

i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger that 1 and 1/2" in ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

Definition

Placement of topsoil over a prepared subsoil prior to

To provide a suitable soil medium for vegetable arowth.

levels, low pH, materials toxic to plants, and/or

is not adequate to produce vegetative growth.

Conditions Where Practice Applies

zone is not deep enough to support plants or furnish

c. The original soil to be vegetated contains

d. The soil is so acidic that treatment with

II. For the purpose of these Standards and Specifications,

consideration and design for adequate stabilization. Areas

having slopes steeper than 2:1 shall have the appropriate

Construction and Material Specifications

specifications. Typically, the depth of topsoil to be

salvaged for a given soil type can be found in the

published by USDA-SCS in cooperation with Maryland

. Topsoil Specifications - Soil to be used as topsoil

Topsoil salvaged from the existing site may be used

provided that it meets the standards as set forth in these

areas having slopes steeper than 2:1 require special

continuing supplies of moisture and plant nutrients.

unacceptable soil aradation.

material toxic to plant growth.

stabilization shown on the plans.

Agricultural Experimental Station.

must meet the following:

-4" SOIL SAUCER

Soils of concern have low moisture content, low nutrient

This practice is limited to areas having 2:1 or flatter

a. The texture of the exposed subsoil/parent material

b. The soil material is so shallow that the rooting

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

II. For sites having disturbed areas under 5 acres: i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization Section I - Vegetative Stabilization Methods and Materials.

Category

Linear Feet of Roadway

Evergreen Trees

Evergreen Trees

Number of Plants Required

Number of Plants Provided

Surety required

final field conditions.

Frontage/Perimeter

Shade Trees

Landscape Type

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

iii. For sites having disturbed areas over 5 acres; i. On soil meeting topsoil specifications, obtain test

results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise

the pH to 6.5 or higher.
b. Organic content of topsoil shall be not less than 1.5 percent by weight. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

d. No sod or seed shall be placed on soil soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

NOTE: Topsoil substitutes or amendments, as recommended

by a qualified agronomist or soil scientist and approved by he appropriate approval authority, may be used in lieu of

ii. Place topsoil (if required) and apply soil ammendments specified in 20.0 Vegetative Stabilization—Section I—Vegetative Stabilization Methods and Materials.

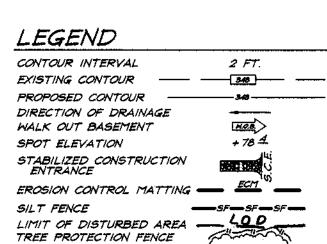
V. Topsoil Application

i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4"

iii. Topsoil shall be uniformly distributed in a 4" --8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions

iv. Topsoil shall not be place while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.



EXISTING TREES TO REMAIN

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

discing or other acceptable means before seeding, if not previously SOIL AMENDMENTS: In lieu of soil test recommendations, use one of

SEEDBED PREPARATION: Loosen upper three inches of soil by raking,

1) Preferred-Apply 2 tons per acre dolomitic limestone (92 lbs/ 100 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./ 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq.ft.)

2) Acceptable-Apply 2 tons per acre dolomatic limestone (92 lbs/ 1000 sq.ft.) and apply 1000 lbs. per acre 10–10–10– fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

STREET ADDRESS

YORKSHIRE DRIVE

SEDIMENT AND EROSION CONTROL NOTES

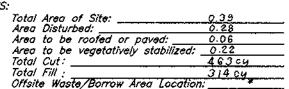
1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313—1855).

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto. 3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control stuctures, dikes, perimeter slopes and all slopes greater than 3:1 b) 14 days as to all other disturbed or graded areas on the

4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol.1 Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm

5. All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STAND-ARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec G). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination

and establishment of grasses. 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector. 7. SITE ANALYSIS:



8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same Additional sediment control must be provided, if deemed neces-sary by the Howard County DPW Sediment Control Inspector.

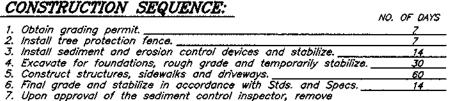
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is

11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

The total amount of silt fence = 290 LF
The total amount of super silt fence = — 14. The total amount of earth dike = _____ * It is the responsibility of the contractor to identify the

spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's aradina permit number at the time of construction

* Delay construction of houses on lots:



at the developer's expense. All roadways are public and existing.

The existing topography was taken from Road Construction 10. sediment and erosion control devices and stabilize. plans F-98-104 prepared by Riemer Muegge \$ Associates, Inc.

The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Control stations: 30CA and 30FC.

BENCH MARKS

1. Subject property is zoned: R-20 per 10-18-93

4. Improvement to property : Single Family Detached

5. SHC eleviations shown are located at the property line.

Ho. Co. Monument No. 30CA = N575083.45(meters) Elev. = 380.14

Ho. Co. Monument No. 30FC = N5724,53 (meters) Elev. = 386,93

The total area included in this submission is : .3924 ac

Sewer plans Contract #24-3647-D and approved Road

The total number of lots included in this submission is: 1

Department of Planning and Zoning reference file numbers are: S-96-19, P-98-05, F-98-104, W \$ S Cont.#24-3647-D.

Utilities shown as existing are taken from approved Water and

Any damage to county owned rights-of-way shall be corrected

The contractor shall notify the Department of Public Works/ Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.

13. The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.

14. For driveway entrance details, refer to Ho. Co. Design Manual Volume IV detail R.6.06.

In accordance with Sect. 128 of the Ho. Co. Supplementary Zoning Dist. Regs., bay windows or chimneys not more than 16 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 10 feet into the front or rear setbacks.

16. Stormwater Management is provided per: F-98-104.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-98-104 and/or approved Water and Sewer Plans Contract #24-3647-D.

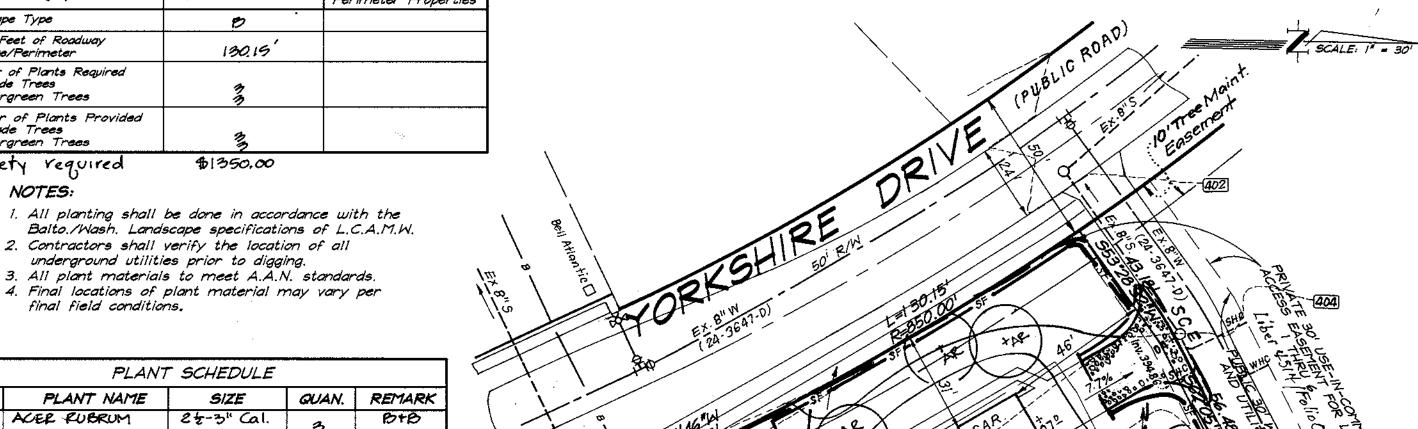
> OWNER / DEVELOPER ECO DEVELOPMENT INC.

SUITE 408 ELLICOTT CITY, MARYLAND 21041

SUBDIVISION NA	AME.	· ····	SECTION/AREA	LOTS/PARCEL	S	
BRAMPTON HILLS WEST			1			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT	
13406	6	R-20	30	2ND	6023.02	
WATER CODE			SEWER -CODE			
c 22			E 70	-0/20 £ 575/	1/20	

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

SIGNED	SITE DEVELOPMENT,	SCALE
JME	SEDIMENT & EROSION CONTROL PLAN	1" = 30
RAWN		DRAWING
BLP	BRAMPTON HILLS WEST	1 of 1
HECKED	TAX MAP 30 PARCEL 414 \$ P/O 383 SECOND (2ND) ELECTION DISTRICT	JOB NO.
JME	HOWARD COUNTY, MARYLAND	98-154
TE	FOR : SHC BRAMPTON HILLS, LLC	FILE NO.
	1651 Crofton Boulevard, Suite 7 Crofton, Maryland 21114	98-154-2



ADDRESS CHART

4683

PLANT SCHEDULE PLANT NAME SIZE ACER RUBRUM 27-3" Cal. AR OCT. GLORY Red Maple 12-14' Ht. PINUS STROBUS 8+B PS White Pine Heavy

SCHEDULE A

Adjacent to Roadways

PERIMETER LANDSCAPE EDGE

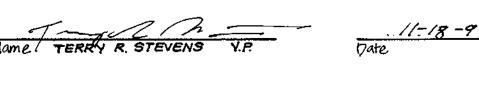
THIS PLAN HAG BEEN PREPARED IN ACCORDANCE WITH PROVISION OF SECTION 16-124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 6 LANDSCAPETREES IN THE AMOUNT OF \$1,350,00 IS PART OF THE BUILDER'S GRADING PERMIT APPLICATION.

Developer's/Builder's Certificate

Opt. 12.33x10.33

Screen Porch

I'Me certify that the land scaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I'Me further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year quarantee of plant materials will be submitted to the Department of Planning and Zoning.



DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed

Ton		_
NAME	TERRY R. STEVENS	V.P.

plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and

Erosion Control represents a practical and workable

PLAN SCALE: 1" = 30'

11.19.98

SDP 99-52

CLARK • FINEFROCK & SACKETT, INC.

VICINITY MAP

Scale : |"=2000"

E1364681.79(meters)

E1364670.17(meters)

8480 BALTIMORE NATIONAL PIKE

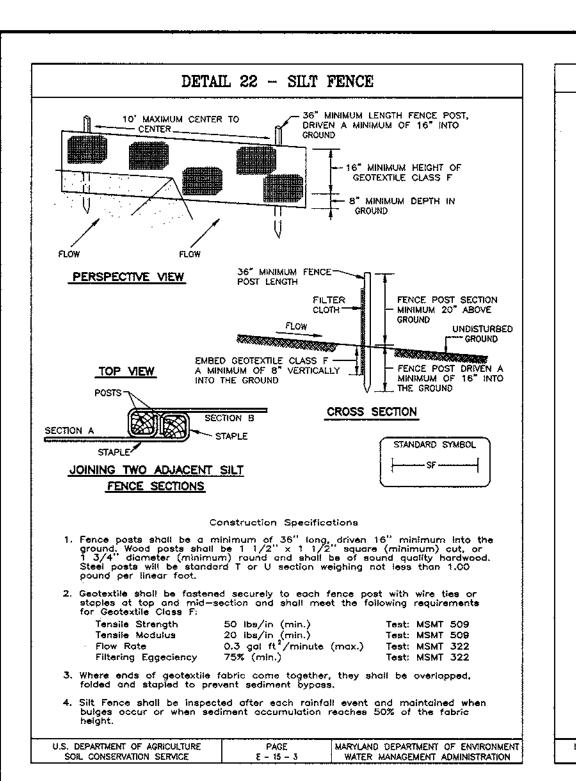
ENGINEERS • PLANNERS • SURVEYORS

Nov. 20, 98

GENERAL NOTES

Comprehensive Zoning Plan.

Construction plans F-98-104.



DETAIL 30 - EROSION CONTROL MATTING

Construction Specifications

1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6' in depth. Backfill the trench and tamp firmly to

conform to the channel cross-section. Secure with a row of staples

about 4' down slope from the trench. Spacing between staples is 6'.

2. Staple the 4' overlap in the channel center using an 18' spacing

3. Before stapling the outer edges of the matting, make sure the

4. Staples shall be placed 2' apart with 4 rows for each strip, 2

5. Where one roll of matting ends and another begins, the end of

6. The discharge end of the matting liner should be similarly

the top strip shall overlap the upper end of the lower strip by 40.

shiptap fashion. Reinforce the overlap with a double now of staples

Note: If flow will enter from the edge of the matting then the area

matting is smooth and in firm contact with the soil.

outer rows, and 2 alternating rows down the center.

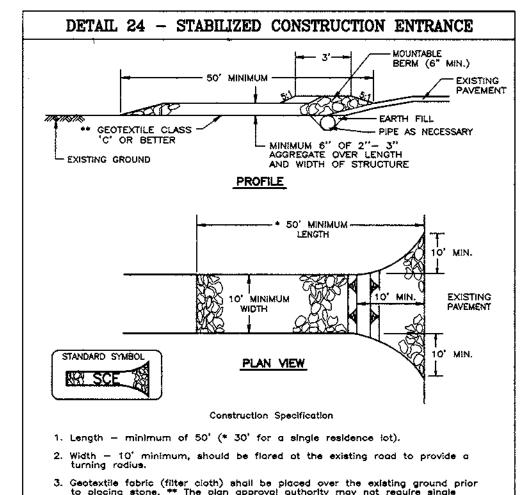
spaced 6' apart in a staggered pattern on either side.

secured with 2 double rows of staples.

effected by the flow must be keyed-in

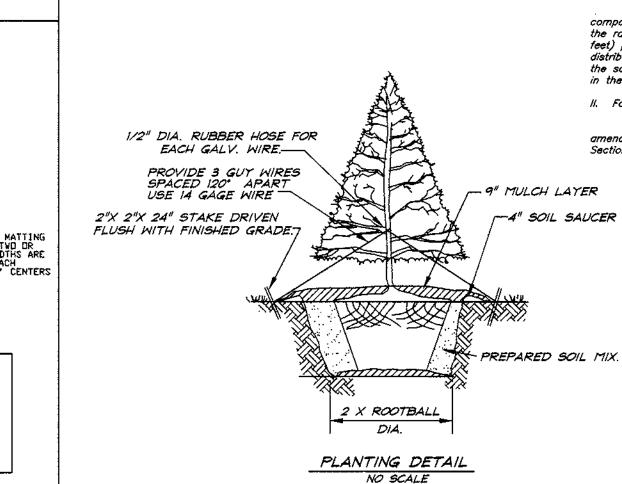
CROSS-SECTION

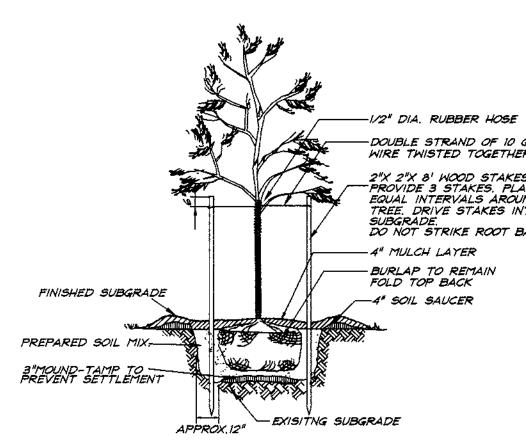
STAPLE OUTSIDE EDGE OF MATTING ON 2' CENTERS

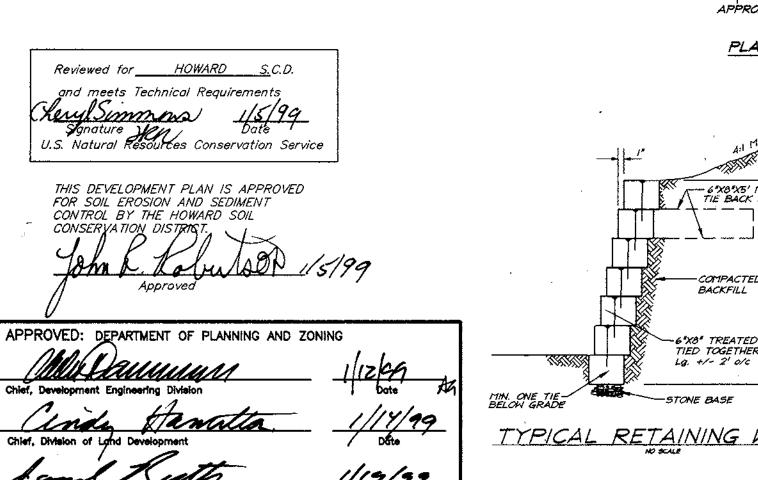


- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. ** The plan approval authority may not require single family residences to use geotextile.
- Stone crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance. 5. Surface Water — all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 5" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized con—

atruction entrance.		:
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F = 17 = 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

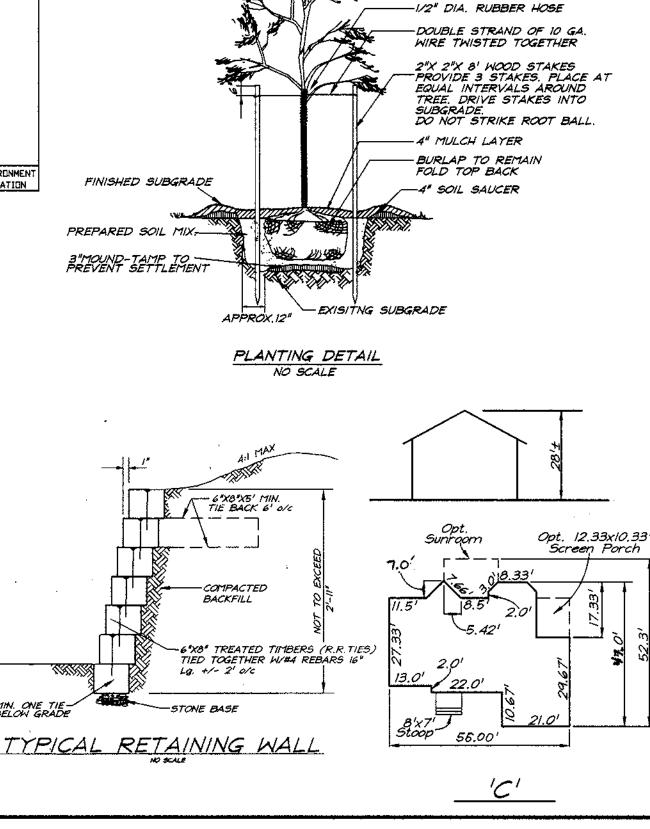






TYPICAL STAPLES ND. 11 GAUGE WIRE

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL **Definition**

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

<u>Purpose</u> To provide a suitable soil medium for vegetable growth

Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

This practice is limited to areas having 2:1 or flatter slopes where:

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth. The soil material is so shallow that the rooting

zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients,

The original soil to be vegetated contains material toxic to plant growth. d. The soil is so acidic that treatment with

I. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

Topsoil Specifications — Soil to be used as topsoil must meet the following:

Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger that 1 and 1/2" in

ii. Topsoil must be free of plants or plant parts such as Bermuda gross, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

Category

Number of Plants Required

Number of Plants Provided
Shade Trees

Surety required

Linear Feet of Roadway

Evergreen Trees

Frontage/Perimeter

Shade Trees Evergreen Trees

Landscape Type

II. For sites having disturbed areas under 5 ocres: Place topsoil (if required) and apply soil amendments as specified in <u>20.0 Vegetative Stabilization</u>

iii. For sites having disturbed areas over 5 acres: On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required

to bring the soil into compliance with the following: a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise

the pH to 6.5 or higher.

b. Organic content of topsoil shall be not less than

1.5 percent by weight.
Topsoil having soluble salt content greater than
500 parts per million shall not be used. d. No sod or seed shall be placed on soil soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of

phyto-toxic materials. NOTE: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of

ii. Place topsoil (if required) and apply soil ammendments specified in 20.0 Vegetative Stabilization—Section I—Vegetative

SILT FENCE

SCHEDULE A

13019

\$1350,00

1. All planting shall be done in accordance with the

2. Contractors shall verify the location of all

3. All plant materials to meet A.A.N. standards.

4. Final locations of plant material may vary per

PLANT SCHEDULE

SIZE

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH PROVISION OF SECTION 16-124

FOR THE REQUIRED & LANDSCAPETREES IN THE AMOUNT OF \$1,350,00 IS PART OF

OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY

I'Me certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landacape

Installation, accompanied by an executed one year quarantee of plant materials will be

Manual. I We further certify that upon completion a Certification of Landscape

25-3" Cal.

underground utilities prior to digging.

final field conditions.

PLANT NAME

OCT. GLORY Red Maple 12-14' Ht.

THE BUILDER'S GRADING PERMIT APPLICATION.

submitted to the Department of Planning and Zoning.

ACER RUBRUM

WHite Pine

Developer's/Builder's Certificate

Balto./Wash. Landscape specifications of L.C.A.M.W.

PERIMETER LANDSCAPE EDGE

When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" — 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" -8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions

iv. Topsoil shall not be place while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation

LEGEND CONTOUR INTERVAL 2 FT. EXISTING CONTOUR PROPOSED CONTOUR DIRECTION OF DRAINAGE MOE> WALK OUT BASEMENT +784 SPOT ELEVATION STABILIZED CONSTRUCTION ENTRANCE EROSION CONTROL MATTING ---

LIMIT OF DISTURBED AREA ______LOD
TREE PROTECTION FENCE

Adjacent to Perimeter Properties

EXISTING TREES TO REMAIN

QUAN. REMARK

Heavy

Heavy

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules: 1) Preferred-Apply 2 tons per acre dolomitic limestone (92 lbs/ 100 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./ 1000 sq.ft.) before seeding. Harrow or disc into upper three

2) Acceptable-Apply 2 tons per acre dolomatic limestone (92 lbs/ 1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10- fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper

inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq.ft.)

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking discing or other acceptable means before seeding, if not previously

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft).

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

STREET ADDRESS

YORKSHIRE DRIVE

ADDRESS CHART

4683

LOT No

SEDIMENT AND EROSION CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits. Sediment Control Division prior to the start of any construction (313–1855).
- 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto. 3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control stuctures dikes, perimeter slopes and all slopes greater than 3:1 b) 14 days as to all other disturbed or graded areas on the
- 4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol.1. Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm
- 5. All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STAND-ARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec G). Temporary stabilization with mulch alone can only be done when
- recommended seeding dates do not allow for proper germination and establishment of grasses. 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their
- removal has been obtained from the Howard County Sediment 7. SITE ANALYSIS:
 - Total Area of Site:

 Area Disturbed:

 Area to be roofed or paved:

 Area to be vegetatively stabilized: Offsite Waste/Borrow Area Location: _____*
- 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed neces— sary by the Howard County DPW Sediment Control Inspector. 10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion o installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is
- 11. Trenches for the construction of utilities is limited to three pipe lenaths or that which shall be back-filled and stabilized within
- one working day, whichever is shorter. The total amount of silt fence = 290 LF The total amount of super silt fence = _____ The total amount of earth dike = ____
- * It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction

CONSTRUCTION SEQUENCE: 1 Obtain aradina permit

Oblain grading perint,		
Install tree protection fence.	7	
Install sediment and erosion control devices and stabilize.	14	
Excavate for foundations, rough grade and temporarily stabilize.	30	
Construct structures, sidewalks and driveways.	60	•
Final grade and stabilize in accordance with Stds. and Specs.	14	
Upon approval of the sediment control inspector, remove		10
sediment and erosion control devices and stabilize.	7	
	Install tree protection fence. Install sediment and erosion control devices and stabilize. Excavate for foundations, rough grade and temporarily stabilize. Construct structures, sidewalks and driveways. Final grade and stabilize in accordance with Stds. and Specs. Upon approval of the sediment control inspector, remove	Install tree protection fence. Install sediment and erosion control devices and stabilize. Excavate for foundations, rough grade and temporarily stabilize. Construct structures, sidewalks and driveways. Final grade and stabilize in accordance with Stds. and Specs. 14 Upon approval of the sediment control inspector, remove

2. Install tree protection fence.	7	
3. Install sediment and erosion control devices and stabilize.	14	
4. Excavate for foundations, rough grade and temporarily stabilize.	30	
5. Construct structures, sidewalks and driveways.	60	
6. Final grade and stabilize in accordance with Stds. and Specs.	14	
7. Upon approval of the sediment control inspector, remove	<u> </u>	
sediment and erosion control devices and stabilize.		
* Delay construction of houses on lots:	N/A	

The coordinates shown hereon are based upon the Howard

State Plane Coordinate System - Howard County Control stations: 30CA and 30FC. 12. The contractor shall notify the Department of Public Works/

Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.

13. The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.

14. For driveway entrance details, refer to Ho. Co. Design Manual Volume IV detail R.6.06.

In accordance with Sect. 128 of the Ho. Co. Supplementary Zoning Dist. Regs., bay windows or chimneys not more than 16 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 10 feet into

16. Stormwater Management is provided per: F-98-104.

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-98-104 and/or approved Water and Sewer Plans Contract

REVISIONS Date

8480 BALTIMORE NATIONAL PIKE SUITE 408 ELLICOTT CITY, MARYLAND 21041

Ì	SUBDIVISION NAME			SECTION/AREA	LOTS/PARCEL	S
	BRAMPTON HILLS WEST			1		
	PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
	13406	6	R-20	30	2ND	6023.02
- 1	WATER CODE			SEWER CODE		
1						

ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY . COLUMBIA, MD 21045 . (410) 381-7500 BALT. . (301) 621-8100 WASH.

ESIGNED	SITE DEVELOPMENT,	SCALE
JME	SEDIMENT & EROSION CONTROL PLAN	1" = 30
RAWN		DRAWING
BLP	BRAMPTON HILLS WEST	1 of 1
HĒĊKĒD	TAX MAP 30 PARCEL 414 \$ P/O 383 SECOND (2ND) ELECTION DISTRICT	JOB NO.
JME	HOWARD COUNTY, MARYLAND	98-154
ATE	FOR : SHC BRAMPTON HILLS, LLC 1651 Crofton Boulevard, Suite 7	FILE NO.

//-18-98

"i/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed

DEVELOPER'S /BUILDER'S CERTIFICATE

ENGINEER'S CERTIFICATE I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation

11.19.98

PLAN

SCALE: |" = 30'

VICINITY MAP Scale : 1"=2000' BENCH MARKS Ho. Co. Monument No. 30CA = N575083.45(meters) Elev.=380.14 El364681.79(meters) Ho. Co., Monument No. 30FC = N5724,53 (meters) Elev. = 386.93 E1364670.17(meters)

GENERAL NOTES

Subject property is zoned: R-20 per 10-18-93 Comprehensive Zonina Plan.

2. The total area included in this submission is : .3924 ac

3. The total number of lots included in this submission is: 1

4. Improvement to property : Single Family Detached

5. SHC eleviations shown are located at the property line.

6. Department of Planning and Zoning reference file numbers are: S-96-19, P-98-05, F-98-104, W \$ S Cont.#24-3647-D. 7. Utilities shown as existing are taken from approved Water and

Sewer plans Contract #24-3647-D and approved Road Construction plans F-98-104.

8. Any damage to county owned rights-of-way shall be corrected at the developer's expense.

All roadways are public and existing.

The existing topography was taken from Road Construction plans F-98-104 prepared by Riemer Muegae # Associates, Inc.

County Geodetic Control which is based upon the Maryland

SPECIAL NOTES

#24-3647-D.

1 Rev. grd, Add Refaining Wall Detail, to show As-Built Cond. 7.30.99

OWNER / DEVELOPER ECO DEVELOPMENT INC.

98-154-X

SDP 99-52

G-02 *5750638 \$ 5750639* CLARK • FINEFROCK & SACKETT, INC.

Crofton, Maryland 21114 Nov. 20, 98

the front or rear setbacks.

