

SHEET INDEX	
NO	DESCRIPTION
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3	SITE DEVELOPMENT PLAN AND DETAILS
4	GRADING PLAN, SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP
5	GRADING PLAN, SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP
6	SEDIMENT CONTROL DETAILS SHEET
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8	SNM DETAILS
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15	GUILFORD ROAD WIDENING
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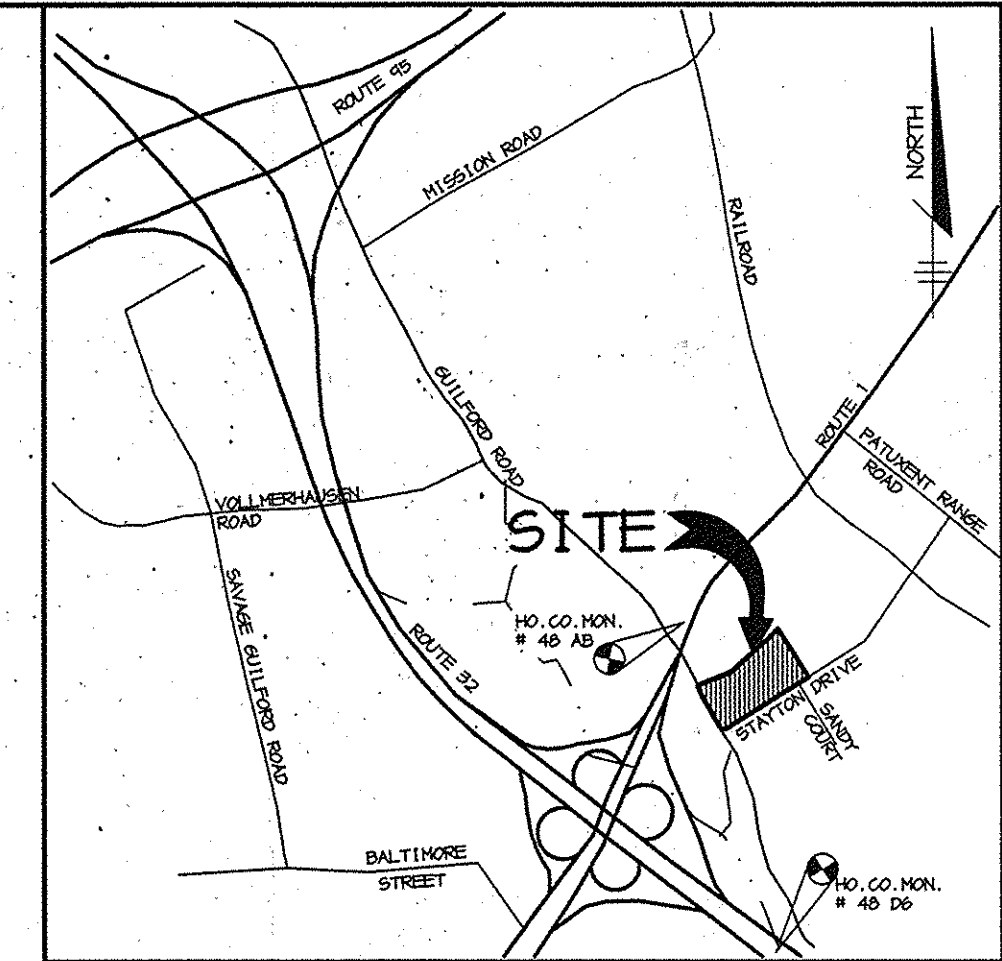
NO	DESCRIPTION
17	OVERALL SITE PLAN
18	DETAILED SITE PLAN
19	SITE DETAILS
20	STRUCTURAL DETAILS

SITE DEVELOPMENT PLAN

STAYTON BUSINESS CENTER

6TH ELECTION DISTRICT

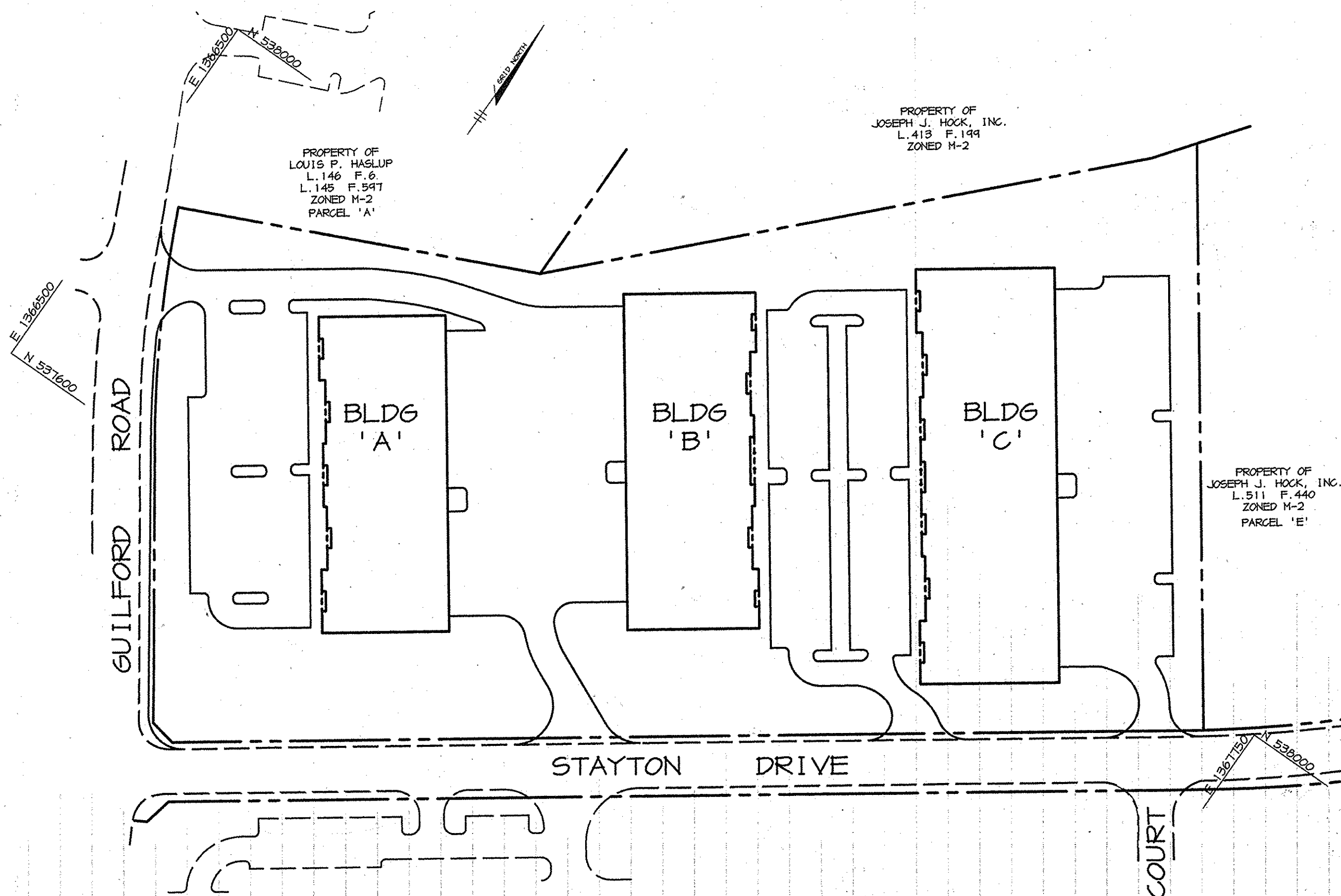
HOWARD COUNTY, MARYLAND



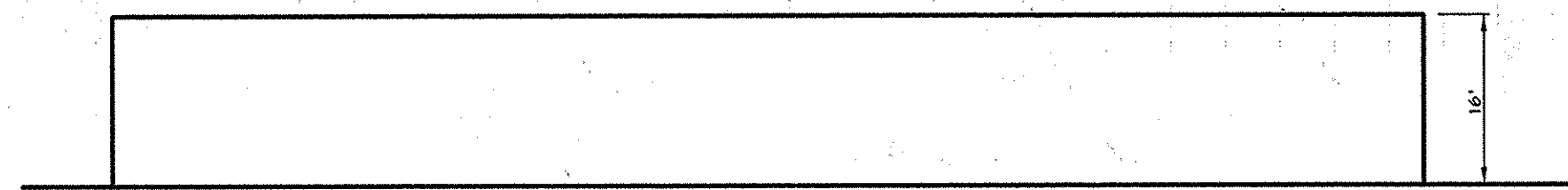
AS-BUILT CONTROL BENCHMARKS
 ✓ HOWARD COUNTY SURVEY CONTROL STATION 4B D6
 N 539,541.405 E 1,366,856.80
 ✓ HOWARD COUNTY SURVEY CONTROL STATION 4B AD
 N 539,364.45 E 1,366,415.74

GENERAL NOTES

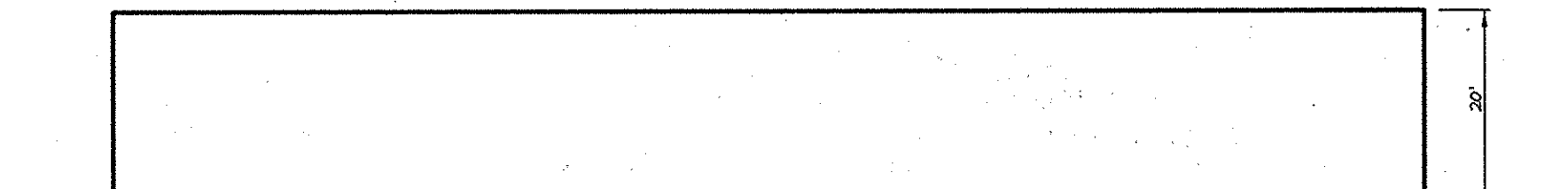
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE ASSOC., INC. DATED APRIL, 1998.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 4806 AND 48AB WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 24-3763-D
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: PATUXENT CONTRACT NO. 24-3763-D
- THE STORMWATER MANAGEMENT QUANTITY AND WATER QUALITY PROPOSED FOR THIS SITE IS PROVIDED BY TWO (2) DETENTION FACILITIES AS WELL AS STORMCEPTOR MANHOLES.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THERE ARE NO WETLANDS ON THIS SITE.
- A TRAFFIC STUDY WAS COMPLETED BY THE TRAFFIC GROUP INC. AND IS APPROVED FOR THE DEVELOPMENT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A GEOTECHNICAL STUDY HAS BEEN PREPARED BY HILLIS CARNES INC., APRIL 1998.
- THE BOUNDARY SURVEY FOR THIS PROJECT HAS BEEN PREPARED BY RIEMER MUEGGE & ASSOC., APRIL 1998.
- SUBJECT PROPERTY ZONED M-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NOS F-76-61, F-77-62, P-67-21, F-99-148
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THE PAVEMENT DETAILS SHOWN FOR THIS SITE REFLECT THE HOWARD COUNTY STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITU TESTING OF THE FINISHED SUBGRADE.
- ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THIS PLAN IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS, UNDER SECTION 16.1202.b.1.iii OF THE SUBDIVISION REGULATIONS.
- REVISION 4 - ADDED 80 SQUARE FEET OF IMPERVIOUS SIDEWALK IN SEPTEMBER 2014 AND IS EXEMPT FROM STORMWATER MANAGEMENT.**



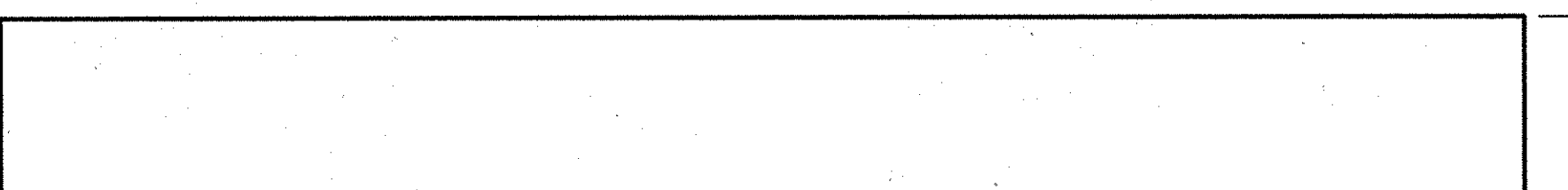
PLAN
SCALE: 1" = 100'



BUILDING A
SCALE: 1" = 20'



BUILDING B
SCALE: 1" = 20'

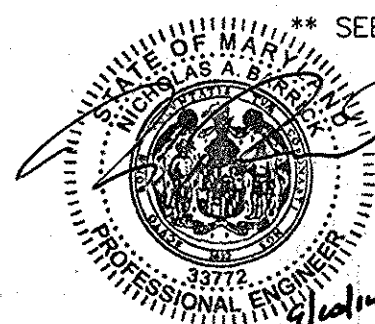


BUILDING C
SCALE: 1" = 20'

SITE ANALYSIS

AREA OF PARCEL	12.59 ACRES (548,510 SF)
DISTURBED AREA	13.13 ACRES (571,943 SF)
PRESENT ZONING	M-2
PROPOSED USE	3 OFFICE/WAREHOUSE FACILITIES (ONE STORY)
BUILDING COVERAGE (HYBRID OFFICE/WAREHOUSE)	
BUILDING-A	40,000 SF
BUILDING-B	44,174 SF
BUILDING-C	57,530 SF
TOTAL AREA	141,704 SF
# OF PARKING SPACES REQUIRED WAREHOUSE AREA < 160' DEEP @ 2.5 SP/1000 SF*	354 SPACES
# OF PARKING SPACES PROVIDED	297** SPACES (INCLUDING 14 HC)
APPLICABLE REFERENCES	P-67-21, F-77-62, F-99-128, F-99-148

* PER HOWARD COUNTY ZONING REGULATIONS SECTION 134.03
 ** SEE PARKING NEEDS STUDY



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 33922, Expiration Date: 6/16/15

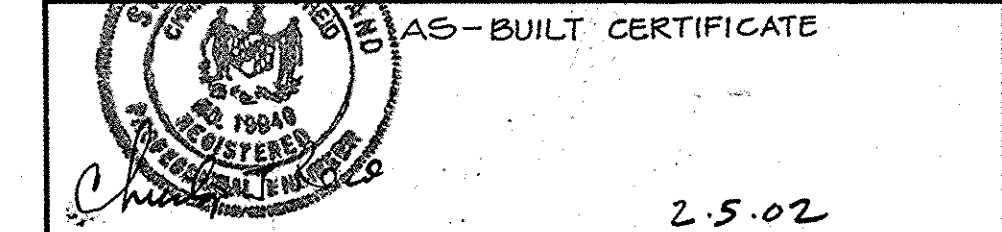
OPERATION AND MAINTENANCE SCHEDULE OF PRIVATELY OWNED AND MAINTAINED STORMWATER MANAGEMENT FACILITY DETENTION POND

- #### ROUTINE MAINTENANCE
- Facility shall be inspected annually and after major storms. Inspections should be performed during wet weather to determine if the pond is functioning properly.
 - Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes, the bottom of the pond, and maintenance access should be mowed as needed.
 - Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.
 - Visible signs of erosion in the pond as well as riprap outlet area shall be repaired as soon as it is noticed.
- #### NON-ROUTINE MAINTENANCE
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components should be inspected during routine maintenance operations.
 - Sediment should be removed when its accumulation significantly reduces the design storage, interfere with the function of the riser, when deemed necessary for aesthetic reasons, or when deemed necessary by the Howard County's Department of Public Works.

ADDRESS CHART

BUILDING	STREET ADDRESS
A	10335 GUILFORD ROAD
B	8300 STAYTON DRIVE
C	8280 STAYTON DRIVE

SUBDIVISION NAME	SECT./AREA - PARCEL
BALT. WASH. IND. PARK	BLOCK B - F-1
PLAT # - 3637	BLOCK # 48
WATER CODE - B02	SEWER CODE - 4200000



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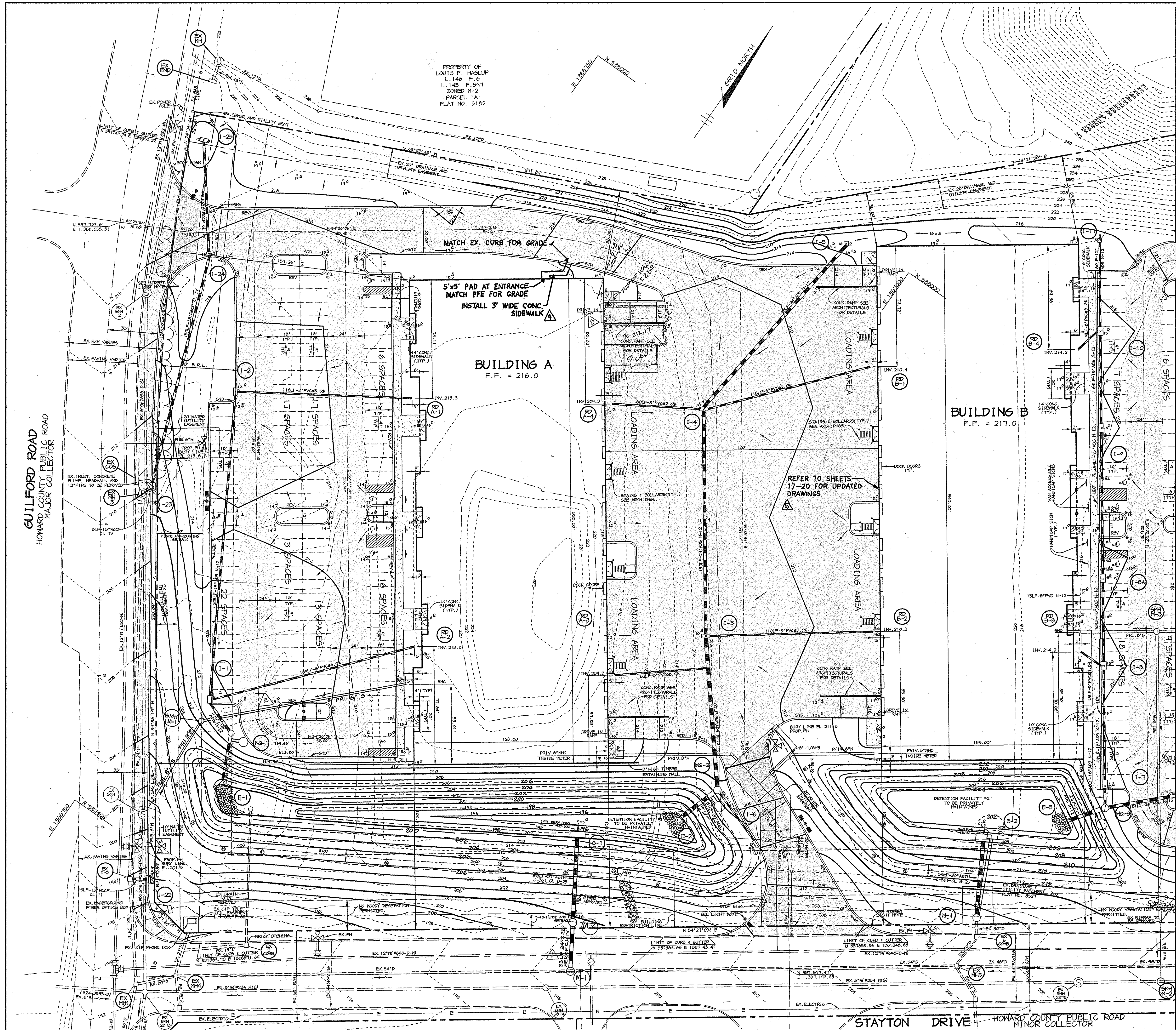
DATE	NO.	REVISION
9/11/14	4	ADD NOTE # 33
5/28/15	5	ADD TO SHEET INDEX

OWNER	DEVELOPER
JOSEPH J. HOCK 7272 PARKWAY DRIVE HANOVER, MD. 21076 410-712-0018	HOCK/BAYAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1966 GREENSPRING DRIVE SUITE # 508 TIMONIUM, MD 21043 410-560-0300
PROJECT STAYTON BUSINESS CENTER THREE WAREHOUSE BUILDINGS	
AREA ZONED M-2 TAX MAP NO. 4B B.M.I.P. BLOCK B PARCEL F-1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE TITLE SHEET	

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8900 fax 410.997.8282

DATE	DESIGNED BY: C.J.R.
	DRAWN BY: DAM
	PROJECT NO: 98369 SDP1.DWG
	DATE: SEPTEMBER 2, 1999
	SCALE: AS SHOWN
	DRAWING NO. 1 OF 20

AS-BUILT 02/04/02 SDP-99-102



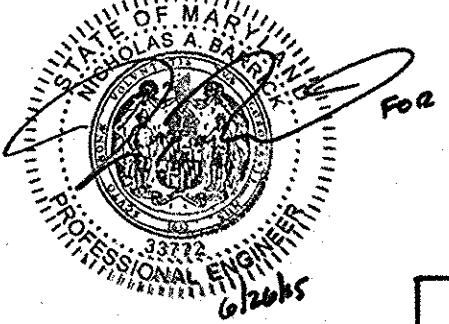
LEGEND

- MSHA PAVING
- CONCRETE
- P-1 PAVING
- P-2 PAVING
- P-3 PAVING
- STD-REV
- STANDARD CURB - REVERSE CURB
- SITE LIGHT (SINGLE) - SEE NOTE
- STREET LIGHT - SEE NOTE

- NOTES:**
1. STREET LIGHT ON GUILFORD ROAD TO BE 250 HPS AND THE ONES ON STAYTON DRIVE TO BE 150 HPS PENDANTS FIXTURES MOUNTED AT 30' WITH BRONZE FIBERGLASS POLE AND 12' ARM. SITE LIGHTS TO BE 1000 WATT METAL HALIDE VERTICAL LAMPS ON SHOEBOXES ON 2'-6" BASE WITH 34' POLE (SINGLE, DOUBLE, OR GUAD).
 2. ALL LIGHTS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIAL PROPERTIES.
 3. ALL CURB RADII ARE 5' UNLESS OTHERWISE LABELED.
 4. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE LABELED.
 5. * LIMITS OF STD/REV CURB AND GUTTER.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 33772, Expiration Date: 6/16/15
 FOR REVISION #4



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 33772, Expiration Date: 6/16/17
 FOR REVISION #5

AS-BUILT CERTIFICATE

DATE	2.5.02
APPROVED :	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
DIRECTOR	7/30/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/14/99
CHIEF, DIVISION OF LAND DEVELOPMENT	7/12/99

FOR REVISION 3 ONLY
 JUDITH A. CARROLL
 MD REG 14446
 JULY 03, 2001



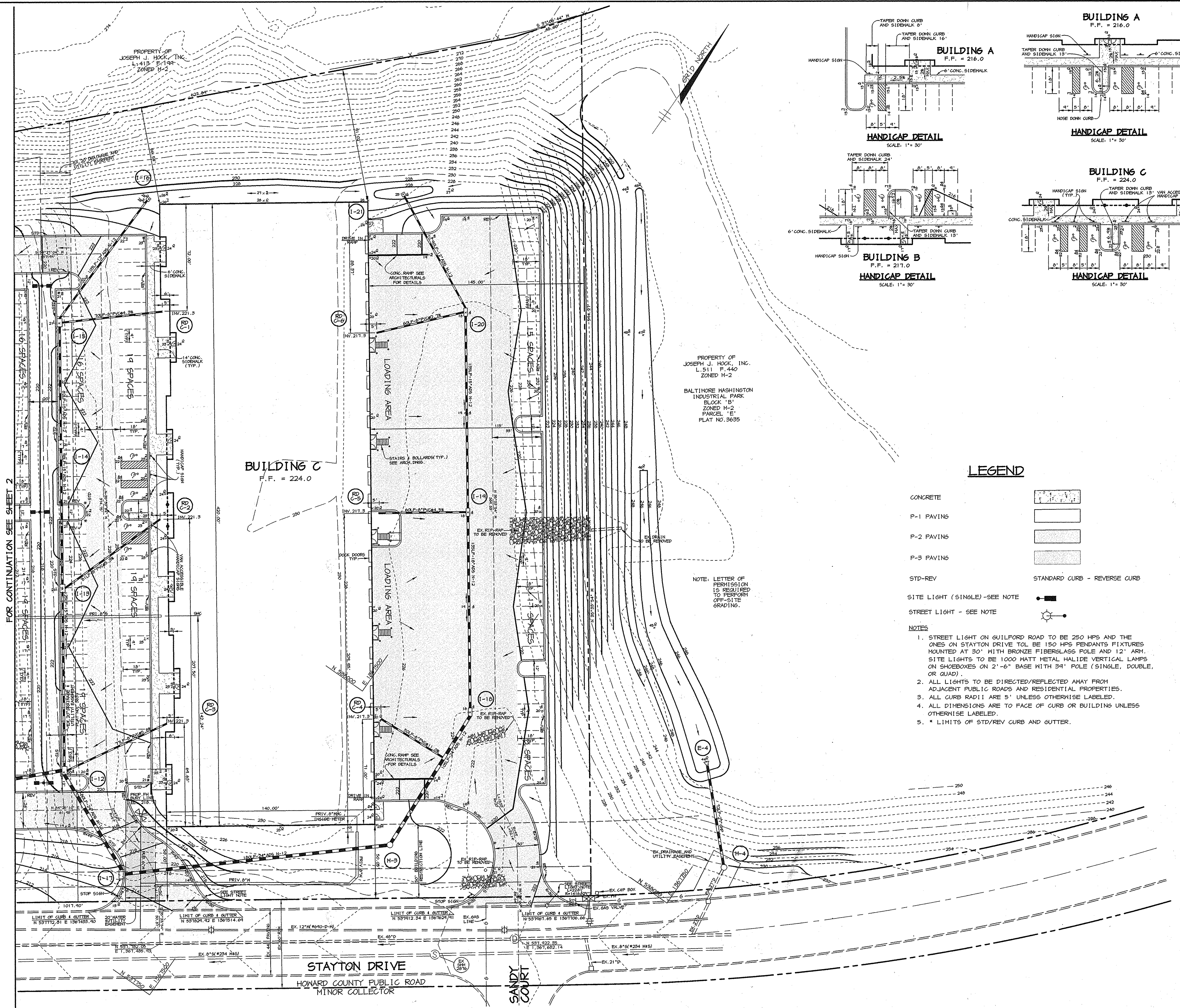
DATE	REVISION
7-20-00	REVISE SEWER TO BUILDING 'A'
12-09-99	REVISED SWMF #1 OUTFALL
ADD NOTE TO PLAN	

OWNER	DEVELOPER
JOSEPH J. HOCK 1272 PARKWAY DRIVE HANOVER, MD. 21076 410-712-0018	HOCK/BAVAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1966 GREENSPRING DRIVE TIMONIUM, MD 21093 410-560-0300

PROJECT	STAYTON BUSINESS CENTER THREE WAREHOUSE BUILDINGS
AREA	ZONED M-2 TAX MAP NO. 4B B.N.I.P. BLOCK B PARCEL F-1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	SITE DEVELOPMENT PLAN

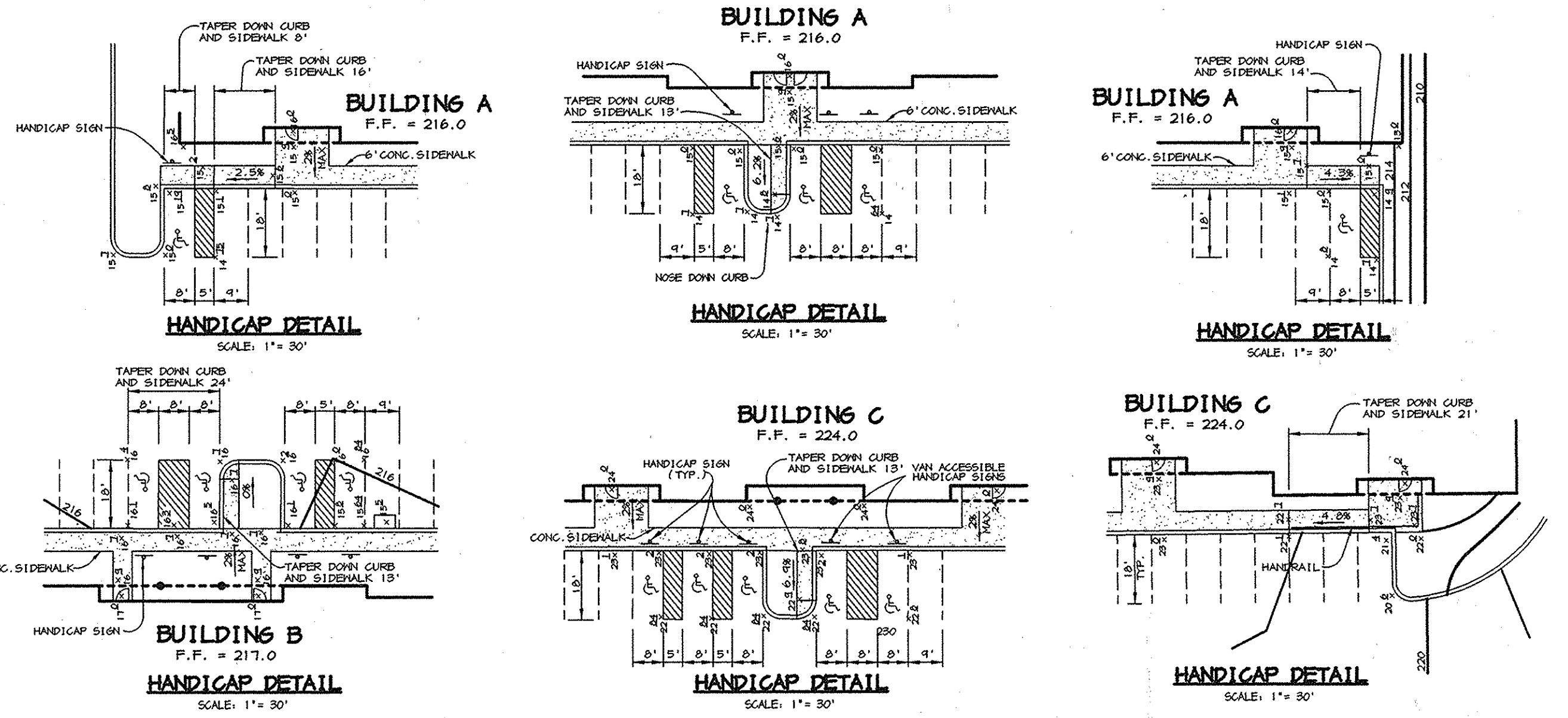
RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8900 fax 410.997.9282

DATE	DESIGNED BY : C.J.R.
	DRAWN BY: DAM
	PROJECT NO : 98369 SDP2.DWG
	DATE : SEPTEMBER 2, 1999
	SCALE : 1" = 30'
	DRAWING NO. 2 OF 20



PROPERTY OF JOSEPH J. HOCK, INC.
L. 511 F. 440
ZONED M-2
BALTIMORE WASHINGTON INDUSTRIAL PARK
BLOCK 'B'
ZONED M-2
PARCEL 'E'
PLAT NO. 9635

NOTE: LETTER OF PERMISSION IS REQUIRED TO PERFORM OFF-SITE GRADING.



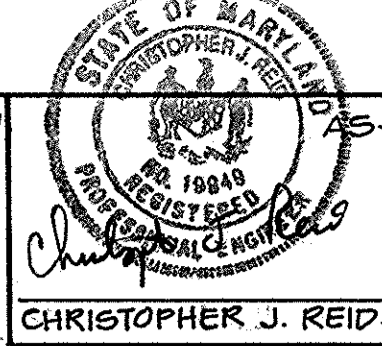
LEGEND

- CONCRETE [Symbol]
- P-1 PAVING [Symbol]
- P-2 PAVING [Symbol]
- P-3 PAVING [Symbol]
- STD-REV [Symbol]
- SITE LIGHT (SINGLE) - SEE NOTE [Symbol]
- STREET LIGHT - SEE NOTE [Symbol]
- STANDARD CURB - REVERSE CURB [Symbol]

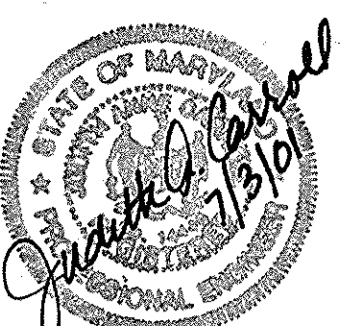
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 5. * LIMITS OF STD/REV CURB AND GUTTER.

FOR CONTINUATION SEE SHEET 2

AS-BUILT CERTIFICATE	
CHRISTOPHER J. REID #19949 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	2.5.02 DATE
[Signature] DIRECTOR	9/20/95 DATE
[Signature] CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/14/95 DATE
[Signature] CHIEF, DIVISION OF LAND DEVELOPMENT	9/17/99 DATE
DATE NO. OWNER JOSEPH J. HOCK 1212 PARKWAY DRIVE HANOVER, MD. 21076 410-712-0018	REVISION DEVELOPER HOCK/BAVAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1966 GREENSPRING DRIVE SUITE # 508 TIMONIUM, MD 21043 410-560-0300
PROJECT STAYTON BUSINESS CENTER THREE WAREHOUSE BUILDINGS	
AREA ZONED M-2 TAX MAP NO. 48 B.M.I.P. BLOCK B PARCEL F-1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE SITE DEVELOPMENT PLAN AND DETAILS	
RIEMER MUEGGE & ASSOCIATES INC. ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING 8818 Centro Park Drive, Columbia, MD 21046 tel 410.997.8900 fax 410.997.9282	
DATE DESIGNED BY: C.J.R. DRAWN BY: DAM PROJECT NO: 98369 SDP3.DWG DATE: SEPTEMBER 2, 1999 SCALE: 1" = 30' DRAWING NO. 3 OF 20	AS-BUILT 02/04/02 SDP-99-102



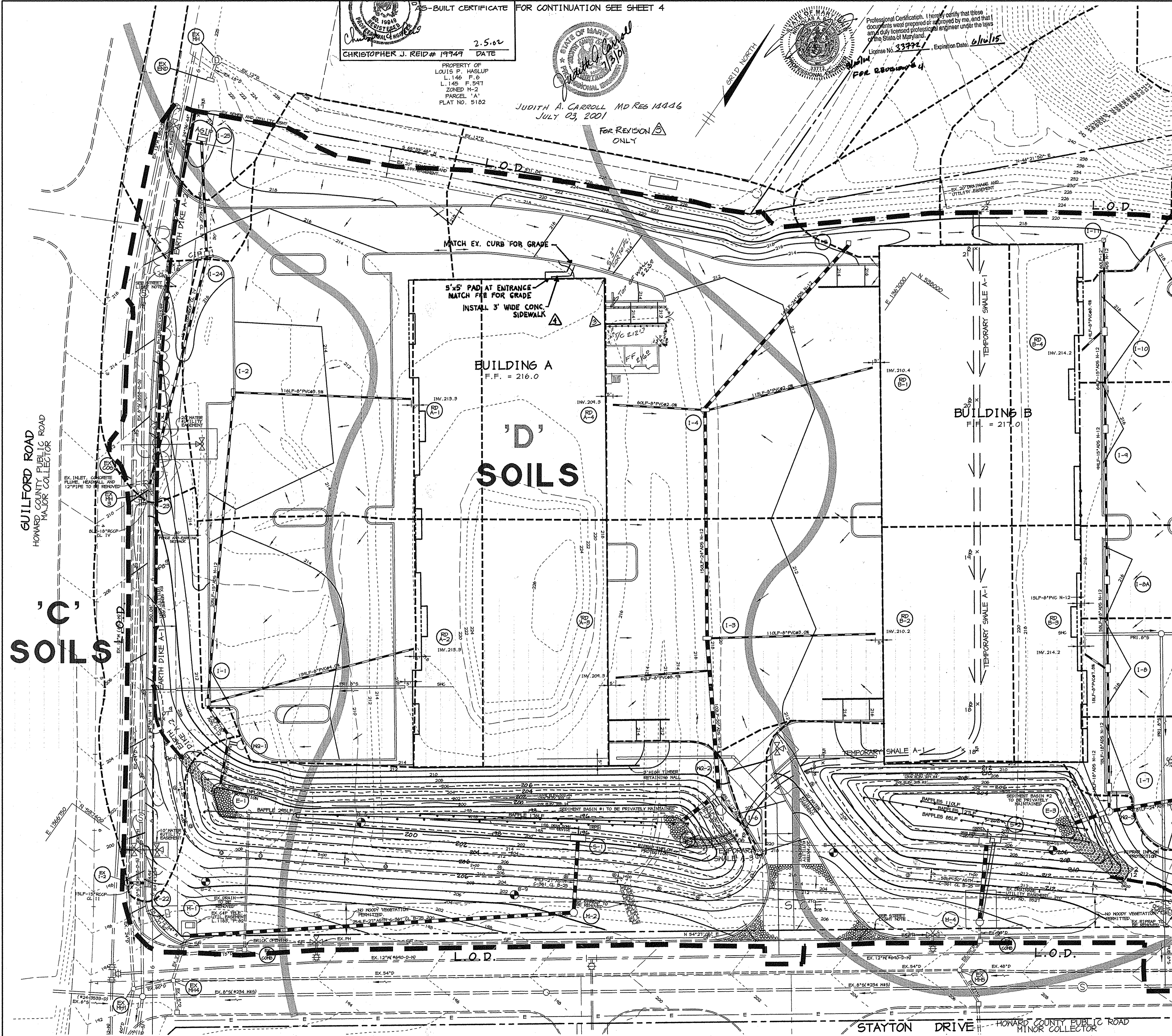
AS-BUILT CERTIFICATE FOR CONTINUATION SEE SHEET 4
 CHRISTOPHER J. REID # 19949 DATE 2.5.02
 PROPERTY OF LOUIS P. HAGLUP
 L-146 F.F. 8
 L-145 F.F. 9-17
 ZONED M-2
 PARCEL 'A'
 PLAT NO. 5182



JUDITH A. CARROLL MD REG 18446
 JULY 03, 2001



Professional Certification: I hereby certify that these documents were prepared or reviewed by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 8707, Expiration Date: 01/15/15
 For Revisions 4



DRAINAGE DATA

INLET NOS.	AREA IN ACRES	'C' FACTOR	PERCENT IMPERVIOUS	INLET NOS.	AREA IN ACRES	'C' FACTOR	PERCENT IMPERVIOUS
1	0.50	0.76	84	21	0.48	0.19	0
2	0.86	0.61	60	22	0.40	0.53	50
3	0.58	0.86	100	23	0.21	0.64	67
4	1.15	0.80	85	24	0.32	0.78	88
5	0.14	0.19	0	25	3.60	0.37	8
6	0.05	0.86	100	26	0.14	0.66	71
7	0.16	0.70	75	RD A-1	0.16	0.64	100
8	0.14	0.66	71	RD A-2	0.16	0.64	100
9	0.14	0.61	63	RD A-3	0.24	0.64	100
10	0.51	0.47	72	RD A-4	0.24	0.64	100
11	0.41	0.19	0	RD B-1	0.36	0.64	100
12	0.15	0.74	87	RD B-2	0.30	0.64	100
13	0.16	0.70	81	RD B-3	0.16	0.64	100
14	0.15	0.75	80	RD B-4	0.19	0.64	100
15	0.15	0.75	80	RD C-1	0.13	0.64	100
16	1.01	0.19	0	RD C-2	0.20	0.64	100
17	0.04	0.86	100	RD C-3	0.10	0.64	100
18	0.64	0.58	57	RD C-4	0.20	0.64	100
19	0.52	0.64	67	RD C-5	0.40	0.64	100
20	0.44	0.43	36	RD C-6	0.26	0.64	100

SWMF #1 SUMMARY CHART DA: 5.60 AC.

STORM	2 YR.	10 YR.	100 YR.
ALLOWABLE RELEASE RATE (CFS)	6.58	15.22	-
INFLOW (CFS)	10.24	31.22	45.37
DISCHARGE (CFS)	3.68	7.54	27.42
ELEVATION (FEET)	200.24	202.10	202.74
STORAGE (ACRE-FEET)	0.566	0.717	0.890

SEDIMENT BASIN #1

DRAINAGE AREA 5.60 ACRES
 STOR. REQ'D (NET STOR.) 10,080 CF
 STOR. REQ'D (DRY STOR.) 10,080 CF
 STOR. PROV. (NET STOR.) 10,080 CF @ 200.45
 STOR. PROV. (DRY STOR.) 10,080 CF @ 200.57
 CREST ELEVATION 200.74
 TOP OF DAM 200.60
 BOTTOM ELEVATION 195.00
 CLEANOUT ELEVATION 197.90
 SIDE SLOPES 5:1
 DISTANCE FROM TOP OF RISER TO CLEANOUT 2.71

DAM & DATA SWMF #1

① N STA 620.75	① R = 16.72'
② AL STA 014.00	② R = 34.70'
③ AL STA 034.64	③ R = 31.82'
④ AL STA 055.50	④ R = 856.67'
⑤ AL STA 081.35	⑤ R = 874.73'
⑥ AL STA 1071.33	⑥ R = 224.05'
⑦ AL STA 1425.38	⑦ R = 361.40'
⑧ AL STA 1438.27	⑧ S 58°40'05"N
⑨ AL STA 1481.16	⑨ S 58°16'55"N
⑩ AL STA 2458.02	⑩ S 58°51'38"N
⑪ AL STA 3440.14	⑪ S 58°20'11"N
⑫ AL STA 3467.69	⑫ R = 23.54'
⑬ AL STA 3471.69	⑬ S 41°01'07"
⑭ AL STA 4114.24	

SWMF #2 SUMMARY CHART DA: 8.27 AC

STORM	2 YR.	10 YR.	100 YR.
ALLOWABLE RELEASE RATE (CFS)	14.56	33.44	-
INFLOW (CFS)	20.59	38.60	58.77
DISCHARGE (CFS)	12.48	21.43	31.67
ELEVATION (FEET)	205.62	207.84	209.75
STORAGE (ACRE-FEET)	0.264	0.558	0.823

SEDIMENT BASIN #2

DRAINAGE AREA 4.85 ACRES
 STOR. REQ'D (NET STOR.) 8750 CF
 STOR. REQ'D (DRY STOR.) 8750 CF
 STOR. PROV. (NET STOR.) 8750 CF @ 204.97
 STOR. PROV. (DRY STOR.) 8750 CF @ 206.98
 CREST ELEVATION 206.70
 TOP OF DAM 212.00
 BOTTOM ELEVATION 202.00
 CLEANOUT ELEVATION 204.00
 SIDE SLOPES 5:1
 DISTANCE FROM TOP OF RISER TO CLEANOUT 2.70

DAM & DATA SWMF #2

① N STA 746.45	① S 59°23'10"N
② AL STA 140.60	② R = 32.34'
③ AL STA 142.94	③ R = 294.64'
④ AL STA 2424.05	④ R = 20.10'
⑤ AL STA 2458.06	

LEGEND

- LIMIT OF DISTURBANCE L.O.D.
- TEMPORARY SHALE
- EARTH DIKE
- SILT FENCE
- SUPER SILT FENCE
- SOILS DIVIDE
- DRAINAGE AREAS DIVIDE
- CURB INLET PROTECTION
- AT GRADE INLET PROTECTION

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: [Signature] DATE: 9/1/99

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

ENGINEER: [Signature] DATE: 9/1/99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

NATURAL RESOURCES CONSERVATION SERVICE: [Signature] DATE: 9/1/99

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT: [Signature] DATE: 9/10/99

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER: [Signature] DATE: 9/20/99
 [Signature] DATE: 9/14/99
 [Signature] DATE: 9/17/99

8/21/14 ADD SIDEWALK
 ADD BUILDING, SECURE PARKING SPACES, CURB DIMENSION TO EXIST, NEW SIDEWALK DIMENSIONS

DATE	NO.	REVISION
OWNER	DEVELOPER	
JOSEPH J. HOCK	HOCK/BAYAR STAYTON JOINT VENTURE, LLC	
7272 PARKWAY DRIVE	TIMONIUM ONE	
HANOVER, MD. 21076	1966 GREENSPRING DRIVE	
410-712-0018	SUITE # 508	
	TIMONIUM, MD 21093	
	410-560-0300	

PROJECT STAYTON BUSINESS CENTER
 THREE WAREHOUSE BUILDINGS

AREA ZONED M-2 TAX MAP NO. 48
 B.N.I.P. BLOCK B PARCEL F-1
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE DRAINAGE AREA MAP, GRADING AND SEDIMENT CONTROL PLAN

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8900 fax 410.997.9282

DESIGNED BY: C.J.R.
 DRAWN BY: DAM
 PROJECT NO.: 98369 SDP4.DWG
 DATE: SEPTEMBER 2, 1999
 SCALE: AS SHOWN
 DRAWING NO. 4 OF 20

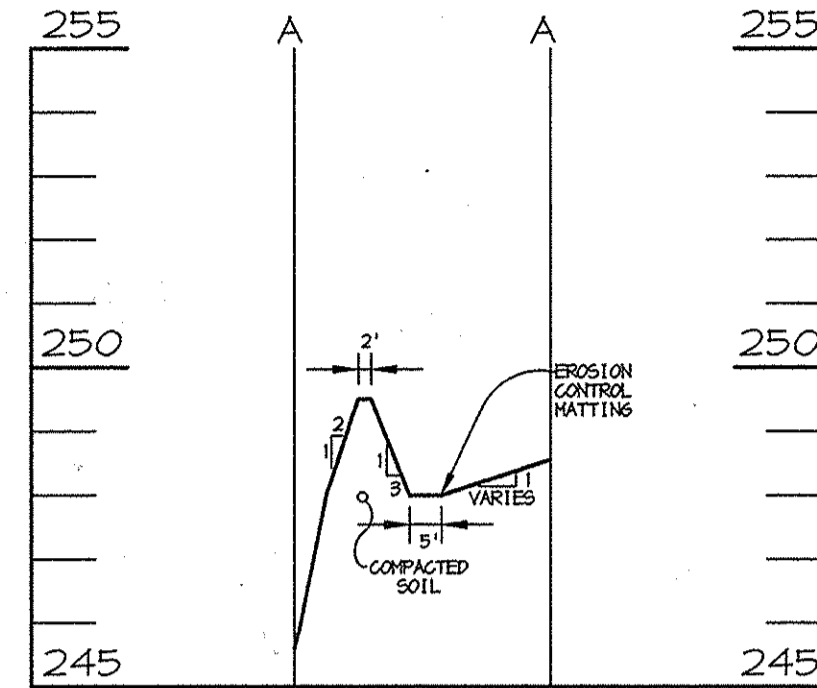
AS-BUILT 02/04/02 SDP-99-102

FOR CONTINUATION SEE THIS SHEET

PROPERTY OF JOSEPH J. HOOK, INC. L. 413 F. 149 ZONED M-2

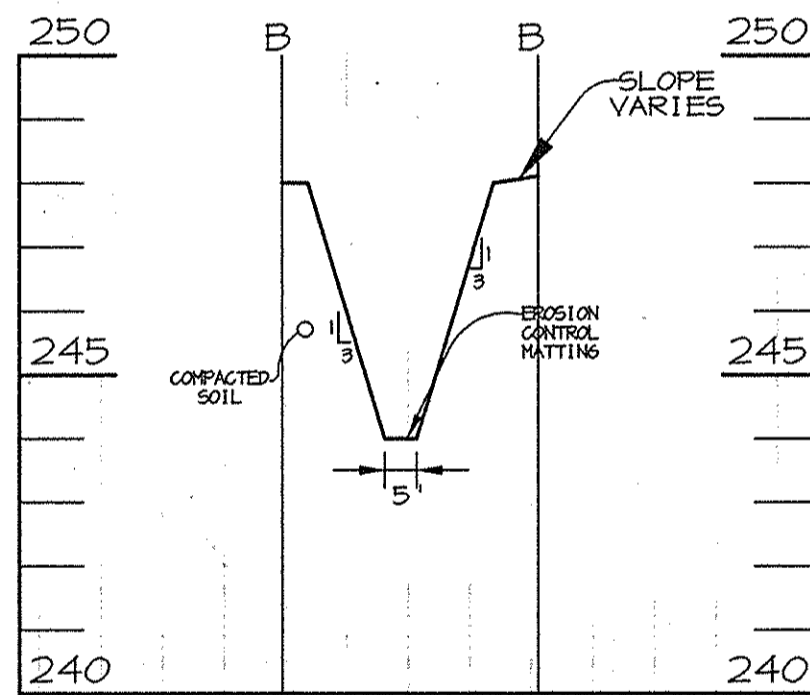
S.O.S.T.#1

DRAINAGE AREA	9.34 ACRES
STOR. REQ'D (NET STOR.)	5032 CF
STOR. REQ'D (DRY STOR.)	5032 CF
STOR. PROV. (NET STOR.)	5032 CF@214.4
STOR. PROV. (DRY STOR.)	5032 CF@216.21
CREST ELEVATION	221
TOP OF DAM	222
BOTTOM ELEVATION	214
CLEANOUT ELEVATION	219
SIDE SLOPES	2:1



CROSS SECTION A-A

SCALE: VER. 1" = 3'
HOR. 1" = 30'



CROSS SECTION B-B

SCALE: VER. 1" = 3'
HOR. 1" = 30'

LEGEND

- LIMIT OF DISTURBANCE
- TEMPORARY SHALE
- EARTH DIKE
- SILT FENCE
- SUPER SILT FENCE
- SOILS DIVIDE
- DRAINAGE AREA DIVIDE
- STABILIZED CONSTRUCTION ENTRANCE
- STONE OUTLET SEDIMENT TRAP
- L.O.P.
- SCE
- S.O.S.T.

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph J. Hook 9/6/99
DEVELOPER DATE

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Michael Muegge 9/2/99
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Carol Simmons 9/6/99
NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John W. Stoltz 9/10/99
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James B. Smith 9/20/99
DIRECTOR DATE

William J. Deane 9/14/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Thomas 9/17/99
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO.	REVISION
OWNER	DEVELOPER
JOSEPH J. HOOK	HOCK/BAVAR STAYTON
7272 PARKWAY DRIVE	JOINT VENTURE, LLC
HANOVER, MD. 21076	TIMONIUM ONE
410-712-0018	1966 GREENSPRING DRIVE
	SUITE # 508
	TIMONIUM, MD 21093
	410-560-0300

PROJECT	STAYTON BUSINESS CENTER THREE WAREHOUSE BUILDINGS
AREA	ZONED M-2 TAX MAP NO. 48 B.M.I.P. BLOCK B PARCEL F-1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	DRAINAGE AREA MAP, GRADING AND SEDIMENT CONTROL PLAN

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8900 fax 410.997.8282

DATE	DESIGNED BY: C.J.R.
STATE OF MARYLAND REGISTERED PROFESSIONAL ENGINEER	DRAWN BY: DAM
<i>Arthur E. Muegge</i>	PROJECT NO: 98369 SDPS.DWG
ARTHUR E. MUEGGE #8707	DATE: SEPTEMBER 2, 1999
	SCALE: 1" = 30'
	DRAWING NO. 5 OF 20

AS-BUILT 02/04/02 SDP-99-102

FOR CONTINUATION SEE SHEET 4

FOR CONTINUATION SEE THIS SHEET

'C' SOILS

'D' SOILS

BUILDING C
F.F. = 224.0

PROPERTY OF JOSEPH J. HOOK, INC.
L. 511 F. 440
ZONED M-2
BALTIMORE WASHINGTON INDUSTRIAL PARK
BLOCK 'B'
ZONED M-2
PARCEL 'E'
PLAT NO. 3635

PROPERTY OF JOSEPH J. HOOK, INC.
L. 413 F. 149
ZONED M-2

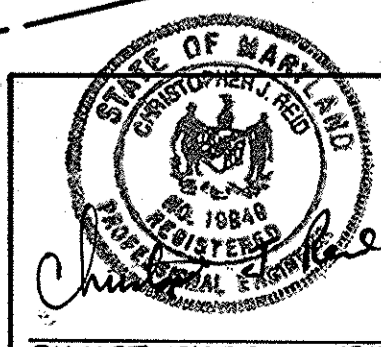
5' WIDE EROSION CONTROL MATTING

10' WIDE EROSION CONTROL MATTING

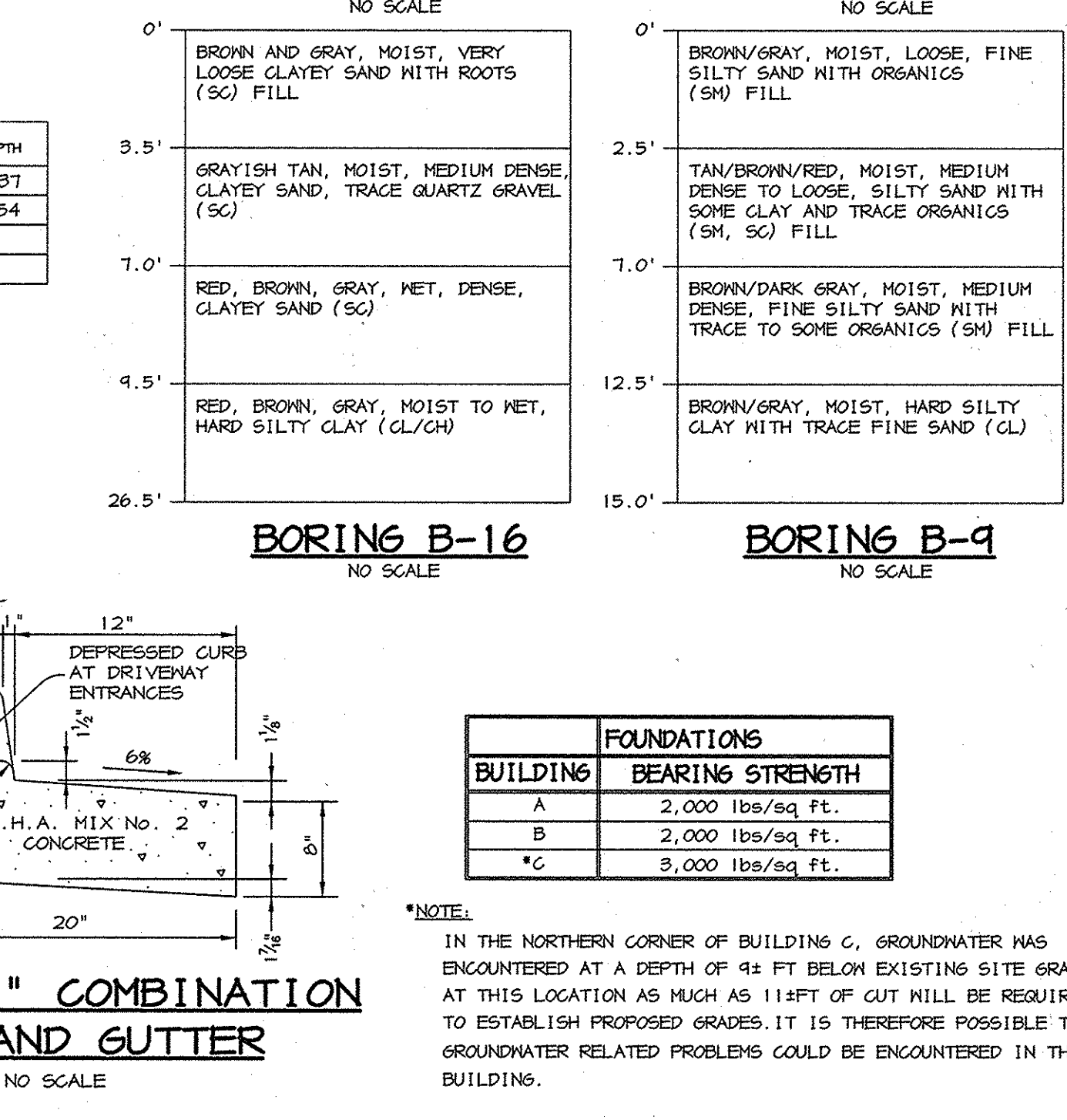
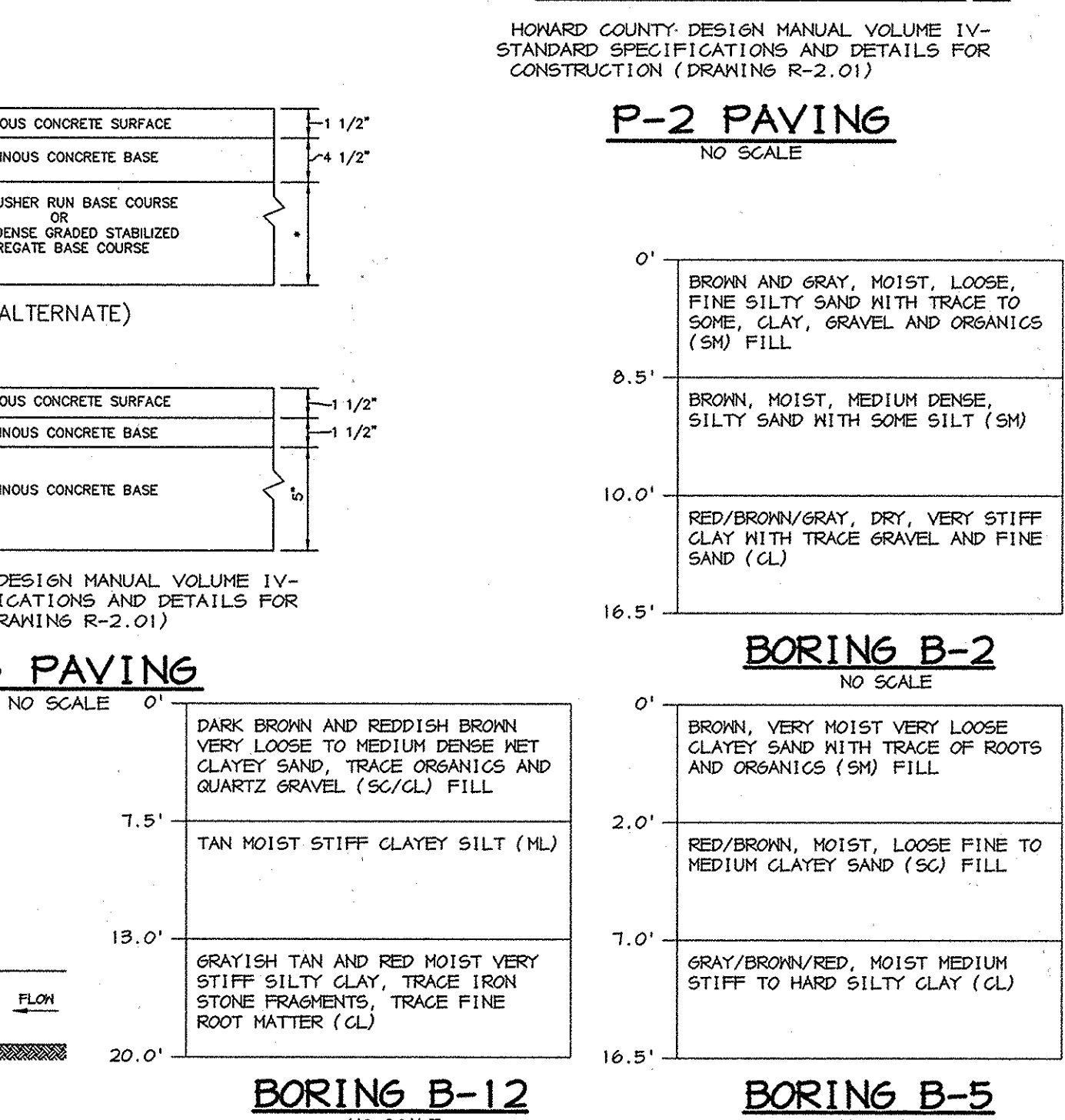
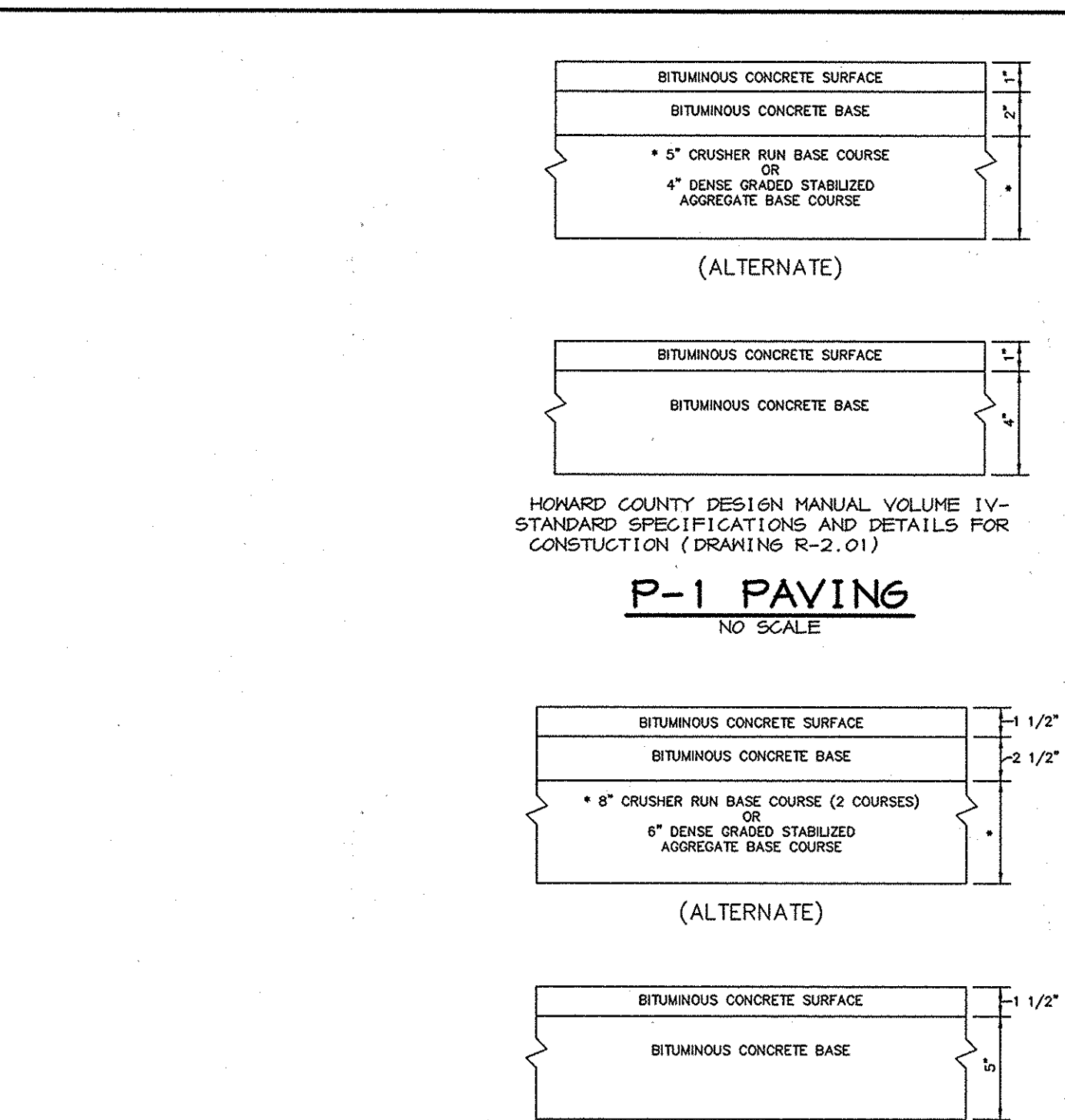
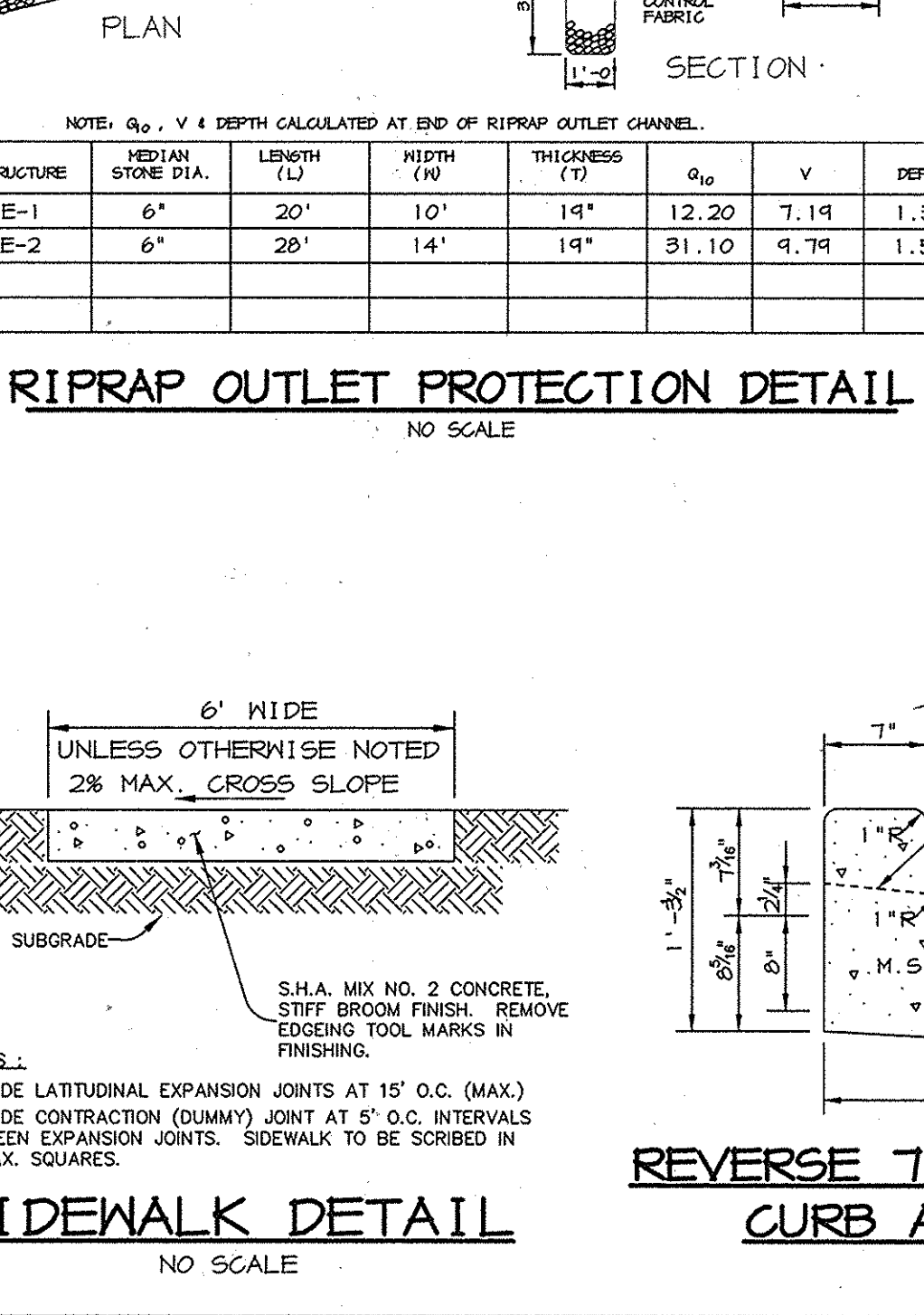
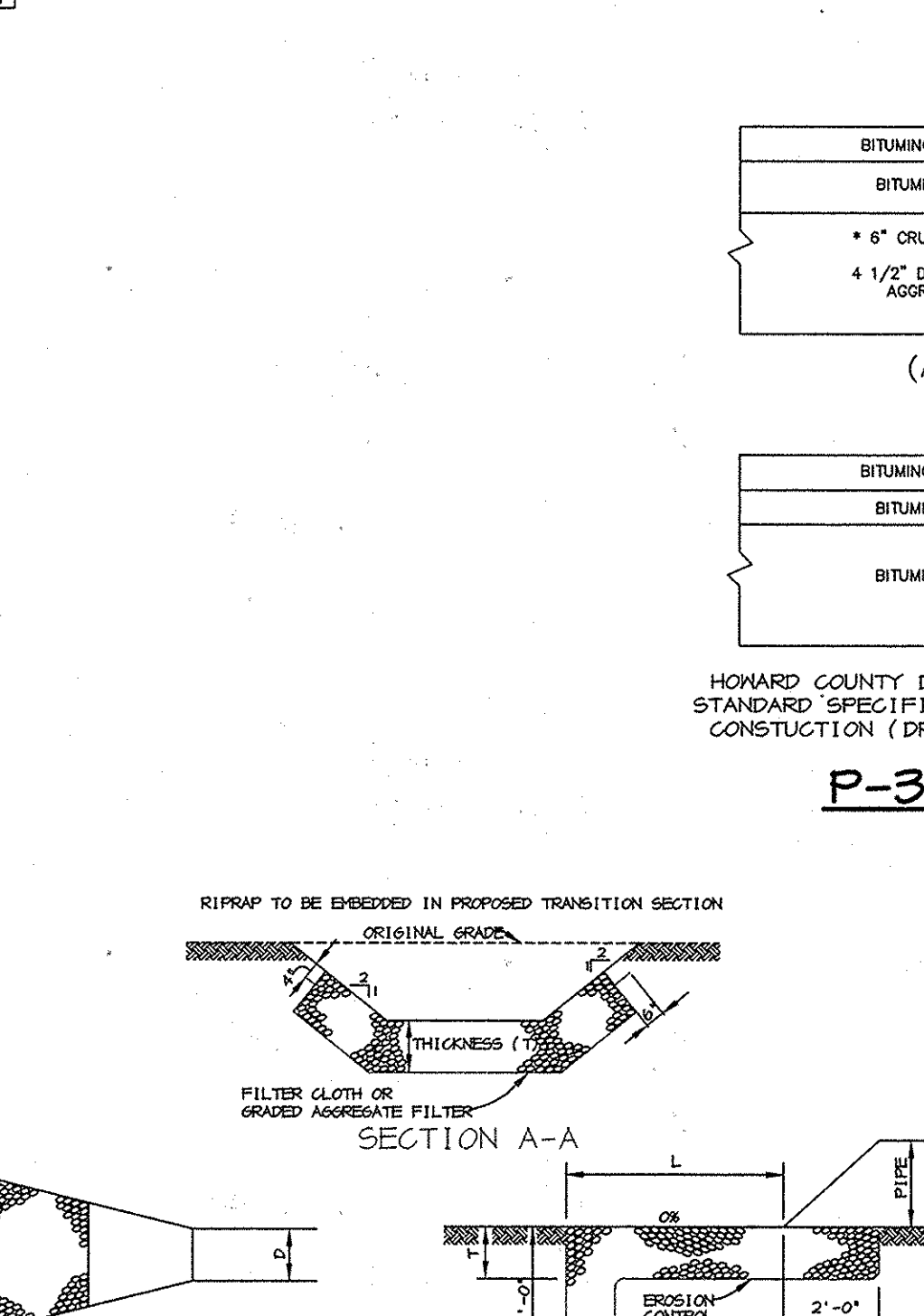
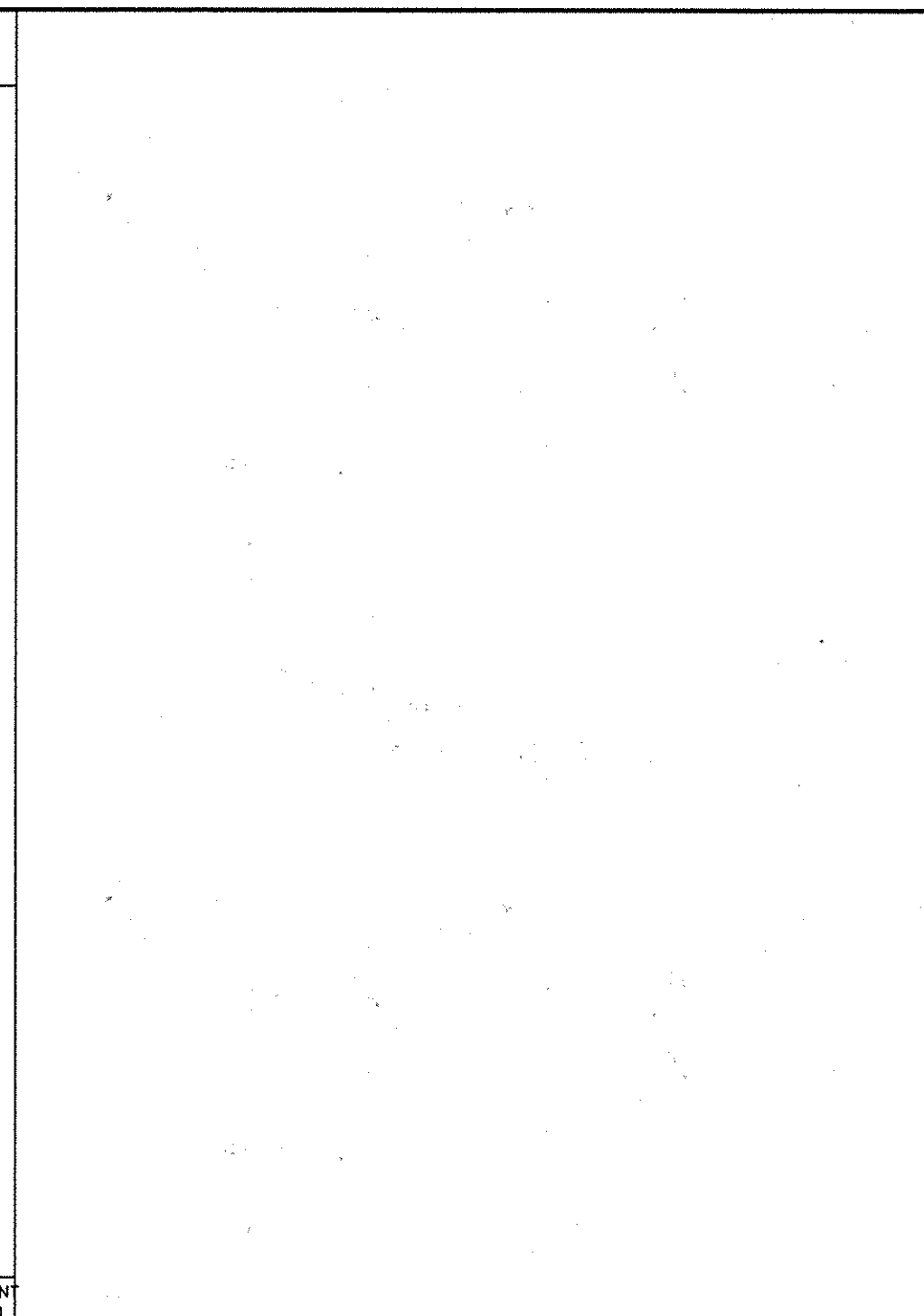
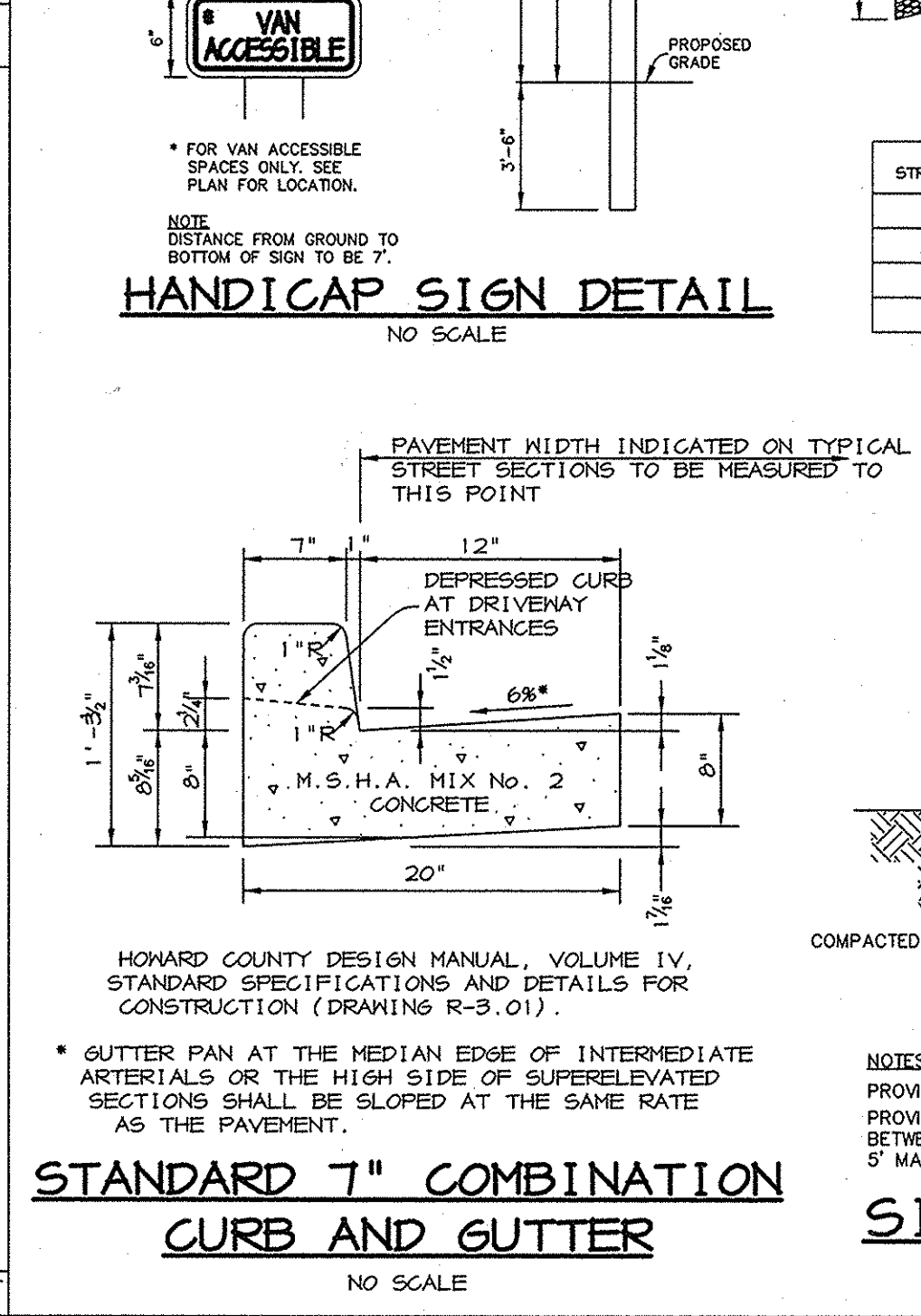
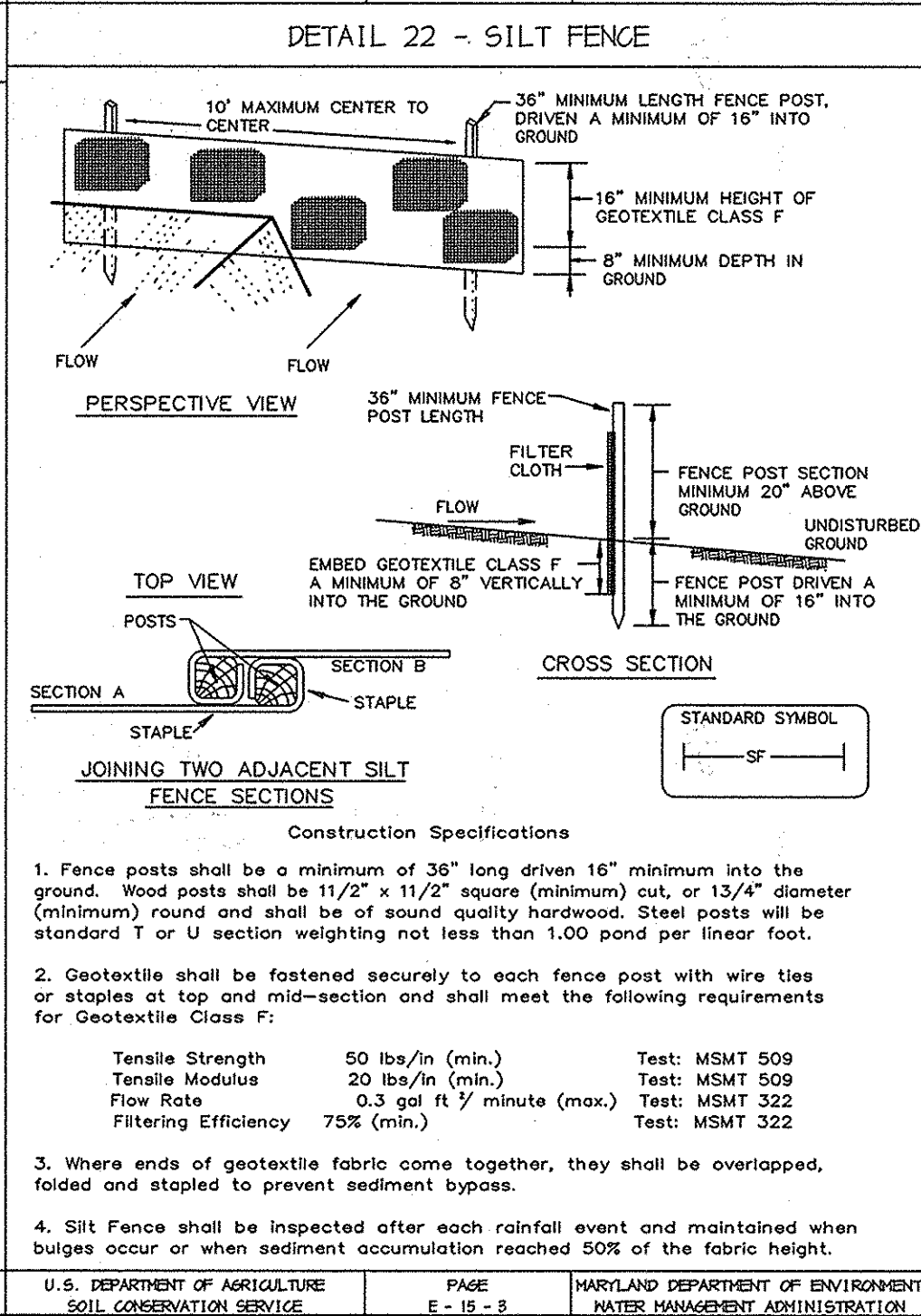
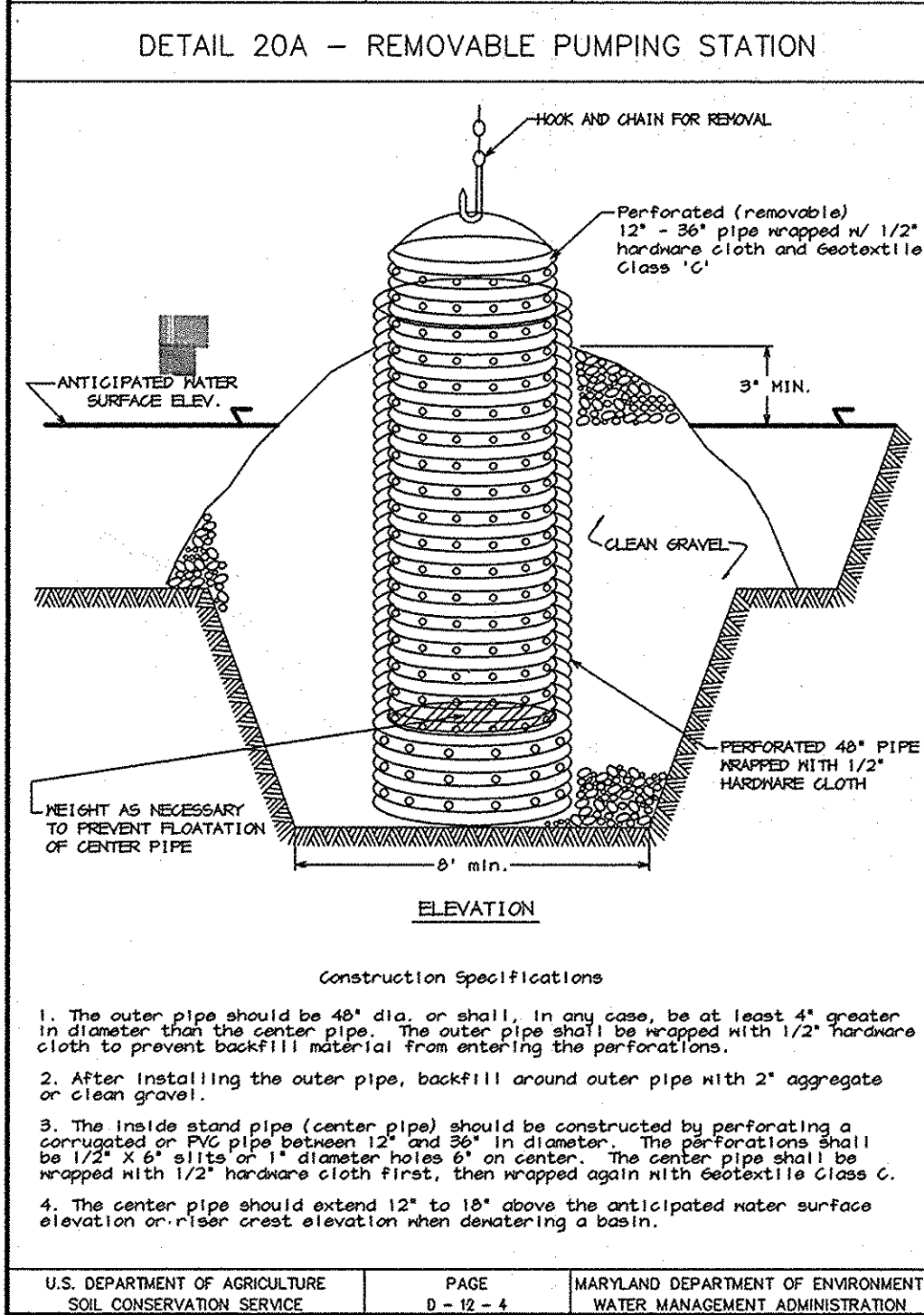
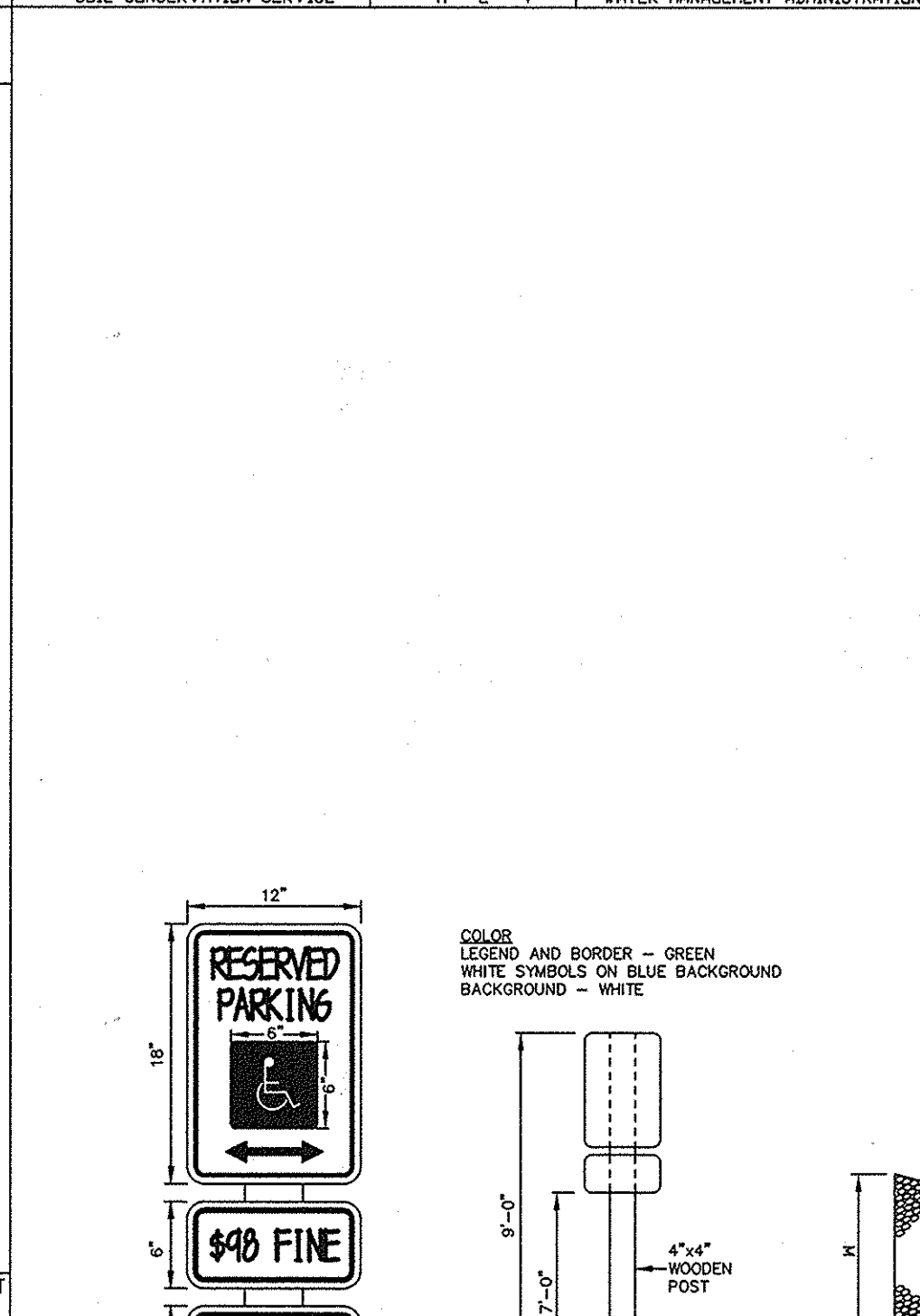
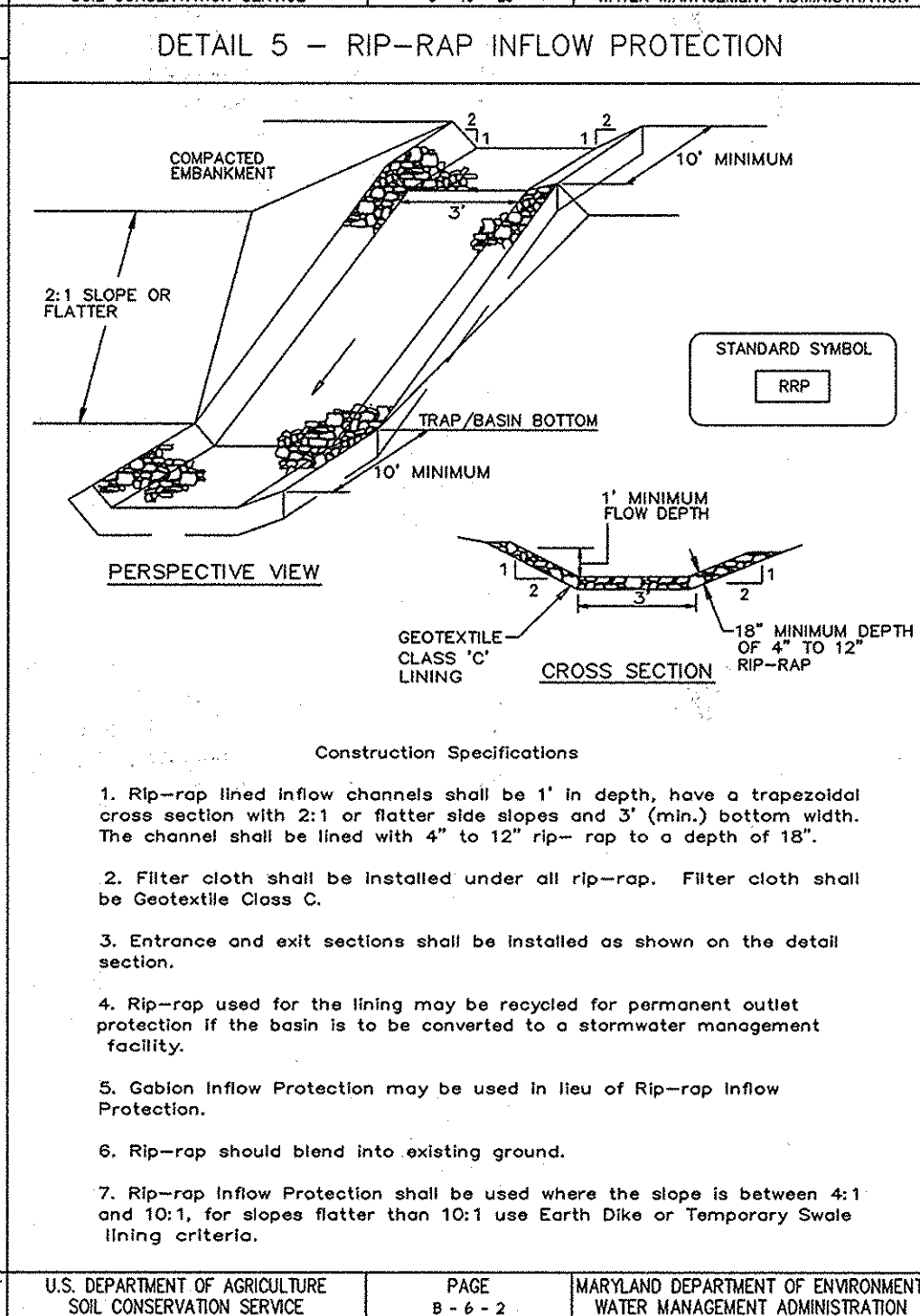
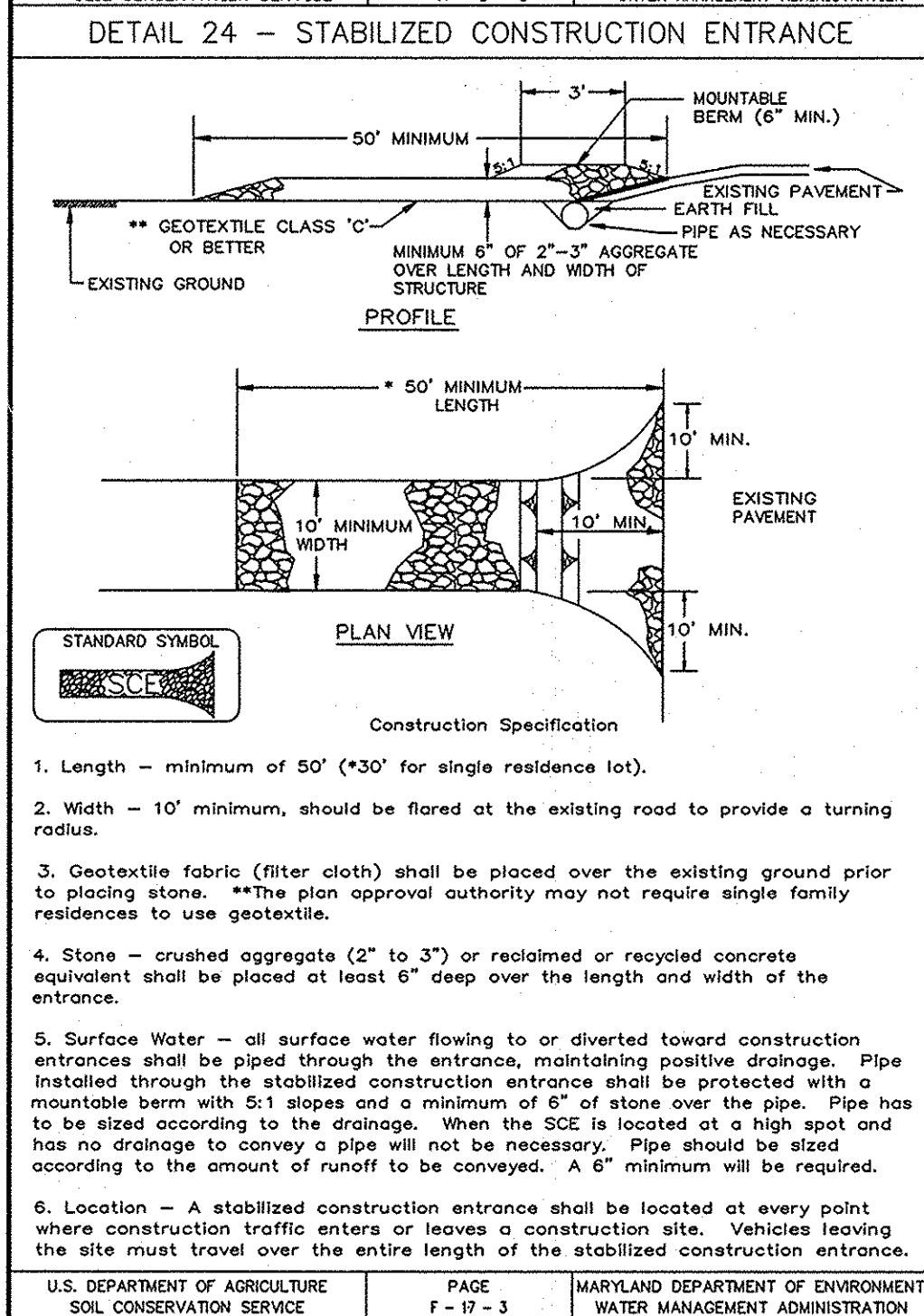
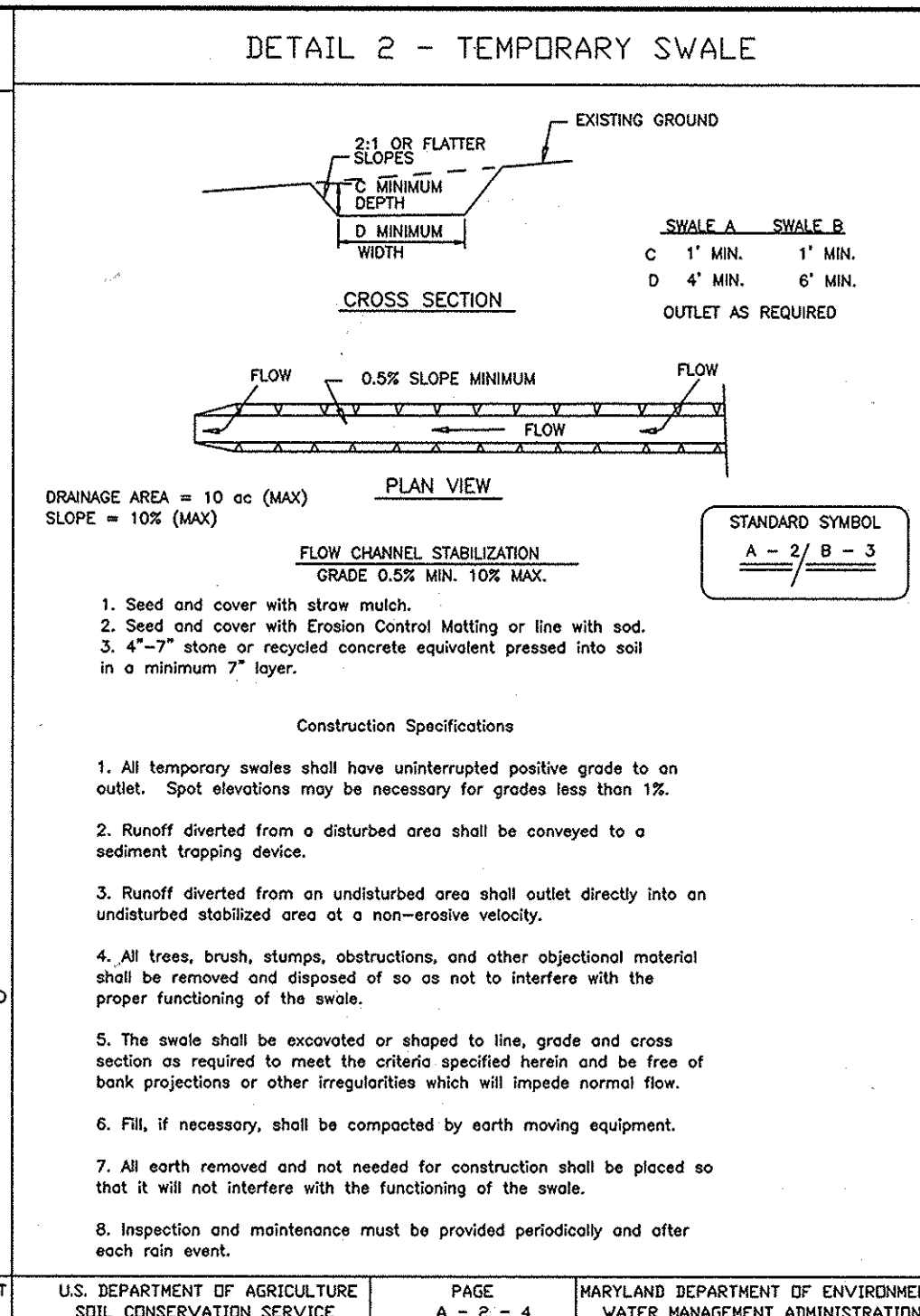
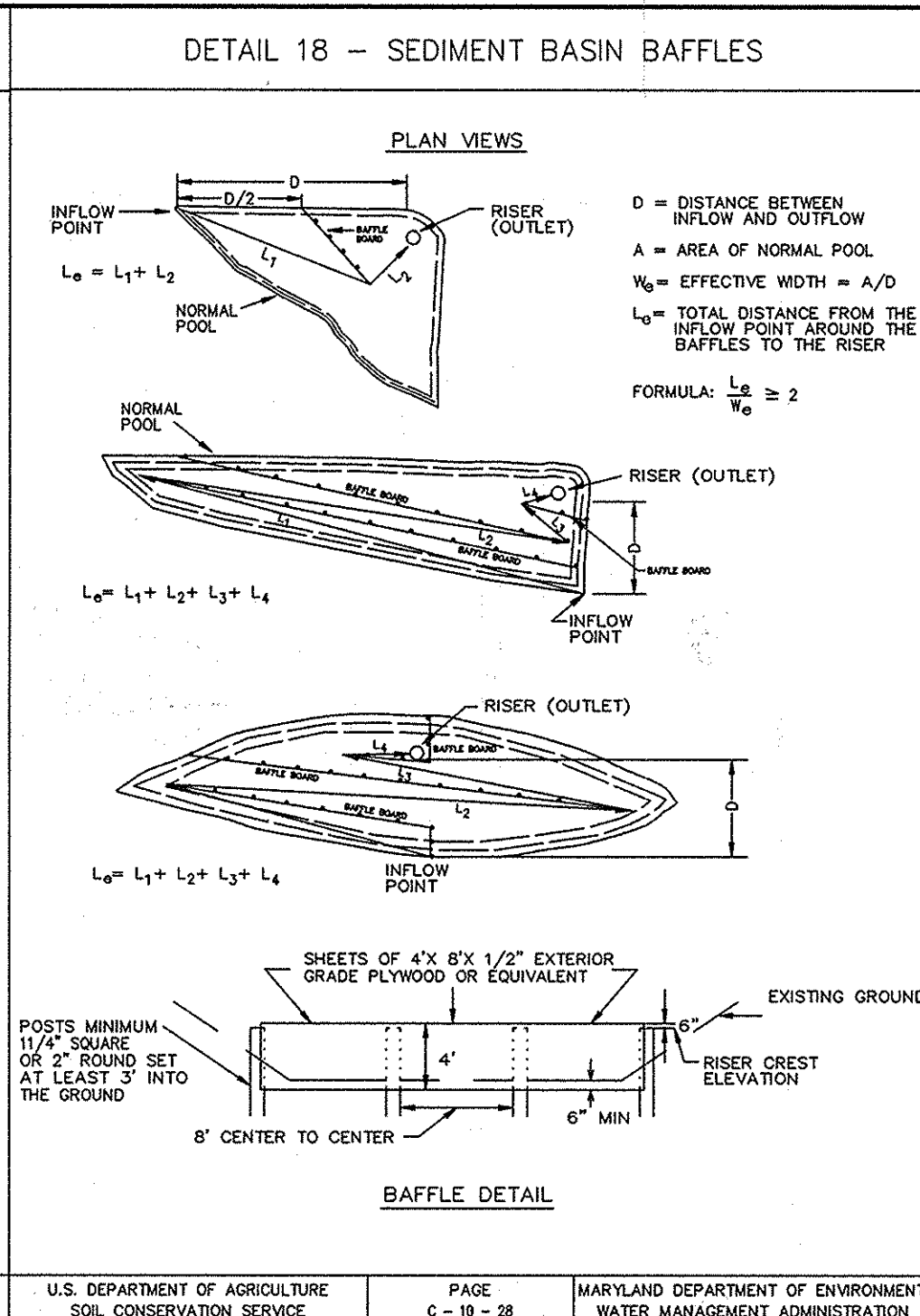
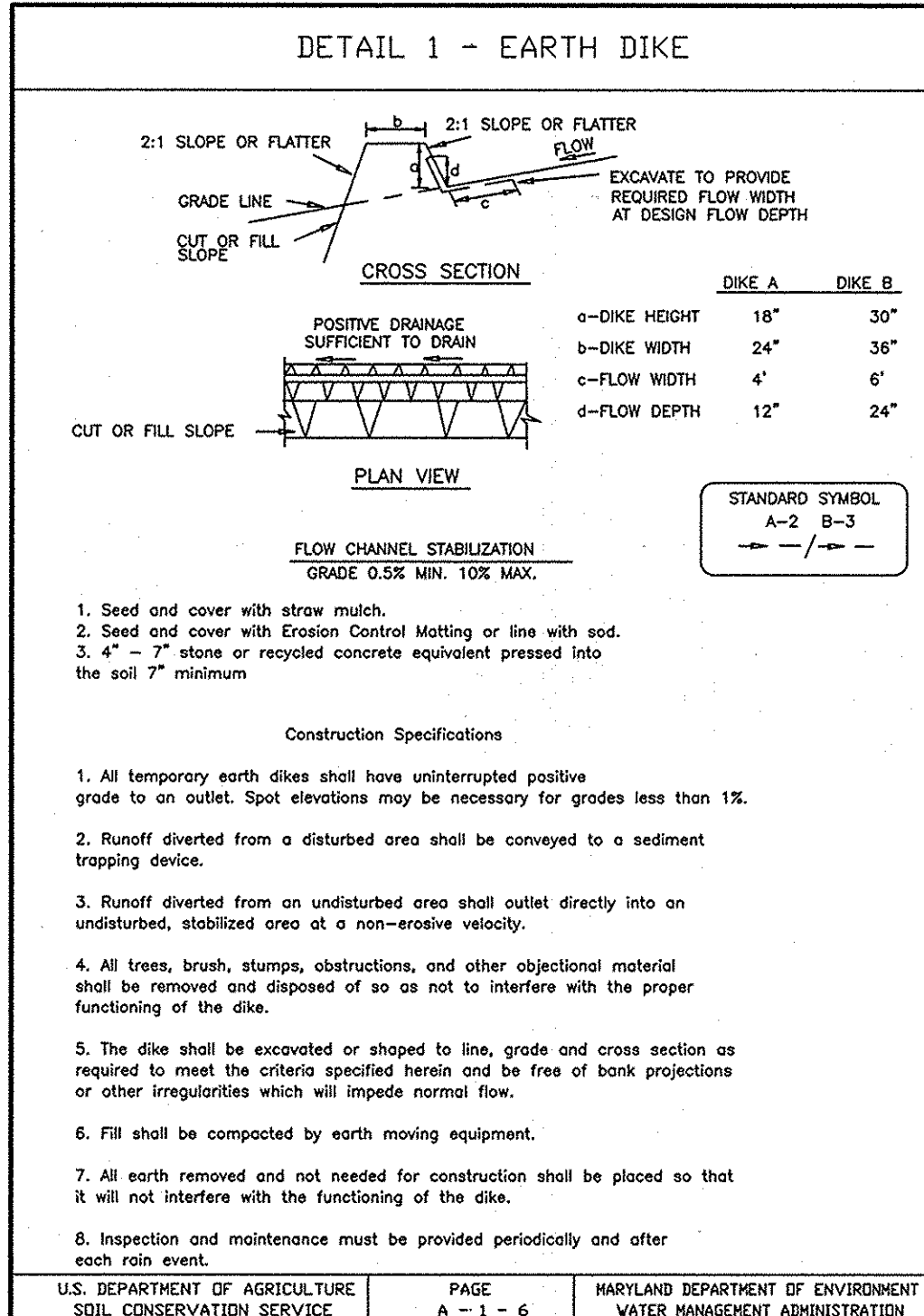
LIMIT OF GRADING TO PROVIDE SIGHT DISTANCE

STAYTON DRIVE
HOWARD COUNTY PUBLIC ROAD
MINOR COLLECTOR

SANDY COURT



AS-BUILT CERTIFICATE
DATE: 2.5.02
CHRISTOPHER J. REID #19949



AS-BUILT CERTIFICATE

2-5-02 DATE

CHRISTOPHER J. REID #19949 DEVELOPER

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 9/2/99

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

DATE: 9-2-99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

DATE: 9/6/99

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 9/6/99

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DATE: 9/20/99

DATE: 9/14/99

DATE: 9/10/99

DATE	REVISION

OWNER: JOSEPH J. HOCK, 7272 PARKWAY DRIVE, HANOVER, MD. 21076, 410-712-0018

DEVELOPER: HOCK/BAVAR STAYTON JOINT VENTURE, LLC, TIMONIUM ONE, 1466 GREENSPRING DRIVE, SUITE # 500, TIMONIUM, MD 21093, 410-560-0300

PROJECT: STAYTON BUSINESS CENTER, THREE WAREHOUSE BUILDINGS

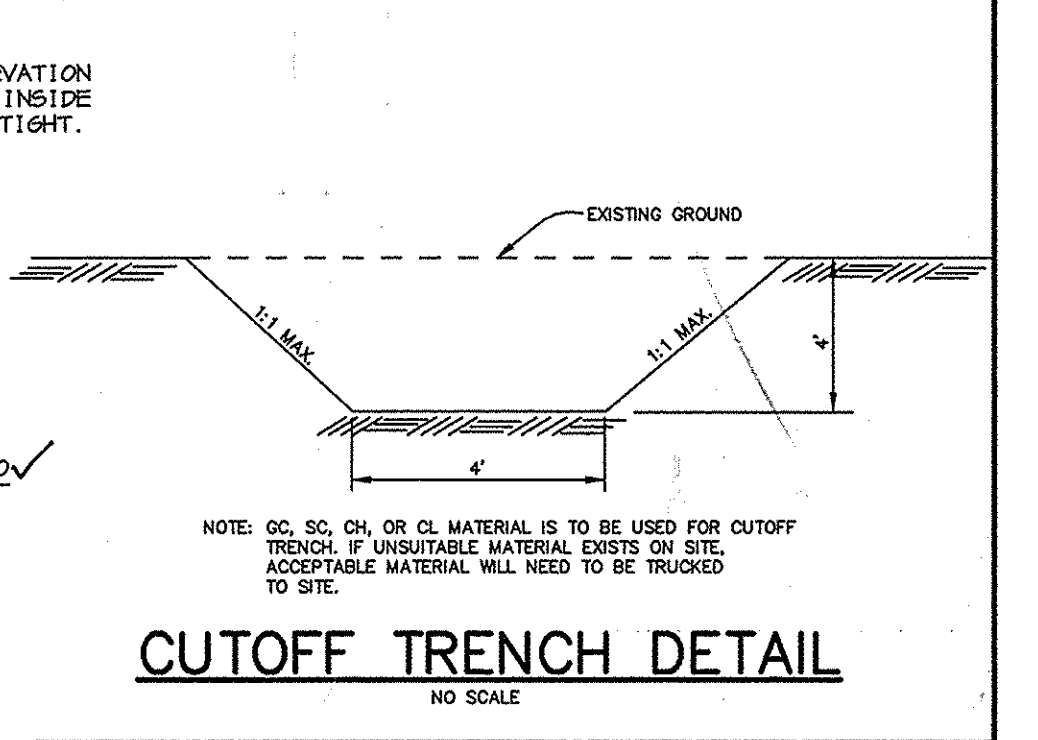
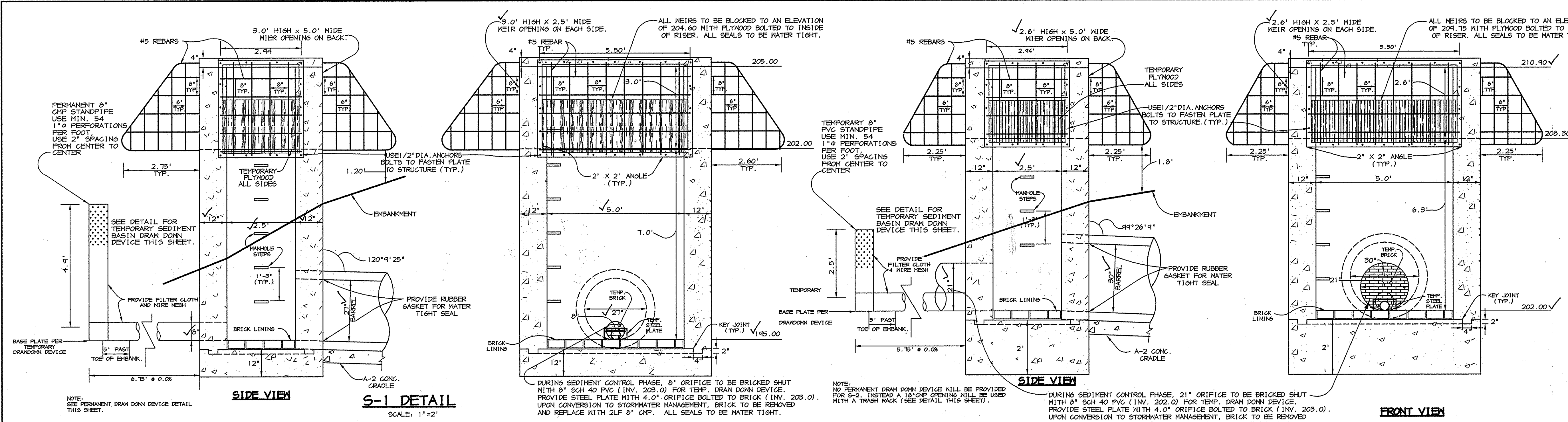
AREA: ZONED M-2 TAX MAP NO. 4B, B.M.I.P. BLOCK B PARCEL F-1, 6th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT CONTROL DETAIL SHEET

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 Tel 410.997.8800 Fax 410.997.9282

DATE: 02/04/02
 DESIGNED BY: C.J.R.
 DRAWN BY: DAM
 PROJECT NO: 98369
 DATE: SEPTEMBER 2, 1999
 SCALE: AS SHOWN
 DRAWING NO. 6 OF 20

M:\SBRG\SBRG.DWG Tue Aug 31 16:46:14 1999 RIEMER MUEGGE & ASSOCIATES, INC.



BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 9/18/99

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

DATE: 9-2-99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

DATE: 9/10/99

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 9/10/99

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
DATE: 9/10/99

DATE NO. REVISION

OWNER: JOSEPH J. HOCK, 7272 PARKWAY DRIVE, HANOVER, MD. 21076, 410-712-0018

DEVELOPER: HOCK/BAVAR STAYTON JOINT VENTURE, LLC, 1466 GREENSPRING DRIVE, SUITE # 500, TIMONIUM, MD 21093, 410-560-0300

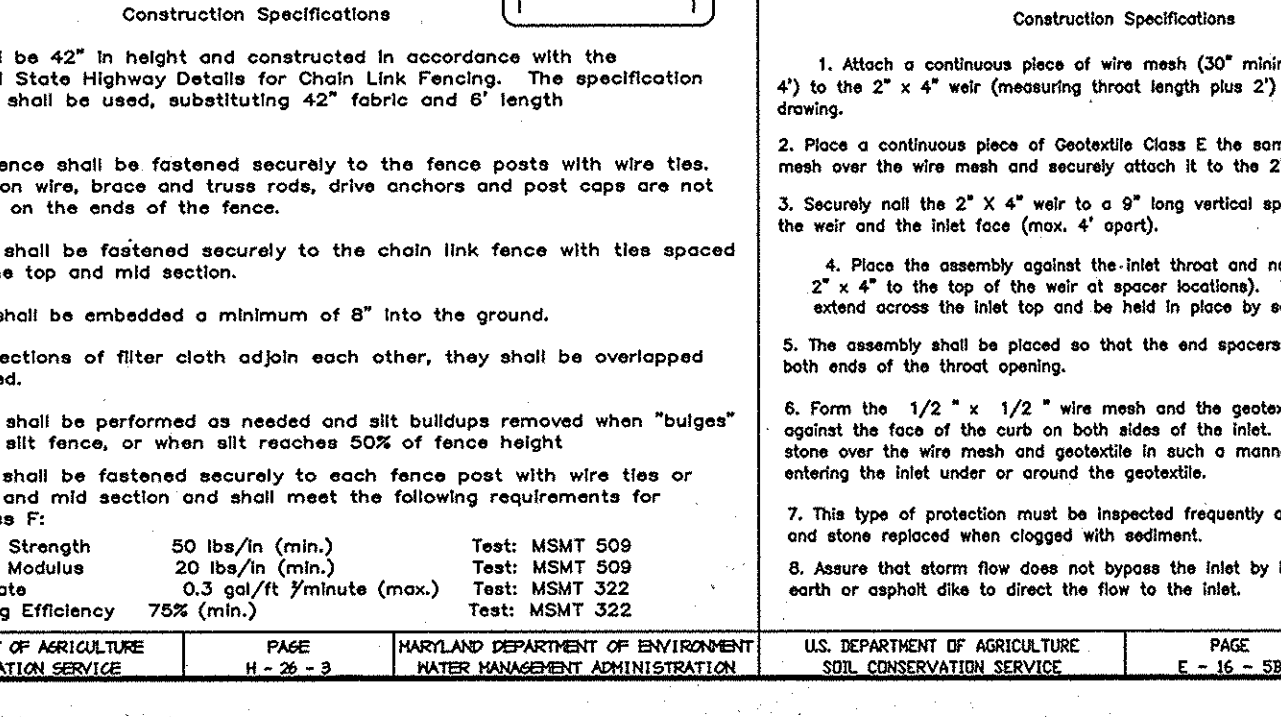
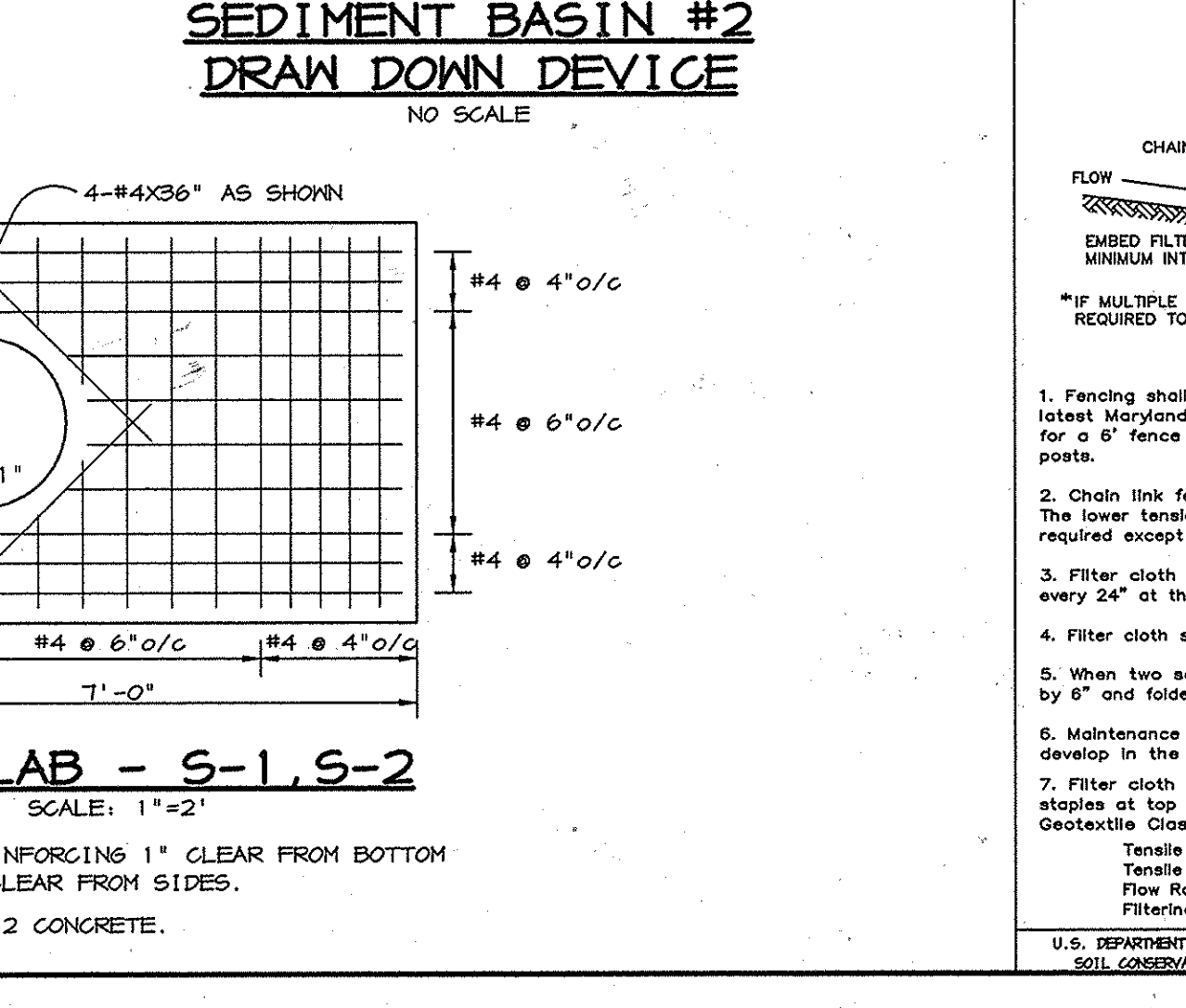
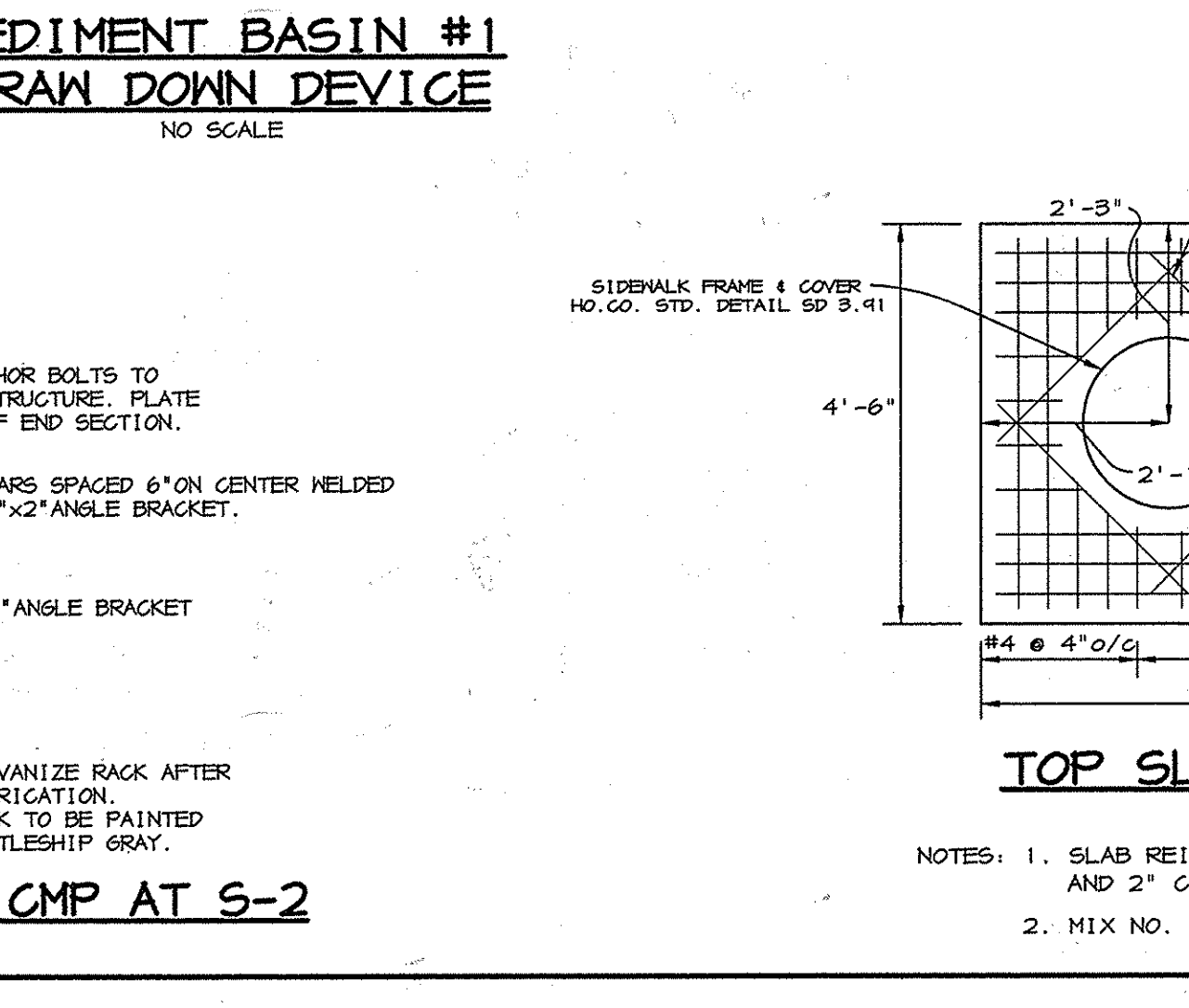
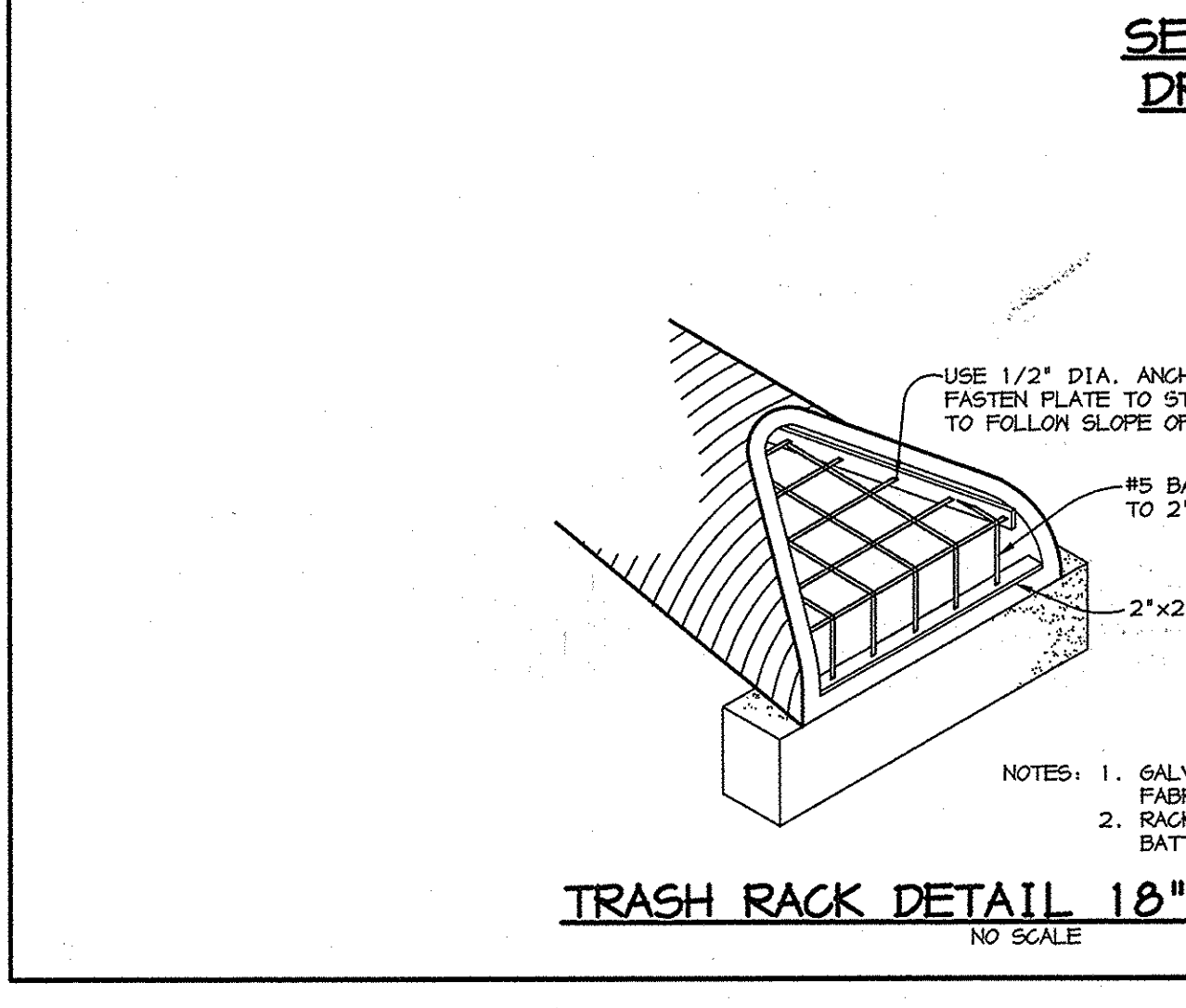
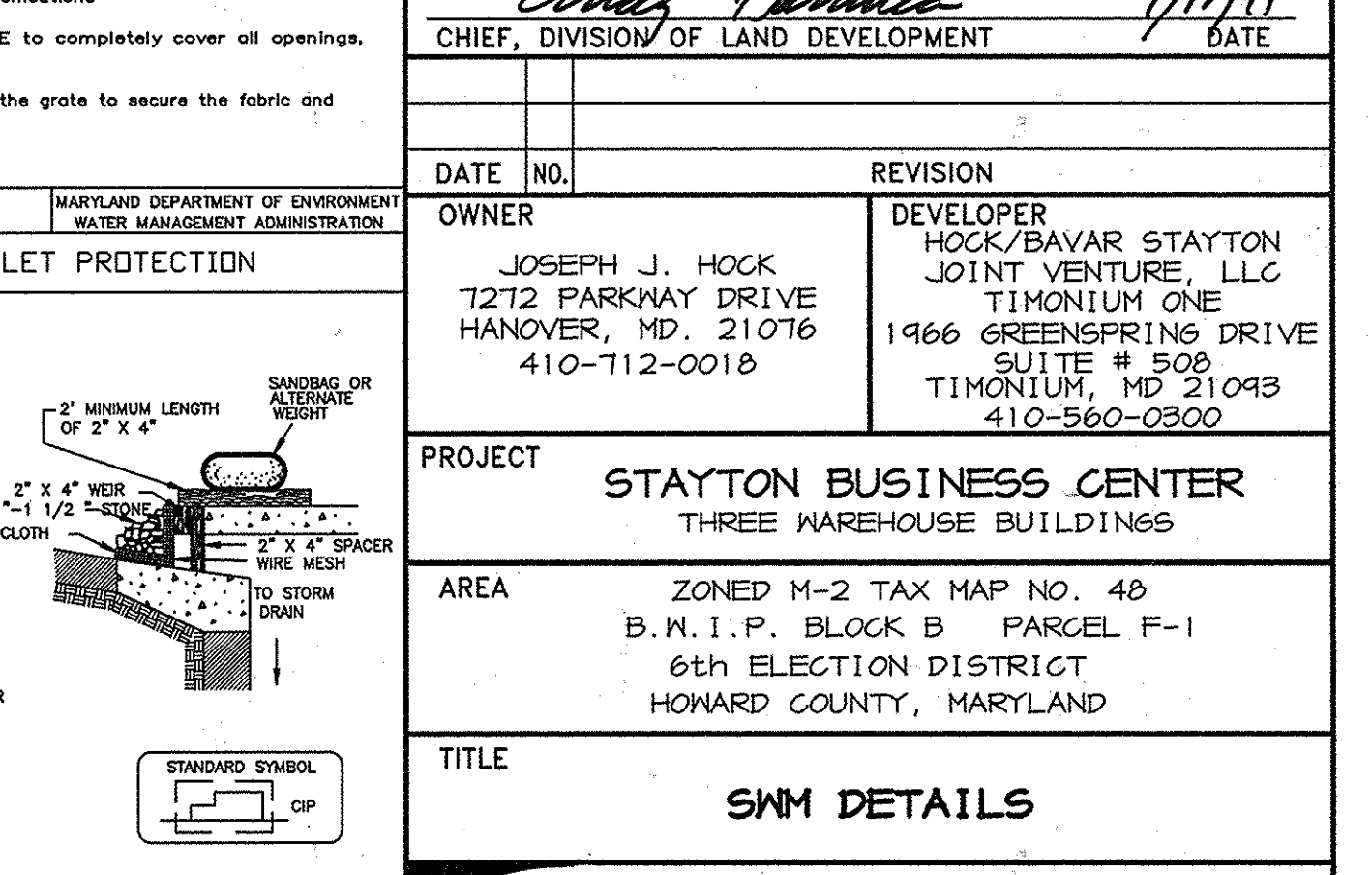
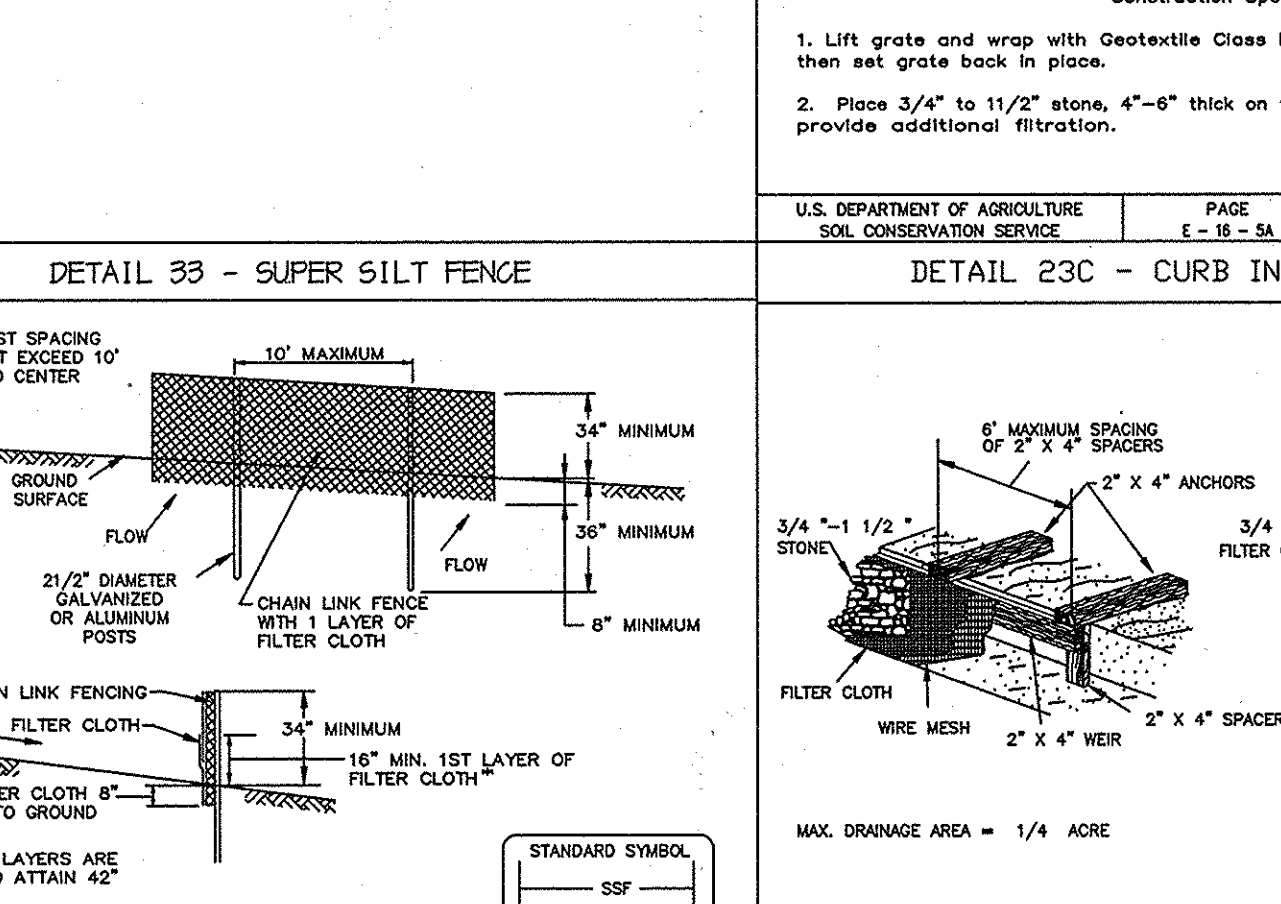
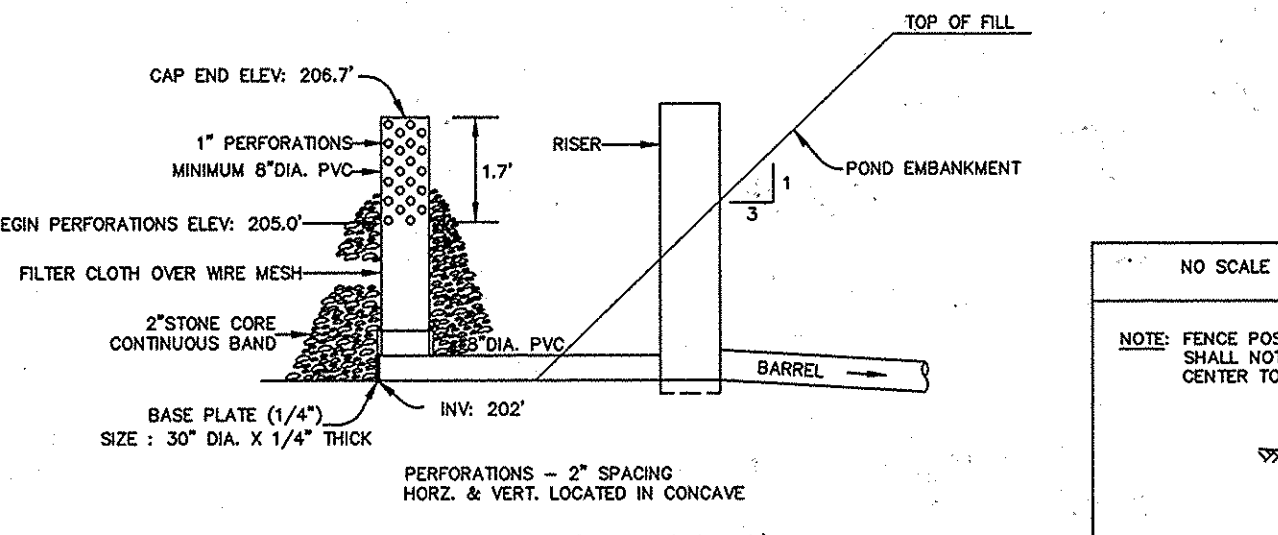
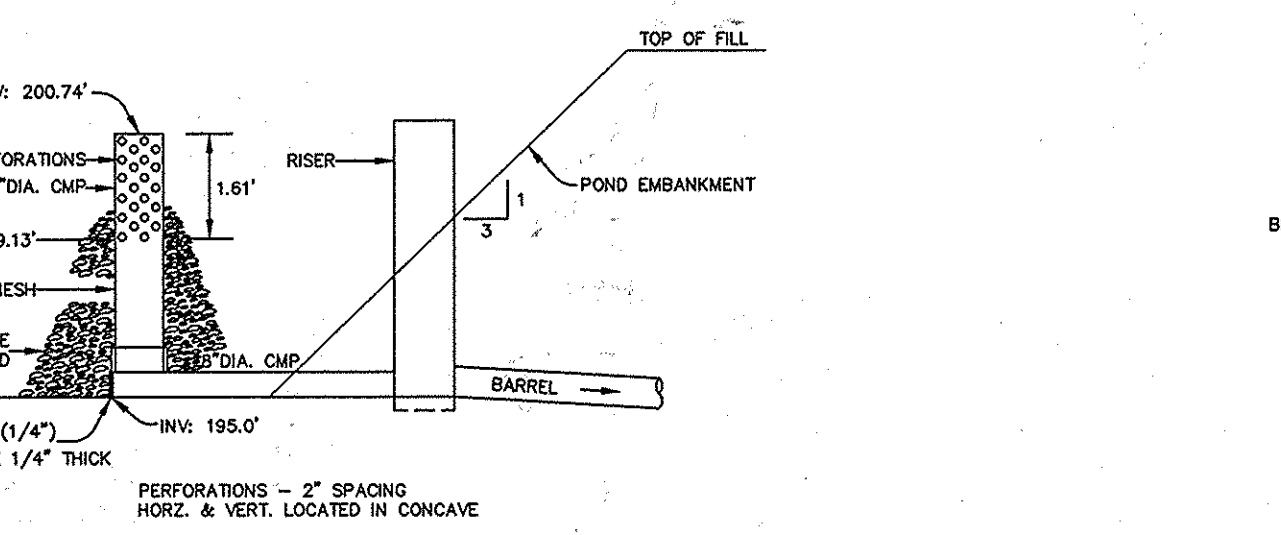
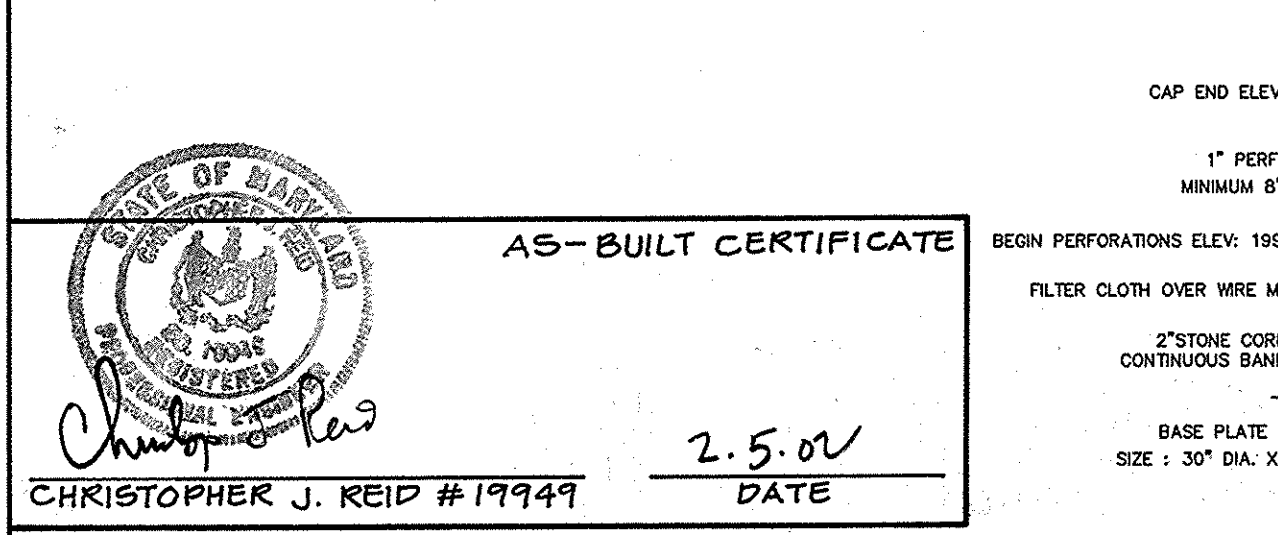
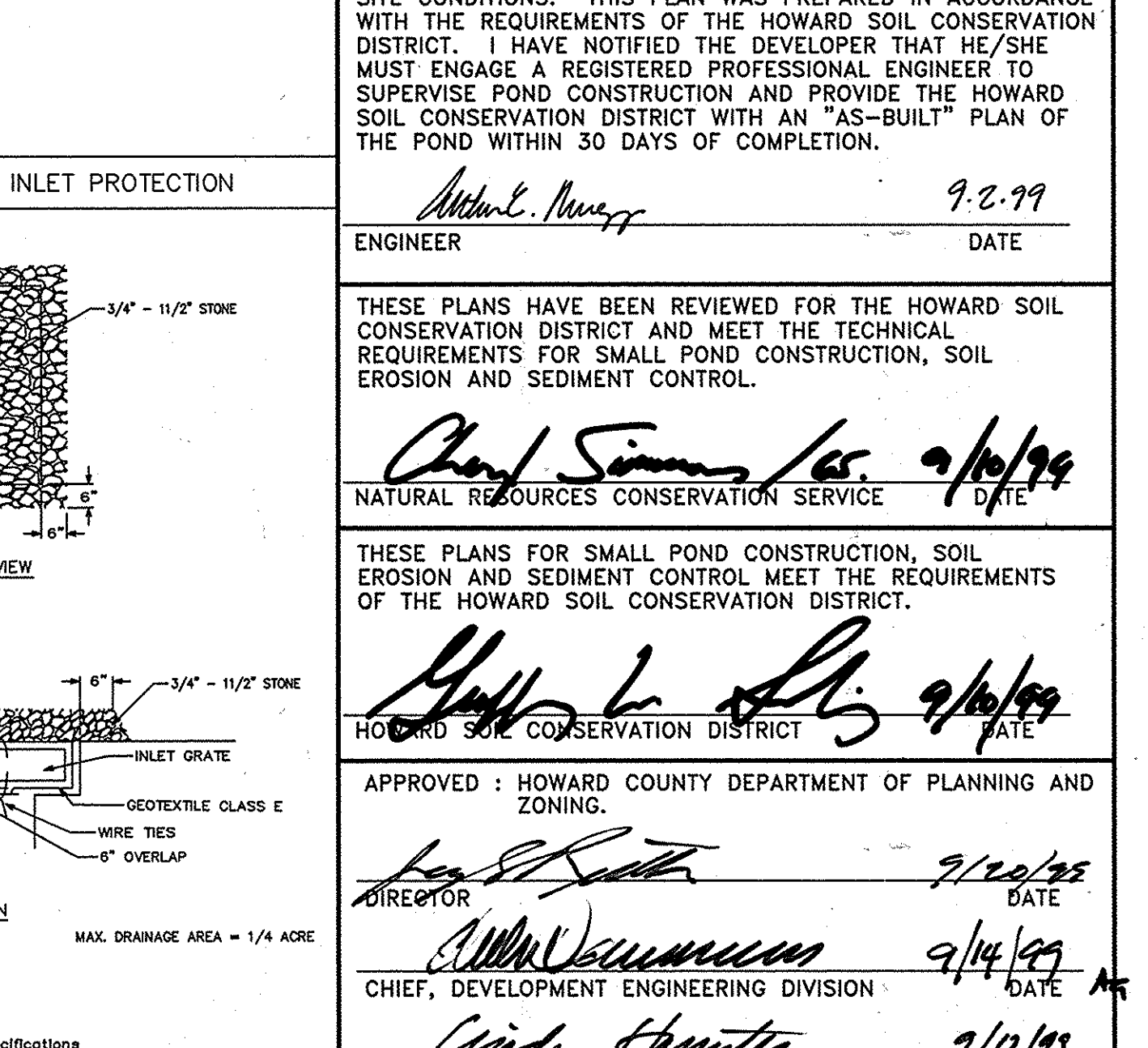
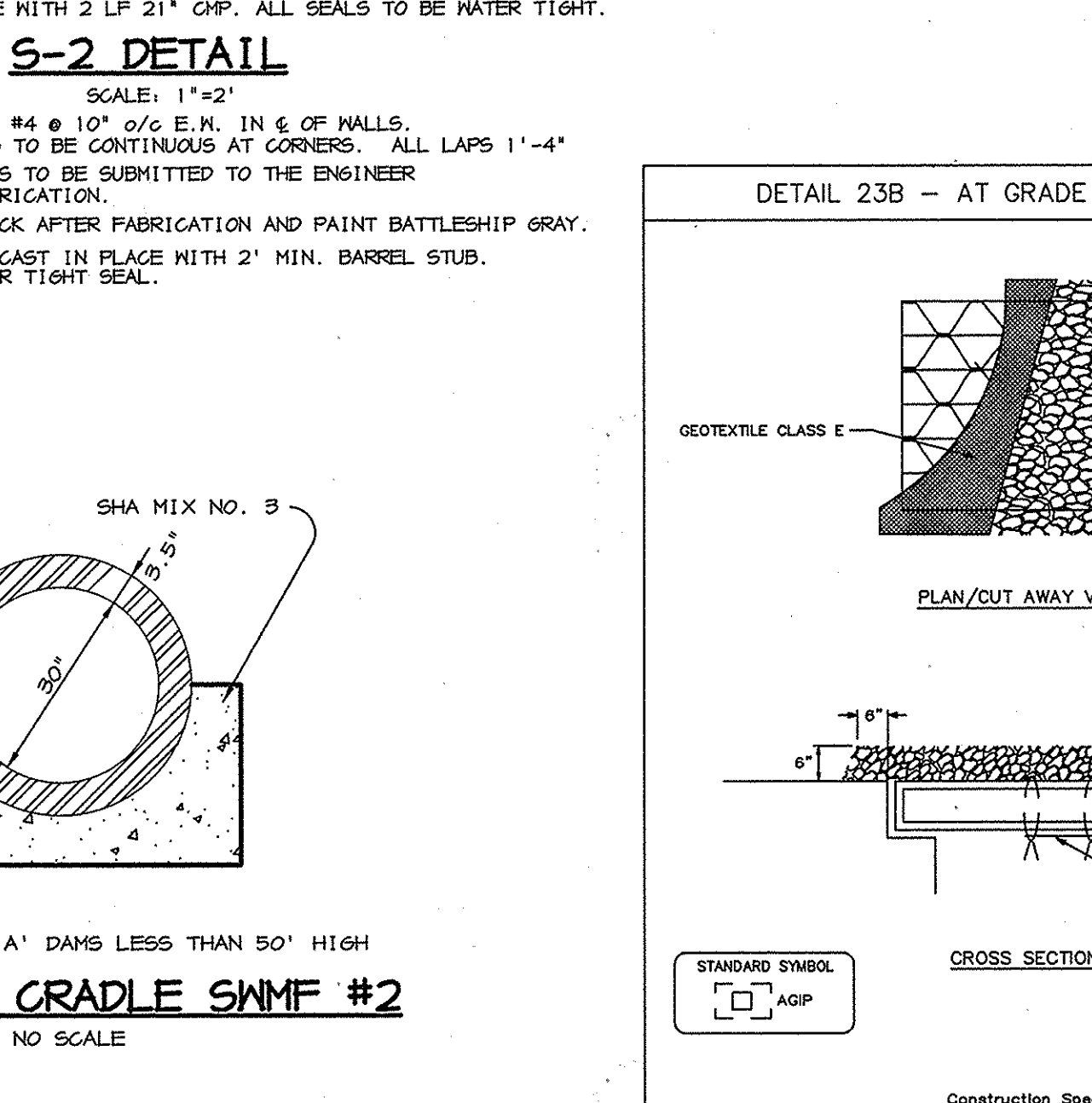
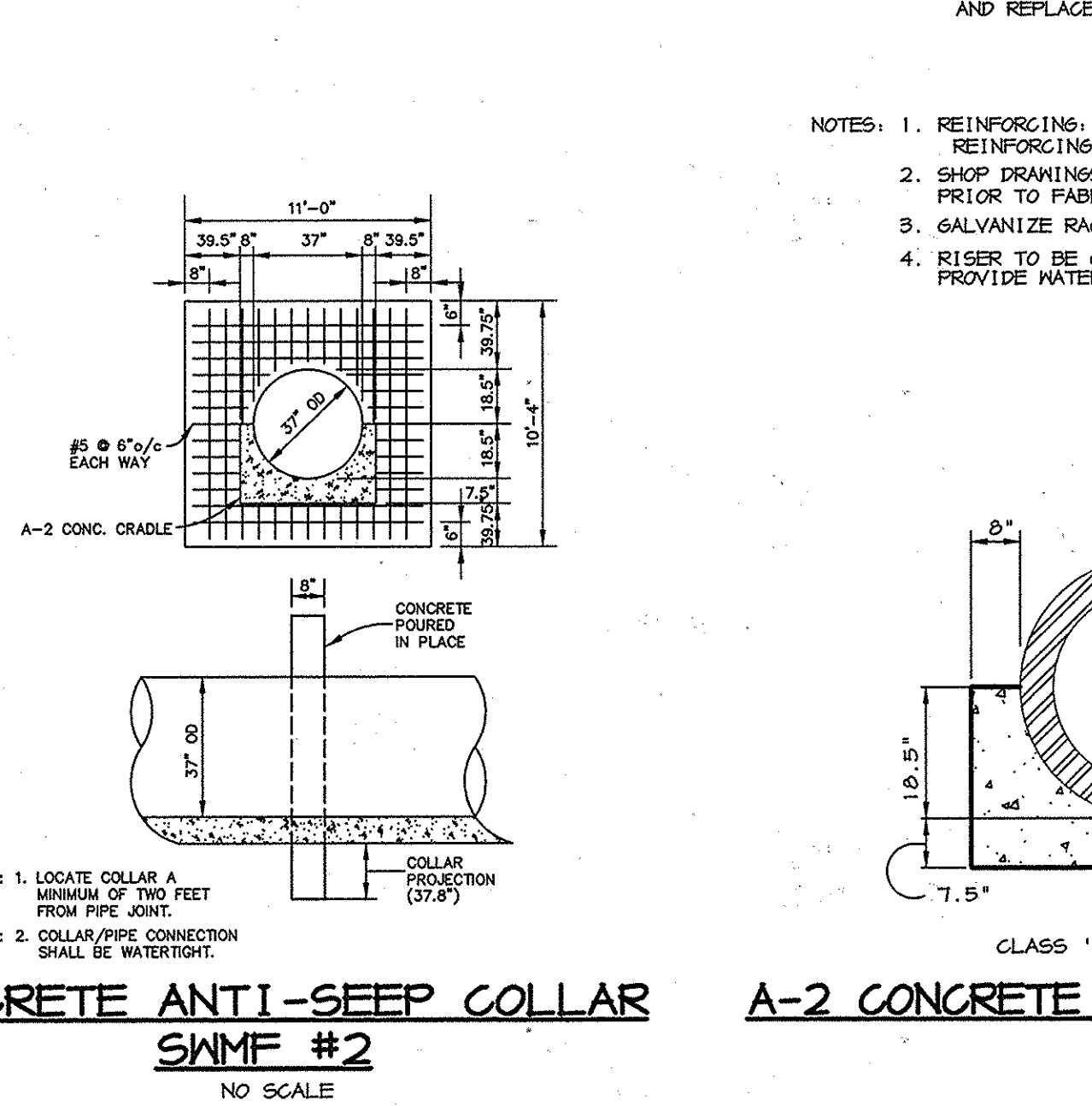
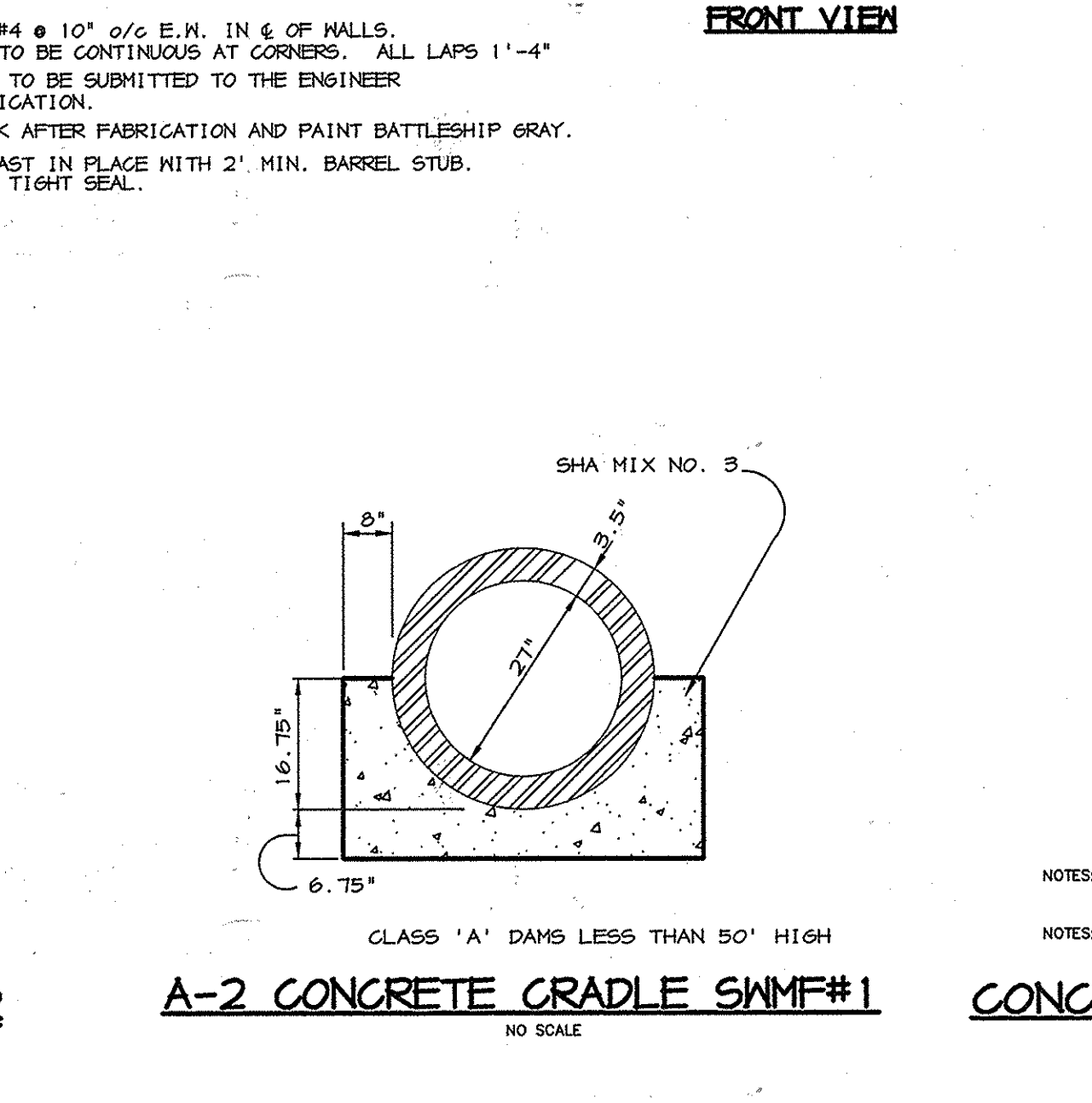
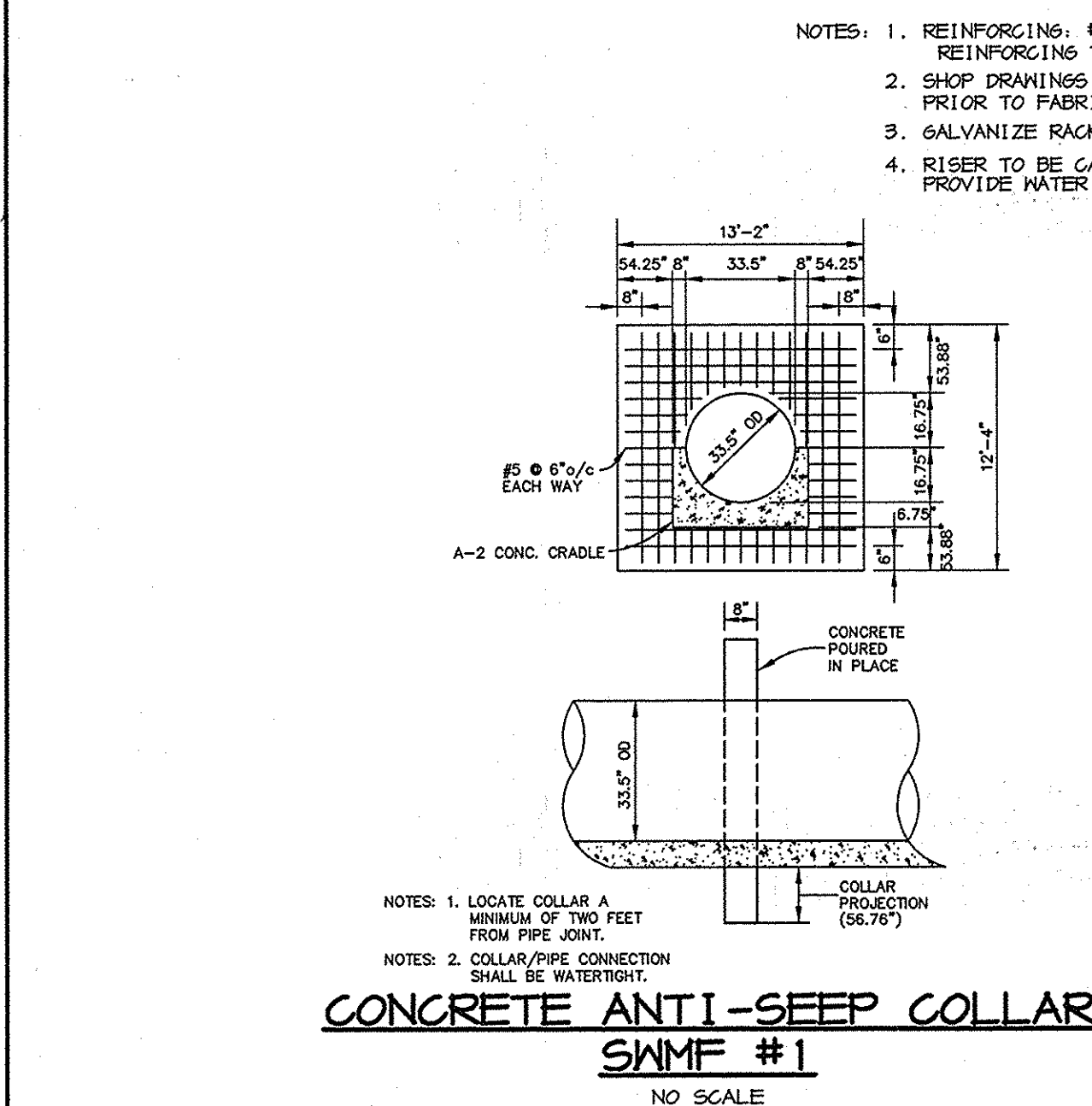
PROJECT: STAYTON BUSINESS CENTER, THREE WAREHOUSE BUILDINGS

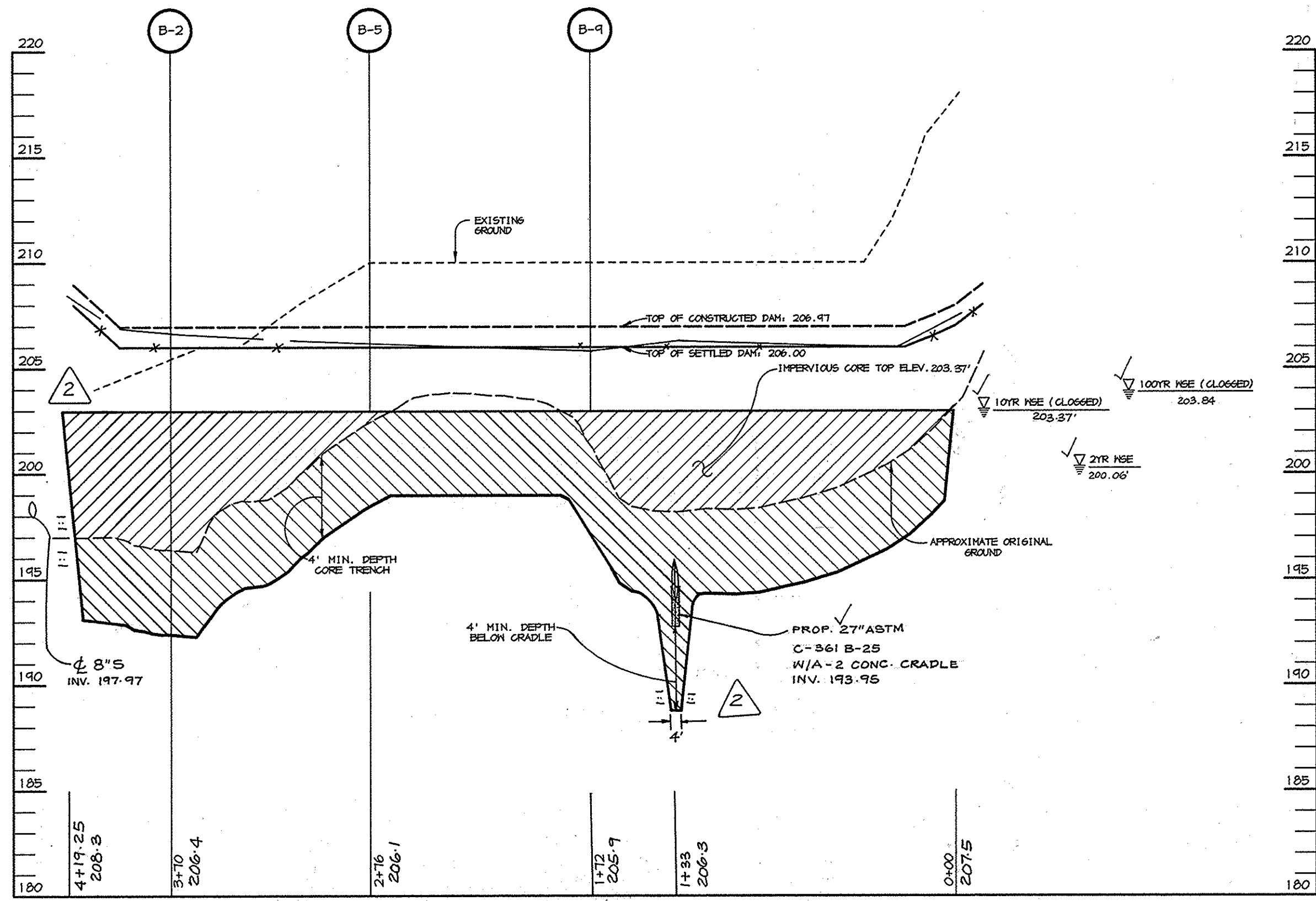
AREA: ZONED M-2 TAX MAP NO. 4B, B.N.I.P. BLOCK B PARCEL F-1, 6th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: SNM DETAILS

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8819 Centre Park Drive, Columbia, MD 21046
Tel 410.987.8900 fax 410.987.9282

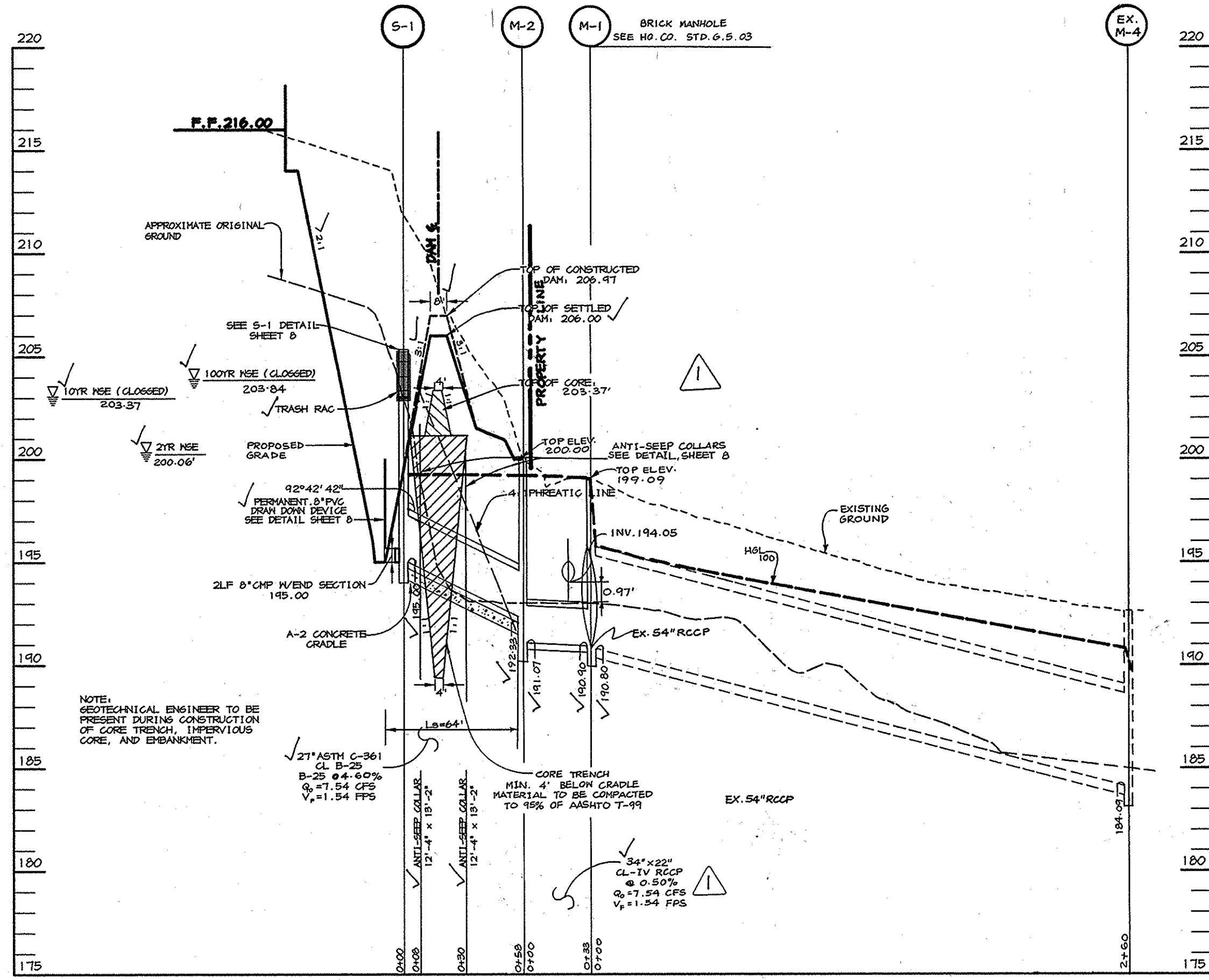
DATE: 9/2/99
DESIGNED BY: C.J.R.
DRAWN BY: DAM
PROJECT NO: 98369, SDP-DMS
DATE: SEPTEMBER 2, 1999
SCALE: AS SHOWN
DRAWING NO. 8 OF 20





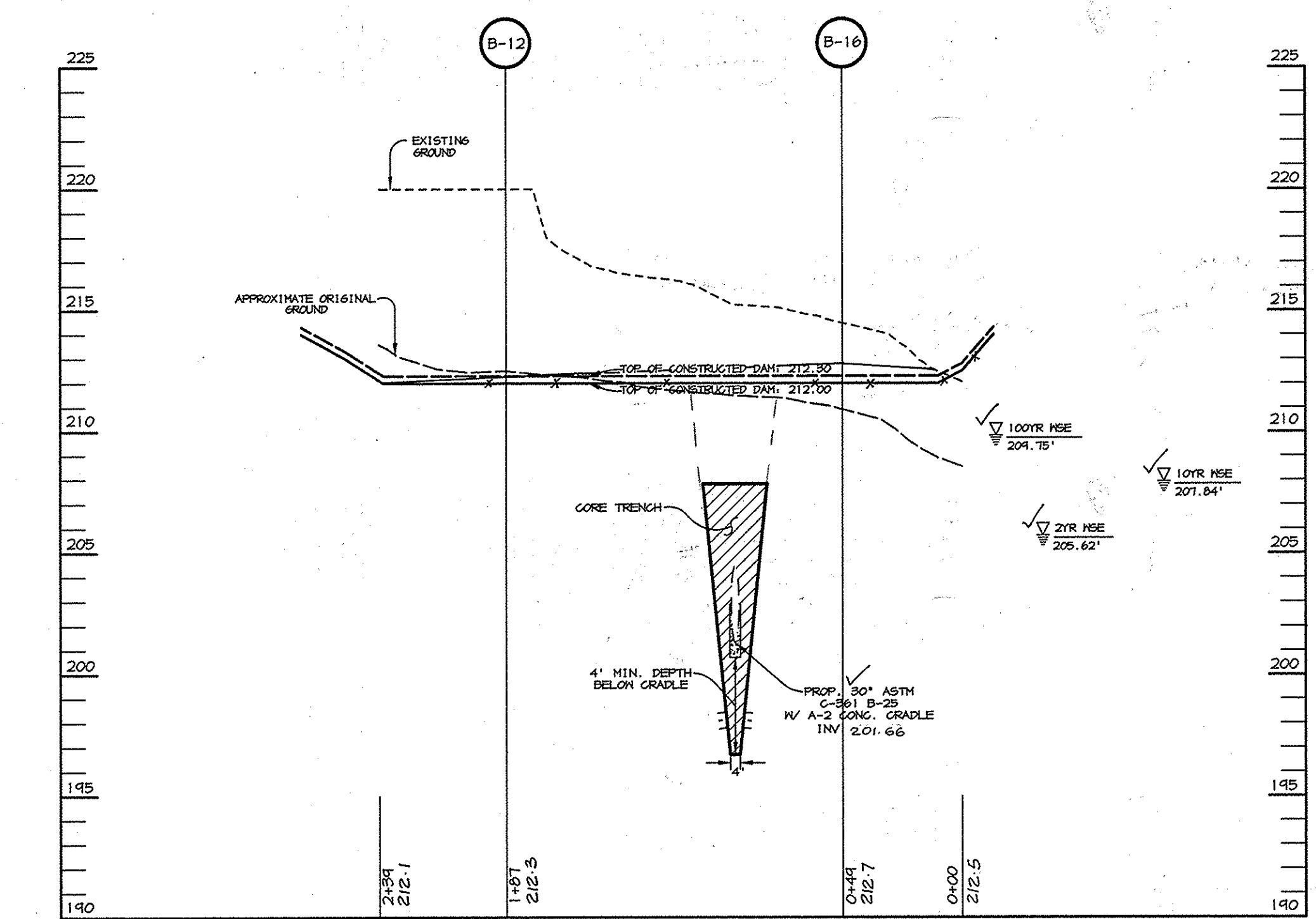
SWMF #1 EMBANKMENT CENTERLINE PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



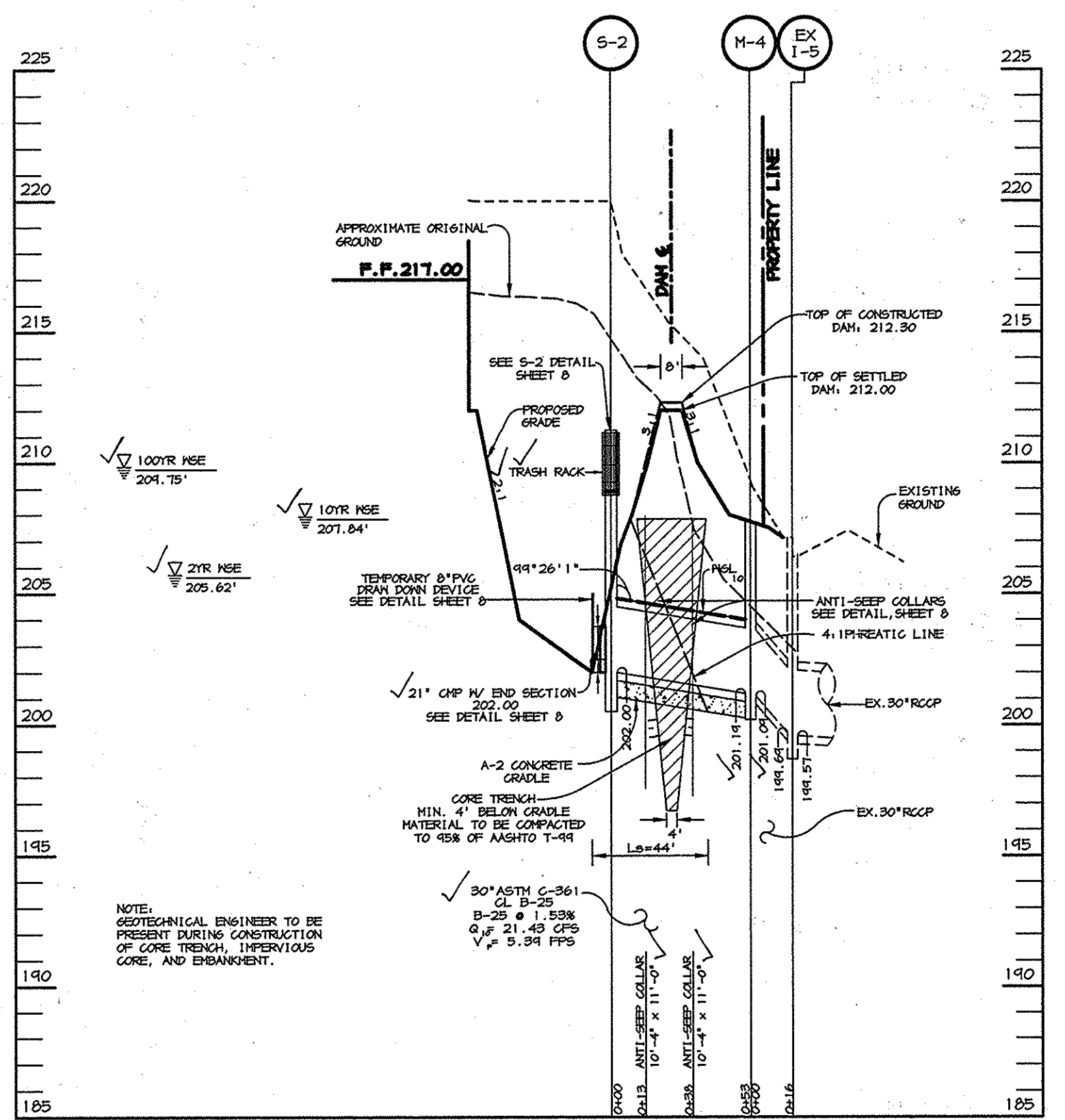
SWMF #1 PRINCIPAL SPILLWAY PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



SWMF #2 EMBANKMENT CENTERLINE PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



SWMF #2 PRINCIPAL SPILLWAY PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'

EMBANKMENT AND CUT-OFF TRENCH CONSTRUCTION RECOMMENDATIONS

THE SITE SHOULD BE STRIPPED OF TOPSOIL AND ANY OTHER UNSUITABLE MATERIALS FROM THE EMBANKMENT OR STRUCTURE AREA IN ACCORDANCE WITH SOIL CONSERVATION GUIDELINES. AFTER STRIPPING OPERATIONS HAVE BEEN COMPLETED, THE EXPOSED SUBGRADE MATERIALS SHOULD BE PROFFEROLLED WITH A LOADED DUMP TRUCK OR SIMILAR EQUIPMENT IN THE PRESENCE OF A GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE. FOR AREAS THAT ARE NOT ACCESSIBLE TO A DUMP TRUCK, THE EXPOSED MATERIALS SHOULD BE OBSERVED AND TESTED BY A GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE UTILIZING A DYNAMIC CONE PENETROMETER. ANY EXCESSIVELY SOFT OR LOOSE MATERIALS IDENTIFIED BY PROFFEROLLING OR PENETROMETER TESTING SHOULD BE EXCAVATED TO SUITABLY FIRM SOIL, AND THEN GRADES RE-ESTABLISHED BY BACKFILLING WITH SUITABLE SOIL.

A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER SHOULD BE PRESENT TO MONITOR PLACEMENT AND COMPACTION OF FILL FOR THE EMBANKMENT AND CUT OFF TRENCH. IN ACCORDANCE WITH MARYLAND SOIL CONSERVATION SPECIFICATION 3-10 SOILS CONSIDERED SUITABLE FOR THE CENTER OF EMBANKMENT AND CUT OFF TRENCH SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL PER SCS 37B. CONSIDERATION MAY BE GIVEN TO THE USE OF OTHER MATERIALS IN THE EMBANKMENT IF DESIGN AND CONSTRUCTION ARE SUPERVISED BY A GEOTECHNICAL ENGINEER.

EXPLORATION WITH TEST PITS AND ADDITIONAL LABORATORY TESTING CAN BE CONDUCTED PRIOR TO CONSTRUCTION TO IDENTIFY AND QUANTIFY POTENTIAL BORROW AREAS. ALL FILL MATERIALS MUST BE PLACED AND COMPACTED IN ACCORDANCE WITH MD SCS 37B SPECIFICATIONS.

OPERATION, MAINTENANCE AND INSPECTION

INSPECTION OF THE PONDS SHOWN HEREON SHALL BE PERFORMED AT LEAST ONCE ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, SCS "STANDARDS AND SPECIFICATION FOR PONDS" (1987B). THE POND'S OWNER AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PONDS AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND'S OWNER SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

MAINTENANCE REQUIREMENTS FOR DETENTION PONDS

1. REMOVAL OF SILT WHEN ACCUMULATION EXCEEDS SIX (6) INCHES IN BASINS WITHOUT FOREBAYS. IN BASINS WITH FOREBAYS, REMOVAL OF SILT SHALL OCCUR WHEN THE ACCUMULATION EXCEEDS FOUR (4) INCHES IN FOREBAY.
2. REMOVAL OF ACCUMULATED PAPER, TRASH AND DEBRIS AS NECESSARY.
3. VEGETATION GROWTH ON THE EMBANKMENT TOP OR FACES IS NOT ALLOWED TO EXCEED 10 INCHES IN HEIGHT AT ANY TIME.
4. ANNUAL INSPECTION AND REPAIR OF THE STRUCTURE.

AS - BUILT CERTIFICATE

DATE: 2.5.02

CHRISTOPHER J. REID #19949
DEVELOPER: _____ DATE: 9/16/99

BY THE DEVELOPER: I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE ENGINEER: I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

ENGINEER: Arthur E. Muegge #8707 DATE: 9.2.99

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

NATURAL RESOURCES CONSERVATION SERVICE: _____ DATE: 9/16/99

HOWARD SOIL CONSERVATION DISTRICT: _____ DATE: 9/16/99

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: _____ DATE: 9/20/99

CHIEF, DEVELOPMENT ENGINEERING DIVISION: _____ DATE: 9/14/99

CHIEF, DIVISION OF LAND DEVELOPMENT: _____ DATE: 9/13/99

7-20-00/2 REVISED SWMF #1

12-09-99/1 REVISED SWMF #1 PROFILES

DATE NO.	REVISION
OWNER	DEVELOPER
JOSEPH J. HOCK 7272 PARKWAY DRIVE HANOVER, MD. 21076 410-712-0018	HOCK/BAYAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1966 GREENSPRING DRIVE SUITE # 508 TIMONIUM, MD 21043 410-560-0300

PROJECT: STAYTON BUSINESS CENTER
THREE WAREHOUSE BUILDINGS

AREA: ZONED M-2 TAX MAP NO. 4B
B.M.I.P. BLOCK B PARCEL F-1
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: **SWM PROFILES**

RIEMER MUEGGE & ASSOCIATES INC
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.987.8900 fax 410.987.9282

DESIGNED BY: C.J.R.
DRAWN BY: _____
PROJECT NO: 98369
DATE: SEPTEMBER 2, 1999
SCALE: AS SHOWN
DRAWING NO. 9 OF 20

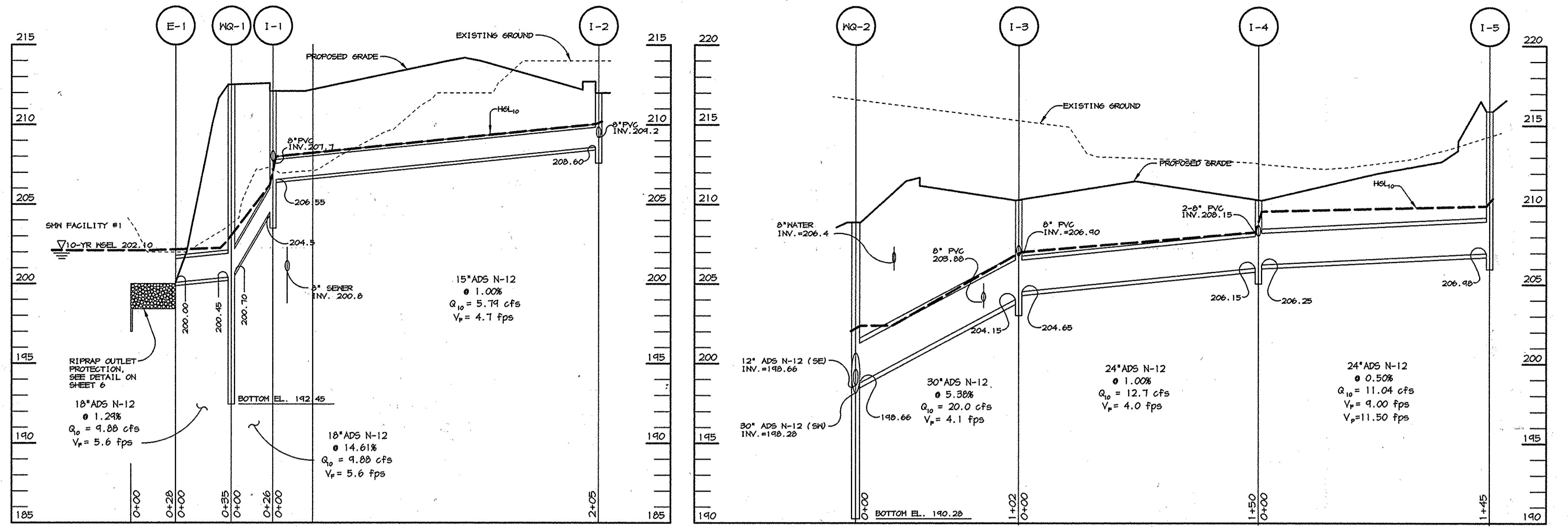
ARTHUR E. MUEGGE #8707

AS - BUILT 02/04/02 **SDP-99-102**

STRUCTURE SCHEDULE

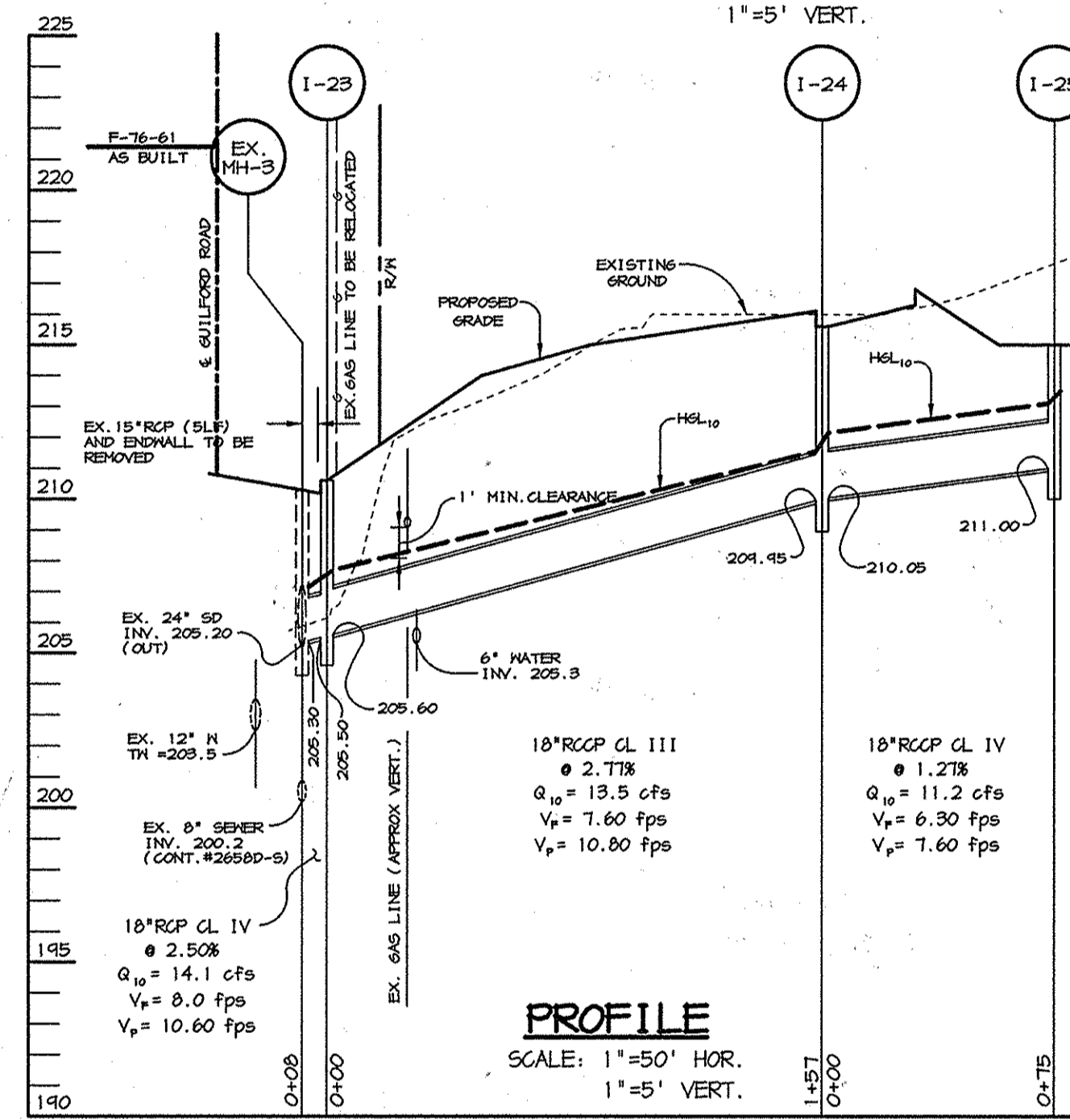
STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	DIMENSIONS	REMARKS
I-1	A-5	N 537,506.48 E 1,366,707.19	207.70 (8') 206.55 (15')	204.50 (18')	212.10	5'L x 3'6"M	HOCO STD. DETAIL SD 4.01
I-2	A-5	N 537,682.07 E 1,366,688.77	204.20 (8')	208.60 (15')	212.60	5'L x 2'6"M	HOCO STD. DETAIL SD 4.01
I-3	DOUBLE S	N 537,726.83 E 1,367,028.13	206.90 (8') 204.65 (30')	204.15 (30')	210.40	5'6 1/2"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.23
I-4	DOUBLE S	N 537,848.93 E 1,366,941.00	208.15 (8') 206.25 (24')	206.15 (30')	210.40	5'6 1/2"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.23
I-5	S	N 537,992.37 E 1,366,955.13	-	206.98 (24')	216.00	2'7"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.22
I-6	A-5	N 537,634.62 E 1,367,134.45	-	209.96 (12')	206.70	5'L x 2'6"M	HOCO STD. DETAIL SD 4.01
I-7	NR	N 537,797.43 E 1,367,299.46	205.66 (18')	205.56 (18')	215.30	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
I-8	NR	N 537,861.05 E 1,367,253.48	212.80 (8') 204.58 (18')	204.48 (18')	215.50	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
I-9	NR	N 537,988.78 E 1,367,162.65	210.92 (15')	210.82 (15')	215.30	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
I-10	NR	N 538,040.86 E 1,367,125.41	212.60 (8') 211.55 (12')	211.30 (15')	215.30	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
I-11	S	N 538,089.68 E 1,367,090.57	-	212.00 (12')	216.30	2'7"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.22
I-12	NR	N 537,841.52 E 1,367,366.28	216.85 (6') 214.05 (15') 204.30 (24')	209.20 (24')	220.40	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
I-13	NR	N 537,941.61 E 1,367,294.72	217.00 (6') 215.80 (15')	215.70 (15')	221.10	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
I-14	NR	N 538,020.68 E 1,367,238.18	216.60 (15')	216.50 (15')	221.10	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
I-15	NR	N 538,087.39 E 1,367,190.49	218.30 (6') 217.55 (12')	217.10 (15')	221.10	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
I-16	S	N 538,189.91 E 1,367,191.89	-	220.90 (12')	226.00	2'7"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.22
I-17	A-5	N 537,807.29 E 1,367,499.59	209.80 (24')	209.70 (24')	215.60	5'L x 3'9"M	HOCO STD. DETAIL SD 4.01
I-18	MODIFIED DOUBLE S	N 538,029.86 E 1,367,567.49	211.85 (18')	211.35 (24')	218.40	5'6 1/2"L x 4'0"M	MOD. HOCO STD. DETAIL SD 4.23
I-19	DOUBLE S	N 538,139.68 E 1,367,489.02	214.55 (8') 213.30 (15')	213.05 (18')	218.40	5'6 1/2"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.23
I-20	DOUBLE S	N 538,249.51 E 1,367,410.43	215.65 (8') 214.65 (12')	214.40 (15')	218.40	5'6 1/2"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.23
I-21	S	N 538,290.59 E 1,367,330.73	-	218.00 (12')	225.60	2'7"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.22
I-22	A-5	N 538,384.34 E 1,366,818.63	-	193.40 (15')	198.00	5'L x 3'9"M	HOCO STD. DETAIL SD 4.01
I-23	A-5	N 537,598.91 E 1,366,672.17	205.60 (18')	205.50 (18')	210.60	5'L x 3'9"M	HOCO STD. DETAIL SD 4.01
I-24	NR	N 537,746.17 E 1,366,615.36	210.05 (18')	209.95 (18')	215.60	2'9 1/2"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.37
I-25	DOUBLE S	N 537,805.79 E 1,366,569.67	-	211.00 (18')	215.00	5'6 1/2"L x 2'7 1/2"M	HOCO STD. DETAIL SD 4.23
I-2A	NR	N 537,908.10 E 1,367,220.33	210.18 (15')	209.93 (18')	215.50	5'6"L x 3'5 1/2"M	HOCO STD. DETAIL SD 4.35
M-1	4' MH	N 537,494.20 E 1,367,081.53	190.90(84"x22")	190.80(54")	199.09	4'0" DIAMETER	HOCO STD. DETAIL 6 5.13
M-2	4' MH	N 537,522.13 E 1,367,064.32	192.33 (27")	191.07(34"x22")	200.00	4'0" DIAMETER	HOCO STD. DETAIL 6 5.13
M-3	4' MH	N 537,925.52 E 1,367,574.52	210.80 (24")	210.70 (24")	225.00	4'0" DIAMETER	HOCO STD. DETAIL 6 5.13
M-4	4' MH	N 538,041.70 E 1,367,767.70	222.28 (27")	222.18 (27")	230.50	4'0" DIAMETER	HOCO STD. DETAIL 6 5.13
S-1	-	N 537,571.08 E 1,367,034.15	195.00 (8")	195.00 (27")	205.30	7'L x 4.5'N x 11.5'H	SEE SHEET 9
S-2	-	N 537,529.37 E 1,367,034.86	202.00 (21")	203.00 (30")	211.20	7'L x 4.5'N x 11.2'H	SEE SHEET 9
HQ-1	SK	N 537,445.16 E 1,366,808.87	200.70 (18")	200.45 (18")	212.50	SEE SHEET IG	BAYSAYER SYSTEM
HQ-2	SK	N 537,647.91 E 1,367,042.76	198.66 (30")	198.66 (12")	209.00	SEE SHEET IG	BAYSAYER SYSTEM
HQ-3	SK	N 537,784.62 E 1,367,308.62	204.88 (24") 204.88 (18")	204.50 (30")	216.00	SEE SHEET IG	BAYSAYER SYSTEM
E-1	18" END SECTION	N 537,469.73 E 1,366,823.35	200.00 (18")	-	-	18" DIAMETER	ADS OR EQUIVALENT
E-2	30" END SECTION	N 537,618.75 E 1,367,083.36	198.00 (18")	-	-	30" DIAMETER	ADS OR EQUIVALENT
E-3	30" END SECTION	N 537,762.91 E 1,367,293.01	204.00 (30")	-	-	30" DIAMETER	ADS OR EQUIVALENT
E-4	27" END SECTION	N 538,093.47 E 1,367,717.04	204.00 (27")	-	-	27" DIAMETER	CHP OR EQUIVALENT

NOTES:
 1. LOCATION OF S AND NR INLETS, HQ FACILITIES AND MANHOLES IS AT CENTER OF TOP COVER.
 2. FOR 'A' INLETS LOCATION IS GIVEN AT CENTER OF THROAT OPENING AT FACE OF CURB.
 3. FOR END SECTIONS AND HEADWALLS THE LOCATION IS CENTER OF THROAT OPENING AT FACE OF STRUCTURE.
 4. TOP ELEVATION IS TOP OF CURB/GRATE/RIM.

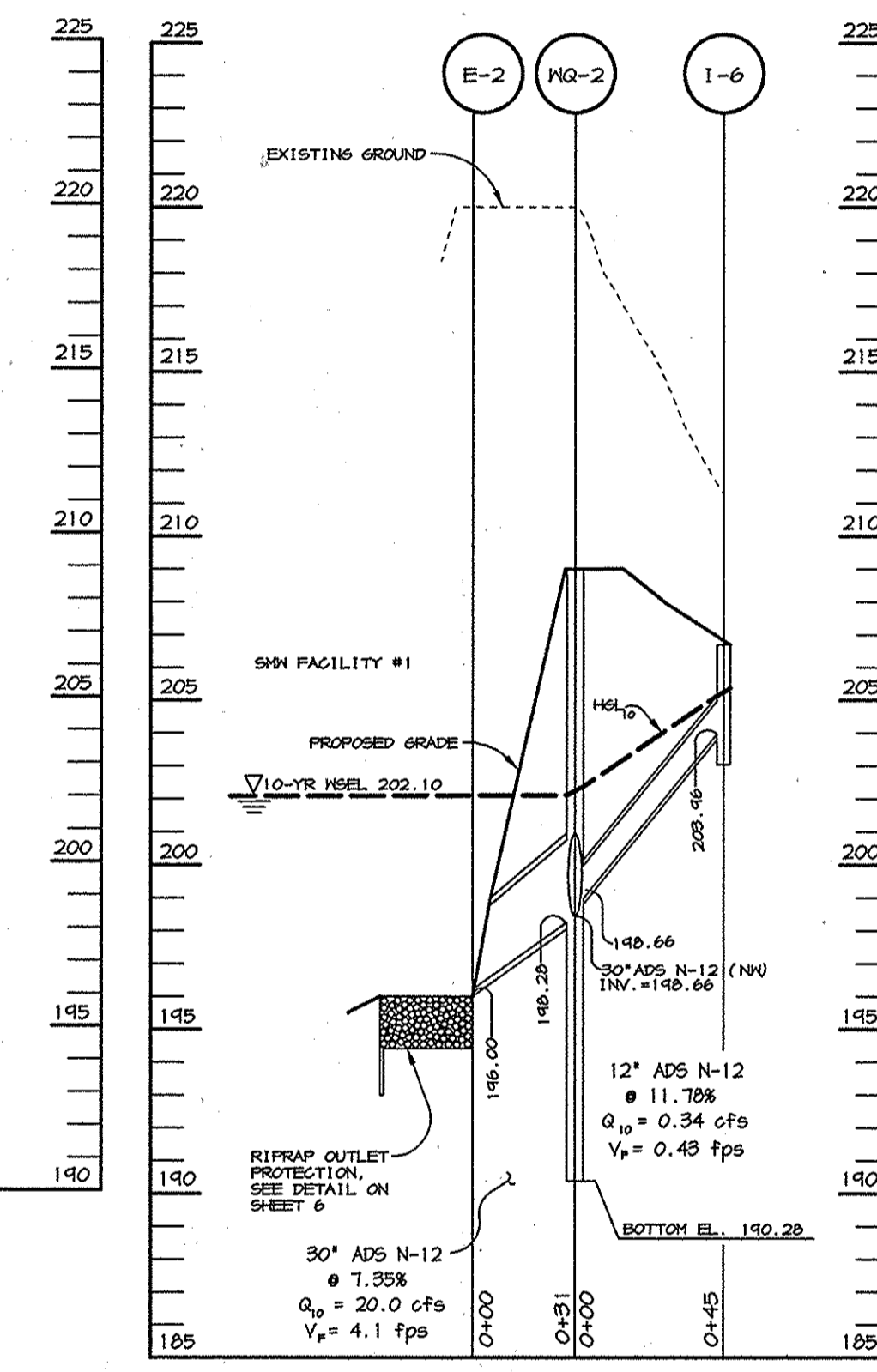


PROFILE
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1"=5' VERT.

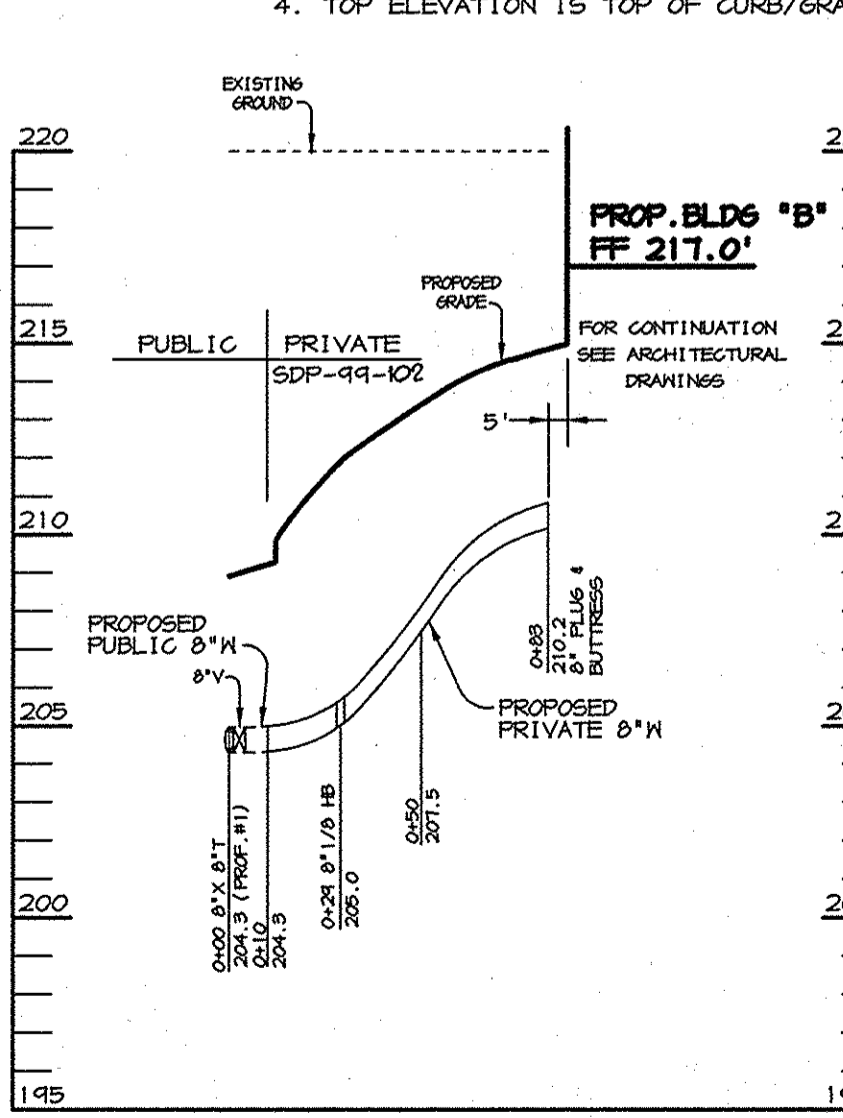
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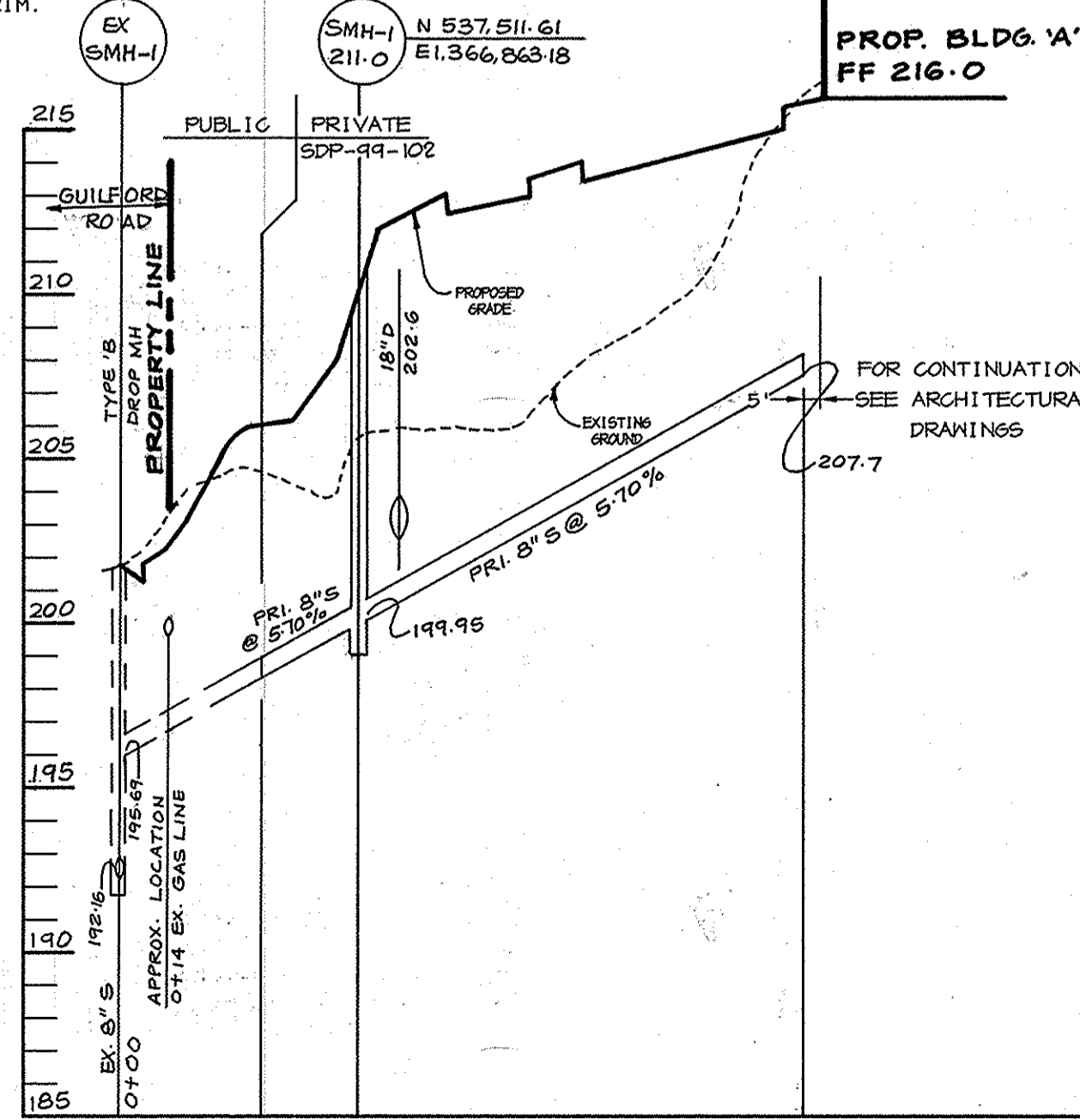
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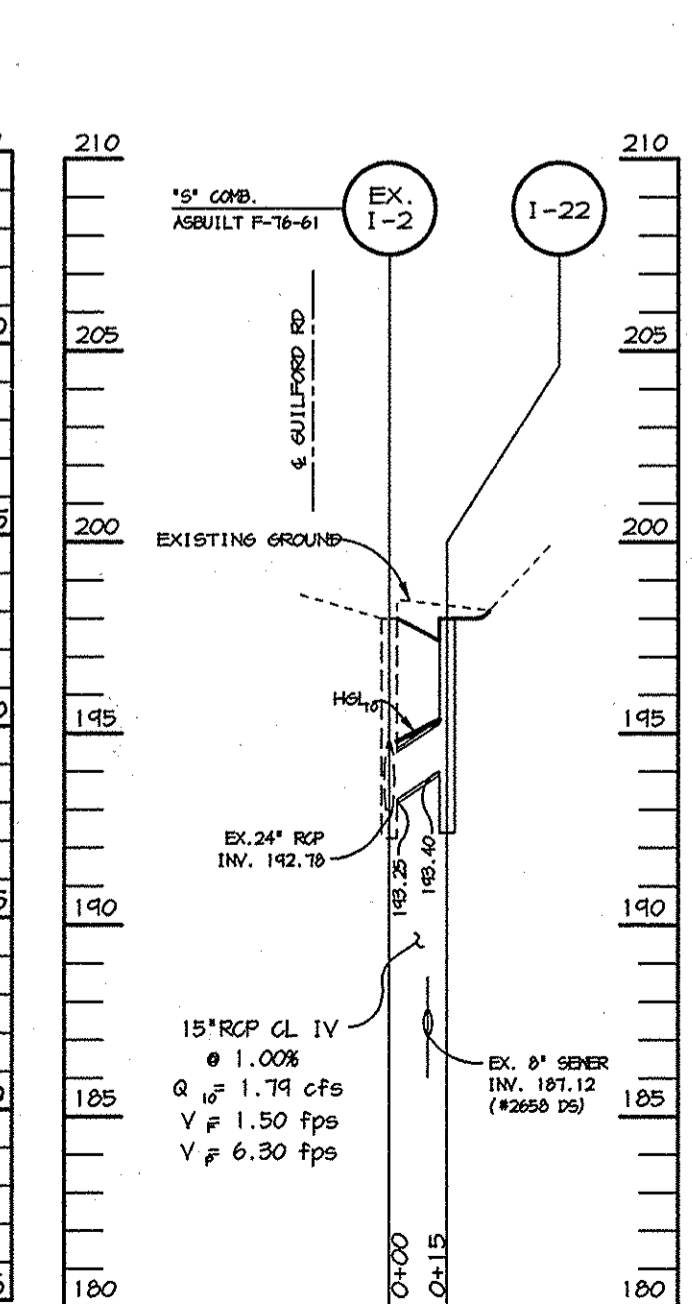
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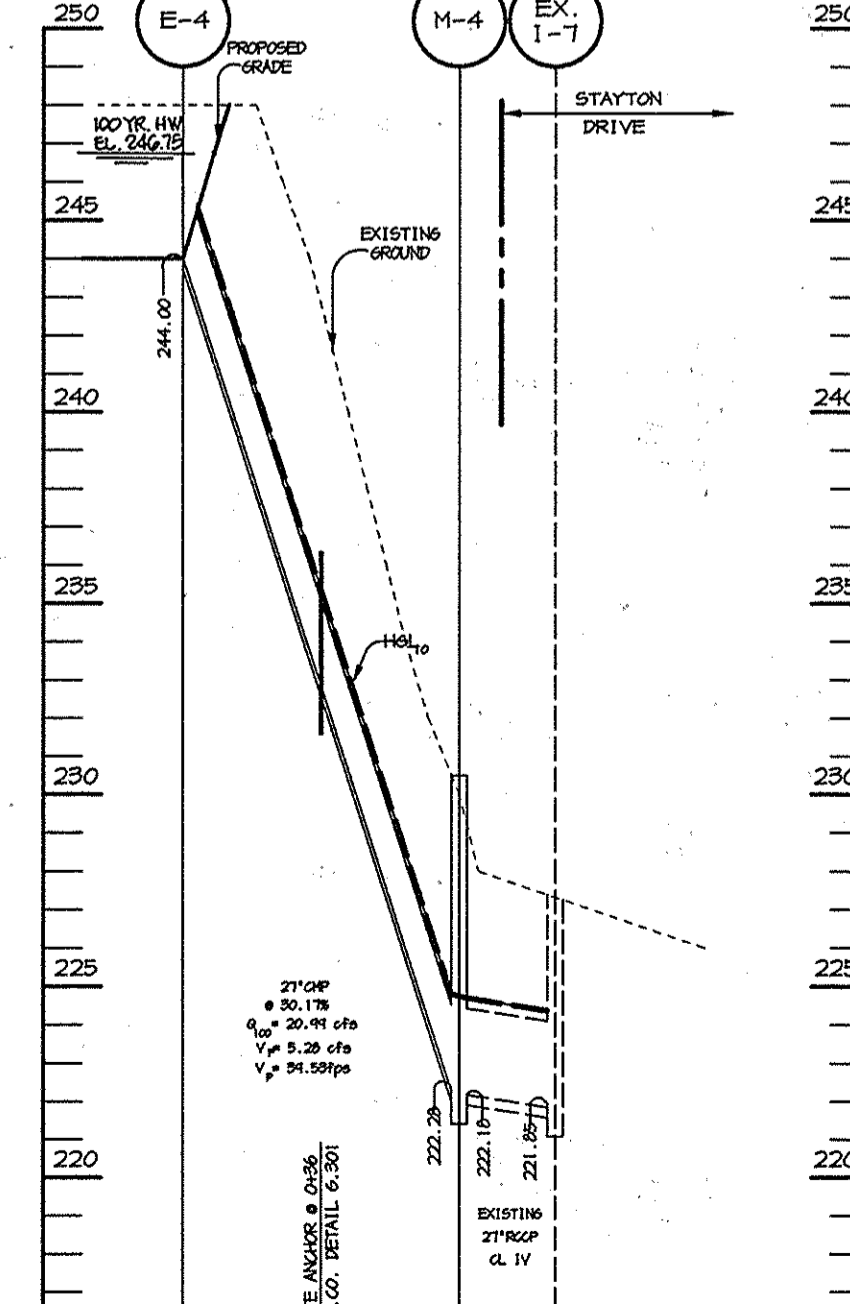
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1"=5' VERT.



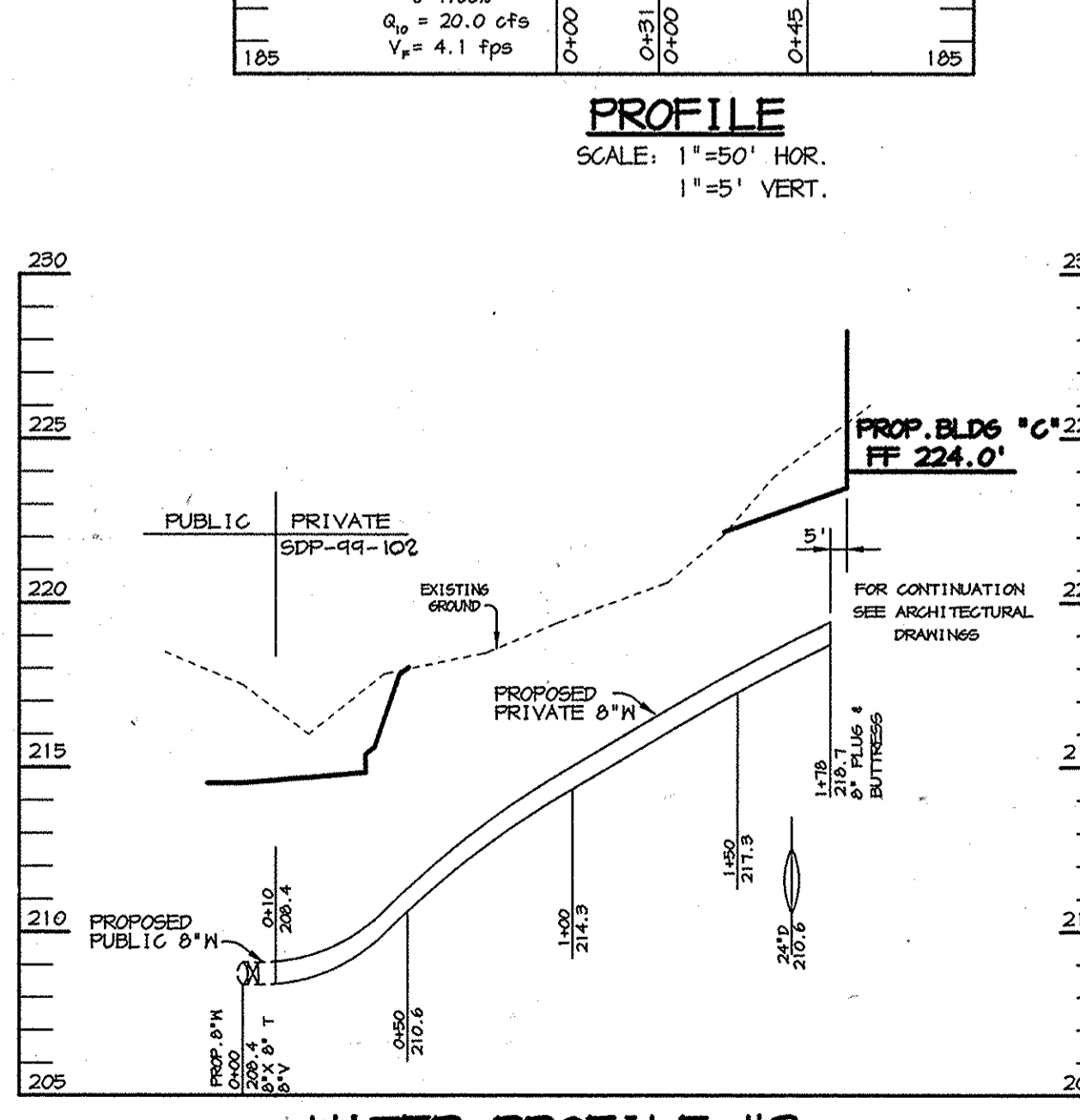
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1"=5' VERT.



PROFILE
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1"=5' VERT.



PROFILE
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1"=5' VERT.

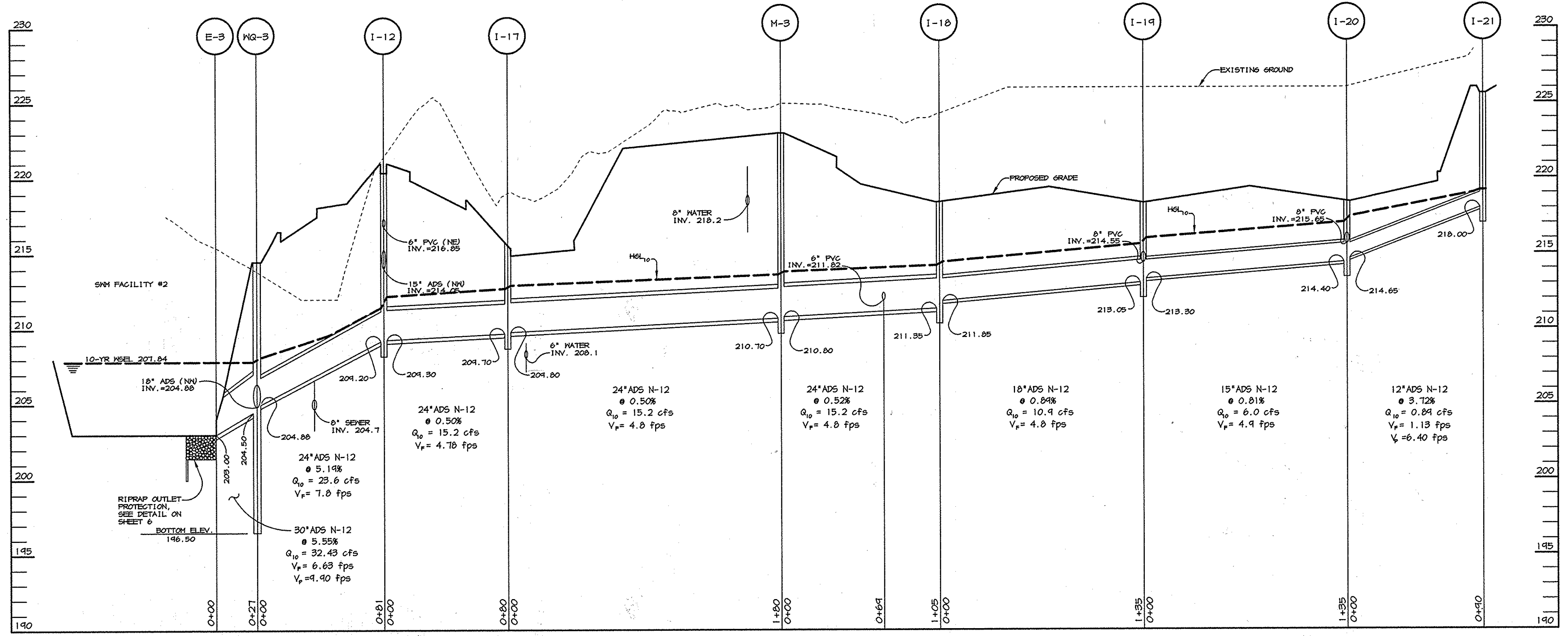


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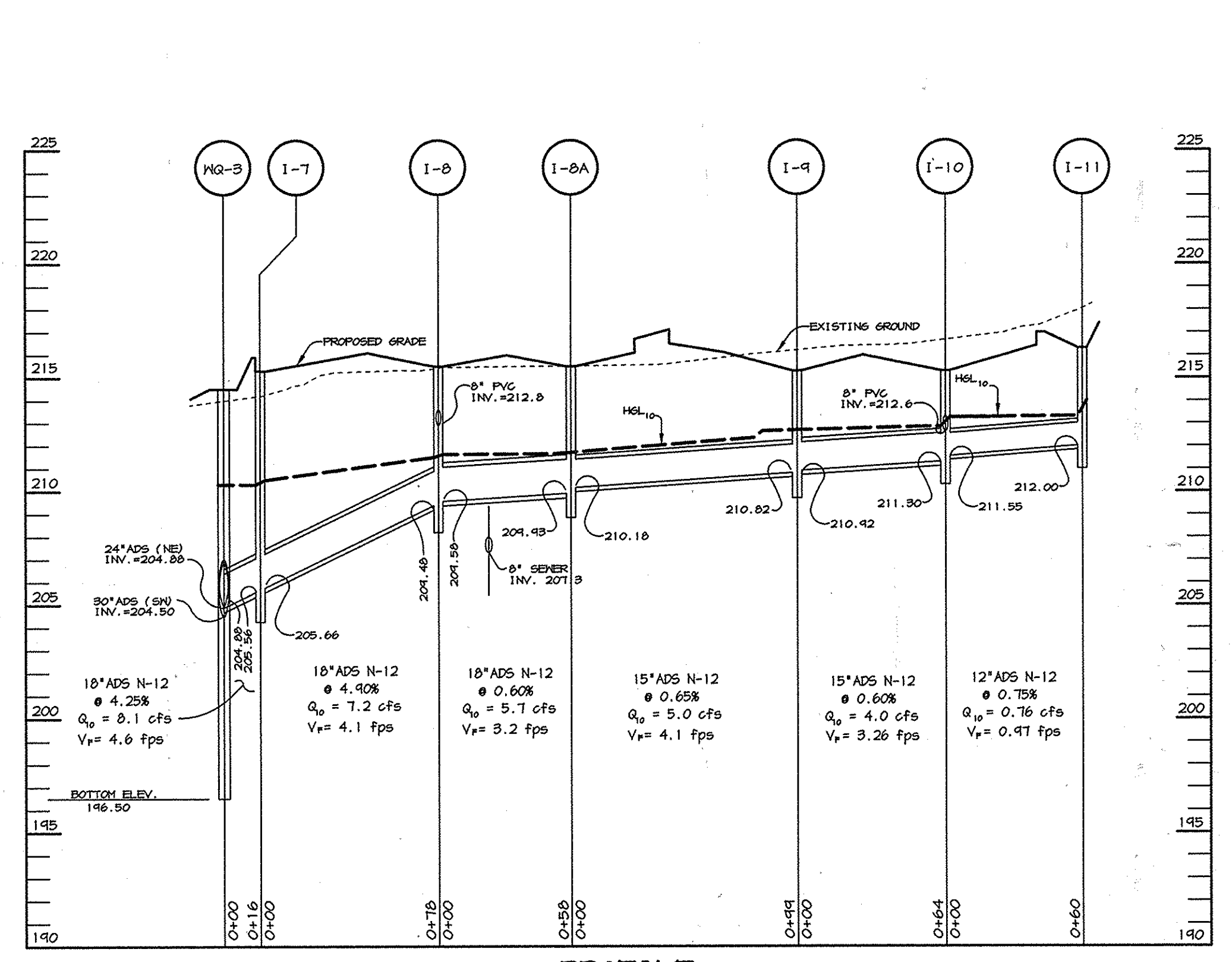
CITY OF MARYLAND AS-BUILT CERTIFICATE
 Christopher J. Reid #19949 DATE 2-5-02
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 Director: [Signature] DATE 9/20/99
 Chief, Development Engineering Division: [Signature] DATE 9/14/99
 Chief, Division of Land Development: [Signature] DATE 9/11/99
 7.20.00/2 REVISED SEWER PROFILE #3
 12-09-99/1 REVISED STRUCTURE SCHEDULE

DATE NO.	REVISION
OWNER	DEVELOPER
JOSEPH J. HOCK 7272 PARKWAY DRIVE HANOVER, MD. 21076 410-712-0018	HOCK/BAYAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1966 GREENSPRING DRIVE SUITE # 508 TIMONIUM, MD 21043 410-560-0300

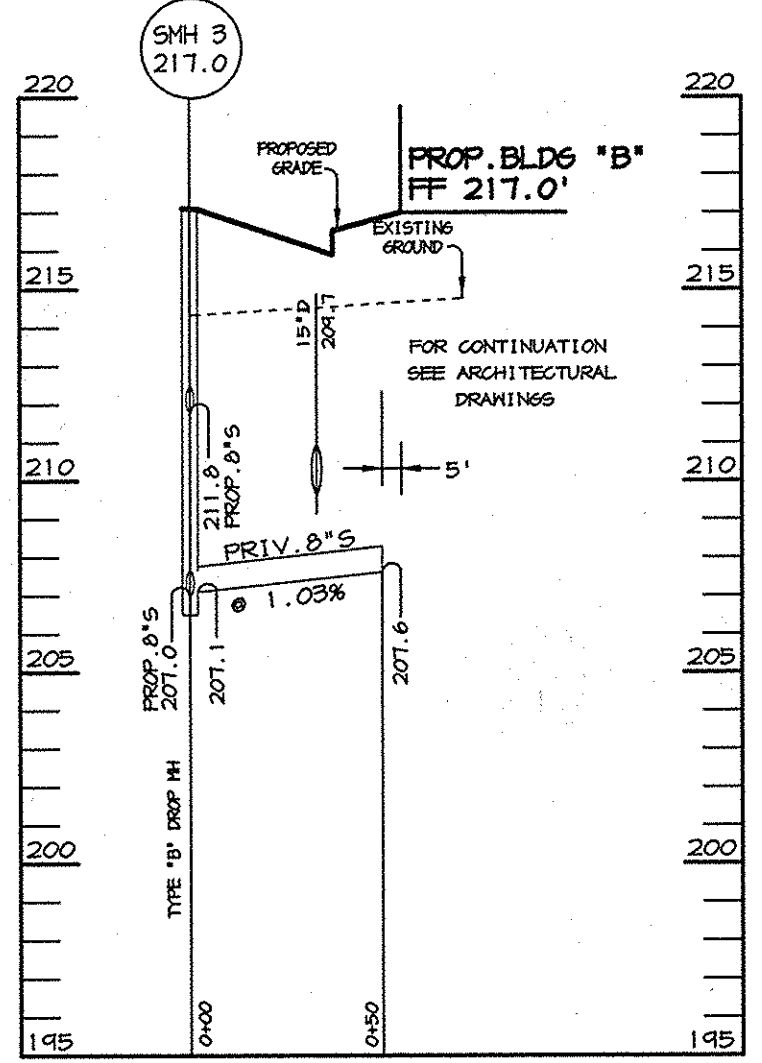
 PROJECT: STAYTON BUSINESS CENTER
THREE WAREHOUSE BUILDINGS
 AREA: ZONED M-2 TAX MAP NO. 4B
B.M.I.P. BLOCK B PARCEL F-1
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
 TITLE: STORM DRAIN, WATER, SEWER PROFILES AND STRUCTURE SCHEDULE
RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21046
 TEL 410.997.8900 FAX 410.997.9282
 DATE: [Signature]
 DESIGNED BY: C.J.R./D.C.D.
 DRAWN BY: DAM
 PROJECT NO: 98369
SDP10.DWG
 DATE: SEPTEMBER 2, 1999
 SCALE: AS SHOWN
 DRAWING NO. 10 OF 20
 ARTHUR E. MUEGGE #8707



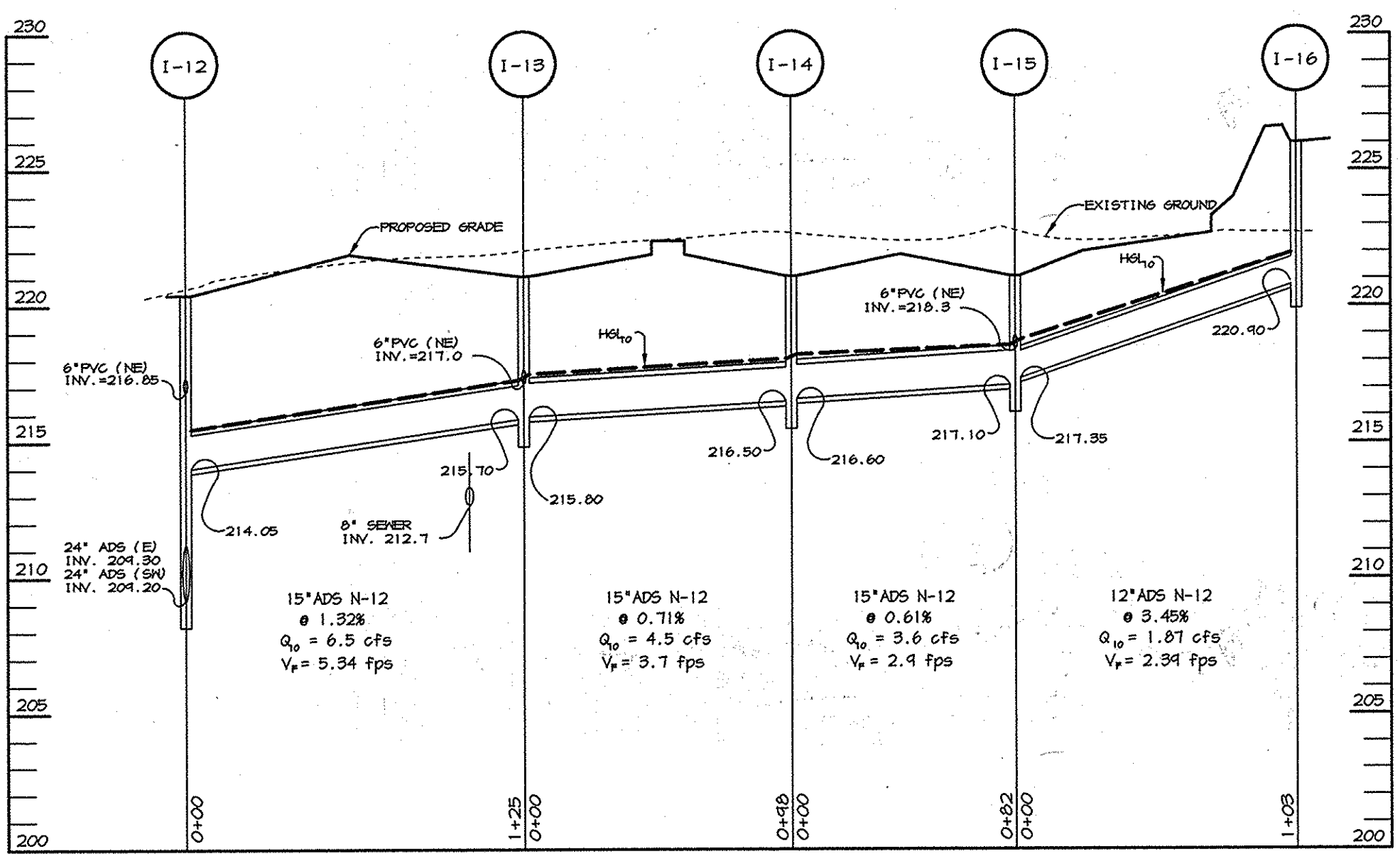
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1"=5' VERT.



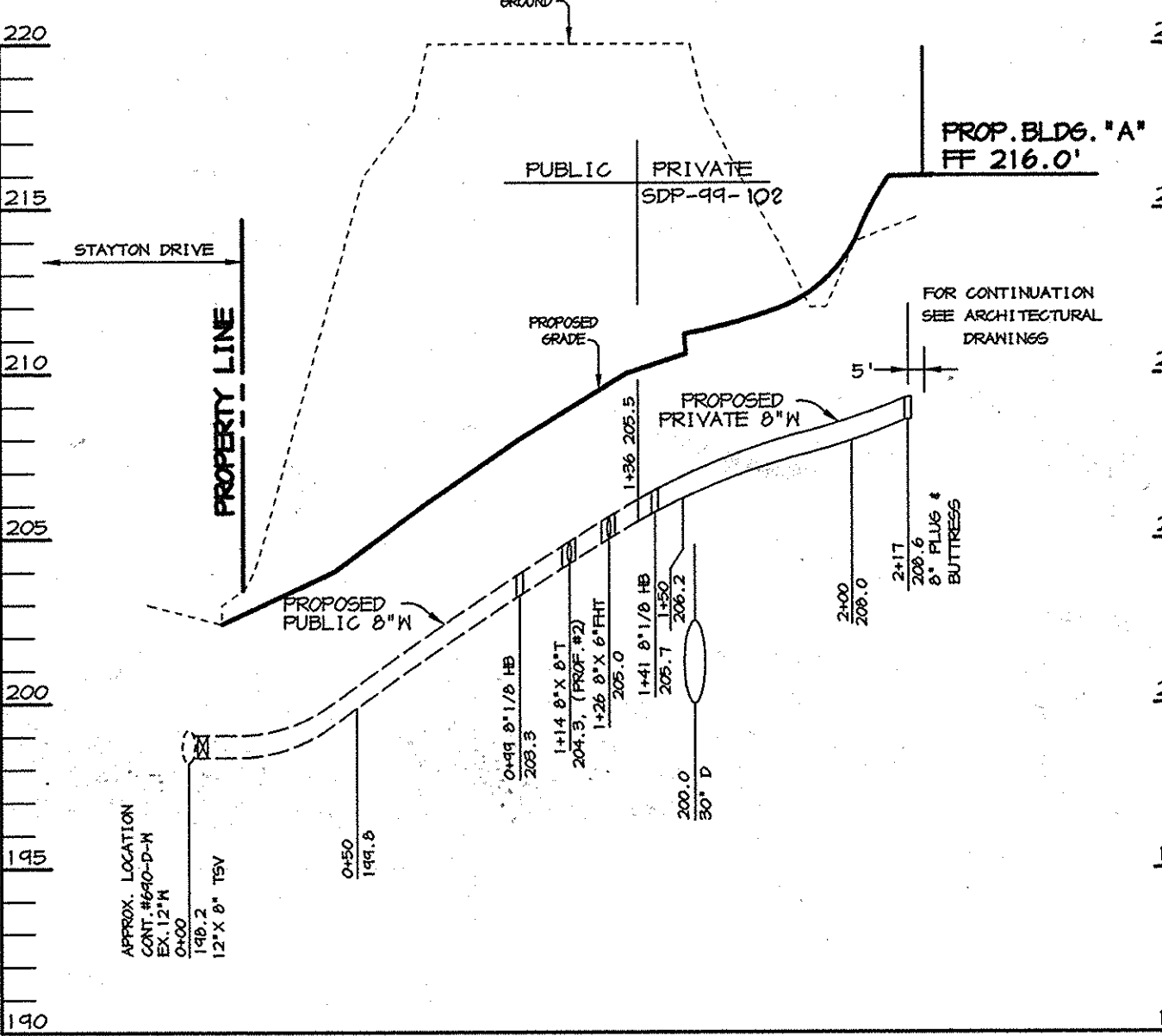
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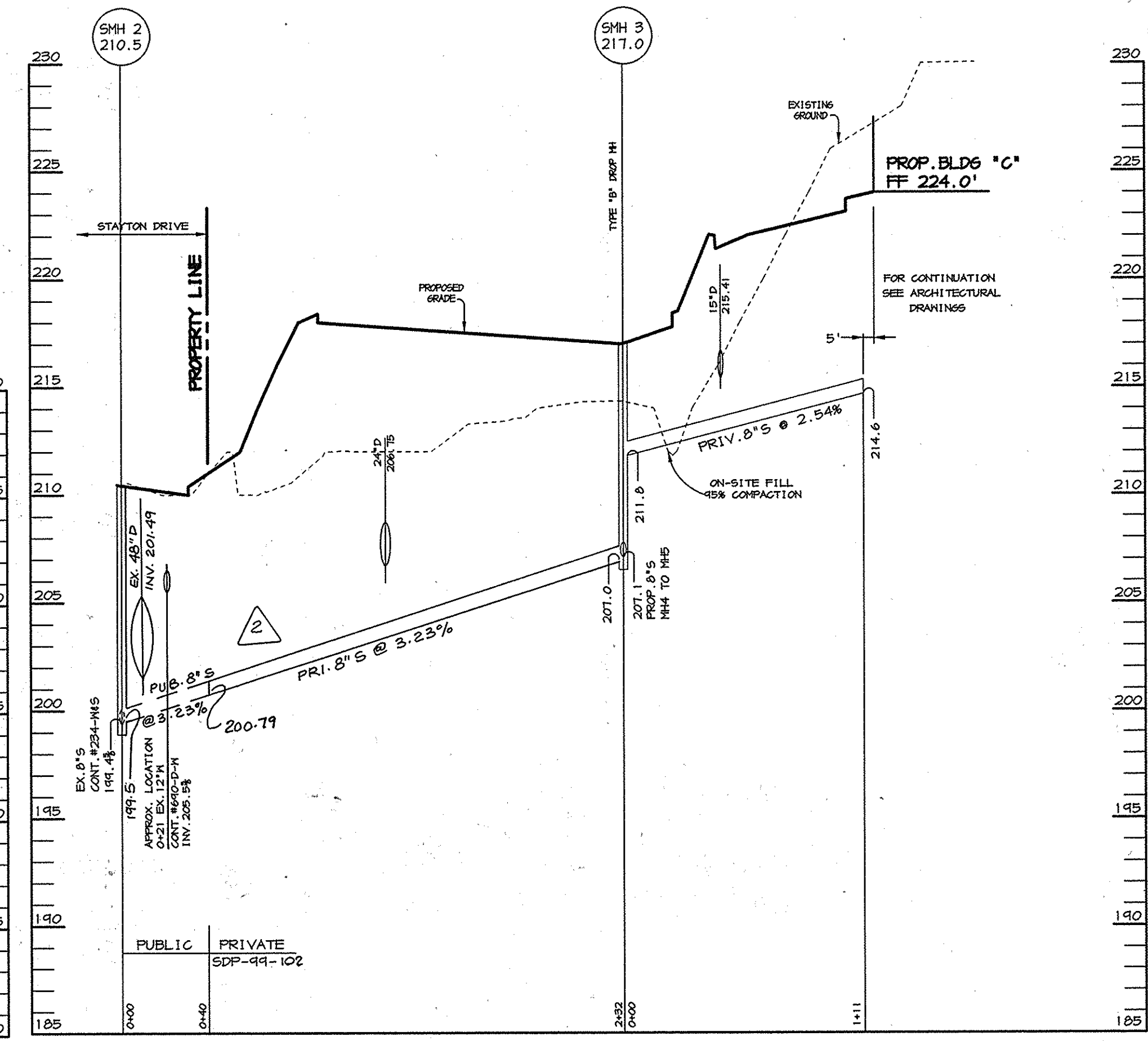
SEWER PROFILE #2
SCALE: HOR. - 1"=50' VERT. - 1"=5'



PROFILE
SCALE: 1"=50' HOR.
1"=5' VERT.



WATER PROFILE #1
SCALE: HOR. - 1"=50' VERT. - 1"=5'



SEWER PROFILE #1
SCALE: HOR. - 1"=50' VERT. - 1"=5'

AS-BUILT CERTIFICATE

Christopher J. Reid #19949 DATE 2.5.02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: [Signature] DATE 9/20/99

CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE 9/14/99

CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE 9/17/99

7-20-00 REVISED SEWER PROFILE #1

DATE NO.	REVISION
OWNER	DEVELOPER
JOSEPH J. HOCK	HOCK/BAVAR STAYTON
T212 PARKWAY DRIVE	JOINT VENTURE, LLC
HANOVER, MD. 21076	TIMONIUM ONE
410-712-0018	1966 GREENSPRING DRIVE
	SUITE # 508
	TIMONIUM, MD 21093
	410-560-0300

PROJECT: STAYTON BUSINESS CENTER
THREE WAREHOUSE BUILDINGS

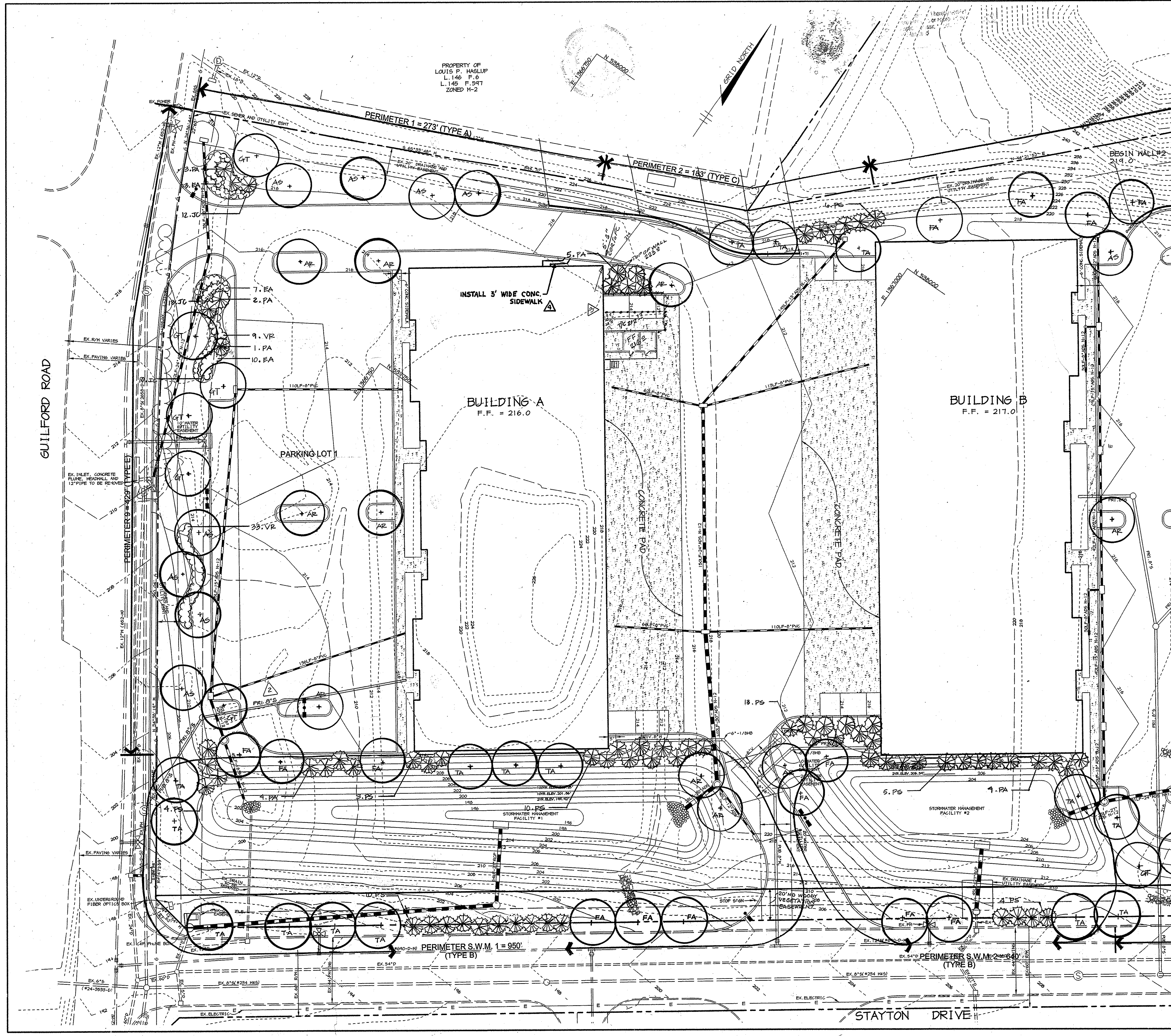
AREA: ZONED M-2 TAX MAP NO. 48
B.W.I.P. BLOCK B PARCEL F-1
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: STORM DRAIN, WATER AND SEWER PROFILE SHEET

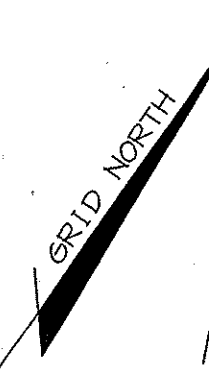
RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8900 fax 410.997.9282

DESIGNED BY: C.J.R./D.C.D.
DRAWN BY: DAM
PROJECT NO: 98369
DATE: SEPTEMBER 2, 1999
SCALE: AS SHOWN
DRAWING NO. 11 OF 20

ARTHUR E. MUEGGE #8707

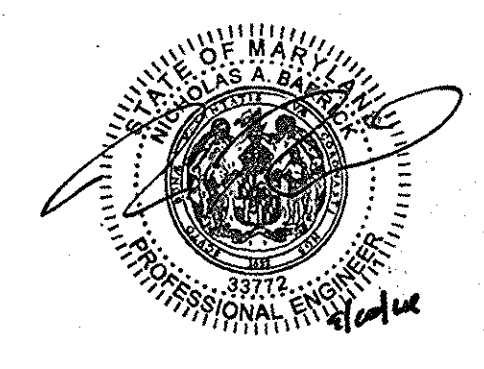


PROPERTY OF
LOUIS P. HAGLUP
L. 146 F. 6
L. 145 F. 54T
ZONED M-2



GUILFORD ROAD

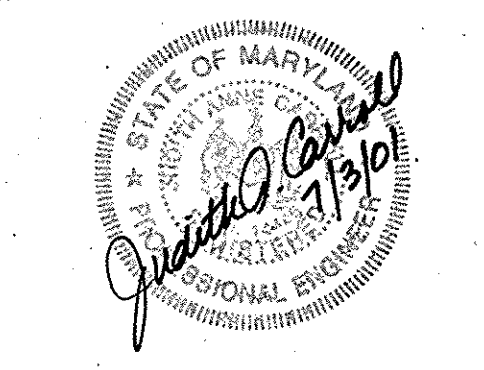
STAYTON DRIVE



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 33792, Expiration Date: 6/1/05
Per Revision 24

NOTE: THIS PLAN IS TO BE USED FOR LANDSCAPING ONLY.

FOR CONTINUATION SEE SHEET 13

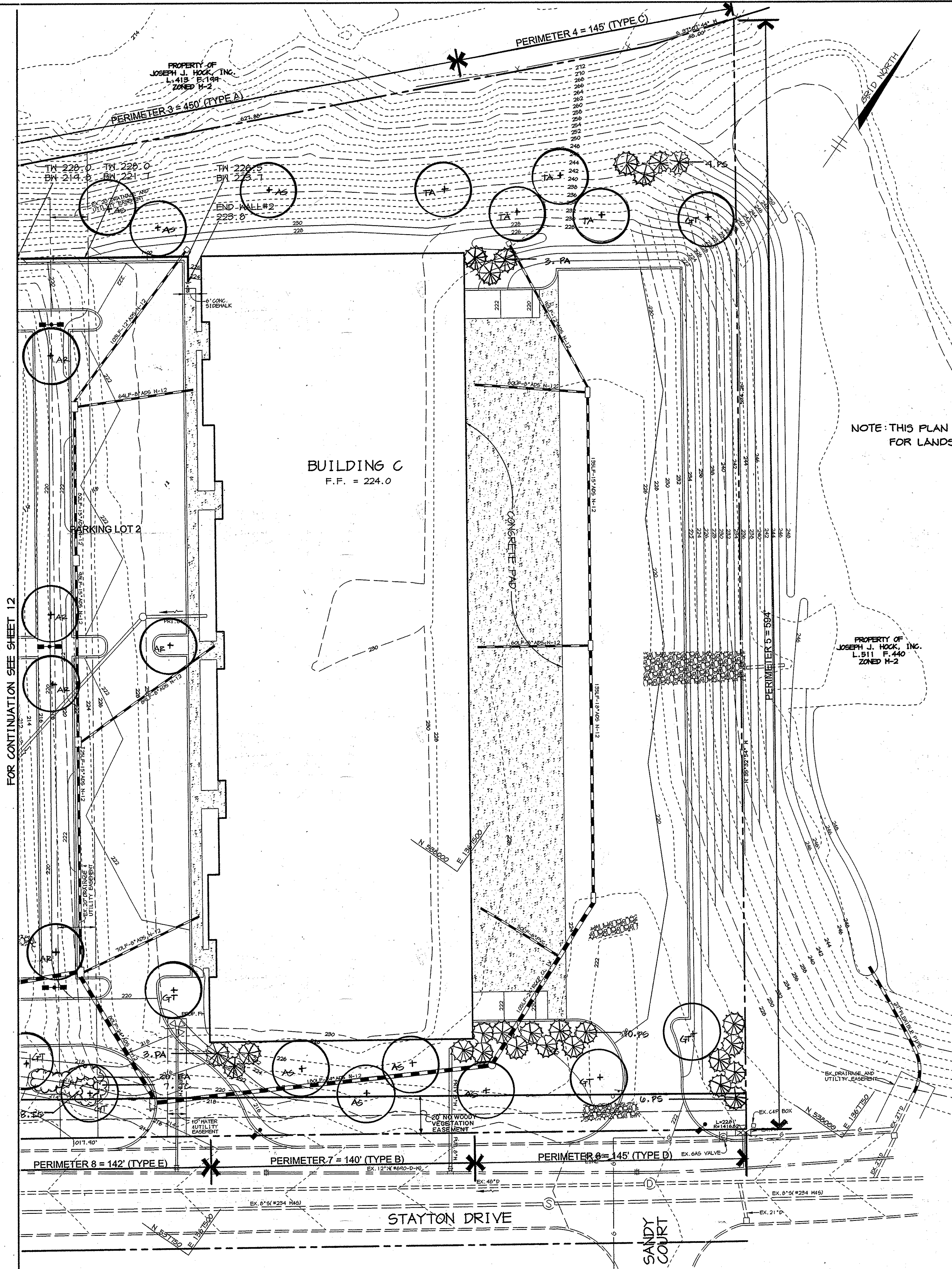


FOR REVISION 3 ONLY
JUDITH A. CARROLL
MD. REG. 1996
JULY 03, 2001

STATE OF MARYLAND PROFESSIONAL ENGINEER		AS-BUILT CERTIFICATE	
<i>Christopher J. Reid</i> CHRISTOPHER J. REID # 19949		2.5.02 DATE	
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING			
<i>Paul R. Kelly</i> DIRECTOR		9/29/99 DATE	
<i>Christopher J. Reid</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION		9/14/99 DATE	
<i>Cecilia Hamstra</i> CHIEF, DIVISION OF LAND DEVELOPMENT		9/17/99 DATE	
7-20-00 3 EX. B.L.P. COR. NEW SEAL & SIGNATURE REV. SEWER TO BUILDING 'A'			
DATE NO.		REVISION	
OWNER JOSEPH J. HOCK 1272 PARKWAY DRIVE HANOVER, MD. 21076 410-712-0018		DEVELOPER HOCK/BAVAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1966 GREENSPRING DRIVE SUITE # 508 TIMONIUM, MD 20794 410-560-0300	
PROJECT - STAYTON BUSINESS CENTER WAREHOUSE BUILDINGS			
AREA - ZONED M-2 TAX MAP NO. 48 B.W.I.P. BLOCK B PARCEL F, 6 & H 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND			
TITLE - LANDSCAPE PLAN			
THE BRICKMAN GROUP, LTD. 14502 Greenview Drive. #208 Laurel, MD 20708 .01.470.1844			
DATE		DESIGNED BY: LMS	
DRAWN BY: LMS		PROJECT NO: 98369 LSCP1.DWG	
DATE: SEPT 2, 1999		SCALE: 1"=30'	
DRAWING NO. 12 OF 20			

AS-BUILT 02/04/02 SDP-99-102

H:\PROJECT\98369\LSDF1 Tue Feb 2 14:33:26 1999 PREMIER WIEGSE & ASSOCIATES, INC.



NOTE: THIS PLAN IS TO BE USED FOR LANDSCAPING ONLY.

Perimeter	Adjacent to Perimeter Properties				Adjacent to Roadways				
	1	2	3	4	5	6	7	8	9
Landscape Type	A	C	A	C	N/A	D	B	E	E
Linear Feet of Roadway Frontage/Perimeter	273	183	450	145	594	145	140	142	429
Credit for existing vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO	NO	NO	NO	NO	NO
Credit for wall, fence or berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO	NO	NO	NO	NO	NO
Number of plants required									
Shade Trees	5(1:80)	5(1:40)	8(1:30)	4(1:40)	* SEE NOTE	3(1:60)	3(1:50)	4(1:40)	13(1:40)
Evergreen trees	-	9(1:20)	-	7(1:20)	-	15(1:10)	4(1:40)	-	-
Shrubs	-	-	-	-	-	-	36(1:4)	-	107(1:4)
Number of plants provided									
Shade Trees	5	4	8	4	-	3	3	4	10
Evergreen trees	-	11**	-	7	-	15	4	-	6**
Small Flowering Trees	-	-	-	-	-	-	-	-	-
Shrubs	-	-	-	-	-	-	36	-	107

* PERIMETER PROPERTY WITHIN THE SAME DEVELOPMENT AS SUBJECT PROPERTY.
** SUBSTITUTION NOTES.

Parking Lot Internal Landscaping		
Parking Lot	1	2
Number of Parking Spaces	114	153
Number of Shade Trees/Islands Required (1/20 Spaces)	6	8
Number of Trees Provided		
Shade Trees	7	8
Other Trees (2:1 Substitution)	-	-
Number of Islands Provided	8	8

Stormwater Management Area Landscaping		
S.W.M. No.	1	2
Landscape Type	B	B
Linear Feet of Perimeter	950	640
Number of Trees Required		
Shade Trees	19	13
Evergreen Trees	24	16
Credit for Ex. Vegetation (No or Yes & %)	NO	NO
Credit for Other Landscaping (No or Yes & %)	NO	NO
Number of Plants Provided		
Shade Trees	17	8
Evergreen Trees	28**	26**
Other Trees (2:1 Substitution, 50% Max)	-	-
Shrubs (10:1 Substitution, 25% Max)	-	-

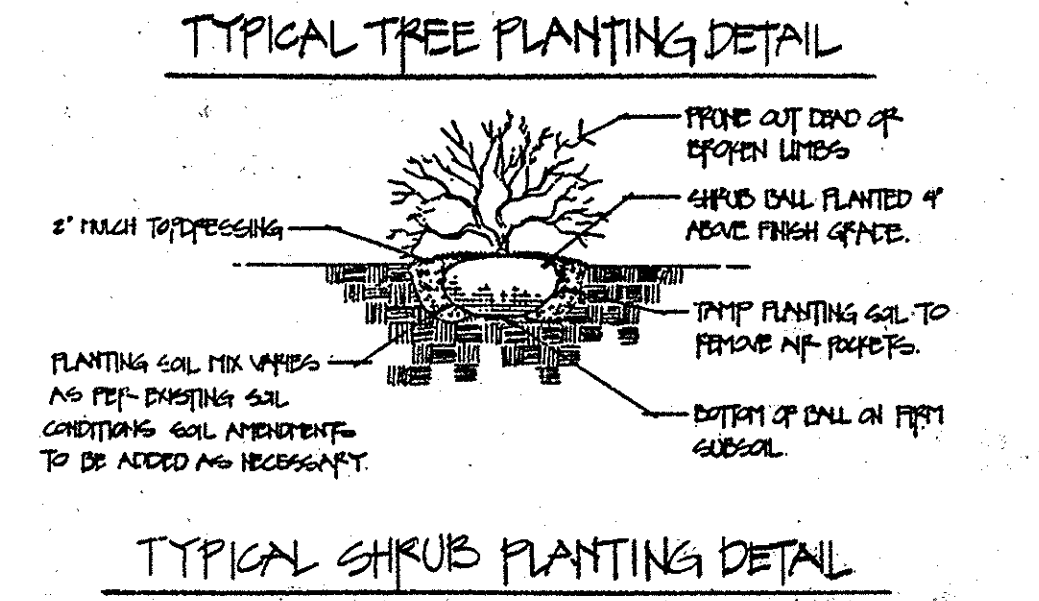
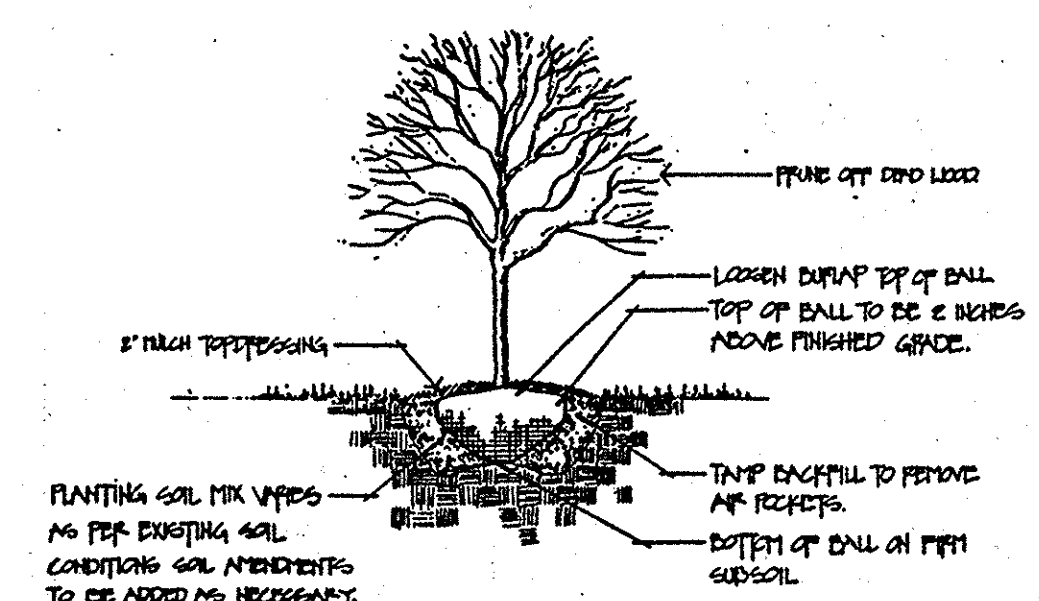
- NOTES:
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE DEVELOPER AGREEMENT IN THE AMOUNT OF \$42,640.00
 - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

DEVELOPER'S/BUILDER'S CERTIFICATE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Christopher J. Reid* DATE: *3/1/99*

- ** SUBSTITUTION NOTES:
- PERIMETER 2 - SUBSTITUTED 2 EVERGREEN TREES FOR 1 REQUIRED SHADE TREES.
 - PERIMETER 9 - SUBSTITUTED 6 EVERGREEN TREES FOR 3 REQUIRED SHADE TREES.
 - S.W.M. NO.1 - SUBSTITUTED 4 EVERGREEN TREES FOR 2 REQUIRED SHADE TREES.
 - S.W.M. NO.2 - SUBSTITUTED 10 EVERGREEN TREES FOR 5 REQUIRED SHADE TREES.

Qty	Botanical Name	Common Name	Size	Symbol
15	Acer rubrum 'October Glory'	October Glory Red Maple	2 1/2-3' cal.	AR
20	Tilia americana 'Redmond'	Redmond American Linden	2 1/2-3' cal.	TA
14	Fraxinus americana 'Autumn Purple'	Autumn Purple White Ash	2 1/2-3' cal.	FA
13	Gleditsia triacanthos inermis	Shademaster Honeylocust	2 1/2-3' cal.	GT
16	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2 1/2-3' cal.	AS
25	Picea abies	Norway Spruce	6'-8' ht.	PA
71	Pinus strobus	Eastern White Pine	6'-8' ht.	PS
60	Euonymus alatus 'Compacta'	Compact Burning Bush	2 1/2-3' ht.	EA
18	Ilex cornuta x rugosa	Rugosa Holly	18-24" sp.	IC
33	Juniperus chinensis 'Sargentii'	Sargent Juniper	18-24" sp.	JC
42	Viburnum rhytidophyllum	Leatherleaf Viburnum	2 1/2-3' ht.	VR



AS-BUILT CERTIFICATE

DATE: *2.5.02*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: *Christopher J. Reid* DATE: *9/20/99*

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *Christopher J. Reid* DATE: *9/14/99*

CHIEF, DIVISION OF LAND DEVELOPMENT: *Christopher J. Reid* DATE: *9/17/99*

DATE	NO.	REVISION

OWNER: JOSEPH J. HOCK, 1272 PARKWAY DRIVE, HANOVER, MD. 21076, 410-712-0018

DEVELOPER: HOCK/BAYAR STAYTON JOINT VENTURE, LLC, 1966 GREENSPRING DRIVE, SUITE # 508, TIMONIUM, MD 20794, 410-580-0300

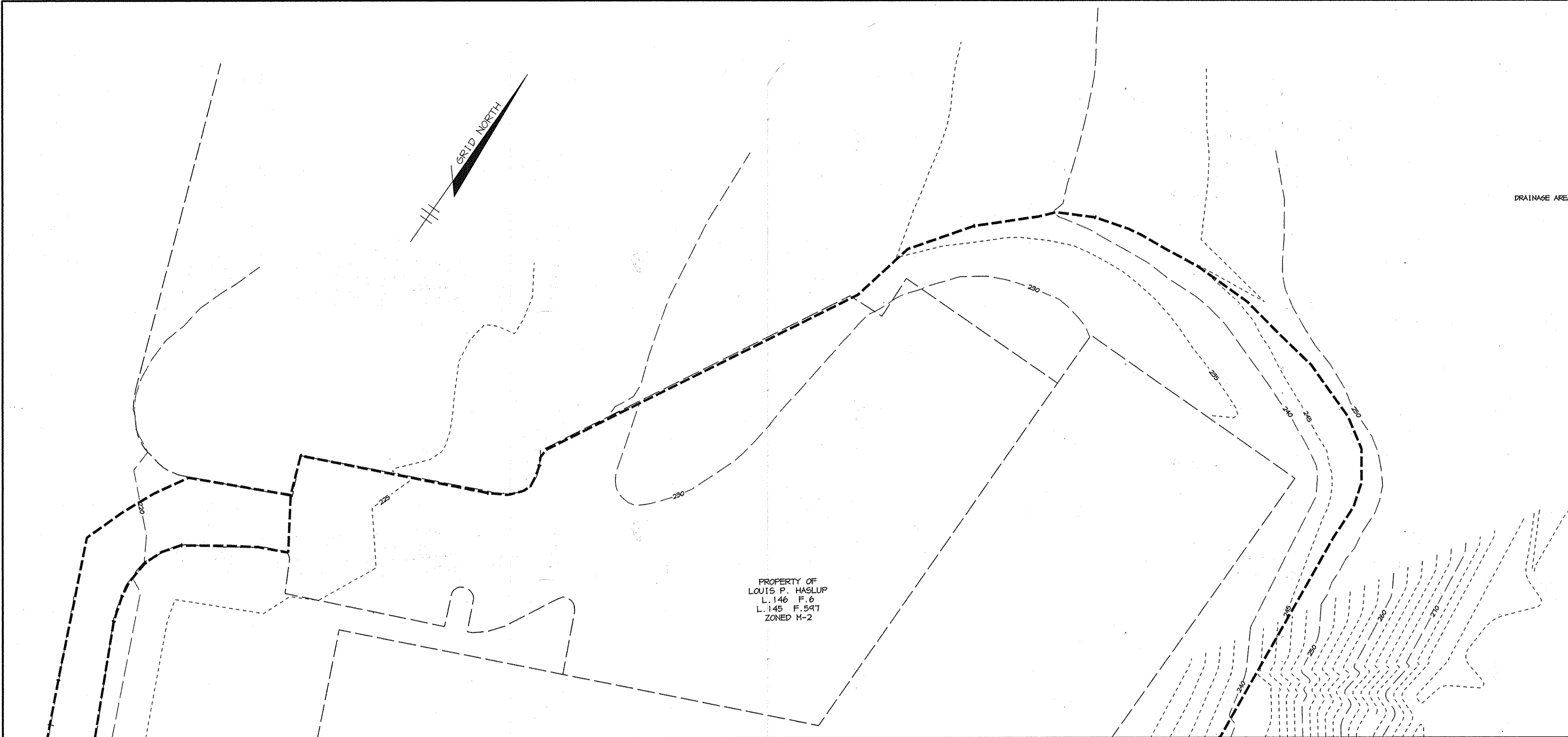
PROJECT: STAYTON BUSINESS CENTER WAREHOUSE BUILDINGS

AREA: ZONED M-2 TAX MAP NO. 48, B.W.I.P. BLOCK B PARCEL F, 6 & H, 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: LANDSCAPE PLAN

THE BRICKMAN GROUP, LTD.
14502 Greenview Drive, #208 Laurel, MD 20708 301.470.1844

DESIGNED BY: LMS
DRAWN BY: LMS
PROJECT NO: 98369
DATE: SEPT 2, 1999
SCALE: 1" = 30'
DRAWING NO. 13 OF 20






LEGEND

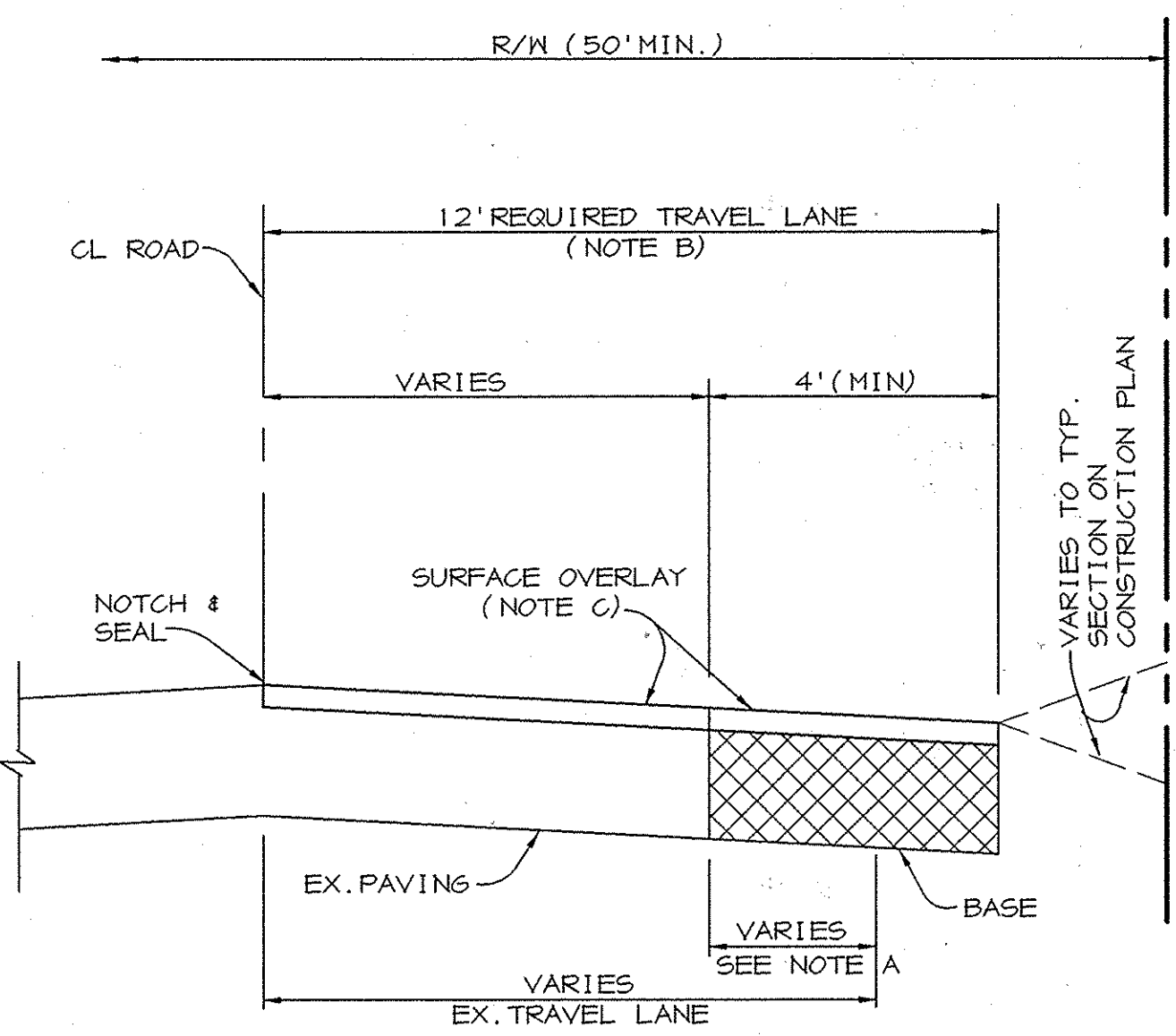
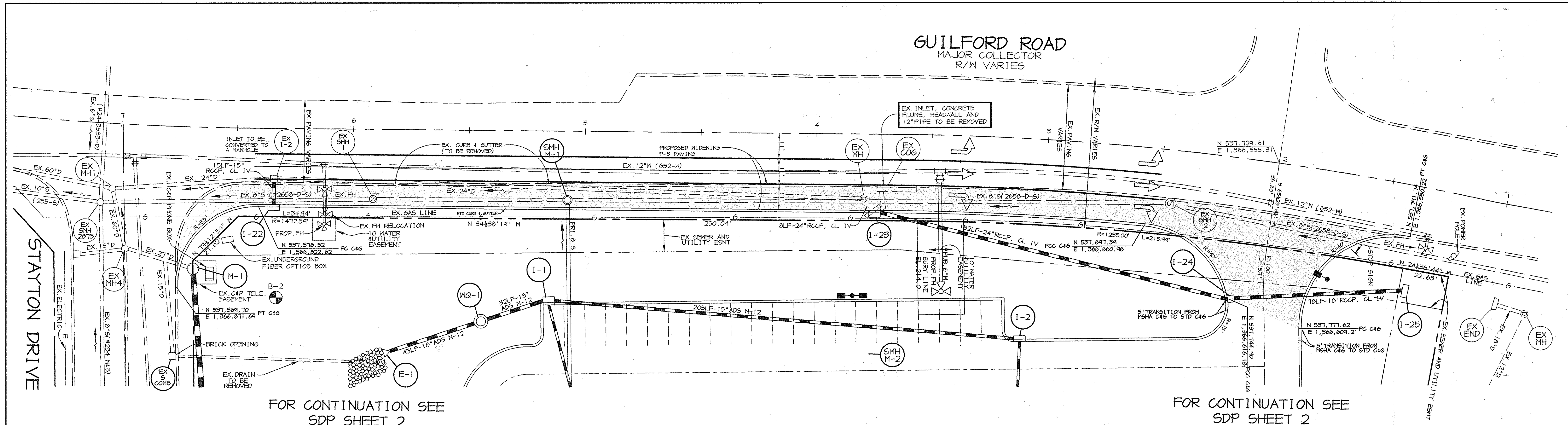
DRAINAGE AREA DIVIDE - - - - -

PROPERTY OF
LOUIS P. HAGLUP
L. 146 F. 6
L. 145 F. 547
ZONED M-2

FOR CONTINUATION SEE SHEET 4

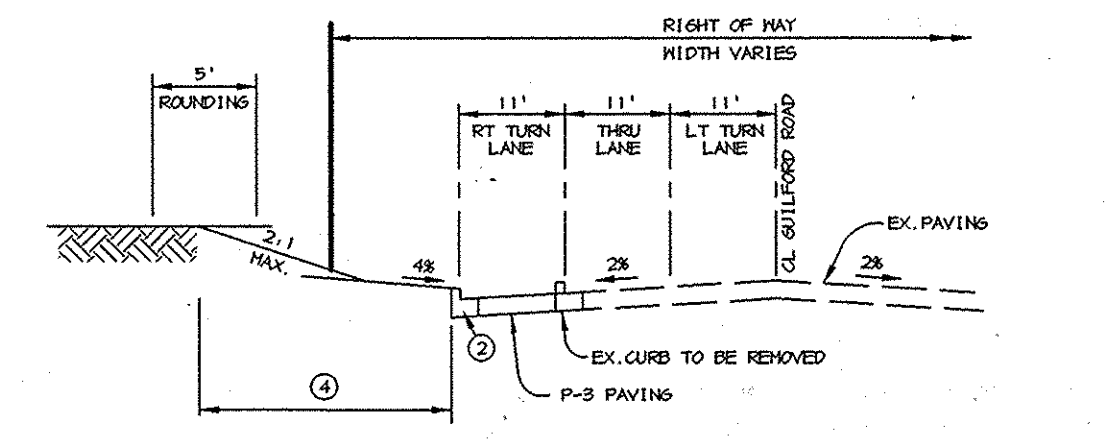
E. 1386750 N. 538000

 AS-BUILT CERTIFICATE							
<i>Christopher J. Reid</i> CHRISTOPHER J. REID # 19949 2.5.02 DATE							
BY THE DEVELOPER : I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.							
<i>Christopher J. Reid</i> 9/6/99 DEVELOPER DATE							
BY THE ENGINEER : I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.							
<i>Arthur E. Muegge</i> 9.2.99 ENGINEER DATE							
THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.							
NATURAL RESOURCES CONSERVATION SERVICE DATE							
THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.							
HOWARD SOIL CONSERVATION DISTRICT DATE							
APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.							
<i>Joseph J. Hock</i> 9/20/99 DIRECTOR DATE							
<i>William J. Danvers</i> 9/14/99 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE							
<i>David Hammett</i> 9/17/99 CHIEF, DIVISION OF LAND DEVELOPMENT DATE							
<table border="1" style="width: 100%;"> <thead> <tr> <th>DATE</th> <th>NO.</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	NO.	REVISION			
DATE	NO.	REVISION					
OWNER JOSEPH J. HOCK 7272 PARKWAY DRIVE HANOVER, MD. 21076 410-712-0018	DEVELOPER HOCK/BAYAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1966 GREENSPRING DRIVE SUITE # 508 TIMONIUM, MD 21093 410-560-0300						
PROJECT STAYTON BUSINESS CENTER THREE WAREHOUSE BUILDINGS							
AREA ZONED M-2 TAX MAP NO. 48 B.N.I.P. BLOCK B PARCEL F-1 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND							
TITLE DRAINAGE AREA MAP							
 RIEMER MUEGGE & ASSOCIATES INC. ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING 8818 Centre Park Drive, Columbia, MD 21045 tel 410.997.8900 fax 410.997.9282							
							
<i>Arthur E. Muegge</i> #8707 ARTHUR E. MUEGGE #8707							
DESIGNED BY : C.J.R. DRAWN BY : DAM PROJECT NO : 98369 SDP12.DWG DATE : SEPTEMBER 2, 1999 SCALE : 1" = 30' DRAWING NO. 14 OF 20							



- NOTE A - WHEN EXISTING TRAVEL LANE IS LESS THAN THE REQUIRED 12' LANE, CONTRACTOR SHALL REMOVE ENOUGH OF THE EXISTING ROAD BED TO PROVIDE A MINIMUM BASE WIDENING OF 4'.
- NOTE B - THE SURFACE OVERLAY SHALL BE CARRIED TO THE CL OF THE ROAD AND NOTCHED AND SEALED.
- NOTE C - SURFACE OVERLAY COURSE TO BE EQUAL TO SURFACE COURSE OF TYPICAL PAVING SECTION OF SUBDIVISION.
- NOTE D - CL OF ROAD TO BE MILLED AT DEPTH OF 1 1/2" x 1" WIDE USING A MILLING MACHINE.

WIDENING STRIPS ALONG EXISTING ROADWAYS
NO SCALE



- ① STD CURB, CURB & GUTTER.
 - ② INDICATES 2" TOPSOIL, SEED AND MULCH.
- TYPICAL SECTION MAJOR COLLECTOR**
NO SCALE

AS-BUILT CERTIFICATE

Christopher J. Reid # 19949 2.5.02 DATE
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[Signature] 9/20/99 DATE
 DIRECTOR

[Signature] 9/14/99 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 9/17/99 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT

DATE NO.	REVISION
OWNER JOSEPH J. HOCK 1212 PARKWAY DRIVE HANOVER, MD. 21076 410-712-0018	DEVELOPER HOCK/BAVAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1966 GREENSPRING DRIVE SUITE # 508 TIMONIUM, MD 21043 410-560-0300

PROJECT **STAYTON BUSINESS CENTER**
 THREE WAREHOUSE BUILDINGS

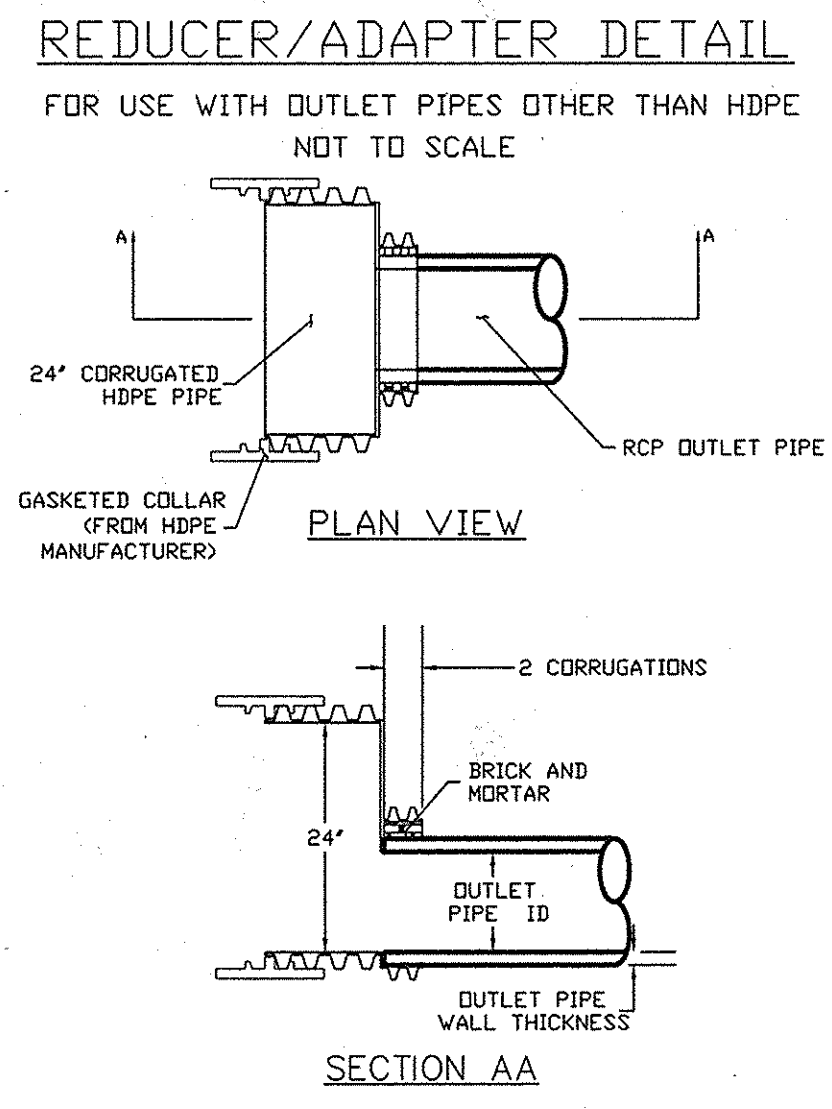
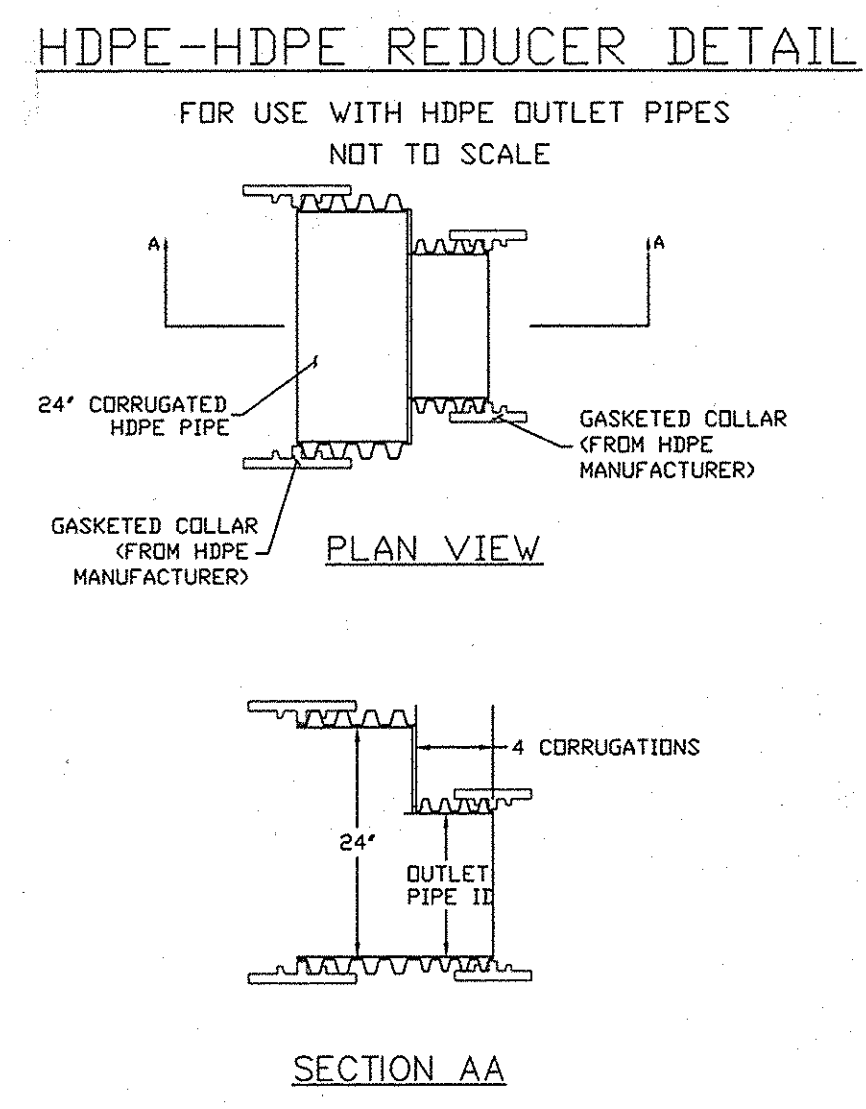
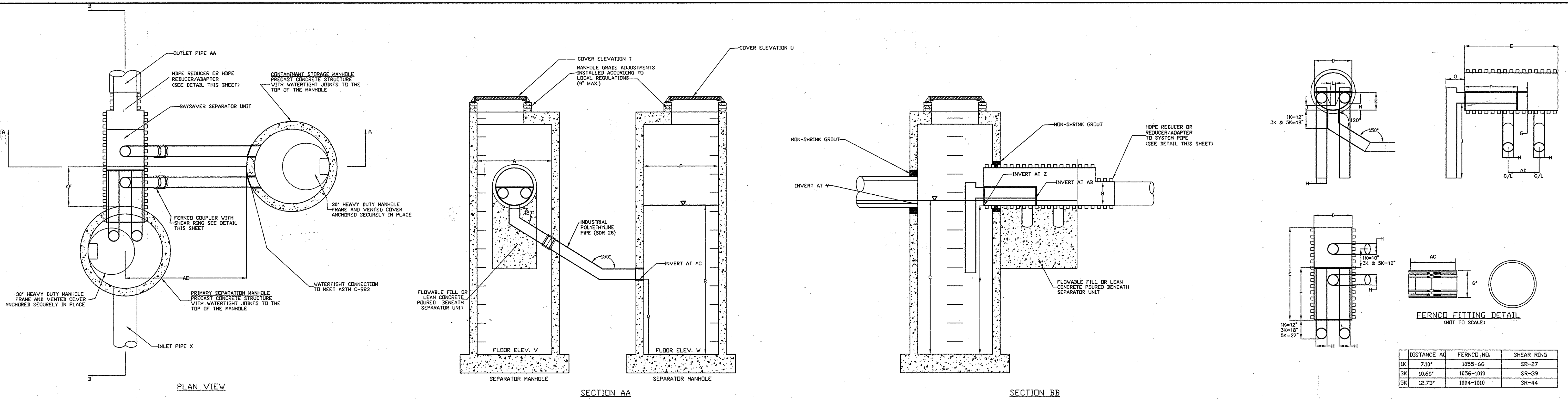
AREA ZONED M-2 TAX MAP NO. 4B
 B.M.I.P. BLOCK B PARCEL F-1
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE **GUILFORD ROAD WIDENING**

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 6818 Centro Park Drive, Columbia, MD 21046
 tel 410.997.8900 fax 410.997.9282

DATE	DESIGNED BY:
	C.J.R.
	DRAWN BY: DAM
	PROJECT NO: 98369 SDP15.DWG
	DATE: SEPTEMBER 2, 1999
	SCALE: 1" = 20'
	DRAWING NO. 15 OF 20

AS-BUILT 02/04/02 SDP-99-102



SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR DUAL MANHOLE SEPARATORS (X = Approval Required)	Developer's/Engineer Approval		Inspector		Geotechnical Engineer	
	Initials	Date	Initials	Date	Initials	Date
1. Pre-Construction Meeting.	X		X		X	
2. Install Manholes and associated storm drainage: a. Obtain approval of subgrade from Geotechnical Engineer. (Subgrade to have a minimum of 95% compaction)					X	
b. Installation of precast base, lower tank and lower piping.	X		X			
c. Backfill and min. 95% compaction around lower tank and lower piping.					X	
d. Installation of precast middle section(s) with separator unit and remaining piping.	X		X			
e. Installation of precast top slab.	X		X			
f. Installation of adjustment rings and frame and cover.	X		X			
g. Installation of flowable fill or concrete backfill.					X	
3. Backfilling operation and compaction.					X	
4. Site is permanently stabilized. Sediment control measures removed and all sediment and debris removed from dual manhole separators.			X			
5. Final inspection.			X			

GENERAL CONSTRUCTION NOTES

- ALL WORK MUST BE DONE WITH REGARD FOR THE SAFETY OF THE CONSTRUCTION CREW.
- ALL WORK AND MATERIALS MUST COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS.
- KNOW THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.

NOTE:

BAYSAVERS ARE TO BE INSTALLED WITH THE STORM DRAIN SYSTEM AND WILL FUNCTION AS SECONDARY SEDIMENT CONTROL DEVICES. UPON COMPLETION OF SITE STABILIZATION, EACH BAYSAYER SYSTEM SHALL BE FLUSHED CLEAN & THE MANHOLES CLEANED OUT AND REFILLED WITH CLEAN WATER.

NOTE: DIMENSIONAL SHOP DRAWINGS ARE TO BE APPROVED BY THE DESIGN ENGINEER

BAYSAYER MAINTENANCE

BAYSAYER SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. MINIMUM INSPECTION IS REQUIRED TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF BAYSAYER.

MAINTENANCE CONSISTS OF THE FOLLOWING:

- CONTAMINANT STORAGE MANHOLE**
 - REMOVE THE ENTIRE VOLUME OF THE CONTAMINATED WATER BY VACUUM TRUCK.
 - CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
- PRIMARY SEPARATION MANHOLE**
 - USING A SUPERMISSILE PUMP, PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY INTO THE EMPTY STORAGE MANHOLE UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
 - REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
 - CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
 - CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM TRUCK.

BAYSAYER INSTALLATION INSTRUCTIONS

- EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO SEPARATOR MANHOLE AND BAYSAYER UNIT. INSTALL PRECAST DROP STRUCTURES ON SOLID GROUND AS VERIFIED BY A GEOTECHNICAL ENGINEER.
- VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS.
- MAKING SURE THE BASES ARE LEVEL AND THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT, INSTALL PRIMARY AND STORAGE MANHOLES. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED. SEAL LIFT HOLES WITH NON-SHRINK GROUT.
- BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING APPROVED BACKFILL MATERIAL. BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL AND COMPACT SHOULD BE MONITORED BY A GEOTECHNICAL ENGINEER.
- INSTALL BAYSAYER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL SEPARATOR UNIT/STORM DRAIN JOINT COLLAR. CUT EXCESS LENGTH OFF CONNECTING PIPES INSIDE STORAGE MANHOLE.
- BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTOR EQUIPMENT MUST BE BACKFILLED WITH LEAN CONCRETE OR FLOWABLE FILL.
- INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENT RINGS AS NECESSARY.
- INSTALL AND SET MANHOLE FRAME AND COVER UNITS.

DISTANCE AC	FERROFITTING NO.	SHEAR RING
1K	7.0"	1055-66 SR-27
3K	10.6"	1056-1010 SR-39
5K	12.73"	1004-1010 SR-44

Project: STAYTON BUS. CTR. Designer: RIEMER MUEGGE
 Address: STAYTON DRIVE Contact: CHRIS REID
JESSUP, MD. Phone: 410-997-8400
20794 Fax: 410-997-9282
 Delivery Date: _____

Owner: _____ Contractor: _____
 Contact: _____ Address: _____
 Address: _____
 Contact: _____
 Phone: _____
 Fax: _____

Project: STAYTON BUS. CTR. Designer: RIEMER MUEGGE
 Address: STAYTON DRIVE Contact: CHRIS REID
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JESSUP, MD. Phone: 410-997-8400
20794 Fax: 410-997-9282
 Delivery Date: _____

Owner: _____ Contractor: _____
 Contact: _____ Address: _____
 Address: _____
 Contact: _____
 Phone: _____
 Fax: _____

BAYSAYER SYSTEM DIMENSIONS			
DESCRIPTION	1K SYSTEM	3K SYSTEM	5K SYSTEM
SEPARATOR MANHOLE DIMENSIONS			
A PRIMARY MANHOLE DIAMETER	48"	60"	72"
B MANHOLE DEPTH BELOW OUTLET	8" - 0"	8" - 0"	8" - 0"
C MINIMUM FLUID DEPTH	8" - 3"	8" - 4 1/2"	8" - 6"
STANDARD SEPARATOR UNIT DIMENSIONS			
D SEPARATOR UNIT ID	24"	36"	48"
E SEPARATOR UNIT LENGTH	60"	78.2"	75.4"
F BYPASS PLATE LENGTH	34"	45"	45"
G WEIR/BYPASS PLATE THICKNESS	3/4"	3/4"	3/4"
H ELBOW AND CONNECTING PIPE OD	7.125"	10.75"	12.75"
I ELBOW LENGTH	48"	48"	48"
J WEIR HEIGHT ABOVE INVERT	3"	4"	6"
K BYPASS PLATE HEIGHT ABOVE INVERT	12"	18"	24"
L WIDTH OF VEIR AT BASE	3"	4 1/2"	6"
M OUTLET PIPE DIAMETER	M	M	M
N ELBOW INVERT HEIGHT ABOVE UNIT INVERT	4 1/2"	7 1/2"	11"
O ELBOW PIPE OVERHANG	12"	18"	24"
STORAGE MANHOLE DIMENSIONS			
P STORAGE MANHOLE DIAMETER	48"	60"	72"
Q MANHOLE DEPTH BELOW INLET/OUTLET	48"	48"	48"
R FLUID DEPTH	8" - 0"	8" - 0"	8" - 0"
S TOTAL STORAGE VOLUME	200 CF	300 CF	450 CF
SYSTEM DIMENSIONS AND ELEVATIONS			
T SEPARATOR MANHOLE COVER ELEVATION	T	T	T
U STORAGE MANHOLE COVER ELEVATION	U	U	U
V SEPARATOR MANHOLE FLOOR ELEVATION	V	V	V
W STORAGE MANHOLE FLOOR ELEVATION	W	W	W
X INLET PIPE ID AND MATERIAL	X1	X1	X1
	X2	X2	X2
Y INLET PIPE INVERT	Y1	Y1	Y1
	Y2	Y2	Y2
Z SEPARATOR UNIT INVERT	Z	Z	Z
AA OUTLET PIPE ID AND MATERIAL	AA	AA	AA
AB ELBOW INVERT ELEVATION	AB	AB	AB
AC CONNECTING PIPE INVERT ELEVATION	AC	AC	AC
AD CONNECTION PIPE SPACING	25"	24"	24"
AE STORAGE MANHOLE SIDE OFFSET	72 ± 6"	72 ± 6"	72 ± 6"
AF STORAGE MANHOLE DOWNSTREAM OFFSET	25"	31"	25"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Director: _____ DATE: 9/20/99

Chief, Development Engineering Division: _____ DATE: 9/14/99

Chief, Division of Land Development: _____ DATE: 9/17/99

DATE NO. _____ REVISION _____

OWNER: JOSEPH J. HOOK
7272 PARKWAY DRIVE
HANOVER, MD. 21076
410-712-0018

DEVELOPER: HOOK/BAVAR STAYTON JOINT VENTURE, LLC
TIMONIUM ONE
1966 GREENSPRING DRIVE
SUITE # 500
TIMONIUM, MD 21093
410-560-0300

PROJECT: **STAYTON BUSINESS CENTER**
THREE WAREHOUSE BUILDINGS

AREA: ZONED M-2 TAX MAP NO. 4B
B.W.I.P. BLOCK B PARCEL F-1
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: **WATER QUALITY NOTES AND DETAILS**

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8900 fax 410.997.9282

DESIGNED BY: C.J.R.
 DRAWN BY: DAM
 PROJECT NO: 98369
 SDP13.DWG
 DATE: SEPTEMBER 2, 1999
 SCALE: AS SHOWN
 DRAWING NO. 16 OF 20

DATE: _____
 PROFESSIONAL ENGINEER
 ARTHUR E. MUEGGE #8707

TABLE 3.2 - BAYSAYER DESIGN GUIDE

Baysaver Separator Unit	Treatment Capacity	By-Pass Capacity
1 K	2.4 cfs	8.80 cfs
3 K	7.2 cfs	24.5 cfs
5 K	11.1 cfs	39.6 cfs

Impervious Drainage Area

Area	Acres
WQ-1	1.48 Acres
WQ-2	4.48 Acres
WQ-3	4.62 Acres

Baysaver Separator Unit	Baysaver Manhole Sizes (prim. x stor.)	Maximum Treatment (cfs)*1	Maximum Treatment (gpm)*1	Impervious Area (acres)
1K Baysaver Separator	48x48	2.4	1076	1.2
	48x50	2.4	1076	1.4
	48x72	2.4	1076	1.6
3K Baysaver Separator	60x60	7.2	3231	3.6 WQ-1
	60x72	7.2	3231	4.1
	60x90	7.2	3231	4.4
5K Baysaver Separator	72x72	11.1	4981	5.5 WQ-2,3
	72x84	11.1	4981	5.5
	72x96	11.1	4981	8.0

Separator Unit Model:
 1K 3K 5K

Circle system orientation above

Manhole Specifications:
 Primary Manhole Diameter: 48 inches
 Storage Manhole Diameter: 72 inches
 Floor Elevations:
 Primary Manhole 192.45
 Storage Manhole 192.45
 Primary Manhole Inverts:
 Separator Unit 200.45
 Inlet Pipe(s) 200.72

Please show orientation (including angle), size and material of inlet pipes above.

Cover Elevations:
 Primary Manhole 212.50
 Storage Manhole 212.50

WQ-1/WQ-1A

Separator Unit Model:
 1K 3K 5K

Circle system orientation above

Manhole Specifications:
 Primary Manhole Diameter: 60 inches
 Storage Manhole Diameter: 84 inches
 Floor Elevations:
 Primary Manhole 190.20
 Storage Manhole 190.20
 Primary Manhole Inverts:
 Separator Unit 198.20
 Inlet Pipe(s) 198.88

Please show orientation (including angle), size and material of inlet pipes above.

Cover Elevations:
 Primary Manhole 209.0
 Storage Manhole 209.0

WQ-2/WQ-2A

Separator Unit Model:
 1K 3K 5K

Circle system orientation above

Manhole Specifications:
 Primary Manhole Diameter: 60 inches
 Storage Manhole Diameter: 84 inches
 Floor Elevations:
 Primary Manhole 190.00
 Storage Manhole 190.00
 Primary Manhole Inverts:
 Separator Unit 204.50
 Inlet Pipe(s) 204.88

Please show orientation (including angle), size and material of inlet pipes above.

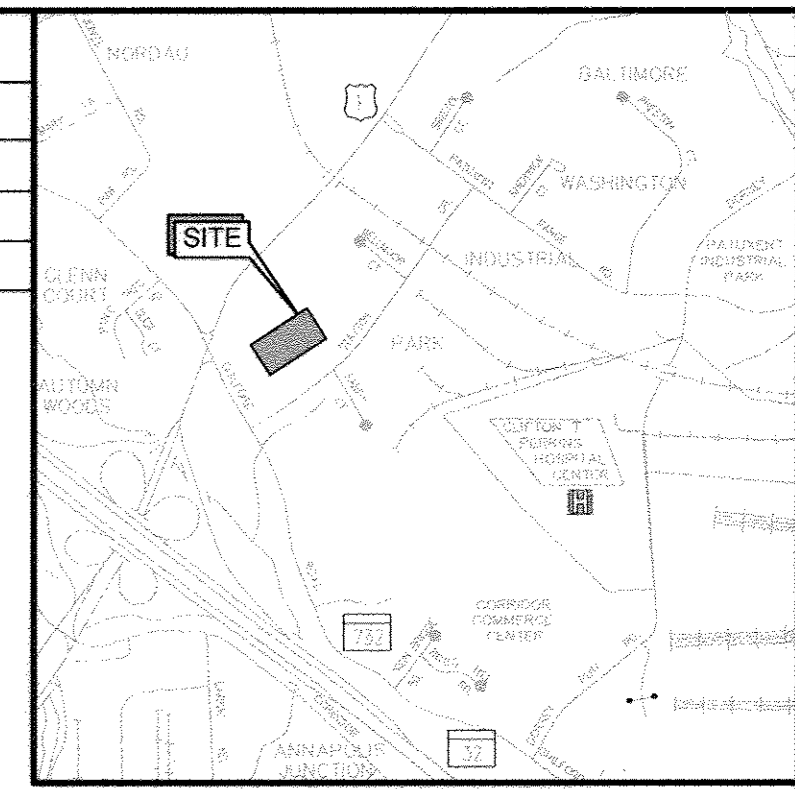
Cover Elevations:
 Primary Manhole 215.5
 Storage Manhole 215.0
214.66

WQ-3/WQ-3A

AS-BUILT CERTIFICATE

DATE: 2-5-02
 BY: CHRISTOPHER J. REID #19949
 PROJECT: AS-BUILT CERTIFICATE

BENCHMARK DATA			
BM	NORTHING	EASTING	ELEVATION
1	537,938.07	1,366,898.17	212.60
2	537,906.94	1,366,905.03	211.47
3	537,827.36	1,366,986.36	210.74

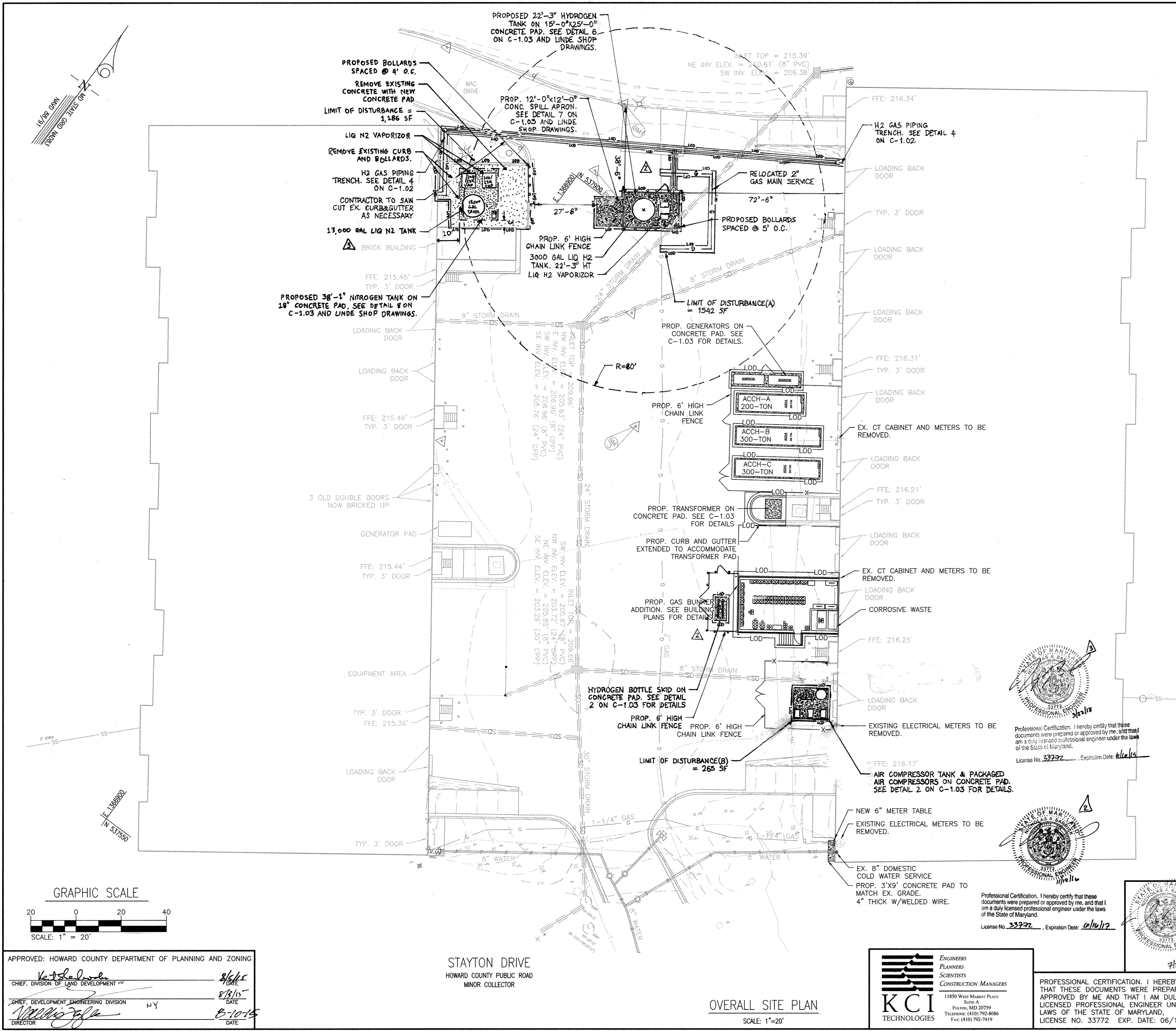


GENERAL NOTES

- OWNER / APPLICANT: HOCK/BAVAR STAYTON JOINT VENTURE LLC.
1954 GREENSPRING DR STE 400
TIMONIUM, MARYLAND 21093
- TAX ACCOUNT NO.: 562108
- PROPERTY REFERENCE: TAX MAP 48, GRID 01, PARCEL 0164
- ZONING: CE-CLI (CORRIDOR EMPLOYMENT - CONTINUING LIGHT INDUSTRIAL)
- LIMIT OF DISTURBANCE: 3171.37 SQFT
- EXISTING USE: MEDICAL LABORATORY
- PROPOSED USE: MEDICAL LABORATORY
- AREA OF SITE: 12.59 ACRES
- DEED REFERENCE: L.4976/ F.232
- THIS IS A FIELD RUN SURVEY BY KCI TECHNOLOGIES INC. ON JANUARY 2015.
- NGS CORPS STATIONS FODE AND UMCB WERE USED TO ESTABLISH SURVEY CONTROL POINTS ON SITE. THE HORIZONTAL DATUM IS 83/CORPS AND THE VERTICAL DATUM IS NAVD 1988.
- UTILITY INVERT ELEVATIONS WILL BE ADDED AT A LATER DATE IF AVAILABLE.
- PROPERTY OUTLINE WAS NOT IN THE SCOPE OF WORK.
- CONCRETE STRENGTH SHALL BE 4000 PSI @ 28 DAYS
- WATER / CEMENT RATIO = 0.45

LEGEND

- ⊙ SANITARY MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ GAS METER
- ⊕ LIGHT POLE
- ⊕ WATER METER
- ⊕ ELECTRIC JUNCTION BOX
- ⊕ BORING
- ⊕ BOLLARD POST
- ⊕ DECIDUOUS TREE
- ⊕ CONIFEROUS TREE
- ⊕ SIGN
- FF: FIRST FLOOR ELEVATION
- △ TRAVERSE POINT
- ⊕ GAS VALVE
- ⊕ GUY WIRE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ CLEANOUT
- ⊕ TELEPHONE JUNCTION BOX
- W — UNDERGROUND WATER LINE
- X — FENCE LINE
- SS — UNDERGROUND SANITARY SEWER LINE
- T — UNDERGROUND TELEPHONE LINE
- SD — UNDERGROUND STORM DRAIN LINE
- E — UNDERGROUND ELECTRIC LINE
- G — UNDERGROUND GAS LINE
- FO — UNDERGROUND FIBER OPTICS LINE
- ▭ PROPOSED CONCRETE
- LOD — LIMIT OF DISTURBANCE



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 33732, Expiration Date: 06/16/17

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 33732, Expiration Date: 06/16/17

REVISIONS		
NO.	DATE	BY
1	3/20/18	REPLACE EXISTING NITROGEN TANK
2	11/18/16	REVISED TANK LOCATION AND ADDITIONAL FENCING
3	7/27/15	ADDED GENERATORS, TRANSFORMER AND FENCING

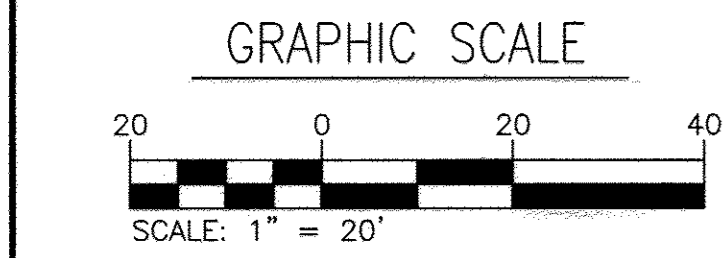
STAYTON BUSINESS CENTER
OVERALL SITE PLAN

THREE WAREHOUSE BUILDINGS
TAX MAP: 48 B.W.I.P. BLOCK B PARCEL: F-1
ZONED: CE-CLI
ELECTION DISTRICT NO. 06 - HOWARD COUNTY MARYLAND

OWNER:
JOSEPH J. HOCK
7272 PARKWAY DRIVE
HANOVER, MD 21076
410-712-0018

DEVELOPER:
HOCK/BAVAR STAYTON
JOINT VENTURE, LLC
TIMONIUM ONE
1966 GREENSPRING DRIVE
SUITE #508
TIMONIUM, MD 21093

DESIGN THM DATE 5/28/15
DRAWN AKI SCALE 1"=20'
KCI PROJECT NO. 27157362
SHEET NO. 17 OF 20
SHEET NO. C-1.00



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

HOWARD COUNTY PUBLIC ROAD
MINOR COLLECTOR

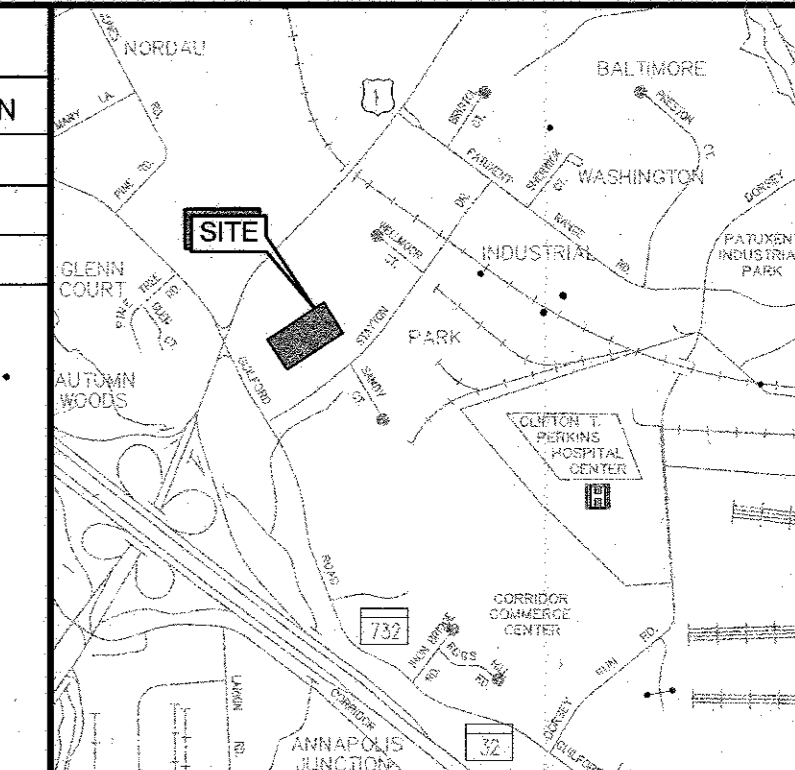
DATE: 8/16/18
DATE: 8/10/18

OVERALL SITE PLAN
SCALE: 1"=20'

KCI TECHNOLOGIES
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
11850 WEST MARKET PLACE
SUITE 1A
FULTON, MD 20759
TELEPHONE: (410) 792-8886
FAX: (410) 792-7419

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 33772 EXP. DATE: 06/16/2017

BENCHMARK DATA			
BM	NORTHING	EASTING	ELEVATION
1	537,938.07	1,366,898.17	212.60
2	537,906.94	1,366,905.03	211.47
3	537,827.36	1,366,986.36	210.74

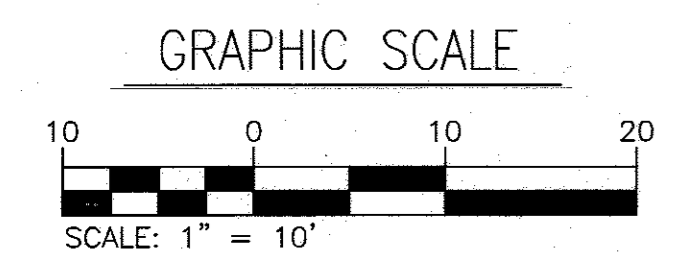
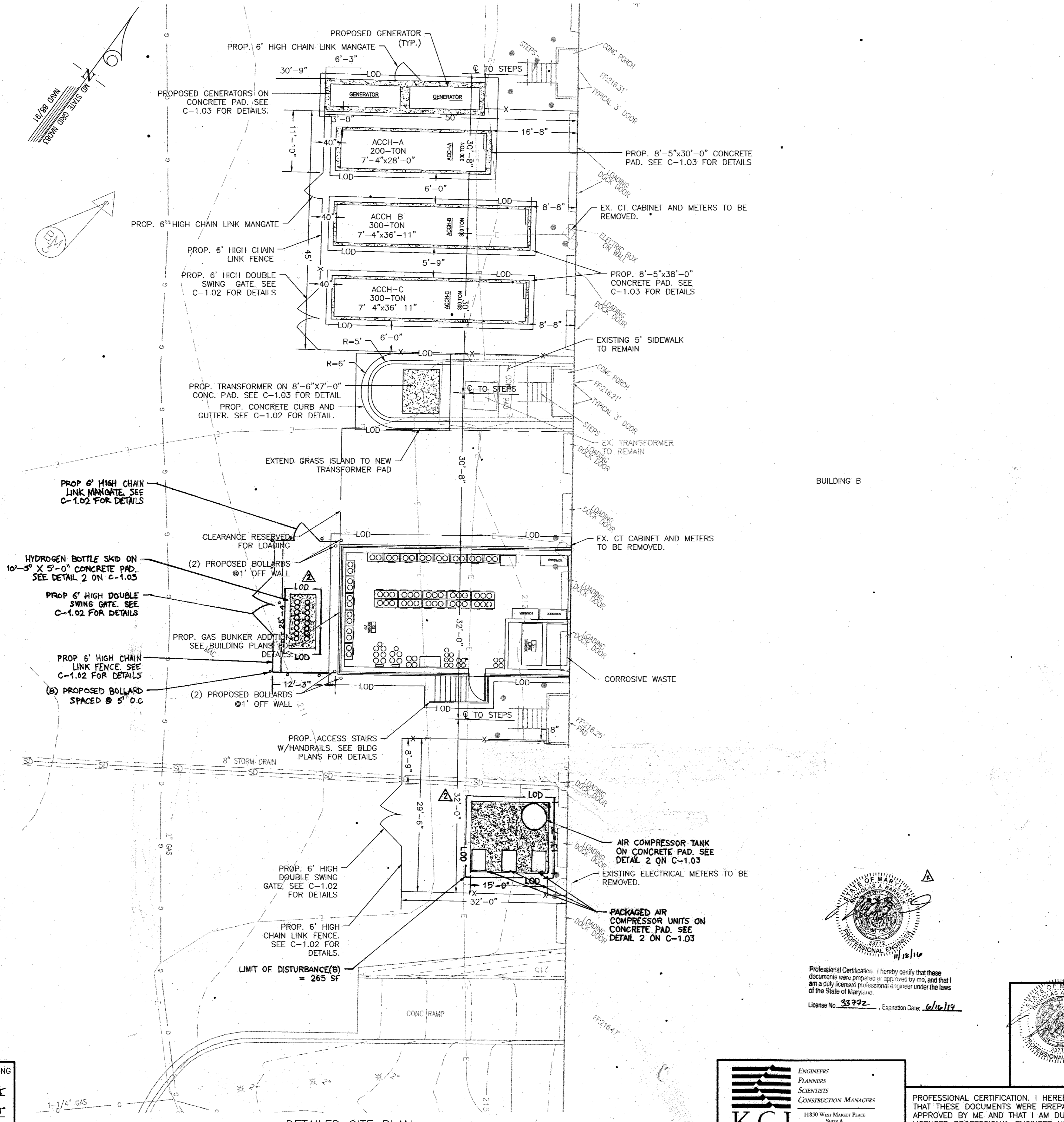


VICINITY MAP
SCALE: 1" = 2000'
ADC MAP 41A3

- GENERAL NOTES**
- OWNER / APPLICANT: HOCK/BAVAR STAYTON JOINT VENTURE LLC.
1954 GREENSPRING DR STE 400
TIMONIUM, MARYLAND 21093
 - TAX ACCOUNT NO.: 562108
 - PROPERTY REFERENCE: TAX MAP 48, GRID 01, PARCEL 0164
 - ZONING: CE-CLI (CORRIDOR EMPLOYMENT - CONTINUING LIGHT INDUSTRIAL)
 - LIMIT OF DISTURBANCE: 3171.37 SQFT
 - EXISTING USE: MEDICAL LABORATORY
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 - AREA OF SITE: 12.59 ACRES
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 - THIS IS A FIELD RUN SURVEY BY KCI TECHNOLOGIES INC. ON JANUARY 2015.
 - NGS CORPS STATIONS FODE AND UMBC WERE USED TO ESTABLISH SURVEY CONTROL POINTS ON SITE. THE HORIZONTAL DATUM IS 83/CORPS AND THE VERTICAL DATUM IS NAVD 1988.
 - UTILITY INVERT ELEVATIONS WILL BE ADDED AT A LATER DATE IF AVAILABLE.
 - PROPERTY OUTLINE WAS NOT IN THE SCOPE OF WORK.
 - CONCRETE STRENGTH SHALL BE 4000 PSI @ 28 DAYS
 - WATER / CEMENT RATIO = 0.45

LEGEND

(S)	SANITARY MANHOLE	(V)	GAS VALVE
(E)	ELECTRIC MANHOLE	(W)	GUY WIRE
(M)	GAS METER	(H)	WATER VALVE
(L)	LIGHT POLE	(F)	FIRE HYDRANT
(W)	WATER METER	(C)	CLEANOUT
(EJ)	ELECTRIC JUNCTION BOX	(T)	TELEPHONE JUNCTION BOX
(B)	BORING	(UW)	UNDERGROUND WATER LINE
(BP)	BOLLARD POST	(X)	FENCE LINE
(DT)	DECIDUOUS TREE	(SS)	UNDERGROUND SANITARY SEWER LINE
(CT)	CONIFEROUS TREE	(T)	UNDERGROUND TELEPHONE LINE
(S)	SIGN	(SD)	UNDERGROUND STORM DRAIN LINE
(FF)	FIRST FLOOR ELEVATION	(E)	UNDERGROUND ELECTRIC LINE
(TP)	TRAVERSE POINT	(G)	UNDERGROUND GAS LINE
		(FO)	UNDERGROUND FIBER OPTICS LINE
		(C)	PROPOSED CONCRETE
		(LOD)	LIMIT OF DISTURBANCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

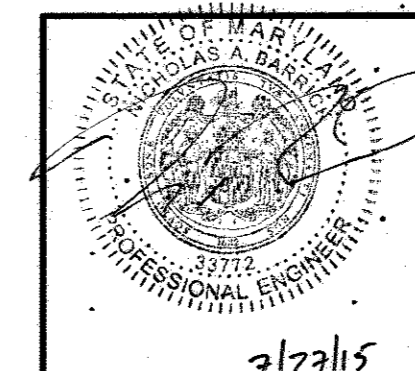
Kathleen Lamb
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 8/5/15

William J. Goffe
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 8/3/15

William J. Goffe
DIRECTOR
DATE: 8/10/15

DETAILED SITE PLAN
SCALE: 1"=10'

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 33792, Expiration Date: 6/16/19

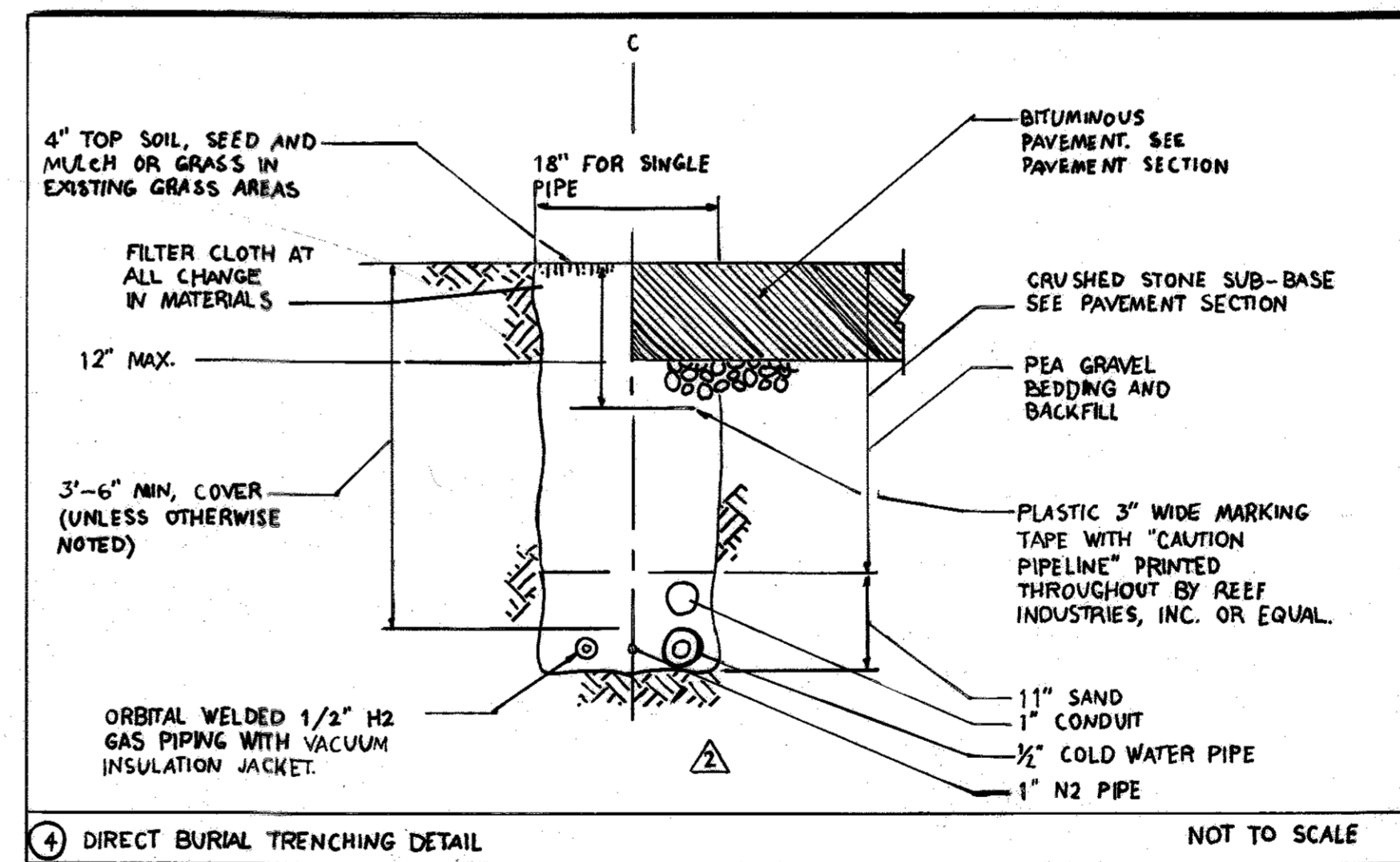
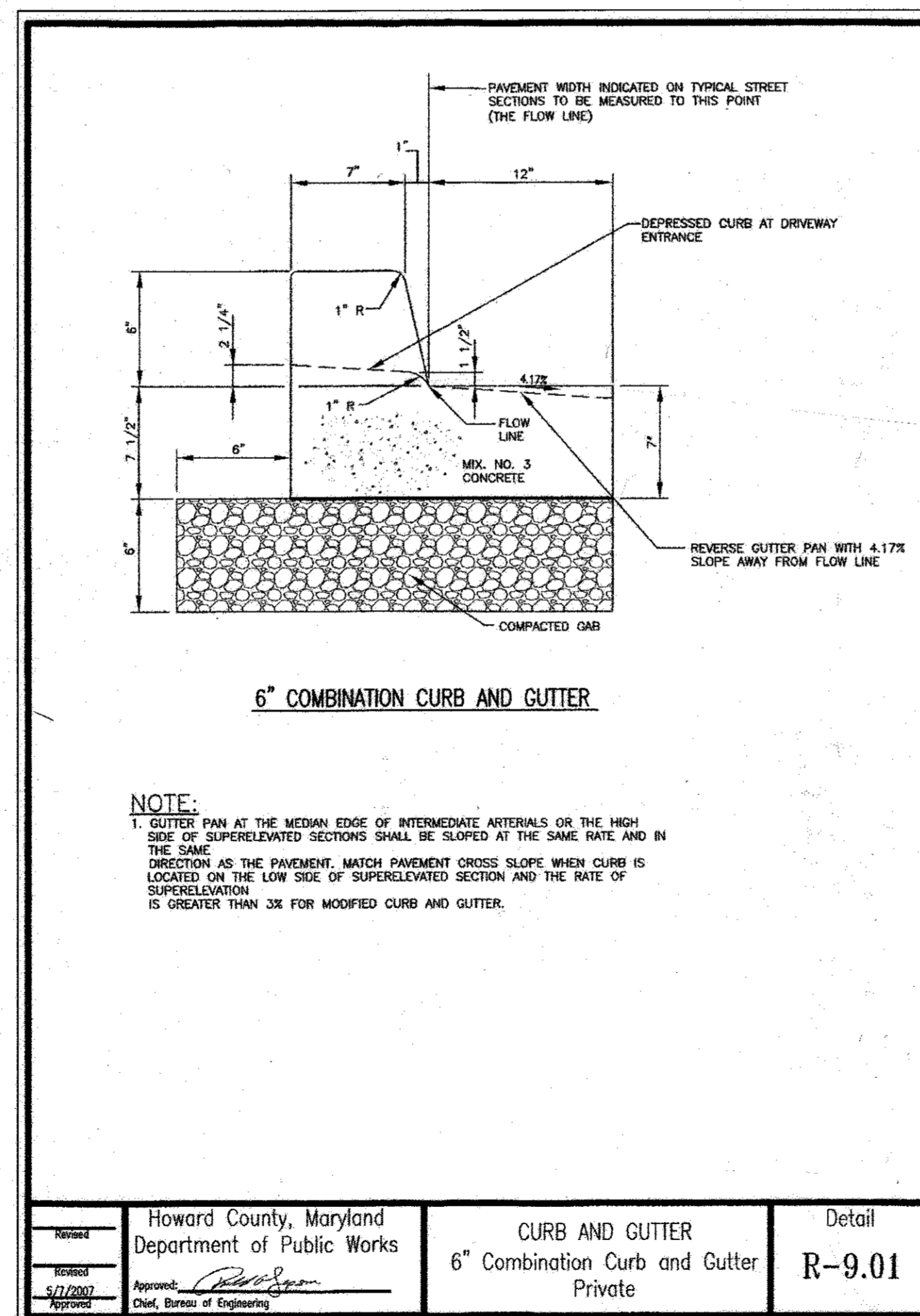
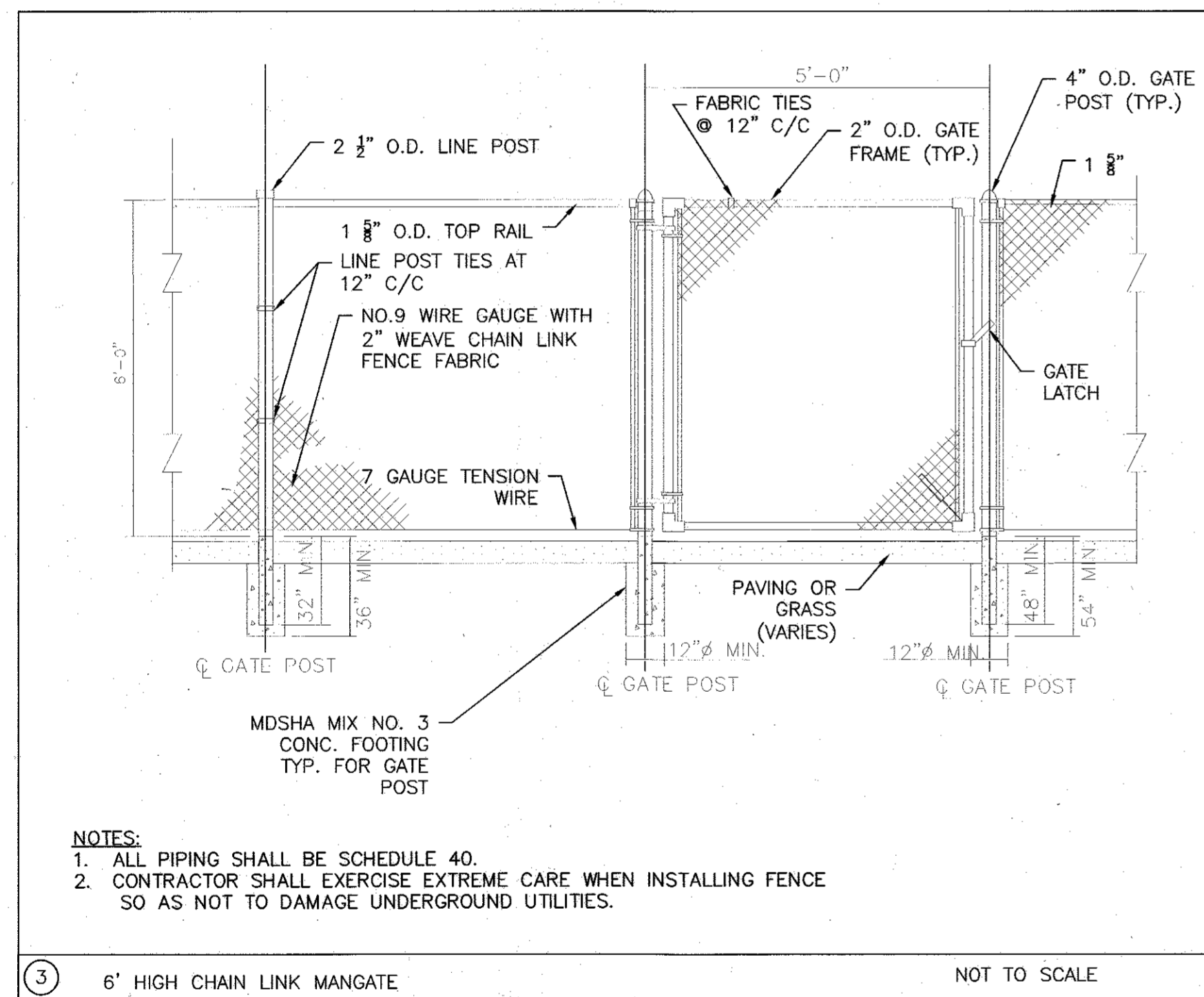
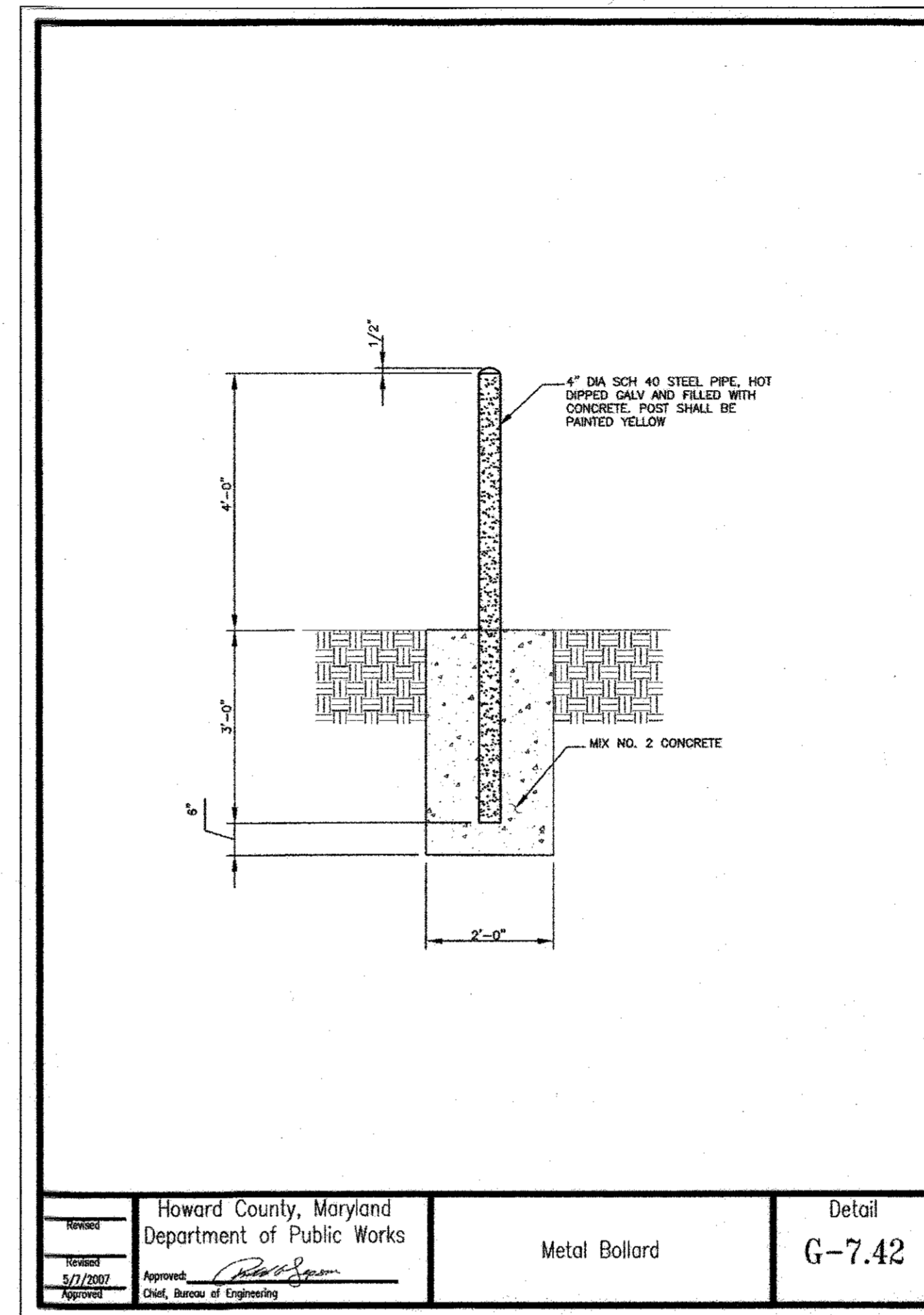
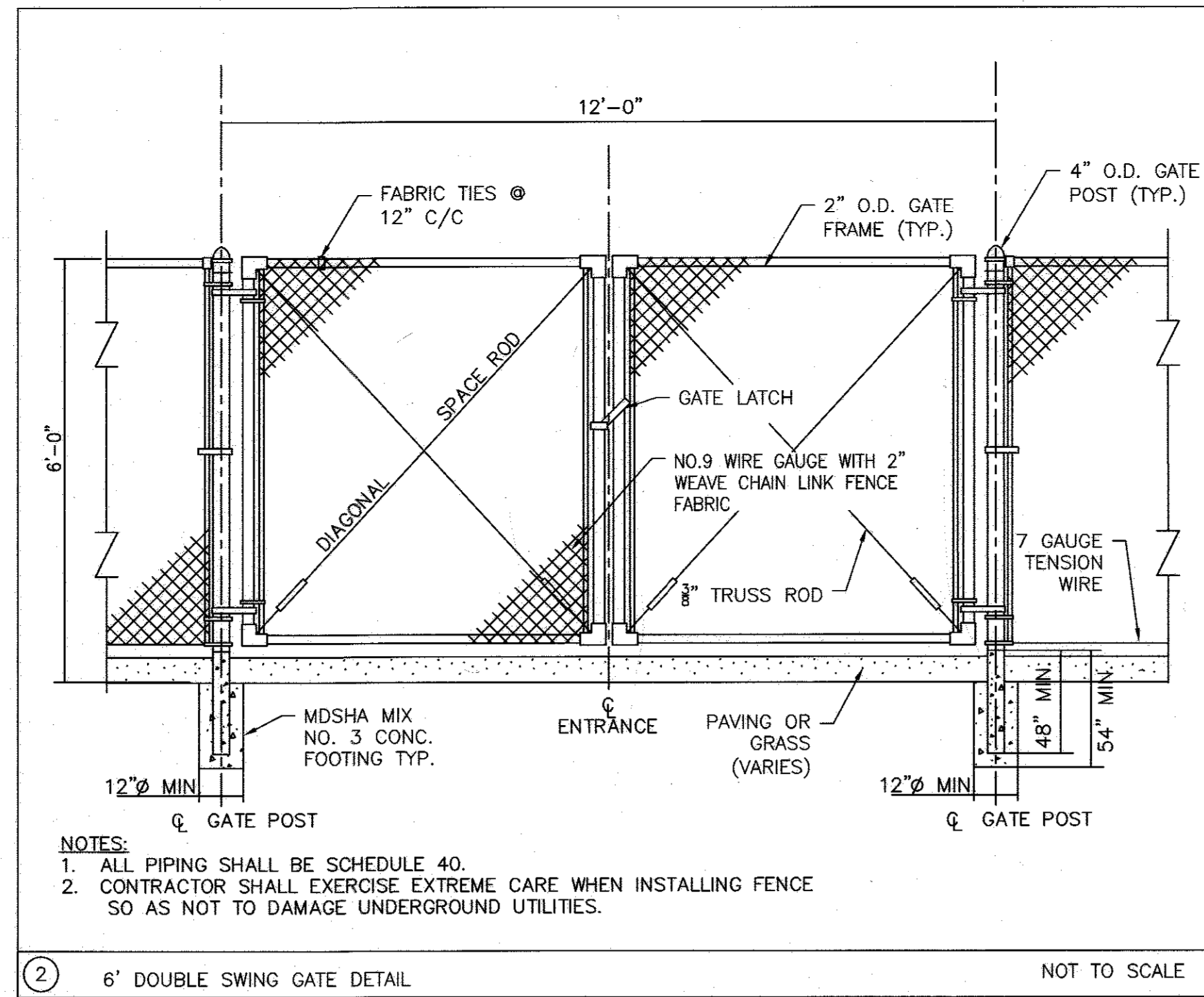
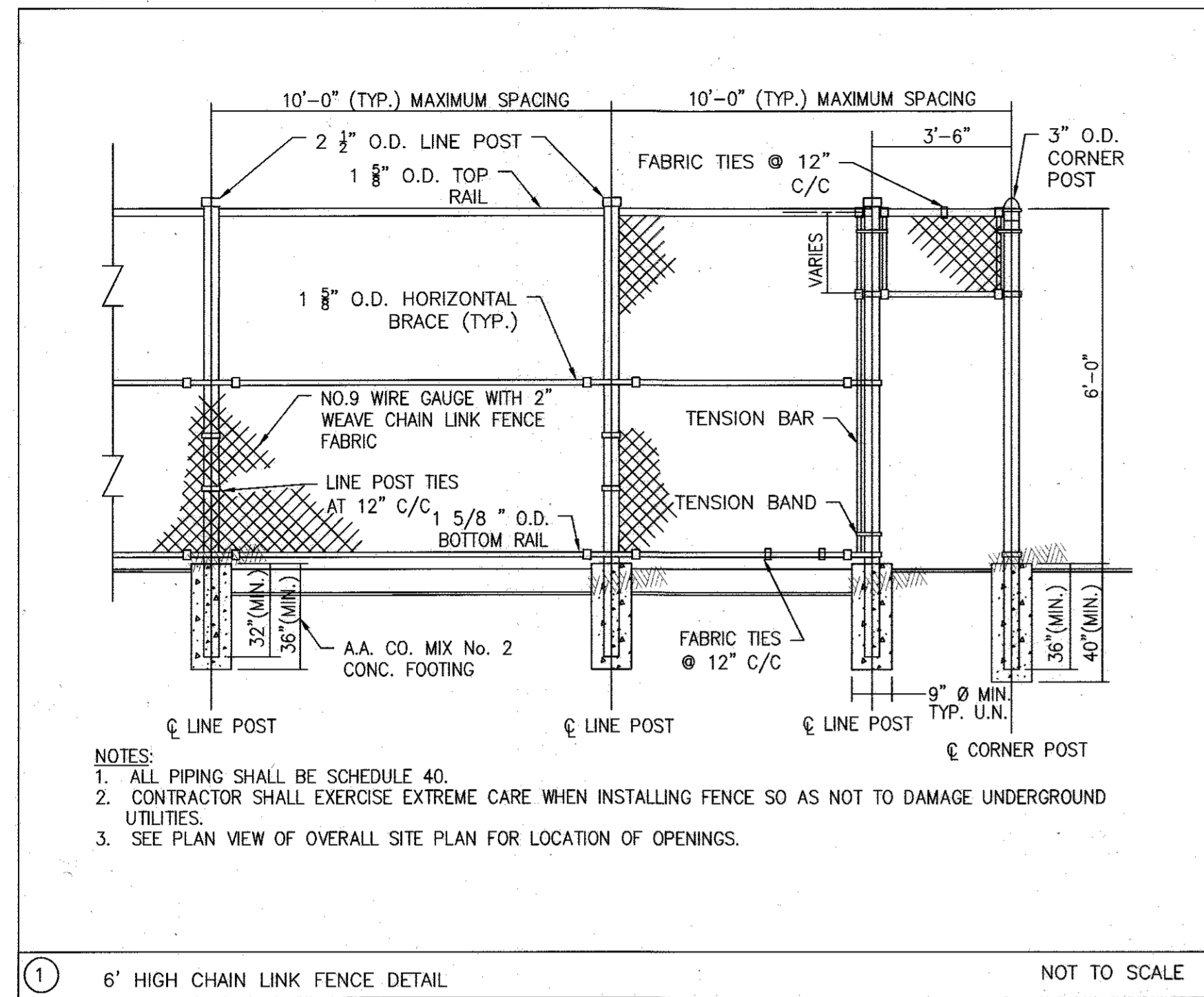


REVISIONS		
NO.	DATE	BY
1	7/27/15	ADDED GENERATORS, TRANSFORMER AND FENCING
2	11/18/16	REVISED TANK LOCATION AND ADDITIONAL FENCING

OWNER: JOSEPH J. HOCK 7272 PARKWAY DRIVE HANOVER, MD 21076 410-712-0018		STAYTON BUSINESS CENTER DETAILED SITE PLAN	
DEVELOPER: HOCK/BAVAR STAYTON JOINT VENTURE, LLC TIMONIUM ONE 1956 GREENSPRING DRIVE SUITE #508 TIMONIUM, MD 21093			
THREE WAREHOUSE BUILDINGS TAX MAP: 48 B.W.I.P BLOCK B PARCEL: F-1 ZONED: CE-CLI ELECTION DISTRICT NO. 06 - HOWARD COUNTY MARYLAND		DESIGN THM	DATE 5/28/15
DRAWN AKI		SCALE 1"=10'	KCI PROJECT NO. 27157362 SHEET NO. 18 OF 20
		SHEET NO. C-1.01	



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 33772 EXP. DATE: 06/16/2017

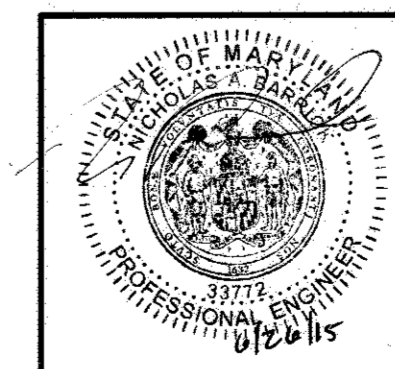


Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 33722, Expiration Date: 06/16/17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Kestlebrook 8/5/15
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE
 8/11/15
 DATE
 B-10-15
 DATE

ENGINEERS
 PLANNERS
 SCIENTISTS
 CONSTRUCTION MANAGERS
KCI
 TECHNOLOGIES
 11850 West Market Place
 Suite A
 FULTON, MD 20759
 Telephone: (410) 792-8086
 Fax: (410) 792-7419

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772 EXP. DATE: 06/16/2017



REVISIONS		
NO.	DATE	BY
1	7/27/15	ADDED DETAILS
2	11/10/16	ADDED H2 TANK AND SPILL PAD DETAILS

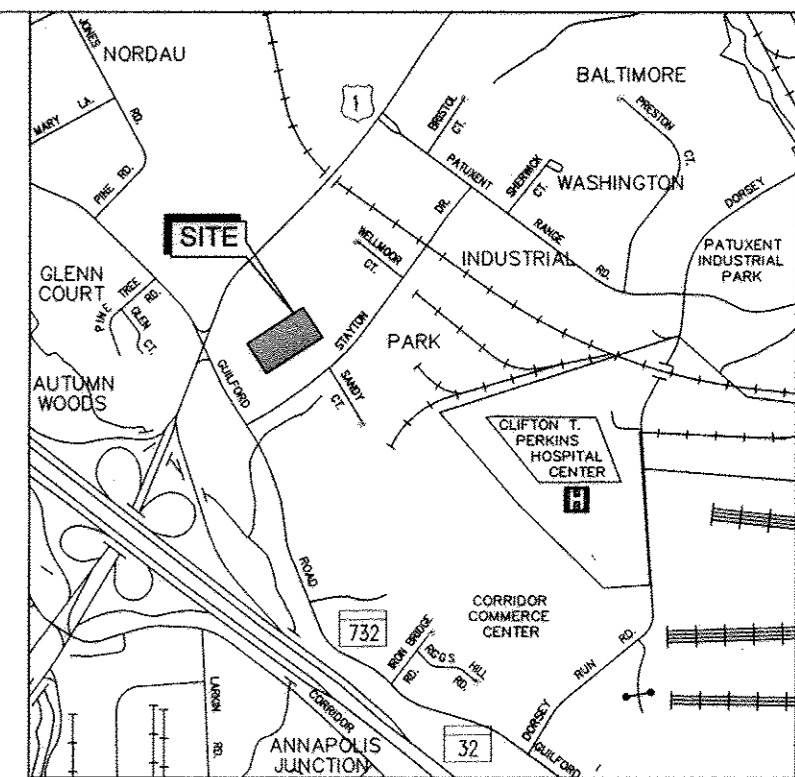
OWNER:
 JOSEPH J. HOCK
 7272 PARKWAY DRIVE
 HANOVER, MD 21076
 410-712-0018

DEVELOPER:
 HOCK/BAVAR STAYTON
 JOINT VENTURE, LLC
 TIMONIUM ONE
 1966 GREENSPRING DRIVE
 SUITE #508
 TIMONIUM, MD 21093

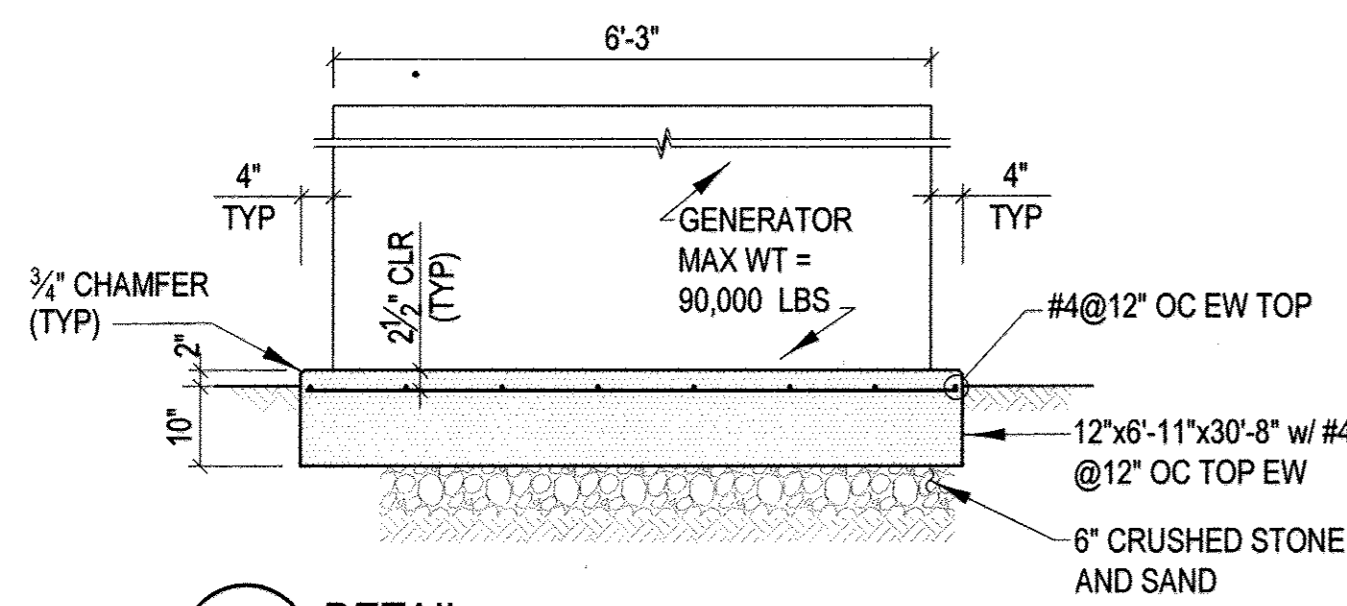
STAYTON BUSINESS CENTER
 SITE DETAILS

THREE WAREHOUSE BUILDINGS
 TAX MAP: 48 B.W.L.P. BLOCK B PARCEL: F-1
 ZONED: CE-CU
 ELECTION DISTRICT NO. 06 - HOWARD COUNTY MARYLAND

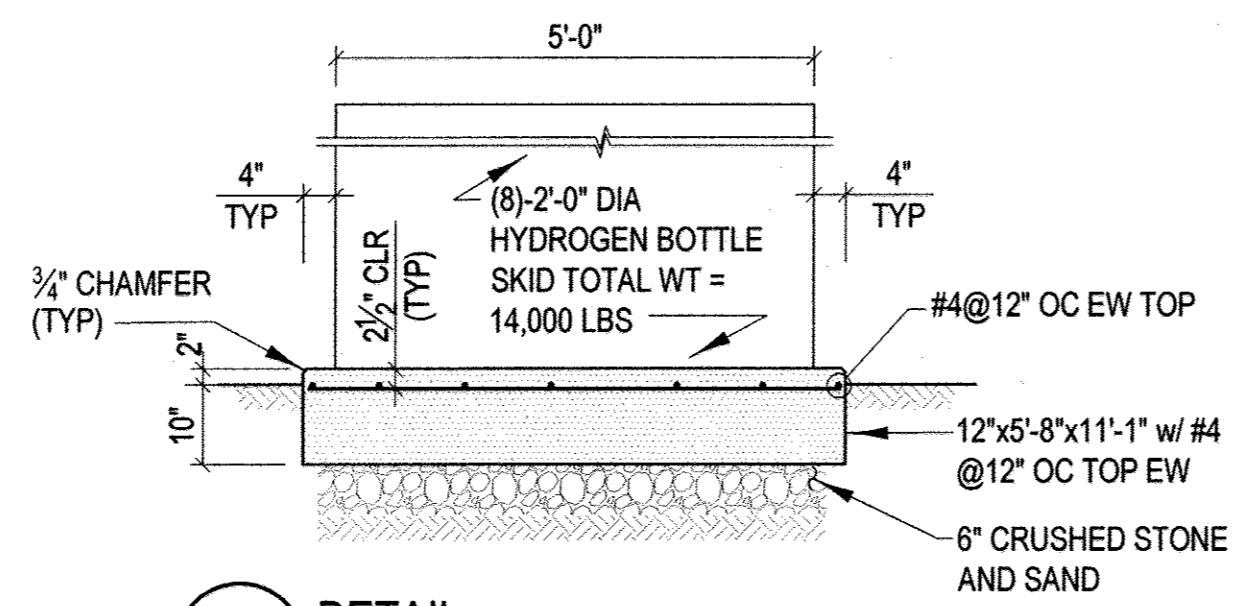
DESIGN DATE: THM 5/28/15
 DRAWN SCALE: AKI
 KCI PROJECT NO. 27157362
 SHEET NO. 19 OF 20
 SHEET NO. C-1.02



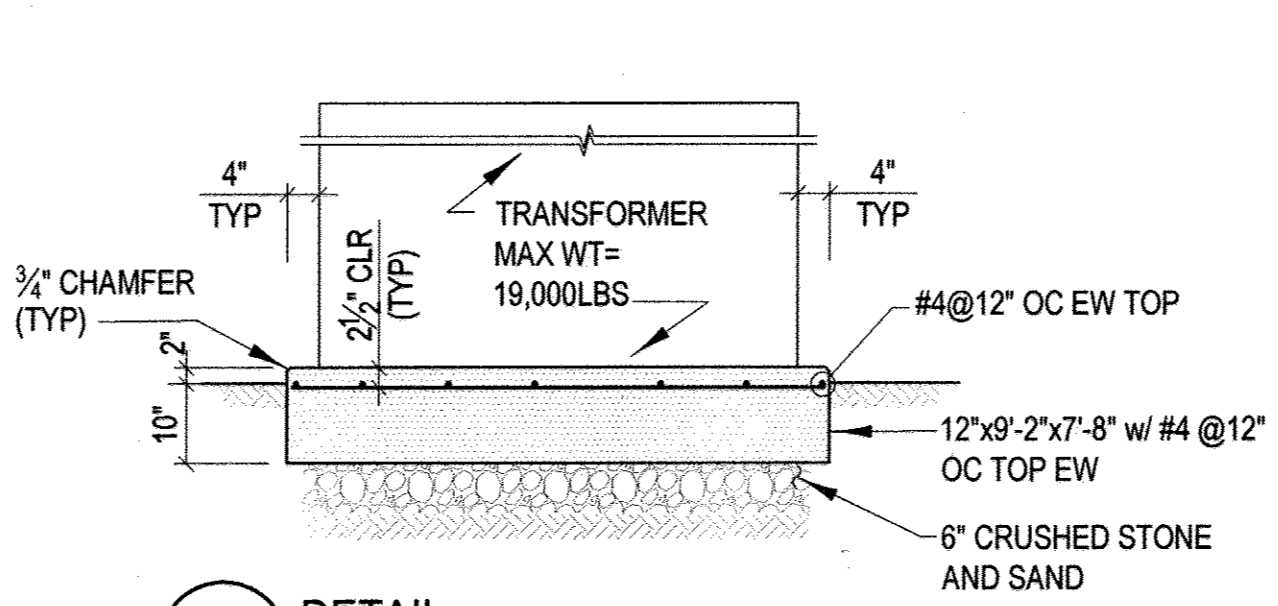
VICINITY MAP
SCALE: 1" = 2000'
ADC MAP 41A5



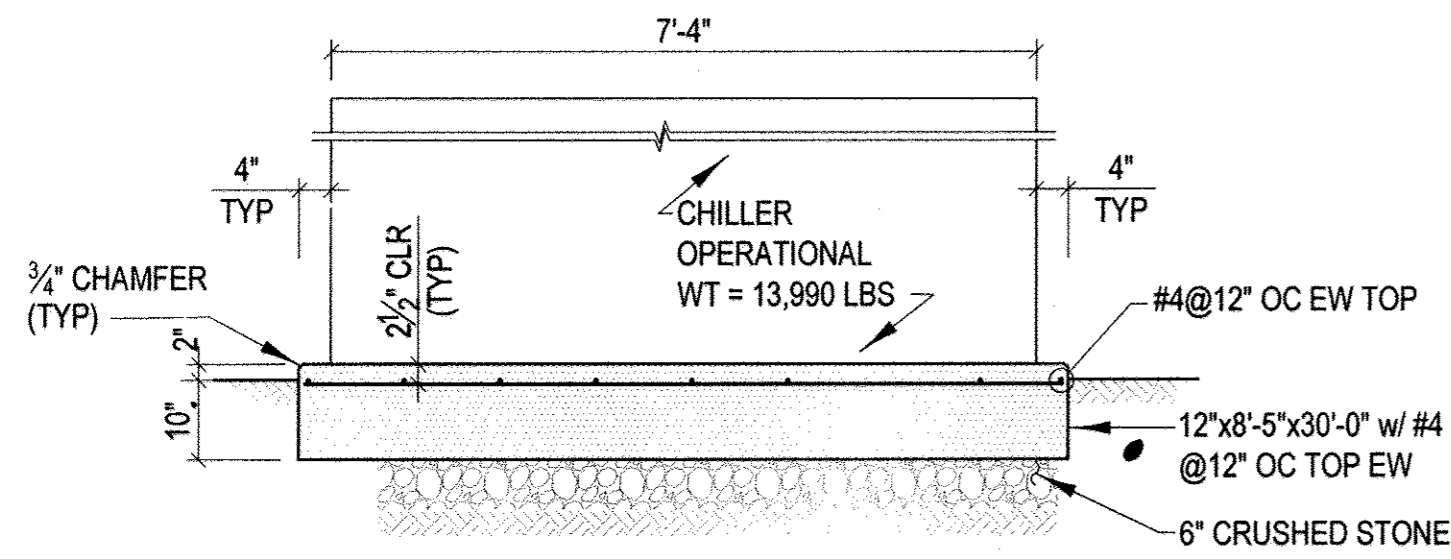
1 DETAIL - TYPICAL GENERATOR CONCRETE PAD
C-1.03
SCALE AT FULL SIZE 1/2"=1'-0"



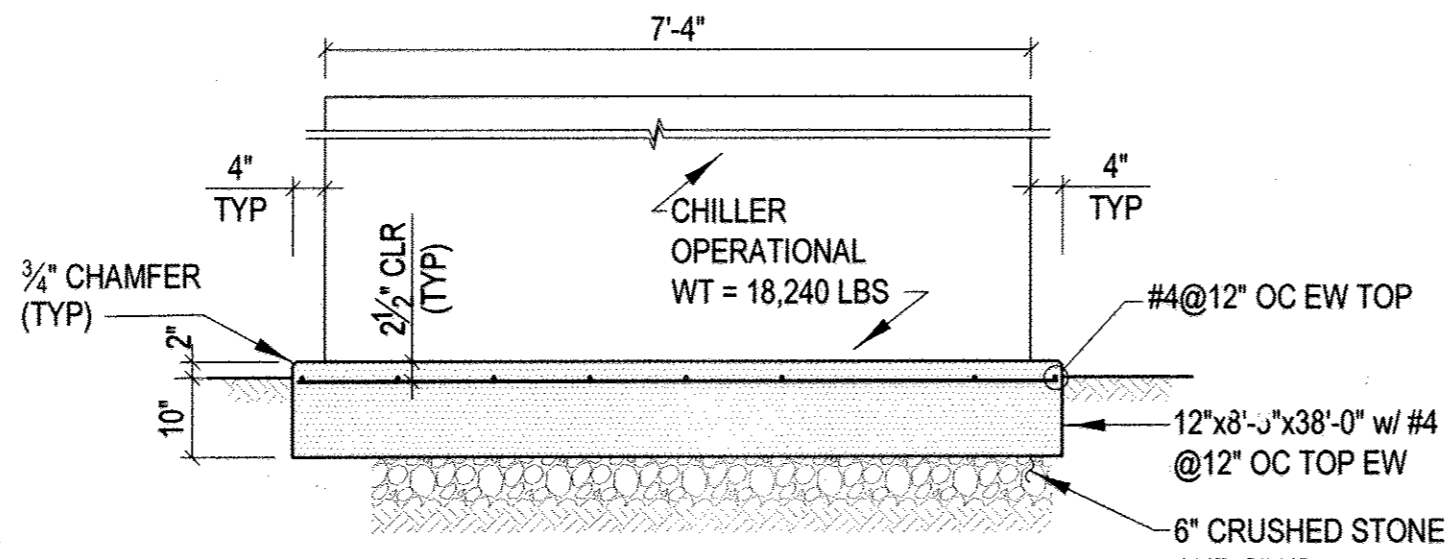
2 DETAIL - TYPICAL HYDROGEN BOTTLE SKID CONCRETE PAD
C-1.03
SCALE AT FULL SIZE 1/2"=1'-0"



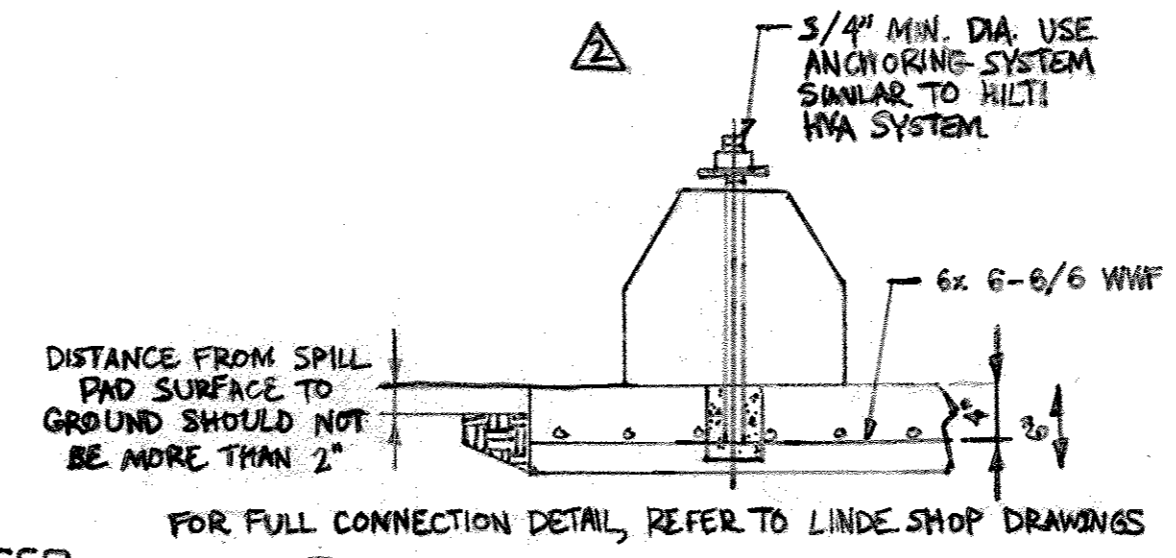
3 DETAIL - TYPICAL TRANSFORMER CONCRETE PAD
C-1.03
SCALE AT FULL SIZE 1/2"=1'-0"



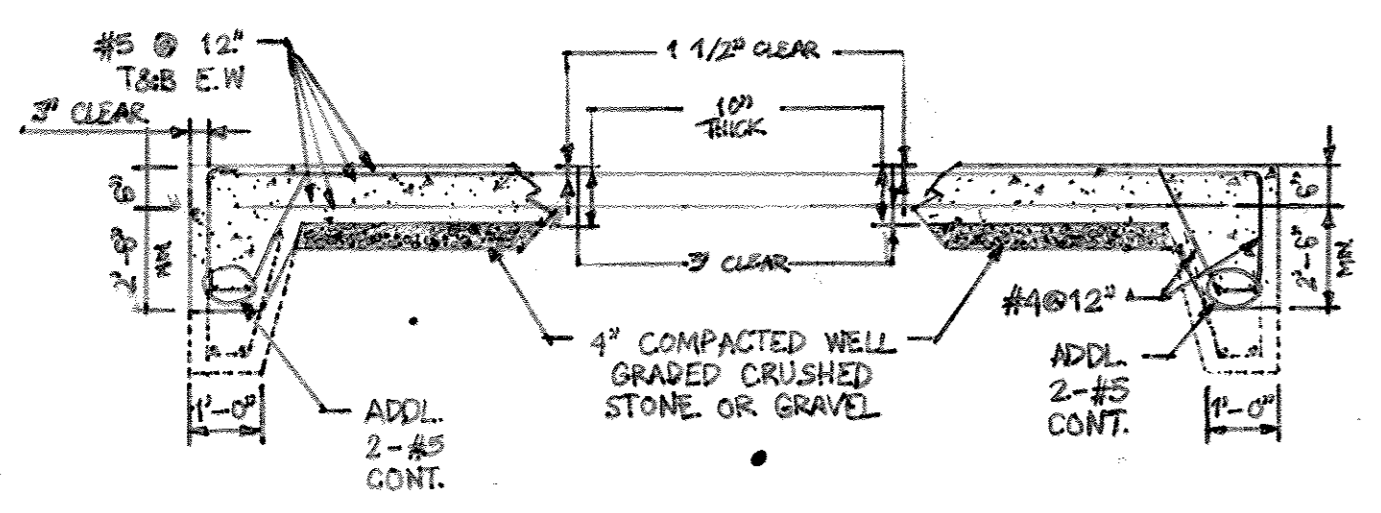
4 DETAIL - TYPICAL 200 TON CHILLER CONCRETE PAD
C-1.03
SCALE AT FULL SIZE 1/2"=1'-0"



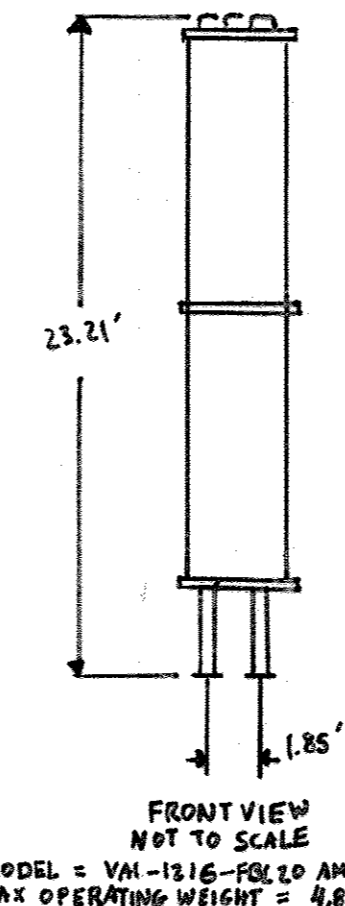
5 DETAIL - TYPICAL 300 TON CHILLER CONCRETE PAD
C-1.03
SCALE AT FULL SIZE 1/2"=1'-0"



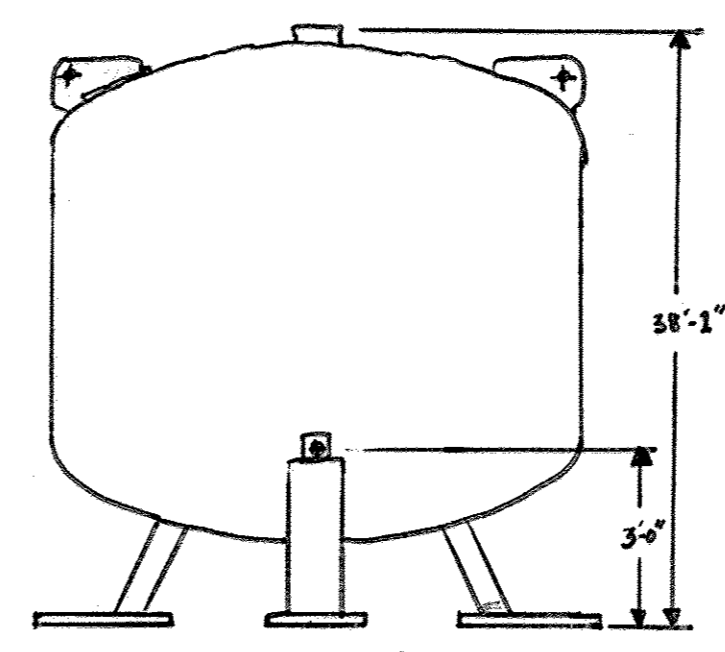
7 DETAIL - CONCRETE SPILL PAD
C-1.03
NOT TO SCALE



6 DETAIL - 3000 GALLON VERTICAL TANK CONCRETE PAD
C-1.03
NOT TO SCALE



8 DETAIL - 13,000 GALLON VERTICAL TANK CONCRETE PAD
C-1.03
NOT TO SCALE



9 DETAIL - 3000 GALLON VERTICAL TANK CONCRETE PAD
C-1.03
NOT TO SCALE

- NOTES:
- THE SITE SHALL BE CLEARED OF ALL ORGANIC DEBRIS AND TOP SOIL.
 - DRAINAGE SHALL BE AWAY FROM SPILL APRON.
 - SOIL BEARING SHALL NOT BE LESS THAN 2,000 PSF MIN.
 - THE CONCRETE WORK SHALL DEVELOP A MIN. ULT. COMP STRENGTH OF 4,000 PSI AT 28 DAYS.
 - CONCRETE SEALANTS ARE NOT TO BE APPLIED TO PAD OR SPILL APRON.
 - CONCRETE WORK SHALL CONFORM TO ACI STD. 318 LAST REV.
 - SPILL APRON TO BE CENTERED WITH THE TANK FILL CONNECTION.
 - SURFACE OF THE SPILL APRON IS TO BE LEVEL AND LIGHT BROOM FINISHED.
 - LOCATION, SPACING AND NUMBER OF BOLLARDS TO SUIT CONDITIONS. ALSO, PROVIDE CLEARANCE BETWEEN BOLLARDS TO ACCOMMODATE OPENING OF THE GATE.
 - ALL CONCRETE JOINTS IN THE IMMEDIATE AREA OF THE TANK SHALL BE FILLED WITH AN APPROVED OXYGEN COMPATIBLE FLEXIBLE EPOXY JOINT SEALER SUCH AS CHEM SEAL CS-2127. CS-2127 MAY BE OBTAINED FROM CHEM SEAL, A DIVISION OF FLAMEMASTER CORP. 11420 SHERMAN WAY, SUN VALLEY CALIFORNIA 91352. TELEPHONE NO. 818-380-1401.
 - THE LOCATION OF THE TRAILER REAR TANDEN WARES ON DIFFERENT MODELS OF LHZ TRAILERS; THEREFORE, THE LOCATION OF WHEEL BUMPERS IS TO BE FIELD DETERMINED.
 - MAXIMUM HEIGHT OF SPILL PAD ABOVE GRADE SHALL BE 2"

STATE OF MARYLAND
PROFESSIONAL ENGINEER
FOR REV. 3 ONLY
2.21.18
Professional Certification. I hereby certify these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 40953, Expiration Date: 7.21.19

TABLE 2 ANCHOR BOLT SIZES AND EMBEDMENT CHECKS

EQUIPMENT	WIND ≤ 140 MPH SEISMIC 0.05s/15%g				440 L WIND & 140 MPH SEISMIC 0.05s/15%g				WIND ≤ 140 MPH SEISMIC 0.05s/15%g				WIND ≤ 140 MPH SEISMIC 0.05s/15%g			
	ANCHOR TYPE	ANCHOR QUANTITY	ANCHOR DIAMETER	EMBEDMENT	ANCHOR TYPE	ANCHOR QUANTITY	ANCHOR DIAMETER	EMBEDMENT	ANCHOR TYPE	ANCHOR QUANTITY	ANCHOR DIAMETER	EMBEDMENT	ANCHOR TYPE	ANCHOR QUANTITY	ANCHOR DIAMETER	EMBEDMENT
NVE VCS 3000	HIT-RE 500-SD	3	3/4	6-5/8	HIT-RE 500-SD	3	3/4	6-5/8	HIT-RE 500-SD	3	3/4	6-5/8	HIT-RE 500-SD	3	3/4	6-5/8
CRYOQUIP HAI 812-F-7	HIT-RE 500-SD	4	5/8	3-0	HIT-RE 500-SD	4	5/8	3-0	HIT-RE 500-SD	4	5/8	3-0	HIT-RE 500-SD	4	5/8	3-0
VAPORIZER # 5A	RWK BOLT 3	4	3/4	3-0	RWK BOLT 3	4	3/4	3-0	RWK BOLT 3	4	3/4	3-0	RWK BOLT 3	4	3/4	3-0

- NOTES:
- FOR SPECIFIC REQUIREMENTS, CONSTRUCTION, AND INSTALLATION NOTES SEE CESCOM-SP-0009.
 - SEE SPILL PAD DRAWING # B269093 SH 1 OF 1, FOR SPILL PAD SPECIFICATIONS.
 - DESIGN AND CONSTRUCTION SHALL CONFORM TO IBC 2015, ASCE 7-10 AND ACI 318-14. DESIGN OF FOUNDATION AND ANCHORING IS SUITABLE FOR WIND SPEEDS UP TO 140 MPH WITH EXPOSURE C AND SEISMIC LOADS AS STATED ON THE DRAWINGS. SEISMIC DESIGN IS BASED ON SOIL CLASS D, REDUNDANCY FACTOR OF 1.0, RISK CATEGORY II, OVERSTRENGTH FACTOR OF 2.0 FOR ANCHORS AND FOR THREE DIFFERENT S_v VALUES RANGING FROM 0% TO 15%, 15% TO 30%, AND 30% TO 50%. SOIL BEARING SHALL NOT BE LESS THAN 2000 PSF MINIMUM. CONSULT A LOCAL PROFESSIONAL ENGINEER IF SOIL BEARING IS LESS THAN 2000 PSF MINIMUM. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH f_c = 4000 PSI. REINFORCING BARS SHALL CONFORM TO ASTM 615 GRADE 60.
 - FOR TYPICAL GROUNDING GRID FOR LHZ STORAGE TANKS SEE DRAWING # B3007070
 - PROJ. P = 7" MAXIMUM PROJ. CAN BE CALCULATED USING THIS FORMULA: = 1/2" + EQUIPMENT BASE PLATE THICKNESS + 1.5 x ANCHOR BOLT DIAMETER
 - TOP & BOTTOM BARS SHALL BE ALIGNED IN THE SAME PLANE.
 - CONTRACTORS SHALL MARK WHERE REBARS ARE LOCATED
 - FOR TELEMETRY INSTALLATION SEE DRAWINGS GESHYD-D-0063

- NOTES:
- FOR SPECIFIC REQUIREMENTS, CONSTRUCTION, AND INSTALLATION NOTES SEE CESCOM-SP-0008-00.
 - SEE SPILL PAD DRAWING # B269093 SH 1 OF 1, FOR SPILL PAD SPECIFICATION.
 - DESIGN AND CONSTRUCTION SHALL CONFORM TO IBC 2015, ASCE 7-10, AND ACI 318-14. DESIGN OF FOUNDATION AND ANCHORING IS SUITABLE FOR WIND SPEED UP TO 140 MPH WITH EXPOSURE C AND SEISMIC LOADS AS STATED ON THE DRAWINGS. SEISMIC DESIGN IS BASED ON SOIL CLASS D, REDUNDANCY FACTOR OF 1.0 RISK CATEGORY III OVER STRENGTH FACTOR OF 2.0 FOR ANCHORS AND FOR THREE DIFFERENT S_v VALUES RANGING FROM 0% TO 15%, 15% TO 30%, AND 30% TO 50% SOIL BEARING SHALL NOT BE LESS THAN 2000 PSF MINIMUM. CONSULT PROFESSIONAL ENGINEER IF SOIL BEARING IS LESS THAN 2000 PSF MINIMUM. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH f_c = 4000 PSF. REINFORCING BARS SHALL CONFORM TO ASTM 615 GRADE 60.
 - SLEEVE SHALL BE CUT FLUSH WITH T/CONC JUST BEFORE GROUTING & FILLED WITH GROUT.
 - FOR CAST IN PLACE ANCHOR PROVIDED CONCRETE CONTRACTOR WITH TANK DETAIL DRAWING TO ENABLE LOCATION OF ANCHORS.
 - TOP AND BOTTOM REBARS SHALL BE ALIGNED IN THE SAME PLACE CONTRACTOR SHALL MARK WHERE THE REBARS ARE LOCATED.
 - FOR FULL CONNECTION DETAIL, REFER TO LINDE SHOP DRAWINGS.

TABLE 3 CONCRETE PAD THICKNESS & REINFORCEMENT

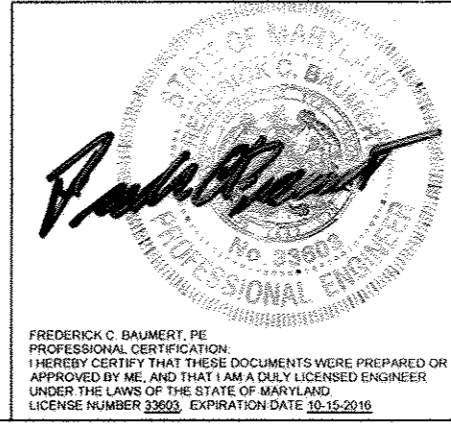
WIND/SEISMIC CRITERIA	PAD THK. (IN.)	REINFORCEMENT	
		TOP EW	BOT EW
WIND ≤ 140 MPH SEISMIC 0.05s/15%g	18" THK	#5 @ 9"	#7 @ 9"

TABLE 2 WIND ≤ 140 MPH SEISMIC 0.05s/15%g

EQUIPMENT	ANCHOR TYPE	ANCHOR QUANTITY	ANCHOR DIA.	EMBEDMENT	TOTAL LENGTH
CRYOQUIP VM-1216-FB30 AMBIENT VAPORIZER # 20A	KWK BOLT 3	12	3/4	5.0	8.0
	HIT-RE 500-SD	8	3/4	9.0	14.0
PEV-466-FB	HRA-P (N16)	8	0.63	7.48	10.83
	HIT-RE 500-SD	4	3/4	6-5/8	14.0
	KWK BOLT 3	4	3/4	5.0	8.0

REVISIONS

NO.	DATE	BY
3	3/20/18	REPLACEMENT OF N2 TANK
2	11/17/16	ADDED H2 TANK AND SPILL PAD DETAILS
1	7/27/15	ADDED DETAILS



OWNER:
JOSEPH J. HOOK
1212 PATSHAY DRIVE HANOVER,
MD 21076 410-712-0018

DEVELOPER:
HOCK/BAVARIAN STAYTON
JOINT VENTURE, LLC
TIMONIUM ONE
1966 GREENSPRING DRIVE
SUITE #508
MONIUM, MD 21093

STAYTON BUSINESS CENTER
STRUCTURAL DETAILS

THREE WAREHOUSE BUILDINGS
TAX MAP: 4P DULIP BLOCK B PAR: 31, F-1
ZONED: CE-G1
ELECTION DISTRICT: NO 06 - HOWARD COUNTY MARYLAND

DESIGN	DATE	KCI PROJECT NO.	SHEET NO.
DESIGN	5/28/15	KCI PROJ. NO. 21574	
DRAWN	SCALE AS SHOWN	SHEET NO. 20 OF 20	C-1.03

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County Seal
DATE: 6/10-15

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