

**** PLANT SCHEDULE**

KEY	PLANT NAME	SIZE	QUANT	REMARKS
(A)	ACER RUBRA	2 1/2" x 3" CA	2	RED
(B)	OPT. SLOTTED RED MAPLE	12'-14" HT.	2	HEAVY
(C)	PRUNUS STRIBRUS	6'-8" HT.	2	BAR
(D)	WHITE PINE		2	HEAVY

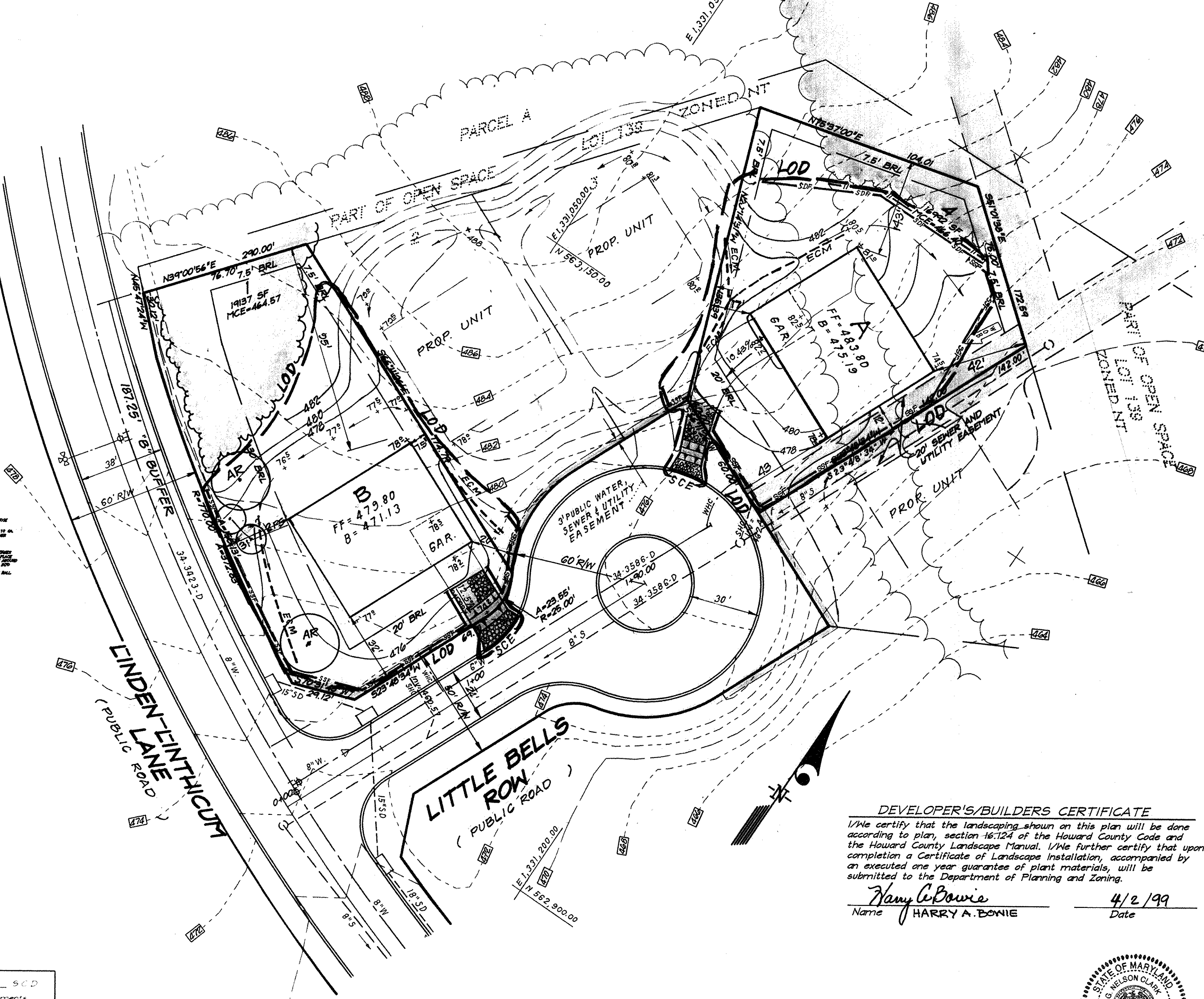
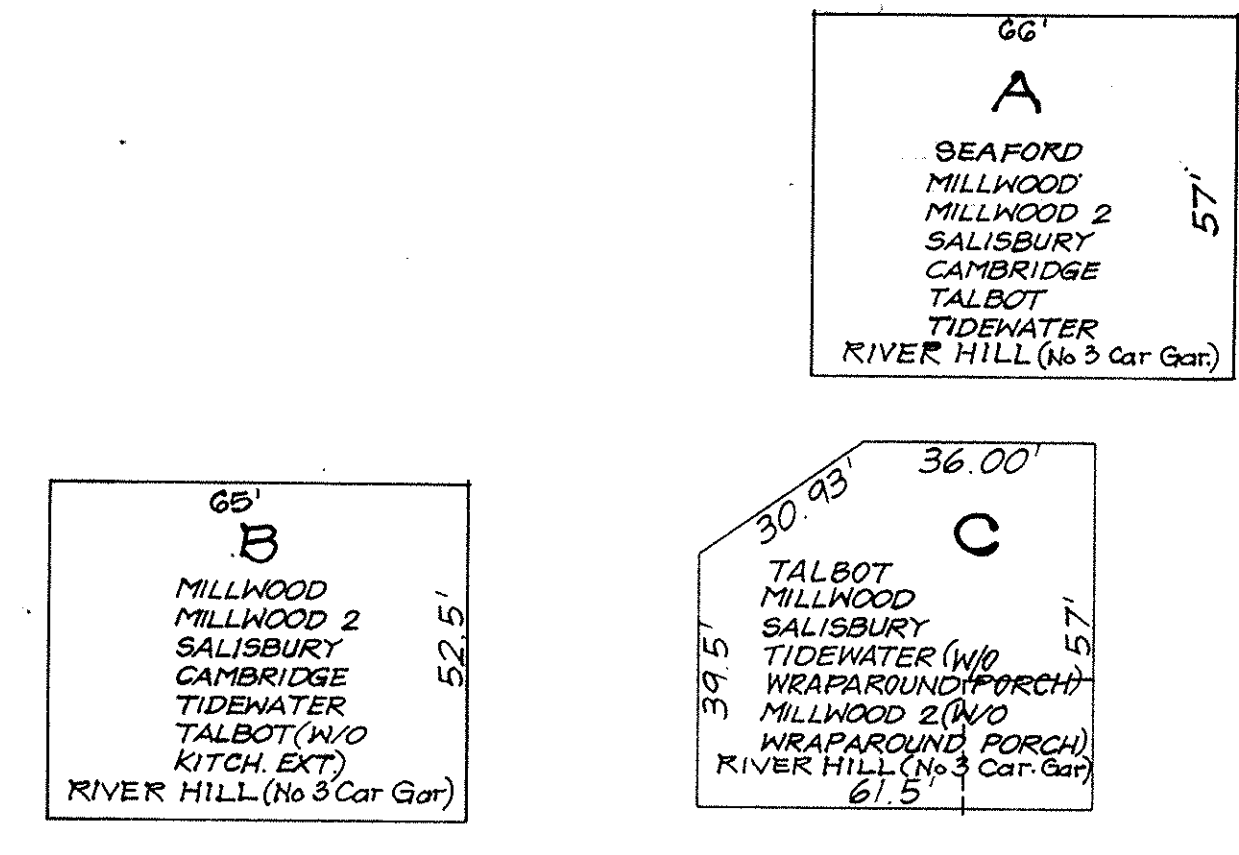
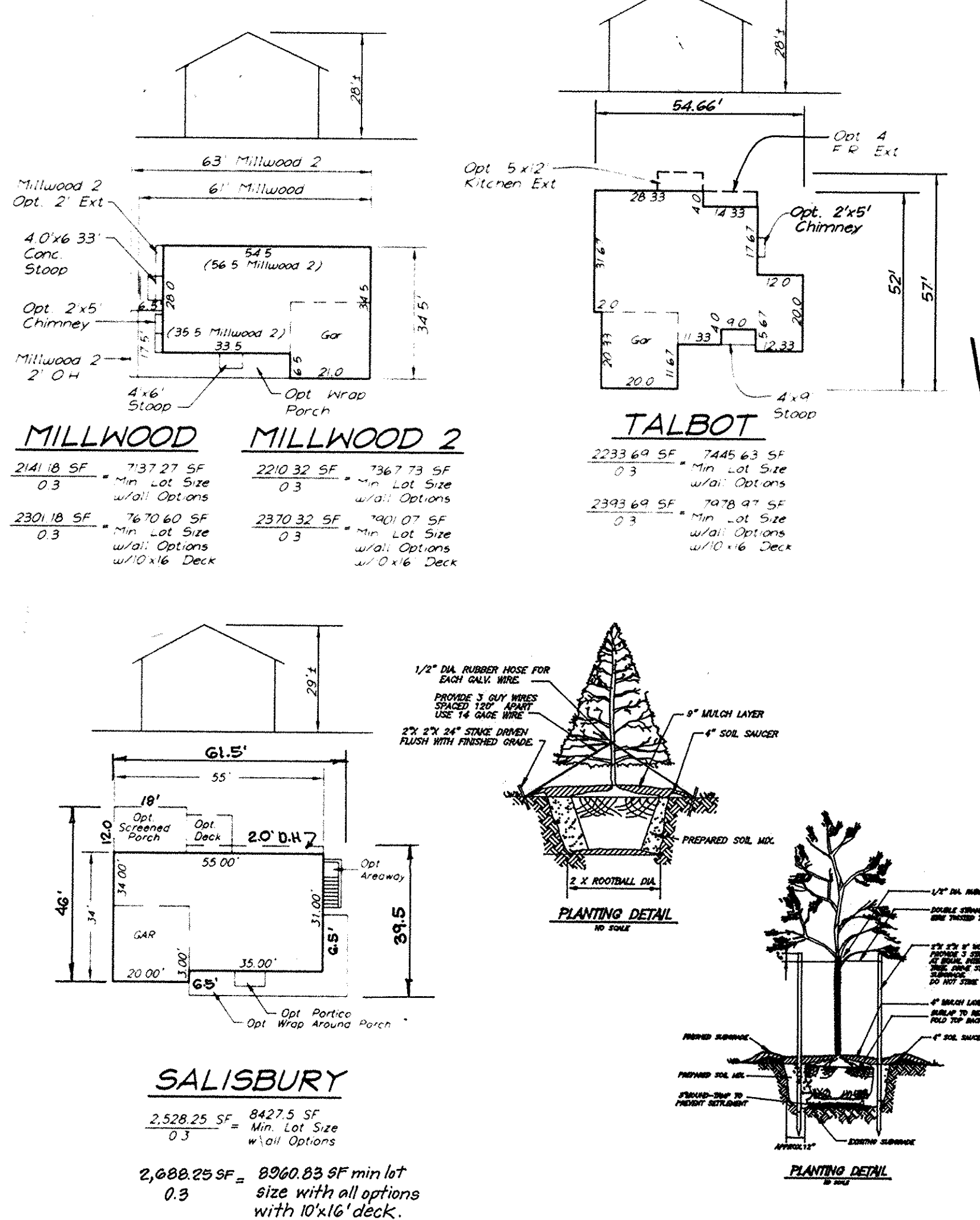
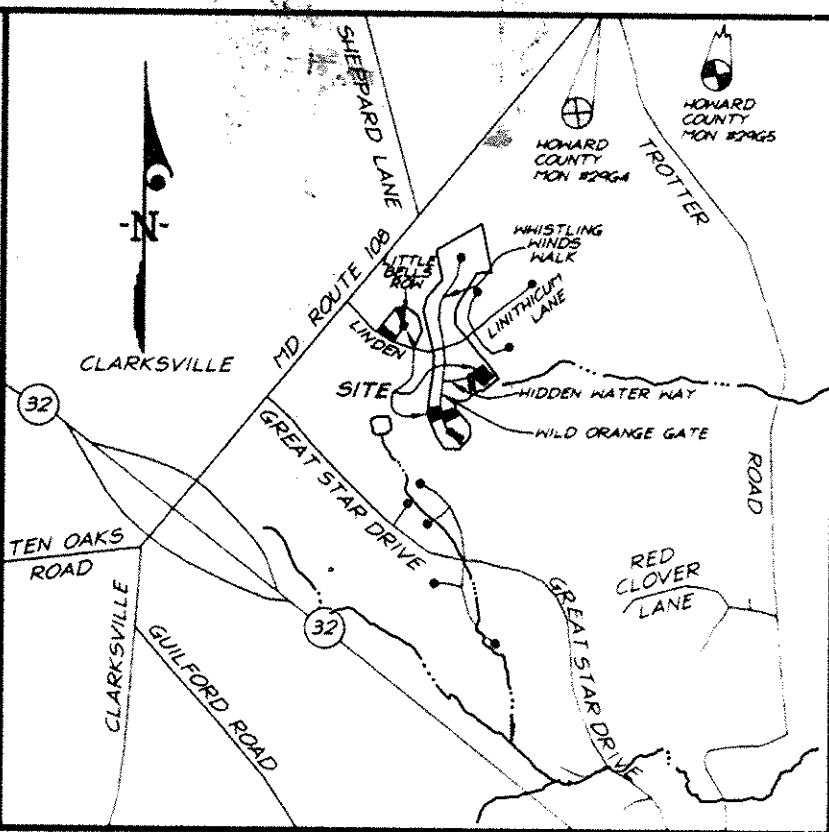
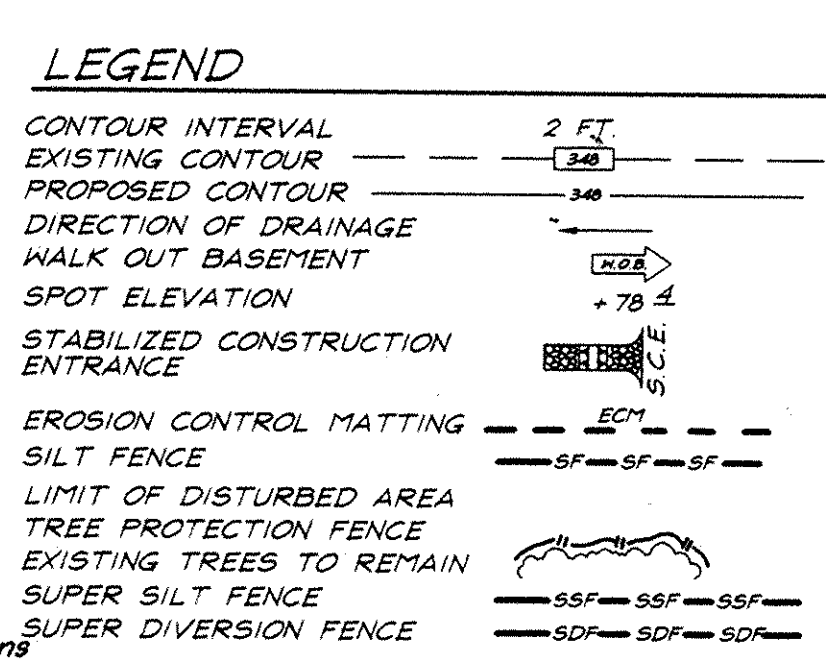
SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	LOT 1
Landscape Type		B
Frontage/Perimeter		187.25'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)		Yes 90'
Number of Plants Required		
Shade Trees	(1/50)	2
Evergreen Trees	(1/40)	2
Shrubs		2
Number of Plants Provided		
Shade Trees		2
Evergreen Trees		2
Surety Amounts		\$900

* Comments: Planting to be provided per the New Town Alternative Compliance Method.

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
1	5701 LITTLE BELLS ROW
4	5713 LITTLE BELLS ROW
148	5828 WILD ORANGE GATE
149	5832 WILD ORANGE GATE
154	5842 WILD ORANGE GATE
157	5820 WILD ORANGE GATE
162	12110 HIDDEN WATERS WAY
165	12121 HIDDEN WATERS WAY
166	12117 HIDDEN WATERS WAY



BENCHMARKS:

Howard County Monument 2964
Intersection of MD. Route 108 and Trotter Road

Howard County Monument 2965
an additional 2,544' Northeastly along MD Route 108 away from Site

- GENERAL NOTES:**
- Subject property is zoned: NTSFLD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 2.8294 Acres
 - The total number of lots included in this submission is: 9
 - Improvement to property: Single Family Detached
 - The maximum lot coverage permitted is: 30%
 - Department of Planning and Zoning reference file numbers: 5-93-21, P-95-12, F-96-102, F-98-122.
 - Utilities shown as existing are taken from approved water and Sewer Plans Contract #34-3586-D, approved Road Construction Plans F-96-102, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Morris & Ritchie Associates in January 1996.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2964 & 2965.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1800 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho Co Design Manual Volume IV details R 6 03 & R 6 05.
 - In accordance with FDP-Phase 222A Part V bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks, porches and decks may project not more than 3 feet into the front or rear setbacks.
 - Stormwater Management is provided per: F-96-102 (See below)
 - SAC Elevations shown are at the Property lines.
 - This plan has been prepared in accordance with provision of Section 16-124 of the Howard County Code and the Landscaping Manual. Financial Surety for the required 4 landscape trees in the amount of \$900.00 is part of the builders Grading Permit application. (For Lot 1)
 - Cont'd. Quantity Stormwater Management for Section 4, Area 5 is provided by three facilities: the refurbished SWM Pond #1 south of Linden Linthicum Lane (F-06-89), the culvert at Great Star Drive (F-26-110) and SWM Pond #4 in Section 4, Area 4 (F-06-130). Quality Management for this section will be provided by three facilities: A Forebay north of SWM Pond #1 (F-06-89), a shallow marsh facility at the end of Wild Orange Gate and an Extended Detention facility within Pond #4 (F-06-130). The subdivision is located in the Patuxent River Area Sub-Basin and is a Class I Watershed.

DEVELOPER'S/BUILDERS CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, section 16-124 of the Howard County Code and the Howard County Landscaping Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: HARRY A. BONIE Date: 4/2/99

DEVELOPER'S/BUILDERS CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Name: HARRY A. BONIE Date: 4/2/99

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Name: G. NELSON CLARK Date: 4-2-99

APPROVED: DEPARTMENT OF PLANNING & ZONING

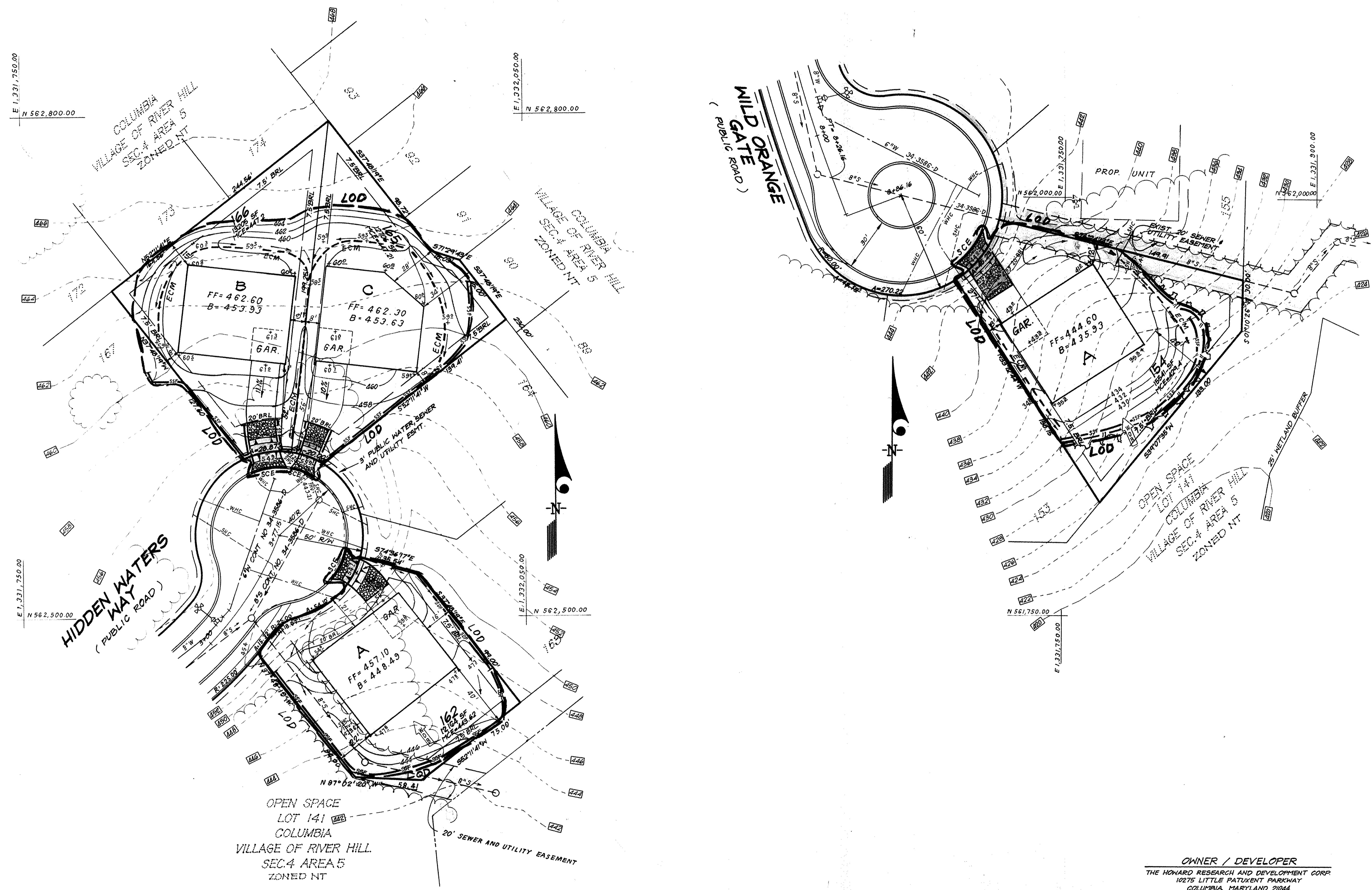
4/22/99
4/26/99
4/26/99

Reviewed for HOWARD S.C.D. and meets Technical Requirements and meets Technical Requirements for SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

4/15/99
4/15/99



SUBDIVISION NAME		SECTION/AREA	LOTS/PARCELS		
COLUMBIA VILLAGE OF RIVER HILL		4/5	1, 4, 148, 149, 154, 157, 162, 165 & 166		
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
12855	1	NTSFLD	35	5TH	6055
WATER CODE		SEWER CODE			
1-12		6652500			
CLARK • FINEFROCK & SACKETT, INC.					
ENGINEERS • PLANNERS • SURVEYORS					
7135 MIMSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT' • (301) 621-8100 WASH					
DESIGNED	SITE DEVELOPMENT, SEDIMENT AND EROSION CONTROL PLAN				SCALE
DM	LOTS 1, 4, 148, 149, 154, 157, 162, 165 & 166				1" = 30'
DRAWN	COLUMBIA VILLAGE OF RIVER HILL				DRAWING
BH	SECTION 4 AREA 5				1 OF 3
CHECKED	FIFTH (5TH) ELECTION DISTRICT				JOB NO.
	HOWARD COUNTY, MARYLAND				99-007
DATE	FOR: NU HOMES, Inc.				FILE NO.
2/1/99	10630 Little Patuxent Parkway, Suite 146 Columbia, Maryland 21044				99-007-X



Reviewed for HOWARD S.C.D.
and meets Technical Requirements
and meets Technical Requirements
4/15/99
Signature Date
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.
Approved 4/15/99

APPROVED: DEPARTMENT OF PLANNING & ZONING
4/22/99
DATE
4/26/99
DATE
4/26/99
DATE

OPEN SPACE
LOT 141
COLUMBIA
VILLAGE OF RIVER HILL
SEC. 4 AREA 5
ZONED NT

DEVELOPER'S/BUILDER'S CERTIFICATE

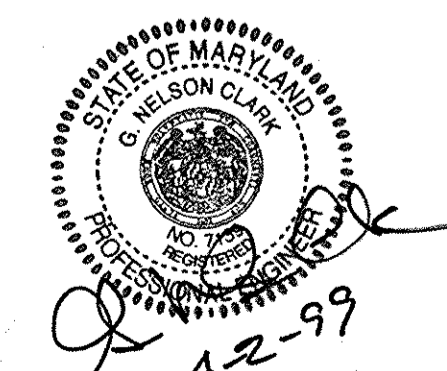
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Harry A. Bowie
NAME HARRY A. BOWIE
4/2/99
DATE

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

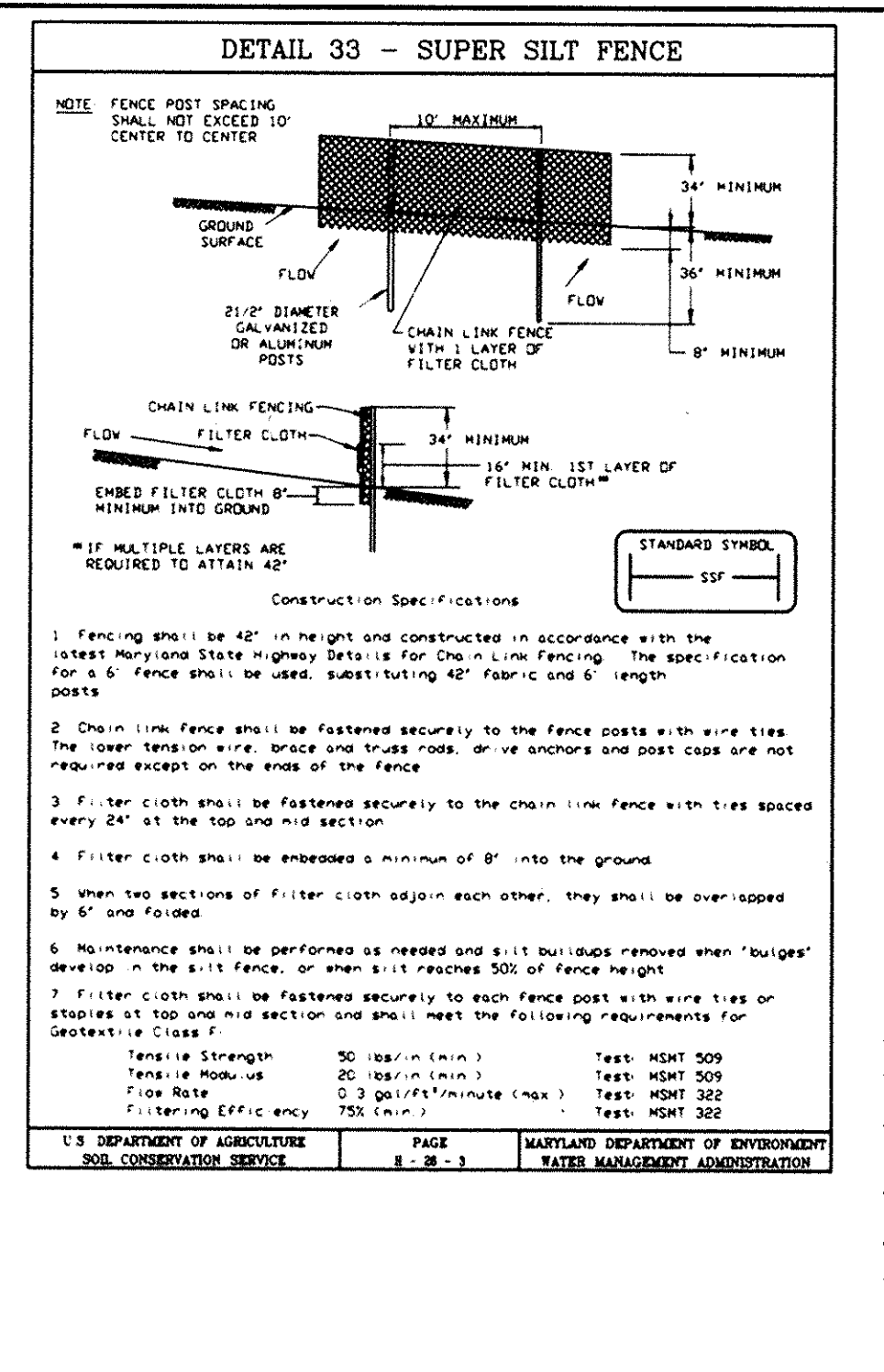
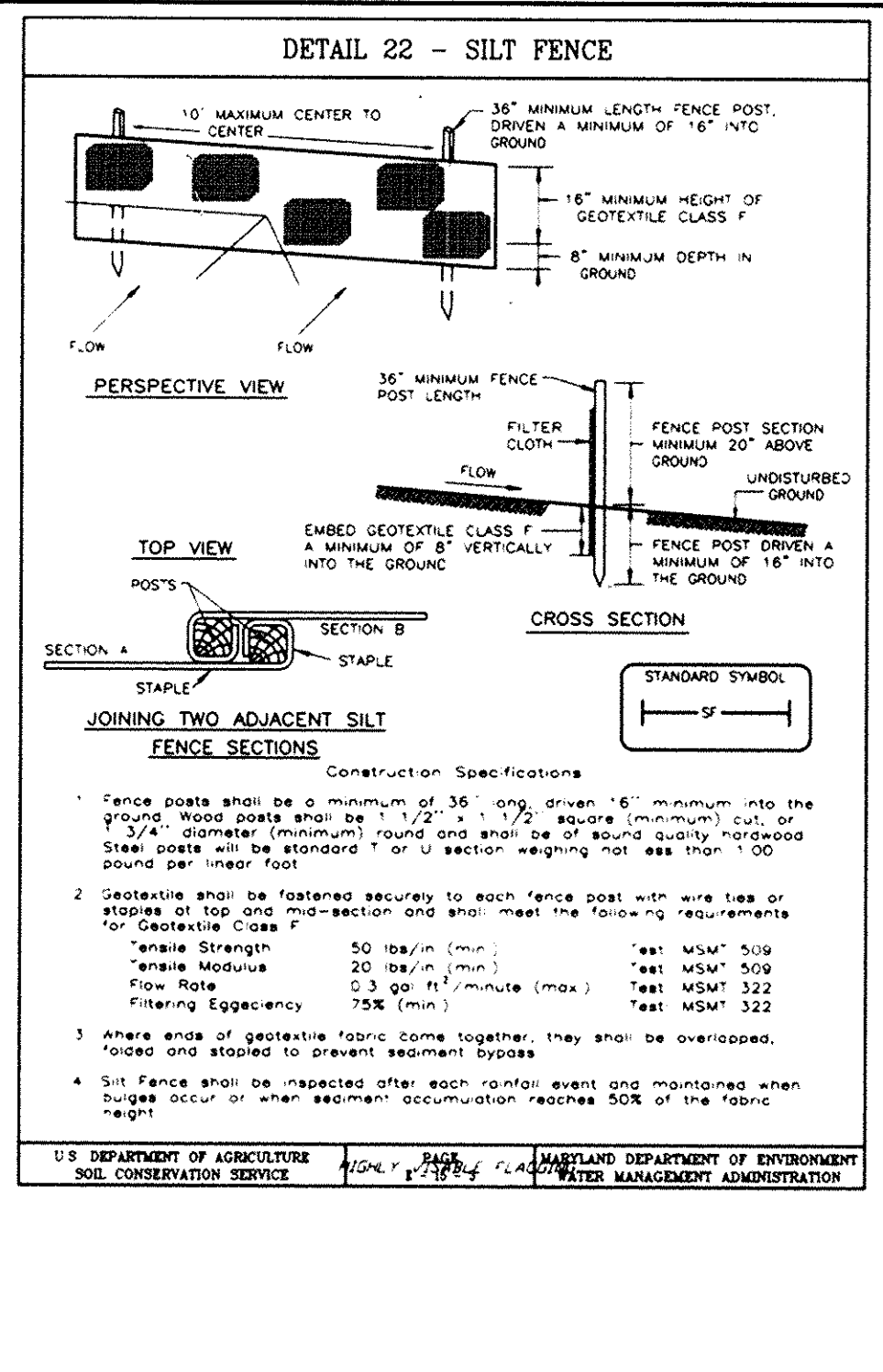
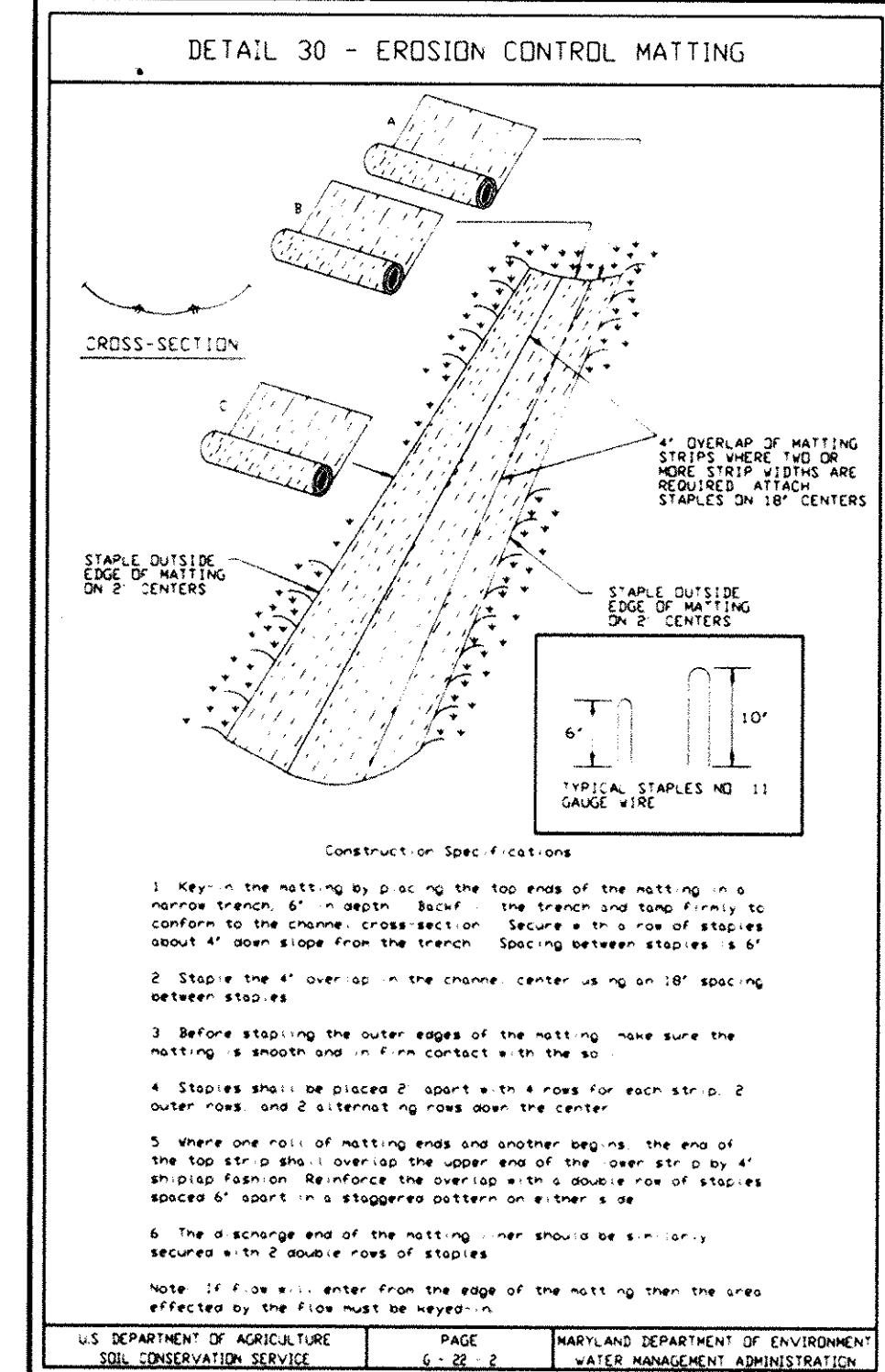
G. Nelson Clark
NAME G. NELSON CLARK
4-2-99
DATE



OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED DM/TD	SITE DEVELOPMENT, SEDIMENT AND EROSION CONTROL PLAN LOT 1, 4, 148, 149, 154, 157, 162, 165 & 166	SCALE 1" = 30'
DRAWN BLP JTR	COLUMBIA VILLAGE OF RIVER HILL	DRAWING 2 of 3
CHECKED TD/JME	SECTION 4 AREA 5 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 99-007
DATE 2/4/99	FOR: NU HOMES 10630 LITTLE PATUXENT PARKWAY, SUITE 146 Columbia, Maryland 21044	FILE NO. 99-007-X

S.D.P. 99.95



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetable growth, ability of concern have low moisture content, low nutrient levels, low and moderate toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies:

- The practice is limited to areas having 21 or higher slopes where:
 - The texture of the exposed subsoil material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish containing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with lime is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 21 require special consideration and design for erosion stabilization. Areas having slopes steeper than 21 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications:

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Topsoil, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silty loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Topsoil shall not be a mixture of combining textures, rocks, stumps, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, johnsongrass, nutgrass, ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be applied at the rate of 4-8 tons/acre (200-400 pounds per 1000 square feet) prior to the placement of topsoil. LIME shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE UNDER A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Preferred-Apply 2 tons per acre dolomitic limestone (40 lbs/100 sq ft) and 400 lbs per acre 10-10-10 fertilizer (4 lbs/100 sq ft) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 30-0-0 uniform fertilizer (4 lbs/100 sq ft).
- Acceptable-Apply 2 tons per acre dolomitic limestone (40 lbs/100 sq ft) and apply 1000 lbs per acre 10-10-10 fertilizer (10 lbs/100 sq ft) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 40 lbs per acre (4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue per acre and 2 lbs per acre (2 lbs/1000 sq ft) of weeping lovegrass. During the period of October 15 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use seed Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1/2 to 2 tons per acre (70 to 40 lbs/1000 sq ft) of certified small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 200 gallons per acre (2 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 300 gallons per acre (3 gal/1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

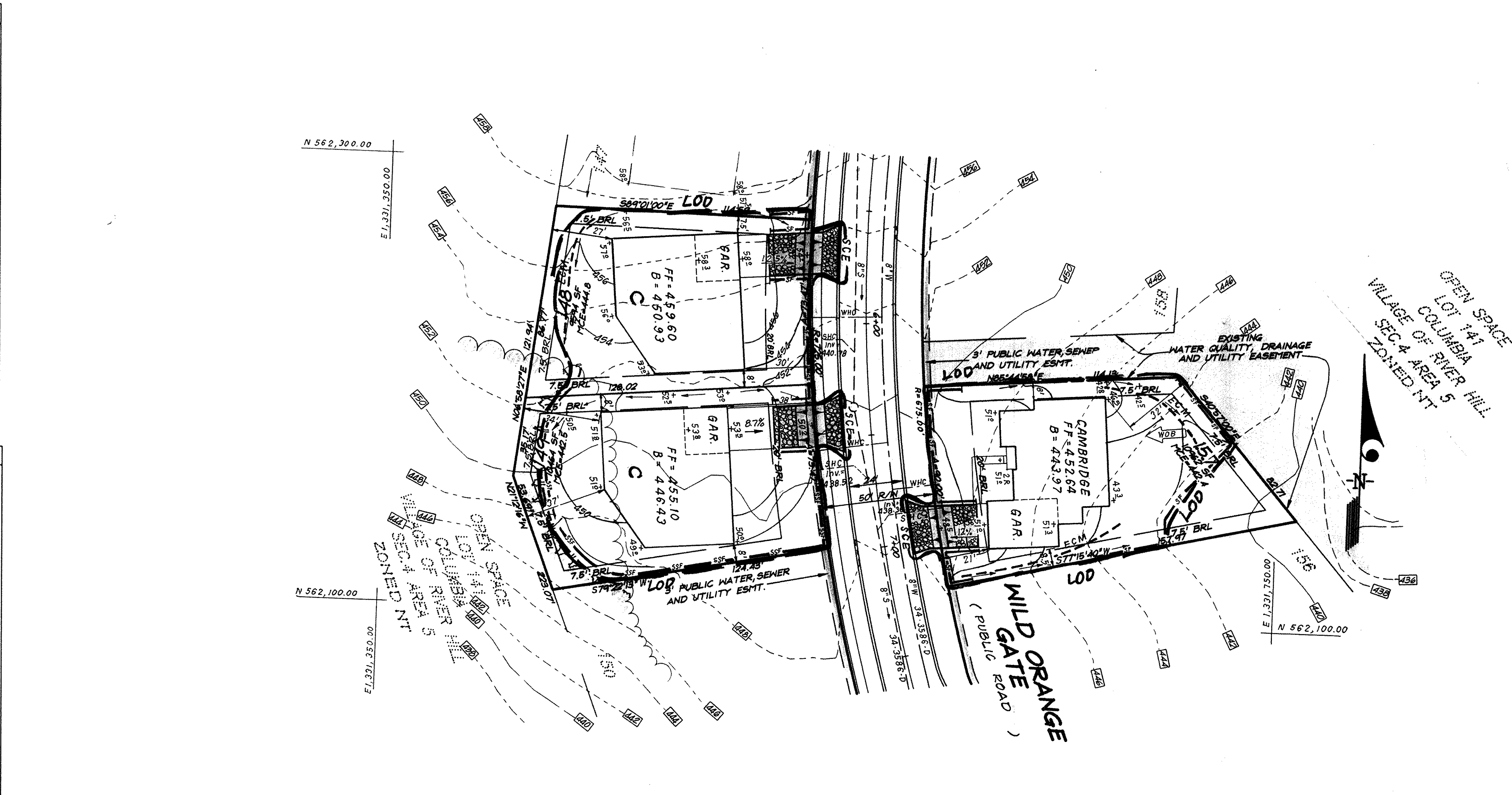
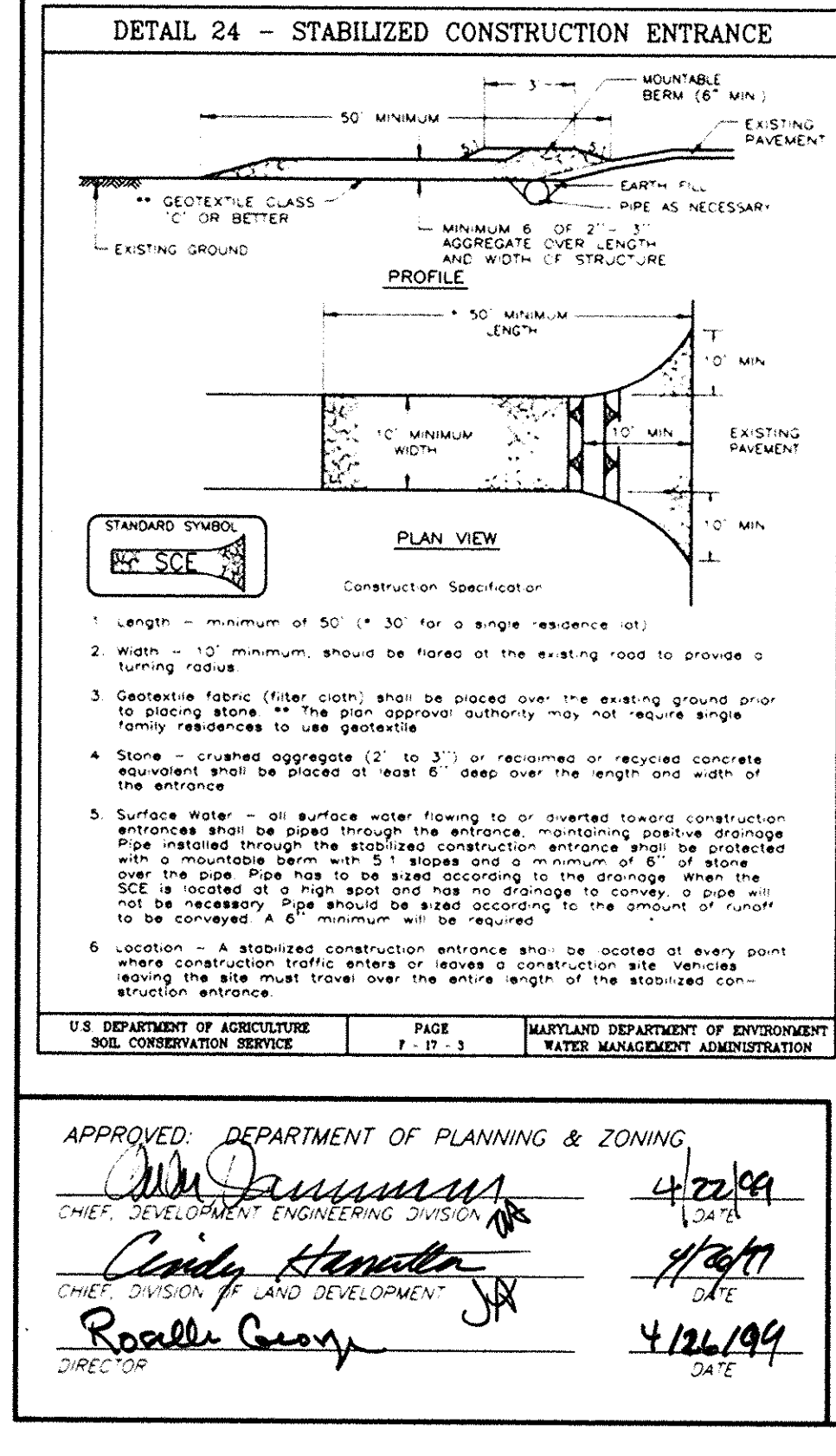
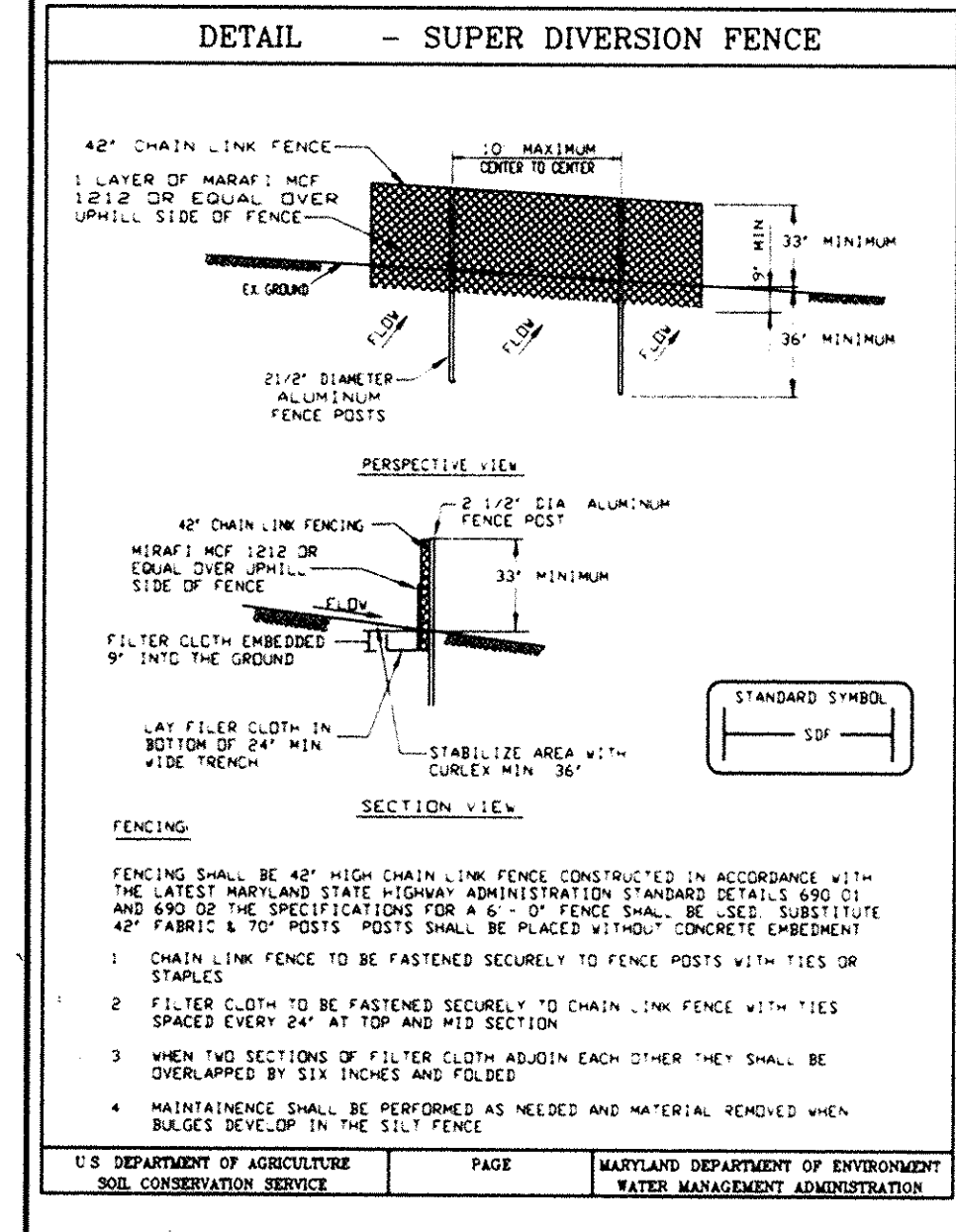
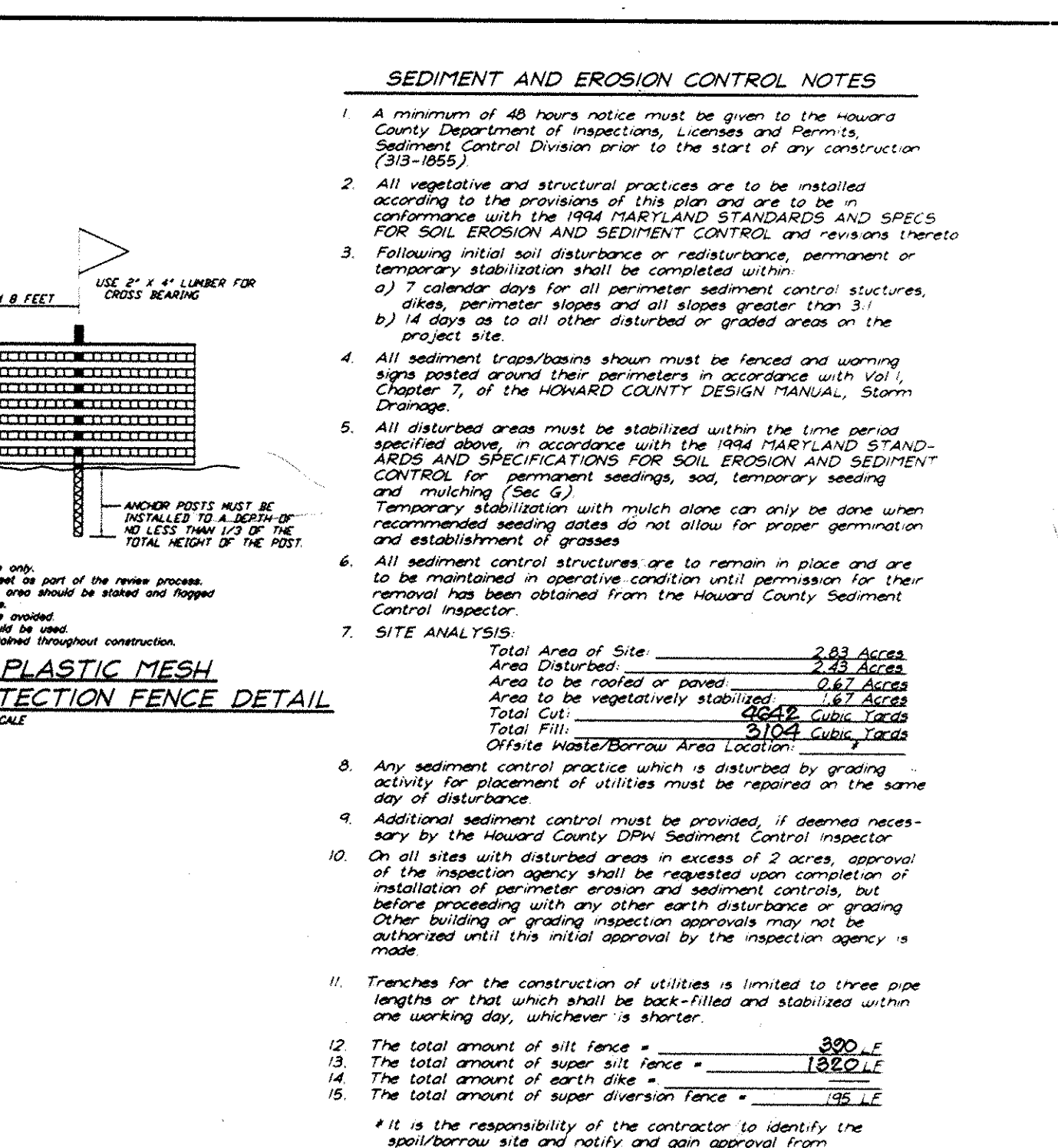
SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft).

SEEDING: For periods March 1 thru April 30 and August 1 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft) for the period May 1 thru August 15, seed with 3 lbs per acre of weeping lovegrass (3 lbs/1000 sq ft) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 300 gallons per acre (3 gal/1000 sq ft) for anchoring.

MULCHING: Apply 1/2 to 2 tons per acre (70 to 40 lbs/1000 sq ft) of certified small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 200 gallons per acre (2 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 300 gallons per acre (3 gal/1000 sq ft) for anchoring.

REFER TO THE 21.0 HANDBOOK STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



Reviewed for HOWARD SCD and meets Technical Requirements
 Signature: *[Signature]* Date: 4/15/99
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 Signature: *[Signature]* Date: 4/15/99

DEVELOPER'S/BUILDER'S CERTIFICATE

I hereby certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Signature: *[Signature]* Date: 4/2/99

ENGINEER'S CERTIFICATE

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OWNER / DEVELOPER
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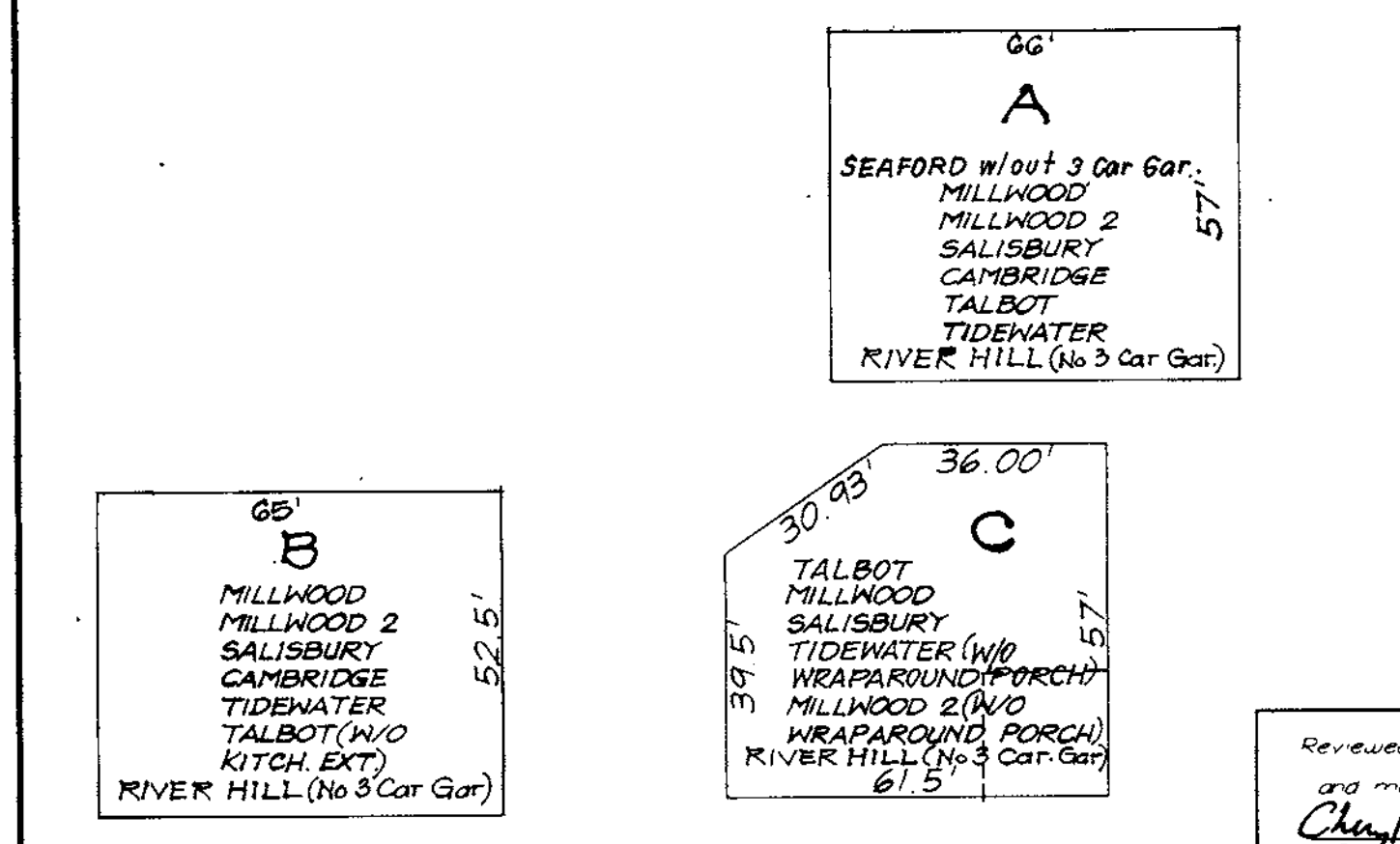
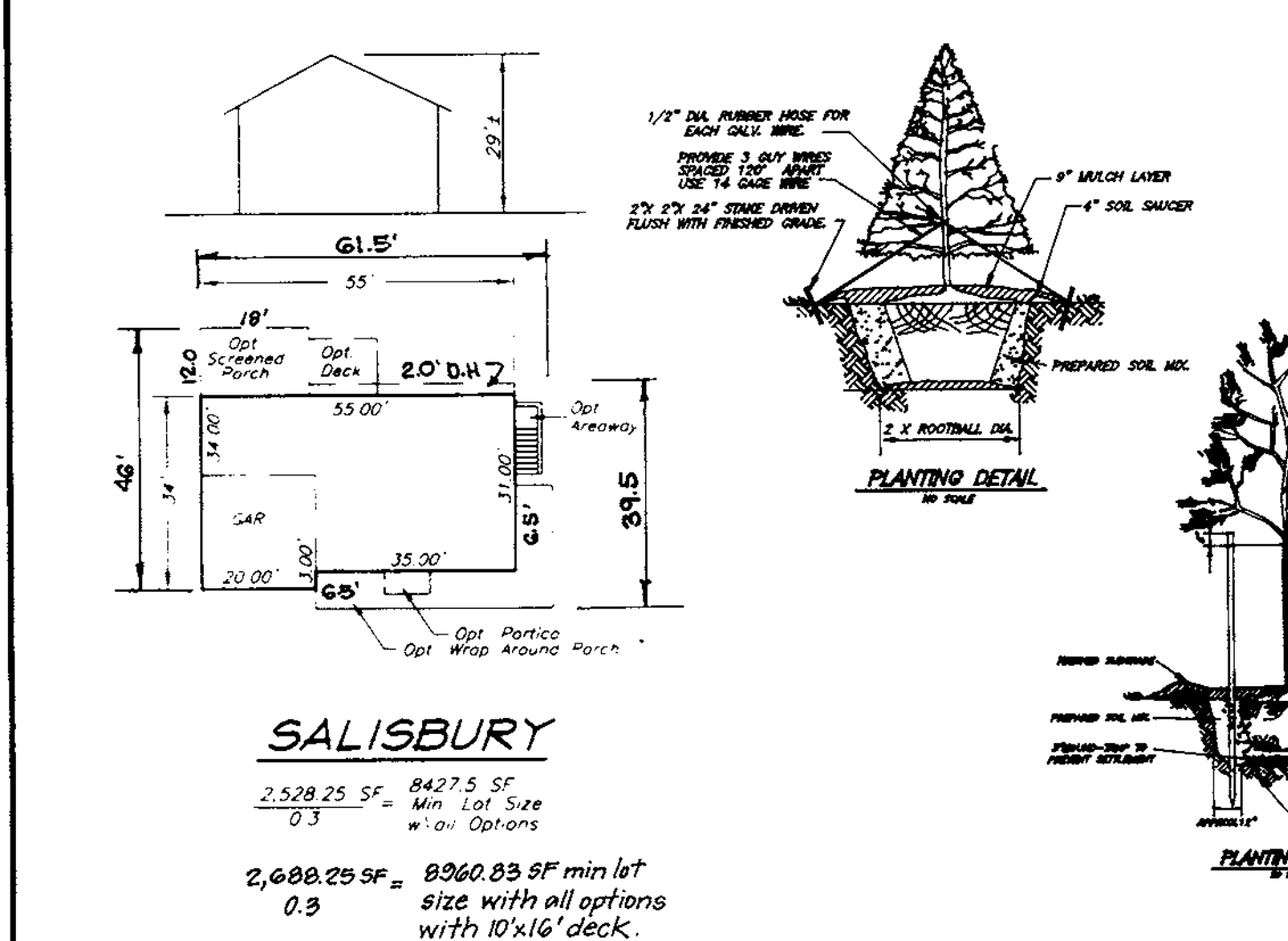
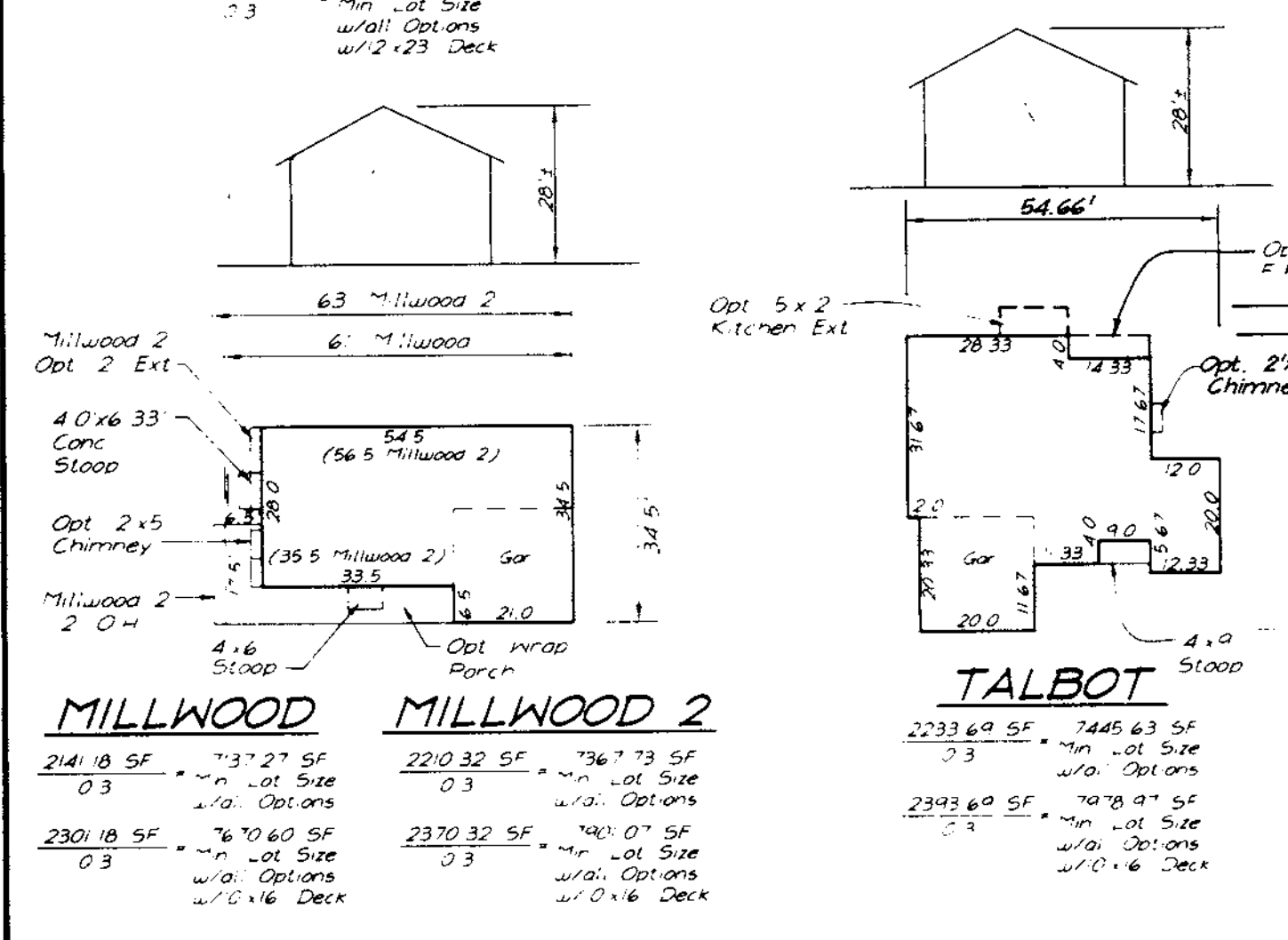
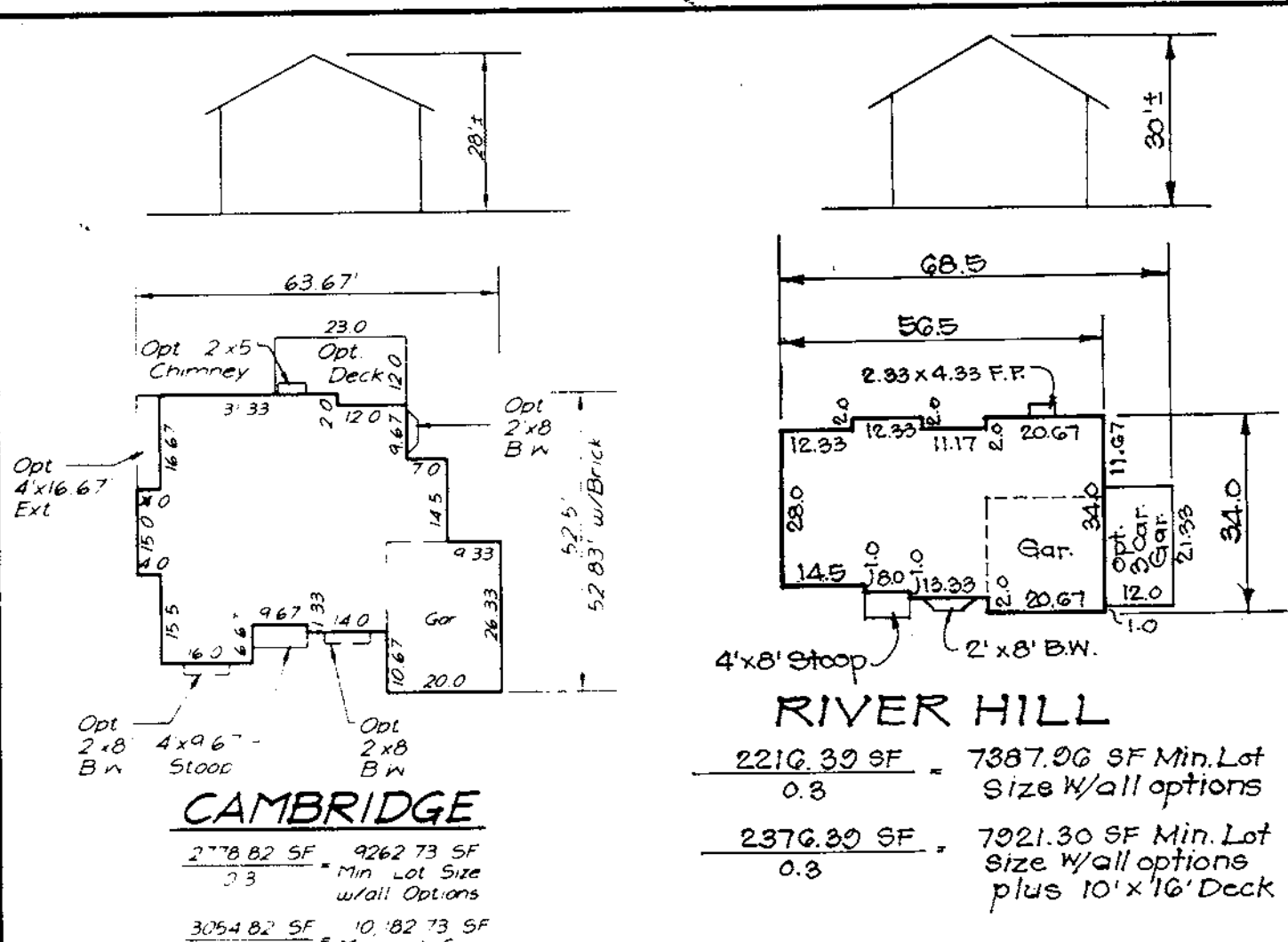
DESIGNED BY: OM/TD
 DRAWN BY: BH
 CHECKED BY: TO/JME
 DATE: 2/4/99

SITE DEVELOPMENT, SEDIMENT AND EROSION CONTROL PLAN
 LOTS 1, 4, 148, 149, 154, 157, 162, 165, 166
COLUMBIA VILLAGE OF RIVER HILL
 SECTION 4 AREA 5
 FIFTH (5th) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

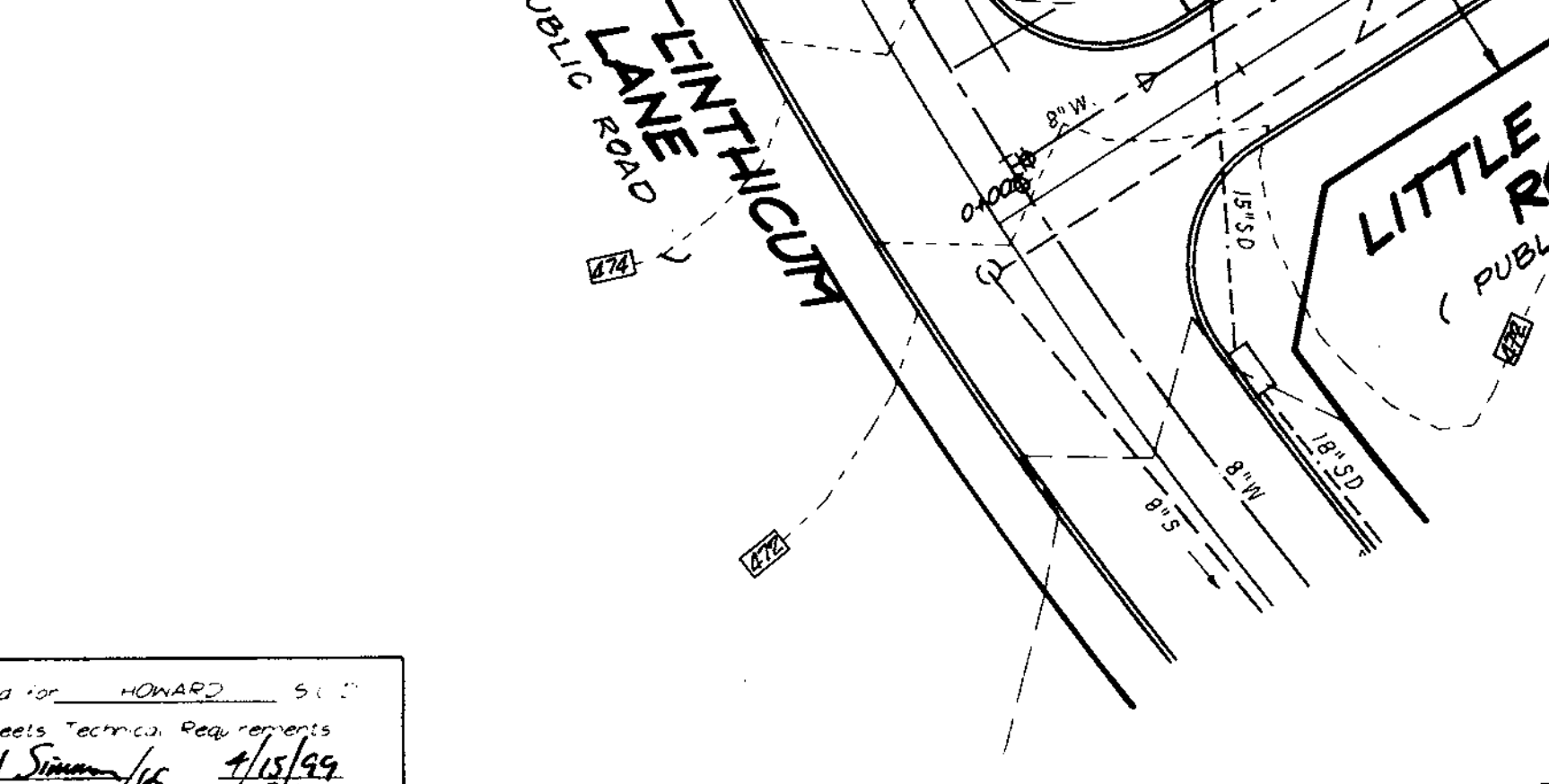
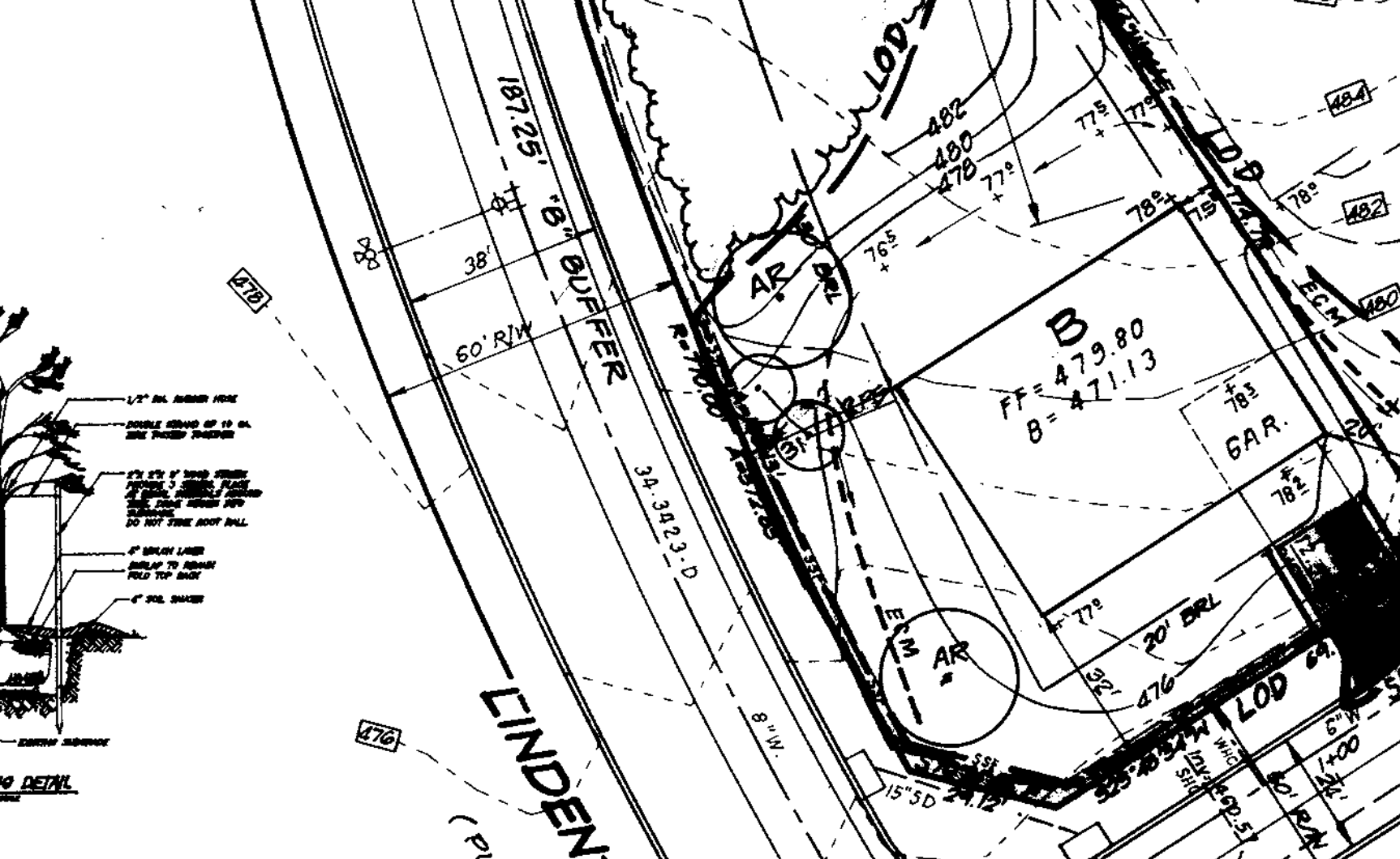
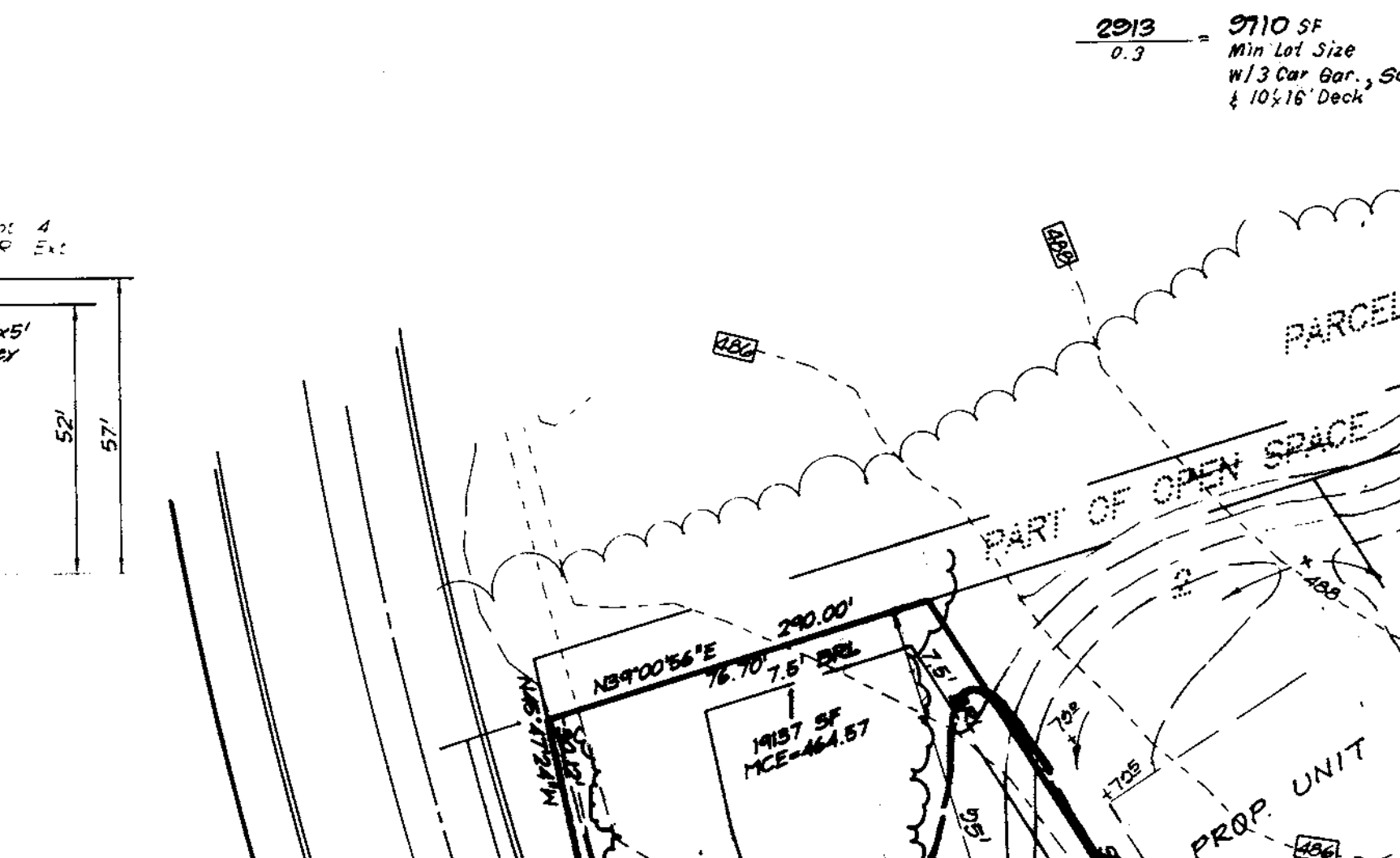
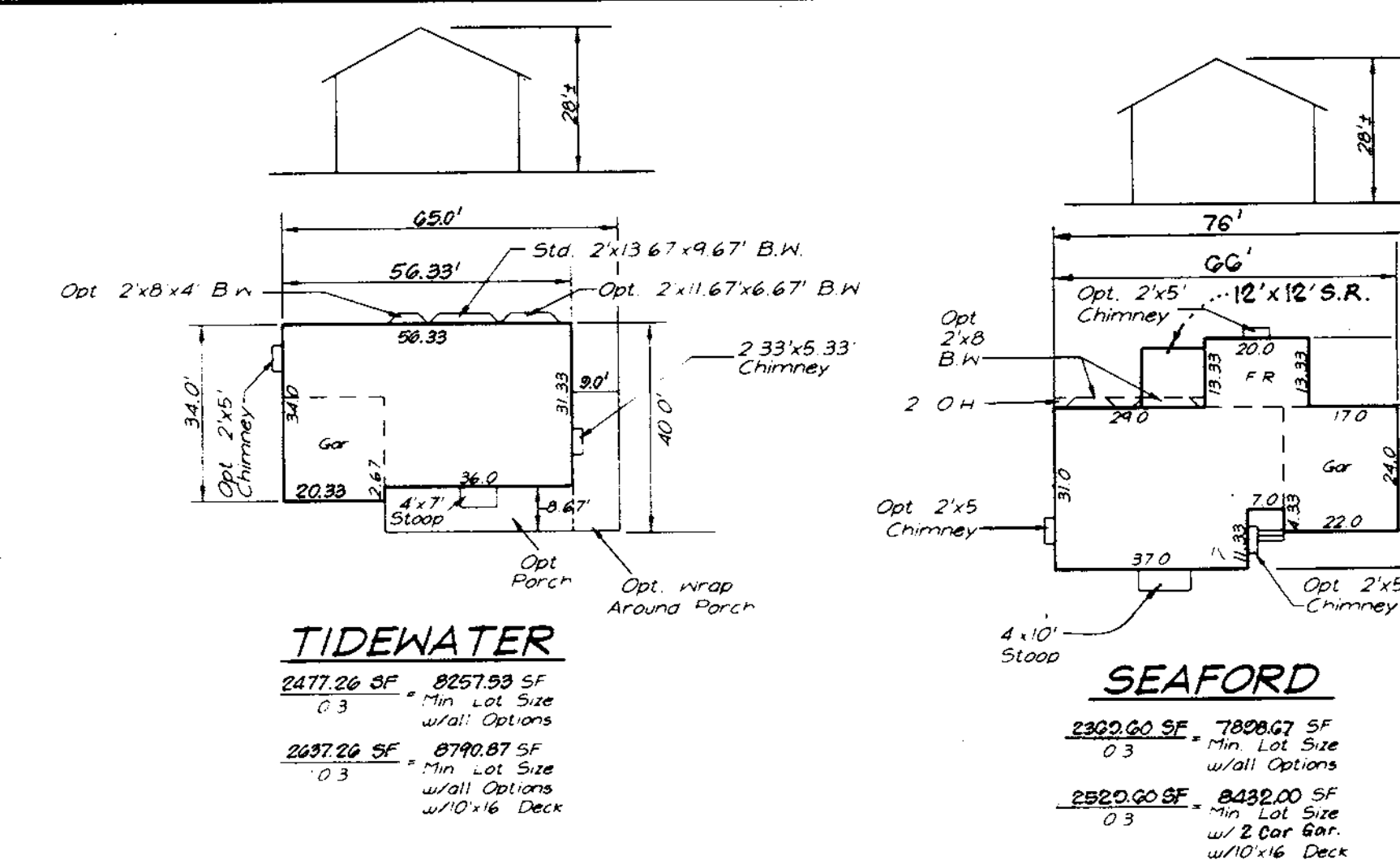
SCALE: 1" = 30'
 DRAWING: 3 of 3
 JOB NO: 09-00
 DATE: 4-2-99
 FILE NO: 99-007-X

FOR: NU HOMES, Inc.
 10630 Little Patuxent Parkway, Suite 146
 Columbia, Maryland 21044

SDP-99-95



APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/22/99
 DATE: 4/26/99
 DATE: 4/26/99



REVISIONS
 1 Add 3 Car Gar. to Seaford Hse. Model 6-23-99
 HARRY A. BONIE
 DATE: 4/2/99

**** PLANT SCHEDULE**

KEY	PLANT NAME	SIZE	QUAN.	REMARK
(A)	ACER RUBRUM	2 1/2" - 3" CAL.	2	B&B HEAVY
(B)	QUERCUS ROBUR	12" - 14" HT.	2	B&B HEAVY
(C)	PRUNUS STRIBIS	6" - 8" HT.	2	HEAVY

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	LOT 1
Landscape Type	B	B
Frontage/Perimeter	187.25'	187.25'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	Yes 90'	90'
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Surety Amounts		\$900

* Comments: Planting to be provided per the New Town Alternative Compliance method.

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LEGEND

CONTOUR INTERVAL 2 FT.
 EXISTING CONTOUR
 PROPOSED CONTOUR
 DIRECTION OF DRAINAGE
 WALK OUT BASEMENT
 SPOT ELEVATION
 STABILIZED CONSTRUCTION ENTRANCE
 EROSION CONTROL MATTING
 SILT FENCE
 LIMIT OF DISTURBED AREA
 TREE PROTECTION FENCE
 EXISTING TREES TO REMAIN
 SUPER SILT FENCE
 SUPER DIVERSION FENCE

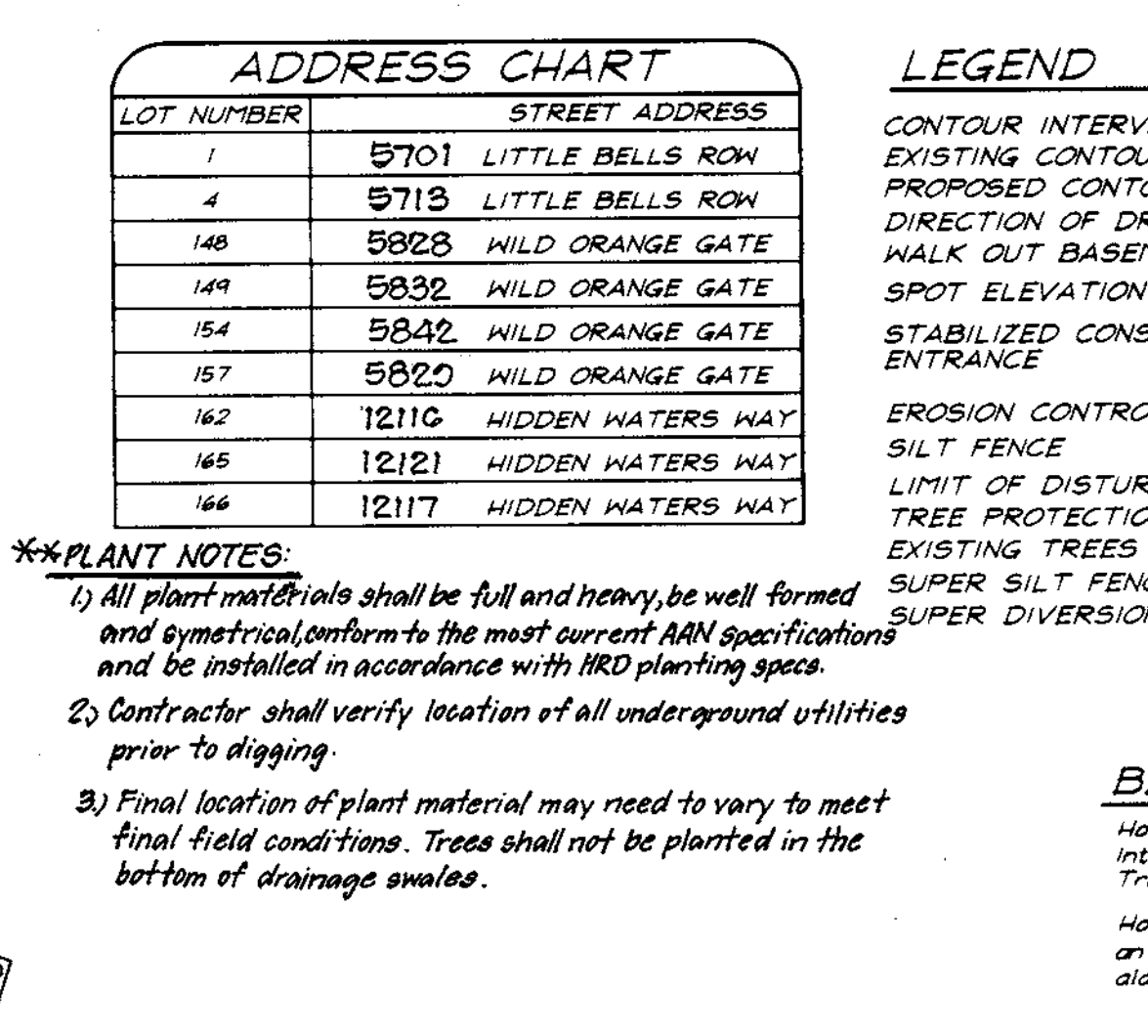
**** PLANT NOTES:**

- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specs.
- Contractor shall verify location of all underground utilities prior to digging.
- Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

BENCHMARKS:
 Howard County Monument 2964
 Intersection of MD. Route 108 and Trotter Road
 Howard County Monument 2965
 an additional 2,544' Northeastly along MD Route 108 away from Site

GENERAL NOTES:

- Subject property is zoned NTSFLD per '10-18-93 Comprehensive Zoning Plan.
- The total area included in this submission is 2.8294 Acres.
- The total number of lots included in this submission is 9.
- Improvement to property - Single Family Detached.
- The maximum lot coverage permitted is 30%.
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SHEET INDEX

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT, SEDIMENT & EROSION CONTROL	1, 2 and 3

OWNER / DEVELOPER
 THE HOWARD RESEARCH AND DEVELOPMENT CORP
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-102 and/or approved Water and Sewer Plans Contract #34-3586-D.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, section 16-124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: Harry A. Bonie Date: 4/2/99

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Name: G. Nelson Clark Date: 4-2-99

DEVELOPER'S/BUILDER'S CERTIFICATE

I certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Name: Harry A. Bonie Date: 4/2/99

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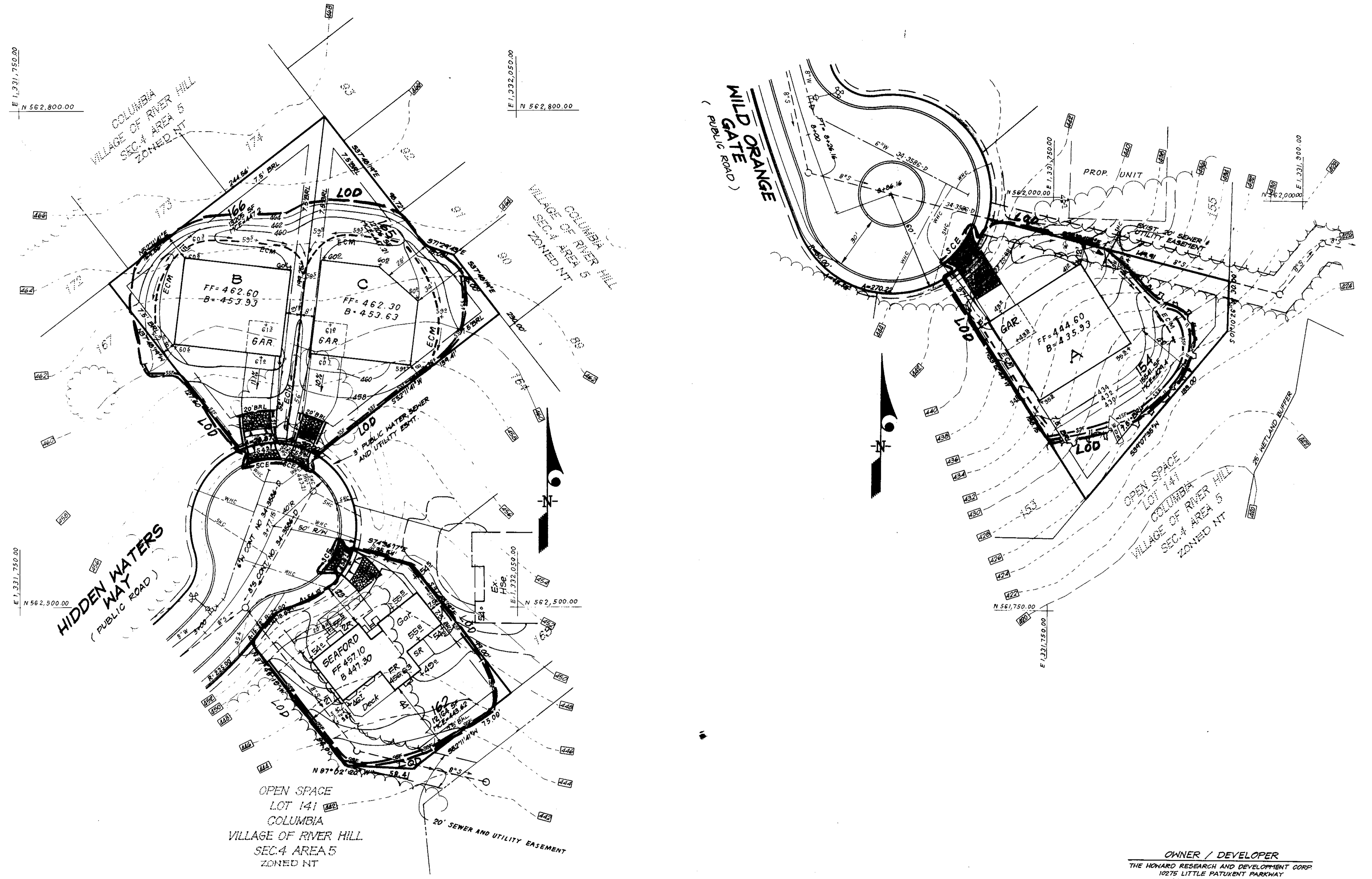
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Name: Harry A. Bonie Date: 4/2/99

SP: 99.95



Reviewed for: HOWARD S.C.D.
and meets Technical Requirements
Carol Simon/ps 4/15/99
Signature Date
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.
Jeffrey H. [Signature] 4/15/99
Approved

APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 4/22/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 4/26/99
CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 4/26/99
DIRECTOR

NO	Rev. Use. & grid lot 162	Date
1	Rev. Use. & grid lot 162	6/20/99
2	REVISIONS	Date

OPEN SPACE
LOT 141
COLUMBIA
VILLAGE OF RIVER HILL
SEC. 4 AREA 5
ZONED NT

DEVELOPER'S/BUILDER'S CERTIFICATE

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Harry A. Bonie 4/2/99
NAME: HARRY A. BONIE DATE

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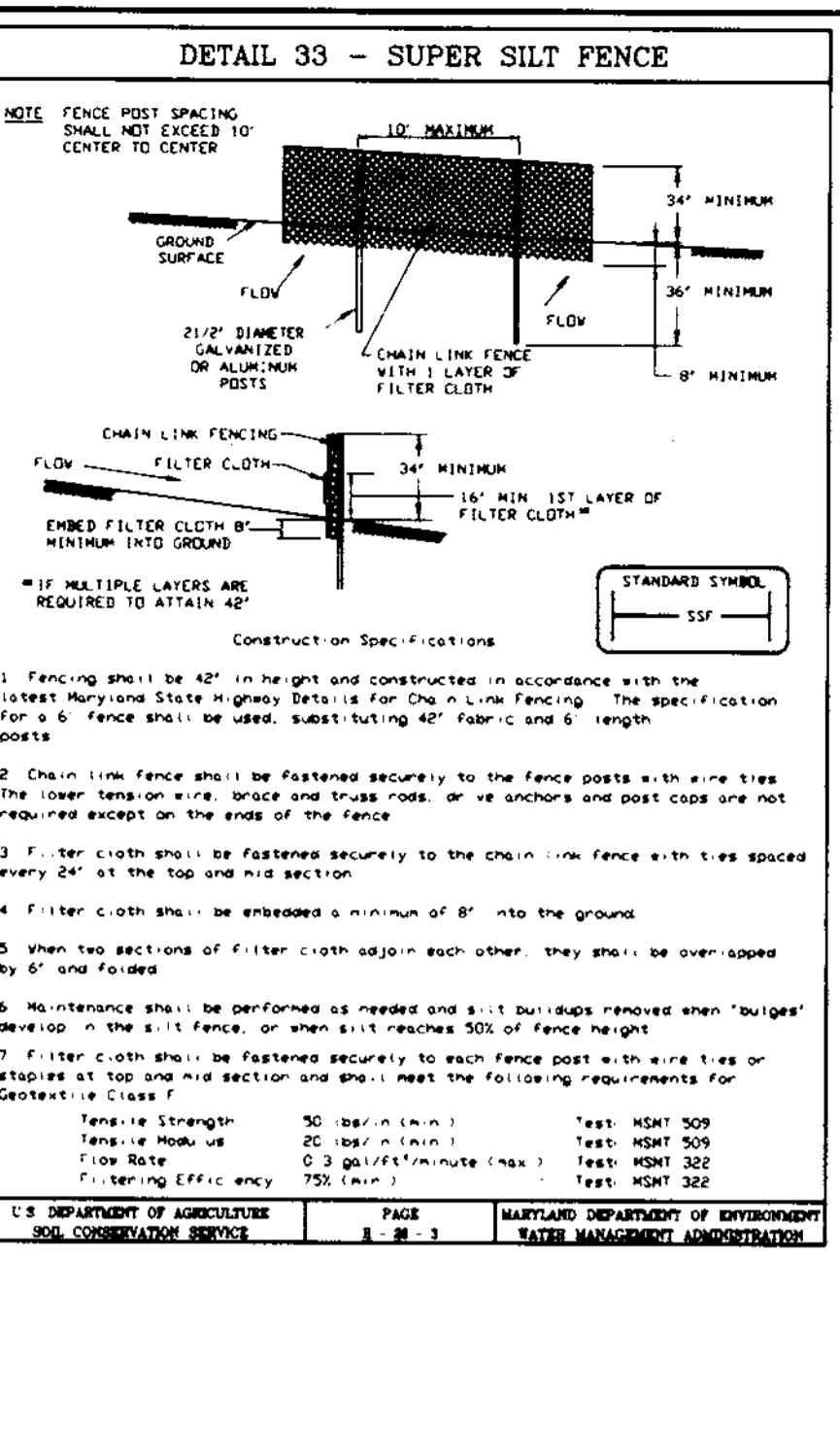
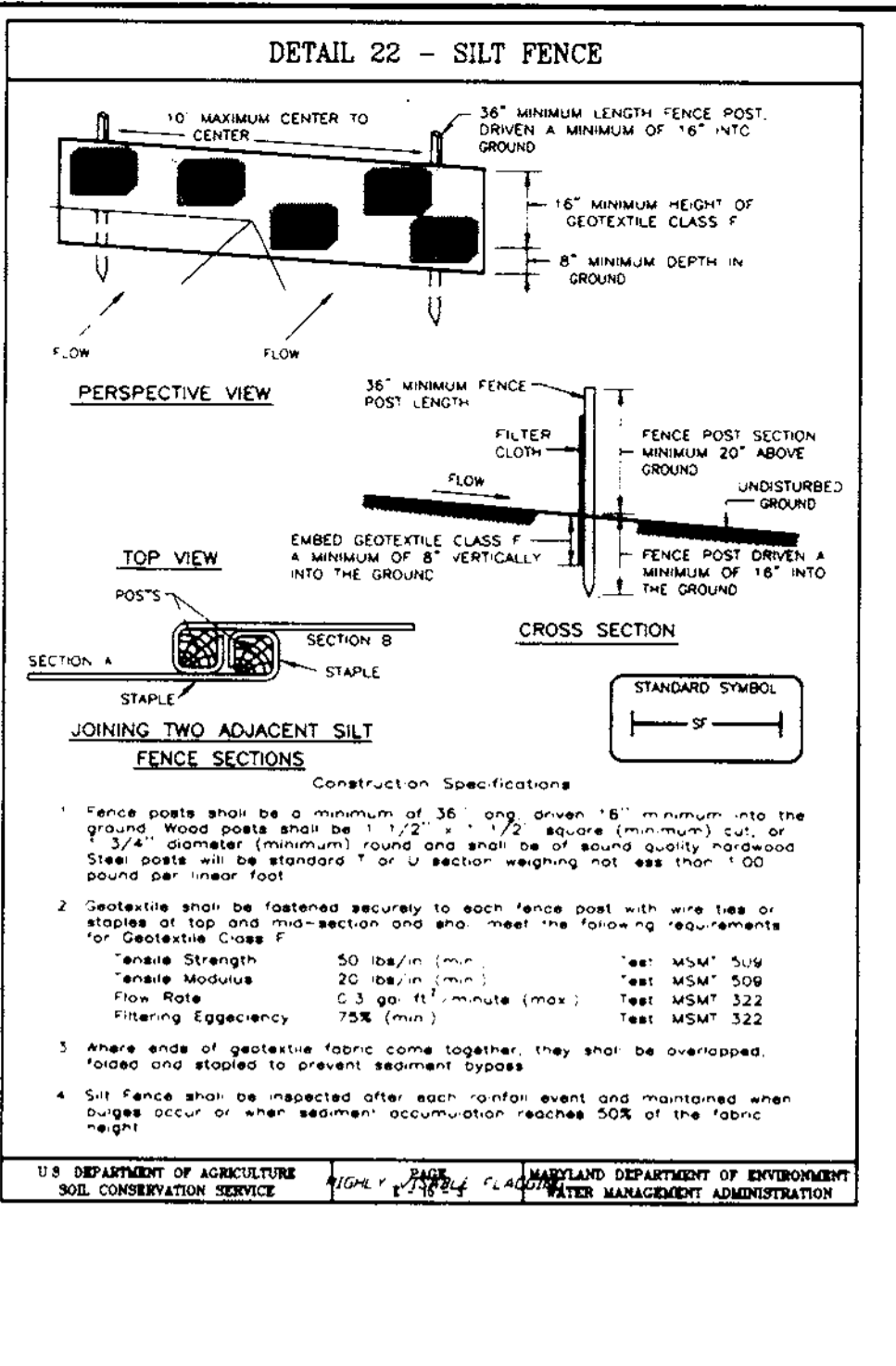
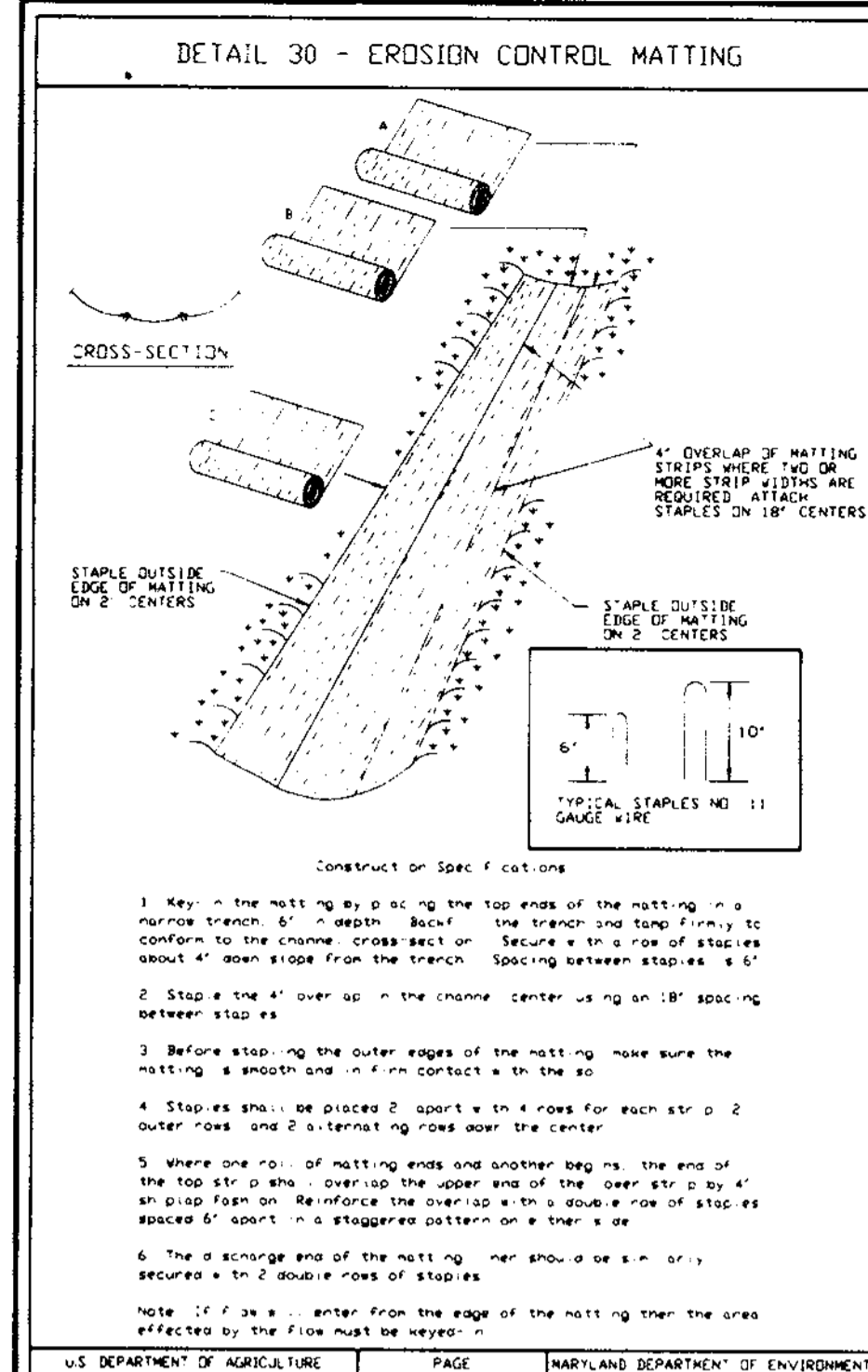
G. Nelson Clark 4-2-99
G. NELSON CLARK DATE



OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED DM/TD	SITE DEVELOPMENT, SEDIMENT AND EROSION CONTROL PLAN LOT 1, 4, 148, 149, 154, 157, 162, 165 & 166 COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 5 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30' DRAWING 2 OF 3 JOB NO. 99-007
DRAWN BLP JTR		FILE NO. 99-007-X
CHECKED TD/JME		
DATE 2/14/99	FOR: NU HOMES 10630 LITTLE PATUXENT PARKWAY, SUITE 146 Columbia, Maryland 21044	

SDP.99.915



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetative growth. Soils of various low moisture content, low nutrient levels, low pH, moderate to coarse texture, and unacceptable soil gradation.

Conditions Where Practice Applies: This practice is limited to areas having 21 or greater slope where:

- The texture of the exposed subsoil is not suitable to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- The original soil to be vegetated contains material toxic to plant growth.
- The soil is so acidic that treatment with lime is not feasible.

For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications:

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given site can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, very acid. Other than the specified soil types, the depth of topsoil to be salvaged shall be determined by an approved soil scientist and approved by the appropriate approval authority. Topsoil shall not be a mixture of contrasting textures and shall be uniform in texture.
 - Topsoil shall not be placed until the topsoil or subsoil is in a frozen or muddy condition when the subsoil is a sand or silt or a condition that may otherwise be detrimental to proper grading and seedling preparation.
 - Topsoil must be free of stones or plant parts such as twigs, branches, stumps, manure, weed seeds, etc., or other as specified.
 - Where the subsoil is either highly acidic or composed of a coarse sand or gravel, the spread of the rate of 4-6 cubic yards (200-400 pounds per 1000 sq ft) of topsoil in the placement of topsoil. This shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following practices.
- For sites having disturbed areas over 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 - On soil meeting topsoil specifications, obtain test results indicating fertilizer and lime requirements required to bring the soil into compliance with the following:
 - a. pH for topsoil shall be between 6.0 and 7.0; if the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - b. Organic content of topsoil shall be not less than 1.0 percent by weight.
 - c. Topsoil having available soil content greater than 500 parts per million shall not be used.
 - d. No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for pest control until sufficient time has elapsed (7 to 90 days min) to permit dissipation of the toxic materials.
 - Topsoil from subsurface or otherwise, as recommended by a qualified geologist or agronomist, as recommended by the appropriate approval authority, may be used in lieu of natural topsoil.
- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- Topsoil Application:
 - When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Site Fence and Sediment Traps and Basins.
 - Grasses on the area to be topsoiled, which have previously established, shall be maintained, about 4" or higher in situation.
 - Topsoil shall be uniformly distributed in a 4" or 6" layer and lightly compacted to a minimum thickness of 4" spreading shall be performed in such a manner that seeding or planting can proceed. The maximum thickness of topsoil applied and tillage. Any irregularities in the surface of the topsoil shall be corrected in order to prevent the formation of depressions or water courses.
 - Topsoil shall not be placed until the topsoil or subsoil is in a frozen or muddy condition when the subsoil is a sand or silt or a condition that may otherwise be detrimental to proper grading and seedling preparation.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE UNDER A PERMANENT LONG-LIVED VEGETATIVE COVER IS REQUIRED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre domestic limestone (70 lbs/1000 sq ft) and 400 lbs per acre 0-10-10 fertilizer (14 lbs/1000 sq ft) before seeding, narrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 30-0-10 uniform fertilizer (14 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre domestic limestone (70 lbs/1000 sq ft) and apply 1000 lbs per acre 0-10-10 fertilizer (28 lbs/1000 sq ft) before seeding, narrow or disc into upper three inches of soil.

SEEDING: For the period March 1 thru April 30 and August 1 thru October 31, seed with 40 lbs per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 40 lbs per acre (14 lbs/1000 sq ft) of seeding mixture. During the period of October 16 thru February 28, protect site for October (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use seed, Option (3) Seed with 40 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

PLANTING: Apply 1/2 to 2 tons per acre (70 to 80 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 20 gallons per acre (5 gal/1000 sq ft) of animal manure applied on flat areas. On slopes 6 feet or higher, use 500 gallons per acre (5 gal/1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

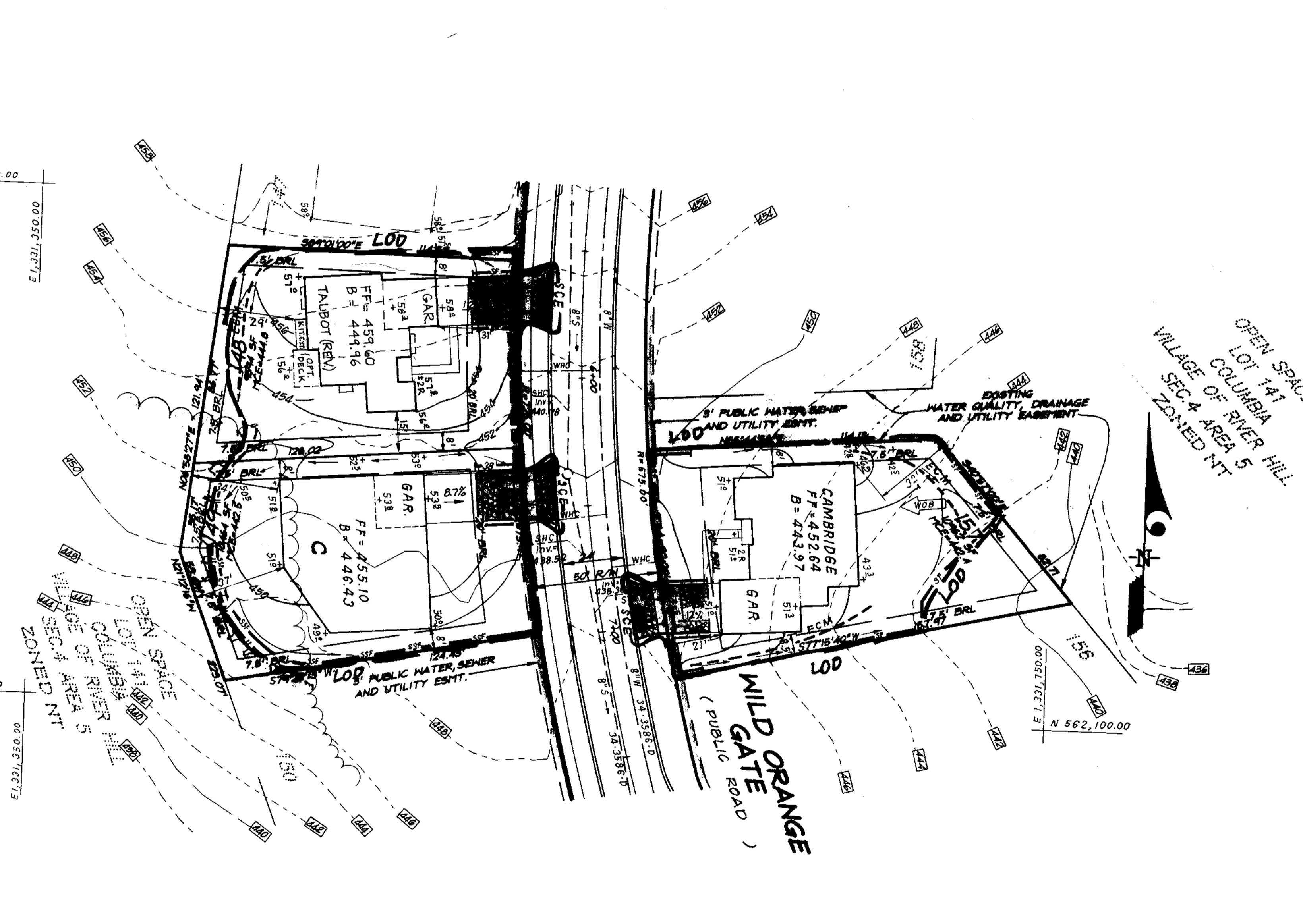
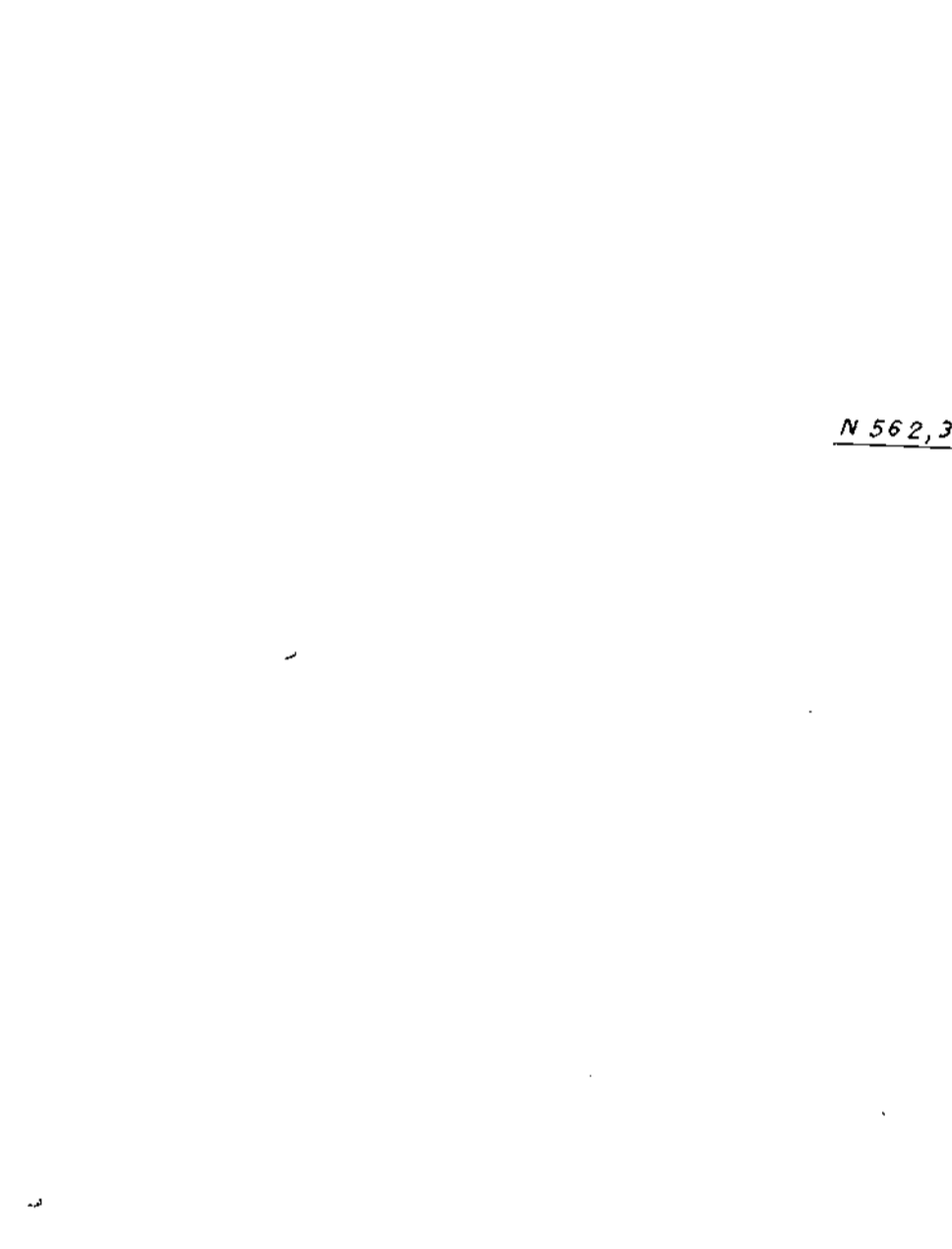
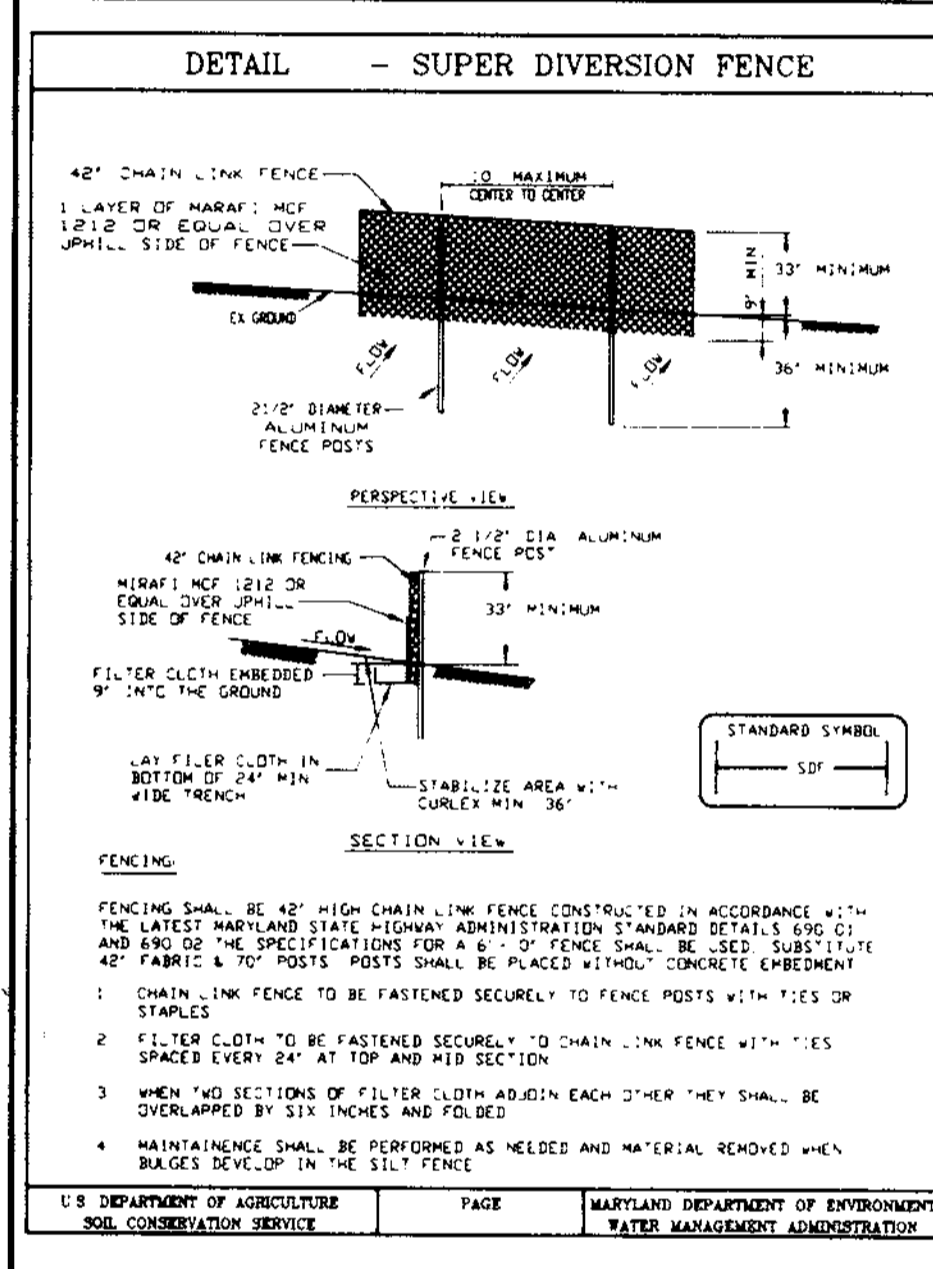
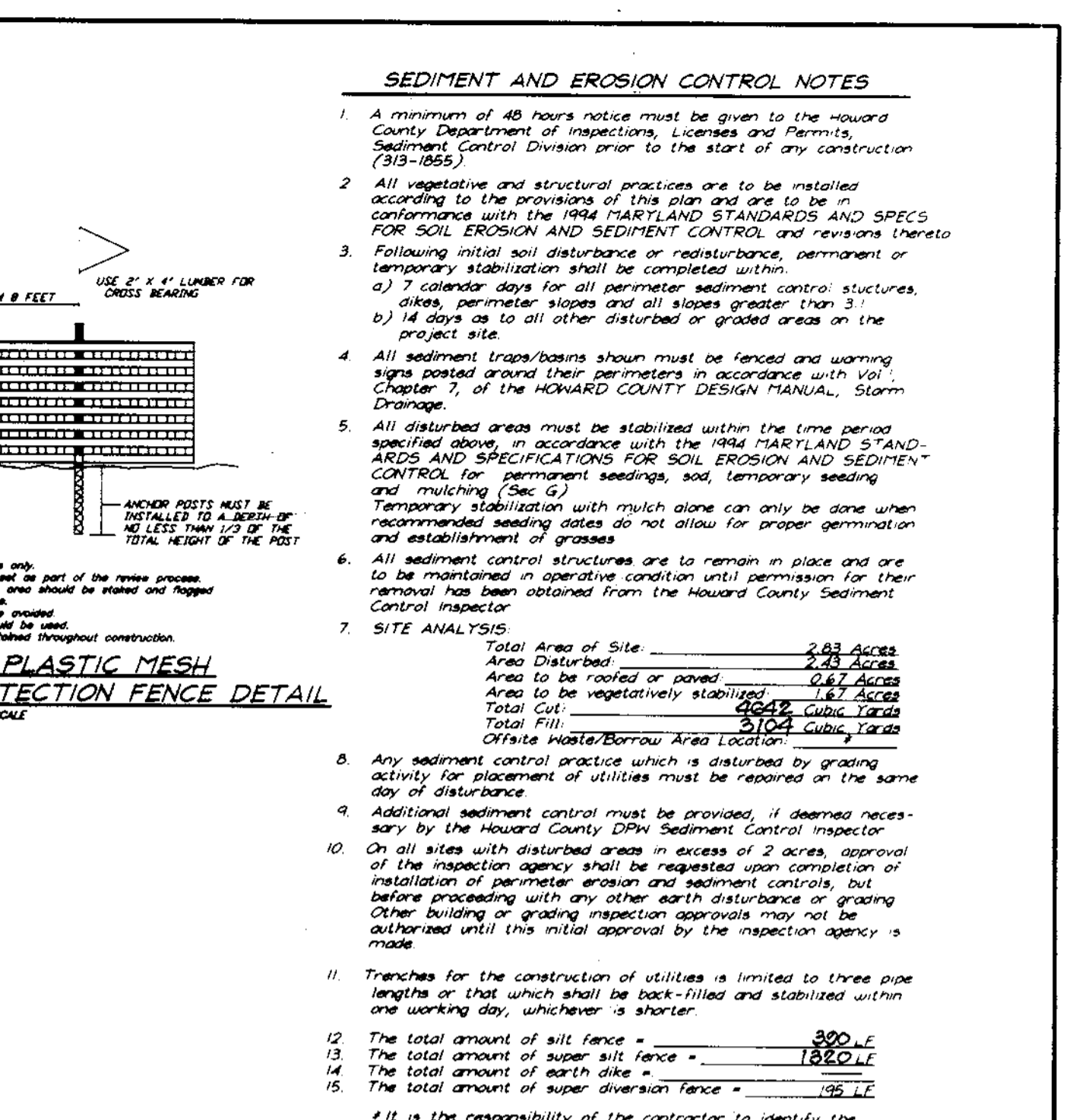
SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 400 lbs per acre 0-10-10 fertilizer (14 lbs/1000 sq ft).

SEEDING: For the period March 1 thru April 30 and from August 1 thru November 15, seed with 2 1/2 bushels per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 31, seed with 2 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period between February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring or use seed.

PLANTING: Apply 1/2 to 2 tons per acre (70 to 80 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 20 gallons per acre (5 gal/1000 sq ft) of animal manure applied on flat areas. On slopes 6 feet or higher, use 500 gallons per acre (5 gal/1000 sq ft) for anchoring.

REFER TO THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



OWNER / DEVELOPER

THE HOWARD RESEARCH AND DEVELOPMENT CORP
10275 LITTLE PATENT PARKWAY
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CLARK • FINEFROCK & SACKETT, INC.

ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	SITE DEVELOPMENT, SEDIMENT AND EROSION CONTROL PLAN	SCALE
OM/TD	LOTS 1, 4, 14B, 149, 154, 157, 162, 165 & 166	1" = 30'
DRAWN	COLUMBIA VILLAGE OF RIVER HILL	DRAWING
BH	SECTION 4 AREA 5	JOB NO.
CHECKED	FIFTH (5TH) ELECTION DISTRICT	99-007
TD/JME	HOWARD COUNTY, MARYLAND	FILE NO.
DATE	FOR: NU HOMES, INC. 10630 LITTLE PATENT PARKWAY, SUITE 146 COLUMBIA, MARYLAND 21044	99-007-X

4/22/99
4/24/99
4/22/99

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 4/22/99
CHIEF DEVELOPER ENGINEERING DIVISION

[Signature] 4/24/99
CHIEF DIVISION OF LAND DEVELOPMENT

[Signature] 4/22/99
DIRECTOR

Reviewed by: HSE & GRD

[Signature] 4/15/99
Subscribed

"AS DEVELOPER'S PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT"

[Signature] 4/15/99
APPROVED

DEVELOPER'S/BUILDER'S CERTIFICATE

I, the Developer, certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

[Signature] 4/15/99
DATE

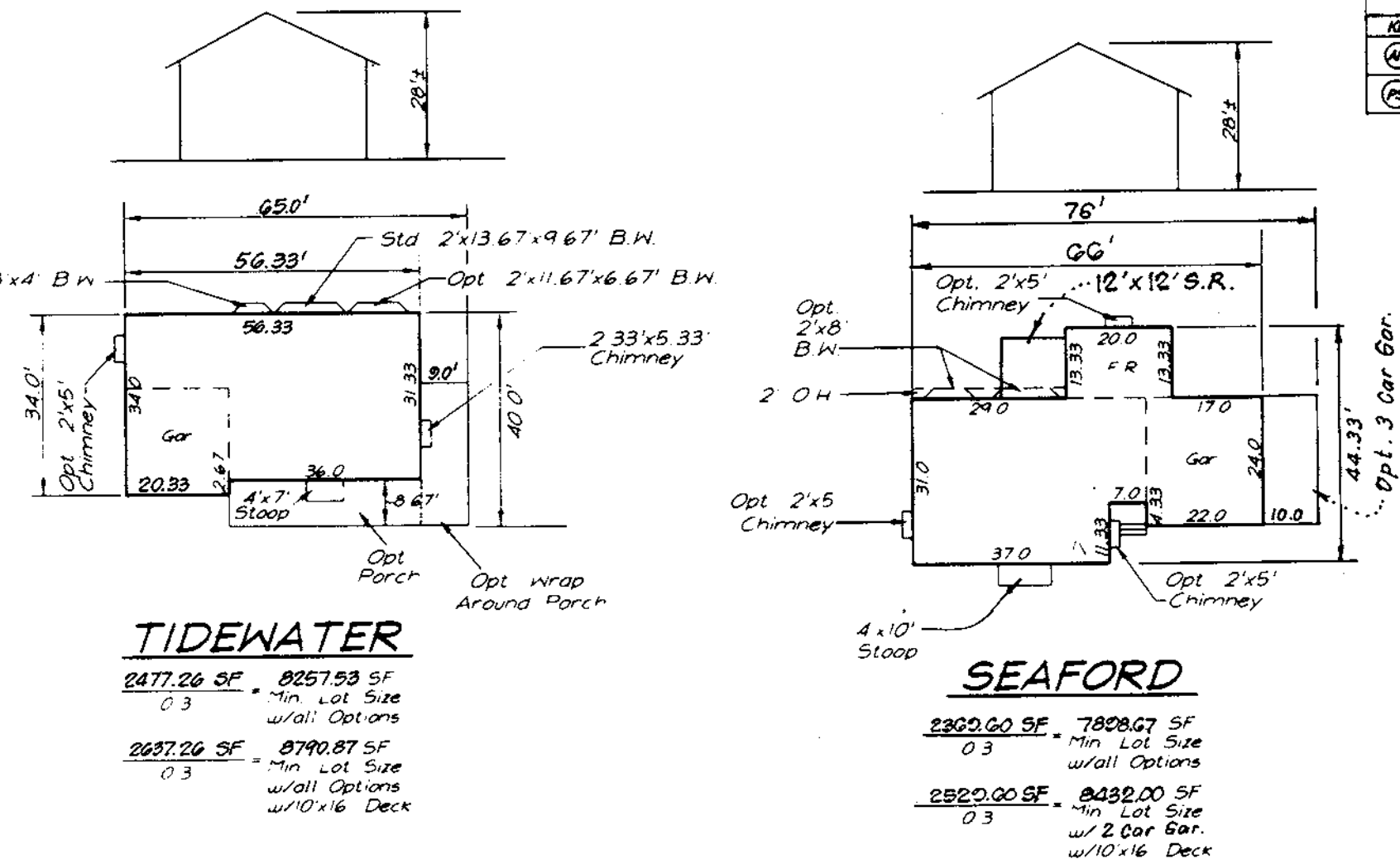
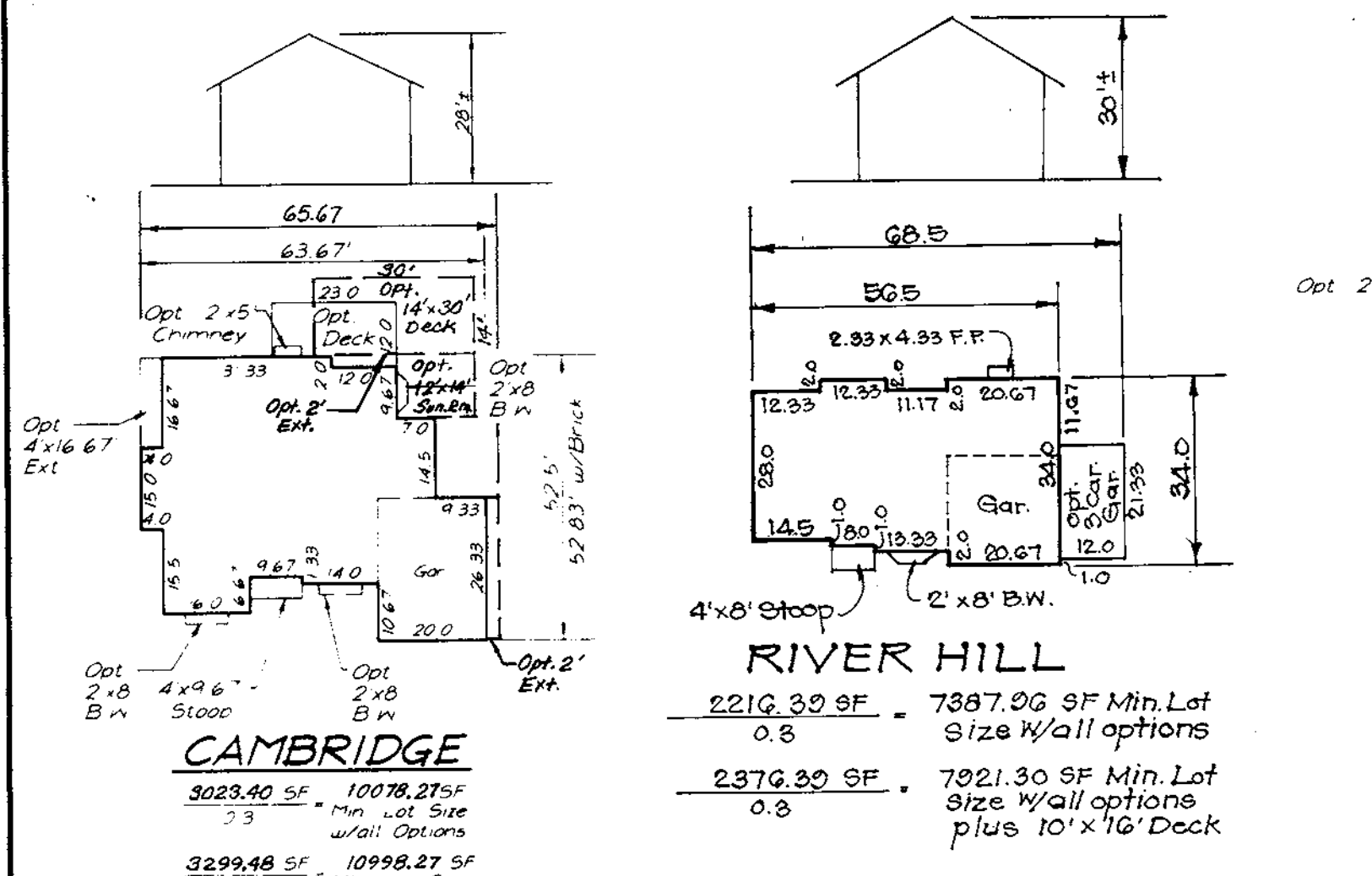
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[Signature] 4-2-99
G. NELSON CLARK DATE

4229

STATE OF MARYLAND
G. NELSON CLARK
REGISTERED PROFESSIONAL ENGINEER
NO. 10000



**** PLANT SCHEDULE**

QTY	PLANT NAME	SIZE	QUAN.	REMARK
2	ACER RUBRA	2 1/2"-3" CAL	2	B&B
2	OCT. GLODY RED MAPLE	12"-14" HT.	2	HEAVY
2	FRAXINUS STYRACIA	8"-8" HT.	2	B&B
2	WHITE PINE	8"-8" HT.	2	HEAVY

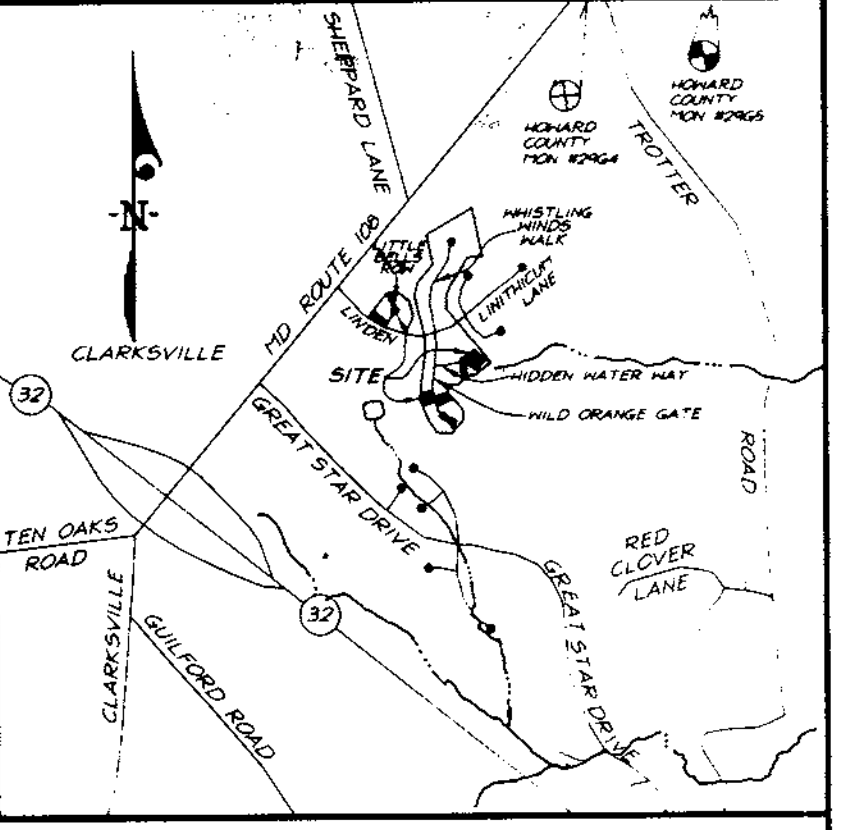
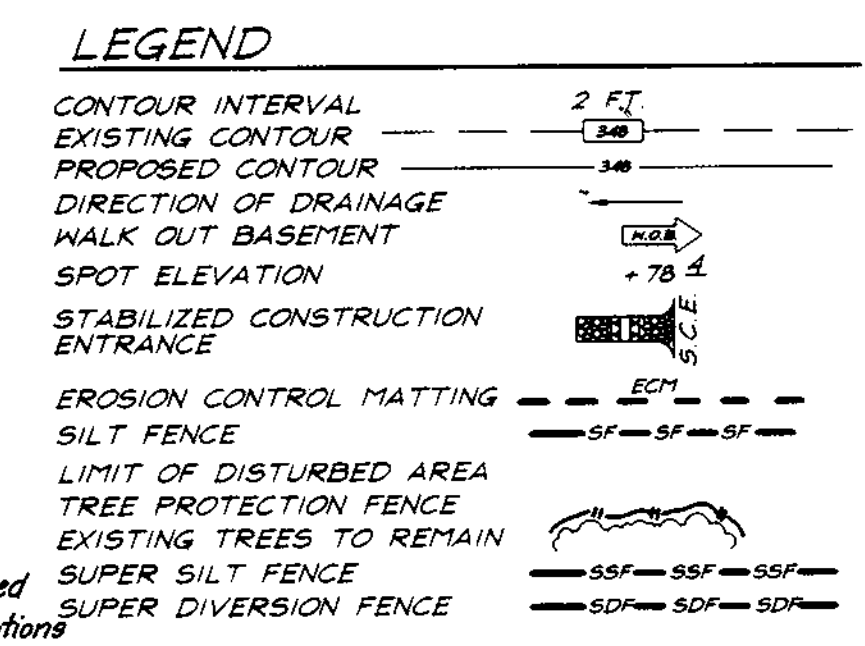
SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	LOT 1
Landscape Type	GG'	B
Frontage/Perimeter	187.25'	187.25'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	Yes 90'	
Number of Plants Required		
Shade Trees	(1/50)	2
Evergreen Trees	(1/40)	2
Shrubs		
Number of Plants Provided		
Shade Trees		2
Evergreen Trees		2
Surety Amounts		\$900

* Comments: Planting to be provided per the New Town Alternative Compliance Method.

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
1	5701 LITTLE BELLS ROW
4	5715 LITTLE BELLS ROW
148	5828 WILD ORANGE GATE
149	5832 WILD ORANGE GATE
154	5842 WILD ORANGE GATE
157	5820 WILD ORANGE GATE
162	1211G HIDDEN WATERS WAY
165	1212I HIDDEN WATERS WAY
166	12117 HIDDEN WATERS WAY



- ** PLANT NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HED planting specs.
 - Contractor shall verify location of all underground utilities prior to digging.
 - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

BENCHMARKS:
Howard County Monument 2964 intersection of MD Route 108 and Trotter Road
Howard County Monument 2965 an additional 2,544' N northeasterly along MD Route 108 away from Site

- GENERAL NOTES:**
- Subject property is zoned NTSFLD per '0-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is 2.8294 Acres.
 - The total number of lots included in this submission is 9.
 - Improvement to property: Single Family Detached.
 - The maximum lot coverage permitted is 30%.
 - Department of Planning and Zoning reference file numbers: S-93-21, P-95-12, F-96-102, F-98-122.
 - Utilities shown as existing are taken from approved water and sewer plans Contract #34-3586-D, approved Road Construction Plans F-96-102, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Morris & Ritchie Associates in January 1996.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Numbers 2964 & 2965.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho Co Design Manual Volume IV details R 6 03 & R 6 05.
 - In accordance with FDP-Phase 222A Part V, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks, porches and decks may project not more than 3 feet into the front or rear setbacks.
 - Stormwater Management is provided per F-96-102 (See below).
 - SW Elevations shown are at the Property lines.
 - This plan has been prepared in accordance with provision of Section 16-124 of the Howard County Code and the Landscape Manual. Financial Surety for the required 4 landscape trees in the amount of \$900.00 is part of the builders Grading Permit application. (For Lot 1).
 - Quantity Stormwater Management for Section 4, Area 5 is provided by three facilities: the refurbished SWM Pond #1 south of Linden Linthicum Lane (F-96-88), the culvert at Great Star Drive (F-96-110) and SWM Pond #4 in Section 4, Area 4 (F-96-130). Quality Management for this section will be provided by three facilities: A Forebay north of SWM Pond #1 (F-96-88), a shallow marsh facility at the end of Wild Orange Gate and an Extended Detention facility within Pond #4 (F-96-130). The subdivision is located in the Patuxent River Area Sub-Basin and is a Class I Watershed.

SHEET INDEX

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT, SEDIMENT & EROSION CONTROL	1, 2 and 3

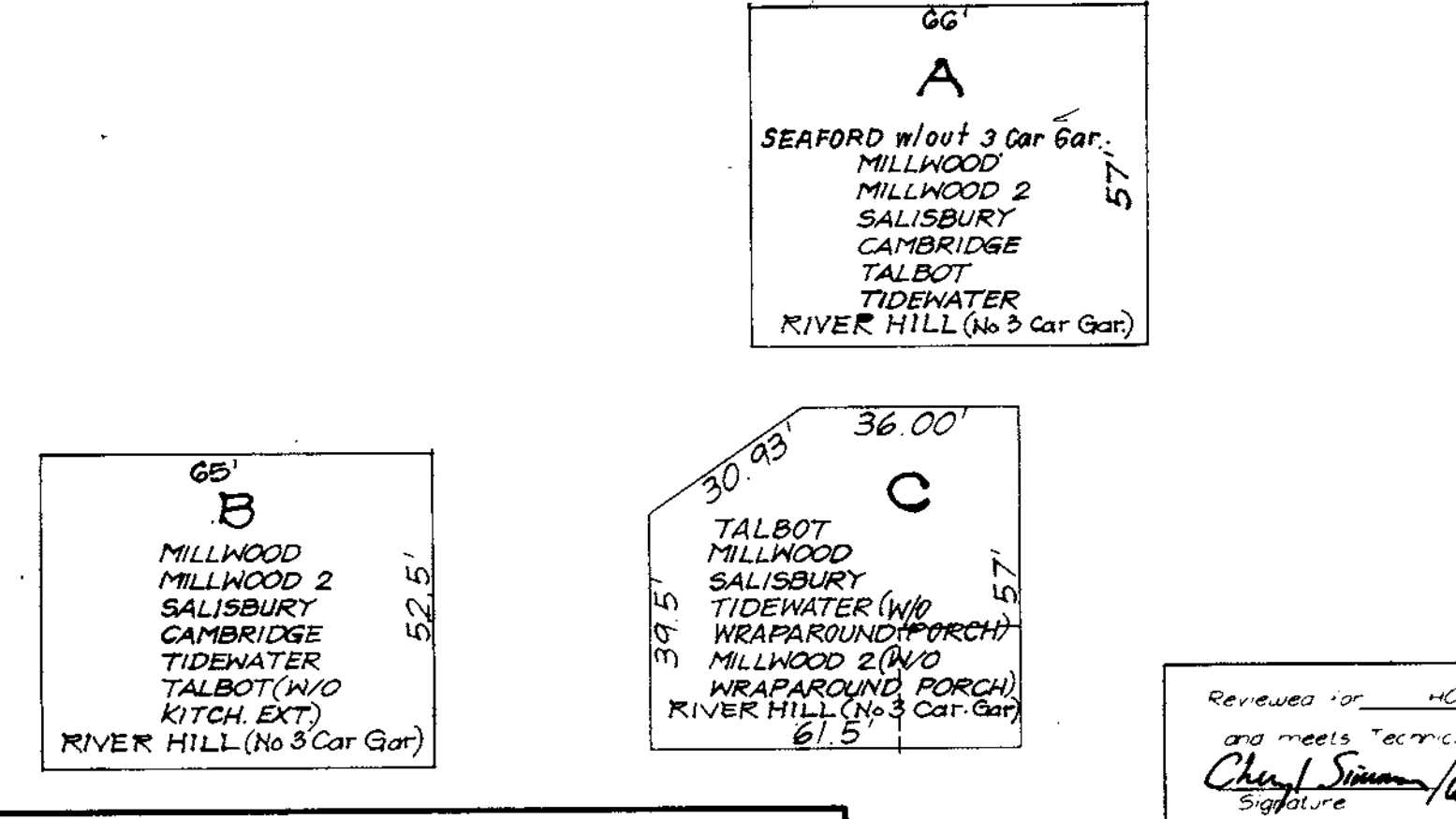
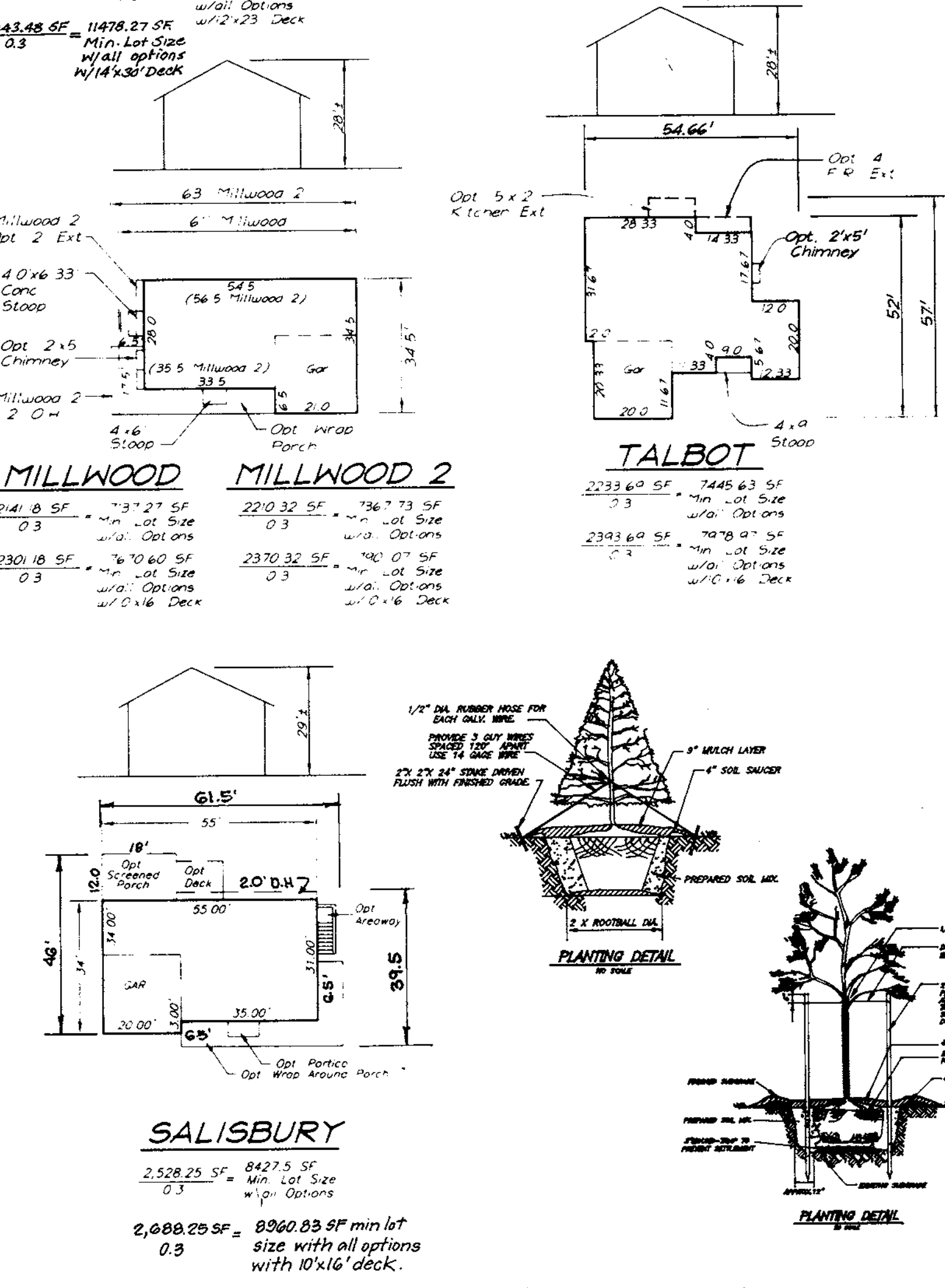
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SPECIAL NOTES:
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DEVELOPER'S/BUILDERS CERTIFICATE
I/We certify that the landscaping shown on this plan will be done according to plan, section 16124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
Harry A. Bowie
Name: HARRY A. BOWIE Date: 4/2/99

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Harry A. Bowie
Name: HARRY A. BOWIE Date: 4/2/99

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G. Nelson Clark
Name: G. NELSON CLARK Date: 4-2-99

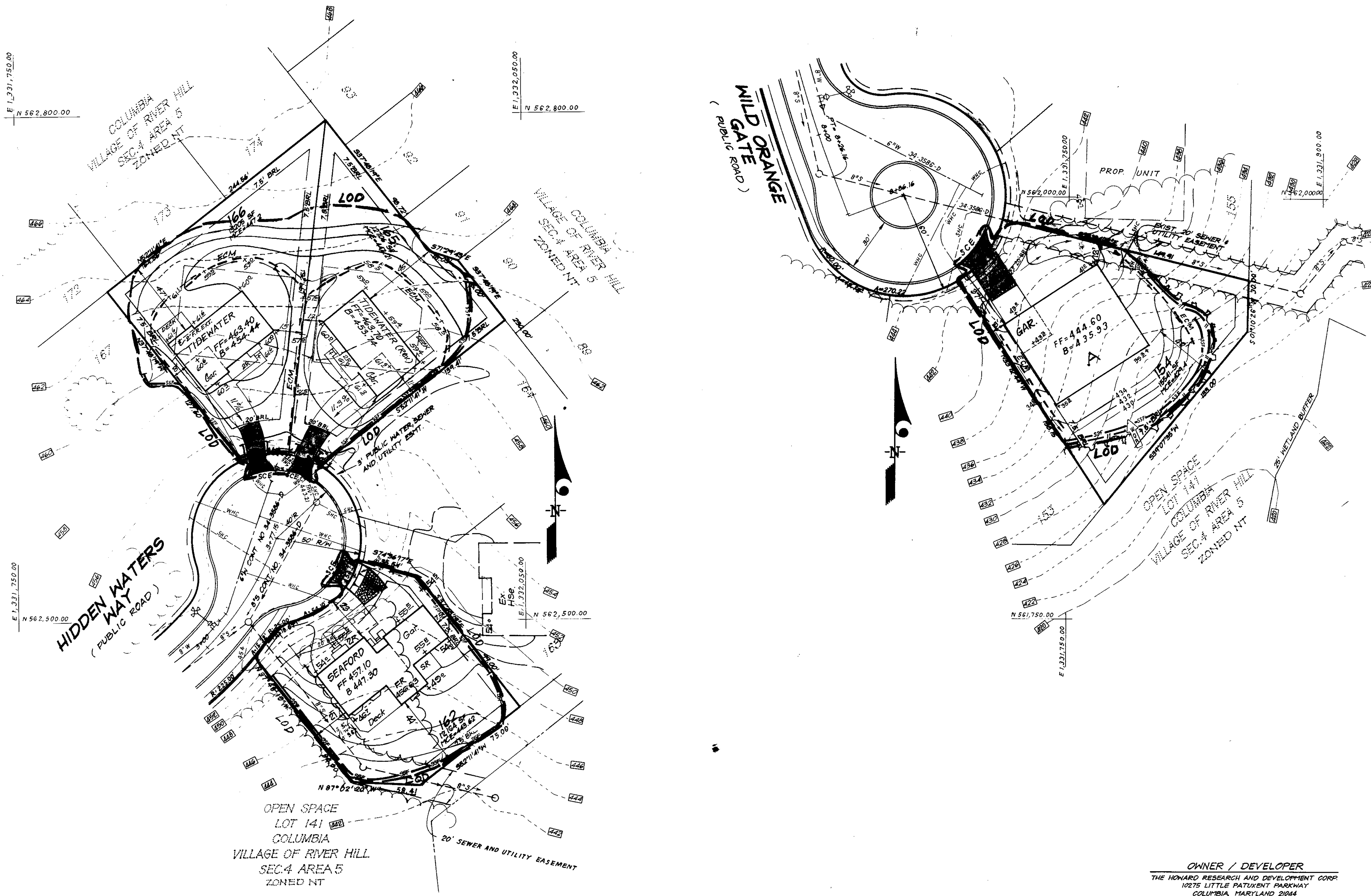


APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 4/22/99
[Signature] 4/26/99
[Signature] 4/26/99
[Signature] 4/26/99

Reviewed for: HOWARD COUNTY
and meets technical requirements for SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
Cheryl Simms
Signature Date: 4/15/99
Title: Conservation District

REVISIONS

No.	REVISIONS	Date
1	Rev. Hse 3 and lot 4 & Rev. Hse type.	12-1-99
2	Add 3 Car Gar. to Seaford Hse. Model	6-23-99



Reviewed for: HOWARD S.C.D.
and meets Technical Requirements
Cindy Harmon 4/15/99
Signature Date
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.
Jeffrey S. [Signature] 4/15/99
Approved

APPROVED: DEPARTMENT OF PLANNING & ZONING	<u>[Signature]</u>	DATE	4/22/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION	<u>[Signature]</u>	DATE	4/24/99
CHIEF, DIVISION OF LAND DEVELOPMENT	<u>[Signature]</u>	DATE	4/26/99
DIRECTOR	<u>[Signature]</u>	DATE	4/26/99

NO	2	Rev. hse & Grd lot 166 & 165	5-4-99
	1	Rev. hse & Grd lot 162	6-20-99
		REVISIONS	Date

DEVELOPER'S/BUILDER'S CERTIFICATE

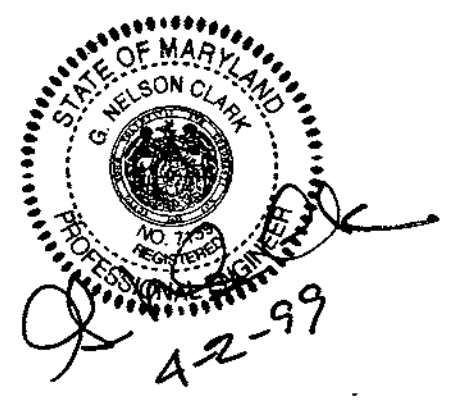
"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as one deemed necessary."

Harry A. Downie 4/2/99
NAME HARRY A. DOWNIE DATE

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

G. Nelson Clark 4-2-99
G. NELSON CLARK DATE



OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED DM/TP	SITE DEVELOPMENT, SEDIMENT AND EROSION CONTROL PLAN LOT 1, 4, 148, 149, 154, 157, 162, 165 & 166	SCALE 1" = 30'
DRAWN BLP JTR	COLUMBIA VILLAGE OF RIVER HILL	DRAWING 2 of 3
CHECKED TD/JME	SECTION 4 AREA 5 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 99-007
DATE 2/4/99	FOR: NU HOMES 10630 LITTLE PATUXENT PARKWAY, SUITE 146 Columbia, Maryland 21044	FILE NO. 99-007-X

S.D.P. 99.95