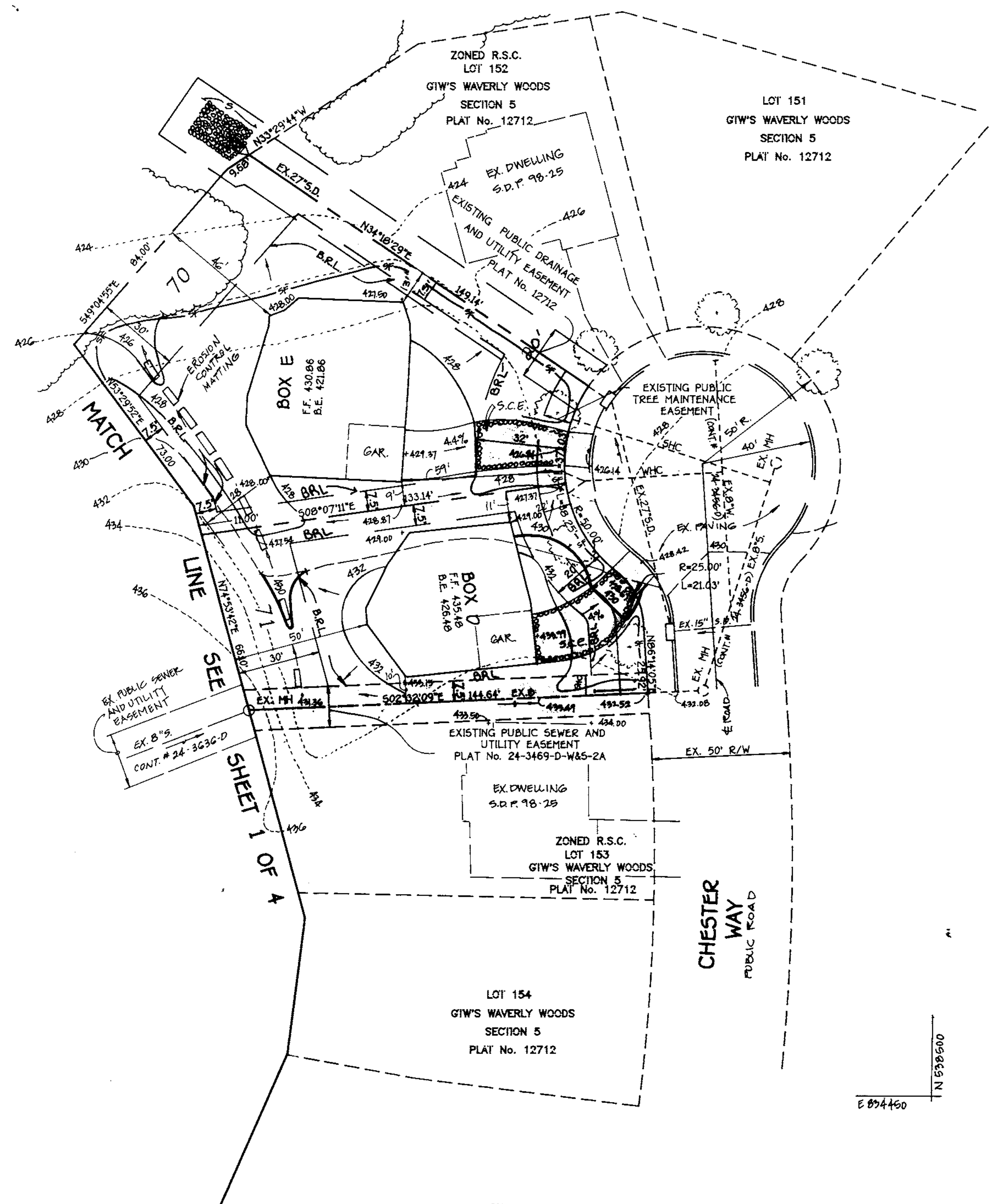
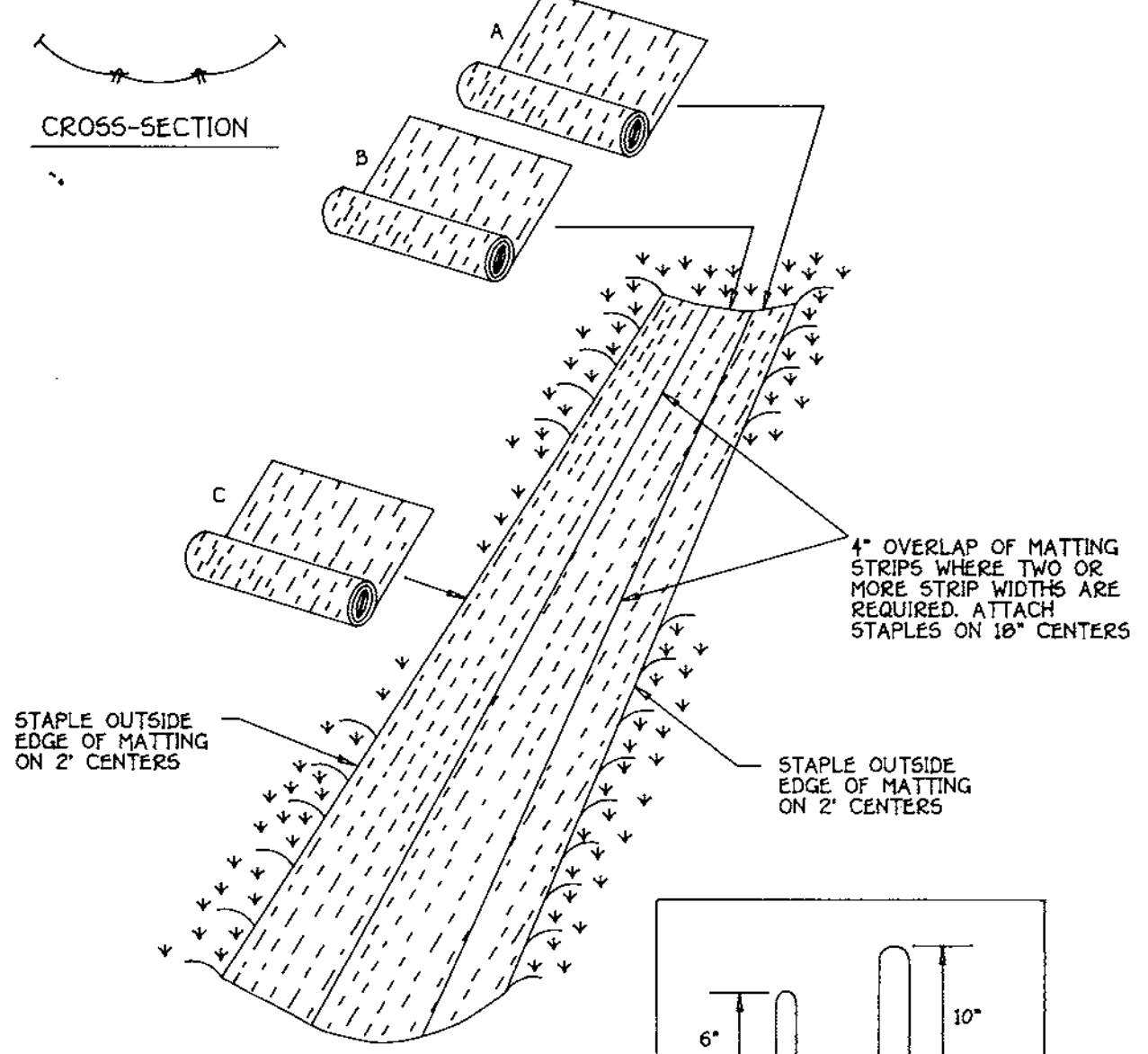


E 874000
N 538150

E 874000
N 538600



NOTE: SEDIMENT & EROSION CONTROL THERE WILL NOT BE MORE THAN THREE CONTIGUOUS LOTS GRADED AT ANY ONE TIME

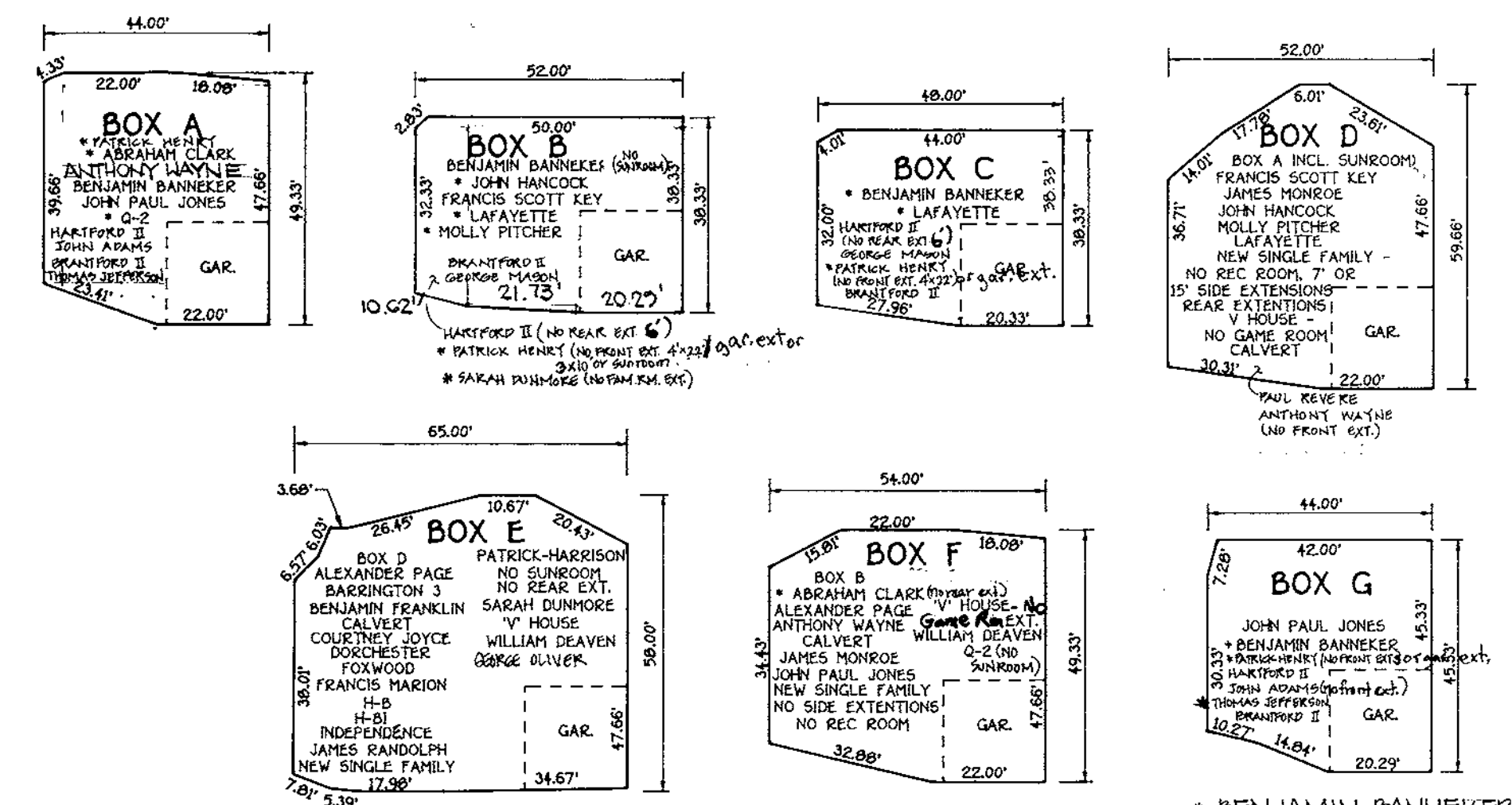
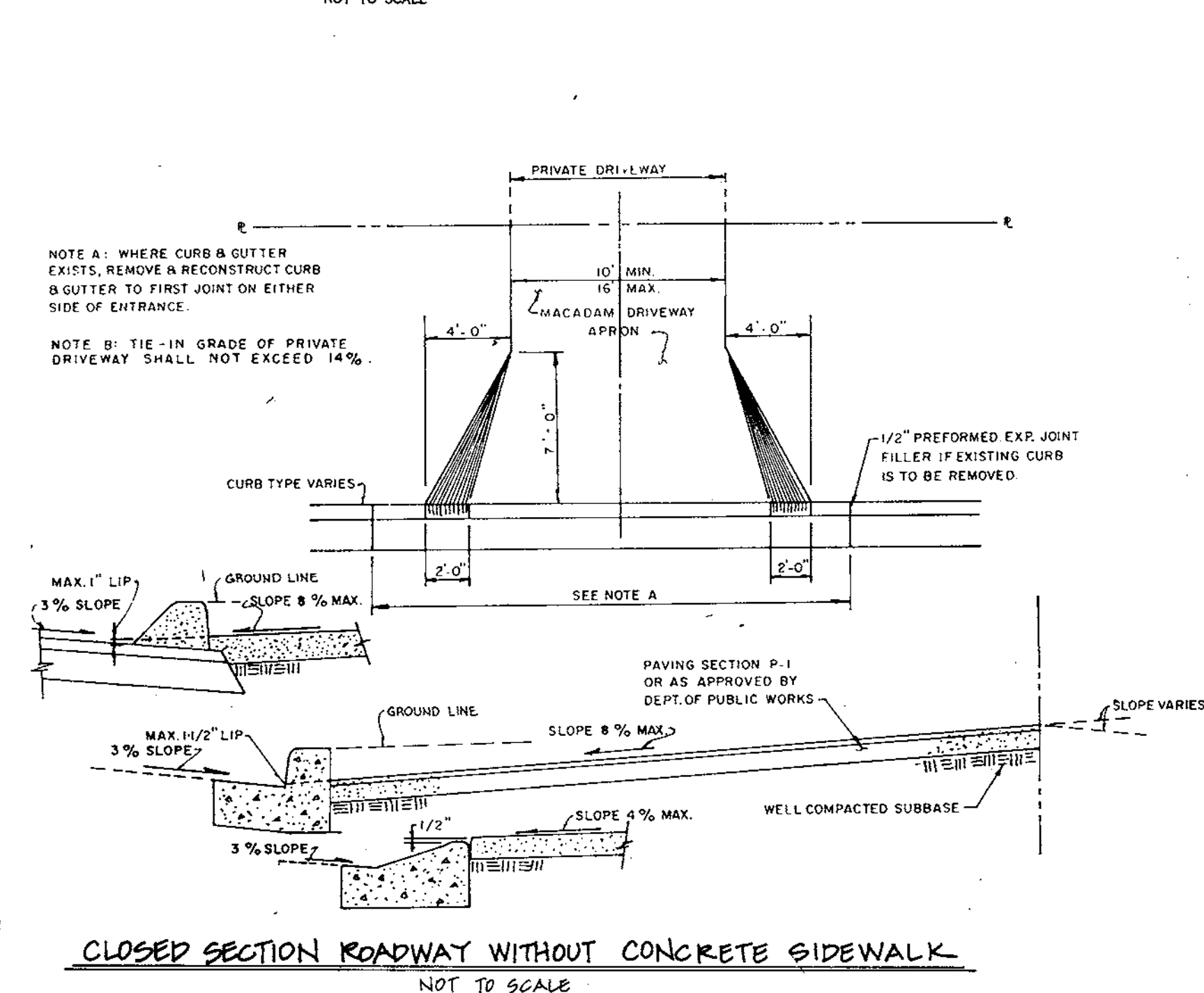


Construction Specifications

1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
2. Staple the 4" overlap in the channel center using an 18" spacing between staples.
3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
4. Staples shall be placed 2" apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.

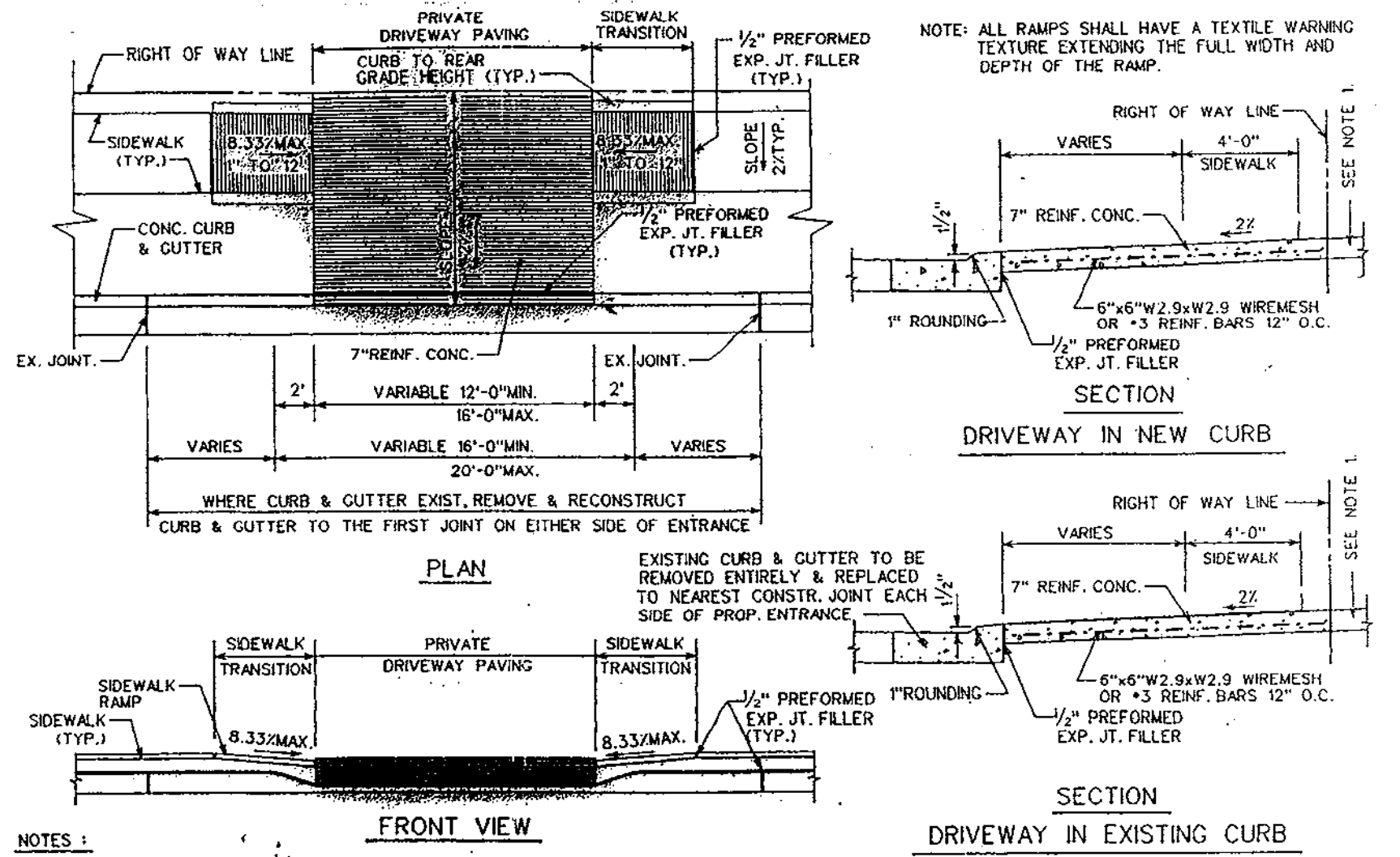
EROSION CONTROL MATTING



GENERIC BOXES

SCALE: 1"=30'
* ALL OPTIONS EXCLUDING SUNROOMS

* BENJAMIN BANNEKER WITH 8' X 10' S.R. ONLY
* THOMAS JEFFERSON NO REAR 2" CANTILEVER



NOTES:
1. PRIVATE DRIVEWAY PAVING OF CONC. 1/2" PREFORMED EXP. JT. FILLER IS TO BE PROVIDED AT R/W LINE.
2. TIE-IN GRADE OF PRIVATE DRIVEWAY SHALL NOT EXCEED 14%.

RESIDENTIAL DRIVEWAY ENTRANCE CLOSED SECTION W/ STD. 7" COMBINATION CURB AND GUTTER AND SIDEWALK SET BACK FROM CURB

NOT TO SCALE



ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer (Print name below signature) *John Scammone* Date *3/23/99*

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer (Print name below signature) *Candice Devot Berry* Date *3-4-99*

Reviewed for HOWARD SCD and meets Technical Requirements.

Signature of Reviewer *John Scammone* Date *3/23/99*
Signature of Reviewer *John Scammone* Date *3/23/99*

OWNER: WAVERLY WOODS DEVELOPMENT CORP.
C/O LAND DESIGN DEVELOPMENT
10805 HECKORY RIDGE ROAD
COLUMBIA, MARYLAND 21044

BUILDER: WILLIAMSBURG/PATRIOT HOMES
P.O. BOX 1018
COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature of Approver *Cindy Hamlett* Date *4/1/99*
Signature of Approver *William Scammone* Date *3/25/99*
Signature of Approver *Long S. Carter* Date *4/5/99*

PROJECT	SECTION/AREA	LOT NO.
GTW'S WAVERLY WOODS	6	72-79, 81-97
PLAT	BLOCK NO.	ZONE
19619-19614	6	RSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	6030
WATER CODE	SEWER CODE	
H-05	5993000	

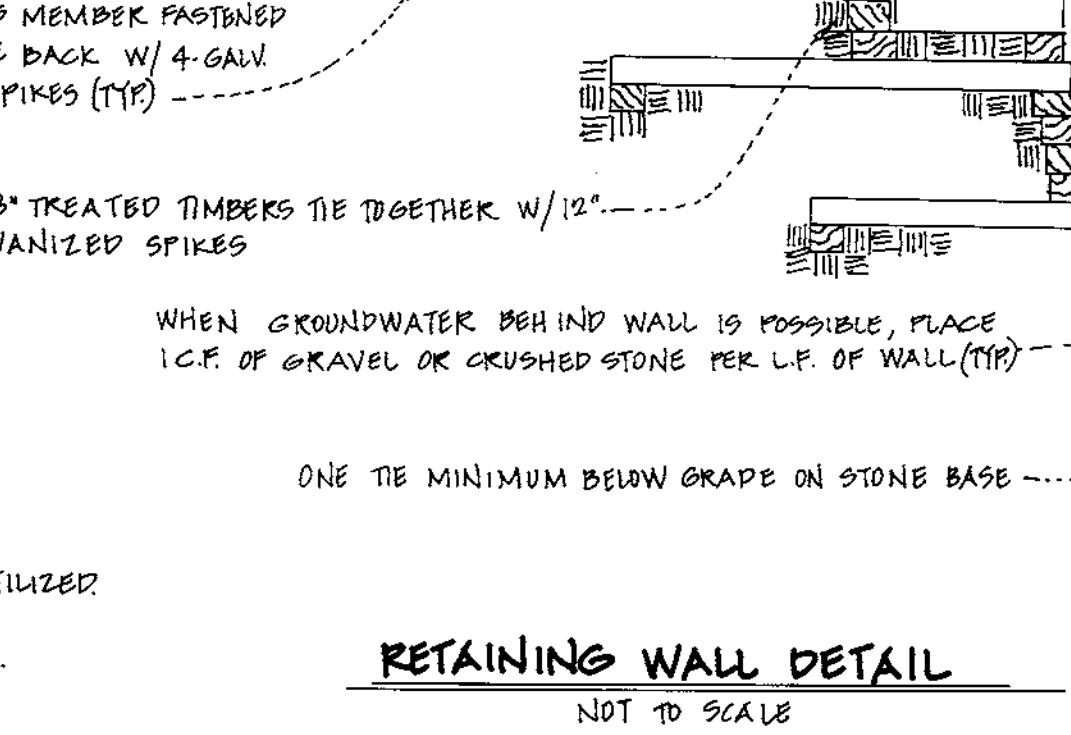
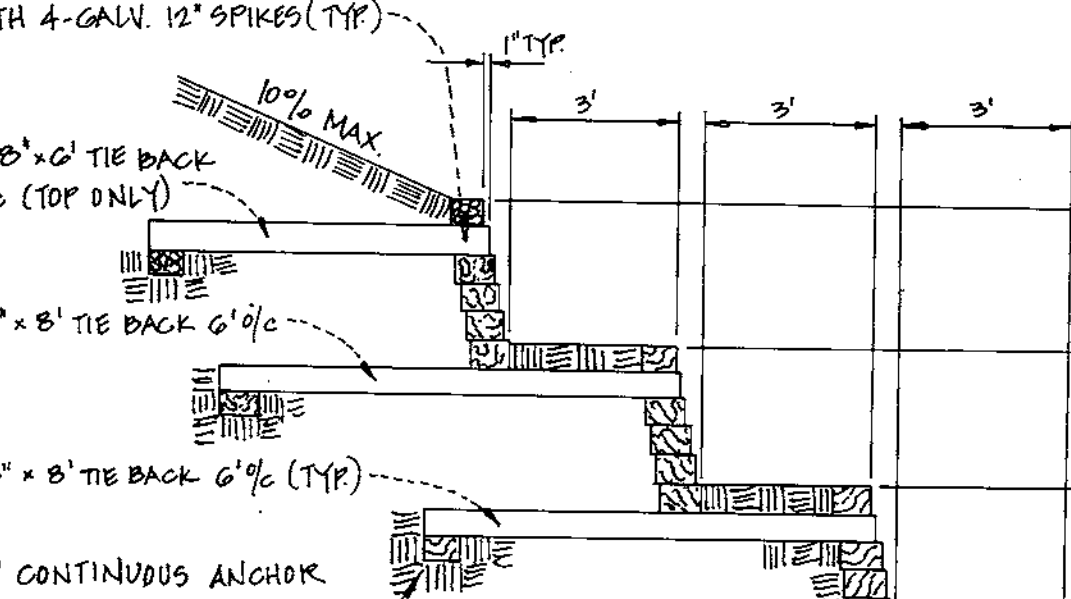
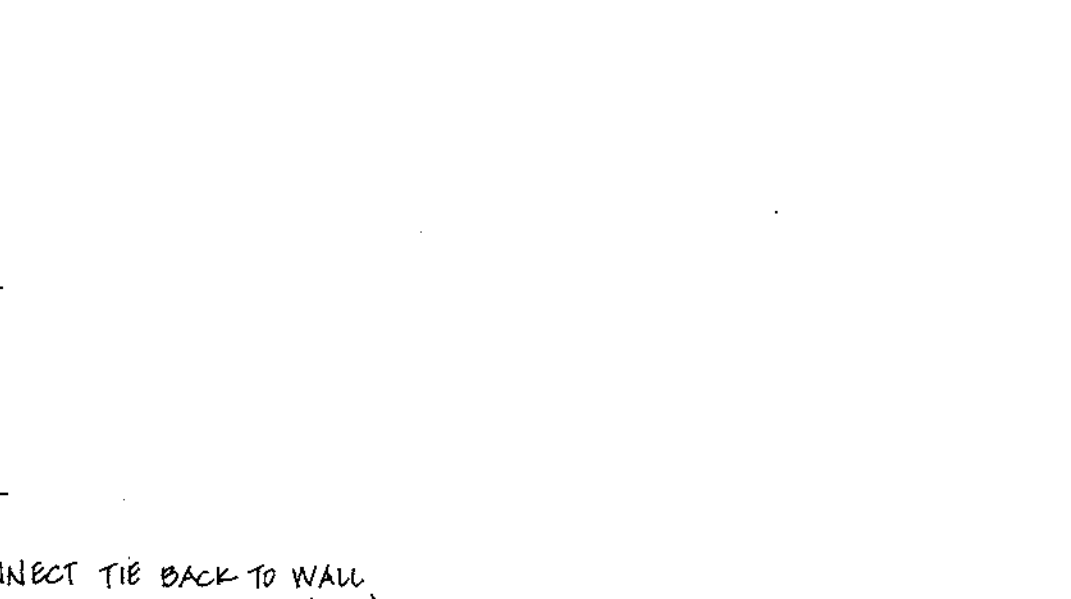
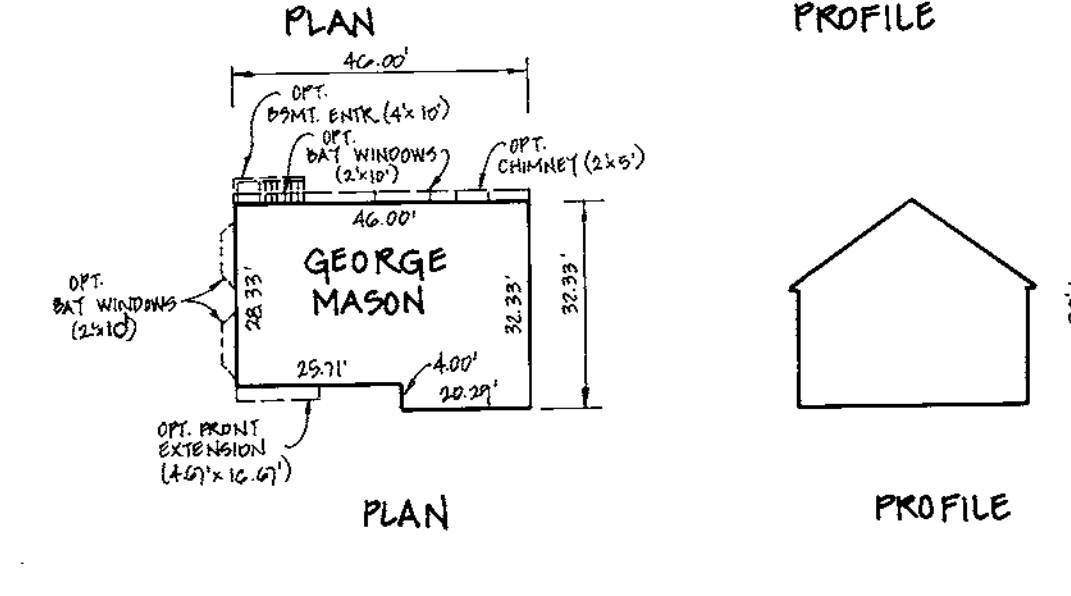
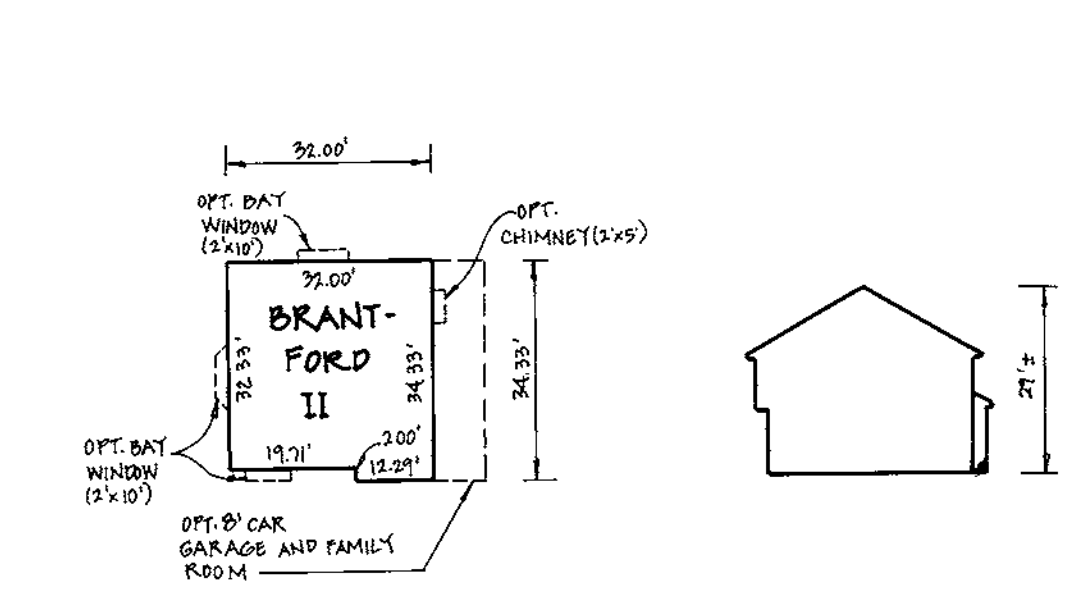
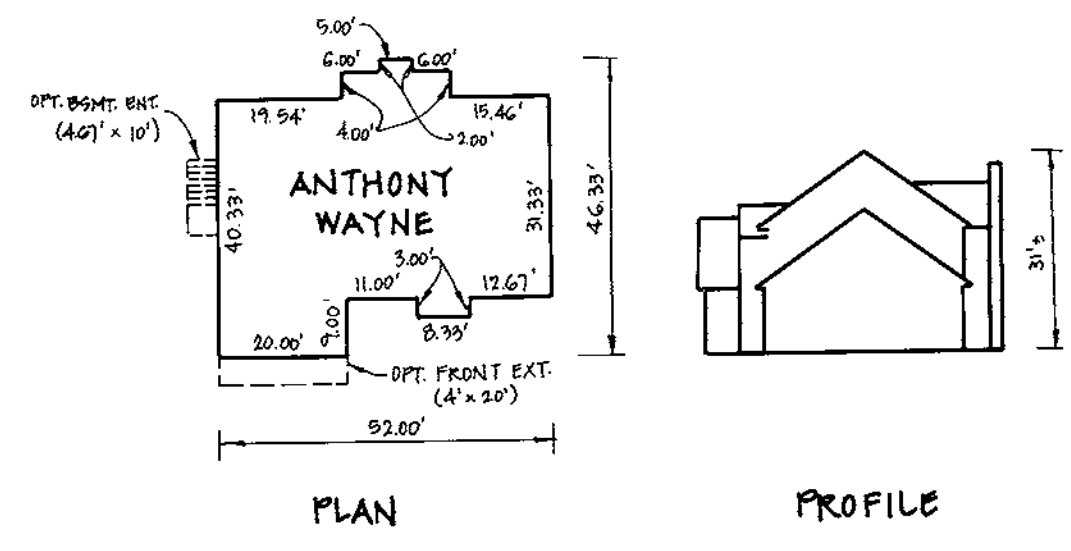
SITE DEVELOPMENT PLAN
PLAN VIEW AND DETAILS
LOTS 70-79
GTW'S WAVERLY WOODS
SECTION 6

TAX MAP No: 16 PARCEL: 20
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: NOVEMBER, 1998
SHEET 2 OF 4



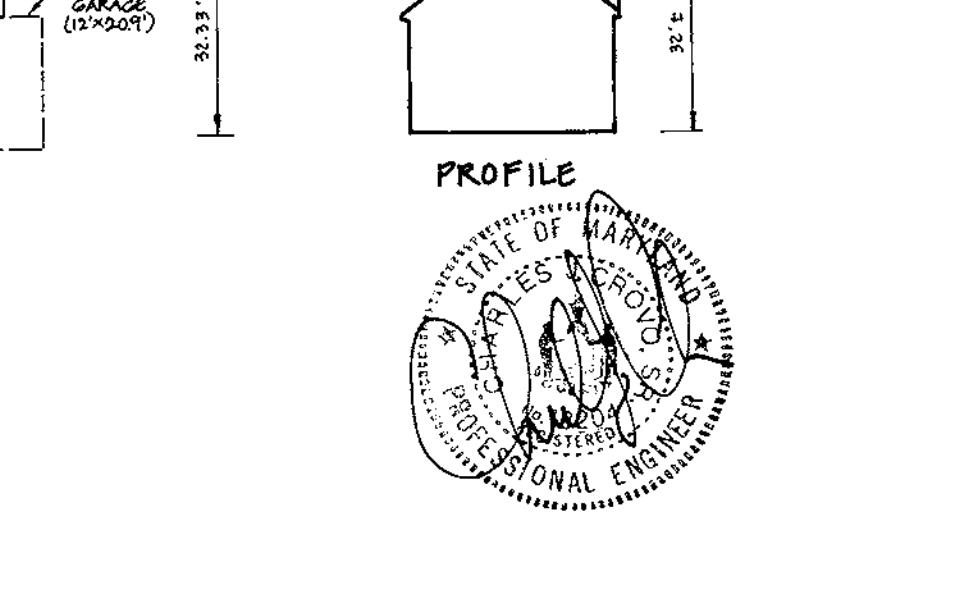
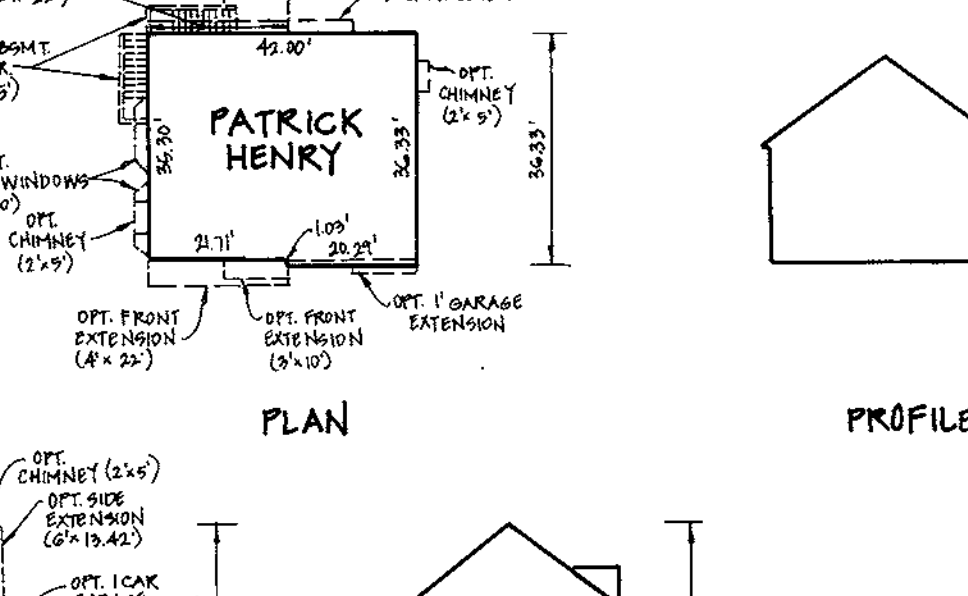
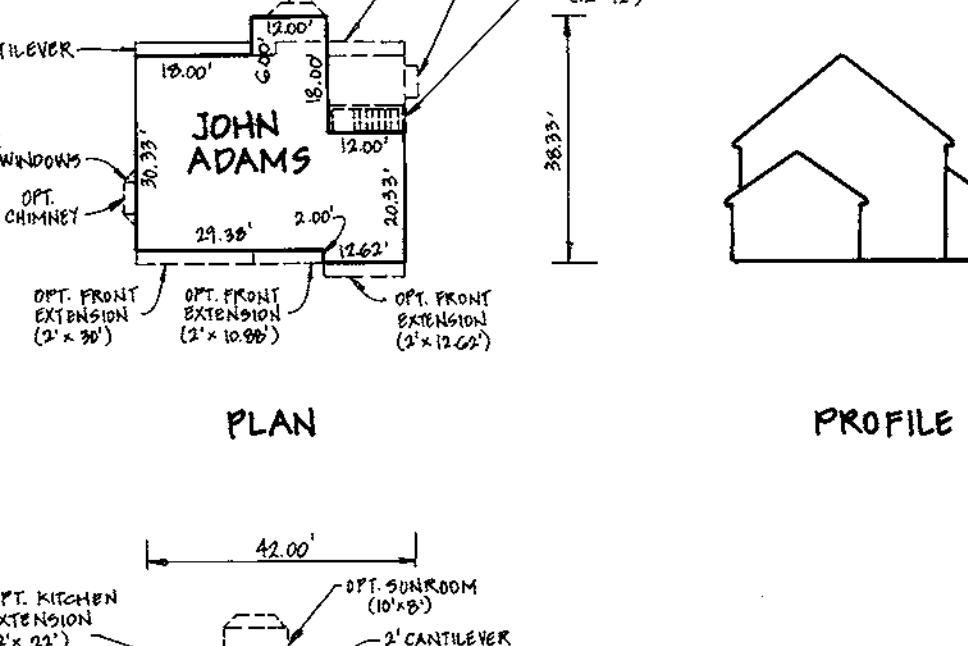
DEFINITION
Using vegetation to cover for barren soil to protect it from erosion...
Vegetative stabilization...
EFFECTS ON WATER QUALITY AND QUANTITY

- A. Site Preparation
1. Erosion and sediment control structures...
2. Soil Amendments...
3. Seeded Preparation...
4. Seed Specifications...



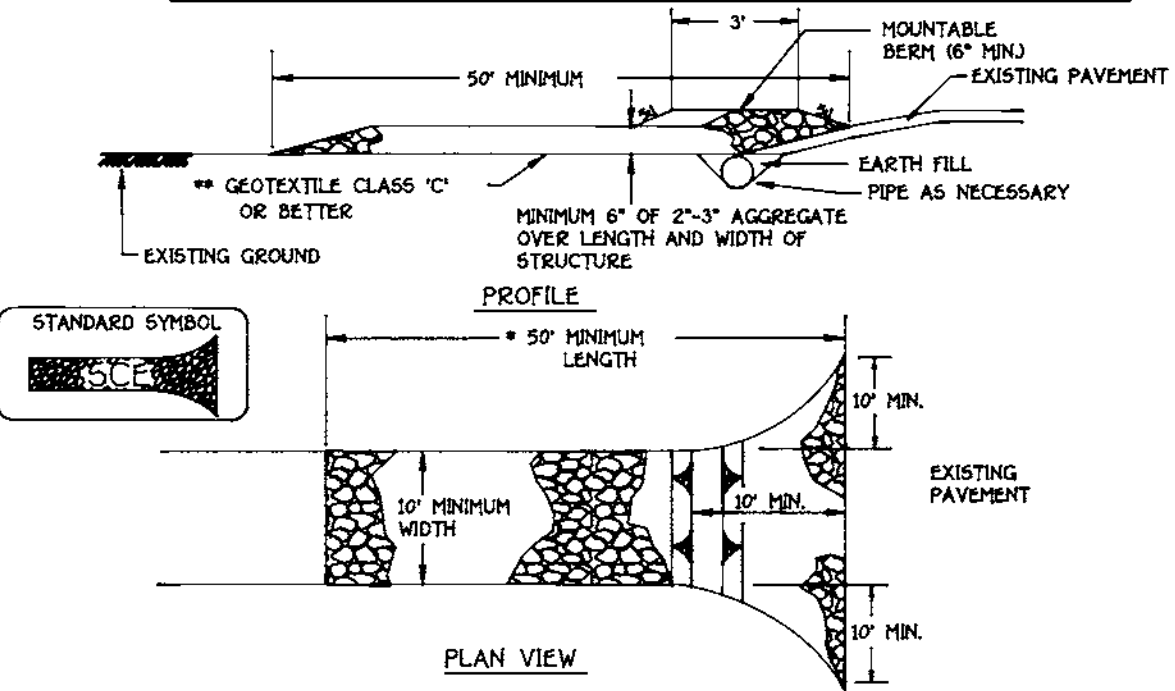
SEDIMENT CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the HOWARD COUNTY DEPARTMENT OF INSPECTIONS...
2. VEGETATIVE STABILIZATION SHALL BE COMPLETED WITHIN 30 CALENDAR DAYS...
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE...
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE PERIOD SPECIFIED ABOVE...
5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

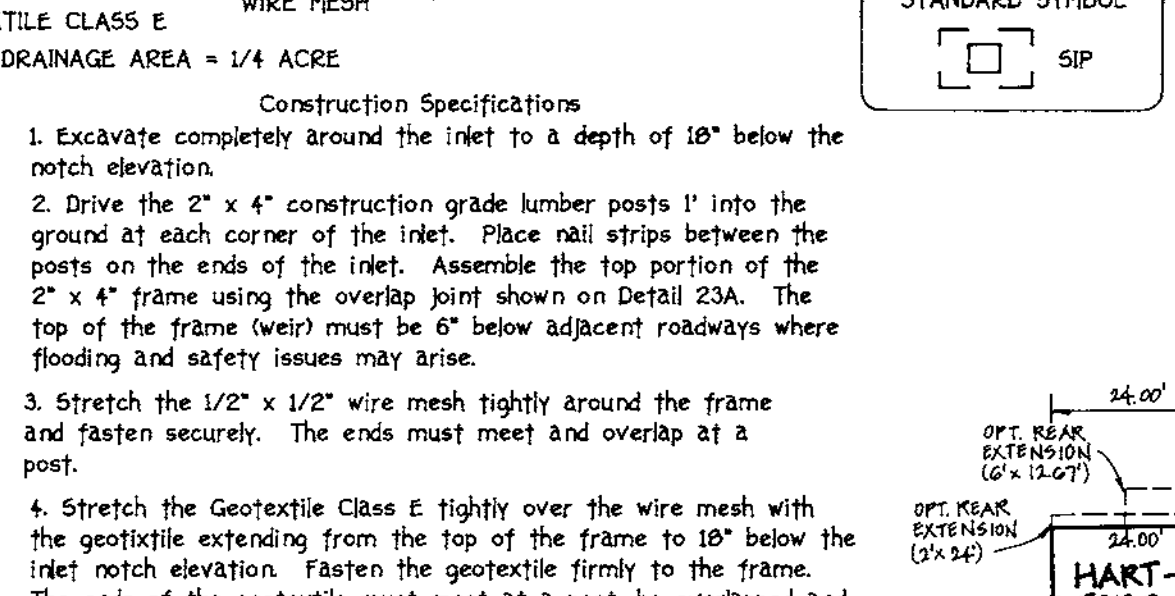
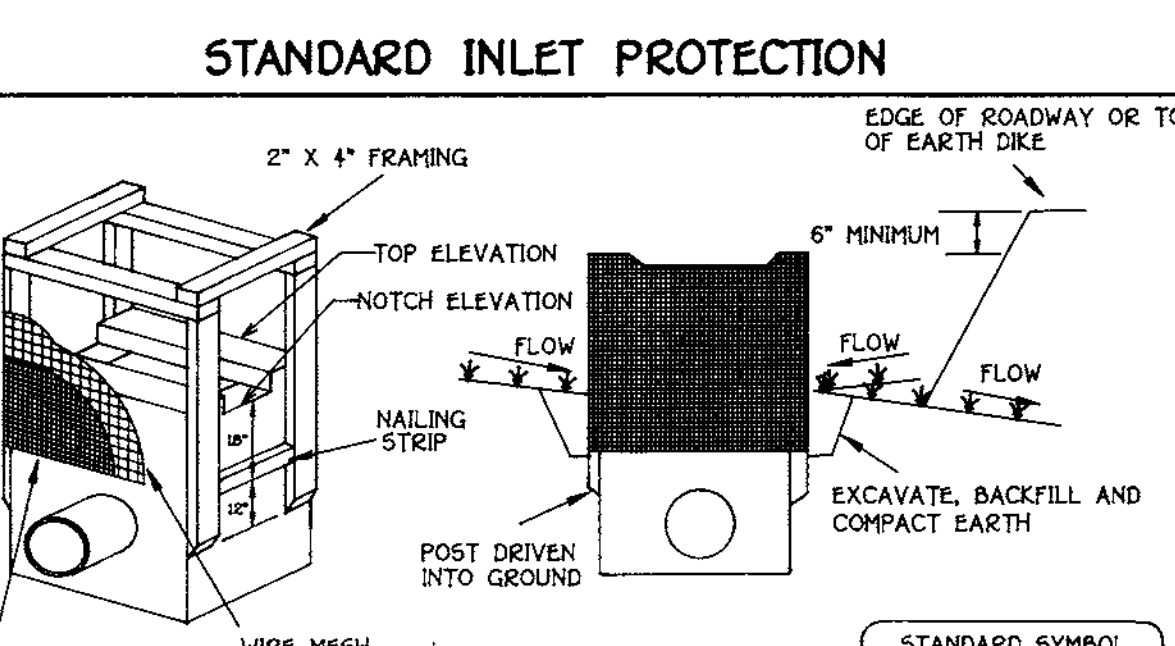


RETAINING WALL NOTES:
TIMBERS SHALL BE EITHER:
a) CCA TREATED TREATED RAILROAD TIES.
b) CCA TREATED LANDSCAPING TIMBERS (40lbs/cf RETENTION)
WOODWARE SHALL BE HOT DIPPED GALVANIZED.
HEADWORK WITH OR WITHOUT GRAVEL DRAIN ARE MINIMUM MEASURES FOR GROUNDWATER. FOR ANY SUBSTANTIAL AMOUNT OF GROUNDWATER, A DRAIN SYSTEM SHOULD BE DESIGNED & UTILIZED.
DESIGN SHALL BE VERIFIED FOR SITE SPECIFIC SOIL CONDITION BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

STABILIZED CONSTRUCTION ENTRANCE



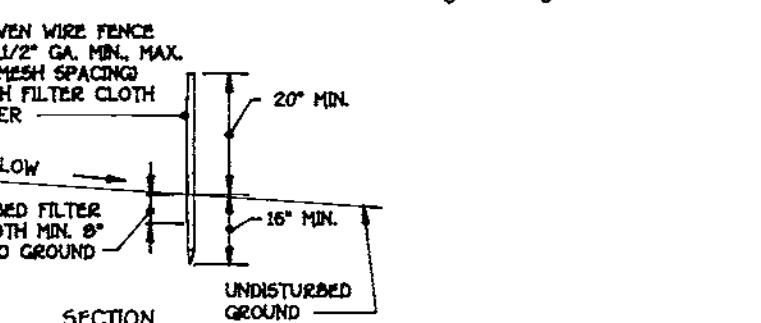
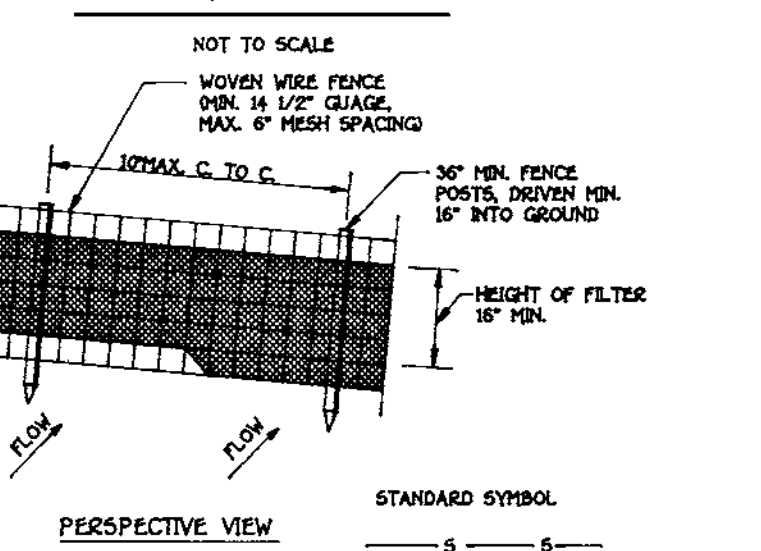
- 1. Length - minimum of 50' (30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone...
4. Stone - crushed aggregate (2" to 3" or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - All surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site.



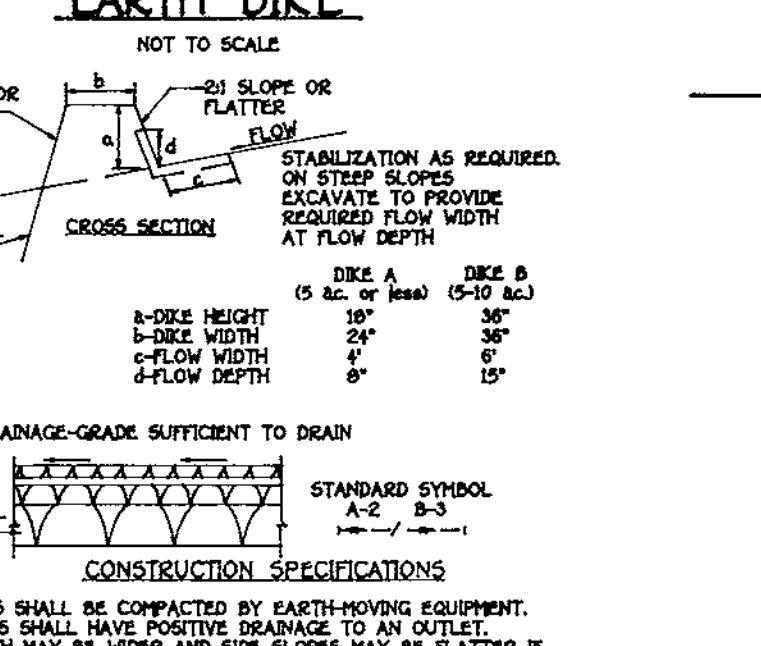
- 1. Excavate completely around the inlet to a depth of 18" below the notch elevation.
2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet.
3. Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely.
4. Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation.
5. Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
6. If the inlet is not in a sump, construct a compacted earth dike across the dike line directly below it.
7. The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

TEMPORARY SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
SEEDING PREPARATION:
LOOSEN UPPER THREE INCHES OF SOIL BY RAZING, DISCING OR OTHER ACCEPTABLE MEANS...
SOIL AMENDMENTS:
APPLY 2 TONS PER ACRE...
SEEDING:
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15...

SILT FENCE



- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OF STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH JOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'MUDGEEPS' DEVELOP IN THE SILT FENCE.



- 1. ALL DIKES SHALL BE CONSTRUCTED BY EARTH-MOVING EQUIPMENT.
2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
4. FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION.
6. STABILIZATION SHALL BE AS IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH.
7. REPAIR, REPAIR AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

- 1. ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS:
SEEDING PREPARATION:
LOOSEN UPPER THREE INCHES OF SOIL BY RAZING, DISCING OR OTHER ACCEPTABLE MEANS...
SOIL AMENDMENTS:
APPLY 2 TONS PER ACRE...
SEEDING:
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15...

- 1. WEEDS SHALL BE REMOVED AND MAINTENANCE REPAIRS, REPLACEMENTS AND RESEEDING.
FOR PUBLIC PONDS SUBSTITUTE CHEMICAL CROWNWEED AT 15 LBS./ACRE AND KENTUCKY 3 TALL FESCUE AT 40 LBS./ACRE AS THE SEEDING REQUIREMENT.
MIXTURE IS MARCH 1 TO APRIL 30.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

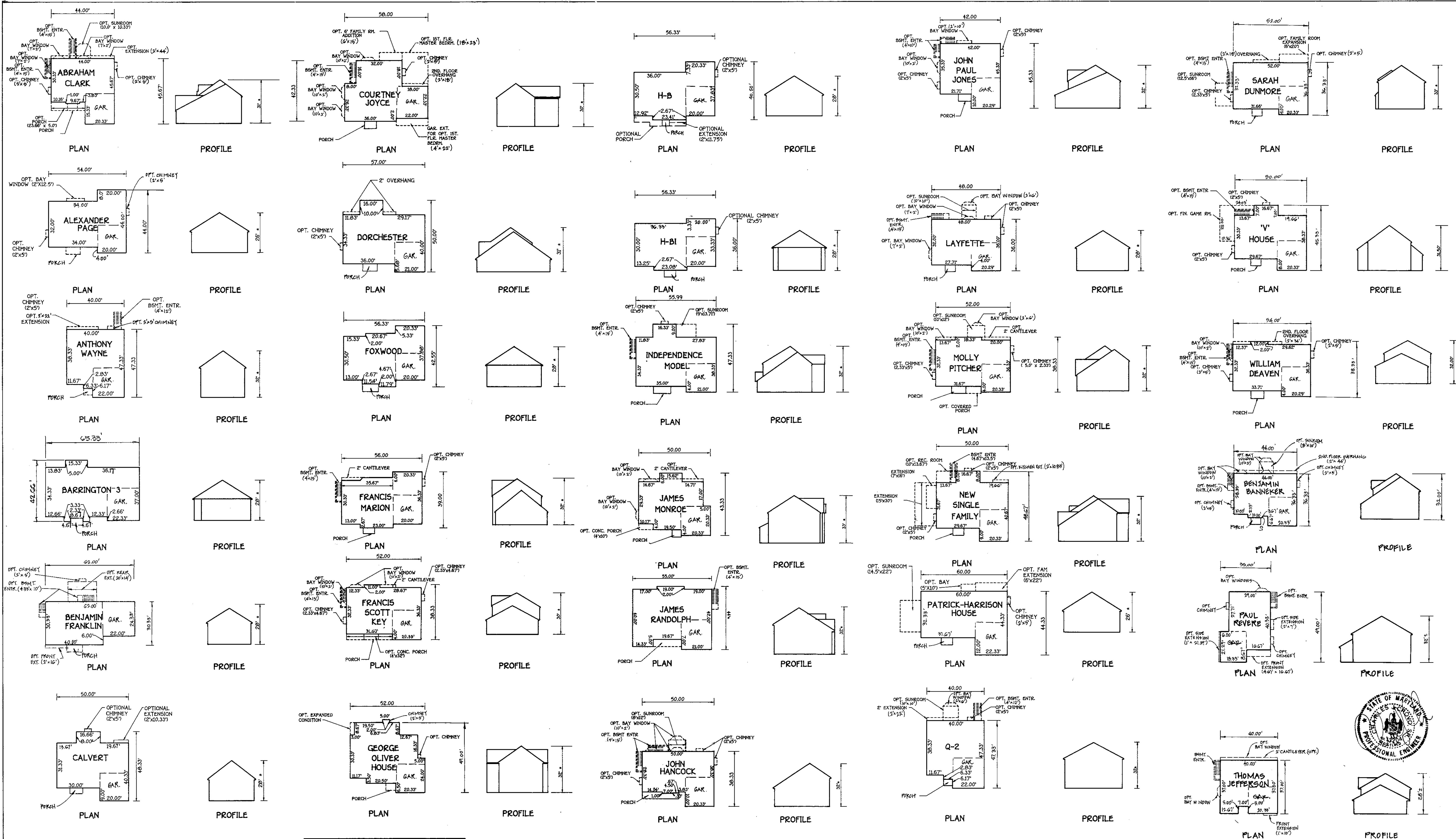
ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer: [Signature] Date: 12/11/98
DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project.
Signature of Developer: [Signature] Date: 12-1-98

APPROVED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.
Signature: [Signature] Date: 3/23/99
This development plan is approved for soil erosion and sediment control by the HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS.
Signature: [Signature] Date: 3/23/99

Table with columns: PLAT, BLOCK NO., ZONE, TAX/ZONE, ELEC. DIST., CENSUS 97.
Row 1: 13912-13914, 6, RSC, 16, THIRD, 6030

SITE DEVELOPMENT PLAN
NOTES AND DETAILS
LOTS 70-79, 81-97
GTW'S WAVERLY WOODS
SECTION 6
TAX MAP No: 16 PARCEL: 20
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: NOVEMBER, 1998
SHEET 3 OF 4

SDP 99-58



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTHAZAR NATIONAL FREE
 ELKROTT CITY, MARYLAND 21046
 4100 461 - 2995

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Ceall
 Signature of Engineer (Print name below signature) _____ Date 12/1/98

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Cindy Christensen
 Signature of Developer (Print name below signature) _____ Date 12-1-98

Reviewed by HOWARD SCD and meets Technical Requirements.

Cheryl Simmons
 M.D.A.-NET Resources
 Conservation Services
 Date 3/23/99

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John H. Johnston
 Howard SCD
 Date 3/23/99

OWNER
 WAVERLY WOODS DEVELOPMENT CORP.
 C/O LAND DESIGN DEVELOPMENT
 10805 HICKORY RIDGE ROAD
 COLUMBIA, MD. 21044

BUILDER
 WILLIAMSBURG/PATRIOT HOMES
 P.O. BOX 1018
 COLUMBIA, MD. 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hunter
 Chief, Division of Land Development
 Date 4/1/99

William J. Smith
 Chief, Development Engineering Division
 Date 3/25/99

David J. Smith
 Director, Department of Planning and Zoning
 Date 4/1/99

PROJECT	SECTION/AREA	LOT NO.
GTW'S WAVERLY WOODS	6	70-79, 81-97
PLAT	BLOCK NO.	ZONE
19513-19514	6	RSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	6030
WATER CODE	SEWER CODE	
H-05	5993000	

**SITE DEVELOPMENT PLAN
 DETAIL SHEET**

**LOTS 70-79, 81-97
 GTW'S WAVERLY WOODS
 SECTION 6**

TAX MAP No: 16 PARCEL: 20
 THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: _____
 SHEET 4 OF 4

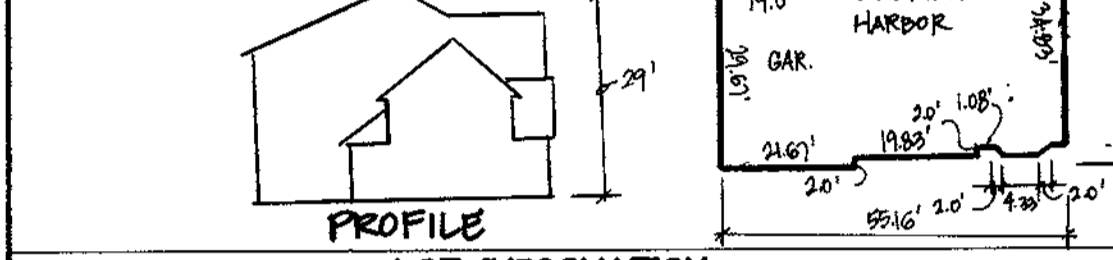


Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	House Detail Sheet
4	Detail Sheet

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Cindy Hunt Perry
 DATE: 12-1-98

- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT (1 WEEK)
 - INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN (4 DAYS)
 - CLEAR AND GRUB SITE TO LIMIT TO POSTURANCE (1 DAY PER DWELLING)
 - EXCAVATE FOR FOUNDATION AND ROUGH GRADE LOT (1 DAY PER DWELLING)
 - CONSTRUCT DWELLING (70 DAYS PER DWELLING)
 - FINISH GRADE LOT AND INSTALL DRIVEWAYS AND SIDEWALKS (2 DAYS PER DWELLING)
 - INSTALL PERMANENT SEEDING AND LANDSCAPING (2 DAYS PER DWELLING)
 - REMOVE SEDIMENT CONTROL DEVICES AS PERMITSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED.



UNIT NUMBER	STREET ADDRESS	MIN. CELLAR INV. ELEV. (S.H.C.)	PROPERTY ELEV. (S.H.C.)	LOT SIZE
70	10997 CHESTER WAY	421.4'	416.22'	15,119 Sq. Ft.
71	10993 CHESTER WAY	421.0'	415.87'	10,246 Sq. Ft.
72	10990 DICKENS WAY	467.0'	462.20'	9,557 Sq. Ft.
73	10984 DICKENS WAY	462.4'	457.68'	7,437 Sq. Ft.
74	10980 DICKENS WAY	457.4'	452.60'	7,257 Sq. Ft.
75	10912 DICKENS WAY	446.0'	443.25'	7,125 Sq. Ft.
76	10910 DICKENS WAY	440.7'	435.73'	6,618 Sq. Ft.
77	10920 DICKENS WAY	438.1'	433.35'	6,129 Sq. Ft.
78	10994 DICKENS WAY	438.4'	433.70'	7,975 Sq. Ft.
79	10928 DICKENS WAY	437.3'	432.20'	10,585 Sq. Ft.
81	10924 DICKENS WAY	437.5'	433.51'	8,602 Sq. Ft.
82	10926 DICKENS WAY	440.8'	434.93'	12,019 Sq. Ft.
83	10921 DICKENS WAY	441.7'	436.55'	8,177 Sq. Ft.
84	2102 BECKETT WAY	457.3'	453.53'	10,509 Sq. Ft.
85	2106 BECKETT WAY	460.0'	454.05'	7,928 Sq. Ft.
86	2110 BECKETT WAY	460.9'	455.70'	8,781 Sq. Ft.
87	2114 BECKETT WAY	461.0'	455.63'	9,893 Sq. Ft.
88	2118 BECKETT WAY	459.9'	455.12'	9,023 Sq. Ft.
89	2117 BECKETT WAY	459.8'	455.07'	9,376 Sq. Ft.
90	2119 BECKETT WAY	460.6'	455.43'	7,639 Sq. Ft.
91	2107 BECKETT WAY	460.1'	454.71'	11,717 Sq. Ft.
92	2105 BECKETT WAY	459.3'	454.34'	6,773 Sq. Ft.
93	2101 BECKETT WAY	461.0'	457.03'	10,230 Sq. Ft.
94	10914 DORCHESTER WAY	474.7'	469.75'	10,330 Sq. Ft.
95	10910 DORCHESTER WAY	476.3'	471.37'	8,378 Sq. Ft.
96	10912 DORCHESTER WAY	477.8'	472.87'	6,376 Sq. Ft.
97	10914 DORCHESTER WAY	478.9'	473.99'	7,005 Sq. Ft.

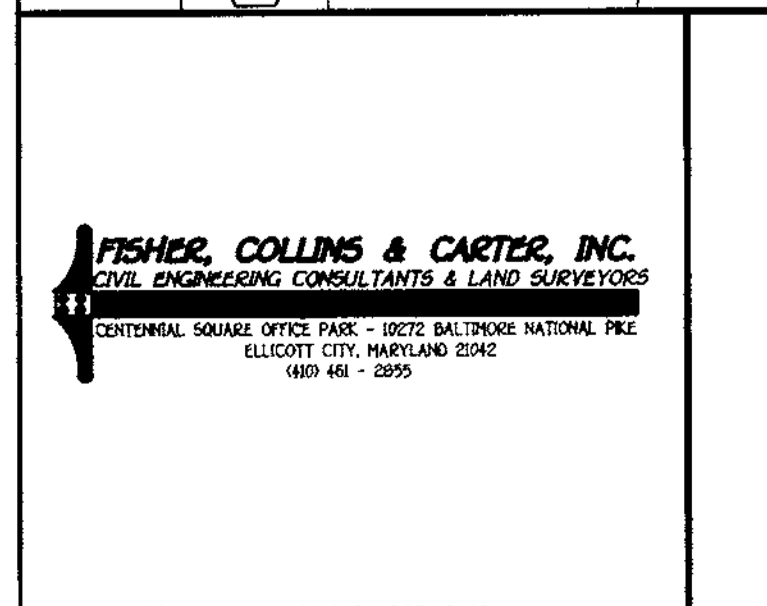
SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Perimeter Edge		
	A	B	C
Linear Feet Or Roadway Frontage/Perimeter	129	161	135
Credit For Existing Vegetation (Yes, No Linear Feet) (Describe Below If Needed)	NO	NO	NO
Credit For Wall, Fence Or Berm (Yes, No Linear Feet) (Describe Below If Needed)	NO	NO	NO
Number of Plants Required			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Shrubs	0	0	0
Number of Plants Provided			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Other Trees (2:1 Substitution)	0	0	0
Shrubs (10:1 Substitution)	0	0	0
(Describe Plant Substitution Credits Below If Needed)			

LANDSCAPE SCHEDULE
 LOT 72 - 4/1500
 LOT 84 - 4/1500
 LOT 93 - 4/1500

LANDSCAPE SCHEDULE

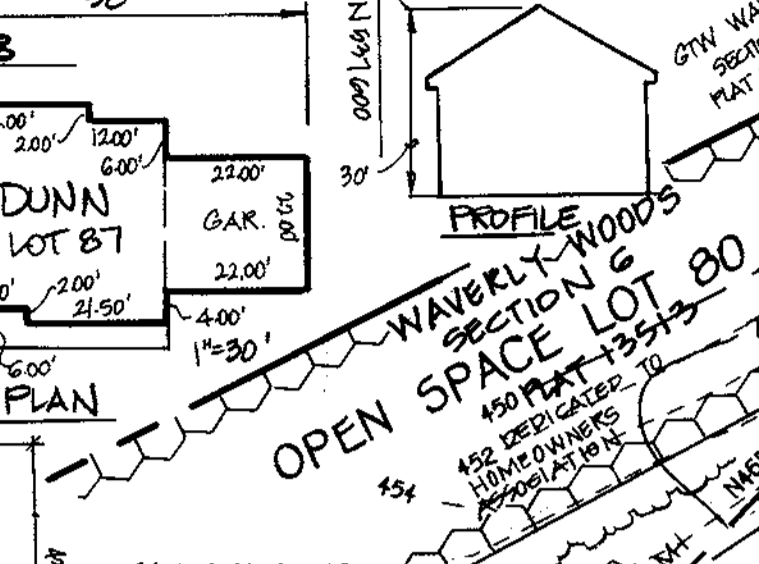
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10	(A)	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2 1/2" - 3"
12	(B)	PINUS STROBUS	WHITE PINE	6'-8" HT.



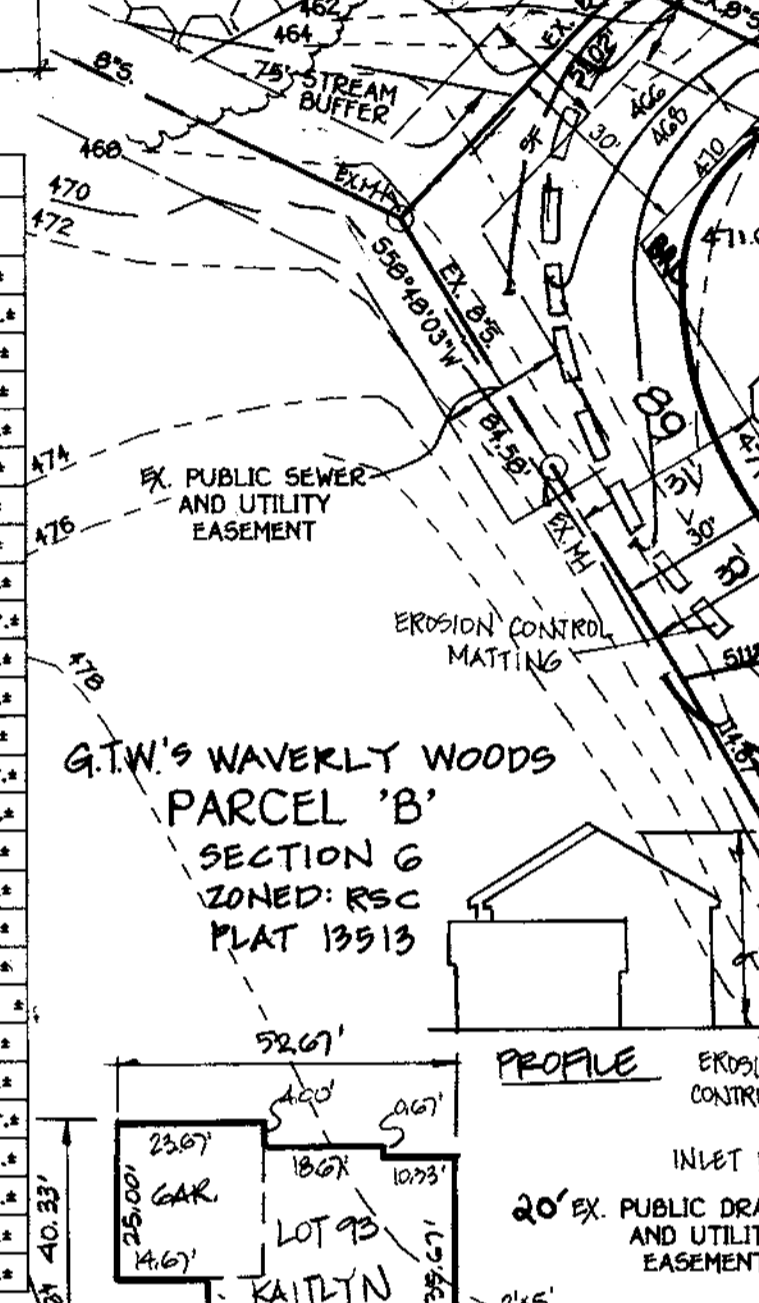
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1822 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 441-1000

PROPOSED RETAINING WALL ELEVATIONS

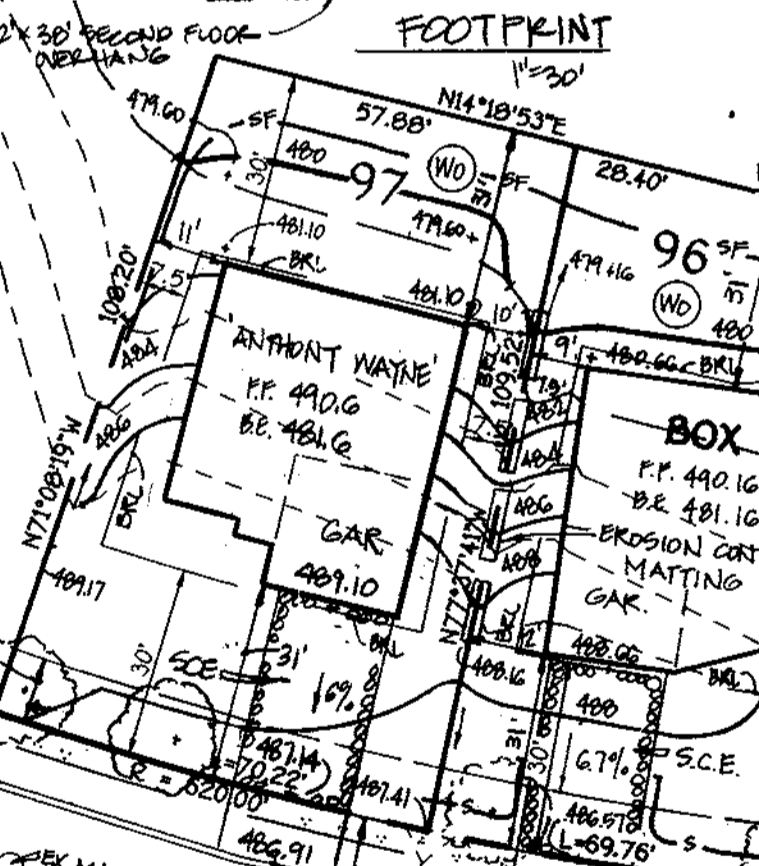
- 6 BOTTOM WALL 452.40
TOP WALL 499.30
- 7 BOTTOM WALL 458.80
TOP WALL 498.70
- 8 BOTTOM WALL 459.20
TOP WALL 463.10



LOT INFORMATION

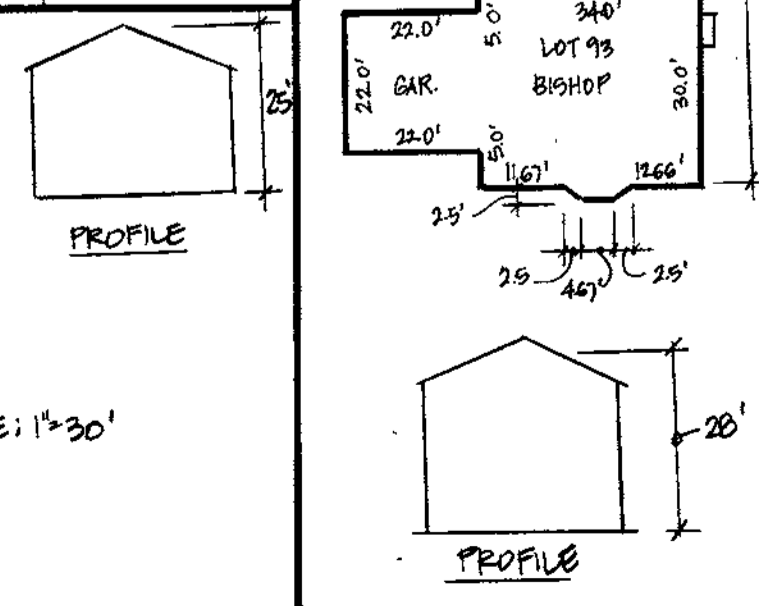


SCHEDULE A PERIMETER LANDSCAPE EDGE

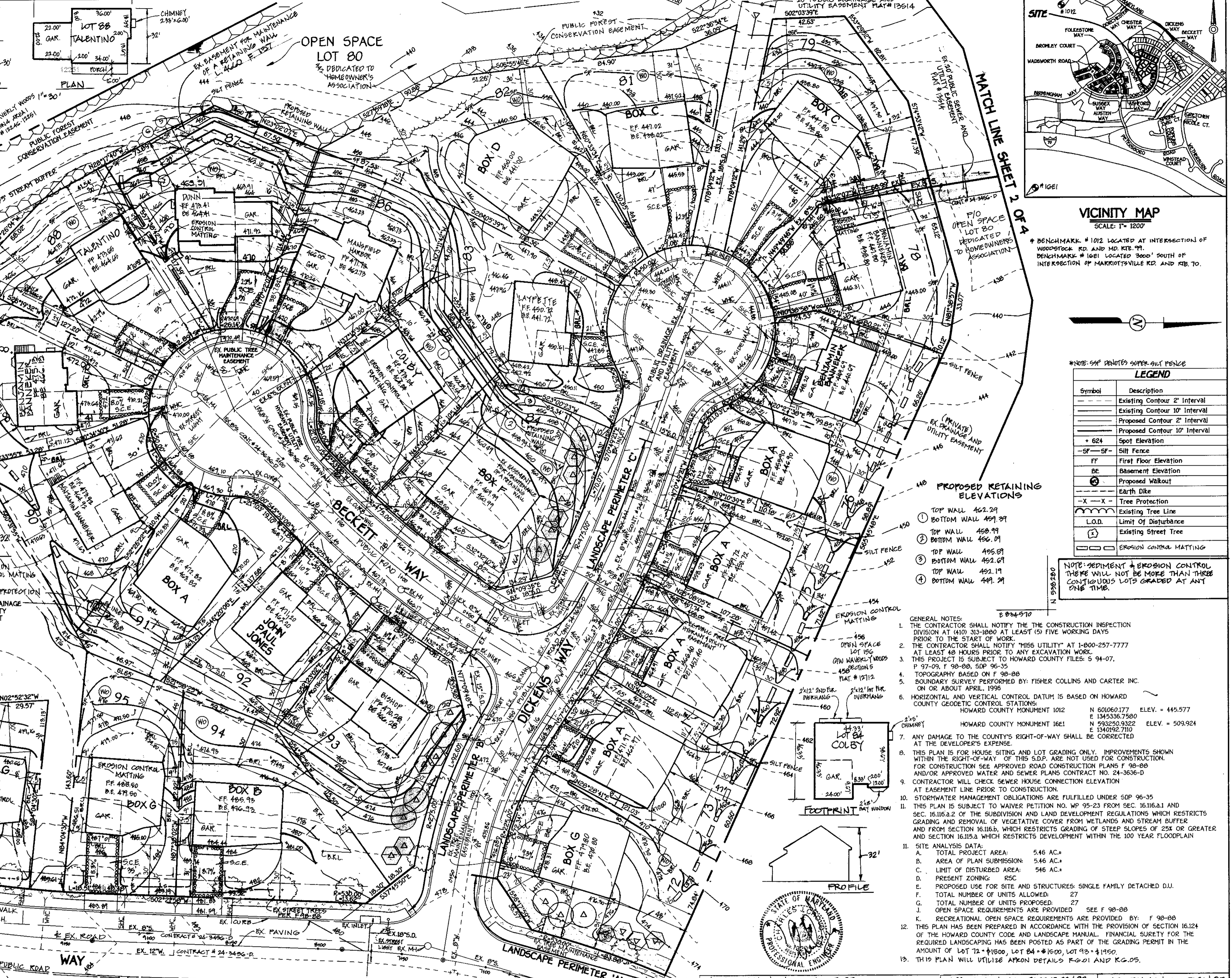


LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10	(A)	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2 1/2" - 3"
12	(B)	PINUS STROBUS	WHITE PINE	6'-8" HT.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1822 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 441-1000



ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer (Print name below signature) Cindy Hunt Perry Date 12/1/98

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer (Print name below signature) Cindy Hunt Perry Date 12-1-98

Reviewed for HOWARD SCD and meets Technical Requirements.
Carol Simon 3/23/99
 U.S.D.A. Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature of Developer (Print name below signature) Cindy Hunt Perry Date 12/1/98

OWNER
 WAVERLY WOODS DEVELOPMENT CORP.
 90 LAND DESIGN DEVELOPMENT
 10809 HAZARD RIDGE ROAD
 COLUMBIA, MD. 21044

BUILDER
 WILLIAMS BROS. PATRIOT HOMES
 P.O. BOX 1018
 COLUMBIA, MD. 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hunt Perry 4/1/99
 Chief, Division of Land Development

Cindy Hunt Perry 4/1/99
 Chief, Development Engineering Division

PROJECT: GTW'S WAVERLY WOODS SECTION/AREA: 6 LOT NO.: 70-79, 81-97

PLAT: 13513-13514 BLOCK NO.: RSC TAX/ZONE: 16 ELEC. DIST.: THIRDS CENSUS TR.: 6090

WATER CODE: H-05 SEWER CODE: 5993000

SITE DEVELOPMENT PLAN PLAN VIEW

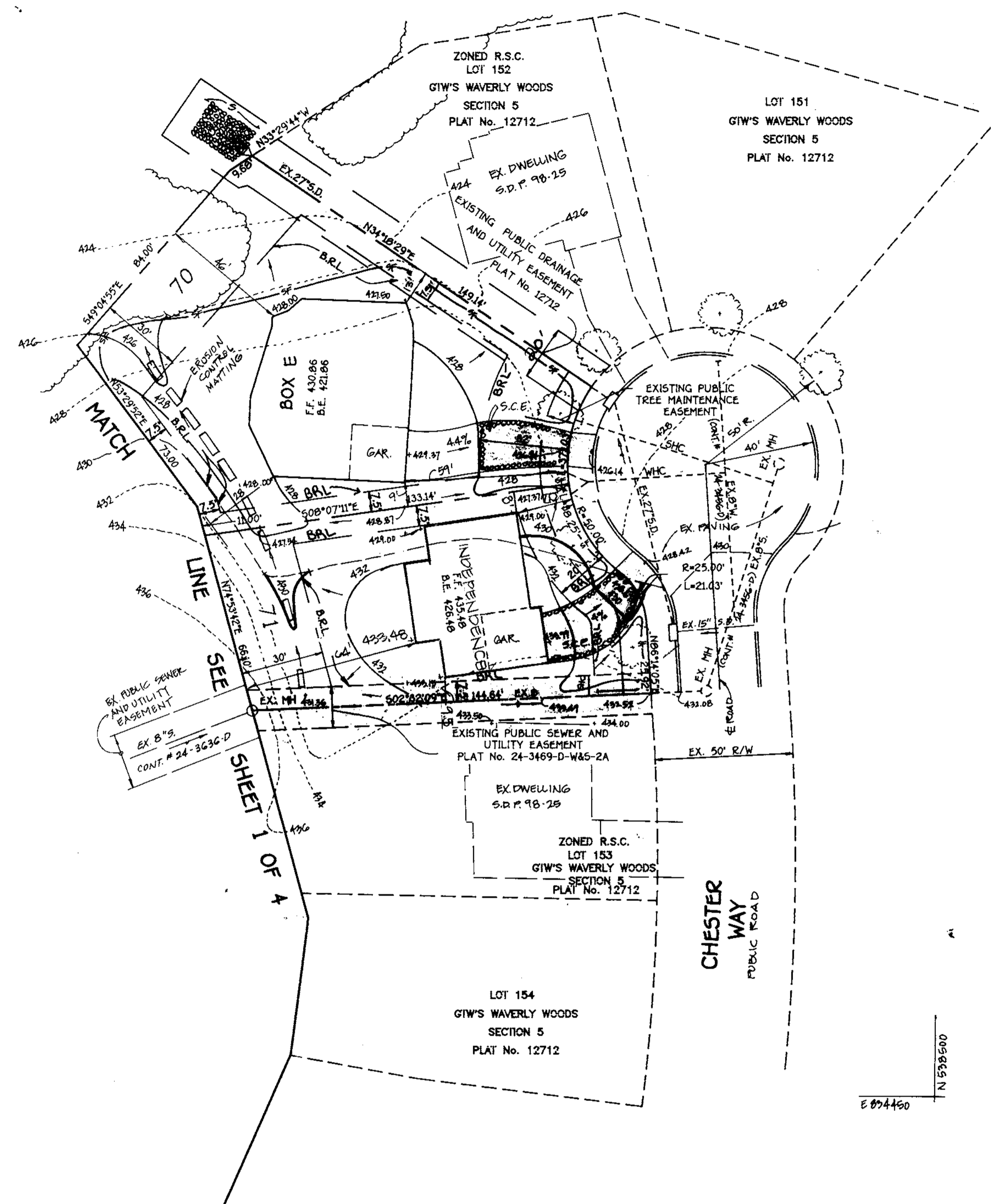
LOTS 70-79, 81-97
GTW'S WAVERLY WOODS SECTION 6

TAX MAP No: 16 PARCEL: 20
 THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: NOVEMBER, 1998 SHEET 1 OF 4

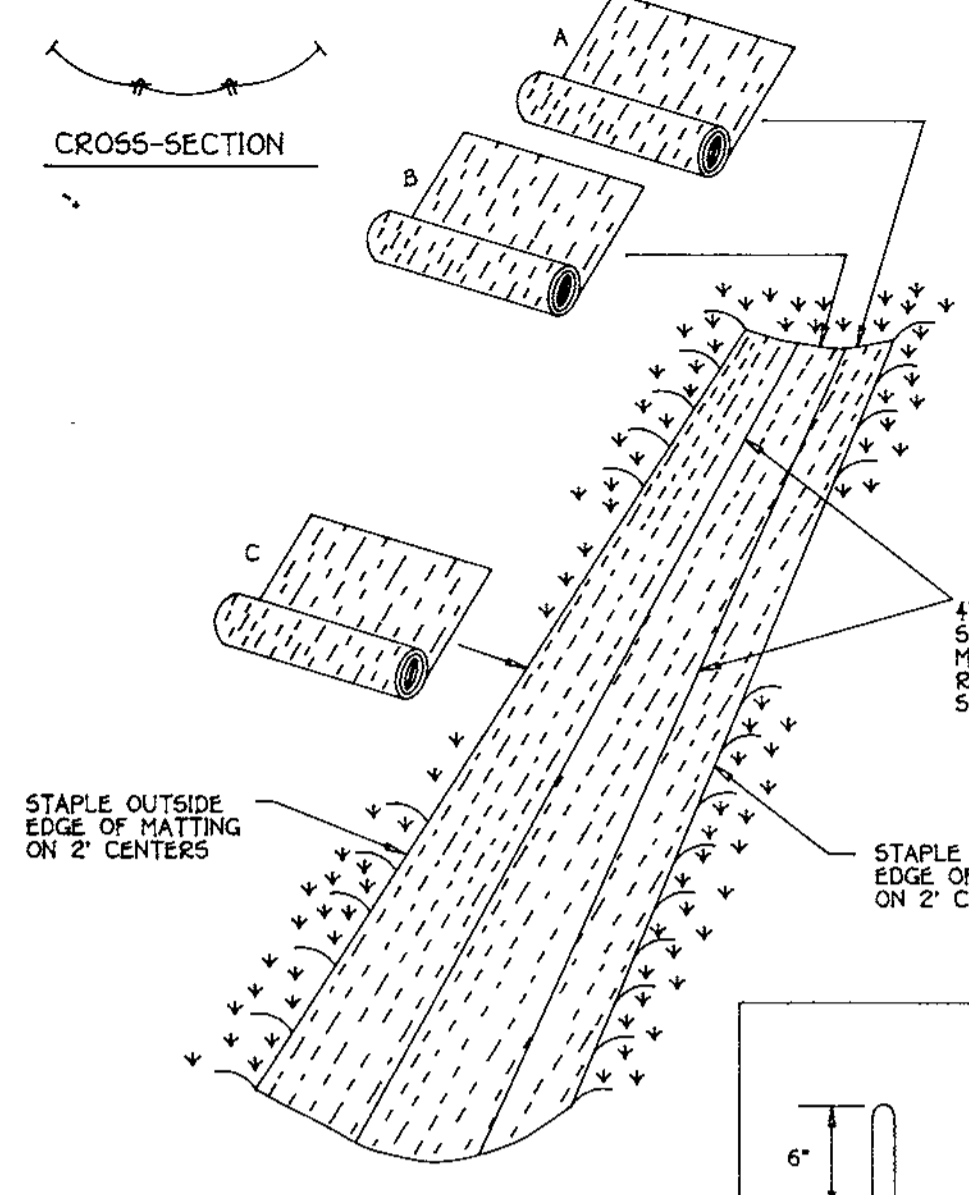
SDP 99-58

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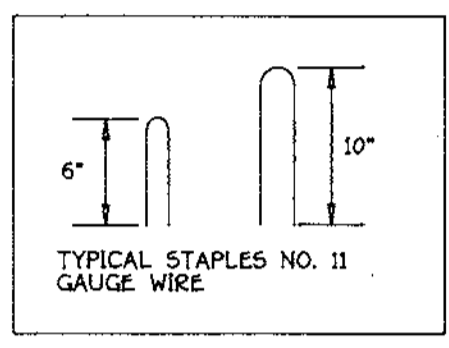
6834000
N 5386500



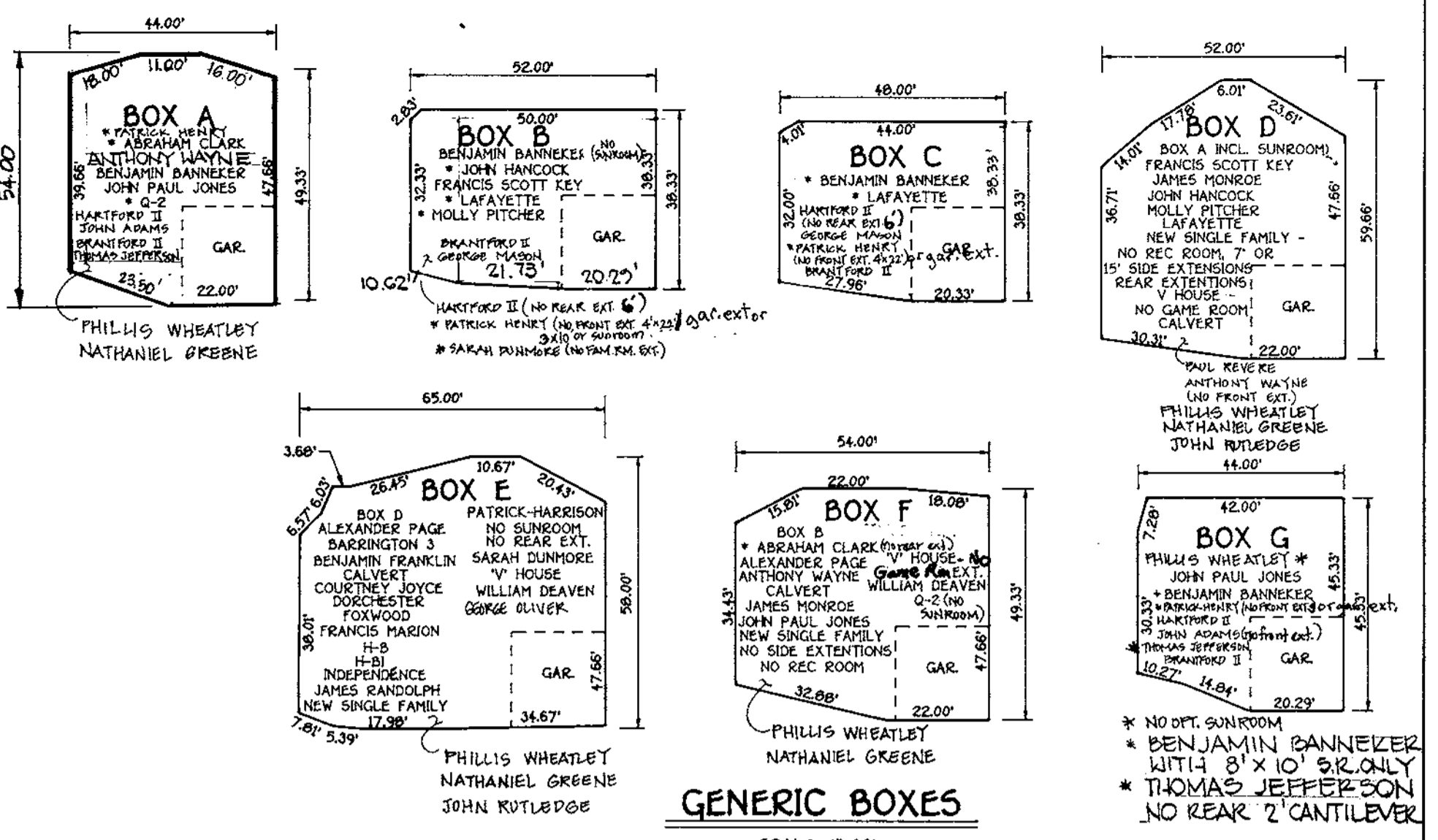
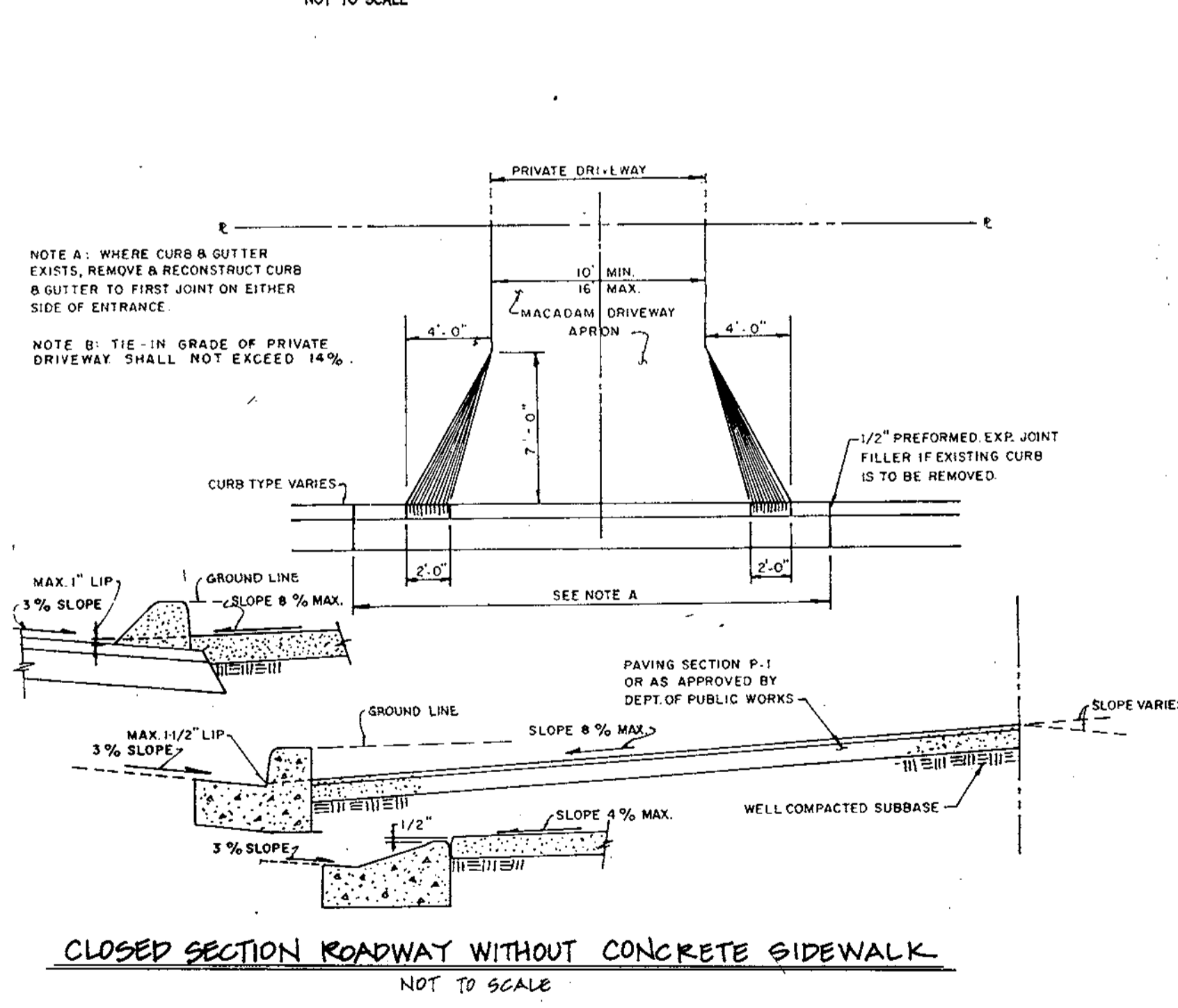
NOTE: SEDIMENT & EROSION CONTROL THERE WILL NOT BE MORE THAN THREE CONTIGUOUS LOTS GRADED AT ANY ONE TIME.



- Construction Specifications
- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
 - Staple the 4" overlap in the channel center using an 18" spacing between staples.
 - Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
 - Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
 - Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
 - The discharge end of the matting liner should be similarly secured with 2 double rows of staples.
- Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.



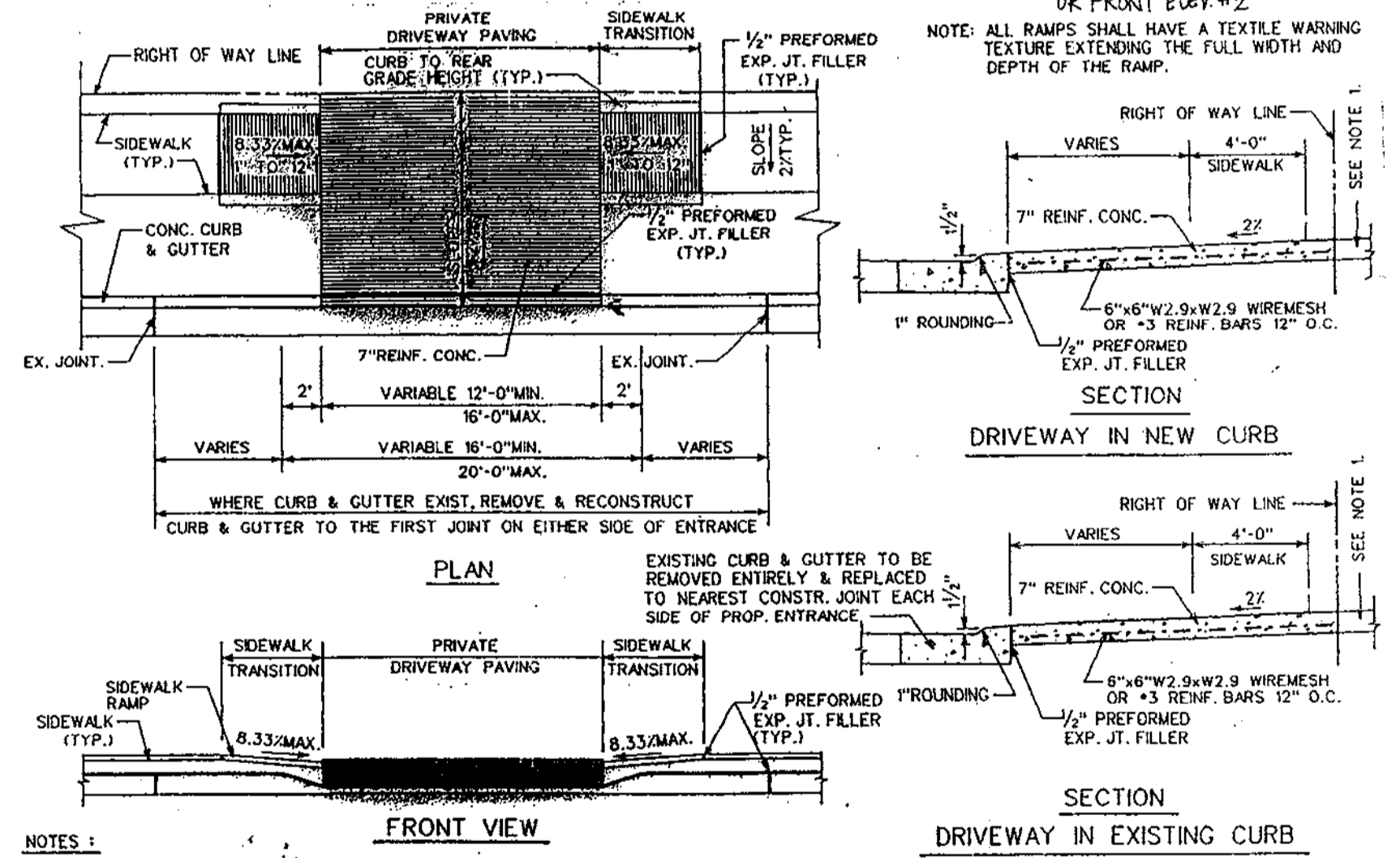
EROSION CONTROL MATTING



GENERIC BOXES

SCALE: 1"=30'
* ALL OPTIONS EXCLUDING SUNROOMS

* NO OPT. SUNROOM
* BENJAMIN BANNERKER WITH 8' X 10' S.R. ONLY
* THOMAS JEFFERSON NO REAR 2' CANTILEVER



RESIDENTIAL DRIVEWAY ENTRANCE CLOSED SECTION W/ STD. 7" COMBINATION CURB AND GUTTER AND SIDEWALK SET BACK FROM CURB

NOT TO SCALE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTONAL BEAVER OFFICE PARK - 3672 BALTIMORE NATIONAL PIKE
ELLETTT CITY, MARYLAND 21114
410-411-8900

ENGINEER'S CERTIFICATE
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer (Print name below signature) *Charles Scammone* Date *3/4/99*

DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer (Print name below signature) *Archie David Perry* Date *3-4-99*

Reviewed for HOWARD SCD and meets Technical Requirements.
Charles Scammone Date *3/23/99*
U.S.D.A.-Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John Olden Date *3/23/99*
HOWARD SCD

OWNER
WAVERLY WOODS DEVELOPMENT CORP.
C/O LAND DESIGN DEVELOPMENT
10805 HICKORY RIDGE ROAD
COLUMBIA, MARYLAND 21044

BUILDER
WILLIAMS/BUROG/PATRIOT HOMES
P.O. BOX 1018
COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Charles Scammone Date *4/1/99*
Chief, Department of Planning and Zoning
William Williams Date *3/25/99*
Chief, Development Engineering Division
James J. Carter Date *4/1/99*
Director, Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION/AREA: 6 LOT NO.: 72-79, 81-97
PLAT: 1561B-15614 BLOCK NO.: 6 ZONE: RSC TAX/ZONE: 16 ELEC. DIST.: THRD CENSUS TR.: 6030
WATER CODE: H-05 SEWER CODE: 5993000

12-249 REV. BOX A, ADD PHILLIS WHEATLEY, NATHANIEL GREENE & JOHN RUTLEDGE MODELS TO BOX D, E, F AND BOX H, I AND J.

SITE DEVELOPMENT PLAN
PLAN VIEW AND DETAILS
LOTS 70-79
GTW'S WAVERLY WOODS
SECTION 6
TAX MAP No: 16 PARCEL: 20
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: NOVEMBER, 1998
SHEET 2 OF 4

SDP 99-58

Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	House Detail Sheet
4	Detail Sheet

DEVELOPER'S/BUILDER'S CERTIFICATE

I, WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I, WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Cindy Hunt Berry
NAME: Cindy Hunt Berry DATE: 12-98

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT. (1 WEEK)
- INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN. (4 DAYS)
- CLEAR AND GRUB SITE TO LIMITS OF DISTURBANCE. (1 DAY PER DWELLING)
- EXCAVATE FOR FOUNDATION AND ROUGH GRADE LOT. (1 DAY PER DWELLING)
- CONSTRUCT DWELLINGS. (70 DAYS PER DWELLING)
- FINE GRADE LOT AND INSTALL DRIVEWAYS AND SIDEWALKS. (2 DAYS PER DWELLING)
- INSTALL PERMANENT SEEDING AND LANDSCAPING. (2 DAYS PER DWELLING)
- REMOVE SEDIMENT CONTROL DEVICES AS PERMITSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREA HAS BEEN STABILIZED.

LOT INFORMATION

UNIT NUMBER	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. • PROPERTY LINE (S.H.C.)	LOT SIZE
70	10997 CHESTER WAY	421.4'	416.22'	15,119 Sq. Ft.
71	10993 CHESTER WAY	421.0'	415.87'	10,246 Sq. Ft.
72	10900 DICKENS WAY	467.0'	462.20'	9,557 Sq. Ft.
73	10904 DICKENS WAY	462.4'	457.68'	7,437 Sq. Ft.
74	10908 DICKENS WAY	457.4'	452.60'	7,257 Sq. Ft.
75	10912 DICKENS WAY	448.0'	443.25'	7,125 Sq. Ft.
76	10916 DICKENS WAY	440.7'	435.73'	6,616 Sq. Ft.
77	10920 DICKENS WAY	438.1'	433.35'	6,129 Sq. Ft.
78	10924 DICKENS WAY	438.4'	433.70'	7,975 Sq. Ft.
79	10928 DICKENS WAY	437.3'	432.20'	10,585 Sq. Ft.
81	10932 DICKENS WAY	437.5'	433.51'	8,602 Sq. Ft.
82	10936 DICKENS WAY	440.8'	434.93'	12,019 Sq. Ft.
83	10641 DICKENS WAY	441.7'	436.55'	8,177 Sq. Ft.
84	2102 BECKETT WAY	457.3'	453.53'	10,509 Sq. Ft.
85	2106 BECKETT WAY	460.0'	454.85'	7,928 Sq. Ft.
86	2110 BECKETT WAY	460.9'	455.70'	8,781 Sq. Ft.
87	2114 BECKETT WAY	461.0'	455.63'	9,893 Sq. Ft.
88	2118 BECKETT WAY	459.9'	455.12'	9,023 Sq. Ft.
89	2122 BECKETT WAY	459.8'	455.07'	9,216 Sq. Ft.
90	2126 BECKETT WAY	460.5'	455.13'	7,625 Sq. Ft.
91	2130 BECKETT WAY	460.1'	454.71'	11,717 Sq. Ft.
92	2105 BECKETT WAY	459.3'	454.34'	6,773 Sq. Ft.
93	2101 BECKETT WAY	461.0'	457.03'	10,290 Sq. Ft.
94	10914 DORCHESTER WAY	474.7'	469.75'	10,330 Sq. Ft.
95	10918 DORCHESTER WAY	476.3'	471.37'	8,378 Sq. Ft.
96	10922 DORCHESTER WAY	477.8'	472.87'	6,978 Sq. Ft.
97	10926 DORCHESTER WAY	478.9'	473.99'	7,005 Sq. Ft.

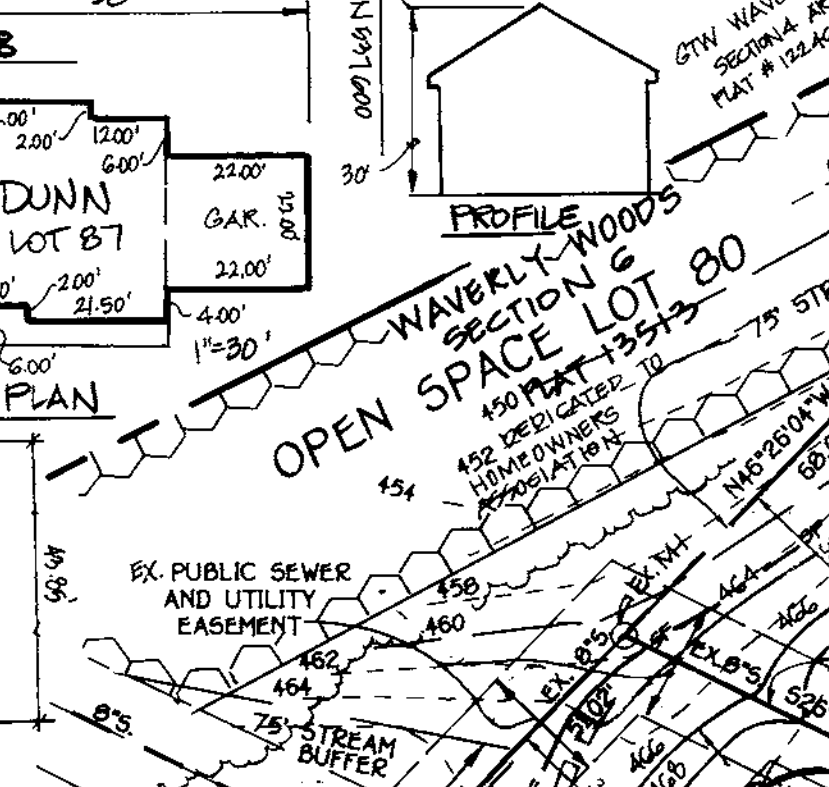
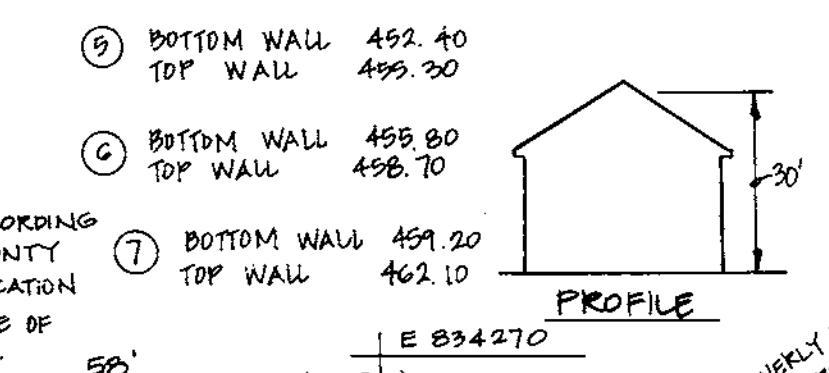
SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Perimeter Edge		
	A	B	C
Linear Feet or Roadway Frontage/Perimeter	129	161	135
Credit for Existing Vegetation (Yes, No Linear Feet) (Describe Below if Needed)	NO	NO	NO
Credit for Wall, Fence or Berm (Yes, No Linear Feet) (Describe Below if Needed)	NO	NO	NO
Number of Plants Required			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Shrubs	0	0	0
Number of Plants Provided			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Other Trees (21 Substitution)	0	0	0
Shrubs (01 Substitution)	0	0	0
Describe Plant Substitution Credits Below if Needed			

LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10	(Symbol)	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2 1/2"-3"
12	(Symbol)	PINUS STROBUS	WHITE PINE	6'-8' HT.

PROPOSED RETAINING WALL ELEVATIONS



LOT INFORMATION

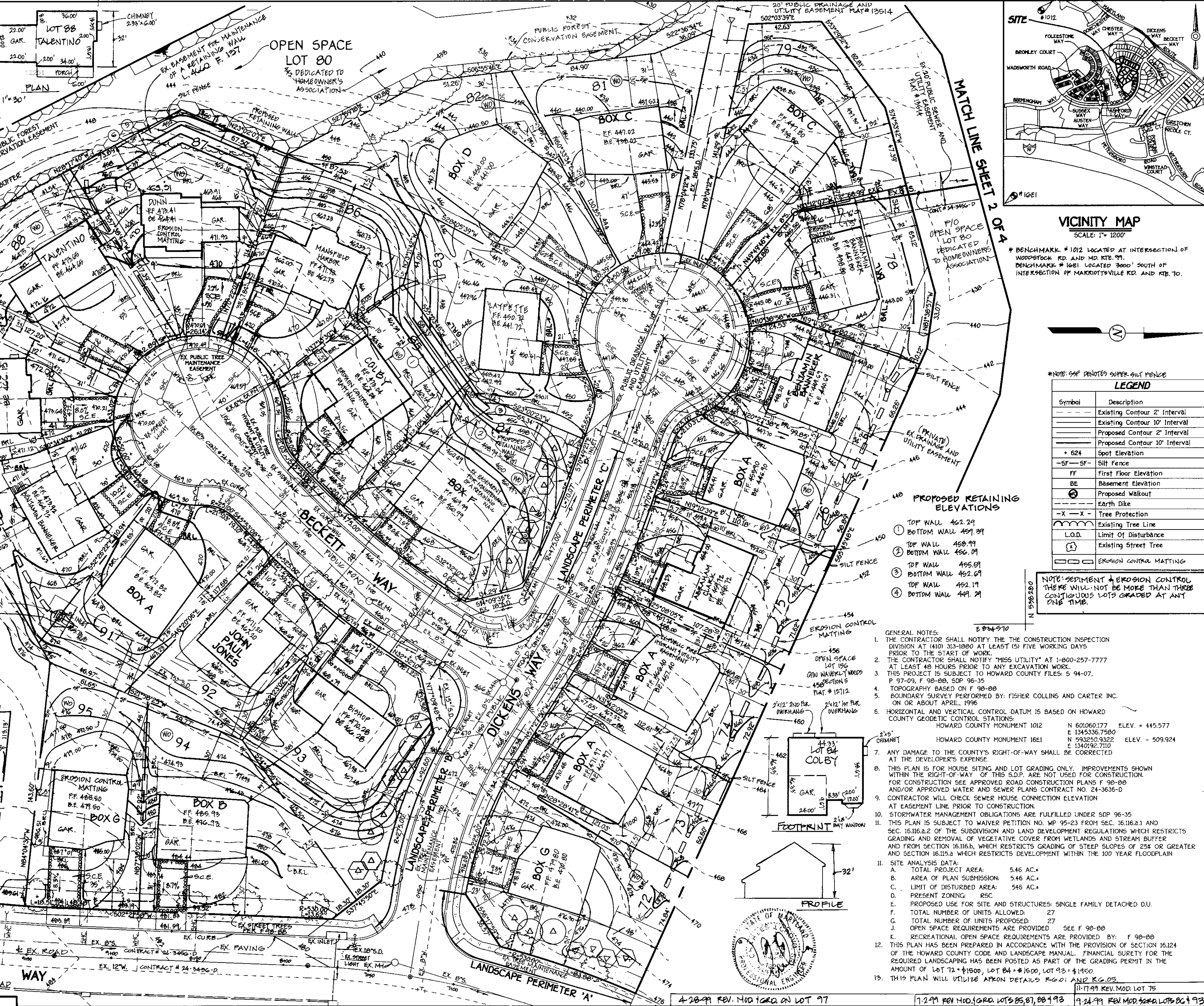
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Category	Perimeter Edge		
	A	B	C
Linear Feet or Roadway Frontage/Perimeter	129	161	135
Credit for Existing Vegetation (Yes, No Linear Feet) (Describe Below if Needed)	NO	NO	NO
Credit for Wall, Fence or Berm (Yes, No Linear Feet) (Describe Below if Needed)	NO	NO	NO
Number of Plants Required			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Shrubs	0	0	0
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LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
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Cindy Hunt Berry
Signature of Engineer (Print name below signature) Date: 12/1/98

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Cindy Hunt Berry
Signature of Developer (Print name below signature) Date: 12-1-98

Reviewed for HOWARD SCD and meets Technical Requirements.
Allen Sumner
U.S.D.A. Natural Resources Conservation Service
Date: 3/23/99

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John Roberts
Howard SCD
Date: 3/23/99

OWNER
WAVERLY WOODS DEVELOPMENT CORP.
90 LAND DESIGN DEVELOPMENT
10805 HICKORY RIDGE ROAD
COLUMBIA, MD. 21044

BUILDER
WILLIAMS BROS. PATRIOT HOMES
P.O. BOX 1018
COLUMBIA, MD 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hunt Berry
Chief, Division of Land Development
Date: 4/1/99

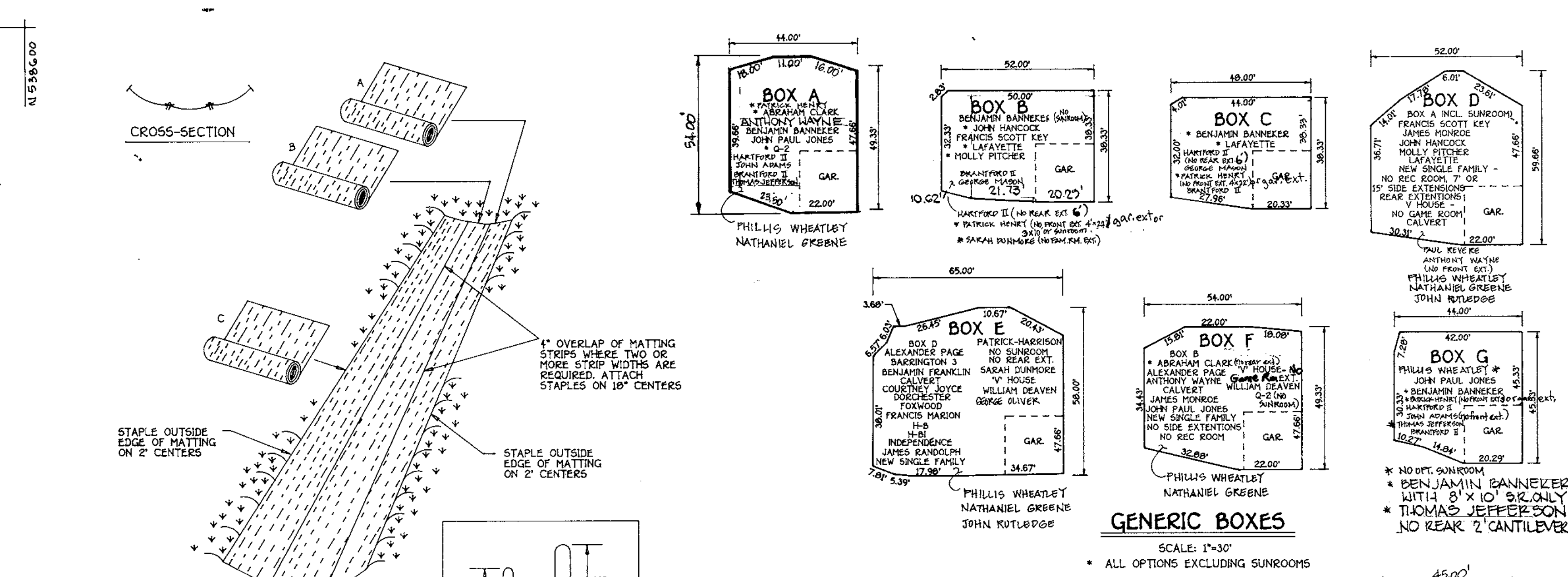
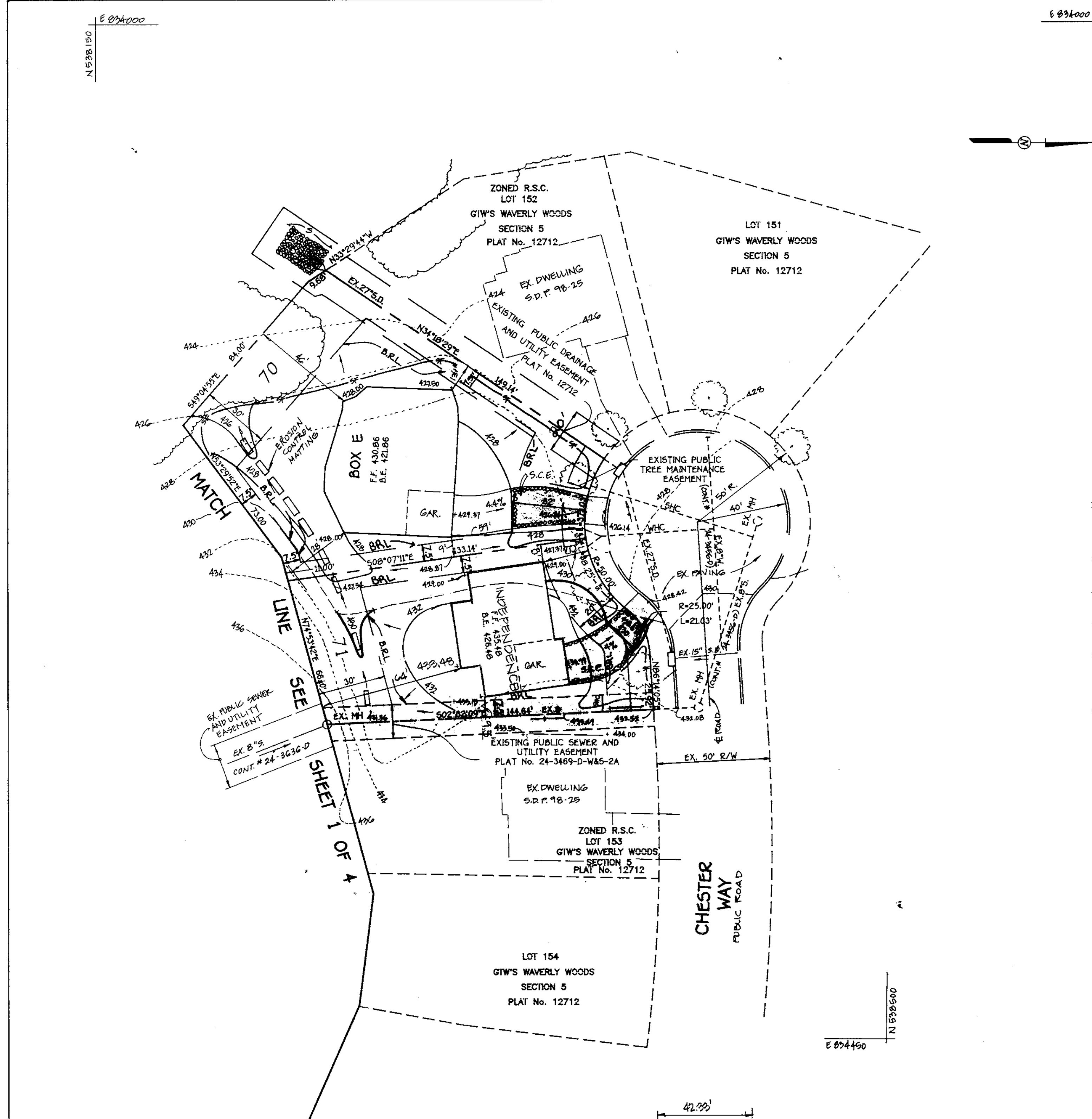
Allen Sumner
Chief, Development Engineering Division
Date: 3/25/99

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Howard SCD
Date: 3/23/99

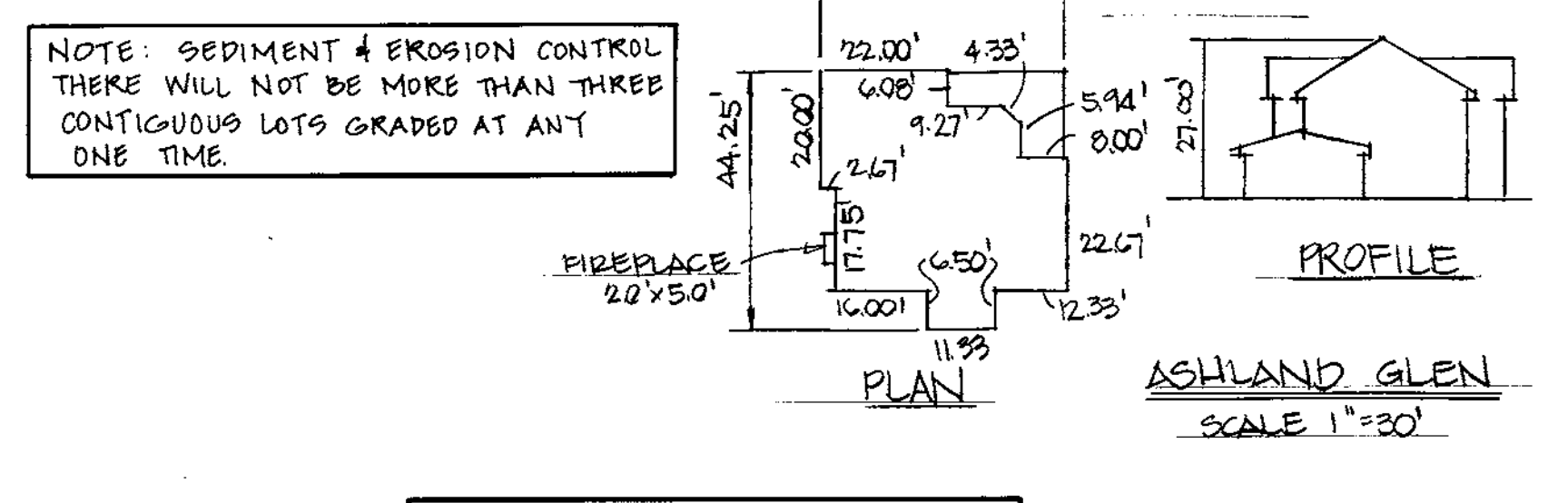
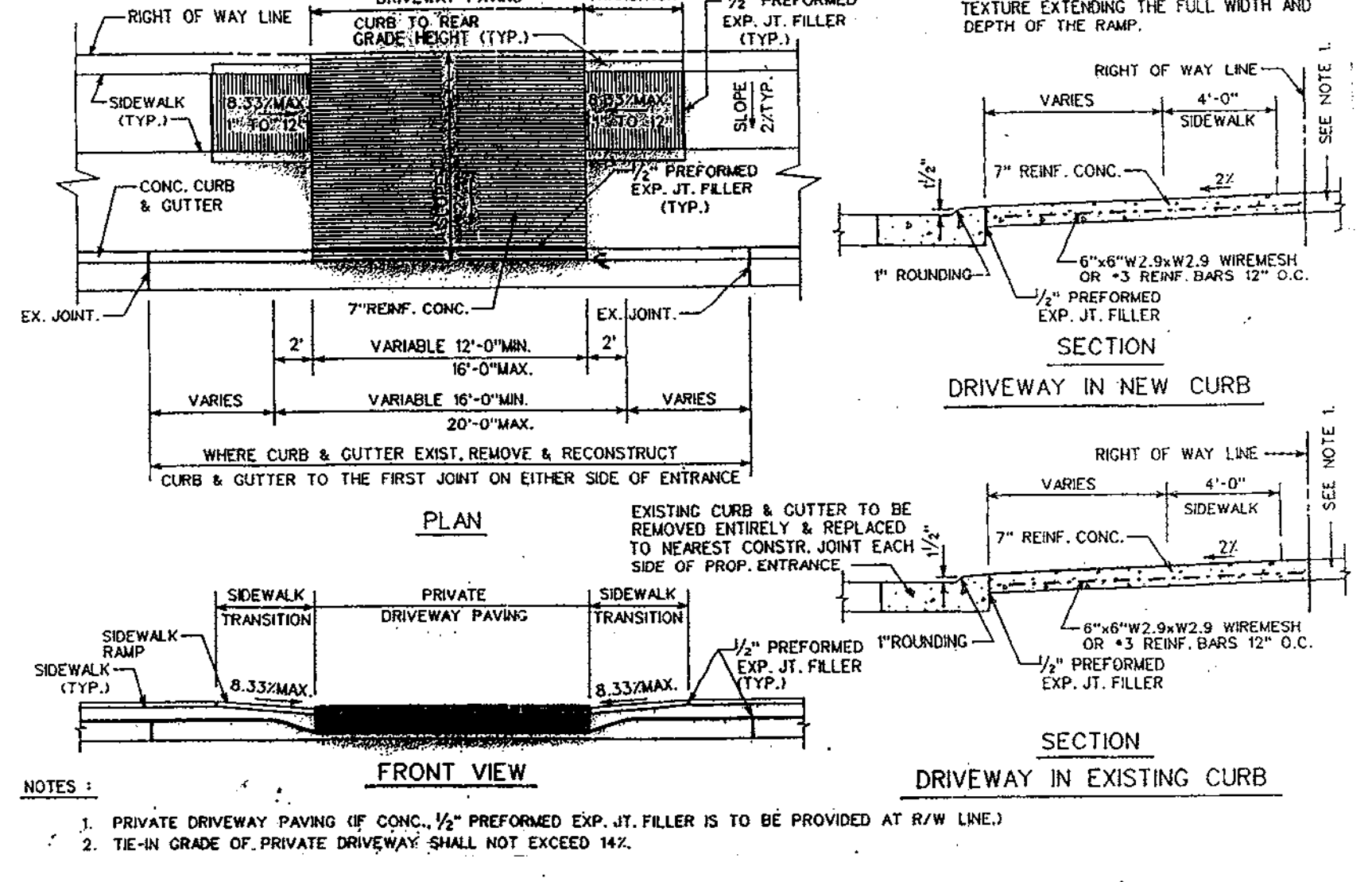
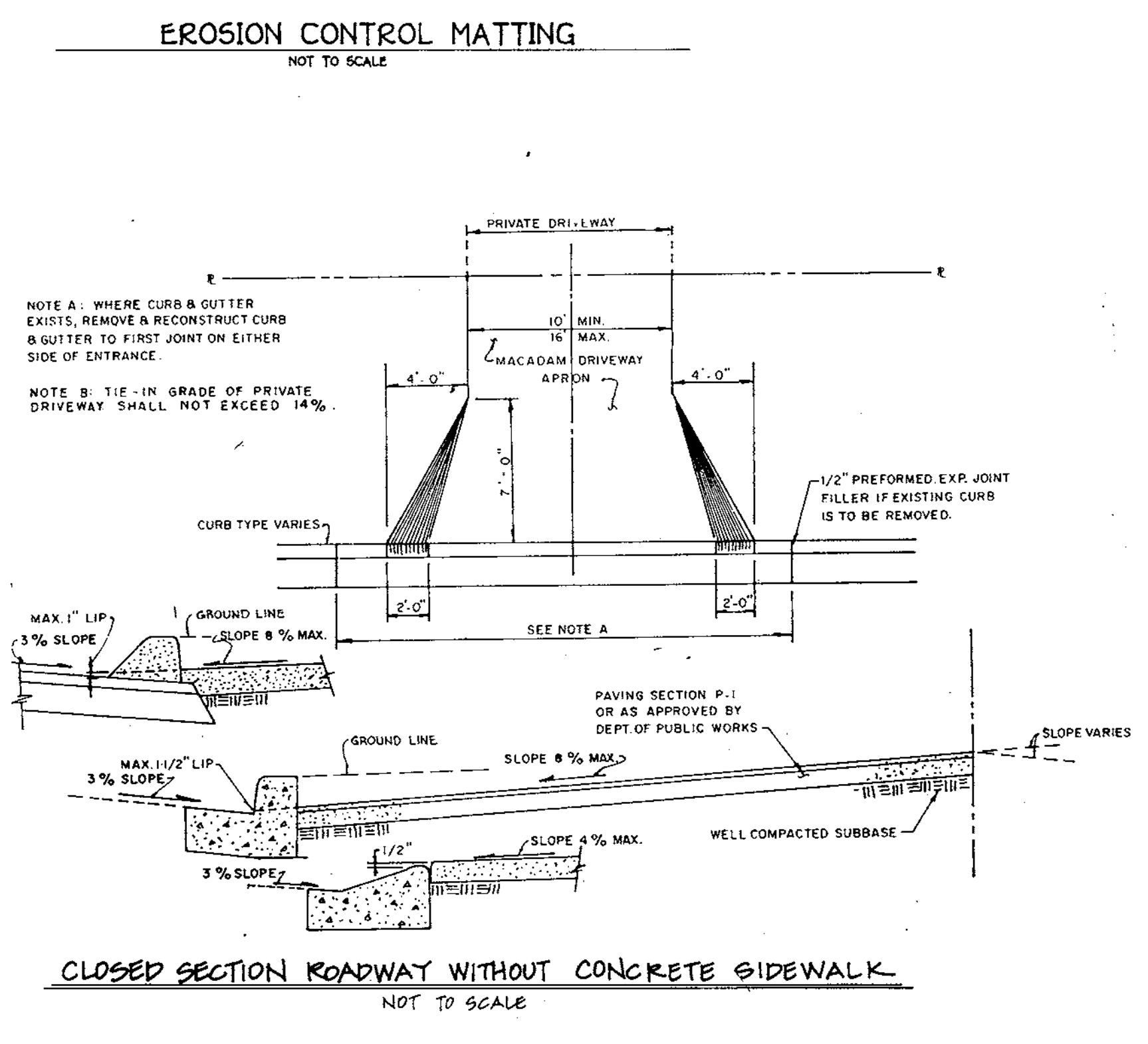
PROJECT	SECTION/AREA	LOT NO.
GTW'S WAVERLY WOODS	6	70-79, 81-97
PLAT	BLOCK NO.	ZONE
13510-13514	6	RSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	6090
WATER CODE	SEWER CODE	
H-05	8993000	

SITE DEVELOPMENT PLAN PLAN VIEW
LOTS 70-79, 81-97
GTW'S WAVERLY WOODS SECTION 6

TAX MAP No: 16 PARCEL: 20
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: NOVEMBER, 1998
SHEET 1 OF 4



- ### Construction Specifications
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Signature of Engineer (Print name below signature) *John Rutledge* Date *3/4/99*

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Signature of Developer (Print name below signature) *Andy DeWitt Barry* Date *3-4-99*

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development *John Rutledge* Date *4/1/99*

Chief, Development Engineering Division *John Rutledge* Date *3/29/99*

Director, Department of Planning and Zoning *John Rutledge* Date *4/1/99*

PROJECT: GTW'S WAVERLY WOODS SECTION/AREA: 6 LOT NO.: 72-79, 81-97

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
13615-13514	6	RSC	16	THRD	6030

WATER CODE: H-05 SEWER CODE: 5993000

OWNER: WAVERLY WOODS DEVELOPMENT CORP. C/O LAND DESIGN DEVELOPMENT 10805 HICKORY RIDGE ROAD COLUMBIA, MARYLAND 21044

BUILDER: WILLIAMSBURG/PATRIOT HOMES P.O. BOX 1018 COLUMBIA, MARYLAND 21044

2' 14" 00" ADD HOUSE TYPE ASHLAND GLEN 12-2-99 REV. BOX A, ADD PHILLIS WHEATLEY, NATHANIEL GREENE & JOHN RUTLEDGE MODELS TO BOX D, E, F ADD BOX H, I AND J.

SITE DEVELOPMENT PLAN

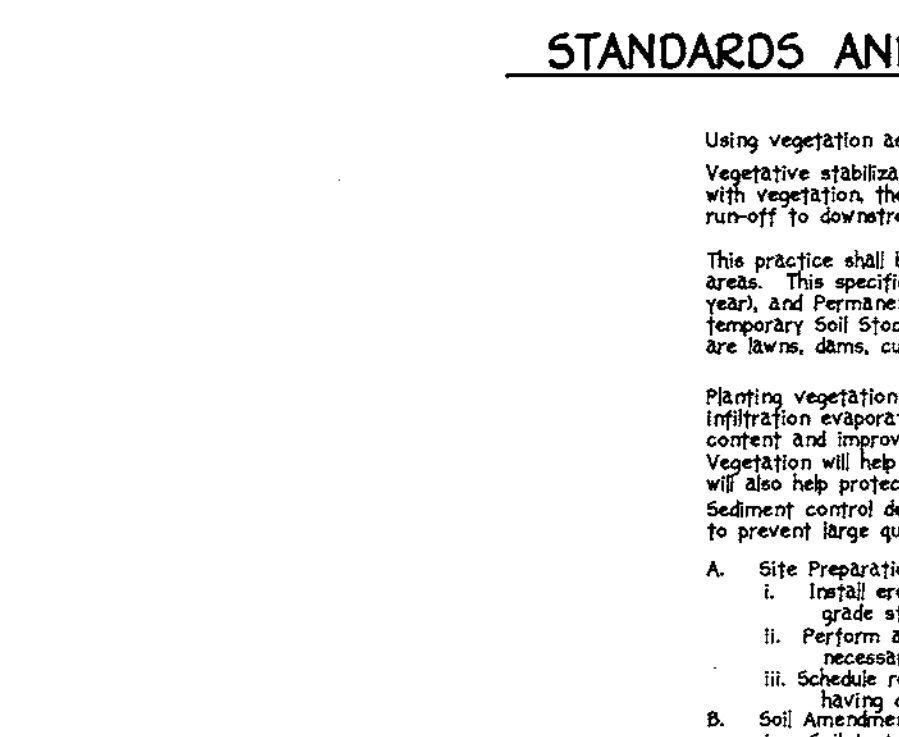
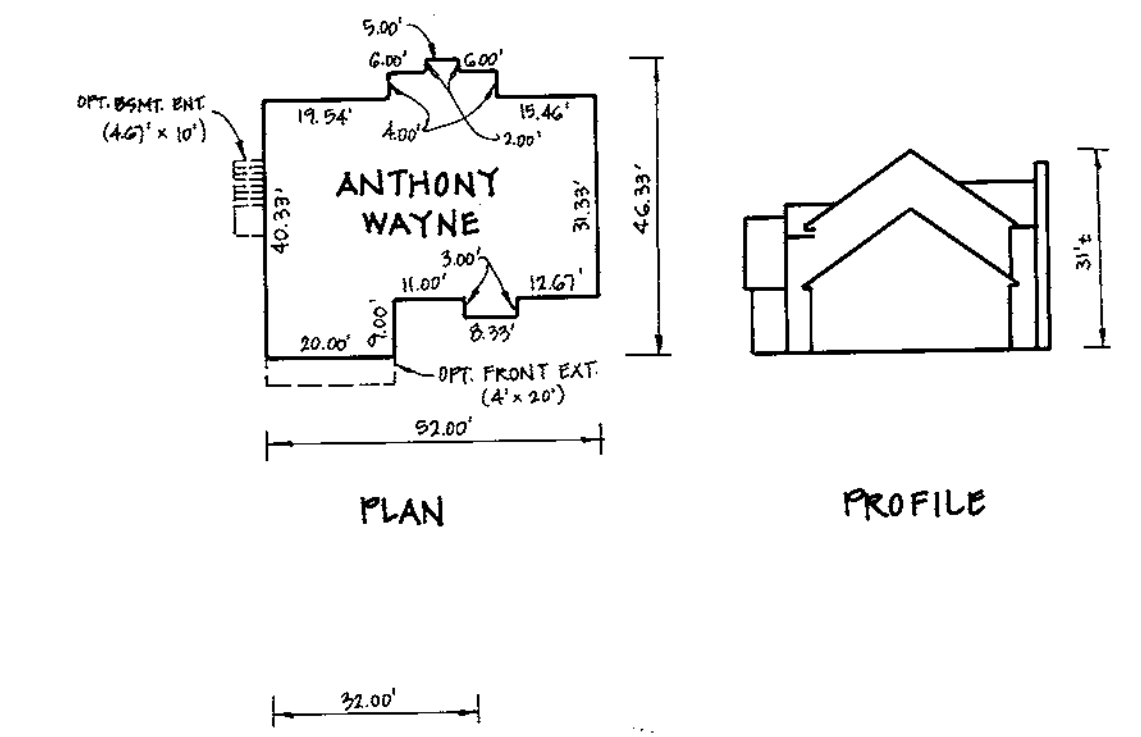
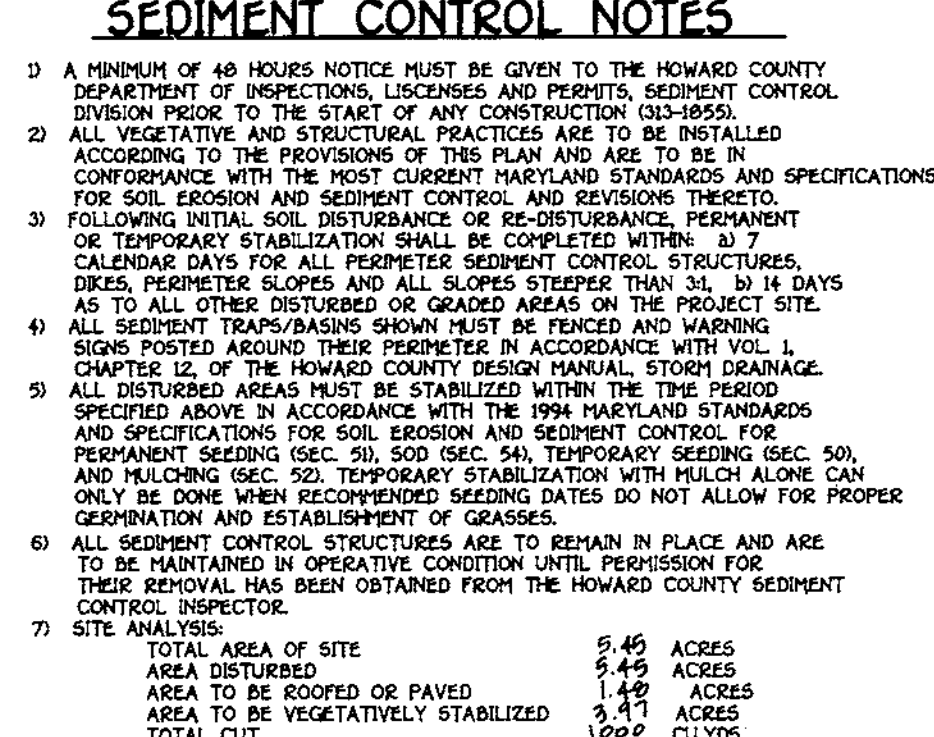
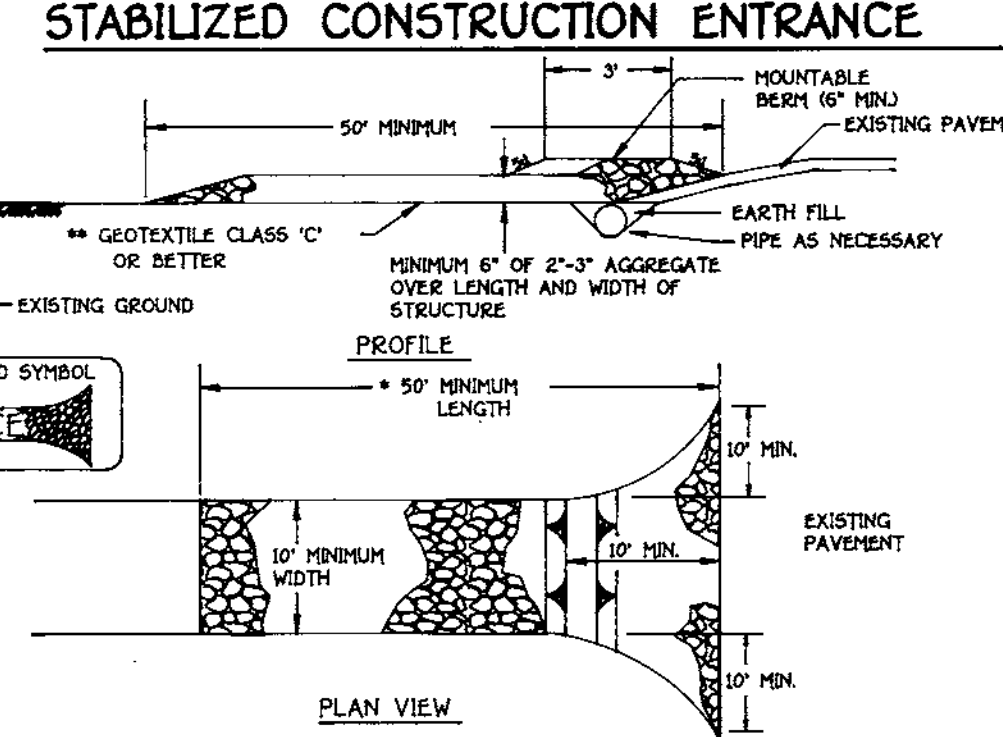
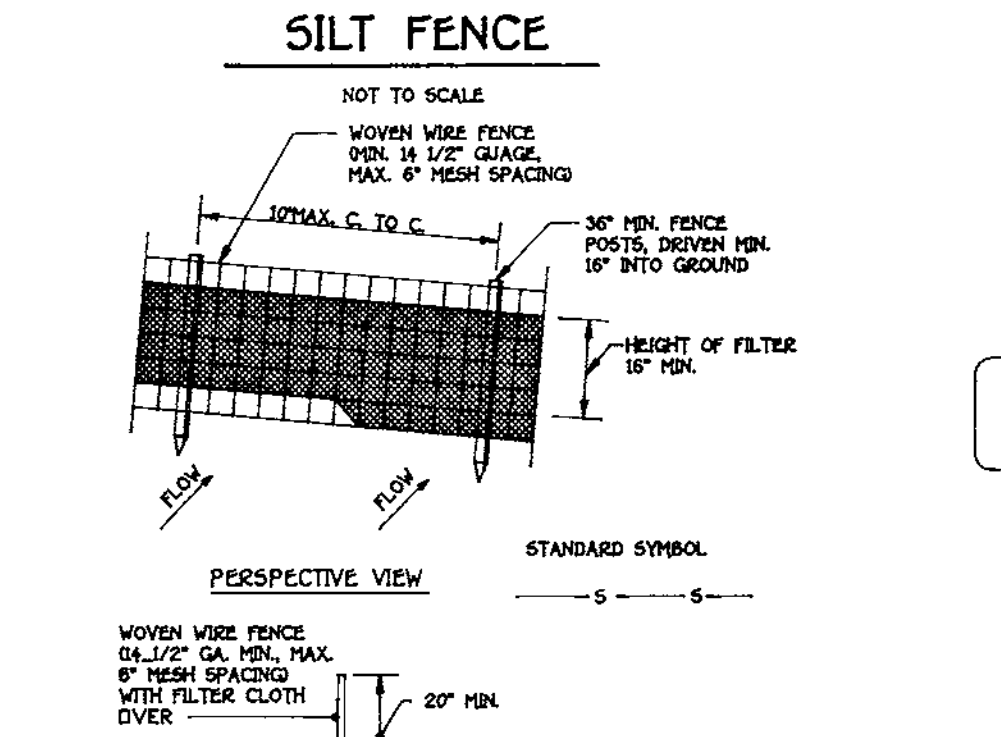
PLAN VIEW AND DETAILS

GTW'S WAVERLY WOODS SECTION 6

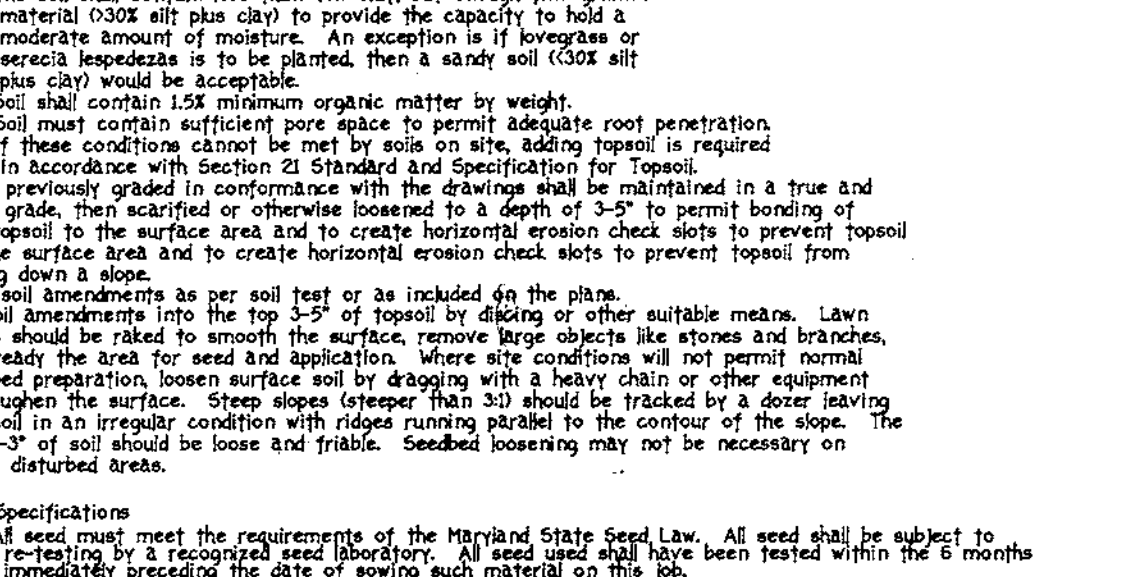
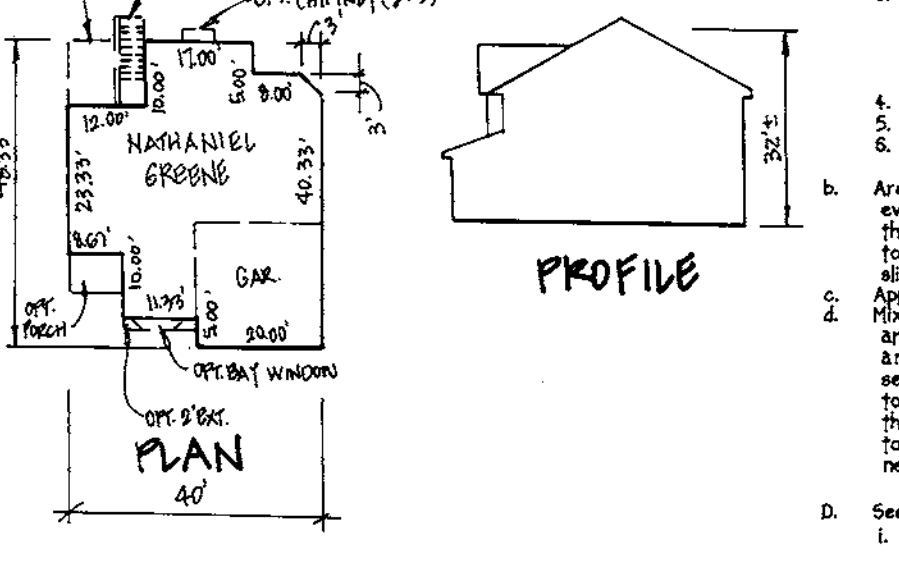
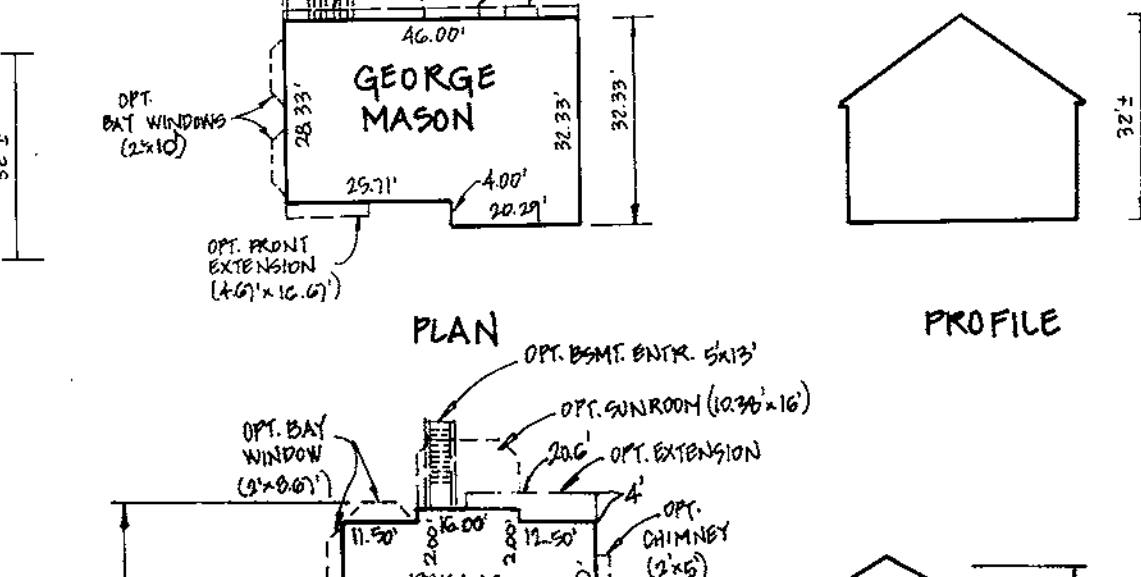
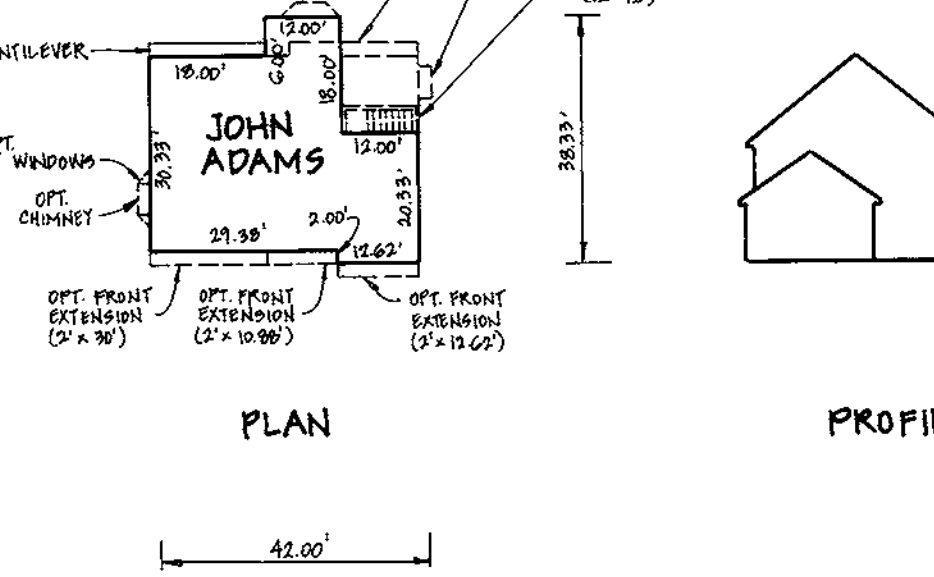
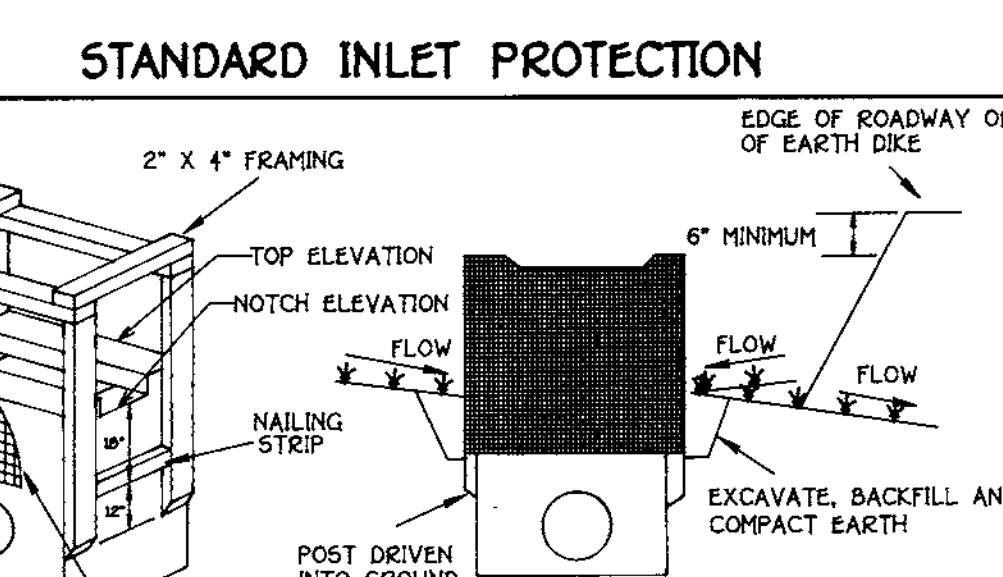
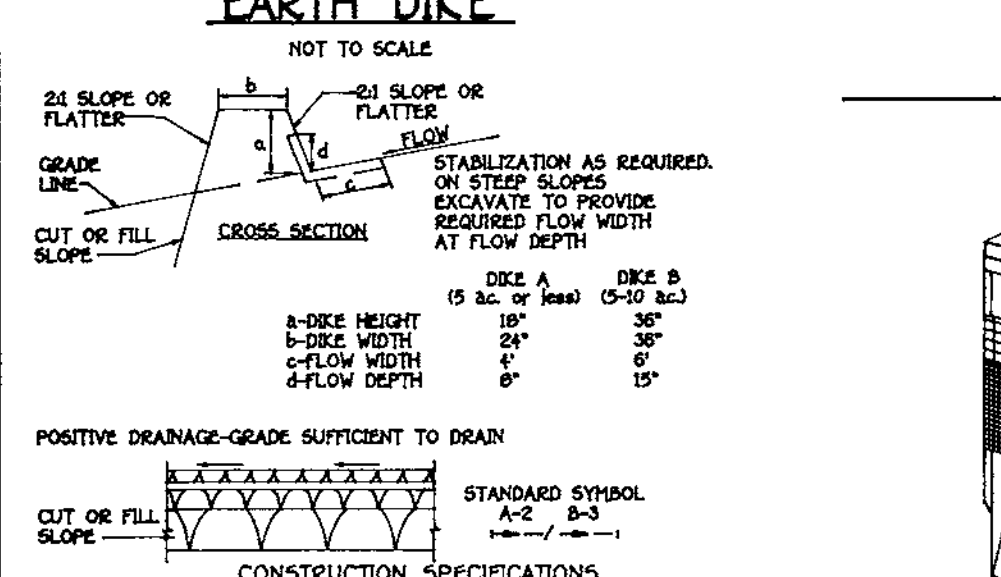
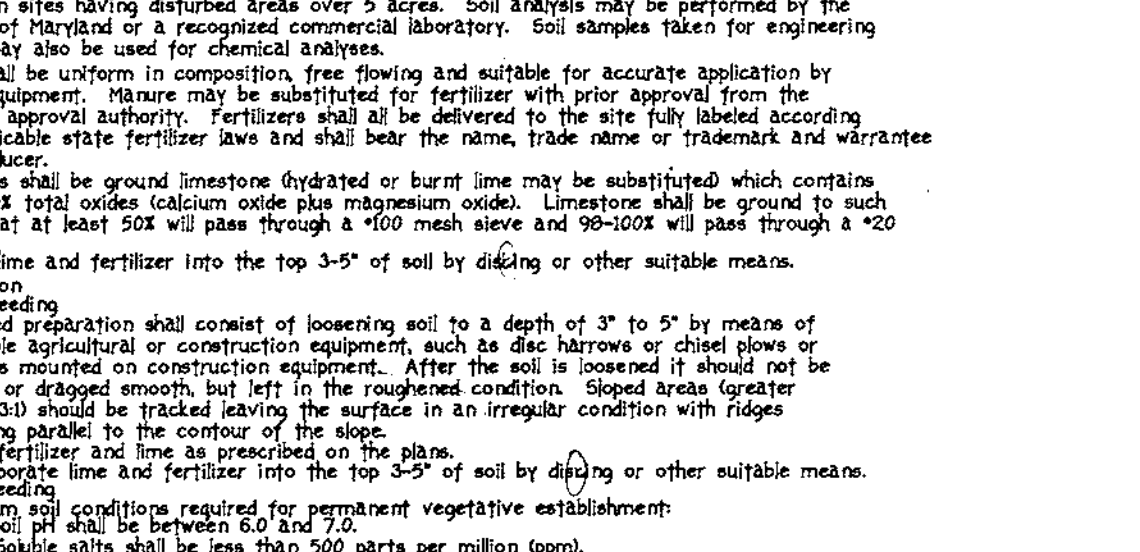
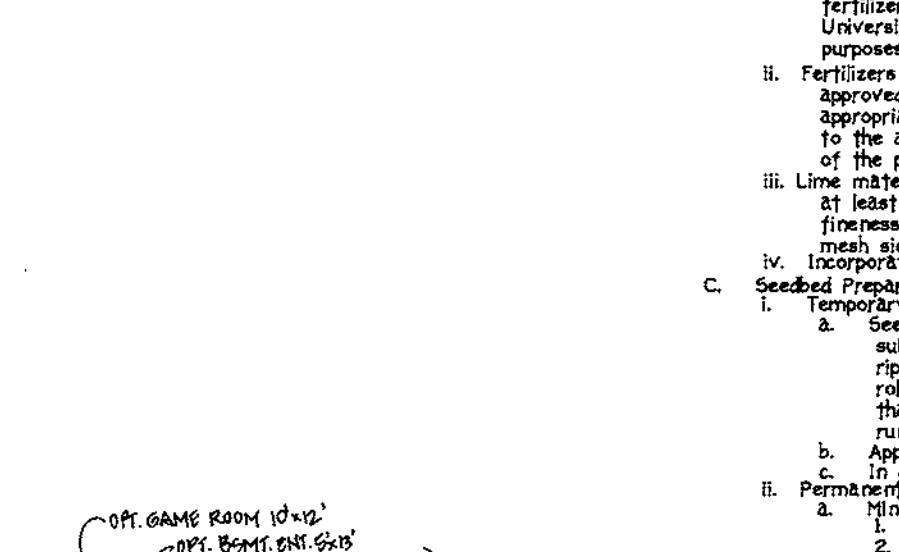
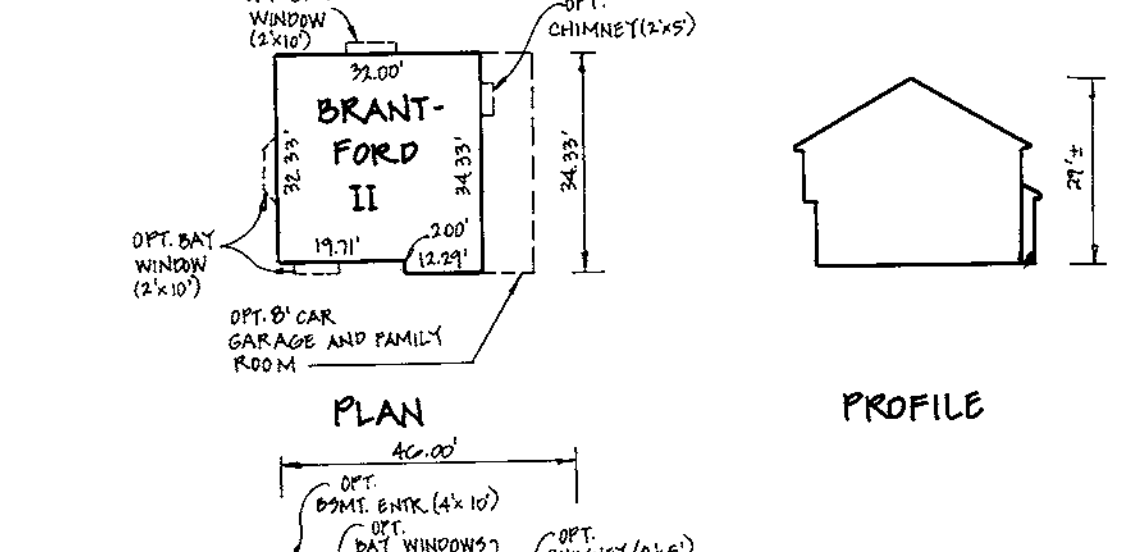
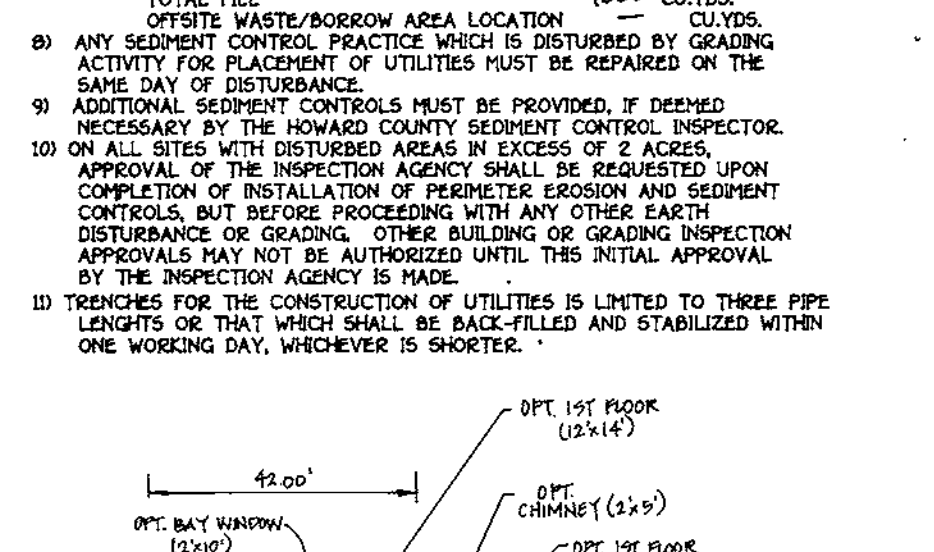
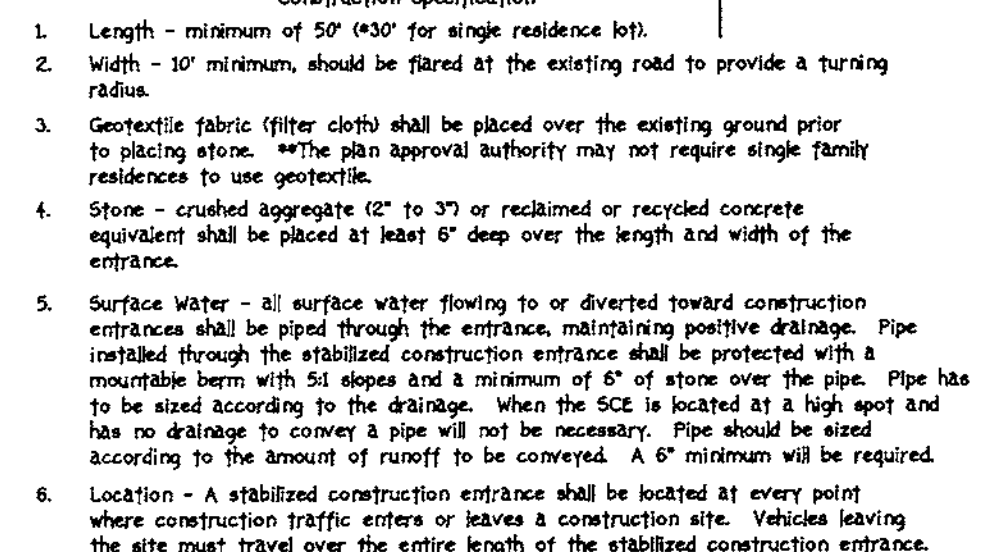
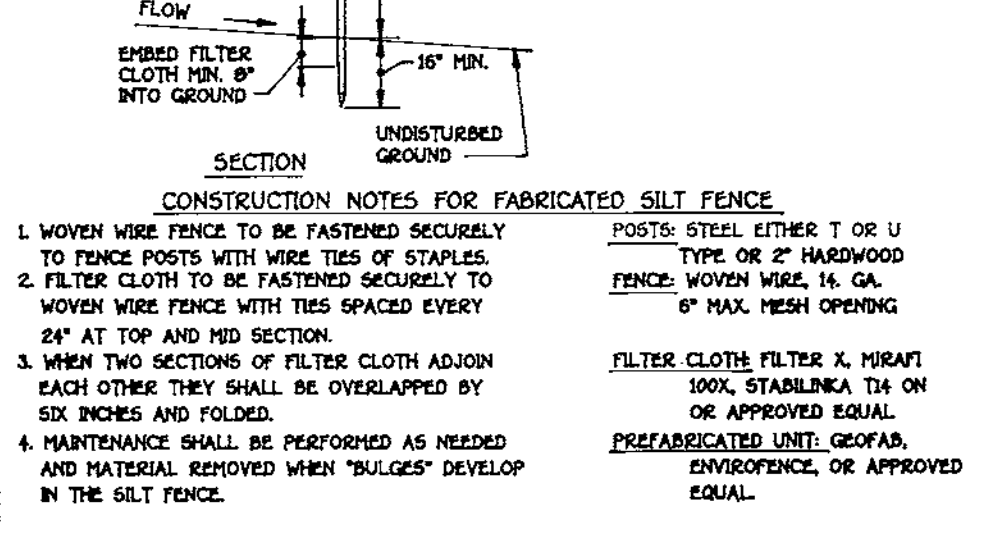
LOT 70-79

TAX MAP No: 16 PARCEL: 20
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: NOVEMBER, 1998
SHEET 2 OF 4

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTONAL BEAVER OFFICE PARK - 3622 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21043
410-411-8200

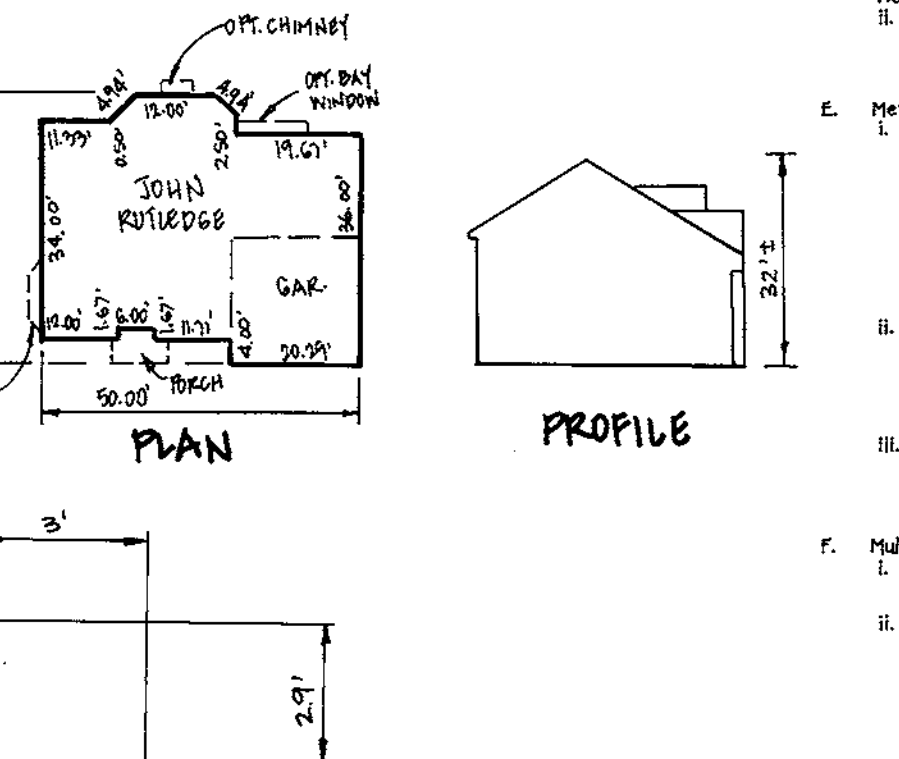
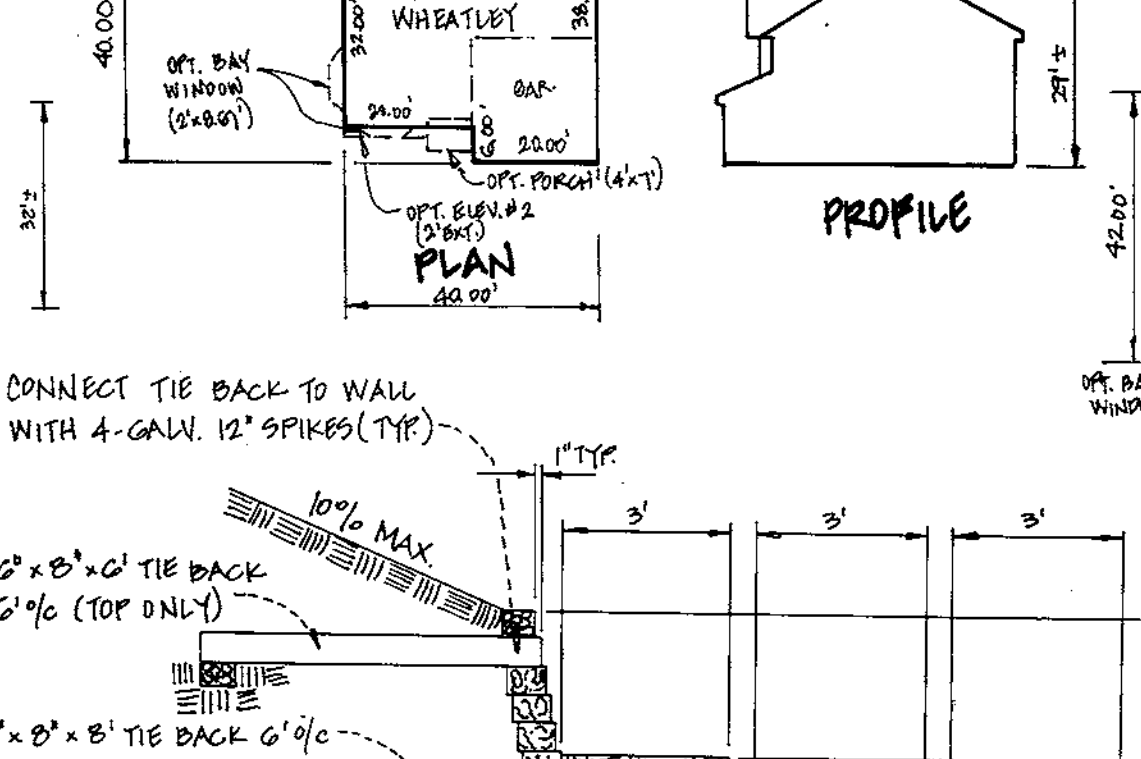
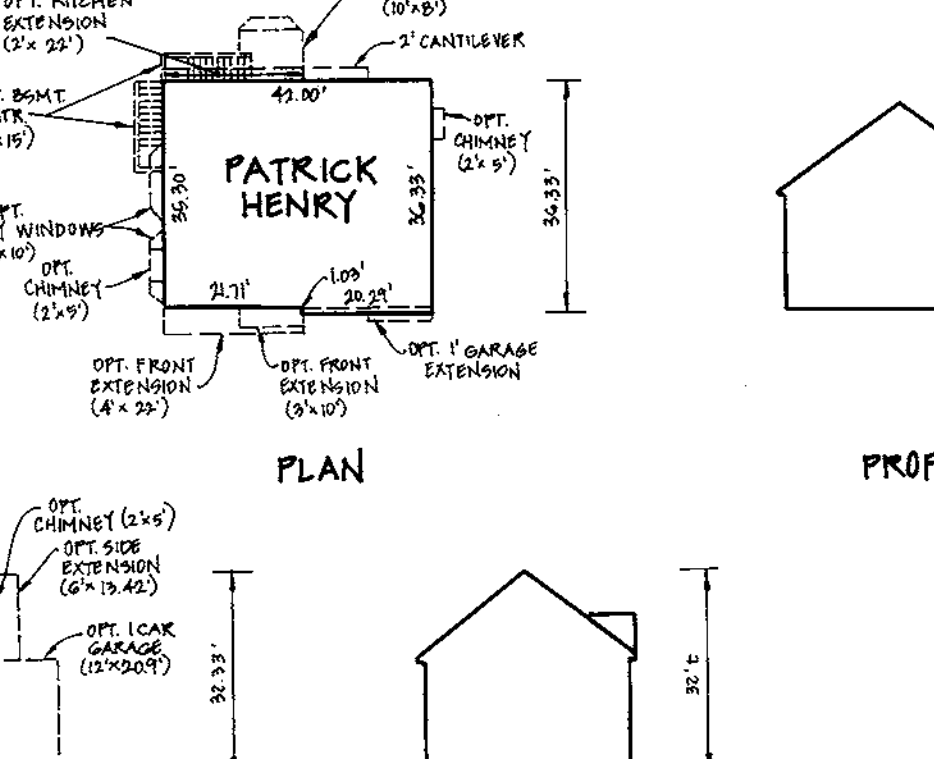


DEFINITION: Using vegetation as cover for barren soil to protect it from erosion. Vegetative stabilization applications are used to promote the growth of vegetation on exposed soil.



Flow Channel Stabilization table with columns for Type of Channel, Grade, Dike A, Dike B, and Dike C. Includes construction specifications for flow channels.

SEEDING NOTES: SOIL AMENDMENTS, SEEDING, MULCHING, and MAINTENANCE instructions for temporary and permanent seeding.

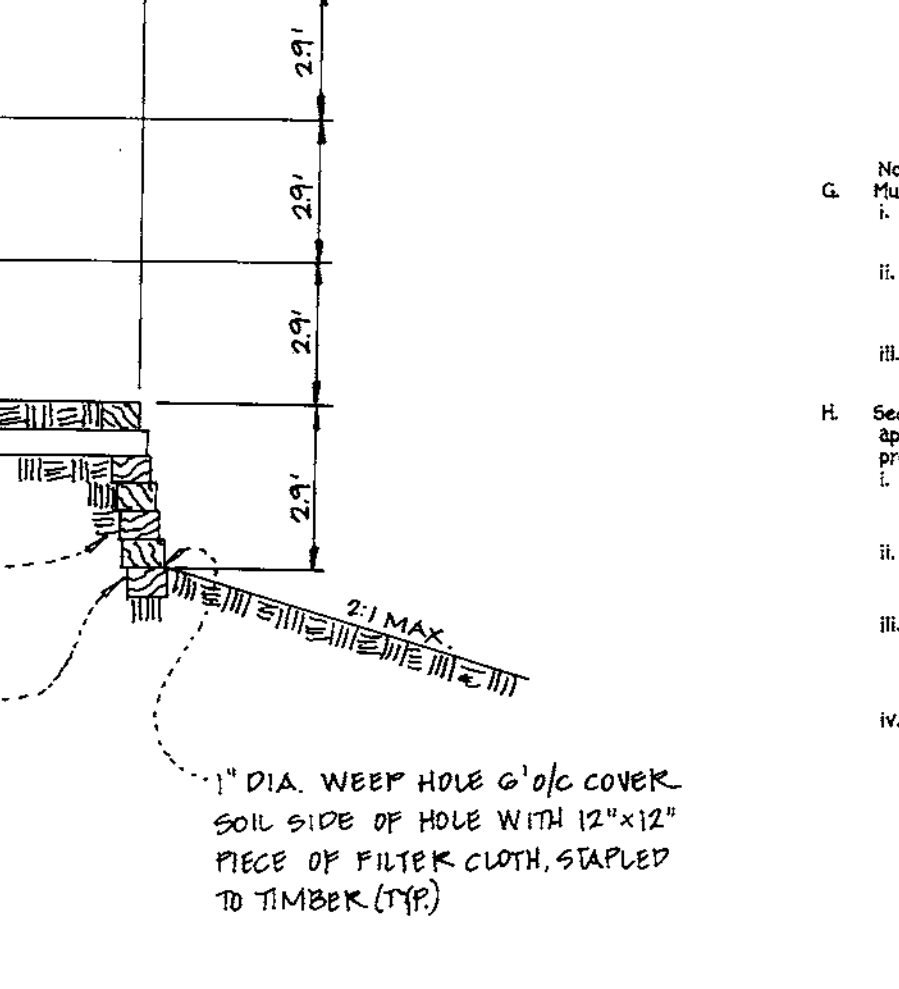
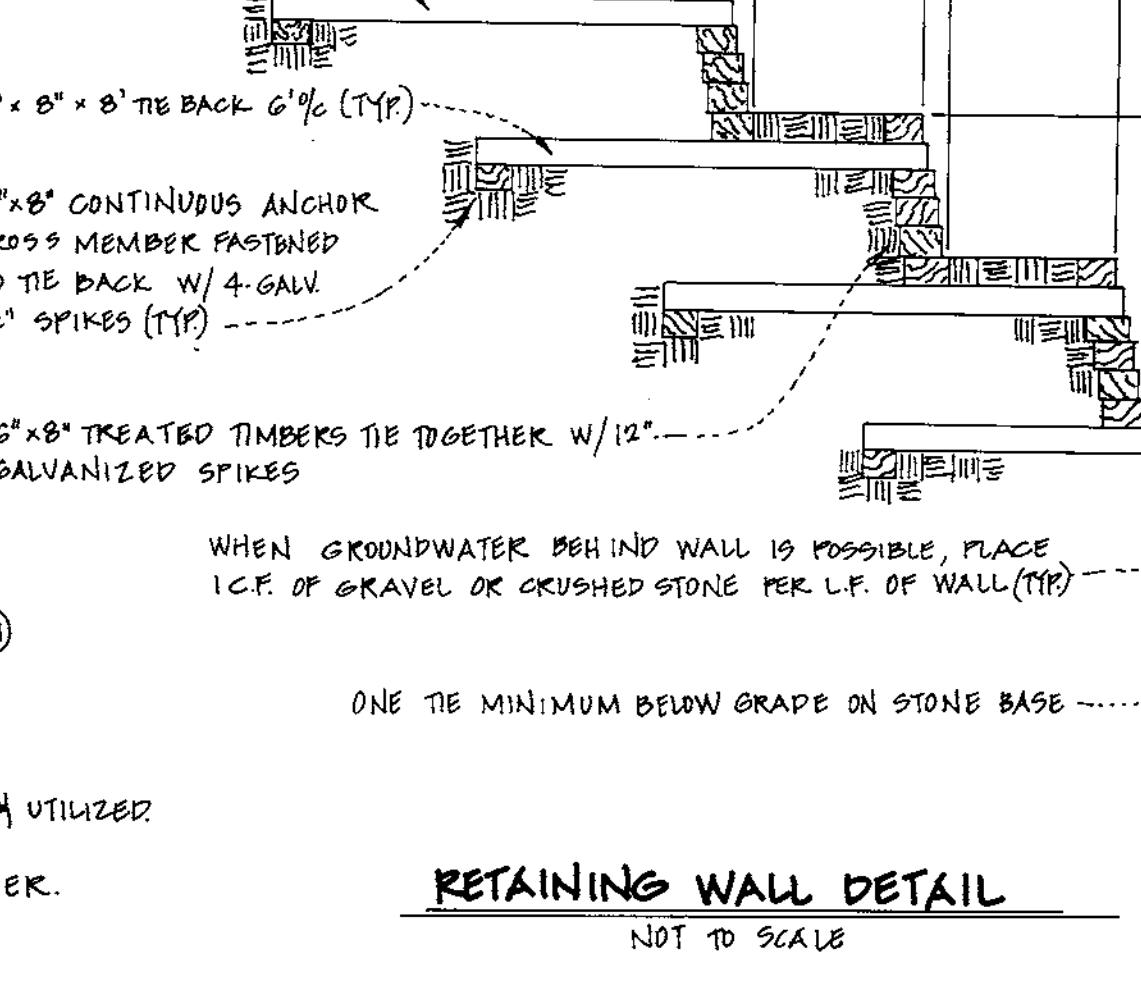


SEEDING NOTES: SEED SPECIFICATIONS, METHODS, and other technical details for seeding projects.

PERMANENT SEEDING NOTES: ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS. SEEDING PREPARATION, SOIL AMENDMENTS, SEEDING, MULCHING, and MAINTENANCE instructions.

TEMPORARY SEEDING NOTES: APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED. SEEDING PREPARATION, SOIL AMENDMENTS, SEEDING, and MULCHING instructions.

RETAINING WALL NOTES: TIMBERS SHALL BE EITHER: a) CCA TREATED TREATED RAILROAD TIES, b) CCA TREATED LANDSCAPING TIMBERS. HANDWORK SHALL BE HOT DIPPED GALVANIZED WEEPHOLES WITH OR WITHOUT GRAVEL DRAIN ARE MINIMUM WEAPHOLES FOR GROUNDWATER.



RETAINING WALL DETAIL showing cross-section and construction notes for retaining walls, including weep hole details.

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS. Includes company address and contact information.

ENGINEER'S CERTIFICATE and DEVELOPER'S CERTIFICATE. Includes signatures and dates for the engineer and developer.

OWNER and BUILDER information. Includes addresses for Waverly Woods Development Corp. and Williamsburg/Patriot Homes.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for planning and zoning officials.

SITE DEVELOPMENT PLAN NOTES AND DETAILS. Includes project name, location, and map information.

Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	House Detail Sheet
4	Detail Sheet

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Cindy Hunt Berry*
 DATE: 12-1-98

- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT (1 WEEK)
 - INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN (4 DAYS)
 - CLEAR AND GRUB SITE TO LIMITS OF RESTORANCE (1 DAY PER DWELLING)
 - EXCAVATE FOR FOUNDATION AND ROUGH GRADE LOT (1 DAY PER DWELLING)
 - CONSTRUCT DWELLING (70 DAYS PER DWELLING)
 - FINE GRADE LOT AND INSTALL DRIVEWAYS AND SIDEWALKS (2 DAYS PER DWELLING)
 - INSTALL PERMANENT SEEDING AND LANDSCAPING (2 DAYS PER DWELLING)
 - REMOVE SEDIMENT CONTROL DEVICES AS PERMISSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED

LOT INFORMATION

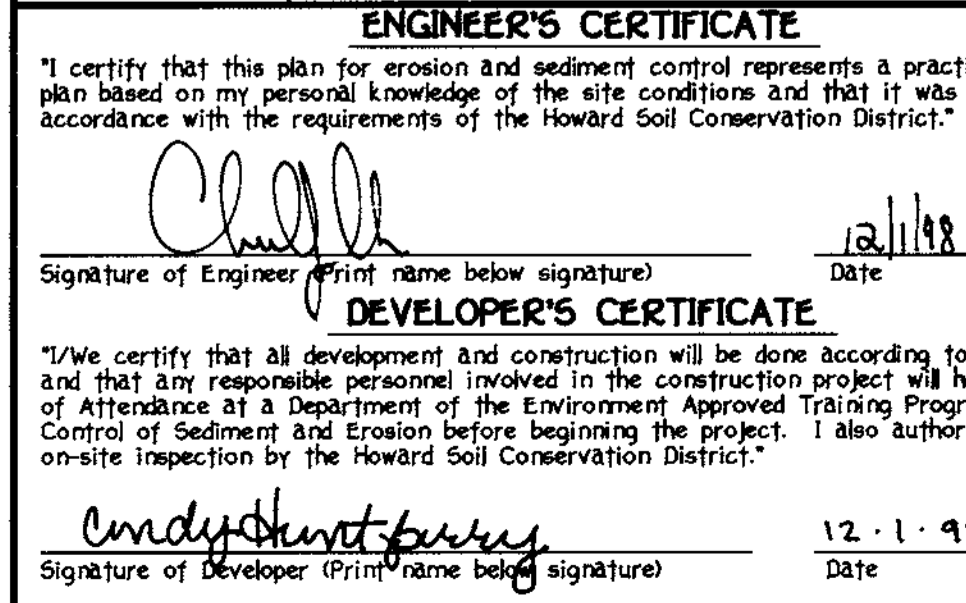
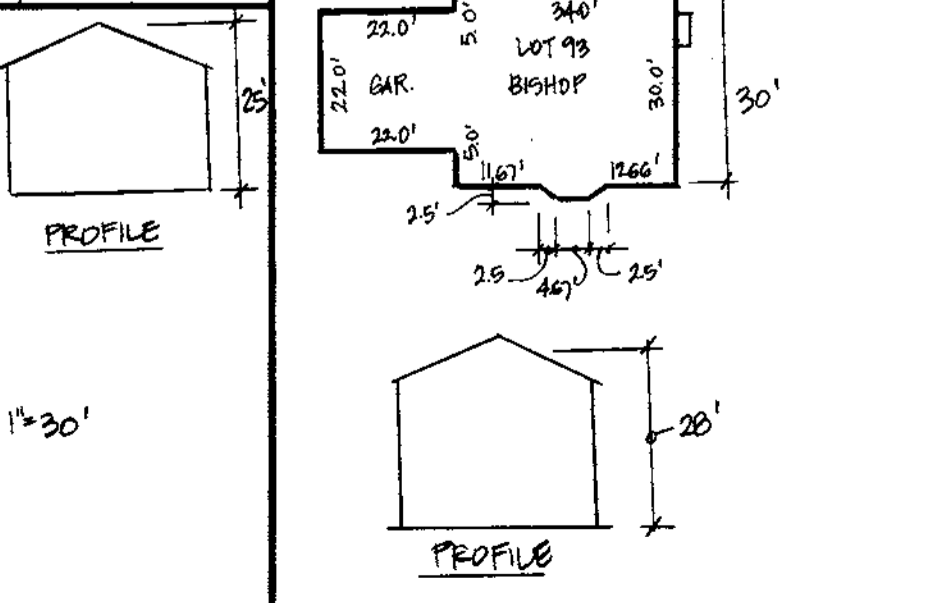
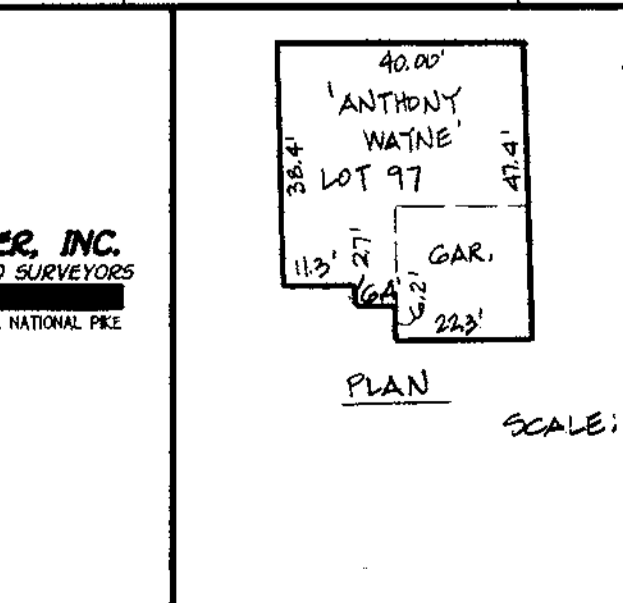
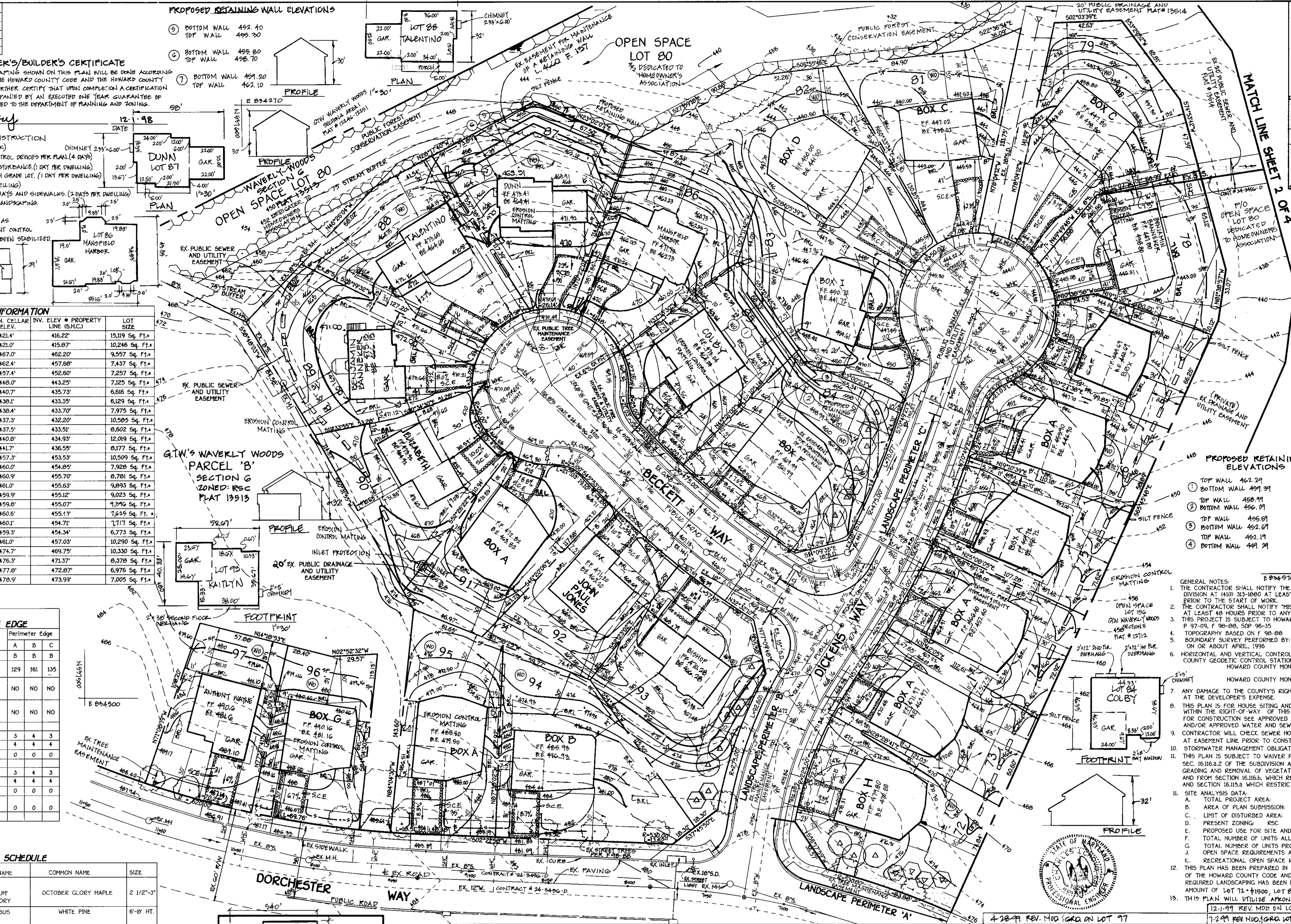
UNIT NUMBER	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (S.H.C.)	LOT SIZE
70	10597 CHESTER WAY	421.4'	418.22'	15,119 Sq. Ft.
71	10593 CHESTER WAY	421.0'	415.87'	10,246 Sq. Ft.
72	10500 DICKENS WAY	467.0'	462.20'	9,557 Sq. Ft.
73	10504 DICKENS WAY	462.4'	457.68'	7,437 Sq. Ft.
74	10508 DICKENS WAY	457.4'	452.60'	7,257 Sq. Ft.
75	10512 DICKENS WAY	448.0'	443.25'	7,125 Sq. Ft.
76	10516 DICKENS WAY	440.7'	435.73'	6,616 Sq. Ft.
77	10520 DICKENS WAY	438.1'	433.35'	6,129 Sq. Ft.
78	10524 DICKENS WAY	438.4'	433.70'	7,975 Sq. Ft.
79	10528 DICKENS WAY	437.3'	432.20'	10,585 Sq. Ft.
80	10532 DICKENS WAY	437.5'	433.51'	8,802 Sq. Ft.
81	10536 DICKENS WAY	440.8'	434.93'	12,019 Sq. Ft.
82	10540 DICKENS WAY	441.7'	436.58'	8,177 Sq. Ft.
83	2102 BECKETT WAY	457.3'	453.53'	10,509 Sq. Ft.
84	2106 BECKETT WAY	460.0'	454.85'	7,928 Sq. Ft.
85	2110 BECKETT WAY	460.9'	455.70'	8,781 Sq. Ft.
86	2114 BECKETT WAY	461.0'	455.63'	8,893 Sq. Ft.
87	2118 BECKETT WAY	459.9'	455.12'	9,023 Sq. Ft.
88	2122 BECKETT WAY	459.8'	455.07'	9,292 Sq. Ft.
89	2126 BECKETT WAY	460.1'	455.13'	7,625 Sq. Ft.
90	2130 BECKETT WAY	460.1'	454.71'	7,117 Sq. Ft.
91	2105 BECKETT WAY	459.3'	454.34'	6,773 Sq. Ft.
92	2109 BECKETT WAY	461.0'	457.03'	10,290 Sq. Ft.
93	10914 DORCHESTER WAY	474.7'	469.75'	10,330 Sq. Ft.
94	10918 DORCHESTER WAY	476.3'	471.37'	8,378 Sq. Ft.
95	10922 DORCHESTER WAY	477.8'	472.87'	6,976 Sq. Ft.
96	10926 DORCHESTER WAY	478.9'	473.99'	7,005 Sq. Ft.

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	A	B	C
Linear Feet Of Roadway Frontage/Perimeter	129	161	135
Credit For Existing Vegetation (Yes, No Linear Feet) (Describe Below If Needed)	NO	NO	NO
Credit For Wall, Fence Or Berm (Yes, No Linear Feet) (Describe Below If Needed)	NO	NO	NO
Number Of Plants Required			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Shrubs	0	0	0
Number Of Plants Provided			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Other Trees (2:1 Substitution)	0	0	0
Shrubs (1:1 Substitution) (Describe Plant Substitution Credits Below If Needed)	0	0	0

LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10	(Symbol)	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2 1/2"-3"
12	(Symbol)	PINUS STROBUS	WHITE PINE	6'-8" HT.



APPROVED DEPARTMENT OF PLANNING AND ZONING

Chief, Department of Land Development: *Cindy Hunt Berry* Date: 4/1/99

Chief, Development Engineering Division: *John Johnson* Date: 3/25/99

Director, Department of Planning and Zoning: *Paul Simon* Date: 4/1/99

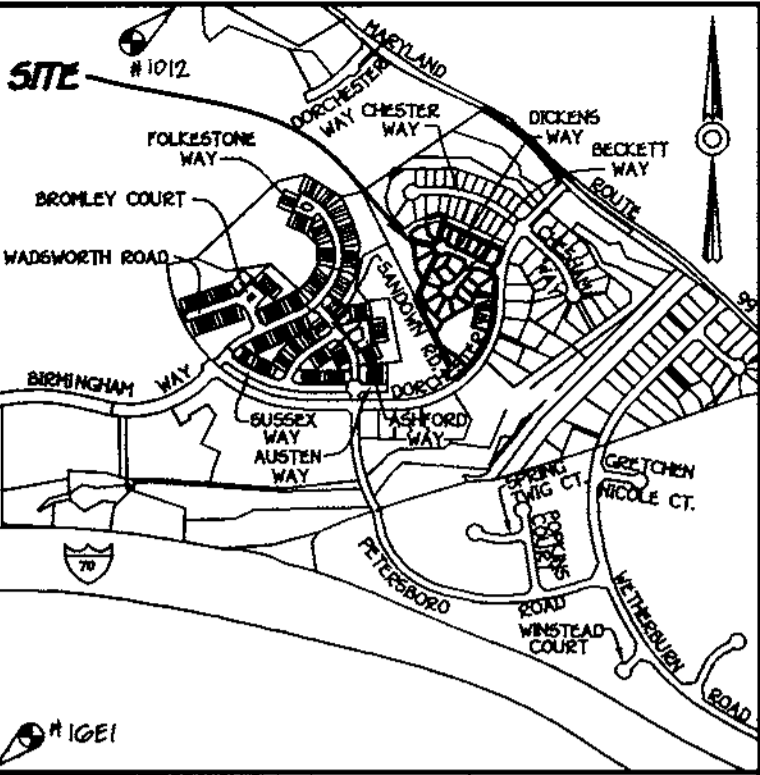
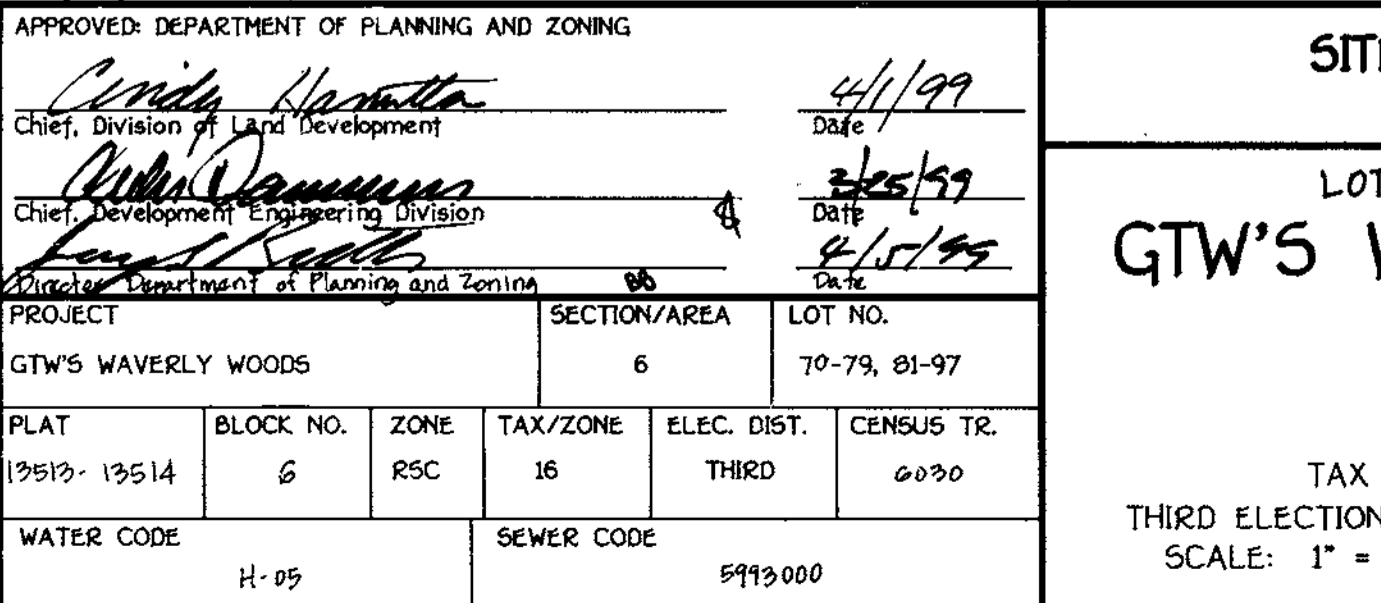
OWNER: WAYERLY WOODS DEVELOPMENT CORP. 10805 HICKORY RIDGE ROAD COLUMBIA, MD. 21044

BUILDER: WILLIAMSBURG PATRIOT HOMES P.O. BOX 1018 COLUMBIA, MD. 21044

PROJECT: GTW'S WAYERLY WOODS SECTION 6 LOT NO. 70-79, 81-97

PLAT: 13510-13514 **BLOCK NO.**: 6 **ZONE**: RSC **TAX/ZONE**: 16 **ELEC. DIST.**: THIRD **CENSUS TR.**: 0090

WATER CODE: H-05 **SEWER CODE**: 5993000



LEGEND

Symbol	Description
(Symbol)	Existing Contour 2' Interval
(Symbol)	Existing Contour 10' Interval
(Symbol)	Proposed Contour 2' Interval
(Symbol)	Proposed Contour 10' Interval
(Symbol)	Spot Elevation
(Symbol)	Silt Fence
(Symbol)	First Floor Elevation
(Symbol)	Basement Elevation
(Symbol)	Proposed Walkout
(Symbol)	Earth Dike
(Symbol)	Tree Protection
(Symbol)	Limit of Tree Line
(Symbol)	Limit of Disturbance
(Symbol)	Existing Street Tree

- PROPOSED RETAINING ELEVATIONS**
- TOP WALL 462.29
BOTTOM WALL 459.99
 - TOP WALL 458.99
BOTTOM WALL 456.09
 - TOP WALL 455.89
BOTTOM WALL 452.69
 - TOP WALL 452.19
BOTTOM WALL 449.29

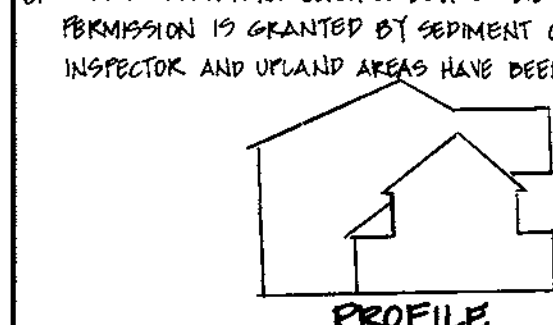
- GENERAL NOTES**
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES # 94-07, # 97-09, # 98-88, SDP 96-35
 - TOPOGRAPHY BASED ON F 98-88
 - BOUNDARY SURVEY PERFORMED BY FISHER COLLINS AND CARTER INC. ON OR ABOUT APRIL, 1998
 - HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS HOWARD COUNTY MONUMENT 1012 N 601060177 ELEV. = 445.577 E 1345336.7580 N 6025053022 ELEV. = 509.924 E 1340182.710
 - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHT-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F 98-88 AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-3636-D
 - CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
 - STORMWATER MANAGEMENT OBLIGATIONS ARE FULFILLED UNDER SDP 96-35
 - THIS PLAN IS SUBJECT TO WAIVER PETITION NO. WP 95-23 FROM SEC. 16.16.1 AND SEC. 16.16.2 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH RESTRICTS GRADING AND REMOVAL OF VEGETATIVE COVER FROM WETLANDS AND STREAM BUFFER AND FROM SECTION 16.16.1, WHICH RESTRICTS GRADING OF STEEP SLOPES OF 25% OR GREATER AND SECTION 16.18.3 WHICH RESTRICTS DEVELOPMENT WITHIN THE 100 YEAR FLOODPLAIN
 - SITE ANALYSIS DATA**
 - TOTAL PROJECT AREA: 546 AC.
 - AREA OF PLAN SUBMISSION: 546 AC.
 - LIMIT OF DISTURBED AREA: 546 AC.
 - PRESENT ZONING: RSC
 - PROPOSED USE FOR SITE AND STRUCTURES: SINGLE FAMILY DETACHED D.U.
 - TOTAL NUMBER OF UNITS ALLOWED: 27
 - TOTAL NUMBER OF UNITS PROPOSED: 27
 - OPEN SPACE REQUIREMENTS ARE PROVIDED SEE F 98-88
 - RECREATIONAL OPEN SPACE REQUIREMENTS ARE PROVIDED BY: F 98-88
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF LOT 72 = \$1500, LOT 84 = \$1500, LOT 93 = \$1950.
 - THIS PLAN WILL UTILIZE APRON DETAILS F-201 AND R-6.05

Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	House Detail Sheet
4	Detail Sheet

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTOR ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Andy Hunt Berry*
 DATE: 12-1-98

- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT. (1 WEEK)
 - INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN (4 DAYS)
 - CLEAR AND GRUB SITE TO LIMITS OF DISTURBANCE. (1 DAY PER DWELLING)
 - EXCAVATE FOR FOUNDATION AND ROUGH GRADE LOT. (1 DAY PER DWELLING)
 - CONSTRUCT DWELLING. (90 DAYS PER DWELLING)
 - FINE GRADE LOT AND INSTALL DRIVEWAYS AND SIDEWALKS. (2 DAYS PER DWELLING)
 - INSTALL PERMANENT SEEDING AND LANDSCAPING. (2 DAYS PER DWELLING)
 - REMOVE SEDIMENT CONTROL DEVICES AS PERMISSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED



LOT INFORMATION

UNIT NUMBER	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (S.H.C.)	LOT SIZE
70	10997 CHESTER WAY	421.4'	416.22'	15,119 Sq. Ft.
71	10993 CHESTER WAY	421.0'	415.87'	10,246 Sq. Ft.
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73	10904 DICKENS WAY	462.4'	457.68'	7,437 Sq. Ft.
74	10908 DICKENS WAY	457.4'	452.60'	7,257 Sq. Ft.
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76	10916 DICKENS WAY	440.7'	435.73'	6,616 Sq. Ft.
77	10920 DICKENS WAY	438.1'	433.35'	6,129 Sq. Ft.
78	10924 DICKENS WAY	438.4'	433.70'	7,975 Sq. Ft.
79	10928 DICKENS WAY	437.3'	432.20'	10,589 Sq. Ft.
81	10934 DICKENS WAY	437.5'	433.51'	8,602 Sq. Ft.
82	10936 DICKENS WAY	440.8'	434.93'	12,019 Sq. Ft.
83	10941 DICKENS WAY	441.7'	436.55'	8,177 Sq. Ft.
84	2102 BECKETT WAY	457.3'	453.53'	10,509 Sq. Ft.
85	2106 BECKETT WAY	460.0'	454.85'	7,928 Sq. Ft.
86	2110 BECKETT WAY	460.9'	455.70'	8,781 Sq. Ft.
87	2114 BECKETT WAY	461.0'	456.63'	9,893 Sq. Ft.
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90	2126 BECKETT WAY	460.6'	455.13'	7,625 Sq. Ft.
91	2130 BECKETT WAY	460.1'	454.71'	7,117 Sq. Ft.
92	2134 BECKETT WAY	459.3'	454.34'	6,773 Sq. Ft.
93	2101 BECKETT WAY	461.0'	457.03'	10,290 Sq. Ft.
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96	10922 DORCHESTER WAY	477.8'	472.87'	6,976 Sq. Ft.
97	10926 DORCHESTER WAY	478.9'	473.99'	7,005 Sq. Ft.

SCHEDULE A PERIMETER LANDSCAPE EDGE

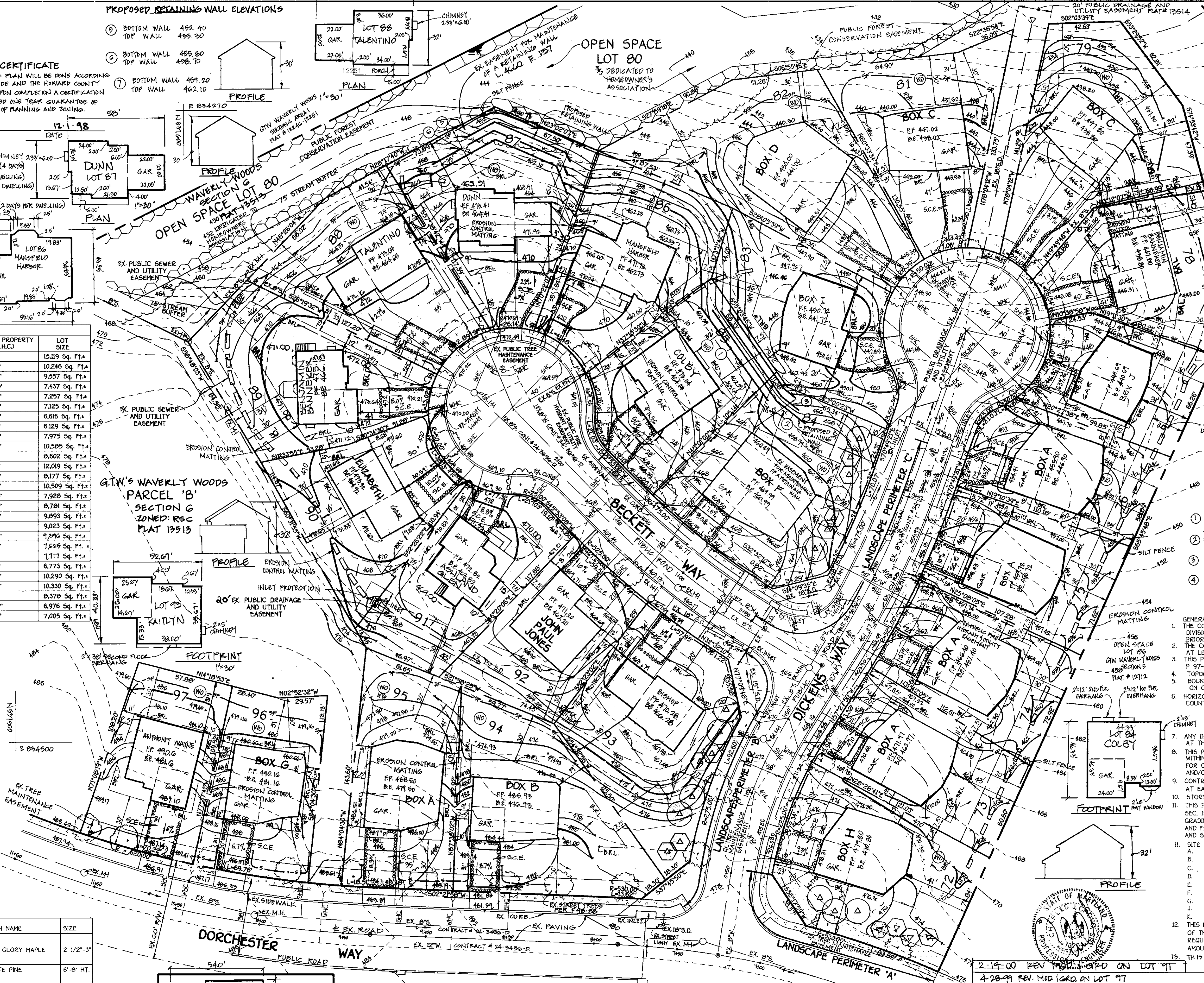
Category	Perimeter Edge		
	A	B	C
Landscape Type	B	B	B
Linear Feet Or Roadway Frontage/Perimeter	129	161	135
Credit For Existing Vegetation (Yes, No Linear Feet) (Describe Below If Needed)	NO	NO	NO
Credit For Wall, Fence Or Berm (Yes, No Linear Feet) (Describe Below If Needed)	NO	NO	NO
Number of Plants Required			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Shrubs	0	0	0
Number of Plants Provided			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Other Trees (2:1 Substitution)	0	0	0
Shrubs (2:1 Substitution)	0	0	0
Below If Needed			
LANDSCAPE SUBSTITUTION (Describe Plant Substitution Credits Below If Needed)			
LOT 72 - + 1500'			
LOT 84 - + 1500'			
LOT 79 - + 1950'			

LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10	(Symbol)	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2 1/2"-3"
12	(Symbol)	PINUS STROBUS	WHITE PINE	6'-8' HT.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 481-2255

PLAN SCALE: 1"=30'



PROFILE SCALE: 1"=30'

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Chad
 Signature of Engineer (Print name below signature) 12/1/98 Date

DEVELOPER'S CERTIFICATE
 I/WE certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Andy Hunt Berry
 Signature of Developer (Print name below signature) 12-1-98 Date

Reviewed for HOWARD SCD and meets Technical Requirements. 3/23/99 Date

Chad
 U.S.D.A. Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John
 Signature of Engineer (Print name below signature) 3/23/99 Date

OWNER
 WAVERLY WOODS DEVELOPMENT CORP.
 40 LAND DESIGN DEVELOPMENT
 10805 HICKORY RIDGE ROAD
 COLUMBIA, MD. 21044

BUILDER
 WILLIAMS BURG PATRIOT HOMES
 P.O. BOX 1018
 COLUMBIA, MD. 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Andy Hunt Berry
 Chief, Division of Land Development 4/1/99 Date

John
 Chief, Department of Planning and Zoning 3/25/99 Date

John
 Director, Department of Planning and Zoning 4/1/99 Date

PROJECT	SECTION/AREA	LOT NO.
GTW'S WAVERLY WOODS	6	70-79, 81-97

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
19513-19514	6	RSC	16	THIRD	6030

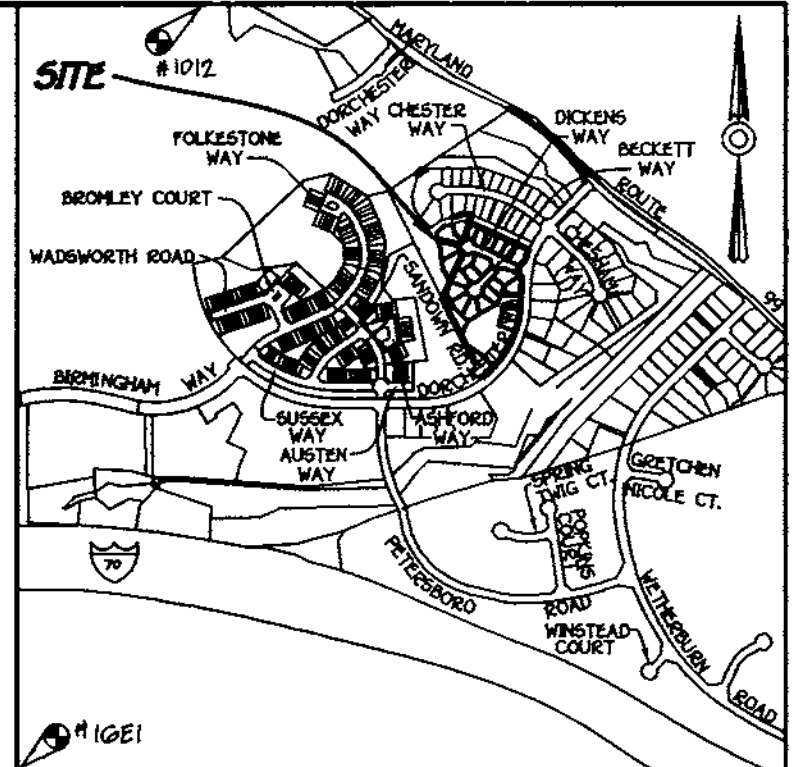
WATER CODE	SEWER CODE
H-05	5993000

SITE DEVELOPMENT PLAN PLAN VIEW

LOTS 70-79, 81-97

GTW'S WAVERLY WOODS SECTION 6

TAX MAP No: 16 PARCEL: 20
 THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: NOVEMBER, 1998
 SHEET 1 OF 4



LEGEND

Symbol	Description
(Symbol)	Existing Contour 2' Interval
(Symbol)	Existing Contour 10' Interval
(Symbol)	Proposed Contour 2' Interval
(Symbol)	Proposed Contour 10' Interval
(Symbol)	Spot Elevation
(Symbol)	Silt Fence
(Symbol)	First Floor Elevation
(Symbol)	Basement Elevation
(Symbol)	Proposed Walkout
(Symbol)	Earth Dike
(Symbol)	Tree Protection
(Symbol)	Existing Tree Line
(Symbol)	Limit of Disturbance
(Symbol)	Existing Street Tree
(Symbol)	Erosion Control Matting

PROPOSED RETAINING WALL ELEVATIONS

- TOP WALL 462.29
BOTTOM WALL 459.39
- TOP WALL 458.99
BOTTOM WALL 456.09
- TOP WALL 456.59
BOTTOM WALL 452.69
- TOP WALL 452.19
BOTTOM WALL 449.29

GENERAL NOTES:

- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1080 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: 5-94-07, P 97-09, F 98-08, SC 96-35
- TOPOGRAPHY BASED ON F 98-08
- BOUNDARY SURVEY PERFORMED BY FISHER COLLINS AND CARTER INC. ON OR ABOUT APRIL, 1995
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT 1012 N 6010060177 ELEV. = 445.577
 N 1345336.7900 E 1340052.710 ELEV. = 509.924
 HOWARD COUNTY MONUMENT 1681 N 593250.9322 ELEV. = 509.924
 E 1340052.710 ELEV. = 509.924
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHT-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F 98-88 AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-3636-D
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- STORMWATER MANAGEMENT OBLIGATIONS ARE FULFILLED UNDER SDP 96-35
- THIS PLAN IS SUBJECT TO WAIVER PETITION NO. WP 95-23 FROM SEC. 15.116.21 AND SEC. 15.116.22 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH RESTRICTS GRADING AND REMOVAL OF VEGETATIVE COVER FROM WETLANDS AND STREAM BUFFER AND FROM SECTION 15.116.3, WHICH RESTRICTS GRADING OF STEEP SLOPES OF 25% OR GREATER AND SECTION 15.116.4 WHICH RESTRICTS DEVELOPMENT WITHIN THE 100 YEAR FLOODPLAIN
- SITE ANALYSIS DATA:
 A. TOTAL PROJECT AREA: 546 AC.
 B. AREA OF PLAN SUBMISSION: 546 AC.
 C. LIMIT OF DISTURBED AREA: 546 AC.
 D. PRESENT ZONING: RSC
 E. PROPOSED USE FOR SITE AND STRUCTURES: SINGLE FAMILY DETACHED D.U.
 F. TOTAL NUMBER OF UNITS ALLOWED: 27
 G. TOTAL NUMBER OF UNITS PROPOSED: 27
 H. OPEN SPACE REQUIREMENTS ARE PROVIDED: SEE F 98-08
 I. RECREATIONAL OPEN SPACE REQUIREMENTS ARE PROVIDED BY: F 98-08
 J. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF LOT 72 + 1500, LOT 84 + 1500, LOT 95 + 1950
 THIS PLAN WILL UTILIZE ARKON DETAILS R-01 AND R-05
- 12-1-99 REV. MOD. ON LOT 90, 71 11-17-99 REV. MOD. LOT 75
 12-1-99 REV. MOD. LOTS 85, 87, 88 + 93 1-24-99 REV. MOD. LOTS 82 + 93

Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	House Detail Sheet
4	Detail Sheet

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTIVE ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Cindy Hunt Berry

NAME: *Cindy Hunt Berry* DATE: 12-1-98

SEQUENCE OF CONSTRUCTION:

1. OBTAIN GRADING PERMIT (1 WEEK)
2. INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN (4 DAYS)
3. CLEAR AND GRUB SITE TO LIMITS OF DISTURBANCE (1 DAY PER DWELLING)
4. EXCAVATE FOR FOUNDATION AND ROUGH GRADE LOT (1 DAY PER DWELLING)
5. CONSTRUCT PAVING (70 DAYS PER DWELLING)
6. FINE GRADE LOT AND INSTALL DRIVEWAYS AND SIDEWALKS (2 DAYS PER DWELLING)
7. INSTALL PERMANENT SEEDING AND LANDSCAPING (2 DAYS PER DWELLING)
8. REMOVE SEDIMENT CONTROL DEVICES AS PERMITSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED

LOT INFORMATION

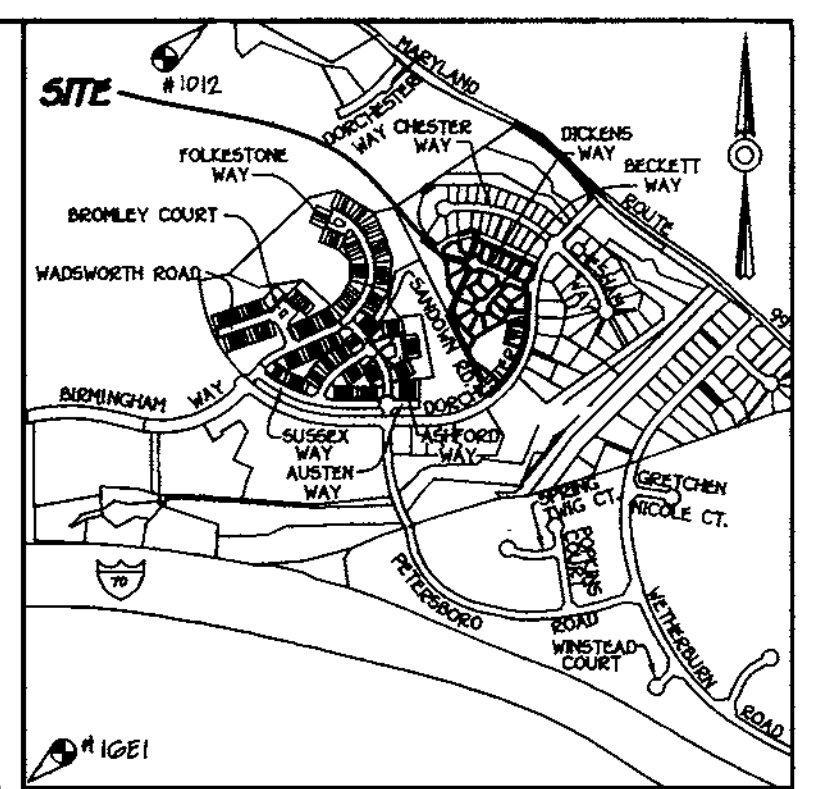
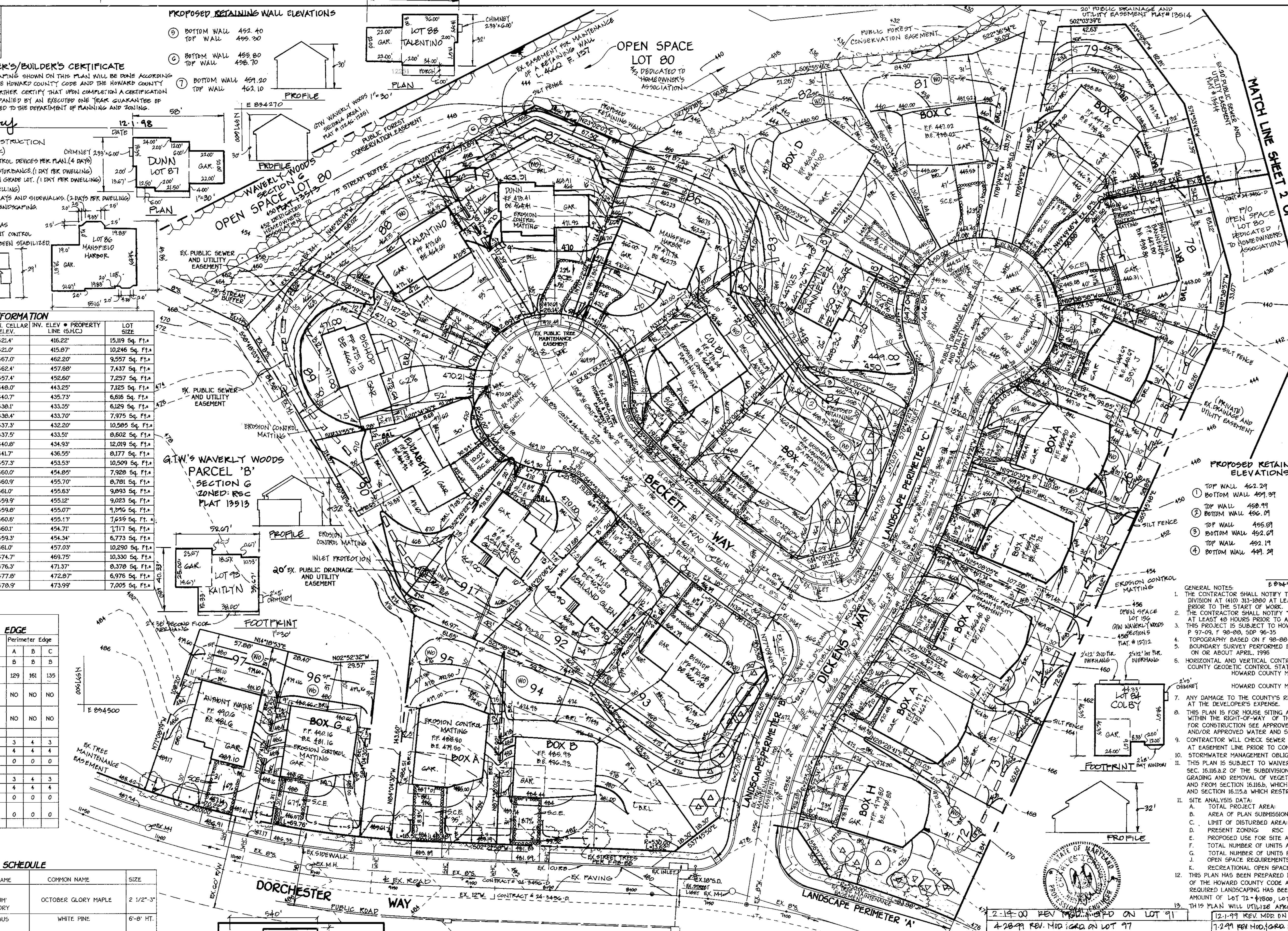
UNIT NUMBER	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (S.H.C.)	LOT SIZE
70	10997 CHESTER WAY	421.4	418.22	15,119 Sq. Ft.
71	10999 CHESTER WAY	421.0	415.87	10,246 Sq. Ft.
72	10900 DICKENS WAY	467.0	462.20	9,557 Sq. Ft.
73	10904 DICKENS WAY	462.4	457.89	7,437 Sq. Ft.
74	10908 DICKENS WAY	457.4	452.60	7,257 Sq. Ft.
75	10912 DICKENS WAY	449.0	443.25	7,125 Sq. Ft.
76	10916 DICKENS WAY	440.7	435.73	6,816 Sq. Ft.
77	10920 DICKENS WAY	438.1	433.35	6,129 Sq. Ft.
78	10924 DICKENS WAY	438.4	433.70	7,975 Sq. Ft.
79	10928 DICKENS WAY	437.3	432.20	10,585 Sq. Ft.
81	10929 DICKENS WAY	437.5	433.51	8,802 Sq. Ft.
82	10925 DICKENS WAY	440.8	434.93	12,019 Sq. Ft.
83	10921 DICKENS WAY	441.7	436.58	8,177 Sq. Ft.
84	2103 BECKETT WAY	457.3	453.53	10,509 Sq. Ft.
85	2106 BECKETT WAY	460.0	454.85	7,928 Sq. Ft.
86	2110 BECKETT WAY	460.9	455.70	8,781 Sq. Ft.
87	2114 BECKETT WAY	460.9	455.63	8,993 Sq. Ft.
88	2118 BECKETT WAY	459.9	455.12	9,023 Sq. Ft.
89	2117 BECKETT WAY	459.8	455.07	9,296 Sq. Ft.
90	2113 BECKETT WAY	460.5	455.13	7,629 Sq. Ft.
91	2109 BECKETT WAY	460.1	454.71	7,171 Sq. Ft.
92	2105 BECKETT WAY	459.3	454.34	6,773 Sq. Ft.
93	2101 BECKETT WAY	461.0	457.03	10,290 Sq. Ft.
94	10914 DORCHESTER WAY	474.7	469.75	10,330 Sq. Ft.
95	10918 DORCHESTER WAY	476.3	471.37	8,378 Sq. Ft.
96	10922 DORCHESTER WAY	477.8	472.97	6,976 Sq. Ft.
97	10926 DORCHESTER WAY	478.9	473.99	7,005 Sq. Ft.

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Perimeter Edge		
	A	B	C
Linear Feet Or Roadway Frontage/Perimeter	129	161	135
Credit For Existing Vegetation (Yes, No Linear Feet) (Describe Below If Needed)	NO	NO	NO
Credit For Wall, Fence Or Berm (Yes, No Linear Feet) (Describe Below If Needed)	NO	NO	NO
Number Of Plants Required			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Shrubs	0	0	0
Number Of Plants Provided			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Other Trees (2:1 Substitution)	0	0	0
Shrubs (1:1 Substitution)	0	0	0
(Describe Plant Substitution Credits Below If Needed)			

LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10		ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2 1/2"-3"
12		PINUS STROBUS	WHITE PINE	6'-8" HT.



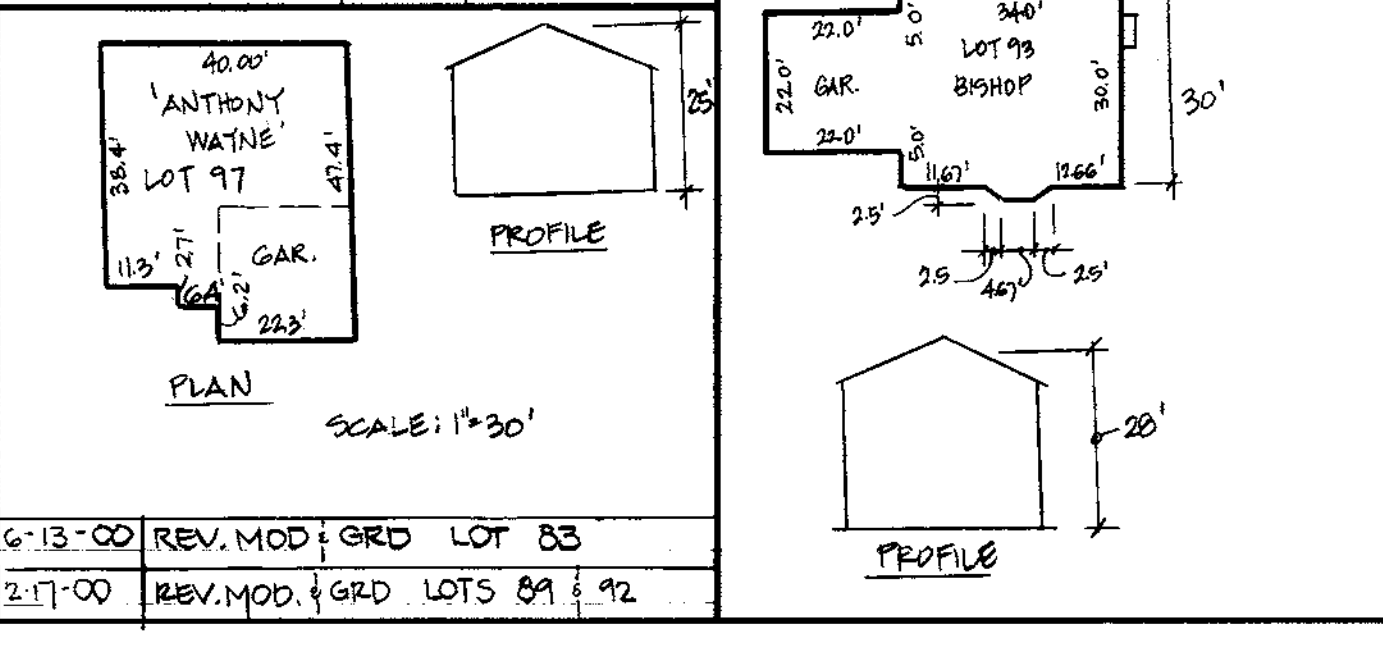
LEGEND

Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
+	Spot Elevation
-SF-SF-	Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
BE	Proposed Walkout
---	Earth Dike
-X-X-	Tree Protection
---	Existing Tree Line
L.O.D.	Limit of Disturbance
(X)	Existing Street Tree
---	Erosion Control Matting

NOTE: SFP DENOTES SUPER-SILT FENCE

NOTE: SEDIMENT & EROSION CONTROL THERE WILL NOT BE MORE THAN THREE CONTIGUOUS LOTS GRADED AT ANY ONE TIME.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BARNHORN NATIONAL PIKE
ELICOTT CITY, MARYLAND 21112
(410) 481-2555



ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Cliff
Signature of Engineer (Print name below signature) Date: 12/1/98

DEVELOPER'S CERTIFICATE

I/WE certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Cindy Hunt Berry
Signature of Developer (Print name below signature) Date: 12-1-98

Reviewed for HOWARD SCD and meets Technical Requirements. 3/23/99 Date
Kevin Sumner
U.S.D.A. Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT. 3/23/99 Date
John Johnson
Howard SCD

OWNER
WAVERLY WOODS DEVELOPMENT CORP
c/o LAND DESIGN DEVELOPMENT
10805 HICKORY RIDGE ROAD
COLUMBIA, MD. 21044

BUILDER
WILLIAMS/BURK/PATRIOT HOMES
P.O. BOX 1018
COLUMBIA, MD. 21044

APPROVED DEPARTMENT OF PLANNING AND ZONING

Cindy Hunt Berry 4/1/99 Date
Chief, Division of Land Development

John Johnson 2/26/99 Date
Chief, Development Engineering Division

Kevin Sumner 8/1/98 Date
Howard SCD, Department of Planning and Zoning

PROJECT	SECTION/AREA	LOT NO.
GTW'S WAVERLY WOODS	6	70-79, 81-97

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
19519-19514	6	RSC	16	THIRD	6090

WATER CODE	SEWER CODE
H-05	5919000

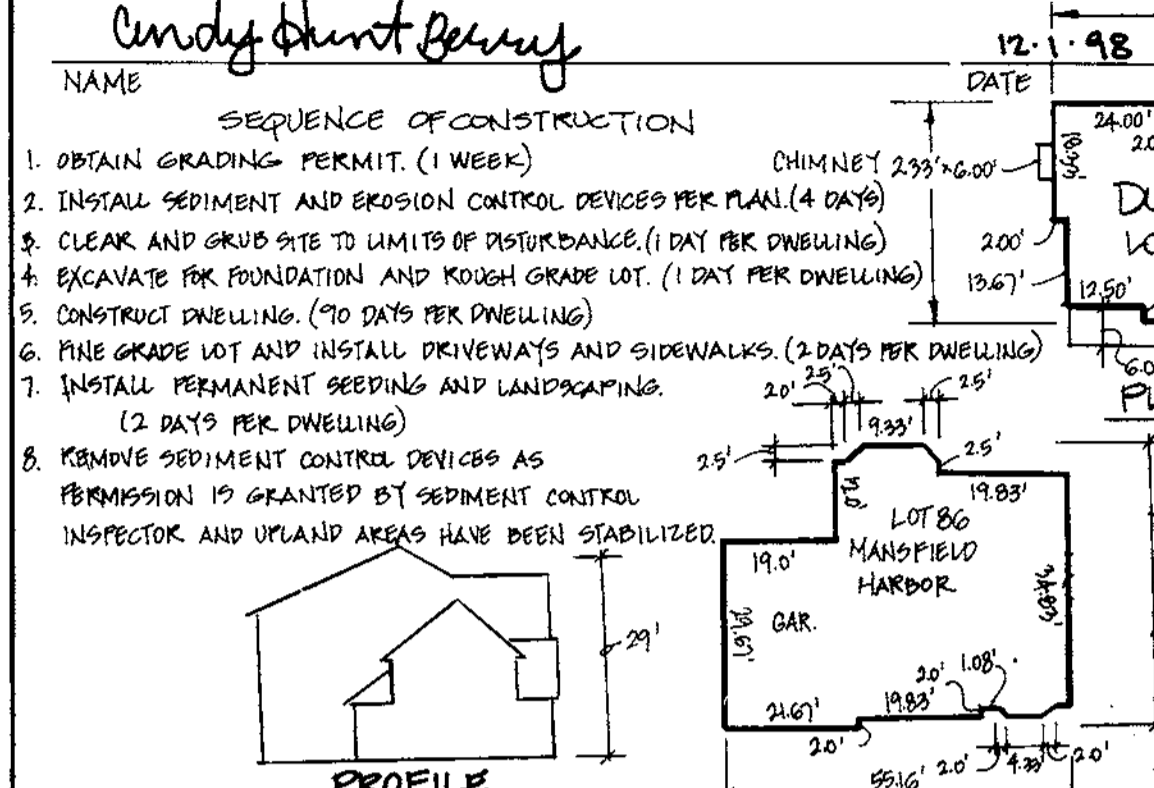
SITE DEVELOPMENT PLAN PLAN VIEW

LOTS 70-79, 81-97
GTW'S WAVERLY WOODS SECTION 6

TAX MAP No: 16 PARCEL: 20
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: NOVEMBER, 1998
SHEET 1 OF 4

Sheet No.	Description
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LOT INFORMATION

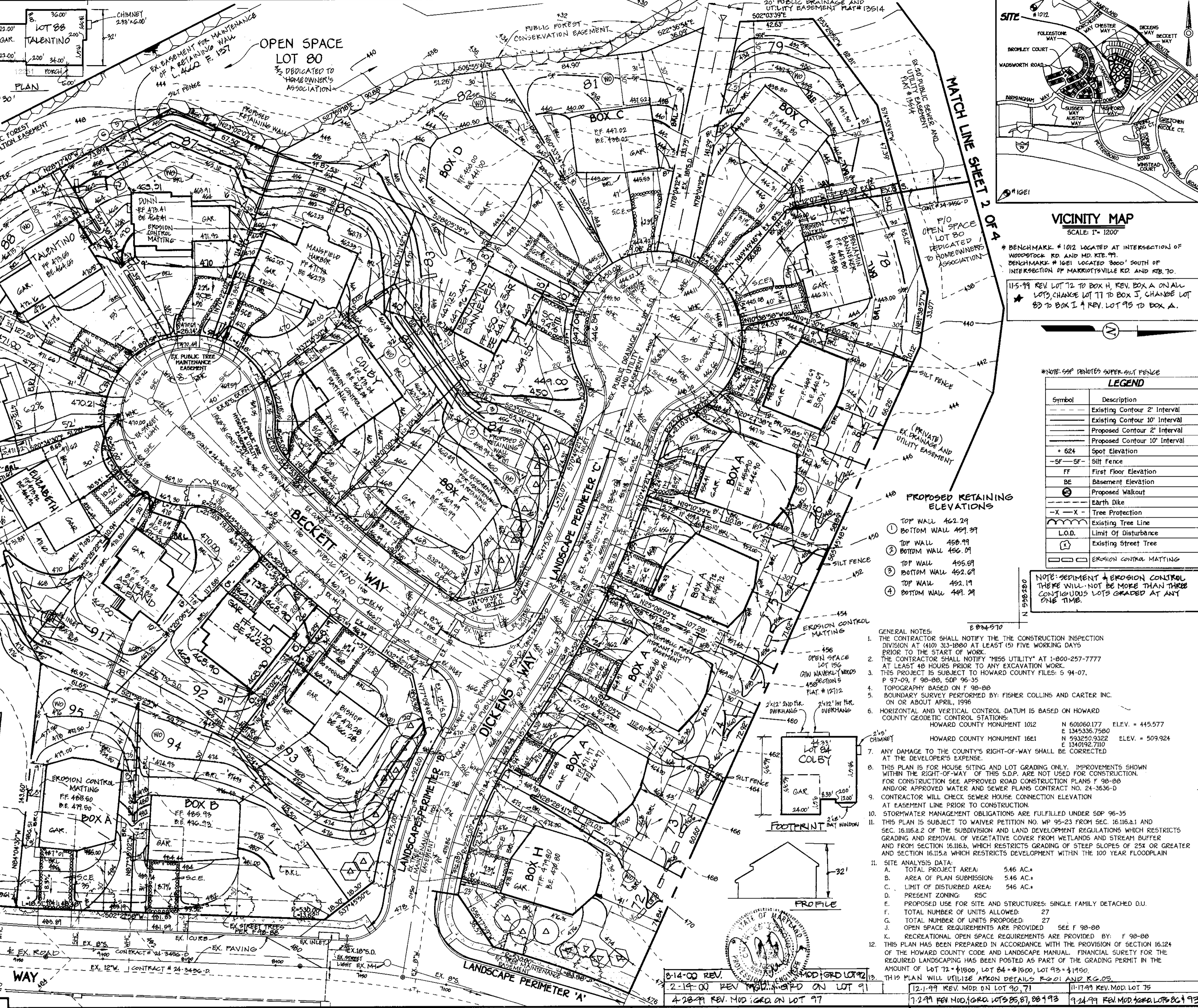
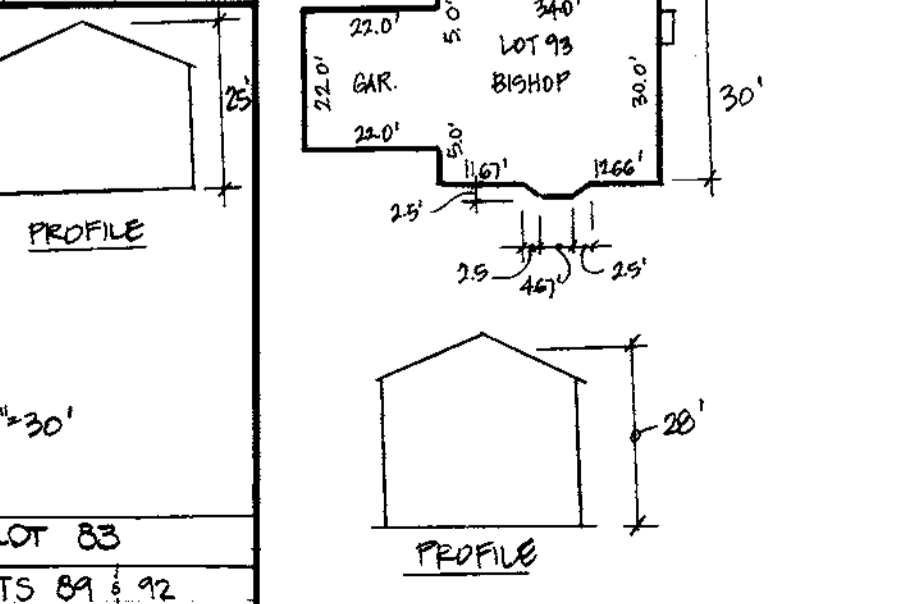
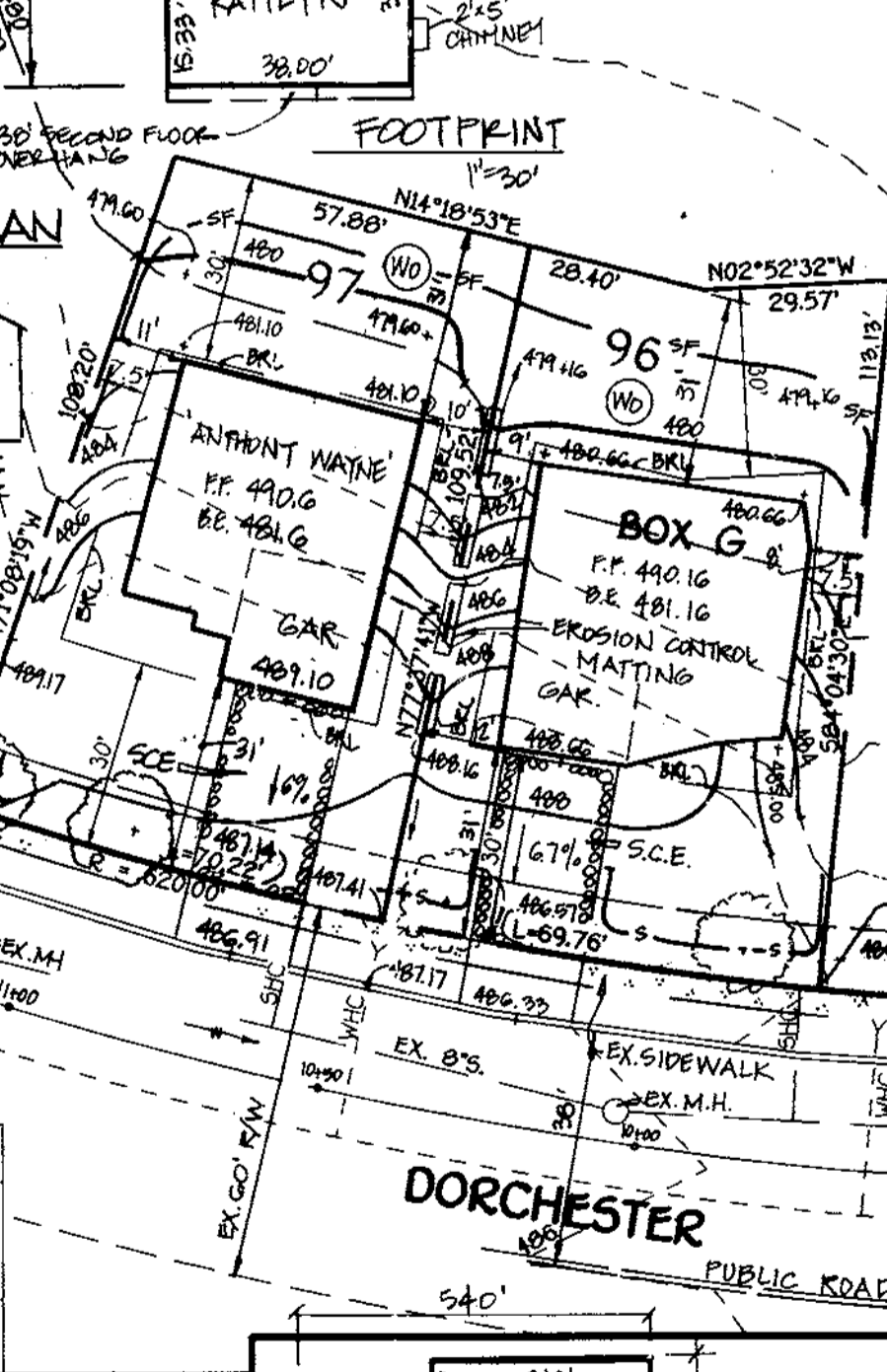
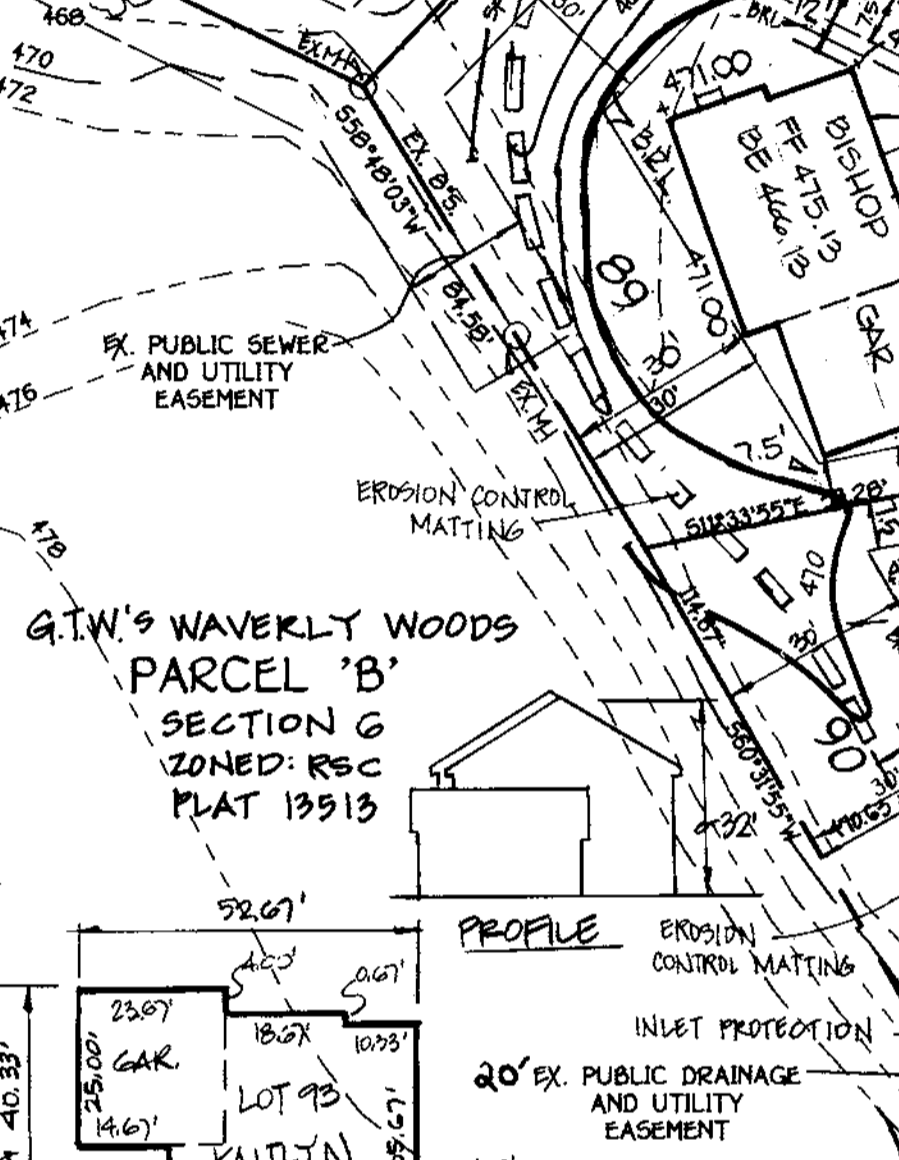
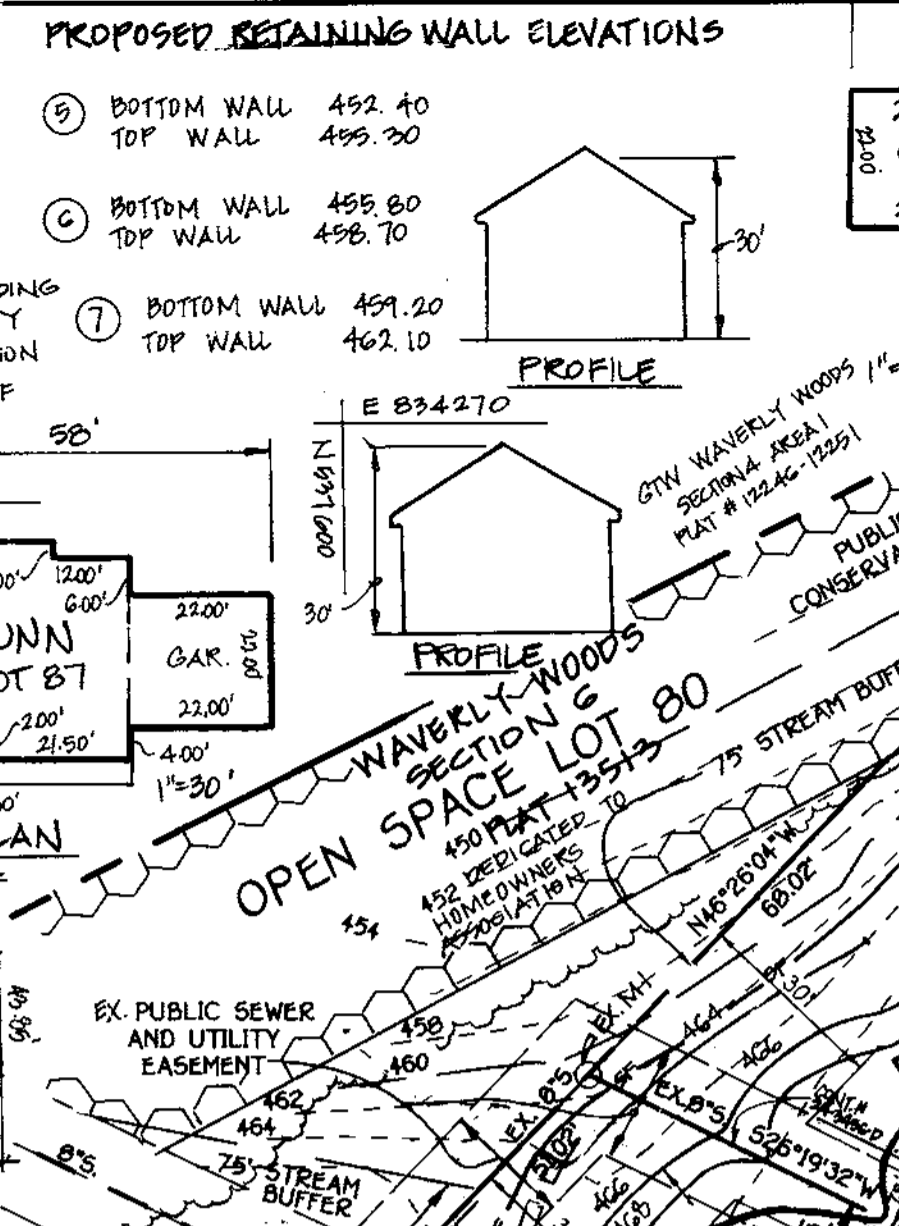
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78	10924 DICKENS WAY	438.4'	433.70'	7,975 Sq. Ft.
79	10928 DICKENS WAY	437.3'	432.20'	10,585 Sq. Ft.
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82	10938 DICKENS WAY	440.8'	434.93'	12,019 Sq. Ft.
83	10921 DICKENS WAY	441.7'	436.55'	8,177 Sq. Ft.
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85	2106 BECKETT WAY	460.0'	454.85'	7,928 Sq. Ft.
86	2110 BECKETT WAY	460.9'	455.70'	8,781 Sq. Ft.
87	2114 BECKETT WAY	461.0'	455.63'	9,893 Sq. Ft.
88	2118 BECKETT WAY	459.9'	455.12'	9,023 Sq. Ft.
89	2122 BECKETT WAY	459.8'	455.07'	9,216 Sq. Ft.
90	2126 BECKETT WAY	460.5'	455.43'	7,629 Sq. Ft.
91	2130 BECKETT WAY	460.1'	454.71'	11,711 Sq. Ft.
92	2105 BECKETT WAY	459.3'	454.34'	6,773 Sq. Ft.
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SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Perimeter Edge		
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Other Plants (Substitution Credits) (Describe Plant Substitution Credits Below If Needed)	0	0	0

LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
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12	(B)	PINUS STROBUS	WHITE PINE	6'-8' HT.



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 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

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Signature of Developer: Cindy Hunt Perry Date: 12-1-98

Reviewed for HOWARD SCD and meets Technical Requirements.
[Signature] 3/23/99 Date
 U.S.D.A. - Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 3/23/99 Date
 Howard SCD

OWNER
 WAVERLY WOODS DEVELOPMENT CORP.
 40 LAND DESIGN DEVELOPMENT
 10805 HICKORY RIDGE ROAD
 COLUMBIA, MD. 21044

BUILDER
 WILLIAMS BROS. PASTORIT HOMES
 P.O. BOX 1018
 COLUMBIA, MD. 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/1/99 Date
 Chief, Division of Land Development
[Signature] 3/25/99 Date
 Chief, Development Engineering Division
[Signature] 3/25/99 Date
 Director, Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION/AREA: 6 LOT NO.: 70-79, 81-97

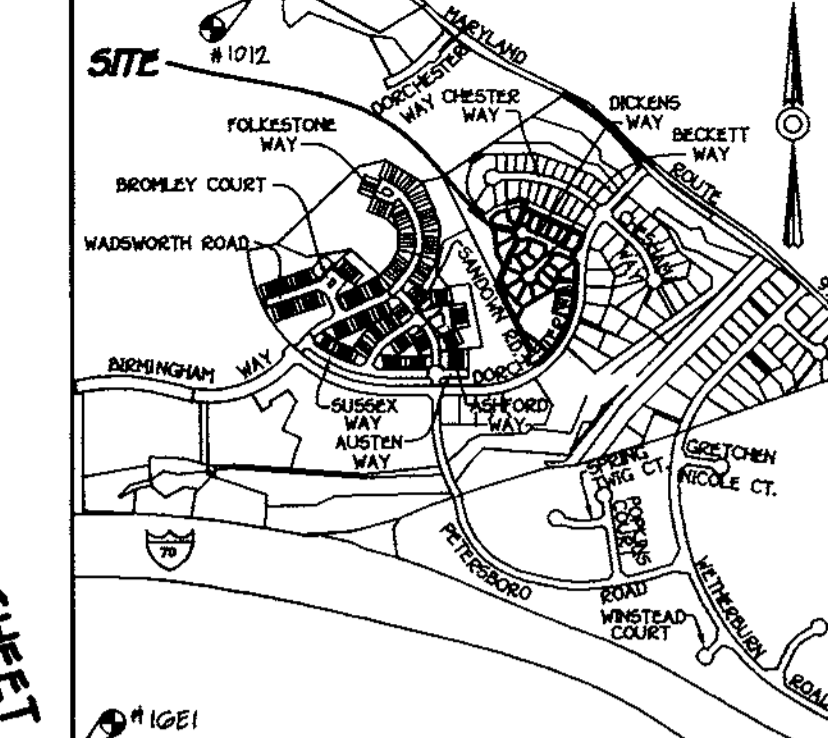
PLAT: 13514 BLOCK NO. 6 ZONE: RSC TAX/ZONE: 16 ELEC. DIST. THIRD CENSUS TR. 6030

WATER CODE: H-09 SEWER CODE: 8993000

SITE DEVELOPMENT PLAN PLAN VIEW
 LOTS 70-79, 81-97
GTW'S WAVERLY WOODS SECTION 6

TAX MAP No: 16 PARCEL: 20
 THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: NOVEMBER, 1998
 SHEET 1 OF 4

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 481-2000



LEGEND

Symbol	Description
(---)	Existing Contour 2' Interval
(---)	Existing Contour 10' Interval
(---)	Proposed Contour 2' Interval
(---)	Proposed Contour 10' Interval
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(FF)	First Floor Elevation
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(---)	Existing Tree Line
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NOTE: SFP DENOTES SUPER-SILT FENCE

NOTE: SEDIMENT & EROSION CONTROL THESE WILL NOT BE MORE THAN THREE ONE TIME.

GENERAL NOTES:

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- TOPOGRAPHY BASED ON F 98-88.
- BOUNDARY SURVEY PERFORMED BY: FISHER COLLINS AND CARTER INC. ON OR ABOUT APRIL 1996.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS: HOWARD COUNTY MONUMENT 1012 N 601060177 ELEV. = 445.577 E 13453367580 N 632250322 ELEV. = 509.924 E 13401927100
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- IMPROVEMENTS SHOWN WITHIN THE RIGHT-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION USE APPROVED ROAD CONSTRUCTION PLANS F 98-88 AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-3636-D.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- STORMWATER MANAGEMENT OBLIGATIONS ARE FULFILLED UNDER SDP 96-35.
- THIS PLAN IS SUBJECT TO WAIVER PETITION NO. WP 95-23 FROM SEC. 16.161(A) AND SEC. 16.162 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH RESTRICTS GRADING AND REMOVAL OF VEGETATIVE COVER FROM WETLANDS AND STREAM BUFFER AND FROM SECTION 16.166, WHICH RESTRICTS GRADING OF STEEP SLOPES OF 25% OR GREATER AND SECTION 16.165, WHICH RESTRICTS DEVELOPMENT WITHIN THE 100 YEAR FLOODPLAIN.
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12-1-99 REV. MOD. ON LOT 92, 71 11-17-99 REV. MOD. LOT 75
 2-19-00 REV. MOD. MODIFIED ON LOT 91
 4-28-99 REV. MOD. MODIFIED ON LOT 97
 7-2-99 REV. MOD. FOR LOTS 85, 87, 88, 93 9-24-99 REV. MOD. FOR LOTS 85, 93

