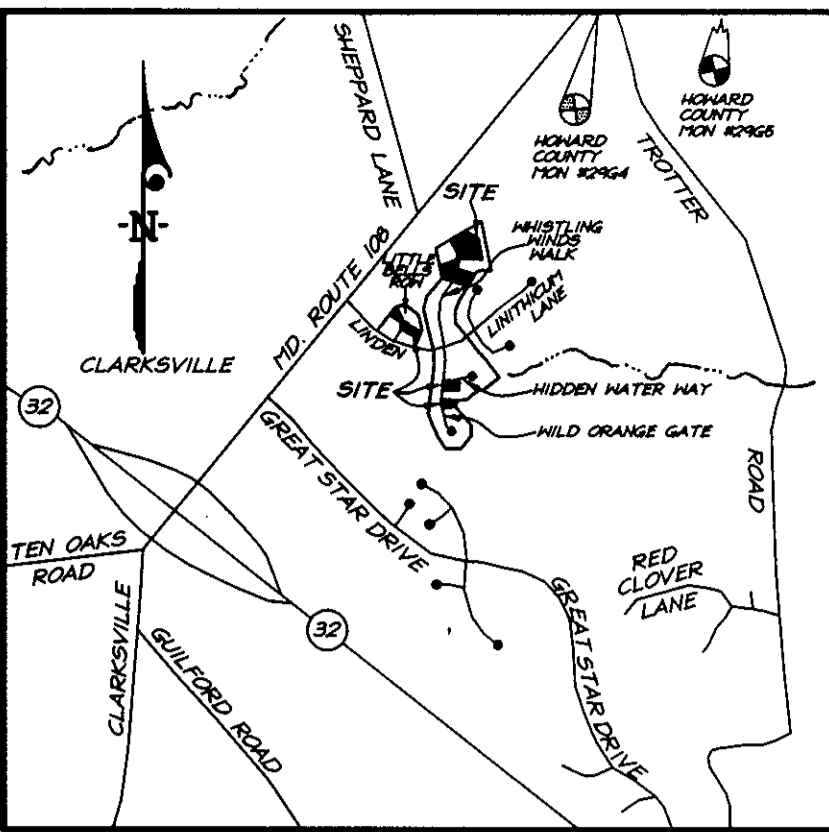
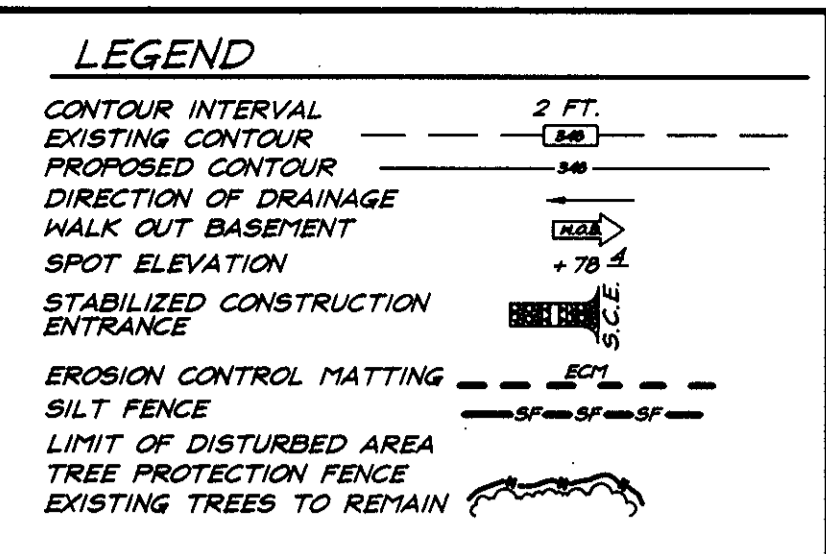


LOT NUMBER	STREET ADDRESS
5	5700 LITTLE BELLS ROW
7	5704 LITTLE BELLS ROW
22	5753 WHISTLING WINDS WALK
23	5757 WHISTLING WINDS WALK
24	5761 WHISTLING WINDS WALK
31	5768 WHISTLING WINDS WALK
32	5764 WHISTLING WINDS WALK
36	5748 WHISTLING WINDS WALK
37	5744 WHISTLING WINDS WALK
158	5825 WILD ORANGE GATE
159	12100 HIDDEN WATERS WAY
160	12104 HIDDEN WATERS WAY
178	5781 WHISTLING WINDS WALK
179	5785 WHISTLING WINDS WALK



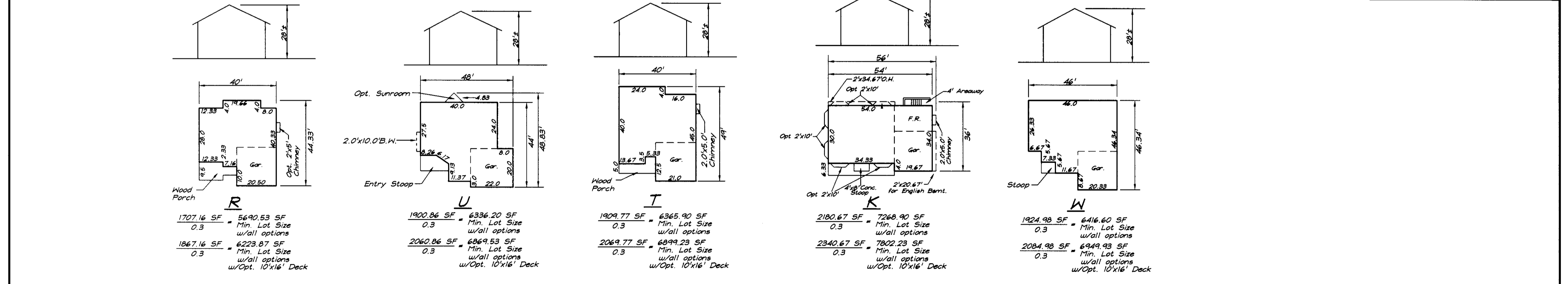
BENCHMARKS:
Howard County Monument 2964
Intersection of MD. Route 108 and Trotter Road
Howard County Monument 2965
an additional 2,544'± Northwesterly along MD. Route 100 away from Site
2010.58 SF = 8701.93 SF Min. Lot Size w/opt. screened porch plus 10'x16' Deck only

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT, SEDIMENT & EROSION CONTROL	1-3 of 4
SEDIMENT AND EROSION CONTROL DETAILS	4 of 4

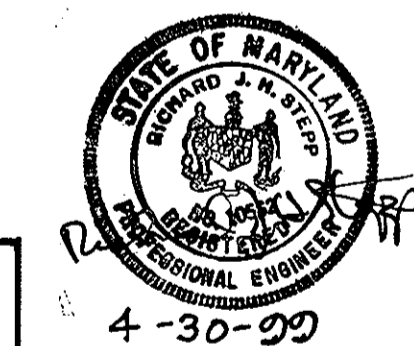
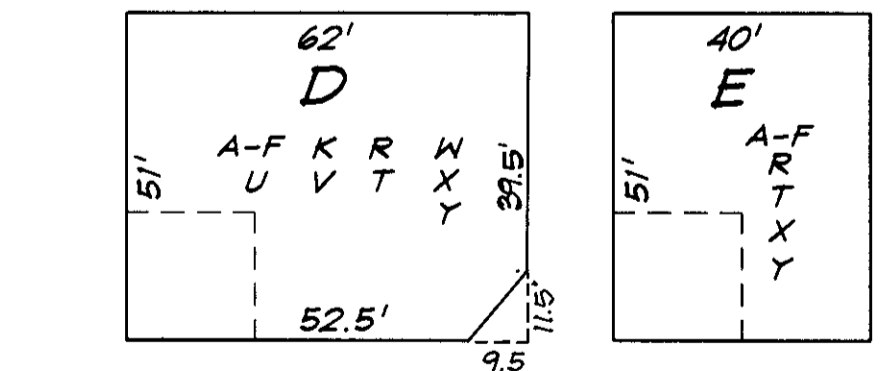
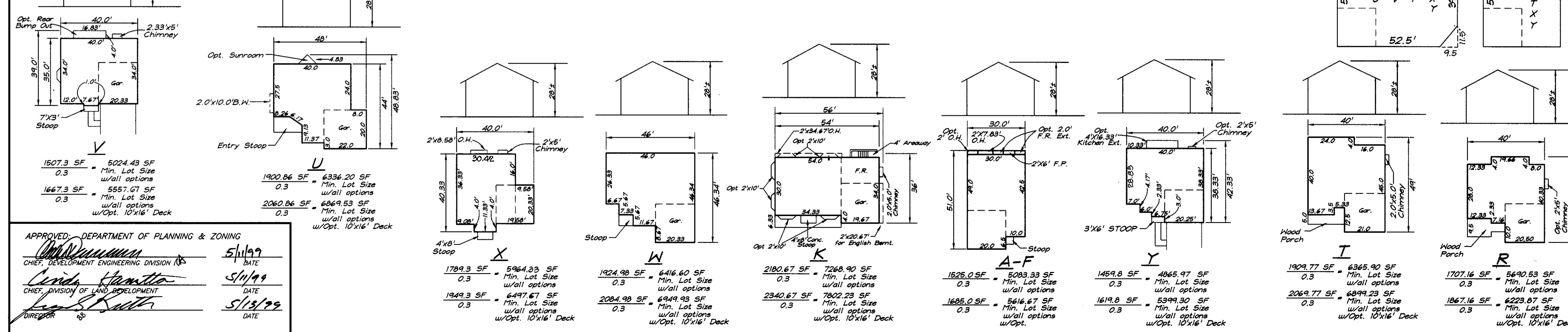
- GENERAL NOTES:**
- Subject property is zoned: NTSFLD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 2.8293 Acres.
 - The total number of lots included in this submission is: 14
 - Improvement to property: Single Family Detached
 - The maximum lot coverage permitted is: 30%
 - Department of Planning and Zoning reference file numbers: 5-93-21, P-95-12, F-96-102, F-98-122, F-99-161.
 - Utilities shown as existing are taken from approved Water and Sewer Plans Contract #34-3586-D, approved Road Construction Plans F-96-102, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Morris & Ritchie Associates in January 1996.
 - The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2964 & 2965
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with FDP-Phase 222-A, Part I bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks.
 - Stormwater Management is provided per: F-96-102. Quantity Stormwater Management for Section 4, Area 5 is provided by three facilities; the refurbished SWM Pond #1 south of Linden Linthicum Lane (F-96-99), the culvert at Great Star Drive (F-96-110) and SWM Pond #4 in Section 4, Area 5 (F-96-130). Quality Management for this section will be provided by three facilities: A. Forebay north of SWM Pond #1 (F-96-99), a shallow marsh facility at the end of Wild Orange Gate and an Extended Detention Facility within Pond #4 (F-96-130). The subdivision is located in the Patuxent River Area Sub-Basin and is a Class I Watershed.
 - SHC Elevations shown are at the Property lines.

**LARGE LOTS
LOTS 3, 7, 158 - 160**

BOTH LARGE AND SMALL LOTS



**SMALL LOTS
LOTS 22 - 24, 29 - 32, 36 & 37**



OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

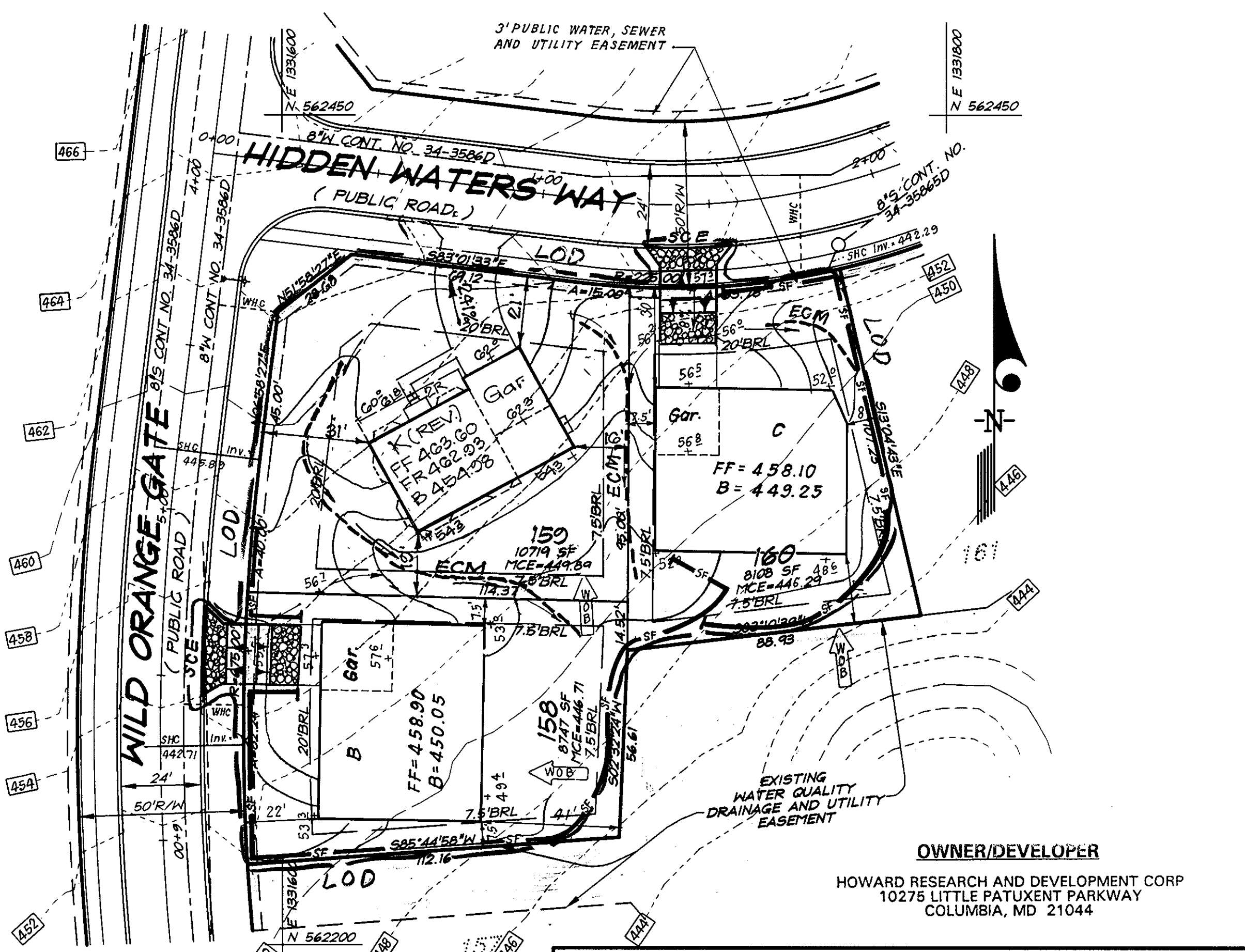
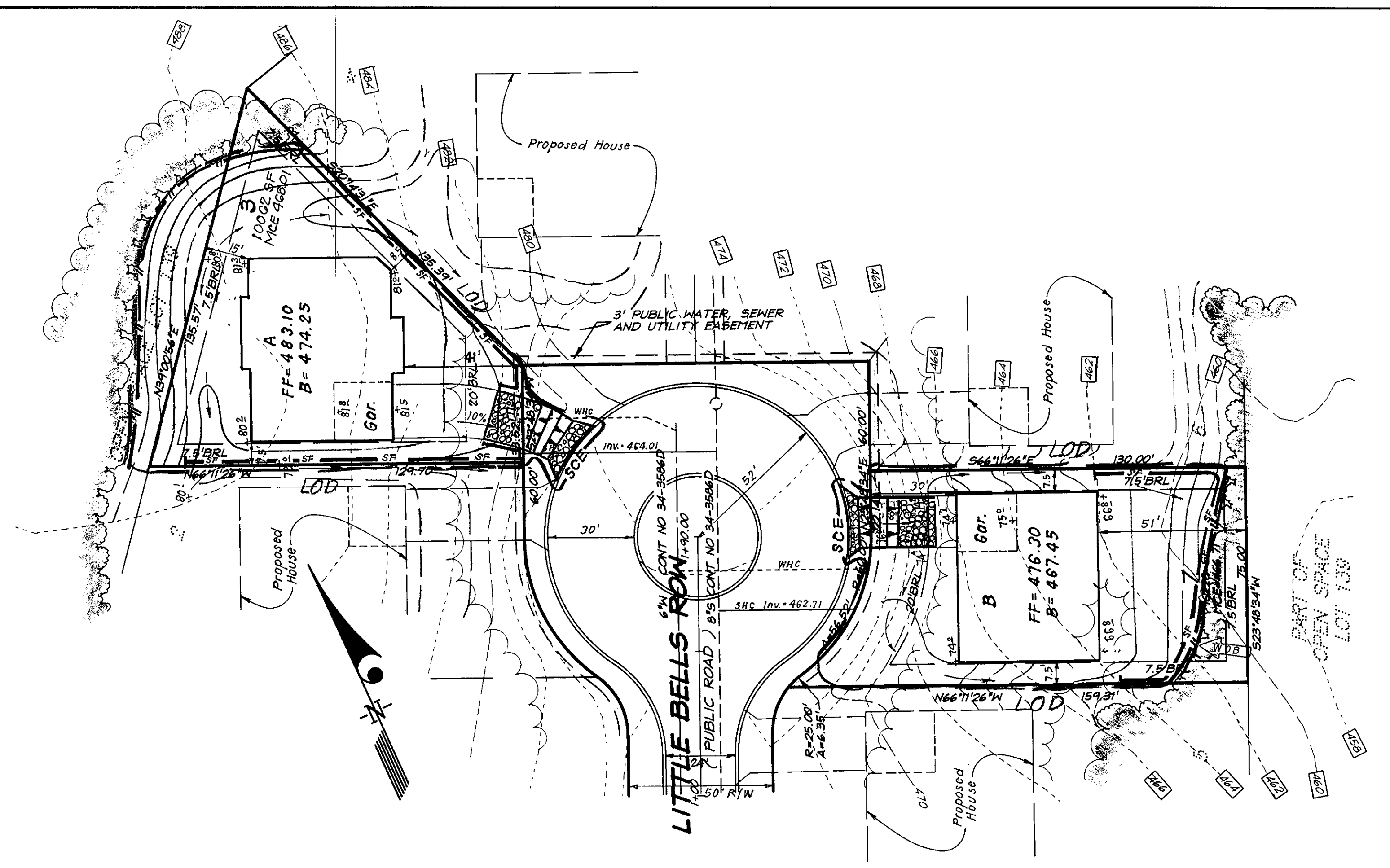
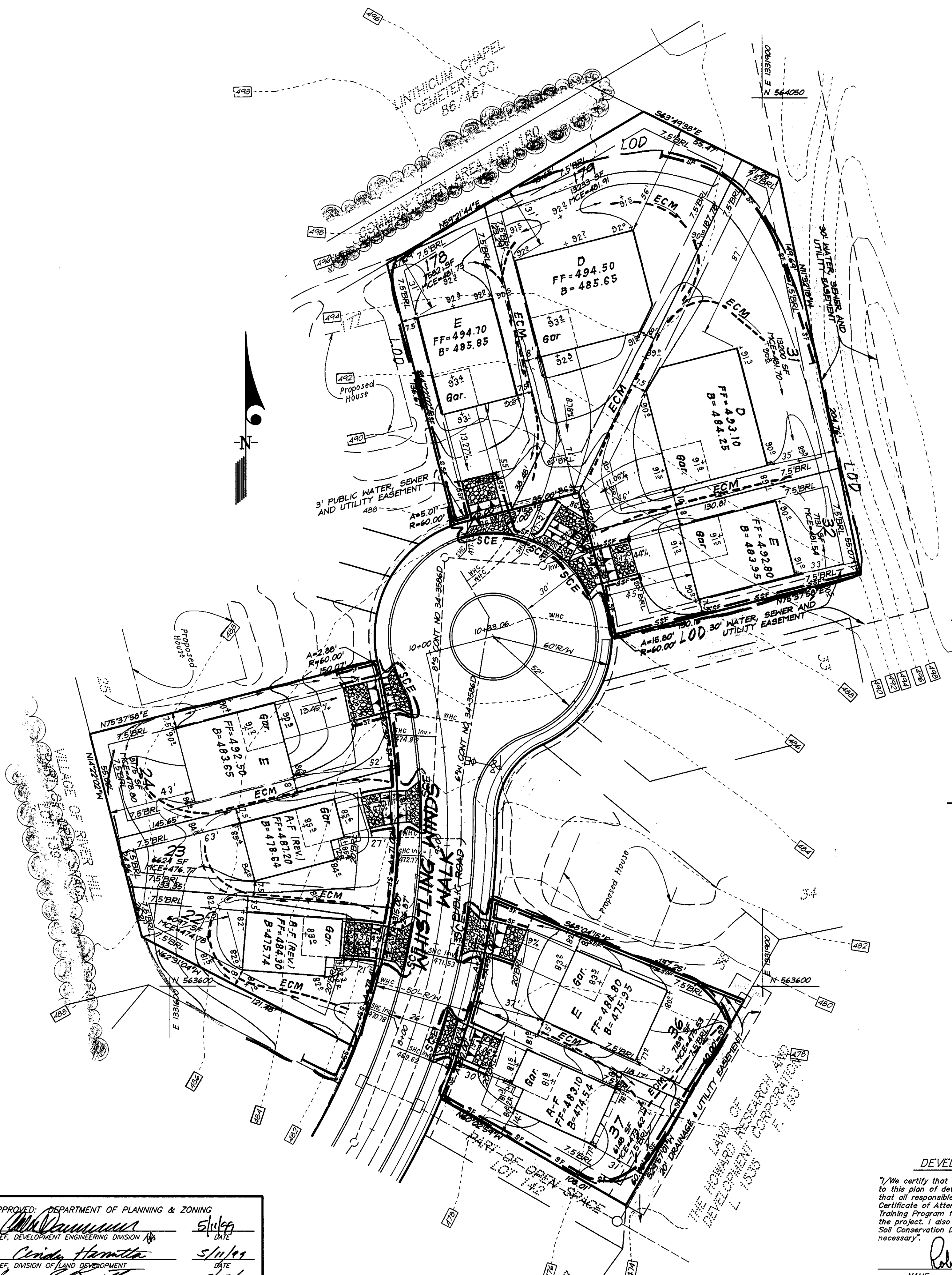
SPECIAL NOTES:
This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-102 and/or approved Water and Sewer Plans Contract #34-3586-D.

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
COLUMBIA VILLAGE OF RIVER HILL	4/5	3, 7, 22-24, 31, 32, 36, 37, 158-160, 178 & 179
PLAN NO. 12355-12357	BLOCK NO. 1	ZONE NTSFLD
TAX MAP NO. 35	ELECTION DIST. 5TH	CENSUS TRACT 6055
WATER CODE 1-12	SEWER CODE 6652500	

DESIGNED	SITE DEVELOPMENT PLAN	SCALE
DM	LOTS 3, 7, 22-24, 31, 32, 36, 37, 158-160, 178 & 179	1" = 30'
DRAWN	COLUMBIA VILLAGE OF RIVER HILL	DRAWING
BH	SECTION 4 AREA 5	1 of 4
CHECKED	FIFTH (5th) ELECTION DISTRICT	JOB NO.
JME	HOWARD COUNTY, MARYLAND	99-005
DATE	FOR: GOODIER BUILDERS	FILE NO.
4-30-99	10705 CHARTER DRIVE, SUITE 320 Columbia, Maryland 21044	99-005-X

APPROVED - DEPARTMENT OF PLANNING & ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

5/1/99
5/1/99
5/13/99



- LEGEND**
- CONTOUR INTERVAL 2 FT.
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - DIRECTION OF DRAINAGE
 - WALK OUT BASEMENT
 - SPOT ELEVATION
 - STABILIZED CONSTRUCTION ENTRANCE
 - EROSION CONTROL MATTING
 - SILT FENCE
 - LIMIT OF DISTURBED AREA
 - TREE PROTECTION FENCE
 - EXISTING TREES TO REMAIN

Reviewed for HOWARD S.C.D. and meets Technical Requirements
Clayton Simmons 5/6/99
 Signature Date
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Peterson 5/6/99
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Paul Crocker 2-22-99
 NAME DATE

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Richard J. Stepp 2/22/99
 RICHARD J. STEPP DATE



OWNER/DEVELOPER
 HOWARD RESEARCH AND DEVELOPMENT CORP
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21044

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED T.D.	SEDIMENT AND EROSION CONTROL PLAN LOTS 3, 7, 22-24, 36, 37, 158-160 & 178-179 COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 5 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: GOODIER BUILDERS 10705 CHARTER DRIVE, SUITE 320 Columbia, Maryland 21044	SCALE 1" = 30'
DRAWN J.R.		DRAWING 3 of 4
CHECKED T.D.		JOB NO. 99-005
DATE 2/18/99		FILE NO. 99-005 SHE

APPROVED: DEPARTMENT OF PLANNING & ZONING
Clayton Simmons 5/11/99
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Clayton Hemmelt 5/11/99
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
James J. Smith 5/13/99
 DIRECTOR DATE

FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation. Purpose: To provide a suitable soil medium for vegetable growth. Conditions Where Practice Applies: 1. This practice is limited to areas having 21 or flatter slope...

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE. SEEDING PREPARATION: Loosen upper three inches of soil by raking, grading or other acceptable means before seeding. SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following activities: 1) Preferred-Apply 2 tons per acre dolomitic limestone...

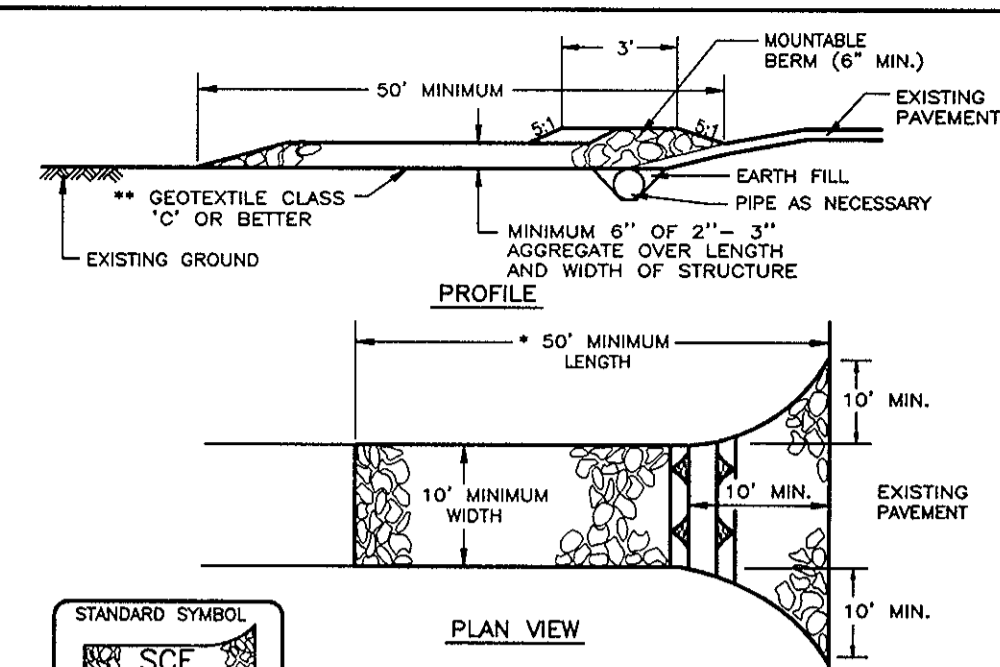
SEDIMENT AND EROSION CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits. 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1984 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.

TEMPORARY SEEDING NOTES

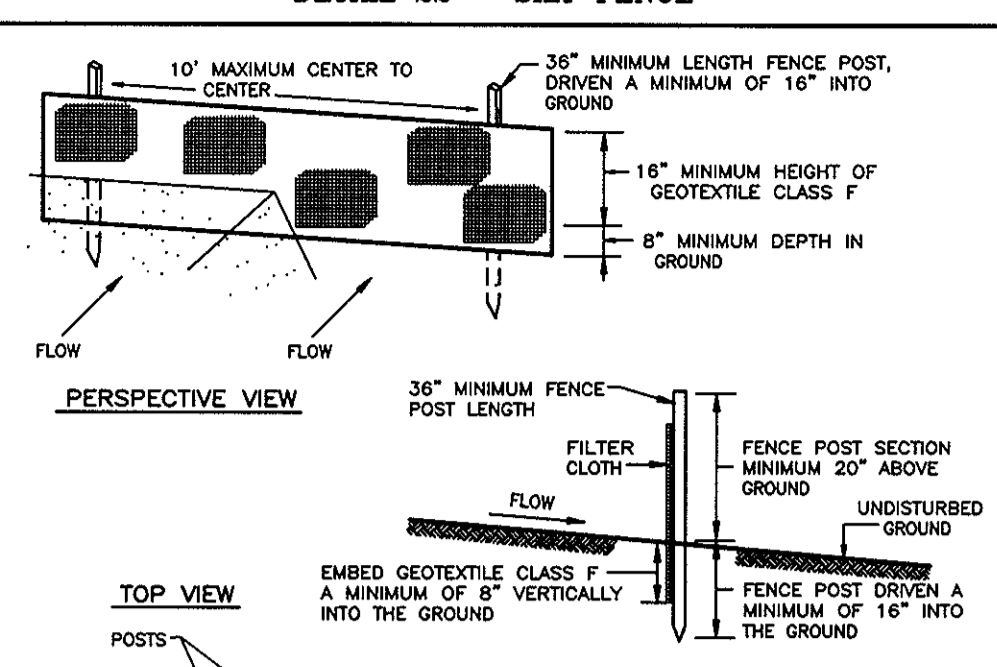
SEEDING PREPARATION: Loosen upper three inches of soil by raking, grading or other acceptable means before seeding. SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 Fertilizer (14 lbs./1000 sq.ft.). SEEDING: For periods March 1 thru April 30 and August 1 thru October 15, seed with 60 lbs. per acre (14 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue...

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



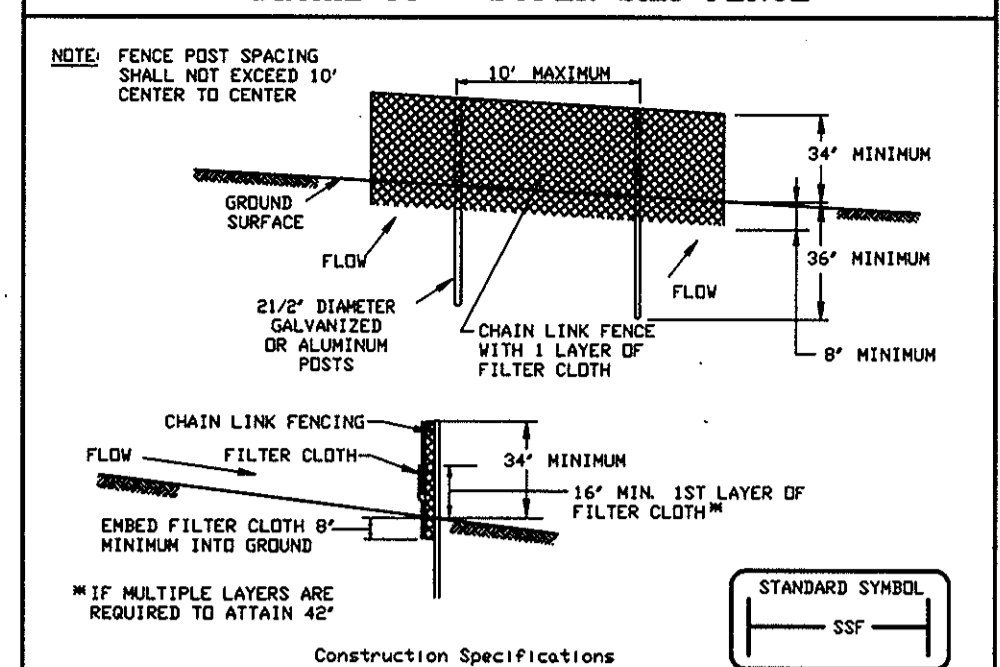
Construction Specification: 1. Length - minimum of 50' (4' 30" for a single residence lot). 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius. 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to piping stone.

DETAIL 22 - SILT FENCE



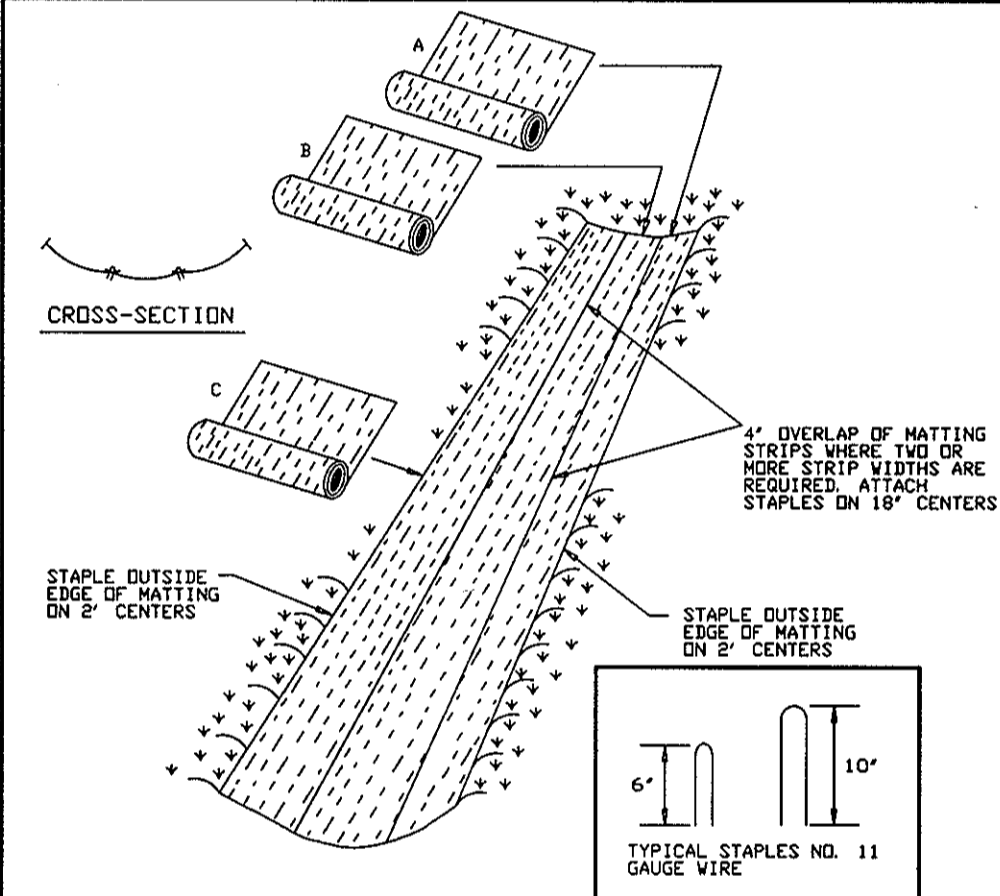
Construction Specifications: 1. Fence posts shall be a minimum of 36\"/>

DETAIL 33 - SUPER SILT FENCE



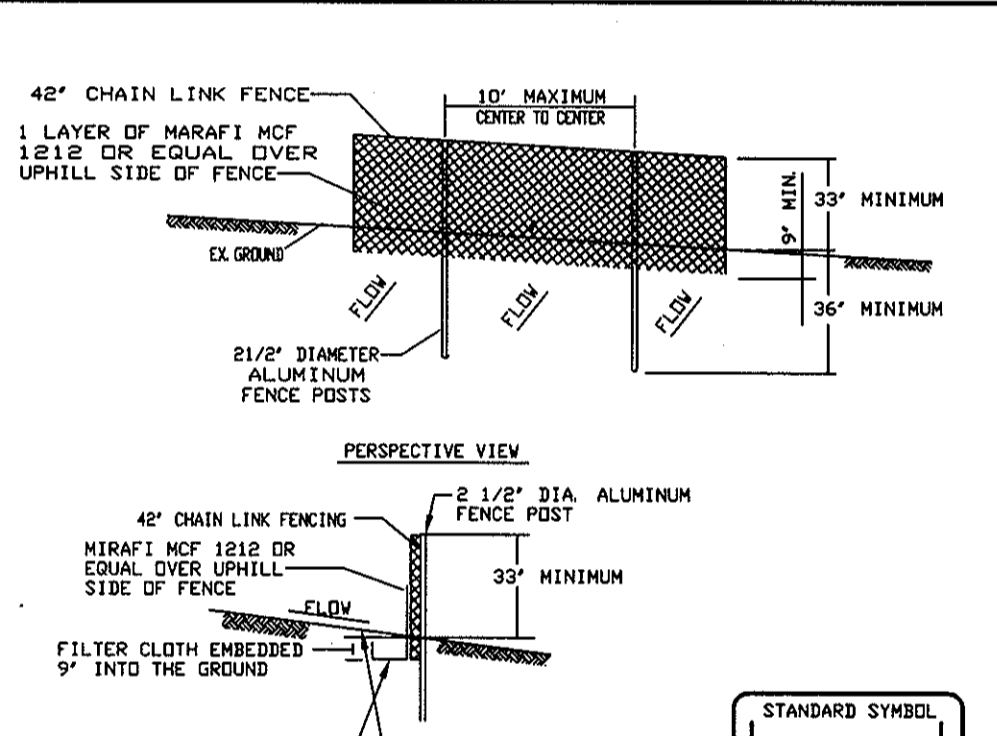
Construction Specifications: 1. Fencing shall be 42\"/>

DETAIL 30 - EROSION CONTROL MATTING



Construction Specifications: 1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6\"/>

DETAIL - SUPER DIVERSION FENCE



FENCING: FENCING SHALL BE 42\"/>

Reviewed for HOWARD S.C.D. and meets Technical Requirements. Signature: [Signature] Date: 5/18/99. U.S. Natural Resources Conservation Service. THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Approved: [Signature] Date: 5/13/99.

APPROVED: DEPARTMENT OF PLANNING & ZONING. Chief, Development Engineering Division: [Signature] Date: 5/18/99. Chief, Division of Land Development: [Signature] Date: 5/13/99.

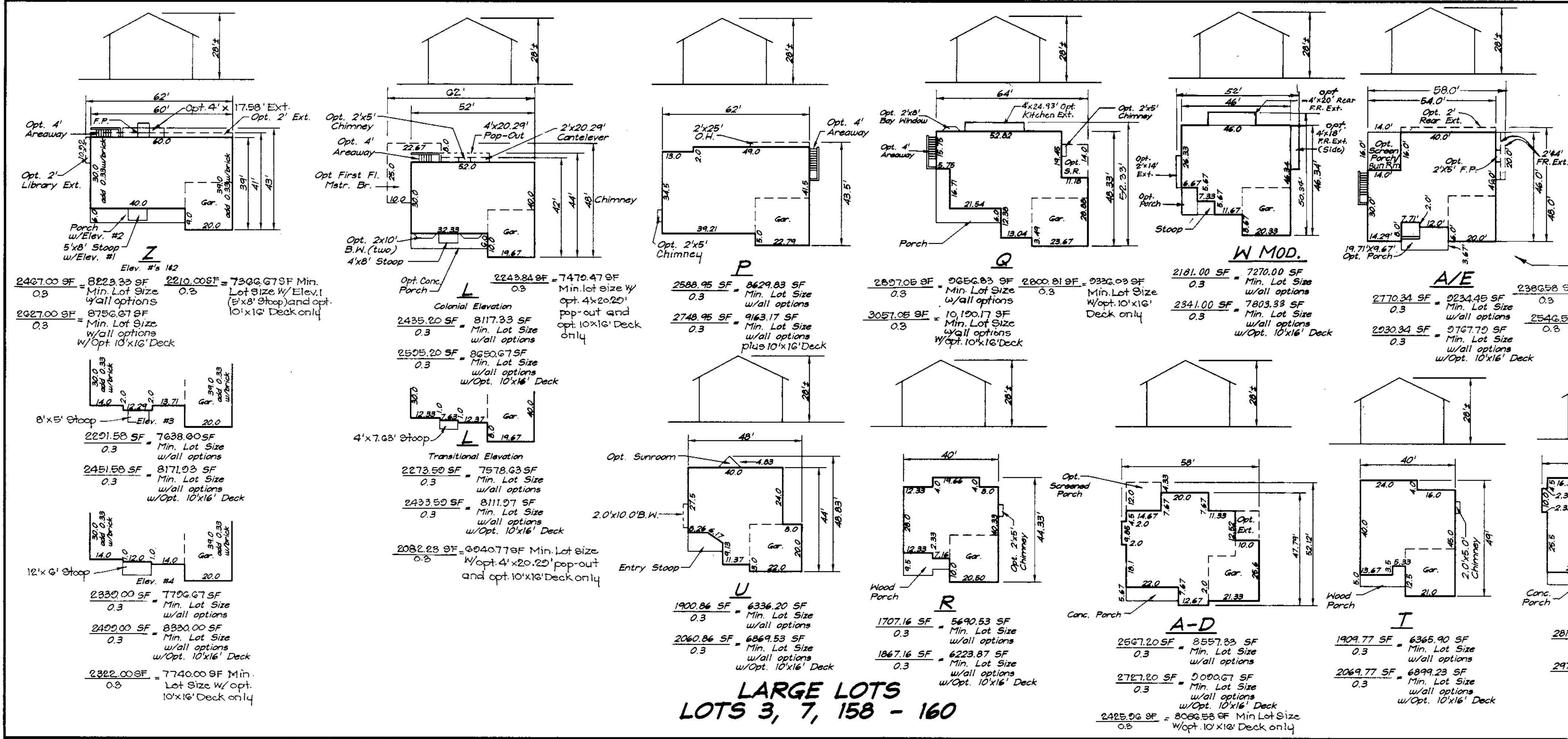
DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary. Signature: [Signature] Date: 5-22-99.

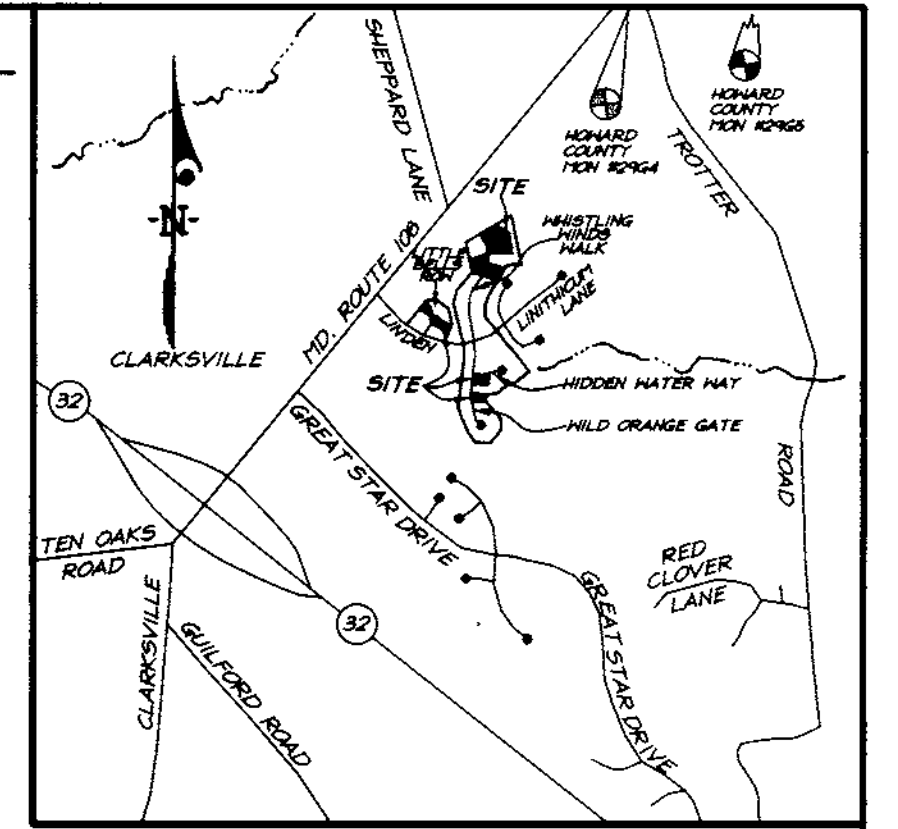
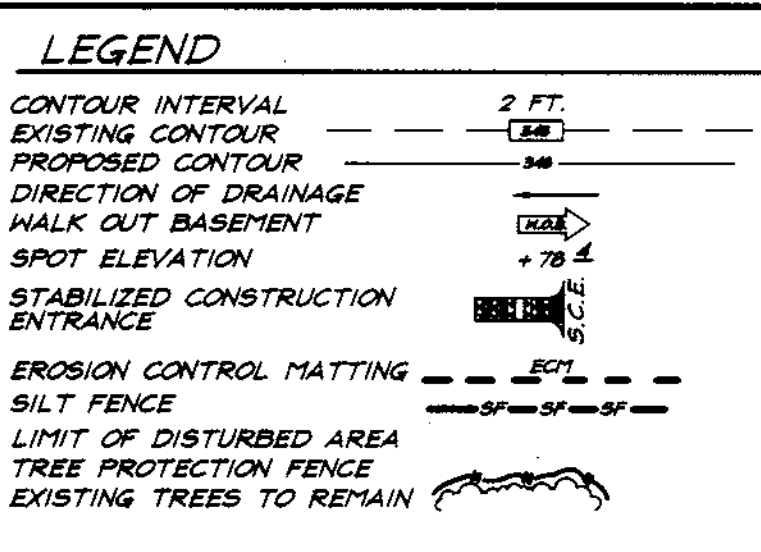
ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District. Signature: [Signature] Date: 5/23/99.

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS. 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH. DESIGNED: PS SEDIMENT CONTROL DETAILS SCALE: NTS. DRAWN: BH COLUMBIA VILLAGE OF RIVER HILL DRAWING: 4 of 4. CHECKED: TD SECTION 4 AREA 5 JOB NO.: 99-005. DATE: 2/11/99 FOR: GODDIER BUILDERS 10705 CHARTER DRIVE, SUITE 320 COLUMBIA, MARYLAND 21044 FILE NO.: 99-005-3E.



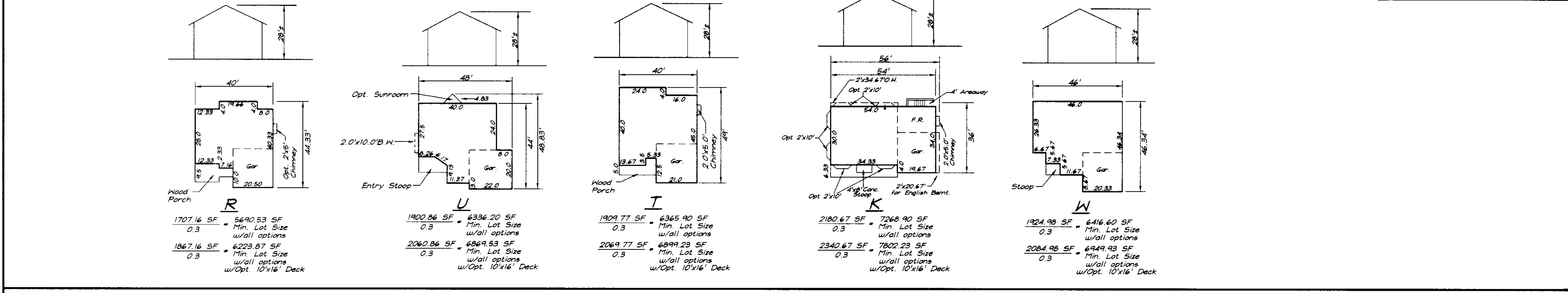
LOT NUMBER	STREET ADDRESS
3	8700 LITTLE BELLS ROW
7	8704 LITTLE BELLS ROW
22	8753 WHISTLING WINDS WALK
29	8757 WHISTLING WINDS WALK
31	8761 WHISTLING WINDS WALK
32	8768 WHISTLING WINDS WALK
36	8748 WHISTLING WINDS WALK
37	8744 WHISTLING WINDS WALK
158	5825 WILD ORANGE GATE
159	12100 HIDDEN WATERS HAY
160	12104 HIDDEN WATERS HAY
178	5781 WHISTLING WINDS WALK
179	5785 WHISTLING WINDS WALK



BENCHMARKS:
Howard County Monument 2964 Intersection of MD. Route 108 and Trotter Road
Howard County Monument 2965 an additional 2,544' Northeastly along MD. Route 108 away from site

SHEET INDEX	
DESCRIPTION	SHEET NO.
SITE DEVELOPMENT, SEDIMENT & EROSION CONTROL	1-3 of 4
SEDIMENT AND EROSION CONTROL DETAILS	4 of 4

LARGE LOTS LOTS 3, 7, 158 - 160

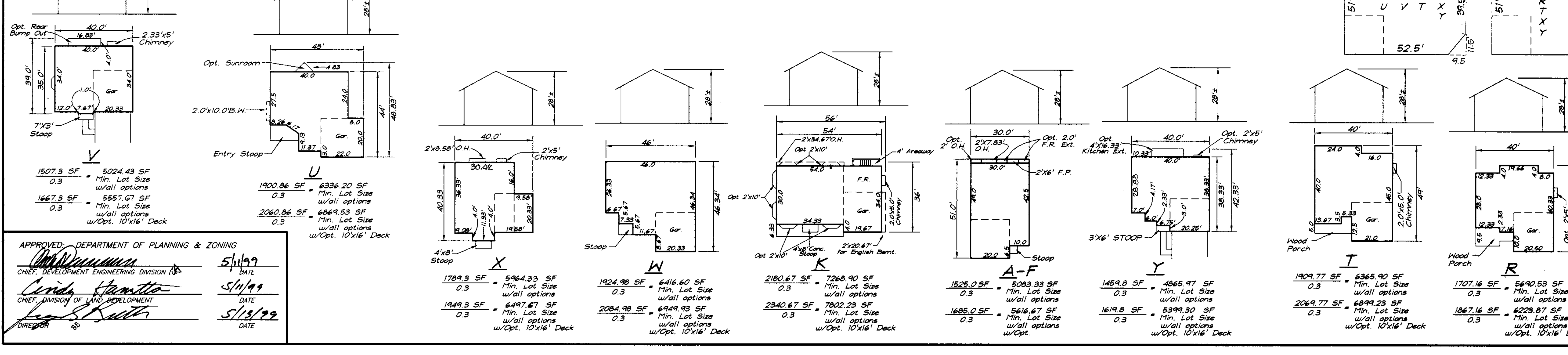


- GENERAL NOTES:**
- Subject property is zoned: NTSFLD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 2,8293 Acres.
 - The total number of lots included in this submission is: 14
 - Improvement to property: Single Family Detached
 - The maximum lot coverage permitted is: 30%
 - Department of Planning and Zoning reference file numbers: S-93-21, P-95-12, F-96-102, F-98-122, F-99-161.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #34-3586-D, approved Road Construction plans F-96-102, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Morris & Ritchie Associates in January 1996.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2964 & 2965
 - The contractor shall notify the Department of Public Works/ Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with FDP-Phase 222-A, Part I bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks.
 - Stormwater Management is provided per: F-96-102 Quantity Stormwater Management for Section 4, Area 5 is provided by three facilities; the refurbished SNWM Pond #1 south of Linden Lirithicum Lane (F-96-99), the culvert at Great Star Drive (F-96-110) and SNWM Pond #4 in Section 4, Area 5 (F-96-130) Quality Management for this section will be provided by three facilities: A Forebay north of SNWM Pond #1 (F-96-99), a shallow marsh facility at the end of Wild Orange Gate and an Extended Detention Facility within Pond #4 (F-96-130). The subdivision is located in the Patuxent River Area Sub-Basin and is a Class I Watershed.
 - SHC Elevations shown are at the Property lines.

STATE OF MARYLAND
REVISIONS
1 Rev. W Mod Hse typ. 12-14-99
DATE

OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

SMALL LOTS LOTS 22 - 24, 29 - 32, 36 & 37



SPECIAL NOTES:
This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-102 and/or approved Water and Sewer Plans Contract #34-3586-D.

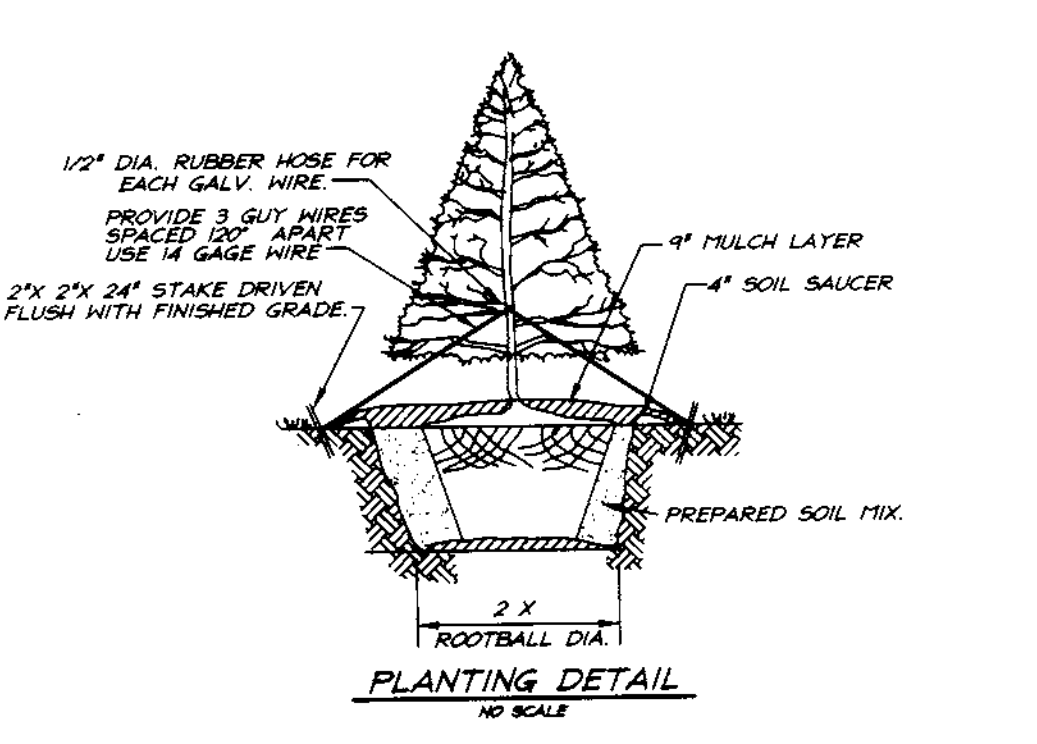
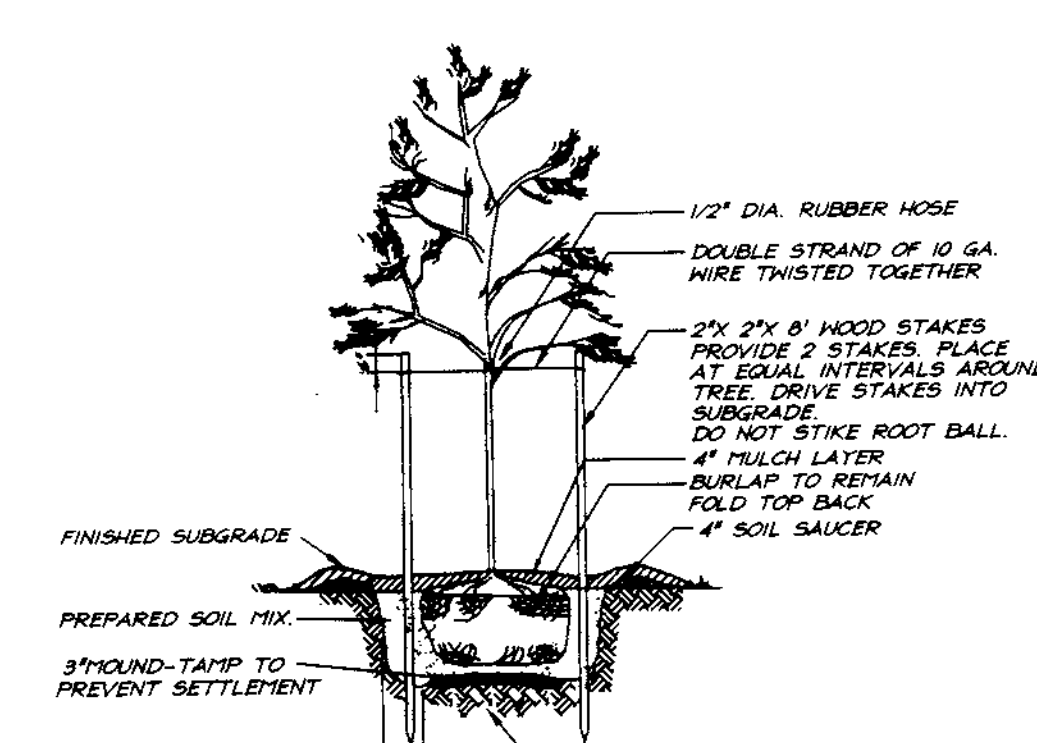
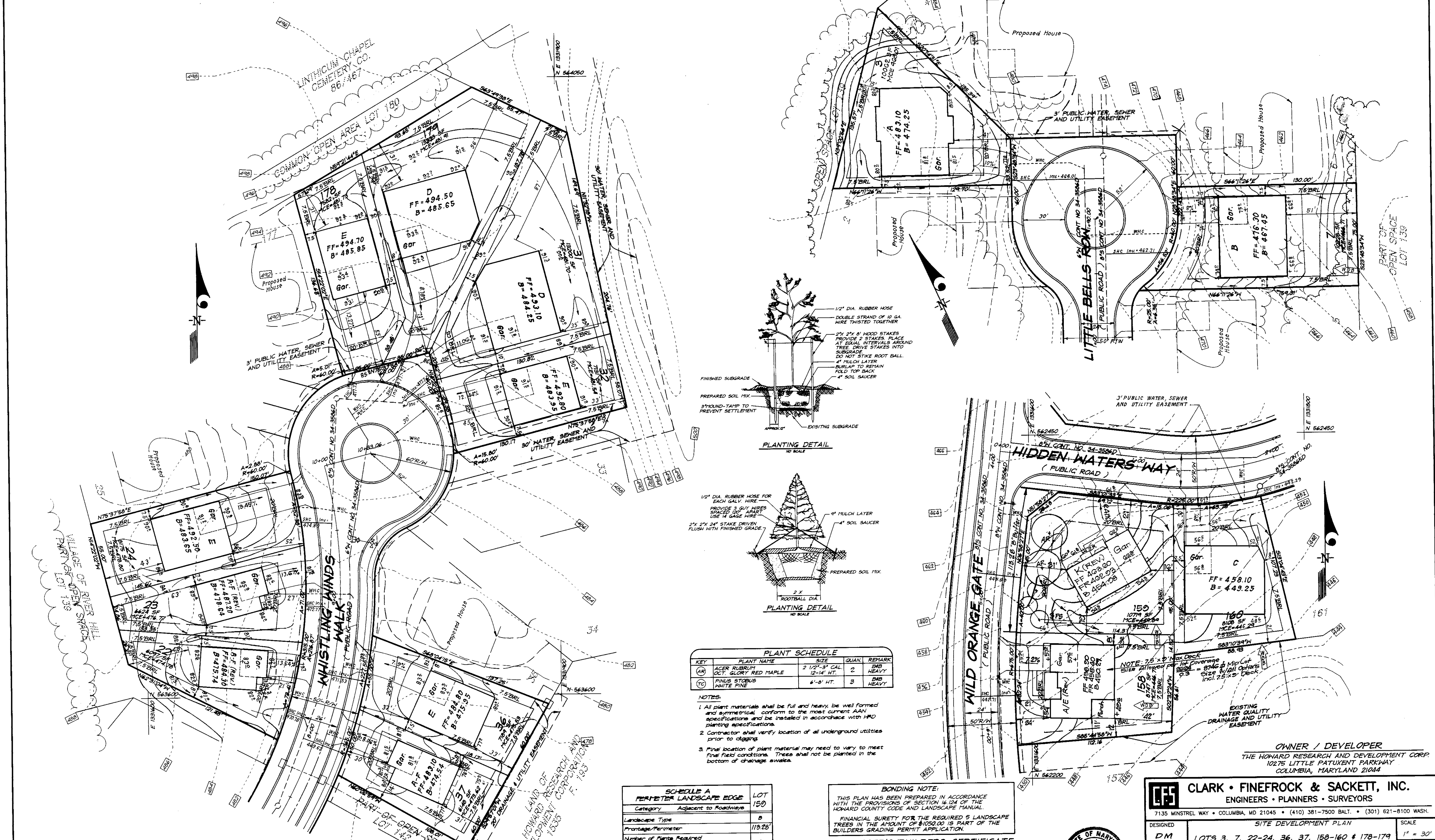
SUBDIVISION NAME	COLUMBIA VILLAGE OF RIVER HILL	SECTION/AREA	4/5	LOTS/PARCELS	3, 7, 22-24, 31, 32, 36, 37, 158-160, 178/179
PLAN NO.	1857	BLOCK NO.	1	TAX MAP NO.	35
DATE	5/15/99	ZONE	NTSFLD	ELECTION DIST.	5TH
				CENSUS TRACT	6055
WATER CODE	1-12	SEWER CODE	6652500		

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	DM	SITE DEVELOPMENT PLAN	SCALE
DRAWN	BH	LOTS 3, 7, 22-24, 31, 32, 36, 37, 158-160, 178 & 179	1" = 30'
CHECKED	JME	COLUMBIA VILLAGE OF RIVER HILL	DRAWING
		SECTION 4 AREA 5	1 of 4
		FIFTH (5TH) ELECTION DISTRICT	JOB NO.
		HOWARD COUNTY, MARYLAND	99-005
DATE	4-30-99	FOR: GOODIER BUILDERS	FILE NO.
		10705 CHARTER DRIVE, SUITE 320	99-005-X
		Columbia, Maryland 21044	

APPROVED: DEPARTMENT OF PLANNING & ZONING
CHIEF ENGINEERING DIVISION
CHIEF DIVISION OF LAND DEVELOPMENT
DATE: 5/11/99
DATE: 5/11/99
DATE: 5/15/99

No	REVISIONS	Date
1	Rev. to f. qrd. lot 158	6.8.99



KEY	PLANT NAME	SIZE	QUAN.	REMARK
(AR)	ACER RUBRUM	2 1/2" - 3" CAL	2	SMB
(TR)	OCT. GLORY RED MAPLE	12-14" HT.	2	HEAVY
(TC)	PINUS STROBUS	6'-8" HT.	3	SMB
	WHITE PINE			HEAVY

- NOTES:
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with H&D planting specifications.
 - Contractor shall verify location of all underground utilities prior to digging.
 - Final location of plant material may need to vary to meet final field conditions. These shall not be planted in the bottom of drainage swales.

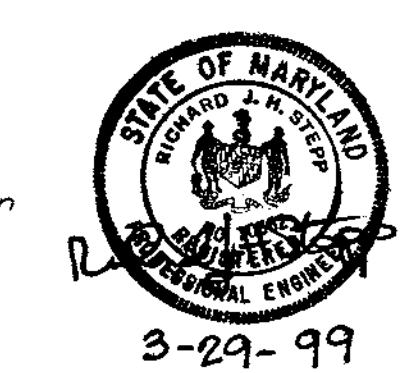
Category	Adjacent to Roadways	LOT 158
Landscape Type		B
Frontage/Perimeter		119.28'
Number of Plants Required		
Shade Trees	(1/30)	2
Evergreen Trees	(1/40)	3
Number of Plants Provided		
Shade Trees		2
Evergreen Trees		3
Surety Amount		\$1050

* Comments: Planting to be provided per the New Town Alternative Compliance method.

BONDING NOTE:
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
FINANCIAL SURETY FOR THE REQUIRED 5 LANDSCAPE TREES IN THE AMOUNT OF \$1050.00 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION.

DEVELOPER'S/BUILDERS CERTIFICATE
I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: Robert Goodier Date: 2-22-99



APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Date: 5/11/99
 Chief, Division of Land Development
 Date: 5/13/99

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

SITE DEVELOPMENT PLAN
 DESIGNED: DM SCALE: 1" = 30'
 DRAWN: JR DRAWING: 2 of 4
 CHECKED: J.M.E. JOB NO.: 99-005
 DATE: 2-22-99 FILE NO.: 99-005-X

VILLAGE OF COLUMBIA
 SECTION 4 AREA 5
 FIFTH (5th) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: GOODIER BUILDERS
 10705 CHARTER DRIVE, SUITE 320
 Columbia, Maryland 21044

OWNER / DEVELOPER
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

SDP 00-08

