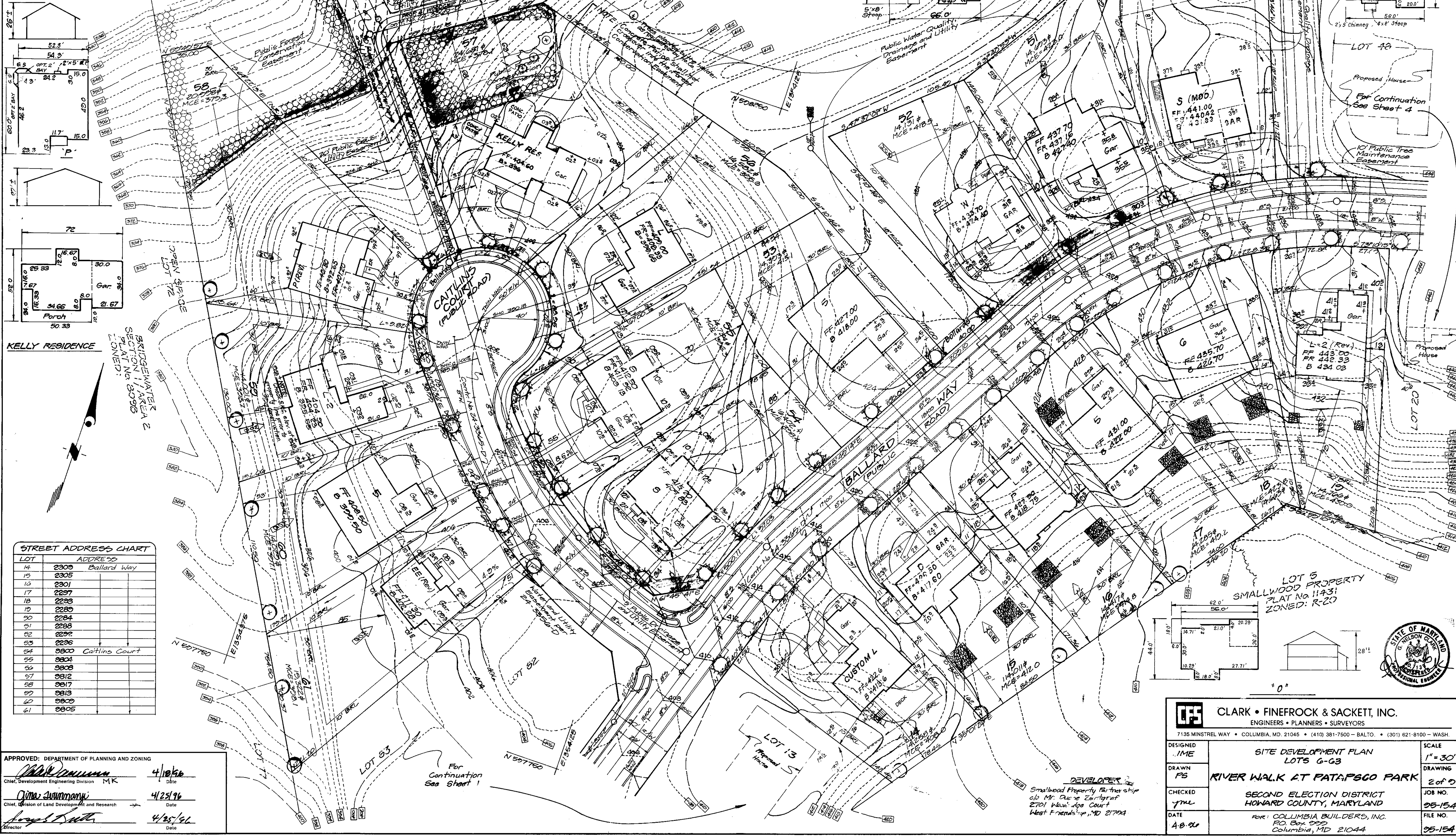


NO.	REVISIONS	DATE
1	Rev. Forest Easements per updated Plat of request of Client	12-28-96
2	Revisions per Md. Co. Comment Letter dated 12-7-96	12-28-96
3	Rev. hse. & grd. lot 54, Add hse. typical	2-19-97
4	Rev. hse. & grd. lot 57, Add hse. typical	3-20-98
5	Rev. hse. & grd. lot 50	6-11-98
6	Rev. hse. & grd. lot 55	6-15-98
7	Rev. hse. & grd. lot 52 from 2 Box to W, Per As-Built Cond.	7-22-98
8	Rev. hse. & grd. lots 15 and 50	9-30-98
9	Rev. hse. & grd. lot 57 to show As-Built Conditions	2-23-99
10	Rev. hse. & grd. lot 16, Add hse. typical	5-6-99
11	Rev. hse. & grd. lot 51	10-5-99
12	Rev. grd. lot 16 to show As-Built Conditions	12-21-99
13	Rev. hse. & grd. lot 50	1-2-00
14	Rev. hse. & grd. lot 61	9-23-00
15	Rev. hse. & grd. lot 58, from 6 box to P (Rev.)	10-23-00

NO.	REVISIONS	DATE
16	Rev. hse. & grd. lot 19	1-04-01
17	Rev. hse. & lot 14 to show As-Built Conditions	3-02-01

LOT NO.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	100 YEAR FLOODPLAIN	25% SLOPES	MINIMUM LOT SIZE
50	16,982#	N/A	16,582#	N/A	1,400#	15,182#
58	20,228#	N/A	20,228#	N/A	6,050#	14,248#



LOT	ADDRESS
14	2309 Ballard Way
15	2305
16	2301
17	2297
18	2293
19	2289
20	2284
21	2280
22	2276
23	2272
24	2268
25	2264
26	2260
27	2256
28	2252
29	2248
30	2244
31	2240
32	2236
33	2232
34	2228
35	2224
36	2220
37	2216
38	2212
39	2208
40	2204
41	2200

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/10/96
 Chief, Development Engineering Division MK Date

[Signature] 4/25/96
 Chief, Division of Land Development and Research Date

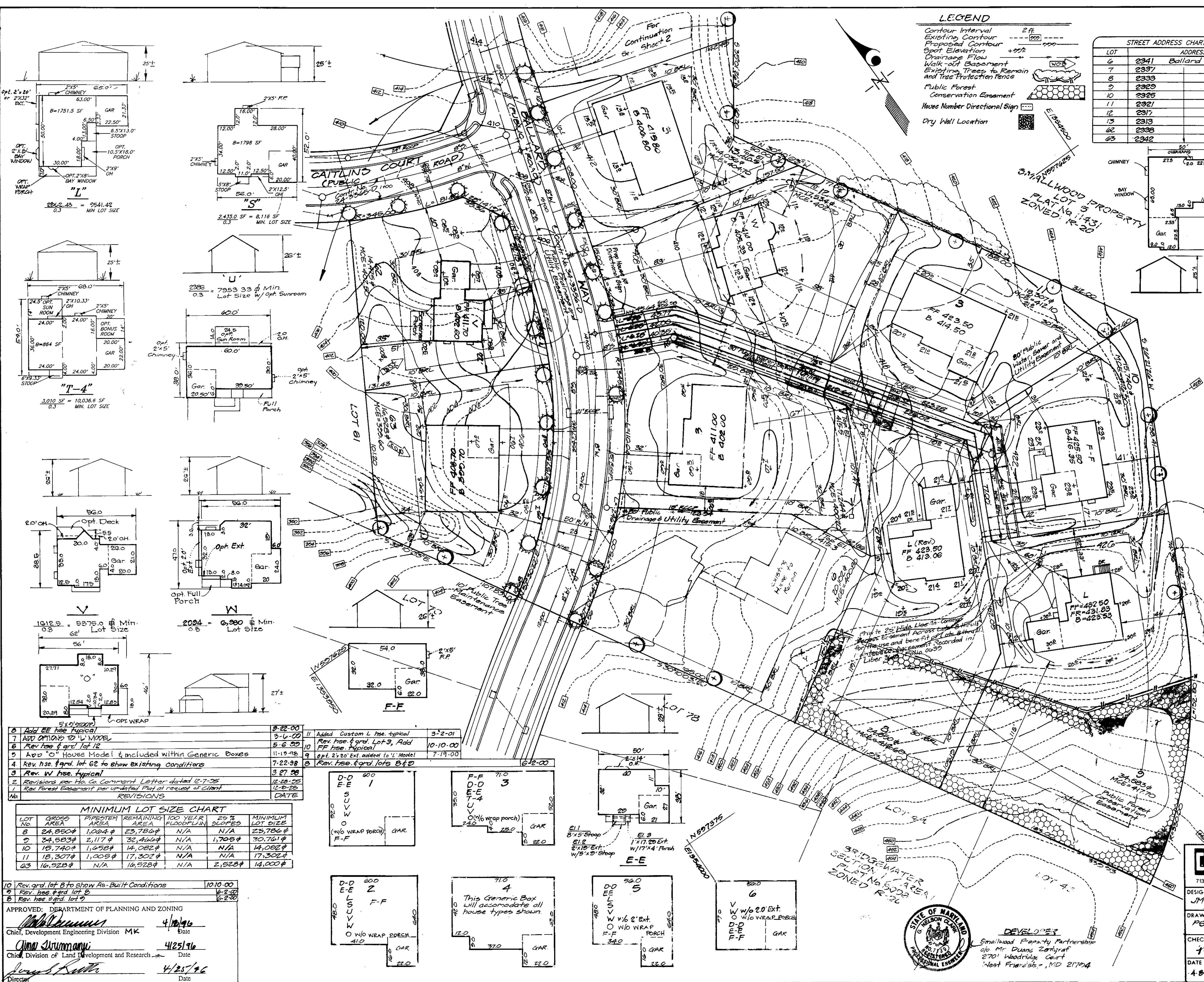
[Signature] 4/25/96
 Director Date

CLARK • FINEROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO. • (301) 821-8100 - WASH.

DESIGNED JME	SITE DEVELOPMENT PLAN LOTS 6-13	SCALE 1" = 30'
DRAWN PS		DRAWING 2 of 9
CHECKED JME	RIVER WALK AT PATAPSCO PARK SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 95-154
DATE 4-8-96		FILE NO. 95-154

FOR: COLUMBIA BUILDERS, INC.
 P.O. Box 999
 Columbia, MD 21044

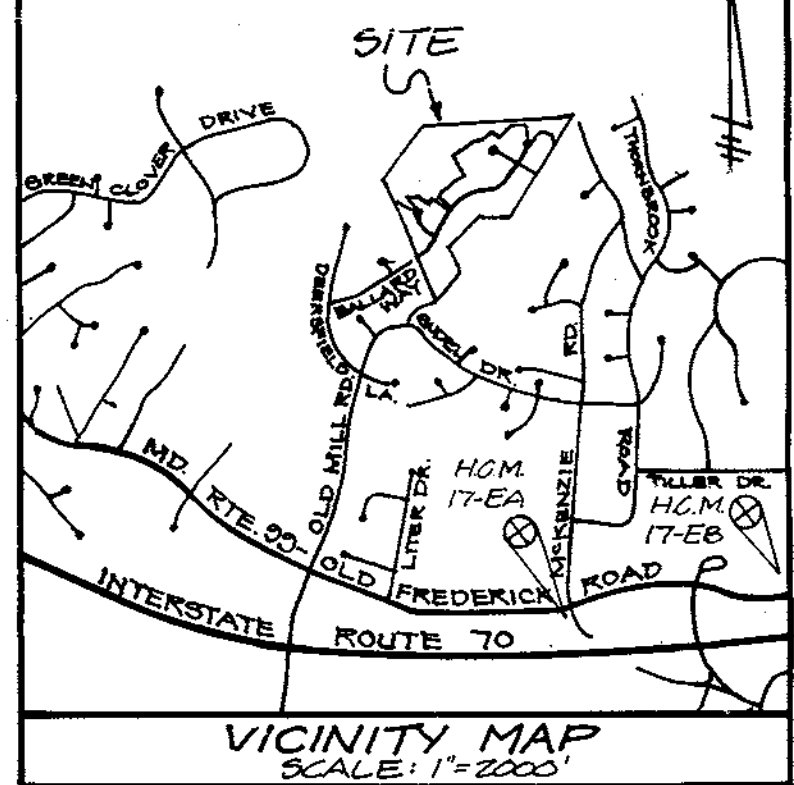
SDP 96-52



LEGEND

- Contour Interval Existing Contour 2 ft
- Proposed Contour 2 ft
- Opt. Elevation +992
- Drainage Flow
- Walk-off Easement
- Existing Trees to Remain and Tree Protection Fence
- Public Forest
- Conservation Easement
- House Number Directional Sign
- Dry Well Location

STREET ADDRESS CHART		
LOT	ADDRESS	
6	2341	Bollard Way
7	2337	
8	2333	
9	2329	
10	2325	
11	2321	
12	2317	
13	2313	
14	2309	
15	2305	
16	2301	
17	2297	
18	2293	
19	2289	
20	2285	
21	2281	
22	2277	
23	2273	
24	2269	
25	2265	
26	2261	
27	2257	
28	2253	
29	2249	
30	2245	
31	2241	
32	2237	
33	2233	
34	2229	
35	2225	
36	2221	
37	2217	
38	2213	
39	2209	
40	2205	
41	2201	
42	2197	
43	2193	
44	2189	
45	2185	
46	2181	
47	2177	
48	2173	
49	2169	
50	2165	
51	2161	
52	2157	
53	2153	
54	2149	
55	2145	
56	2141	
57	2137	
58	2133	
59	2129	
60	2125	
61	2121	
62	2117	
63	2113	
64	2109	
65	2105	
66	2101	
67	2097	
68	2093	
69	2089	
70	2085	
71	2081	
72	2077	
73	2073	
74	2069	
75	2065	
76	2061	
77	2057	
78	2053	
79	2049	
80	2045	
81	2041	
82	2037	
83	2033	
84	2029	
85	2025	
86	2021	
87	2017	
88	2013	
89	2009	
90	2005	
91	2001	
92	1997	
93	1993	
94	1989	
95	1985	
96	1981	
97	1977	
98	1973	
99	1969	
100	1965	



- BENCHMARKS**
- 1 Station Number H.C.M. 17EA N 18160.5677 (Meters) E 413772.7224 (Meters)
 - 2 Station Number H.C.M. 17EB N 180004.8413 (Meters) E 413227.8940 (Meters)

GENERAL NOTES:

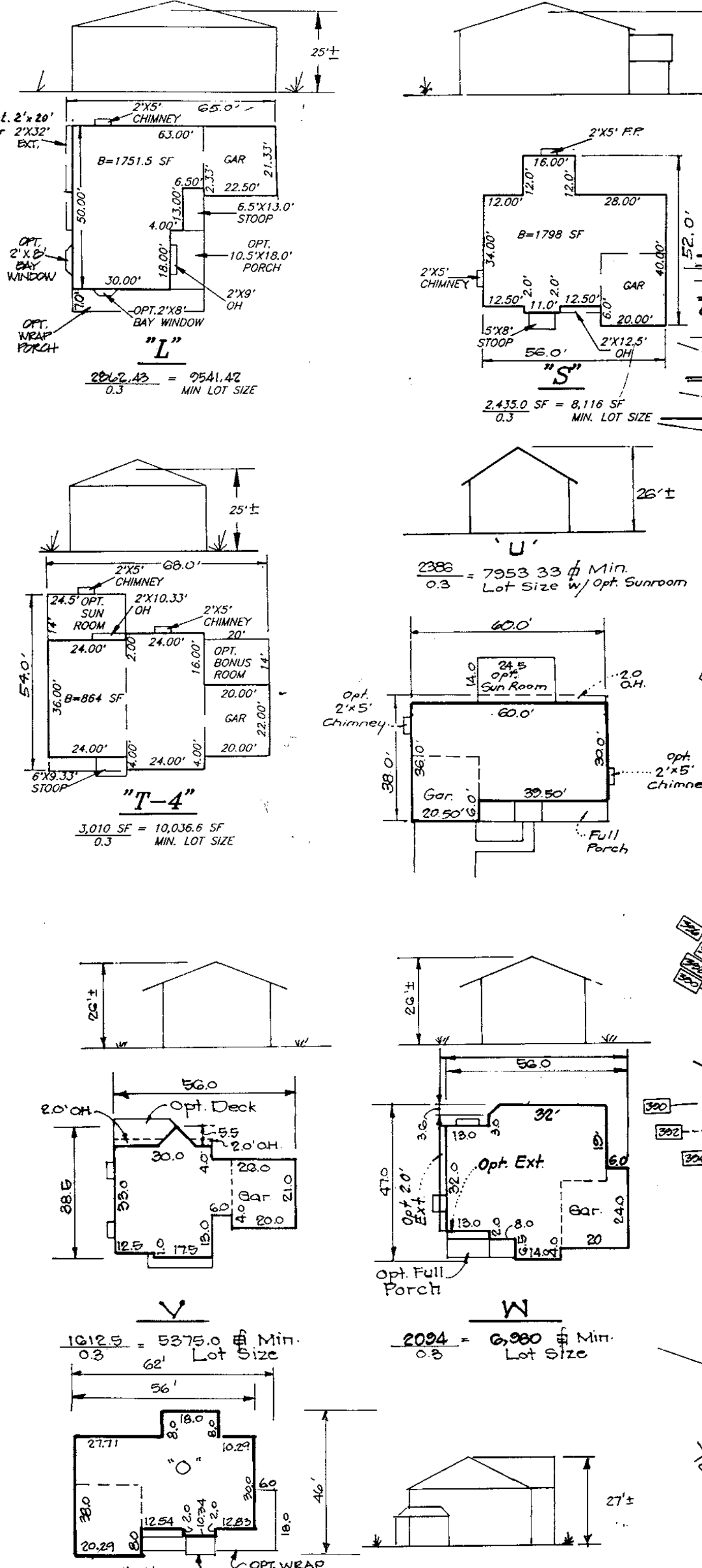
1. Subject property is zoned: R-20 per 10-18-93 Comprehensive Zoning Plan.
2. The total area included in this submission is: 22.60 A.
3. The total number of lots included in this submission is: 56
4. Improvement to property: Single-Family Detached
5. Department of Planning and Zoning reference file numbers are: S 04-1A, P 04-1D, F 06-04, W/S Cont # 24-3365-D
6. Utilities shown as existing are taken from approved Water and Sewer plan Contract # 24-3365-D, approved Road Construction plans F 06-04, and actual field survey.
7. Any damage to county owned rights-of-way shall be corrected at the developer's expense.
8. All roadways are public and existing.
9. The existing topography was taken from Road Construction plans F 06-04 prepared by Fisher, Collins & Carter, Inc.
10. The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 17EA & 17EB
11. The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
12. The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
13. For driveway entrance details, refer to Ho. Co. Design manual Volume IV details.
14. In accordance with Sections 128A.1.b and c. of the Zoning Regulations bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 10 feet into the front or rear setbacks.
15. Stormwater Management is provided per: F 06-04
16. Denotes Forest Conservation Easement. The Forest Conservation Easement has been established to fulfill the requirements of section 16.1200 of the Howard County Code Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement. However, Forest Management practices as defined in the deed of Forest Conservation Easement are allowed.
17. Denotes approximate location of proposed Dry Well size and location will be determined at time of site specific house. See sheet 3 for Dry Well detail and area chart.
18. Perimeter and Street Trees shown were taken from Approved Road Construction Plans F 06-04.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way of this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-06-04 and/or approved Water and Sewer Plans Contract # 24-3365-D

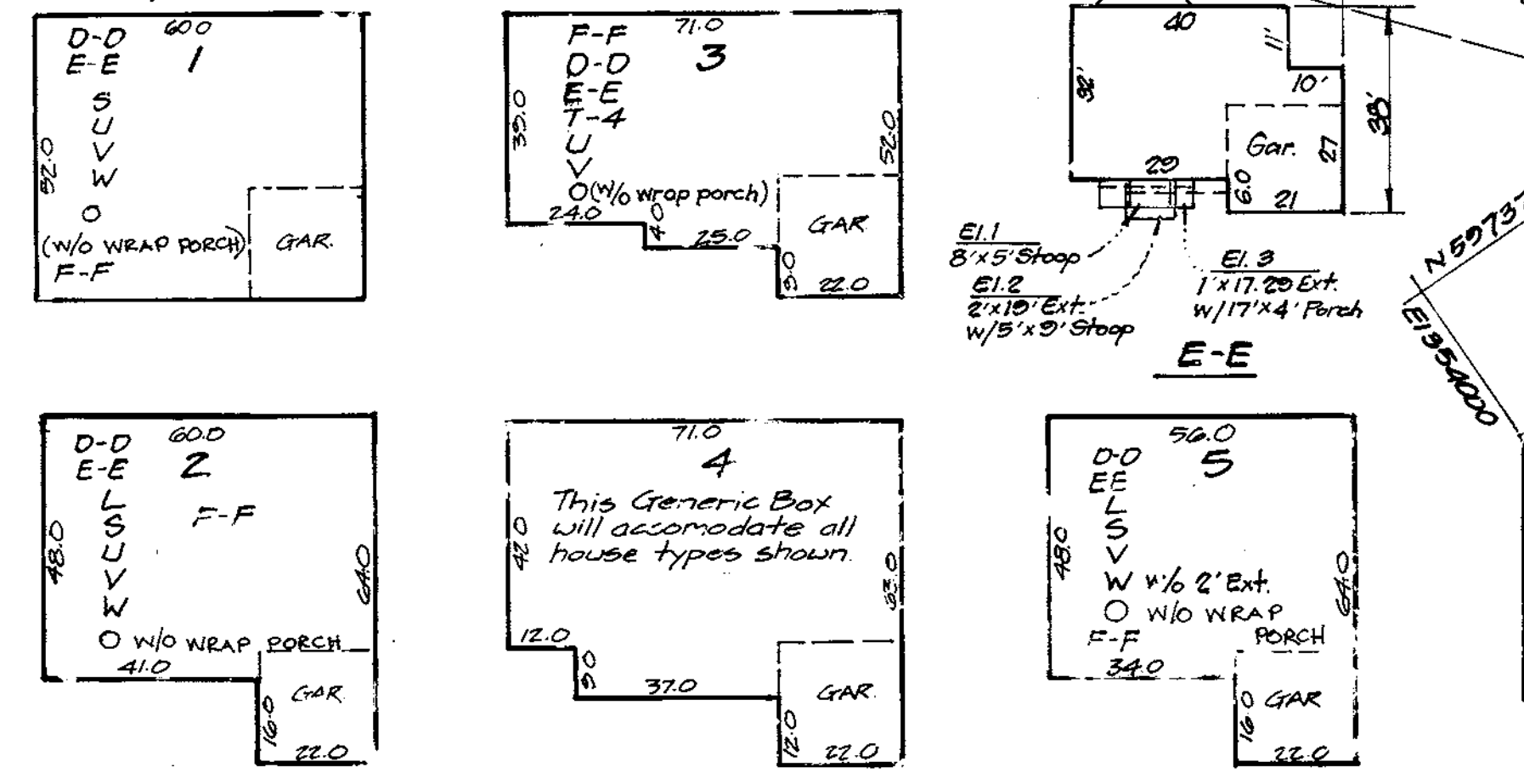
SHEET INDEX

Site Development Plan	Sheets 1,2,3,4 of 9
Sediment and Erosion Control Plan	Sheets 5,6,7,8,9 of 9



No.	REVISIONS	DATE
1	Revisions per Ho. Co. Comment Letter dated 12-7-05	12-28-05
2	Rev. Forest Easement per updated Plat at request of client	12-28-05
3	Rev. hse. # 94rd lot 62 to show existing conditions	7-22-98
4	Rev. W hse. typical	3-27-96
5	Rev. hse. # 94rd lot 62 to show existing conditions	11-19-98
6	Rev. hse. # 94rd lot 12	5-6-99
7	ADD OPTION 10 'L' MODEL	3-1-00
8	Add EE hse. typical	9-22-00
9	Rev. hse. # 94rd lot 62 to show existing conditions	10-10-00
10	Rev. hse. # 94rd lot 2	6-2-00
11	Rev. hse. # 94rd lot 3, Add FF hse. typical	10-10-00
12	Rev. hse. # 94rd lot 9	7-19-00
13	Rev. hse. # 94rd lot 8 & 9	6-2-00
14	Rev. hse. # 94rd lot 8 to show As-Built Conditions	10-10-00
15	Rev. hse. # 94rd lot 2	6-2-00
16	Rev. hse. # 94rd lot 9	6-2-00

LOT NO.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	100 YEAR FLOODPLAIN	25% SLOPES	MINIMUM LOT SIZE
8	24,850#	1,024#	23,786#	N/A	N/A	23,786#
9	24,583#	2,117#	32,466#	N/A	1,708#	30,761#
10	16,740#	1,658#	14,082#	N/A	N/A	14,082#
11	18,307#	1,008#	17,302#	N/A	N/A	17,302#
63	16,528#	N/A	16,528#	N/A	2,528#	14,000#



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division MK 4/18/96 Date

Chief, Division of Land Development and Research 4/25/96 Date

Director 4/25/96 Date



DEVELOPER
Smallwood Property Partnership
c/o Mr. Duane Zortgraf
2701 Woodridge Court
West Friendship, MD 21154

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
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DESIGNED JME	SITE DEVELOPMENT PLAN	SCALE 1" = 30'
DRAWN PS	LOTS G-03	DRAWING 1 of 2
CHECKED JME	RIVER WALK AT FATAPSCO PARK	JOB NO. 95-154
DATE 4-8-96	SECOND ELECTION DISTRICT	FILE NO.
	HOWARD COUNTY, MARYLAND	
	FOR: COLUMBIA BUILDERS, INC.	
	P.O. Box 999	
	Columbia, MD 21044	

SDP 96-52