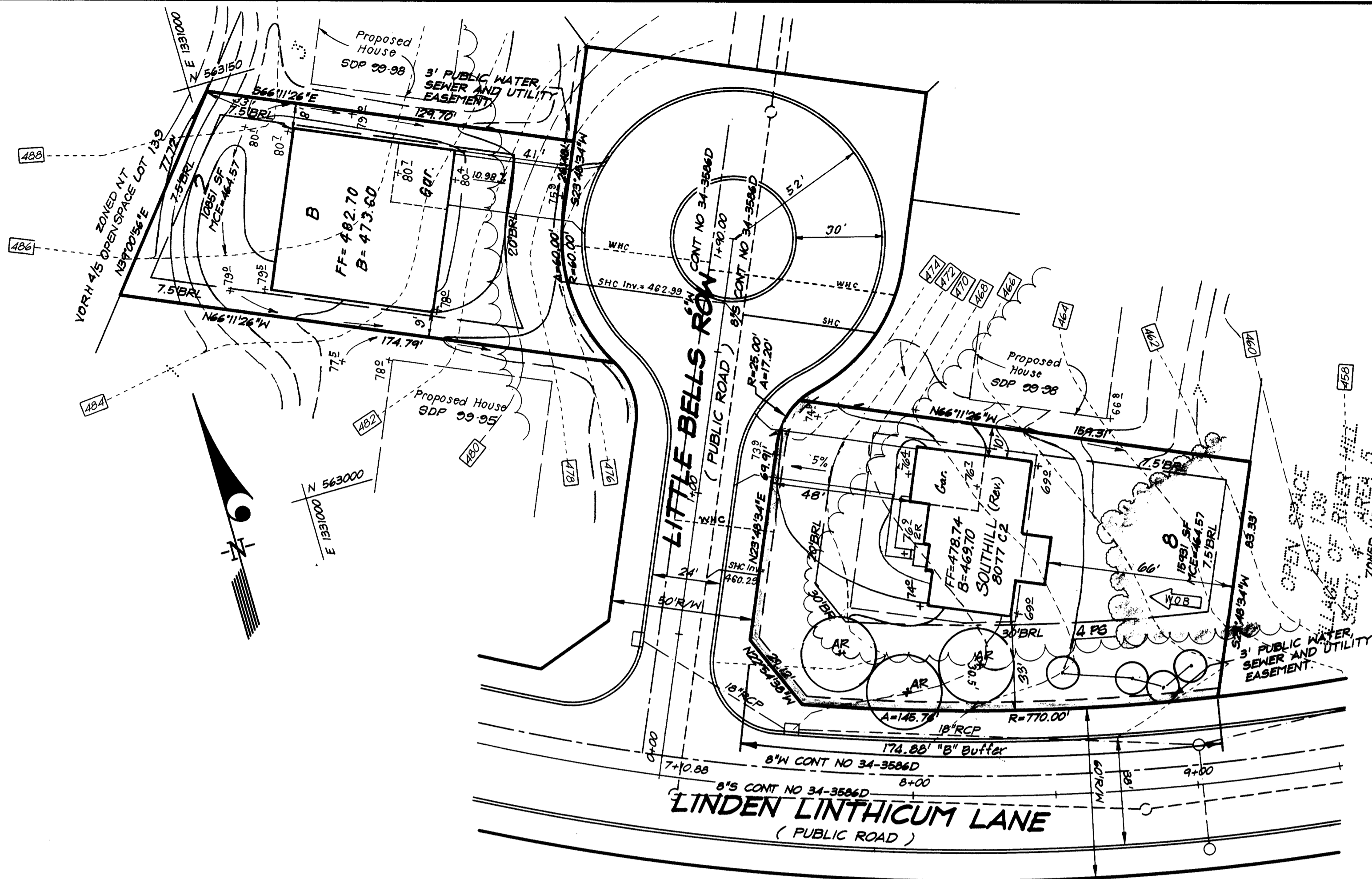


OWNER / DEVELOPER  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10276 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.	
DESIGNED KJWM	SCALE 1" = 30'
DRAWN JTR	DRAWING 3 of 4
CHECKED [Signature]	JOB NO. 99-009
DATE 2-23-99	FILE NO. 99-009-3E

FOR: THE RYLAND GROUP, INC.  
 7250 Parkway Drive  
 Hanover, Maryland 21076



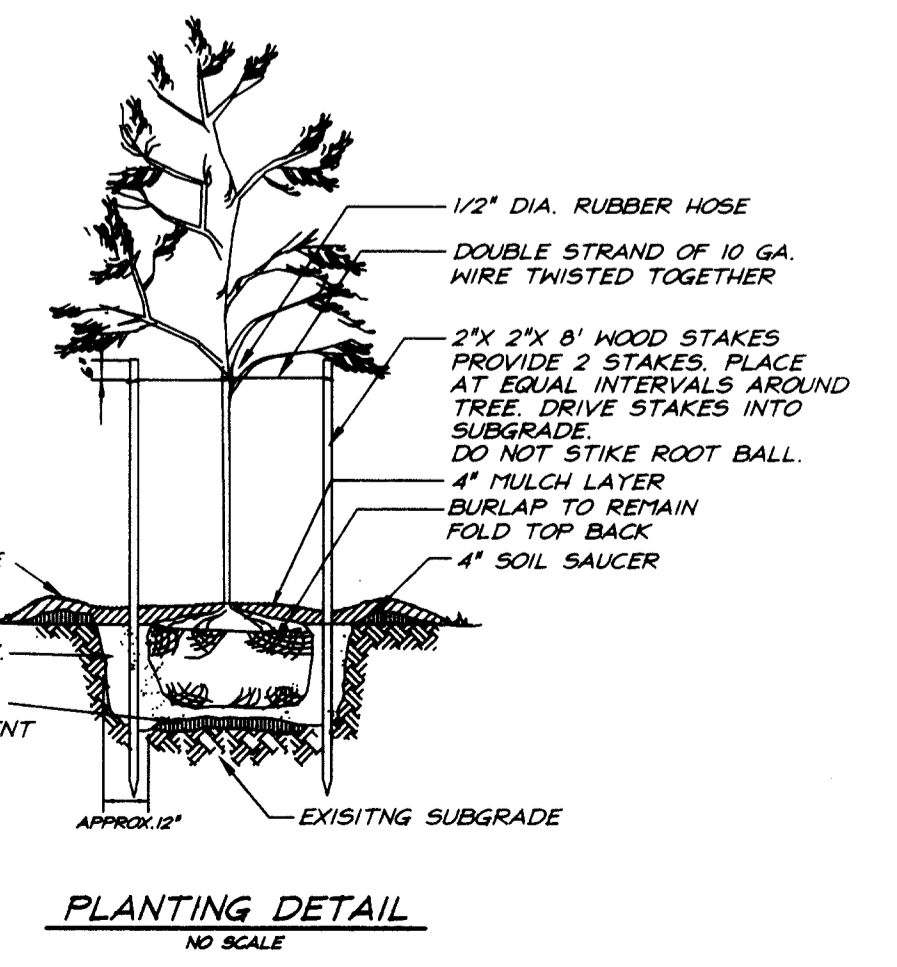
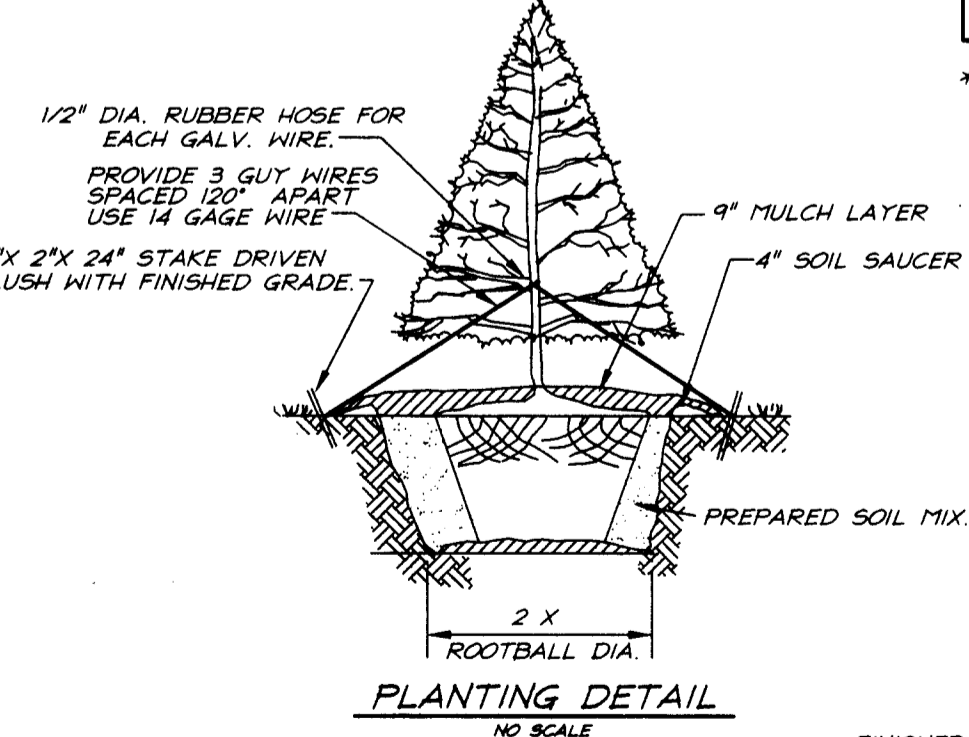


PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARK
AR	ACER RUBRUM	2 1/2"-3" CAL	5	B4B HEAVY
OC	OCT. GLORY RED MAPLE	12-14" HT.	5	B4B HEAVY
TP	PINUS STOBUS	6'-8" HT.	6	B4B HEAVY
	WHITE PINE			

- NOTES:**
- All plant materials shall be full and heavy, be well formed and asymmetrical, conform to the most current AAN specifications and be installed in accordance with HMD planting specifications.
  - Contractor shall verify location of all underground utilities prior to digging.
  - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

SCHEDULE A PERIMETER LANDSCAPE EDGE			
Category	Adjacent to Roadways	LOT 8	LOT 172
Landscape Type		B	B
Frontage/Perimeter		74.88'	90.77'
Number of Plants Required			
Shade Trees (1/30)		3	2
Evergreen Trees (1/40)		3	2
Number of Plants Provided			
Shade Trees		3	2
Evergreen Trees		4	2
Surety Amounts		\$500	\$700

\* Comments: Planting to be provided per the New Town Alternative Compliance method.



APPROVED: DEPARTMENT OF PLANNING & ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

DATE: 4/28/99  
 DATE: 4/28/99  
 DATE: 4/28/99

NO.	Rev Hse & Grd lot 8 from 'A' box to SOUTHILL (REV.)	DATE
	REVISIONS	9-15-99

**BONDING NOTE:**  
 THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.  
 FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE TREES IN THE AMOUNT OF \$2400.00 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION.

**DEVELOPER'S/BUILDERS CERTIFICATE**  
 I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion of Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.  
 Name: Bob Padsatt  
 Date: 2-24-99  
 OWNER / DEVELOPER  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	SITE DEVELOPMENT PLAN	SCALE
ZH/JR	LOTS 2, 8, 155, 156, 172, 173 AND 174	1" = 30'
CHECKED	COLUMBIA VILLAGE OF RIVER HILL	DRAWING 2 of 4
DATE	SECTION 4 AREA 5	JOB NO. 99-009
	FIFTH (5th) ELECTION DISTRICT	FILE NO. 99-009-X
	HOWARD COUNTY, MARYLAND	
	FOR: THE RYLAND GROUP, INC.	
	7250 Parkway Drive	
	Hanover, Maryland 21076	