

APPROVED: DEPARTMENT OF PLANNING & ZONING

1/24/99 DATE

1/19/99 DATE

1/21/99 DATE

CONDY HANLTON
CHIEF, DIVISION OF LAND DEVELOPMENT

JOSEPH WILKINSON
DIRECTOR

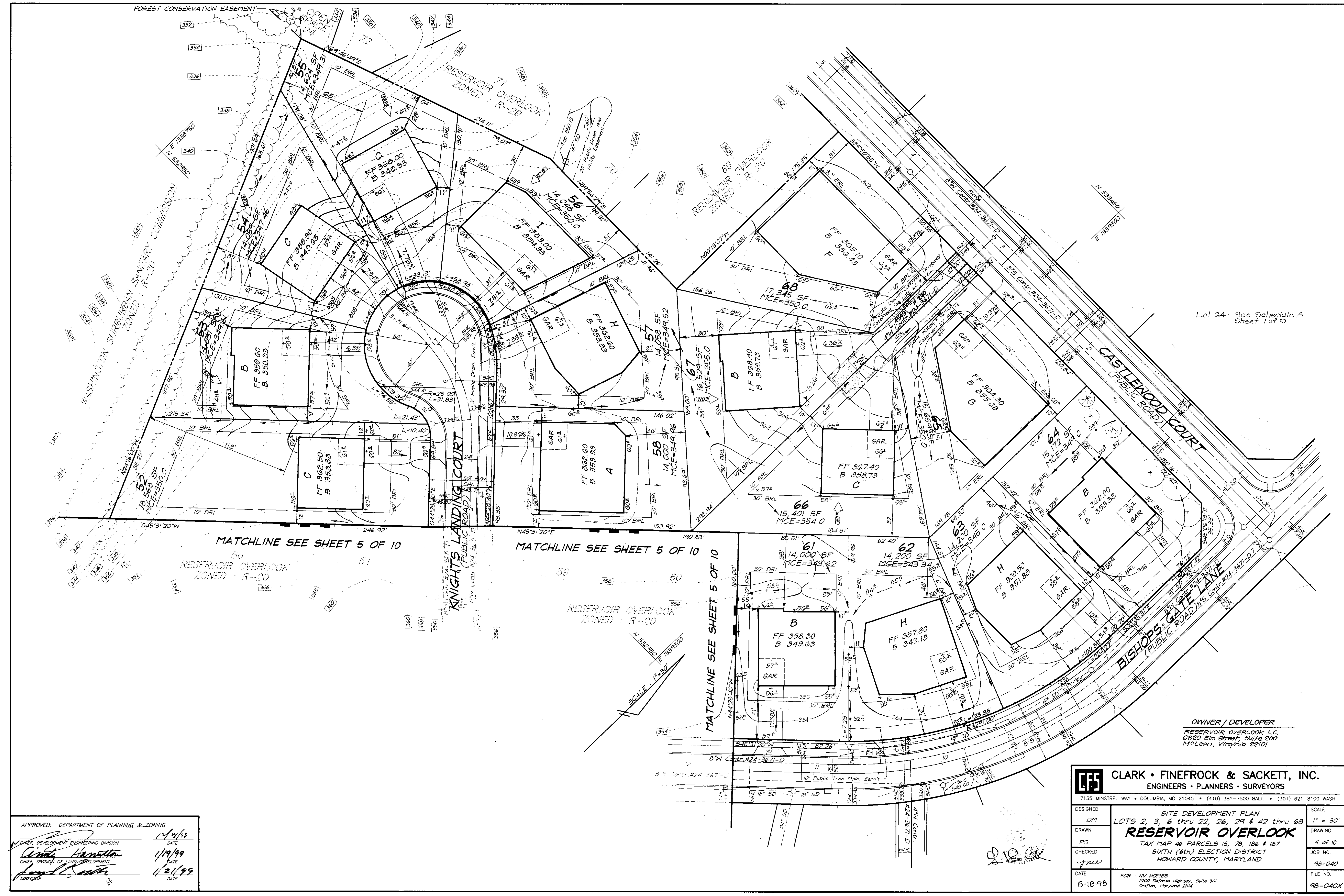
OWNER / DEVELOPER
 RESERVOIR OVERLOOK L.C.
 6820 Elm Street, Suite 200
 McLean, Virginia 22101

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	DM	SITE DEVELOPMENT PLAN RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE	1" = 30'
DRAWN	PS		DRAWING	3 of 10
CHECKED	yjme		JOB NO.	98-040
DATE	8-18-98		FILE NO.	98-040X
FOR: NV HOMES			2200 Defense Highway, Suite 301 Crofton, Maryland 21114	

FOREST CONSERVATION EASEMENT



Lot 24- See Schedule A Sheet 1 of 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

SCALE: 1" = 30'

OWNER / DEVELOPER
RESERVOIR OVERLOOK L.C.
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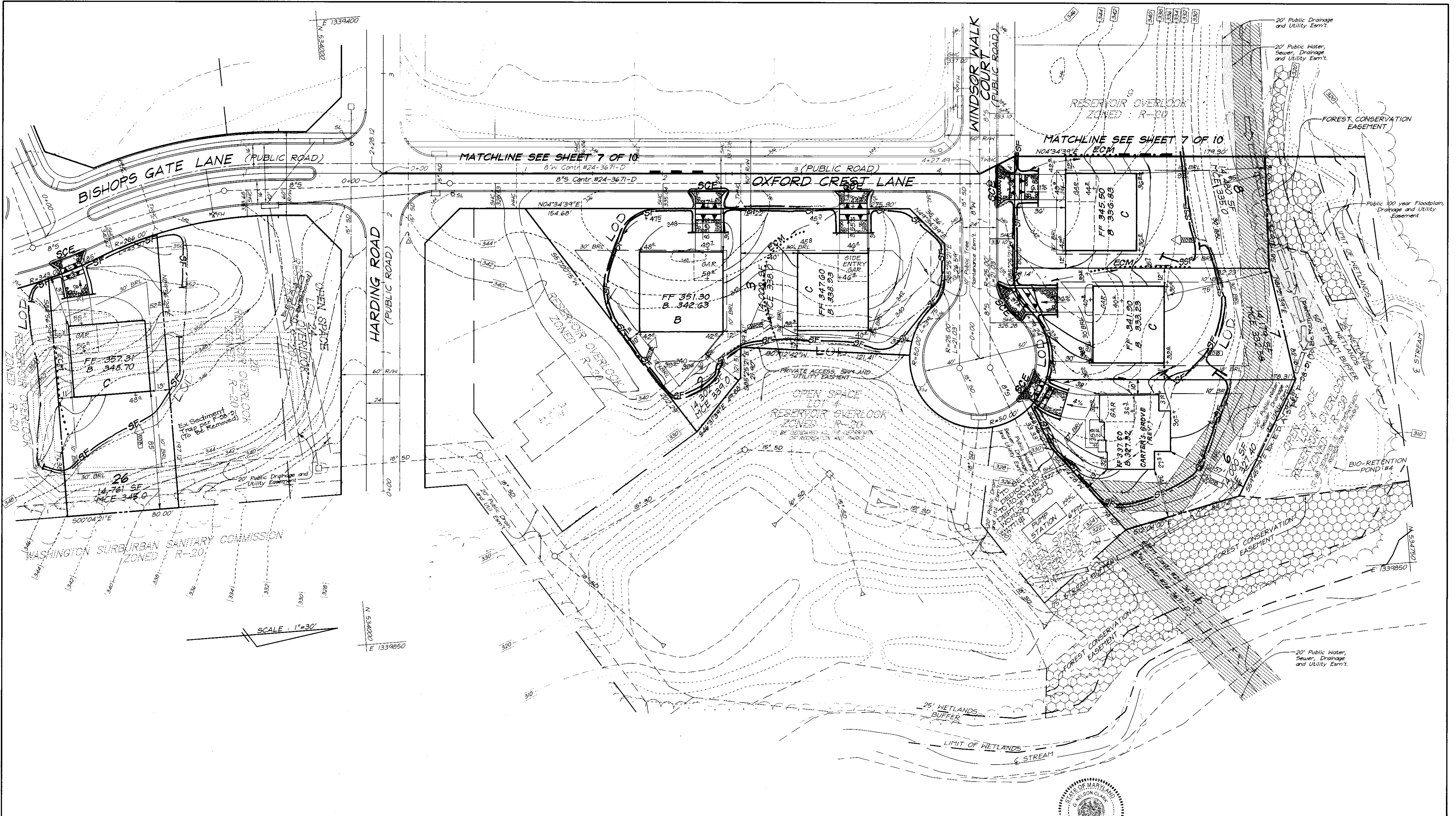
1/19/99

1/21/99

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ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED DM	SITE DEVELOPMENT PLAN RESERVOIR OVERLOOK LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68 TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'	
DRAWN PS		4 of 10	
CHECKED jme		JOB NO. 98-040	
DATE 8-18-98		FOR: NV HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114	FILE NO. 98-040X



APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cathy Hemminger 1/19/99
 CHIEF, DIVISION OF LAND DEVELOPMENT
Joseph S. Smith 1/21/99

Reviewed for HOWARD S.C.D. and meets Technical Requirements.
Shirley B. Bennett 12/22/98
 Signature Date
 U.S. Natural Resources Conservation Service
 This Development Plan is Approved For Soil Erosion and Sediment Control By The Howard Soil Conservation District
John K. Roberts 12/22/98
 Approved Date

DEVELOPER'S/BUILDERS CERTIFICATE
 "We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by Howard Soil Conservation District or their authorized agencies, as are deemed necessary."
Wayne C. Flack 8-18-98
 Signature of Developer/Builder Date
 WAYNE C. FLACK

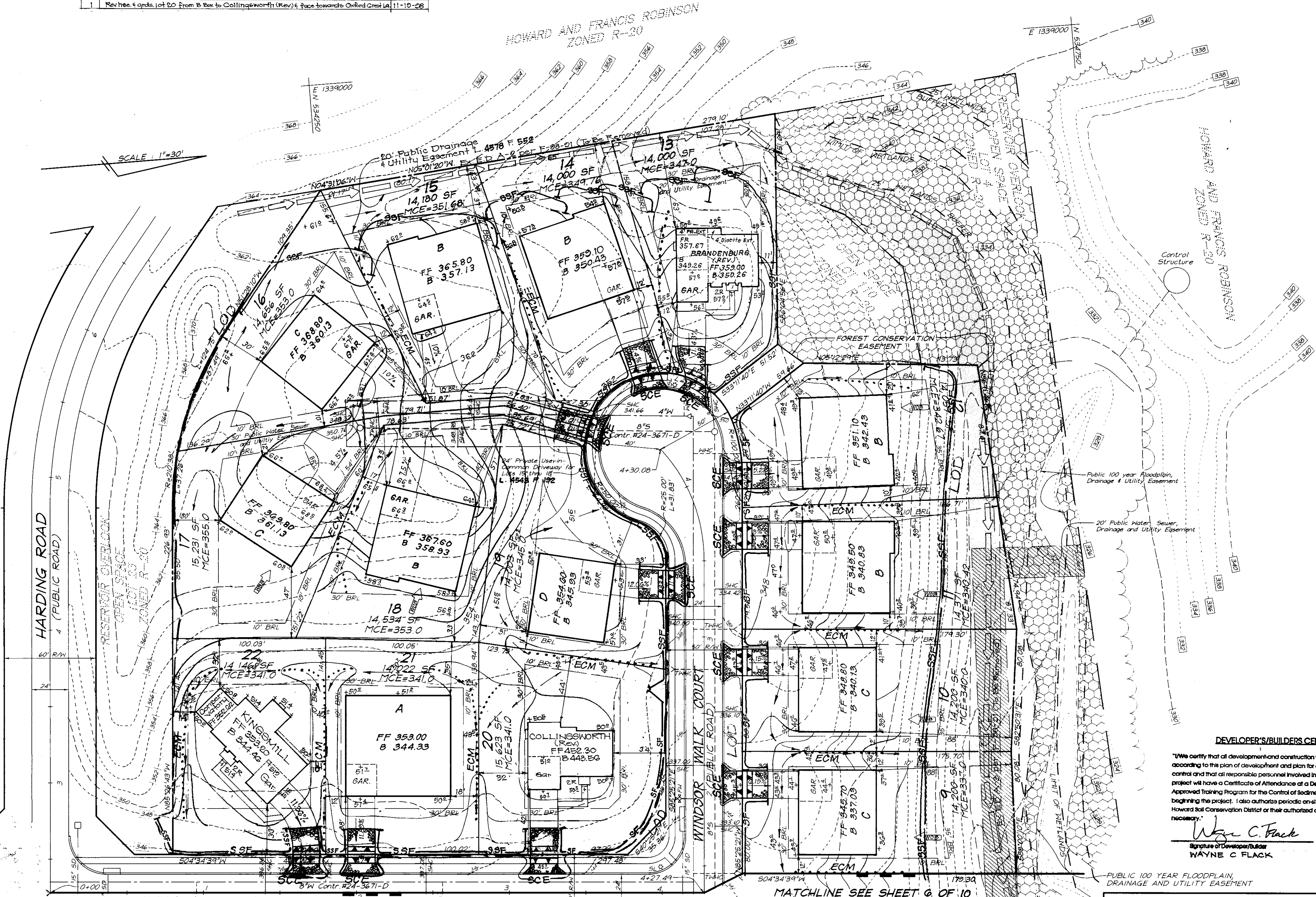
ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
G. Nelson Clark 8-18-98
 DATE
 G. NELSON CLARK



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED DM	SEDIMENT AND EROSION CONTROL PLAN LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68 RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (614) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN PS		6 of 10
CHECKED TD		JOB NO. 98-040
DATE 8-18-98		FILE NO. 98-040
FOR: NY HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114		

No.	REVISION	DATE
1	Rev. h.c. 4 qdts. lot 20 from B Box to Collingworth (Rev.) & face towards Oxford Crest Ln	11-19-98



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Wayne C. Flack
Signature of Developer/Builder
8-18-98
Date
WAYNE C. FLACK

Reviewed for
and meets Technical Requirements.
Cheryl Summers 12/22/98
Signature Date
U.S. Natural Resources
Conservation Service

This Development Plan is Approved
For Soil Erosion and Sediment
Control By The Howard Soil
Conservation District
John P. ... 12/22/98
Approved Date

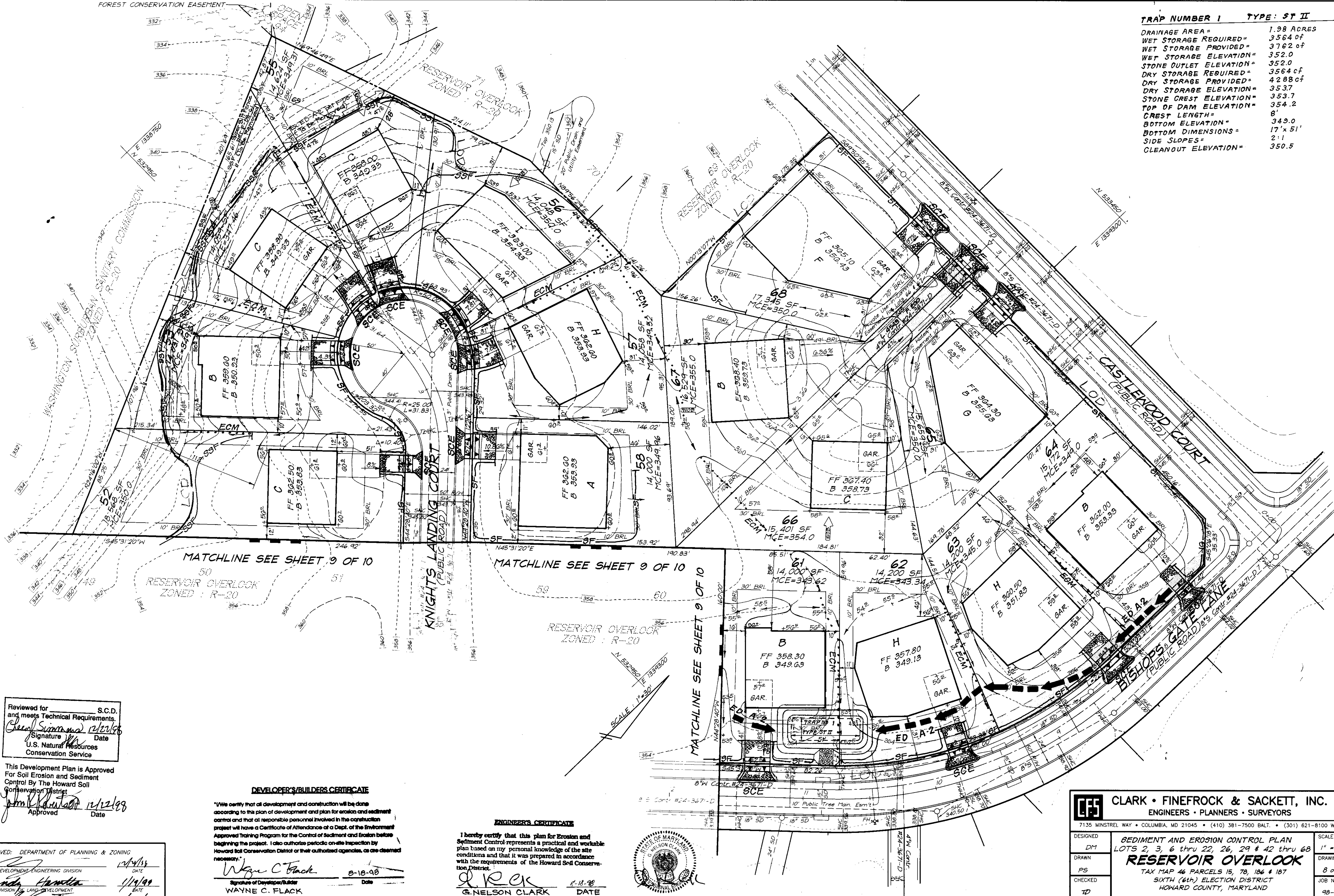
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I hereby certify that this plan for Erosion and
Sediment Control represents a practical and workable
plan based on my personal knowledge of the site
conditions and that it was prepared in accordance
with the requirements of the Howard Soil Conserva-
tion District.
G. Nelson Clark 8-18-98
G. NELSON CLARK DATE



CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
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DRAWN PS		DRAWING 7 of 10
CHECKED TD		JOB NO. 98-040
DATE 8-18-98		FILE NO. 98-040

APPROVED: DEPARTMENT OF PLANNING & ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cathy Hamilton 1/19/99
CHIEF, DIVISION OF LAND DEVELOPMENT
John P. ... 1/21/99

TRAP NUMBER 1	TYPE: SF II
DRAINAGE AREA =	1.98 ACRES
WET STORAGE REQUIRED =	3564 cf
WET STORAGE PROVIDED =	3762 cf
STONE OUTLET ELEVATION =	352.0
DRY STORAGE REQUIRED =	3564 cf
DRY STORAGE PROVIDED =	4288 cf
STONE CREST ELEVATION =	353.7
TOP OF DAM ELEVATION =	354.2
CREST LENGTH =	8'
BOTTOM ELEVATION =	349.0
BOTTOM DIMENSIONS =	17' x 51'
SIDE SLOPES =	2:1
CLEANOUT ELEVATION =	350.5



Reviewed for S.C.D. and meets Technical Requirements.
Cheryl Simmons 12/18/98
 Signature Date
 U.S. Natural Resources Conservation Service

This Development Plan is Approved For Soil Erosion and Sediment Control By The Howard Soil Conservation District
John W. Kauter 12/21/99
 Approved Date

DEVELOPER'S/BUILDERS CERTIFICATE

"We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance of a Dept. of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by Howard Soil Conservation District or their authorized agencies, as are deemed necessary."

Wayne C. Flack 8-18-98
 Signature of Developer/Builder Date
 WAYNE C. FLACK

ENGINEER'S CERTIFICATE

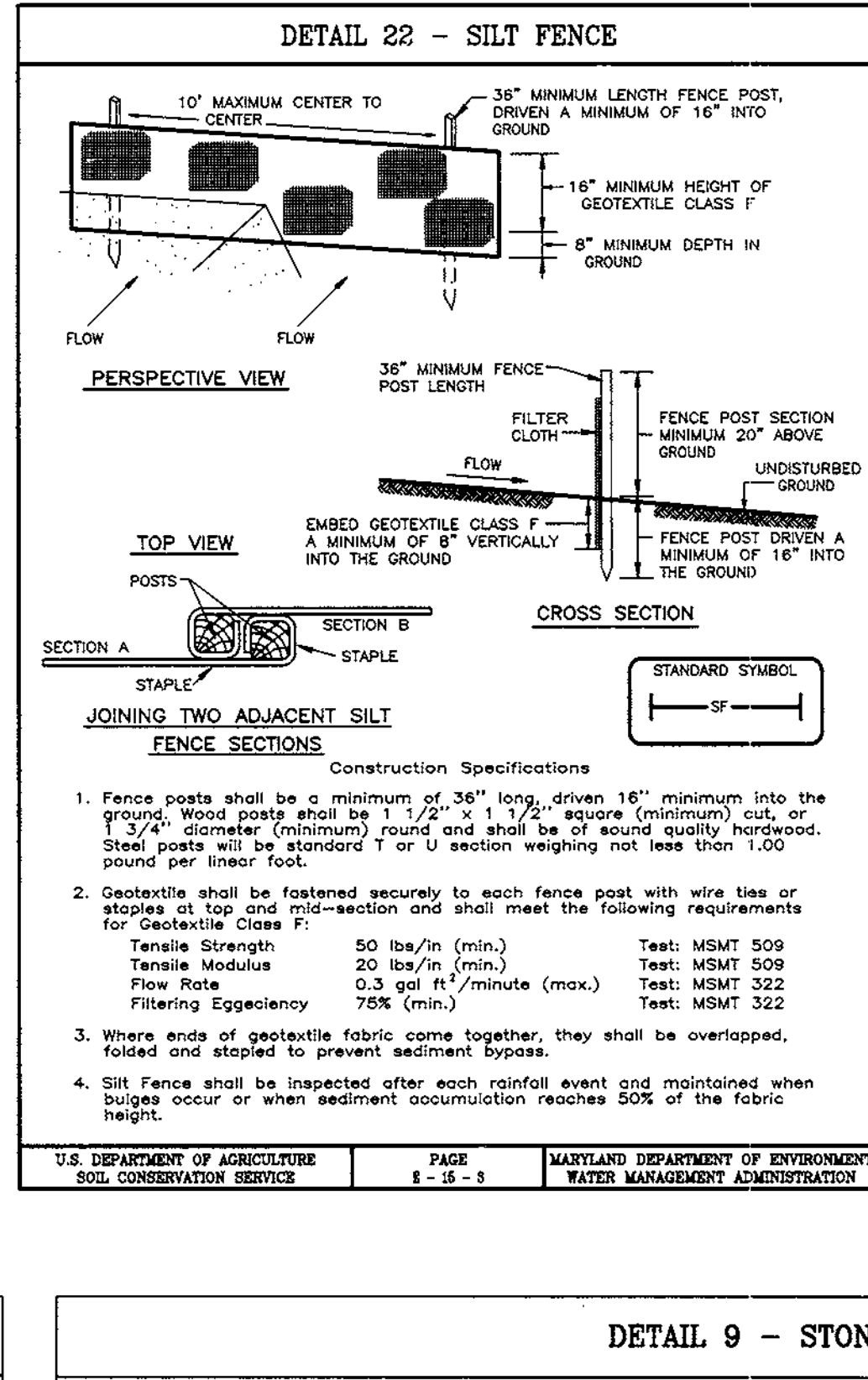
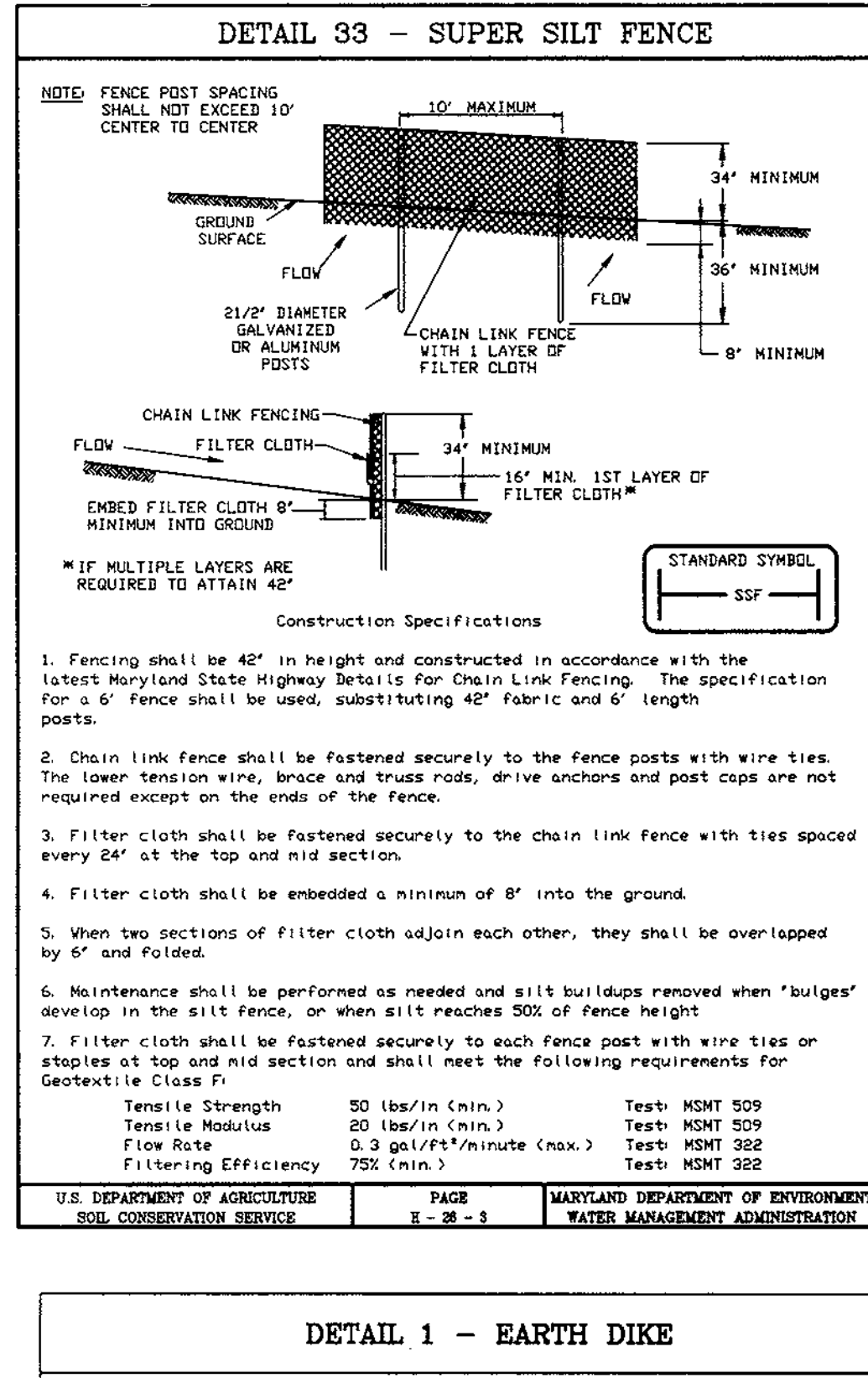
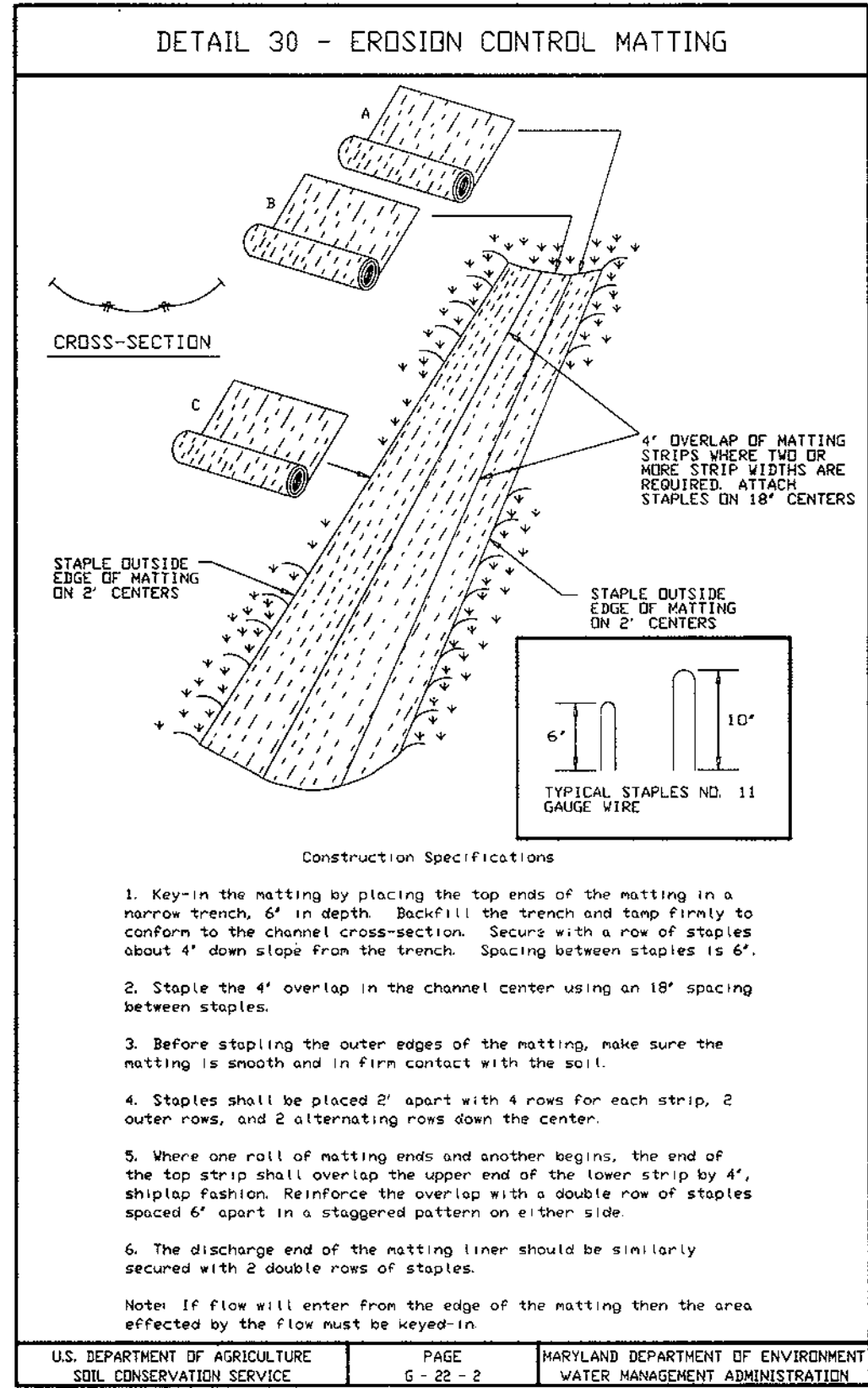
I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 8-18-98
 Signature Date
 G. NELSON CLARK



APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cheryl Simmons 12/18/98
 CHIEF, DIVISION OF LAND DEVELOPMENT
John W. Kauter 12/21/99
 DIRECTOR

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS		
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED DM	BEDIMENT AND EROSION CONTROL PLAN LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68 RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
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PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO FURTHER DISTURBANCE AND A PERMANENT COVERED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (90 lbs/1000 sq ft) and 400 lbs per acre 15-0-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 100 lbs per acre 30-0-0 ureamiform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (90 lbs/1000 sq ft) and apply 1000 lbs per acre 15-0-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the period March 1 thru April 30, and August 1 thru October 31, seed with 60 lbs per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of seeding lavender. During the period of October 1 thru February 28, protect site by sowing (1) 2 lbs per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use seed, Option (2) seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of certified straw mulch immediately after seeding. Anchor mulch through soil by application using multi anchoring spikes and rollers per (8 gal/1000 sq ft) of certified straw (2 lbs per acre) or 2 tons per acre (100 lbs/1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (24 lbs/1000 sq ft).

SEEDING: For the period March 1 thru April 30 and from August 1 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft) of seeding lavender (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by sowing (1) 2 lbs per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use seed, Option (2) seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of certified straw mulch immediately after seeding. Anchor mulch through soil by application using multi anchoring spikes and rollers per (8 gal/1000 sq ft) of certified straw (2 lbs per acre) or 2 tons per acre (100 lbs/1000 sq ft) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 5-13 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels and are not suitable for plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies: This practice is limited to areas having 2:1 or flatter slopes where:

- a. The texture of the exposed subsoil material is not adequate to produce vegetable growth.
- b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish adequate supplies of moisture and plant nutrients.
- c. The original soil to be vegetated contains material likely to plant growth.
- d. The soil is so acidic that treatment with limestone is not feasible.

For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plan.

Construction and Material Specifications:

1. Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications and is approved by the appropriate authority. Topsoil salvaged from a given site may be used in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
2. Topsoil specifications - Soil to be used as topsoil must meet the following:
 - i. Topsoil shall be a loam, sandy loam, clay loam, silty loam, sandy clay loam, loamy sand. Other soils may be used if approved by an agronomist or soil scientist and approved by the appropriate authority. Regardless, topsoil shall not be a mixture of contrasting textures and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other material larger than 1" and 1/2" in diameter.
 - ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
 - iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of one-half ton (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
3. For sites having disturbed areas under 5 acres:
 - i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

SEDIMENT AND EROSION CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1055).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - a) 7 calendar days for all perimeter sediment control structures, ditches, perimeter slopes and all slopes greater than 3:1.
 - b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. I, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (See G). Temporary stabilization with mulch alone can only be done when seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. **SITE ANALYSIS:**

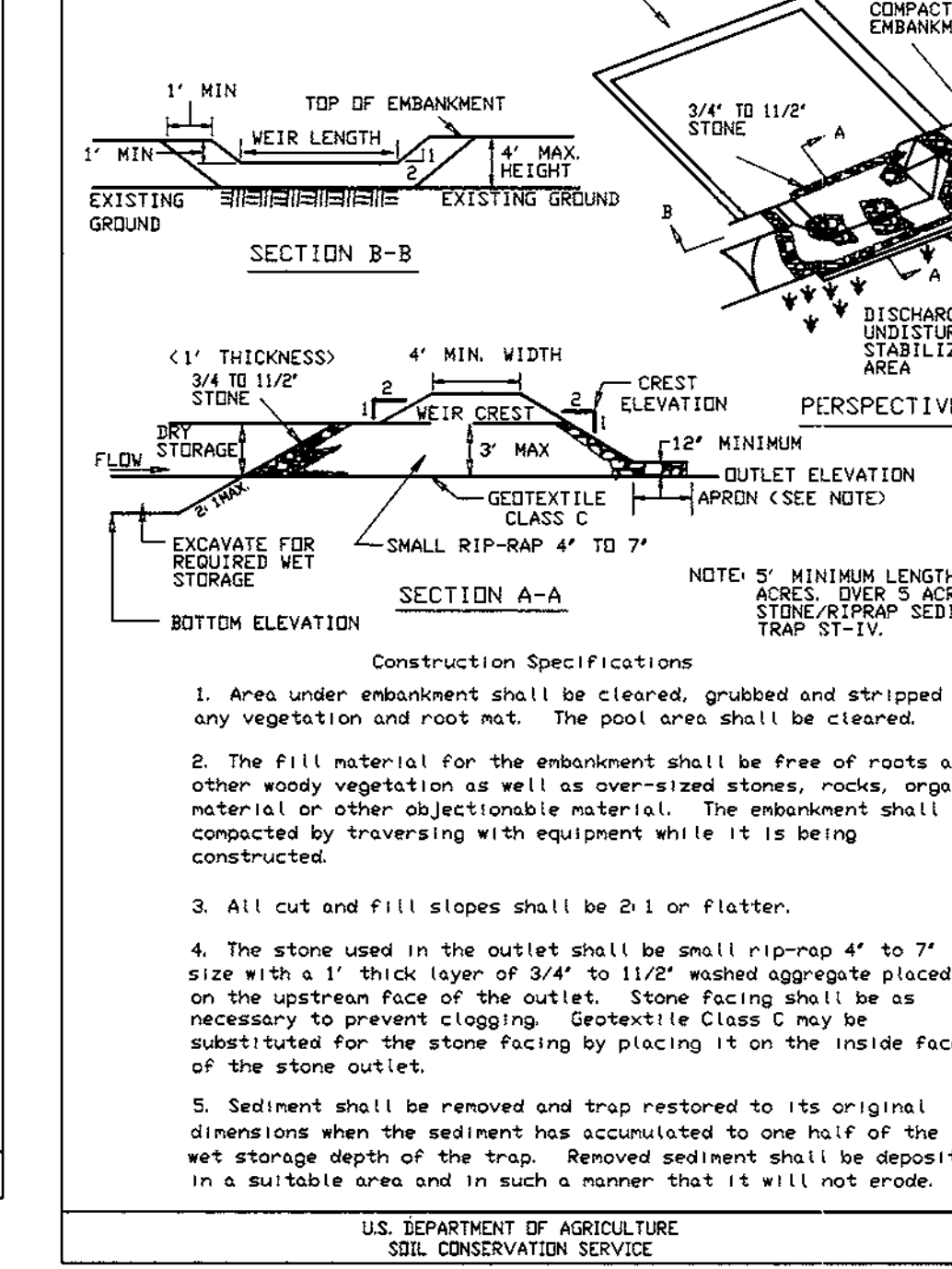
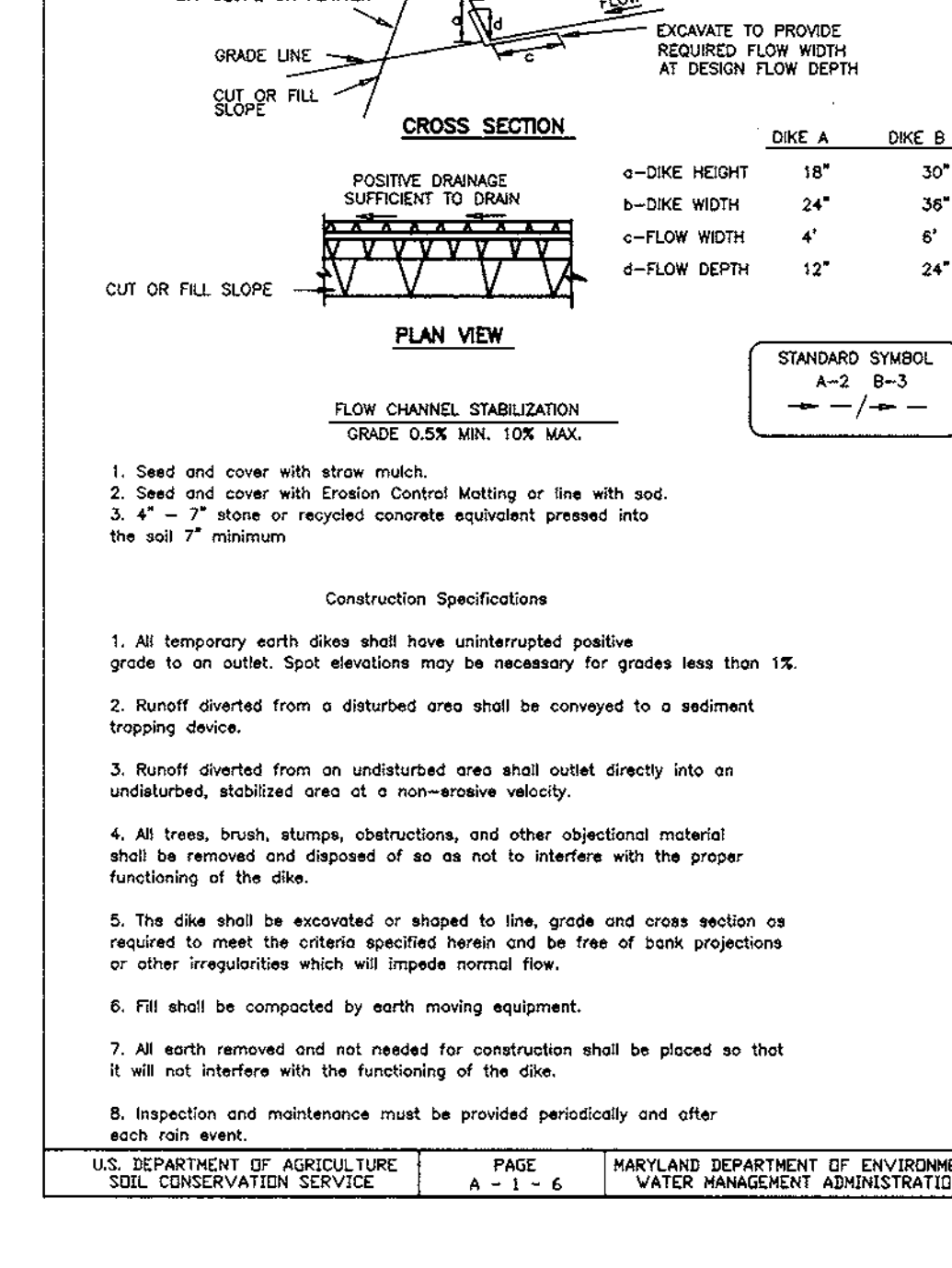
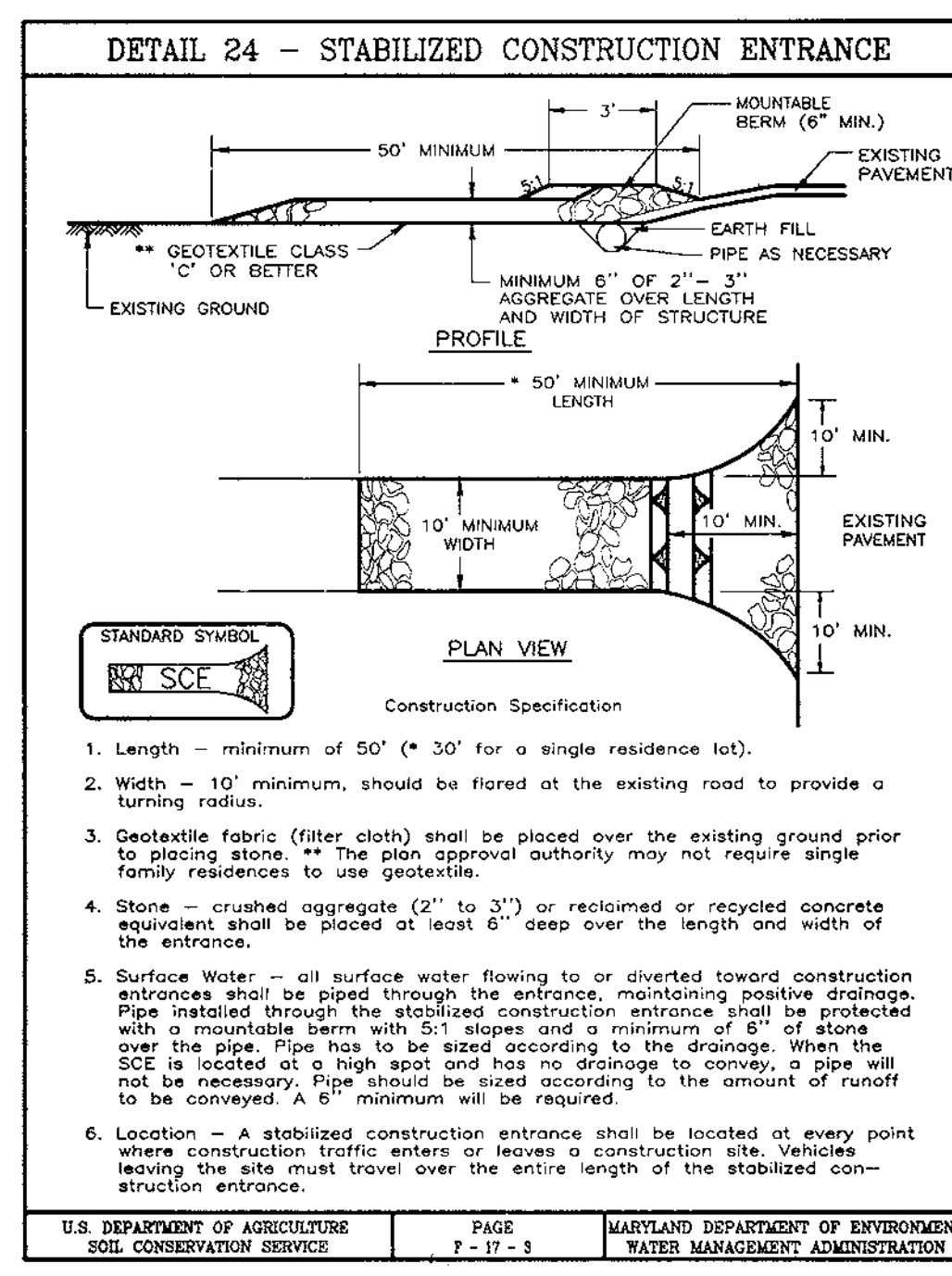
Total Area of Site:	16.09 Acres
Area Disturbed:	14.61 Acres
Area to be seeded or paved:	3.00 Acres
Area to be vegetatively stabilized:	10.20 Acres
Total Cut:	19,624 CY
Total Fill:	9,101 CY
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

The total amount of silt fence =	5275 LF
The total amount of super silt fence =	6190 LF
The total amount of earth dike =	335 LF
12. It is the responsibility of the contractor to identify the spoil/borrow area and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:

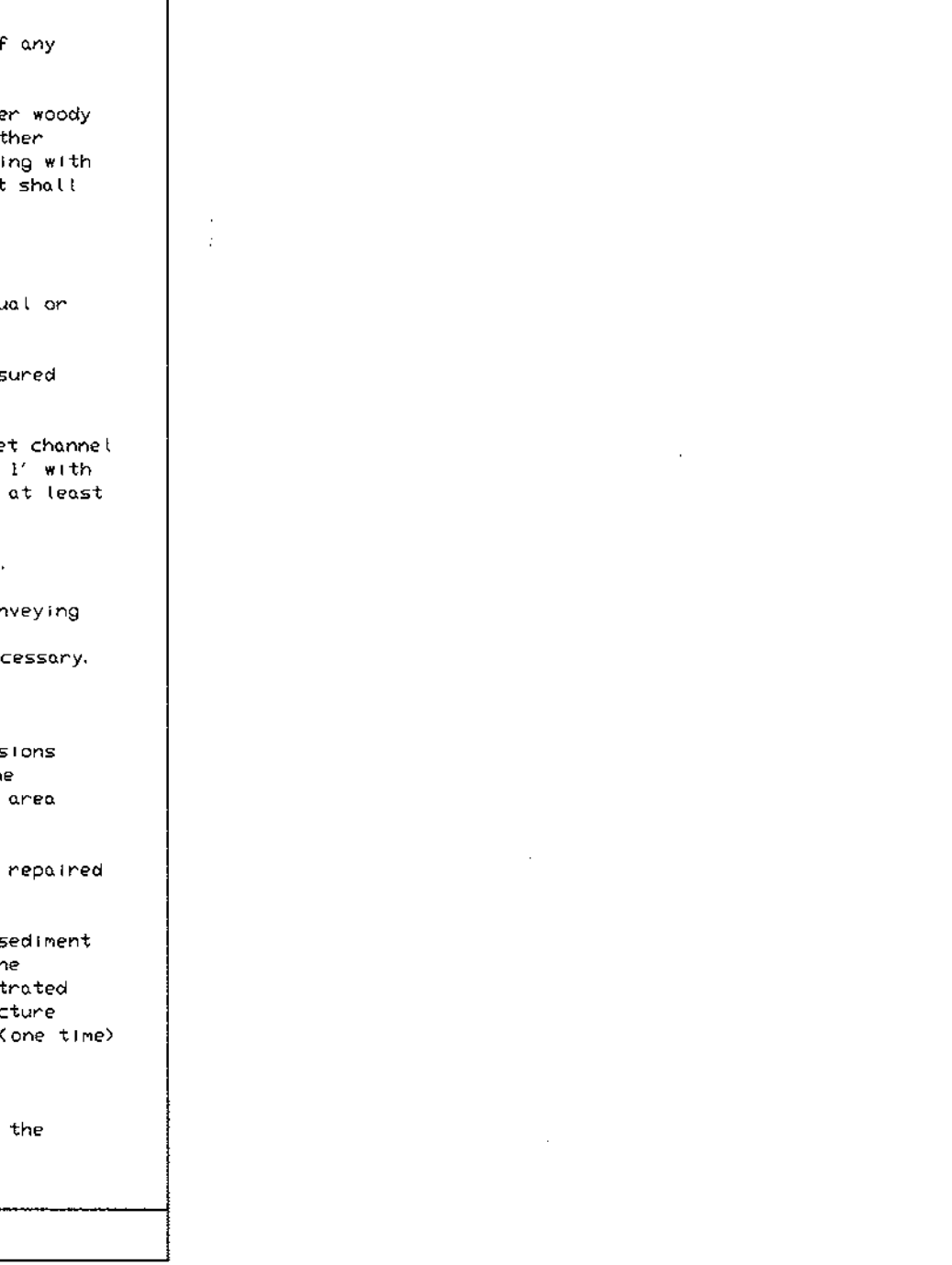
	NO. OF DAYS
1. Obtain grading permit.	7
2. Install tree protection fence.	7
3. Install sediment and erosion control devices and stabilize.	14
4. Excavate for foundations, rough grade and temporarily stabilize.	30
5. Construct structures, sidewalks and driveways.	60
6. Final grade, install Erosion Control Matting and stabilize in accordance with standards and specifications.	14
7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

* Delay construction of houses on lots: 20,61 & 62



CONSTRUCTION SPECIFICATIONS

1. The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
2. The fill material for the embankment shall be free of roots or other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Maximum height of embankment shall be 4', measured at centerline of embankment.
3. All cut and fill slopes shall be 2:1 or flatter.
4. Elevation of the top of any dike directing water into trap must equal or exceed the height of top embankment.
5. Storage area provided shall be figured by computing the volume measured from top of excavation. If storage requirements see Table 10D.
6. Filter cloth shall be placed over the bottom and sides of the outlet channel to placement of stone. Section of fabric must overlap at least 1' with section nearest the entrance placed on top. Fabric shall be embedded at least 6" into existing ground at entrance of outlet channel.
7. Stone used in the outlet channel shall be 4" - 7" placed 18" thick.
8. Outlet - An outlet shall be provided, which includes a means of conveying the discharge in an erosion free manner to an existing stable channel. Protection against scour at the discharge end shall be provided as necessary.
9. Outlet channel must have positive drainage from the trap.
10. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/4 of the wet storage depth of the trap (1350 CFAC). Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
11. The structure shall be inspected periodically after each rain and repaired as needed.
12. Construction of traps shall be carried out in such a manner that sediment pollution is abated. Dike constructed, the top and outside face of the embankment shall be stabilized with seed and mulch. Points of concentrated inflow shall be protected in accordance with Grade Stabilization Structure criteria. The remainder of the interior slopes should be stabilized (one time) with seed and mulch upon trap completion and monitored and maintained erosion free during the life of the trap.
13. The structure shall be dewatered by approved methods, removed and the area stabilized when the drainage area has been properly stabilized.



Reviewed for: HOWARD S.C.D.
 and posts, Technical Requirements, Signature: [Signature] Date: 12/22/98
 U.S. Natural Resources Conservation Service

APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 1/14/99
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/21/99

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Approved: [Signature] Date: 12/22/98

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Wayne C. Flack
 NAME: Wayne C. Flack DATE: 8-18-98

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark
 NAME: G. NELSON CLARK DATE: 8-18-98

OWNER / DEVELOPER
 RESERVOIR OVERLOOK, L.C.
 6820 ELM STREET, SUITE 200
 MCLEAN, VIRGINIA 22101

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

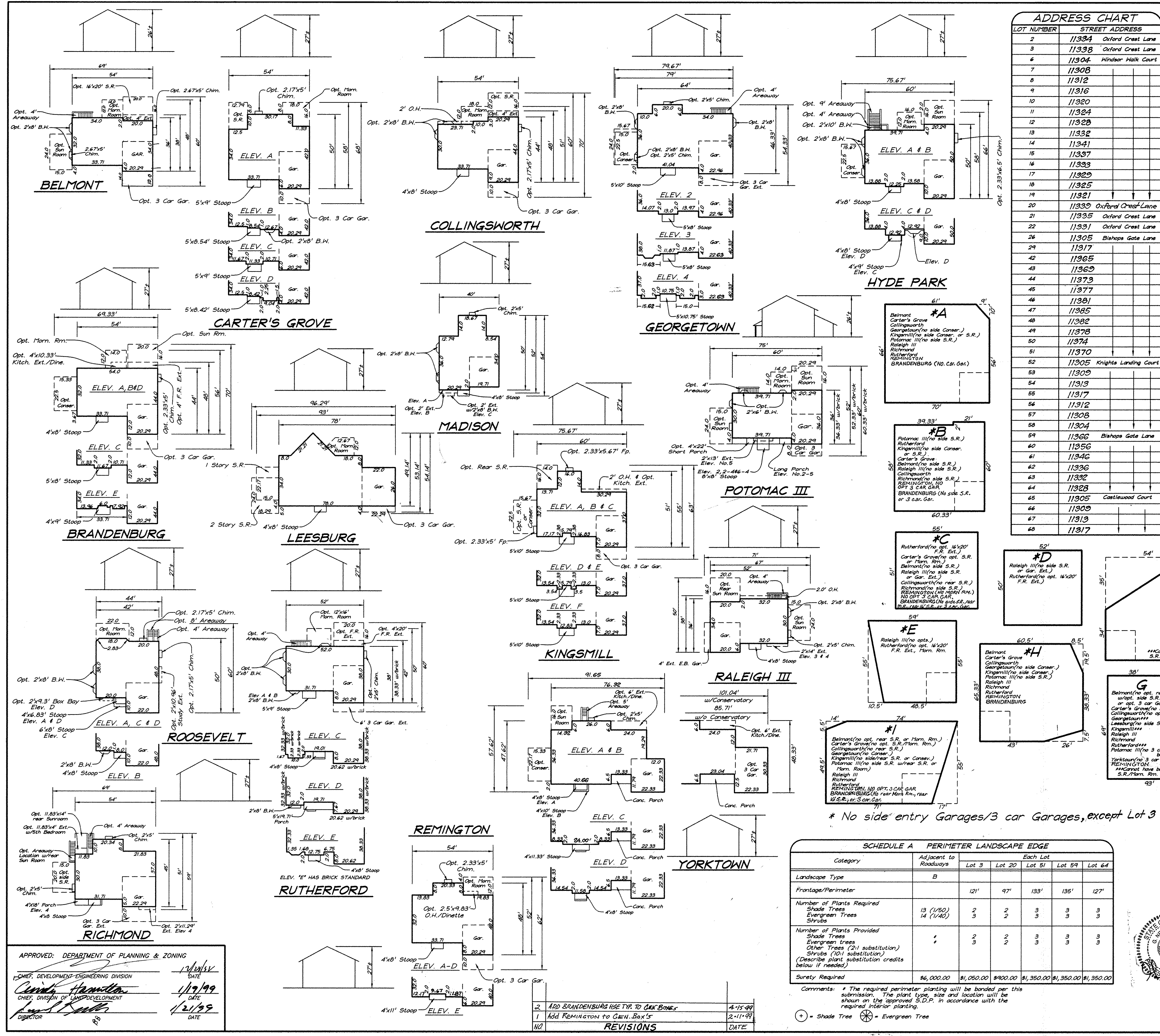
DESIGNED: TD
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 CHECKED: TD
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SCALE: NO SCALE
 DRAWING: 10 OF 10
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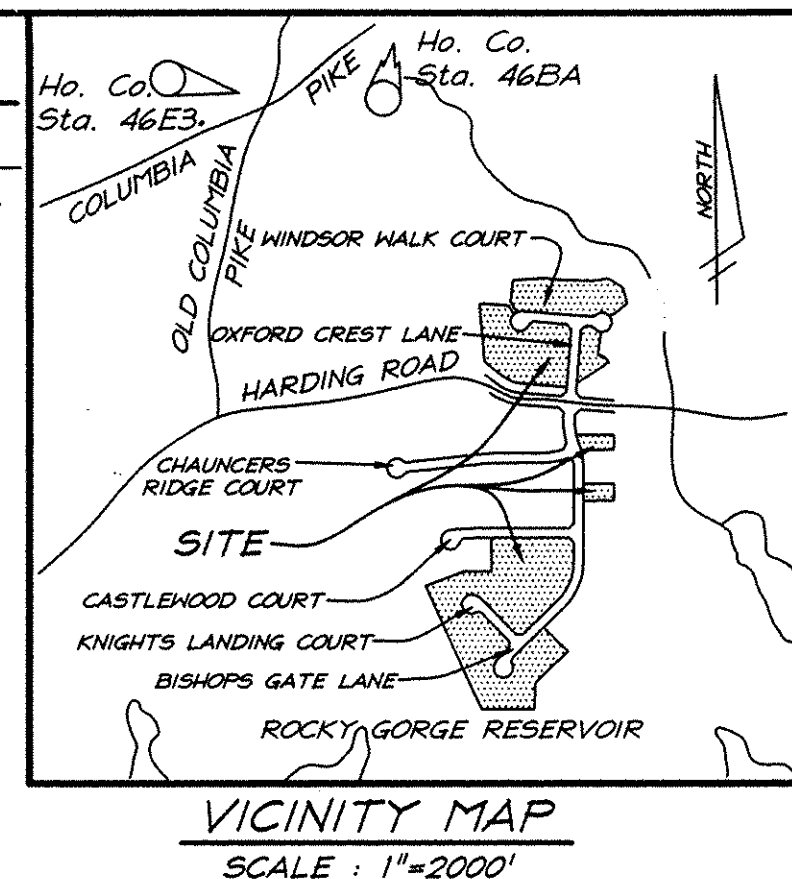
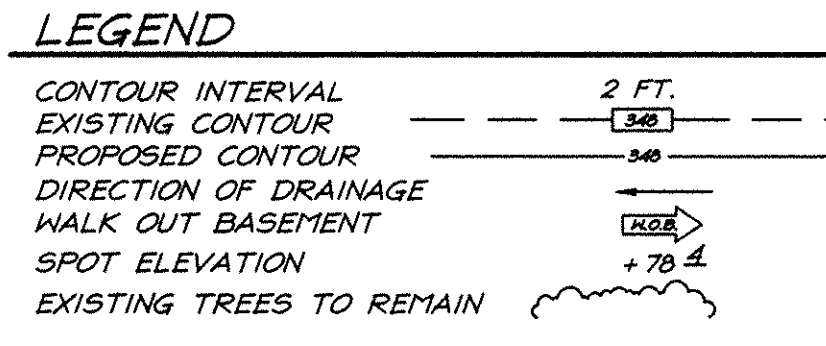
TAX MAP 46 PARCELS 15, 78, 186 & 187
 SIXTH (6th) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: NV HOMES
 2200 Defense Highway, Suite 301
 Crofton, Maryland 21114

SDP-00-23



LOT NUMBER	STREET ADDRESS
2	11334 Oxford Crest Lane
3	11338 Oxford Crest Lane
4	11304 Windsor Walk Court
7	11308
8	11312
9	11316
10	11320
11	11324
12	11328
13	11332
14	11341
15	11337
16	11333
17	11329
18	11325
19	11321
20	11339 Oxford Crest Lane
21	11335 Oxford Crest Lane
22	11331 Oxford Crest Lane
26	11305 Bishops Gate Lane
29	11317
42	11365
43	11369
44	11373
45	11377
46	11381
47	11385
48	11382
49	11378
50	11374
51	11370
52	11305 Knights Landing Court
53	11309
54	11313
55	11317
56	11312
57	11308
58	11304
59	11366 Bishops Gate Lane
60	11356
61	11346
62	11336
63	11332
64	11328
65	11305 Castlewood Court
66	11309
67	11313
68	11317



BENCHMARKS:
 Sta. #46E3
 Elevation 410.06
 N535, 610.721 E1, 337, 927.650
 Sta. #46BA
 Elevation 426.51
 N537, 545.849 E1, 339, 849.084

GENERAL NOTES:

- Subject property is zoned: R-20 per 10-18-93 Comprehensive Zoning Plan.
- The total area included in this submission is: 16.09 Acres.
- The total number of lots included in this submission is: 48
- Improvement to property: Single Family Detached
- SHC Elevations shown are at the Property line.
- Department of Planning and Zoning reference file numbers: F-88-12-S-97-07; WP-97-62; WP-97-138; F-98-03;
- Utilities shown as existing are taken from approved Water and Sewer Plans Contract #24-3671-D, approved Road Construction Plans F-98-61.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was taken from Road Construction Plans prepared by Mildenberg, Boender & Assoc., Inc. in Jan. 1998.
- The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Control stations: 46E3 & 46BA
- The contractor shall notify the Department of Public Works/Construction Inspection Division at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
- Stormwater Management is provided per: F-98-61
- This plan has been prepared in accordance with provision of Section 16-124 of the Howard County Code and the Landscape Manual. Financial Surety for the required 27 landscape trees in the amount of \$6,000.00 is part of the Builders Grading Permit application.
- Lot 2 is non-buildable until such time as lot 1 is connected to public sewer and the existing septic easement is properly abandoned.

SHEET INDEX		
DESCRIPTION	SHEET No.	
SITE DEVELOPMENT PLANS	1, 2, 3, 4, 5 of 10	
SEDIMENT AND EROSION CONTROL PLANS	6, 7, 8, 9, 10 of 10	

OWNER / DEVELOPER
 RESERVOIR OVERLOOK, L.C.
 6820 ELM STREET, SUITE 200
 McLEAN, VIRGINIA 22101

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-98-61 and/or approved Water and Sewer Plans Contract #24-3671-D.

Category	Adjacent to Roadways	Perimeter Landscape Edge				
		Lot 3	Lot 20	Each Lot	Lot 59	Lot 64
Landscape Type	B					
Frontage/Perimeter		121'	97'	133'	135'	127'
Number of Plants Required						
Shade Trees	13 (1/50)	2	2	3	3	3
Evergreen Trees	14 (1/40)	2	2	3	3	3
Shrubs						
Number of Plants Provided						
Shade Trees		2	2	3	3	3
Evergreen trees		2	2	3	3	3
Other Trees (2:1 substitution)						
Shrubs (10:1 substitution)						
(Describe plant substitution credits below if needed)						
Surety Required	\$6,000.00	\$1,050.00	\$900.00	\$1,350.00	\$1,350.00	\$1,350.00

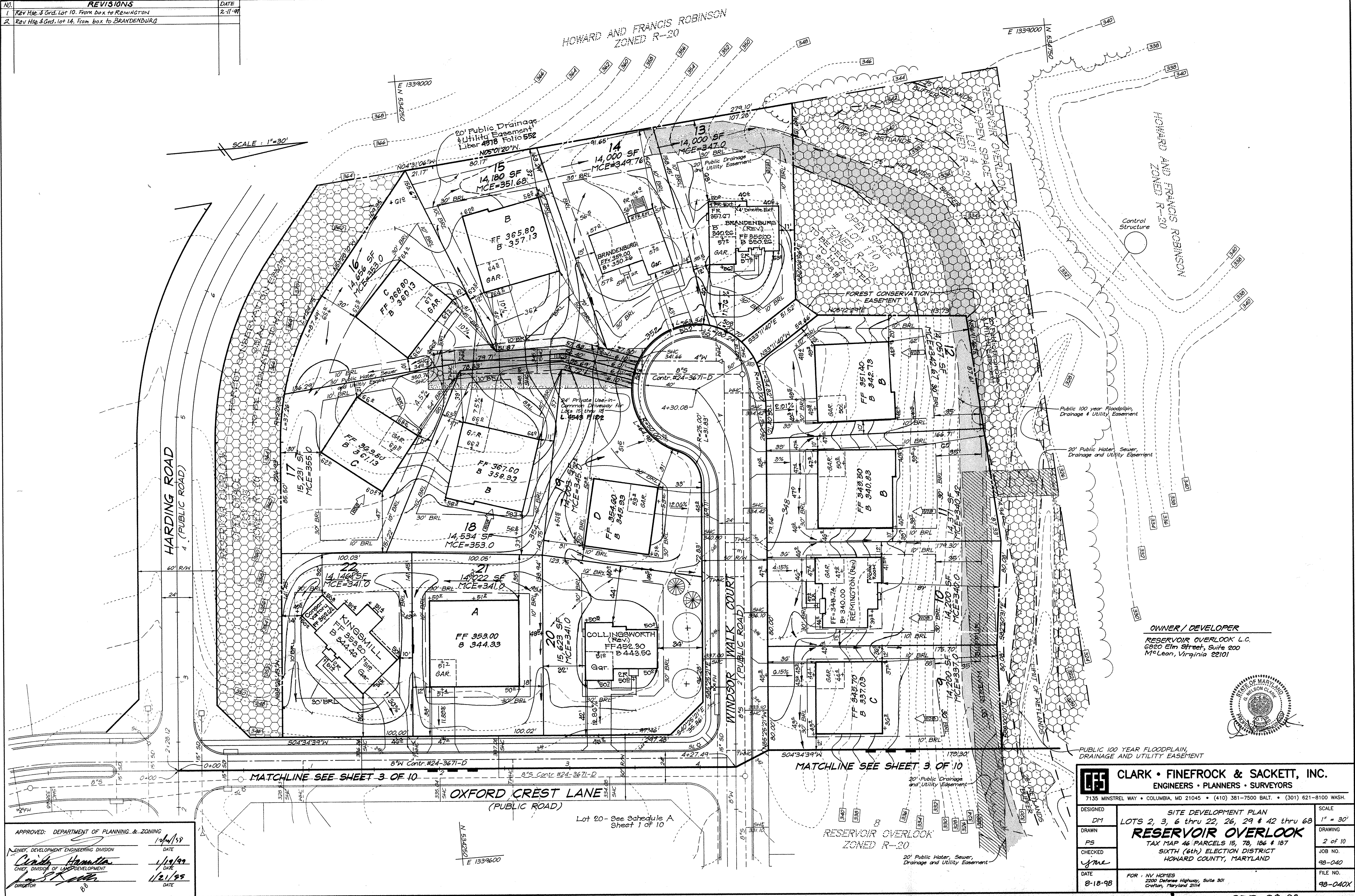
Comments: * The required perimeter planting will be bonded per this submission. The plant type, size and location will be shown on the approved S.D.P. in accordance with the required interior planting.

☉ = Shade Tree ☀ = Evergreen Tree

APPROVED: DEPARTMENT OF PLANNING & ZONING
 DATE: 1/19/99
 DATE: 1/21/99

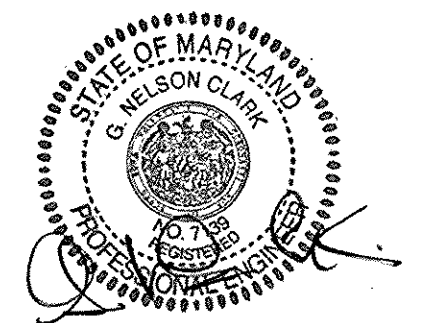
NO	REVISIONS	DATE
2	ADD BRANDENBURG USE TYP. TO CHK BOND	4-15-99
1	ADD REMINGTON TO GEN. BOX'S	2-11-99

NO.	REVISIONS	DATE
1	Rev Hse. & Grd. Lot 10. From box to REMINGTON	2-11-99
2	Rev Hse. & Grd. lot 14. From box to BRANDENBURG	

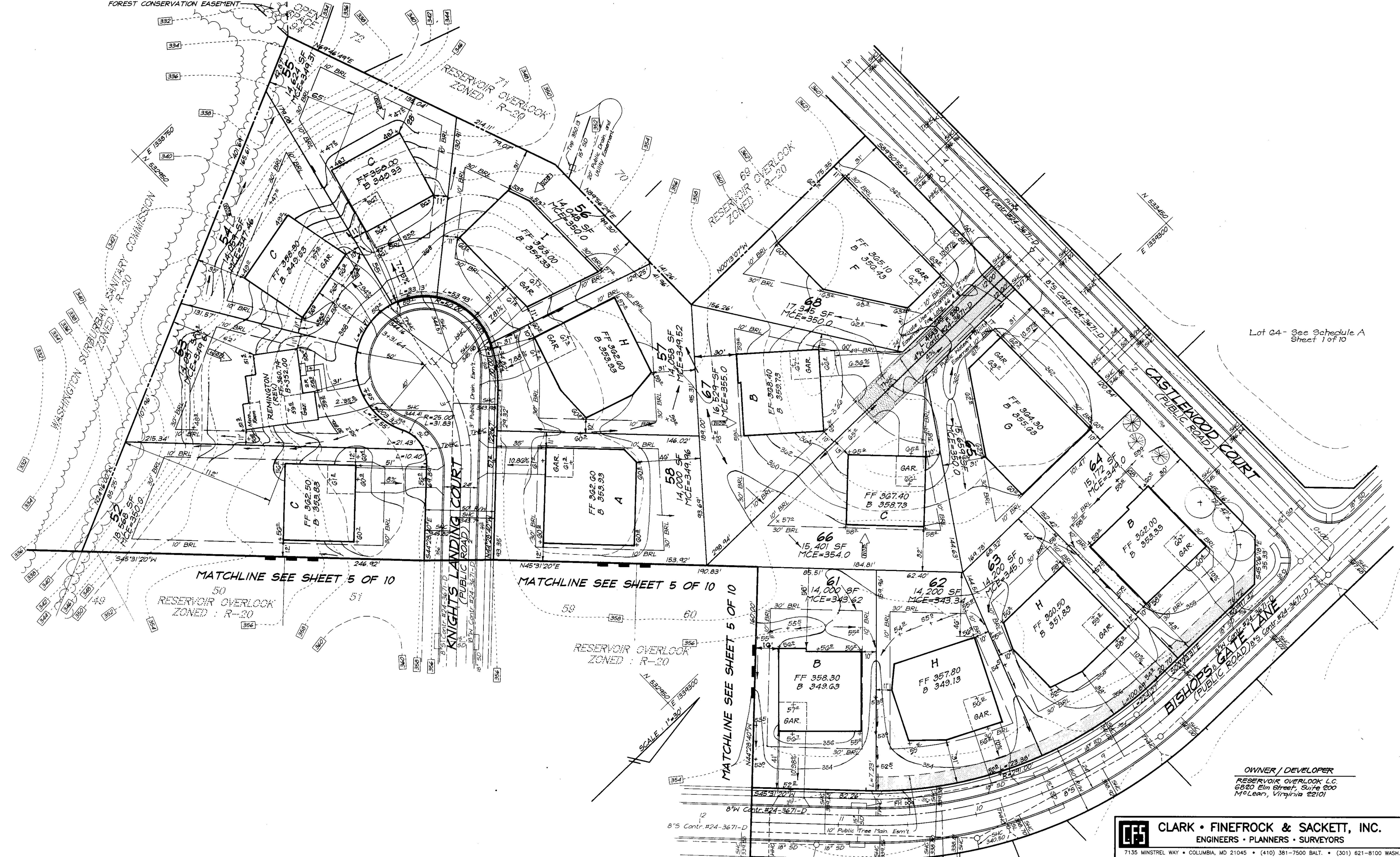


APPROVED: DEPARTMENT OF PLANNING & ZONING
 1/24/99
 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 C. Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE
 1/21/99
 DATE
 DIRECTOR

OWNER / DEVELOPER
 RESERVOIR OVERLOOK L.C.
 6820 Elm Street, Suite 200
 McLean, Virginia 22101



CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		SCALE 1" = 30' DRAWING 2 of 10 JOB NO. 98-040 FILE NO. 98-040X
DESIGNED DM DRAWN PS CHECKED Jme DATE 8-18-98	SITE DEVELOPMENT PLAN LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68 RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: NV HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114	



Lot 64- See Schedule A Sheet 1 of 10


MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

SCALE: 1"=30'

OWNER / DEVELOPER
 RESERVOIR OVERLOOK L.C.
 6820 Elm Street, Suite 200
 McLean, Virginia 22101

 CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.				
DESIGNED	DM	SITE DEVELOPMENT PLAN RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE	1" = 30'
DRAWN	PS		JOB NO.	4 of 10
CHECKED	gme		JOB NO.	98-040
DATE	8-18-98		FILE NO.	98-040X
FOR: NY HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114				

APPROVED: DEPARTMENT OF PLANNING & ZONING

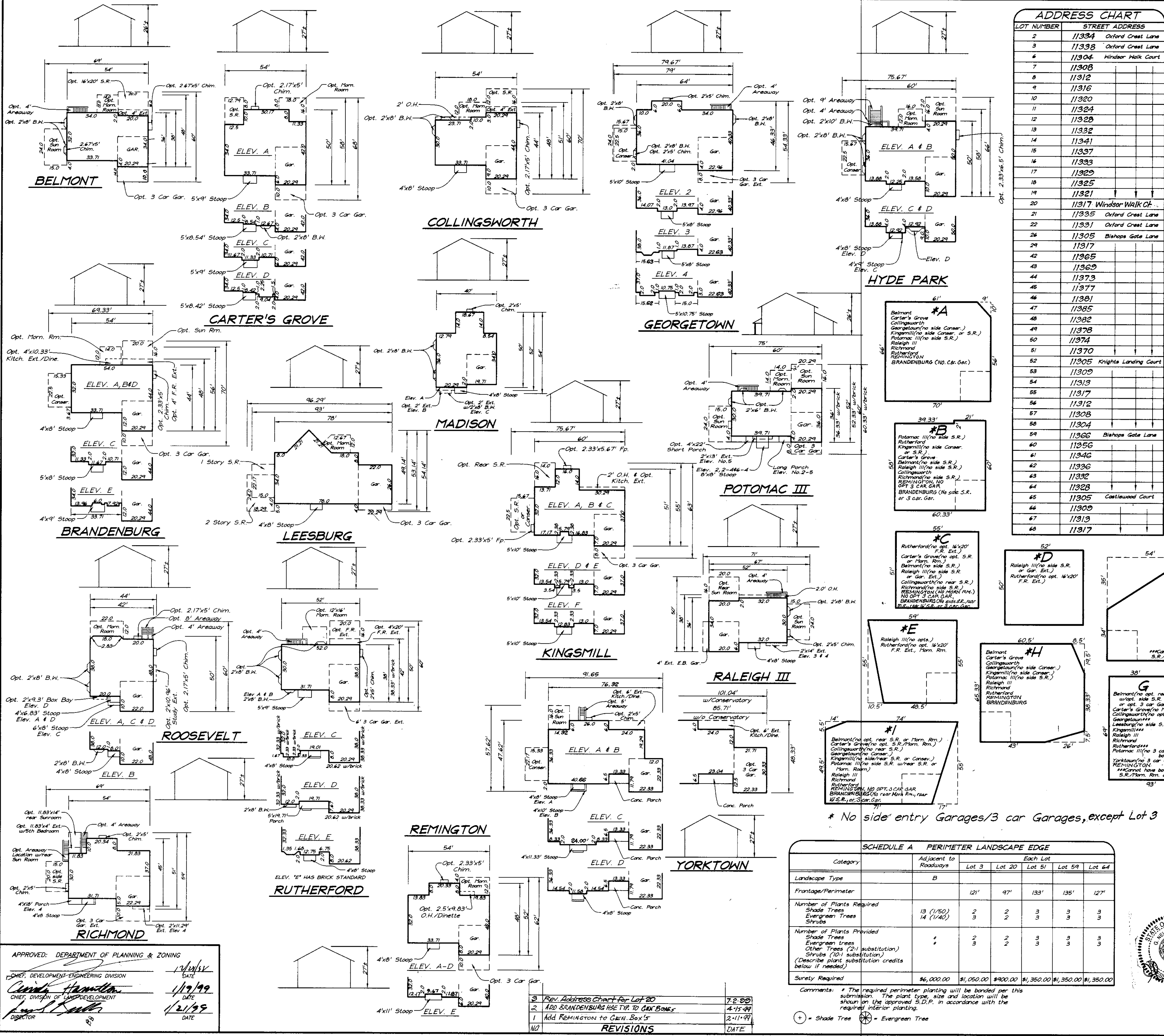
1/4/00 DATE

1/19/99 DATE

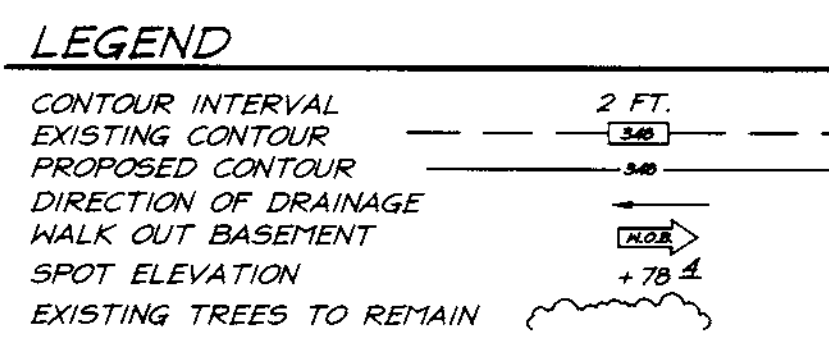
1/21/99 DATE

1-7-00 DATE

NO.	REVISIONS	DATE
1	Rev. Hse 8 Grd lot 53	1-7-00

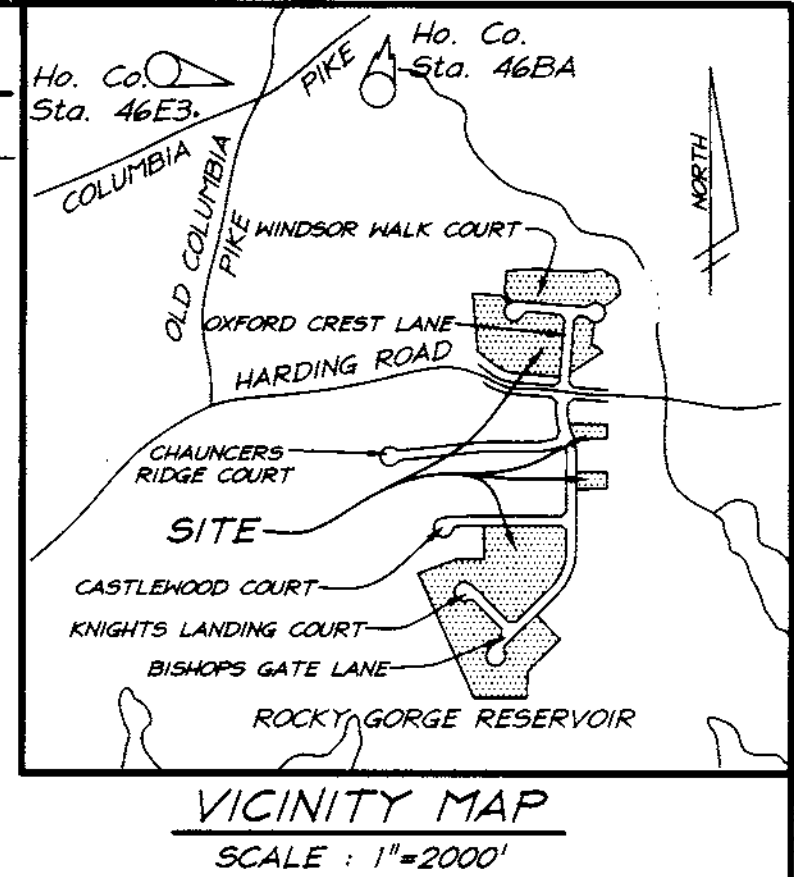


ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
2	11334 Oxford Crest Lane
3	11338 Oxford Crest Lane
6	11304 Windsor Walk Court
7	11308
8	11312
9	11316
10	11320
11	11324
12	11328
13	11332
14	11341
15	11337
16	11333
17	11329
18	11325
19	11321
20	11317 Windsor Walk Ct.
21	11335 Oxford Crest Lane
22	11331 Oxford Crest Lane
24	11305 Bishops Gate Lane
26	11317
42	11365
43	11369
44	11373
45	11377
46	11381
47	11385
48	11382
49	11378
50	11374
51	11370
52	11305 Knights Landing Court
53	11309
54	11313
55	11317
56	11312
57	11308
58	11304
59	11366 Bishops Gate Lane
60	11356
61	11346
62	11336
63	11332
64	11328
65	11305 Castlewood Court
66	11309
67	11313
68	11317



BENCHMARKS:

Sta. #46E3	Elevation 410.06
N535, 610, 721	E1, 337, 927, 650
Sta. #46BA	Elevation 426.51
N537, 545, 849	E1, 339, 849, 084



- GENERAL NOTES:**
- Subject property is zoned: R-20 per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 16.09 Acres.
 - The total number of lots included in this submission is: 48.
 - Improvement to property: Single Family Detached.
 - SHC Elevations shown are at the Property line.
 - Department of Planning and Zoning reference file numbers: F-88-12, S-97-07, WP-97-62, WP-97-138, P-98-03.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #24-3671-D, approved Road Construction Plans F-98-61.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
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 - The existing topography was taken from Road Construction Plans prepared by Mildenberg, Boender & Assoc., Inc. in Jan. 1998.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Control stations: 46E3 & 46BA.
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 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - Stormwater Management is provided per: F-98-61.
 - This plan has been prepared in accordance with provision of Section 16-124 of the Howard County Code and the Landscape Manual. Financial surety for the required 27 landscape trees in the amount of \$6,000.00 is part of the Builders Grading Permit application.
 - Lot 2 is non-buildable until such time as lot 1 is connected to public sewer and the existing septic easement is properly abandoned.

SHEET INDEX

DESCRIPTION	SHEET No.
SITE DEVELOPMENT PLANS	1, 2, 3, 4, 5, 6, 7, 8, 9, 10
SEDIMENT AND EROSION CONTROL PLANS	6, 7, 8, 9, 10 of 10

OWNER / DEVELOPER
 RESERVOIR OVERLOOK, L.C.
 6820 ELM STREET, SUITE 200
 MCLEAN, VIRGINIA 22101

SPECIAL NOTES:
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-98-61 and/or approved Water and Sewer Plans Contract #24-3671-D.

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Each Lot			
		Lot 3	Lot 20	Lot 51	Lot 64
Landscape Type	B				
Frontage/Perimeter		121'	97'	133'	127'
Number of Plants Required					
Shade Trees	13 (1/50)	2	2	3	3
Evergreen Trees	14 (1/40)	3	3	3	3
Number of Plants Provided					
Shade Trees	*	2	2	3	3
Evergreen trees	*	3	2	3	3
Other Trees (2:1 substitution)					
Shrubs (10:1 substitution)					
(Describe plant substitution credits below if needed)					
Surety Required		\$6,000.00	\$1,050.00	\$900.00	\$1,350.00

Comments: * The required perimeter planting will be bonded per this submission. The plant type, size and location will be shown on the approved S.D.P. in accordance with the required interior planting.

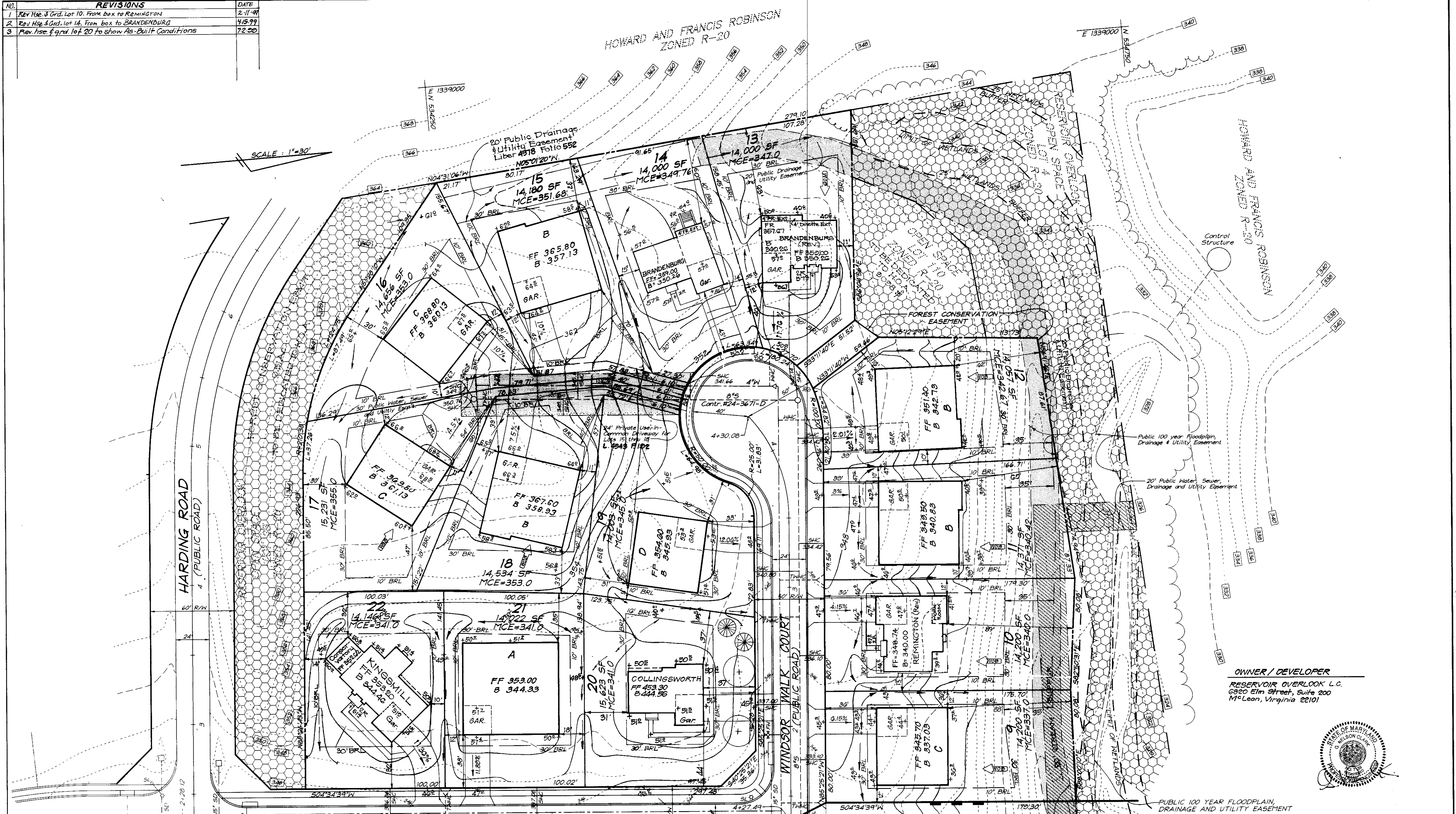
○ = Shade Tree ⊙ = Evergreen Tree

APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT-ENGINEERING DIVISION
 DATE: 1/21/99
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/21/99

REVISIONS

NO.	REVISIONS	DATE
3	Rev. Address Chart for Lot 20	7.2.99
2	Add BRANDENBURG USE TRIP TO GEN. BOX 5	4.15.99
1	Add REMINGTON TO GEN. BOX 5	2.11.99

NO.	REVISIONS	DATE
1	Rev Hse. & Grd. lot 10. From box to REMINGTON	2-11-99
2	Rev Hse. & Grd. lot 1A. From box to BRANDENBURG	4-6-99
3	Rev. hse. of grd. lot 20 to show As-Built Conditions	7-2-00



APPROVED: DEPARTMENT OF PLANNING & ZONING

DATE: 1/24/99

DATE: 1/19/99

DATE: 1/21/99

DATE: 8-18-98

MATCHLINE SEE SHEET 3 OF 10

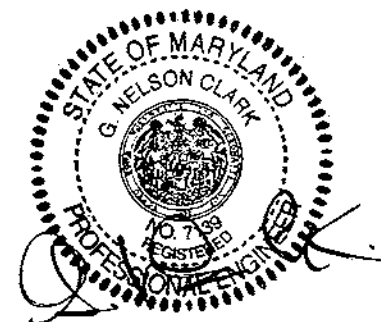
OXFORD CREST LANE
(PUBLIC ROAD)

Lot 20 - See Schedule A
Sheet 1 of 10

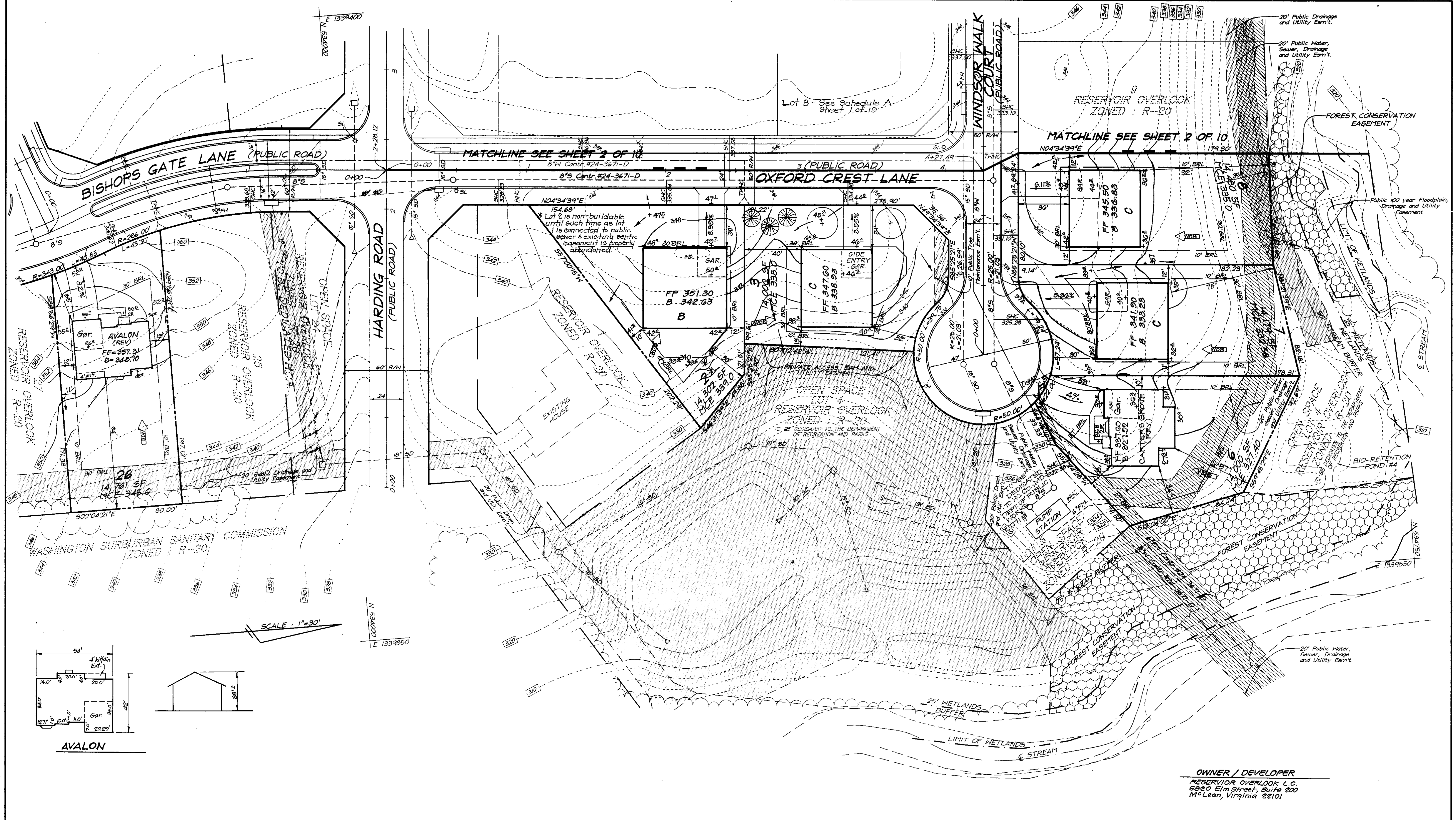
MATCHLINE SEE SHEET 3 OF 10

RESERVOIR OVERLOOK
ZONED R-20

OWNER / DEVELOPER
RESERVOIR OVERLOOK L.C.
6820 Elm Street, Suite 200
McLean, Virginia 22101



CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED DM	SITE DEVELOPMENT PLAN LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68 RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 106 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN PS		DRAWING 2 of 10
CHECKED Jme		JOB NO. 98-040
DATE 8-18-98		FILE NO. 98-040X
FOR: NY HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114		



APPROVED: DEPARTMENT OF PLANNING & ZONING
 1/24/99
 1/19/99
 1/21/99
 DATE

CONDR HAMILTON
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

NO	REVISIONS	DATE
2	Rev. hse & grd. lot 26 from Victoria to Avalon Pond hse. type	4-20-00
1	Rev. Hse & Grd lot 26	4-6-00

OWNER / DEVELOPER
 RESERVOIR OVERLOOK L.C.
 6820 Elm Street, Suite 200
 McLean, Virginia 22101

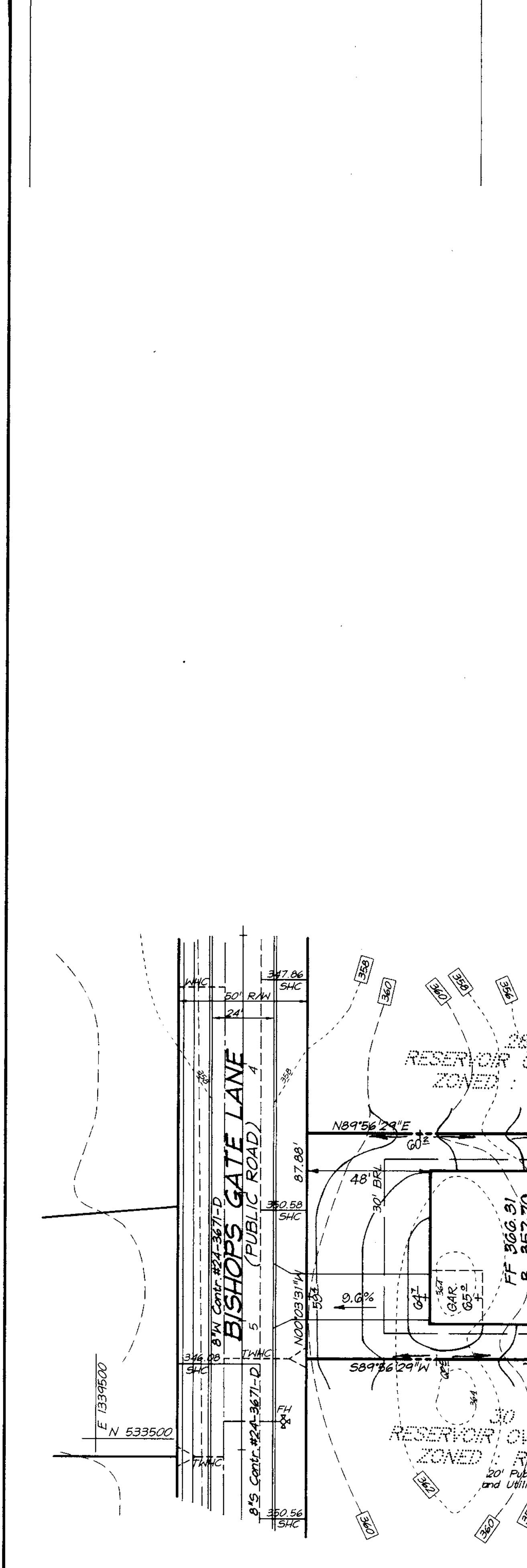
CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

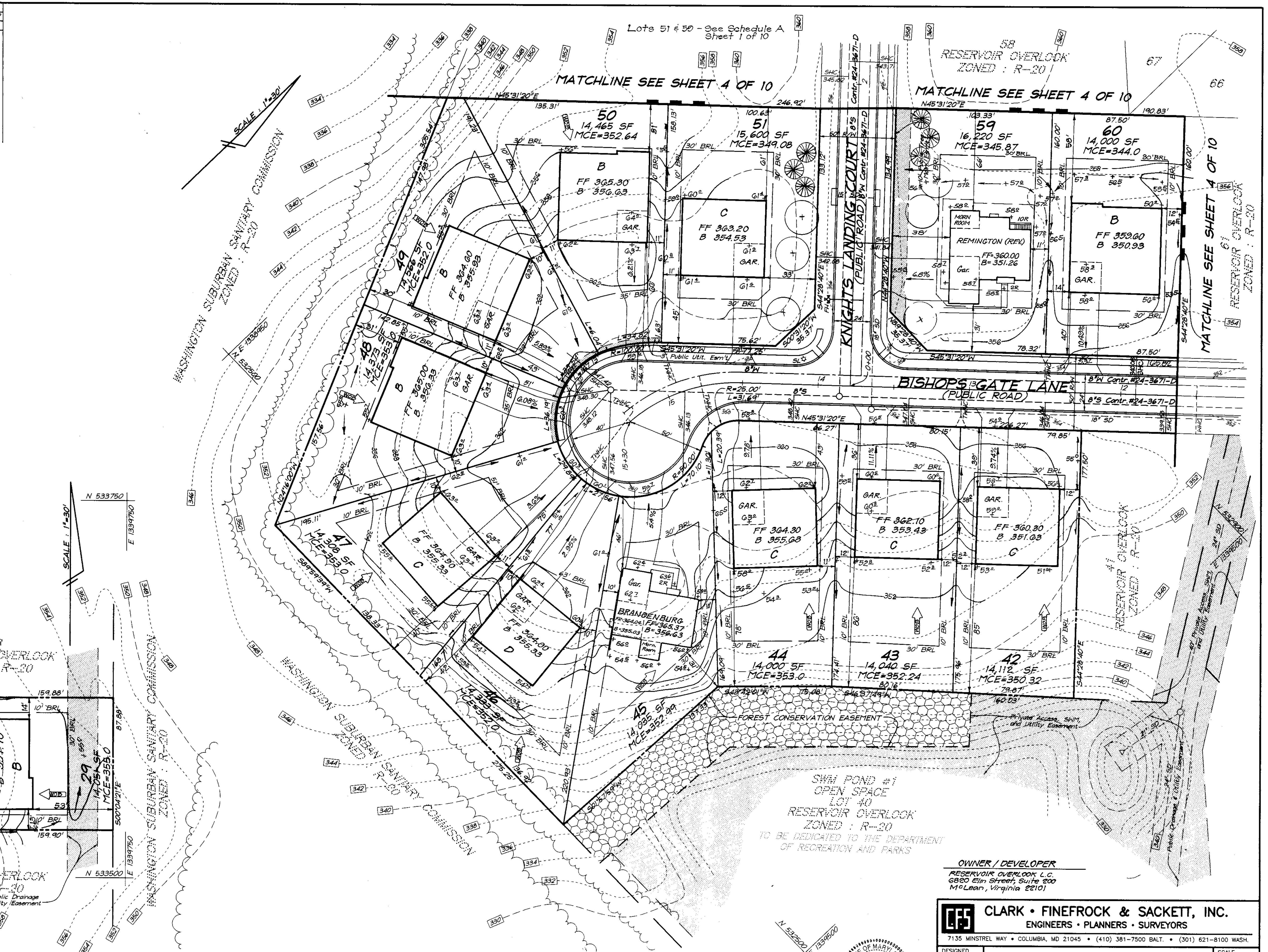
DESIGNED DM	SITE DEVELOPMENT PLAN RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN PS		DRAWING 3 of 10
CHECKED jme		JOB NO. 98-040
DATE 8-18-98		FILE NO. 98-040X
FOR: NV HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114		



NO.	REVISIONS	DATE
1	Rev. Hse & Grd lot 59	10/25/99
2	Rev. Hse & Grd lot 45	1-6-00



APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Clara Hamilton 1/19/99
 CHIEF, DIVISION OF LAND DEVELOPMENT
David Sackett 1/21/99



SWM POND #1
 OPEN SPACE
 LOT 40
 RESERVOIR OVERLOOK
 ZONED : R-20
 TO BE DEDICATED TO THE DEPARTMENT
 OF RECREATION AND PARKS

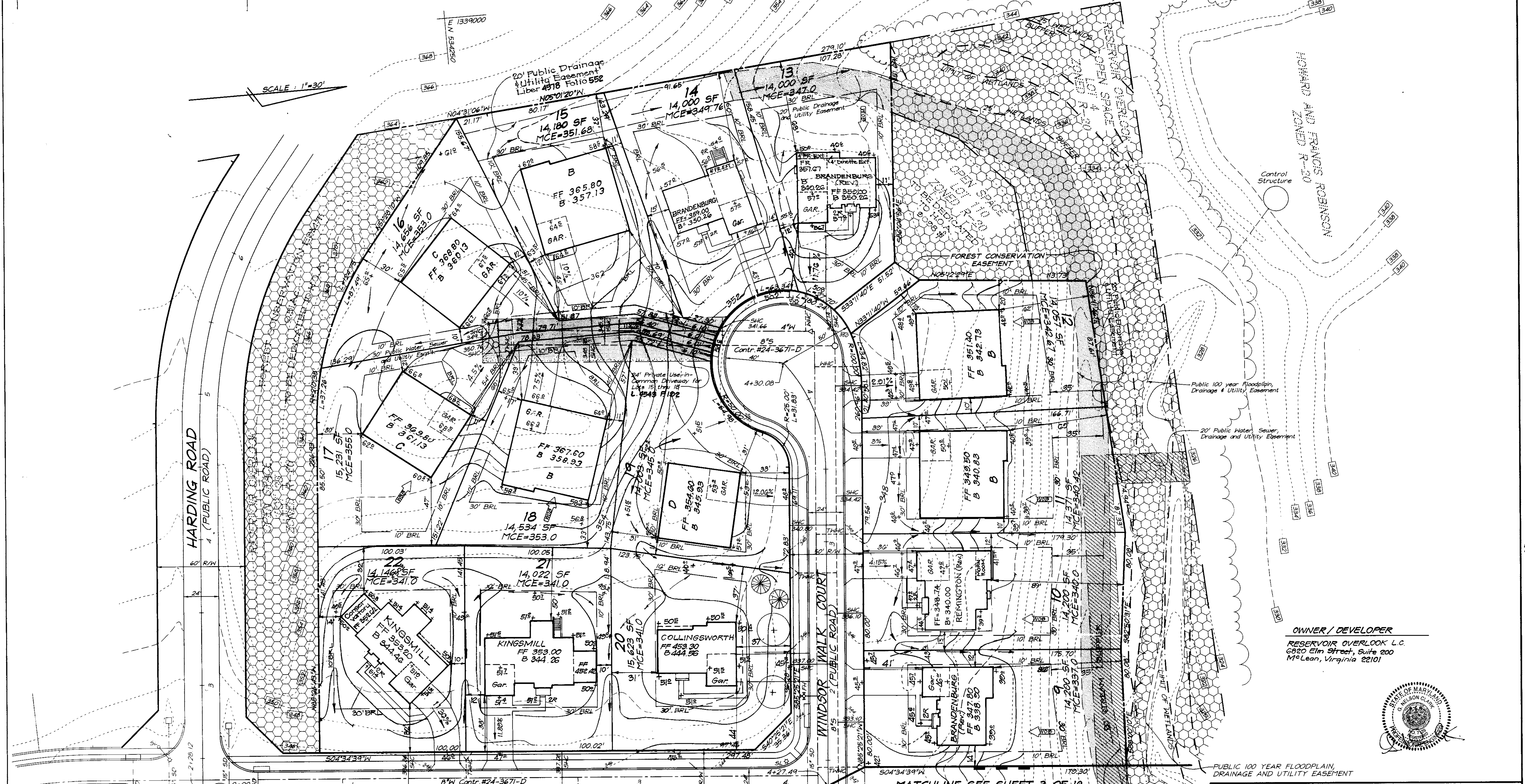
OWNER / DEVELOPER
 RESERVOIR OVERLOOK L.C.
 6820 Elm Street, Suite 200
 McLean, Virginia 22101

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		DESIGNED	SITE DEVELOPMENT PLAN	SCALE
		DRAWN	LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68	1" = 30'
CHECKED	RESERVOIR OVERLOOK	DRAWING	5 of 10	JOB NO.
DATE	TAX MAP 46 PARCELS 15, 78, 186 & 187	98-040	FILE NO.	98-040X
	SIXTH (6th) ELECTION DISTRICT			
	HOWARD COUNTY, MARYLAND			
	FOR: NY HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114			

NO.	REVISIONS	DATE
1	Rev Hse. & Ord. lot 10. From box to REMINGTON	2-11-99
2	Rev Hse. & Ord. lot 14. From box to BRANDENBURG	4-15-99
3	Rev. hse. & ord. lot 20 to show As-Built Conditions	7-20-99
4	Rev. hse. & ord. lot 9 to show As-Built Conditions	7-30-99
5	Rev. hse. & ord. lot 21	8-2-99

HOWARD AND FRANCIS ROBINSON
ZONED R-20

SCALE: 1"=30'



OWNER / DEVELOPER
RESERVOIR OVERLOOK L.C.
6820 Elm Street, Suite 200
McLean, Virginia 22101



PUBLIC 100 YEAR FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT

MATCHLINE SEE SHEET 3 OF 10

MATCHLINE SEE SHEET 3 OF 10

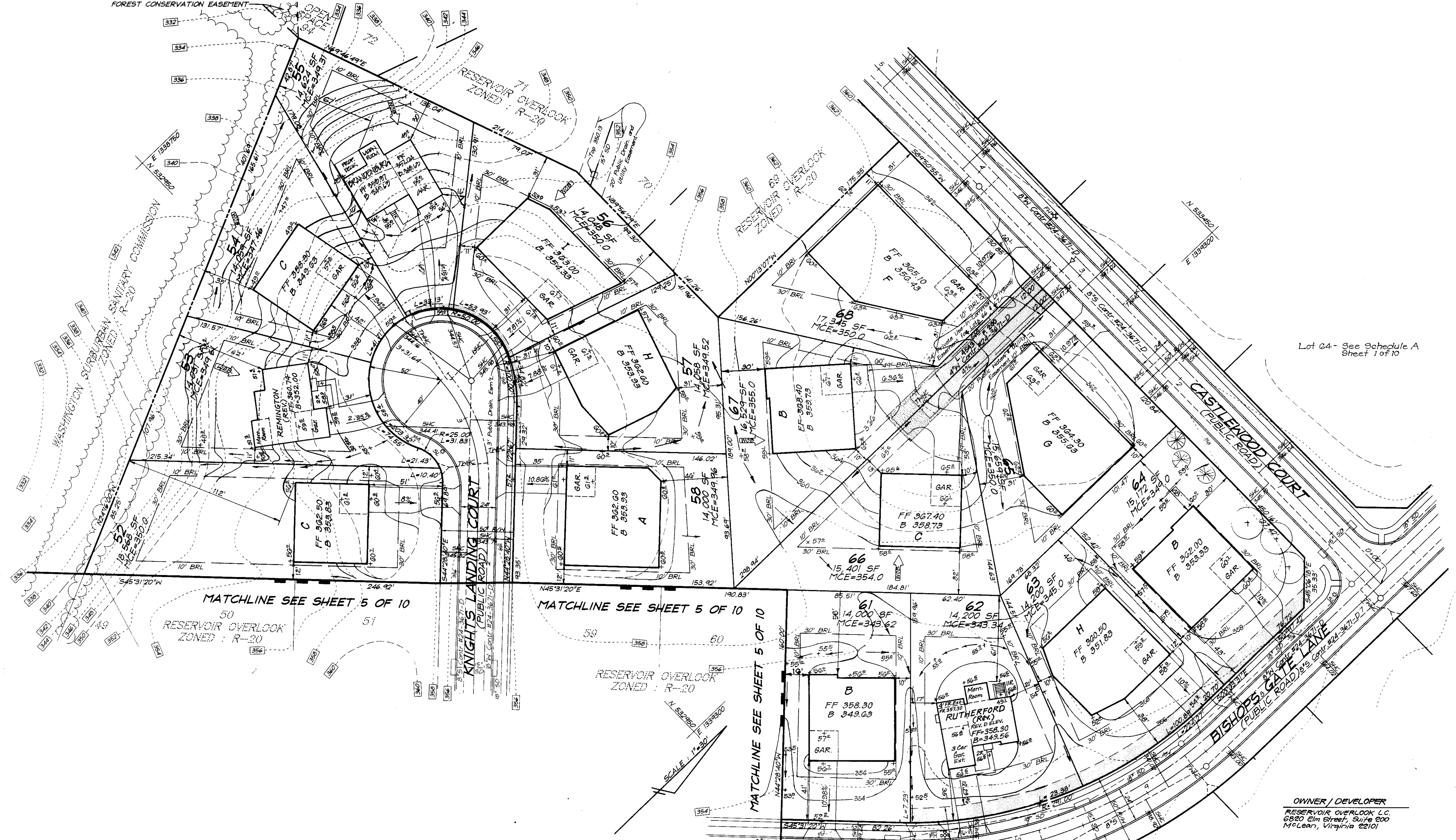
OXFORD CREST LANE
(PUBLIC ROAD)

Lot 20 - See Schedule A
Sheet 1 of 10

RESERVOIR OVERLOOK
ZONED R-20

APPROVED: DEPARTMENT OF PLANNING & ZONING
1/21/99
DATE
1/21/99
DATE
1/21/99
DATE

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		SCALE 1" = 30' DRAWING 2 of 10 JOB NO. 98-040 FILE NO. 98-040X
DESIGNED DM DRAWN PS CHECKED Jme DATE 8-18-98	SITE DEVELOPMENT PLAN LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68 RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 106 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FOR: NY HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114



Lot 64- See Schedule A Sheet 1 of 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

SCALE: 1" = 30'

OWNER / DEVELOPER
RESERVOIR OVERLOOK L.C.
6820 Elm Street, Suite 200
McLean, Virginia 22101

APPROVED: DEPARTMENT OF PLANNING & ZONING
DATE: 11/19/99
DATE: 11/21/99

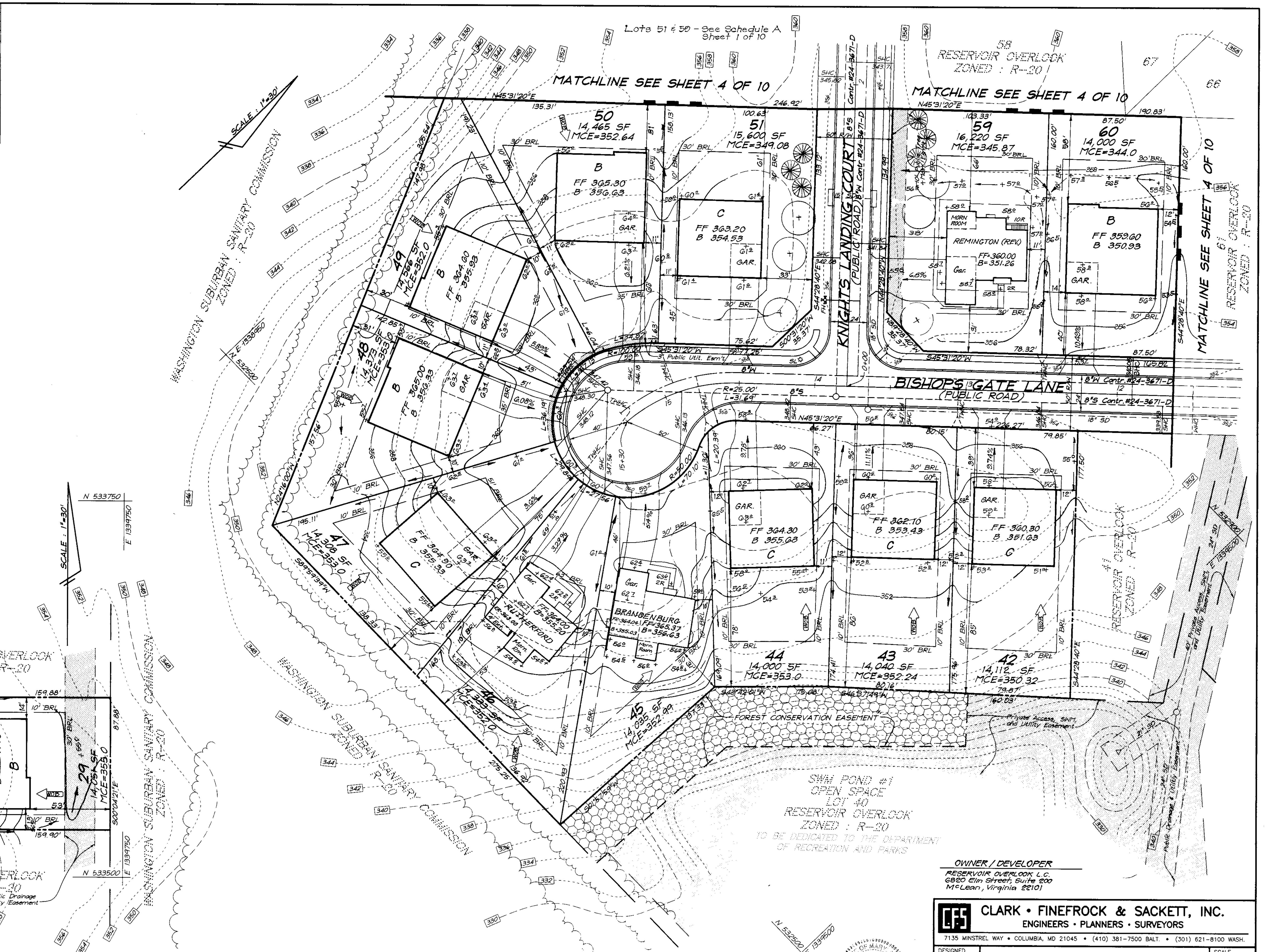
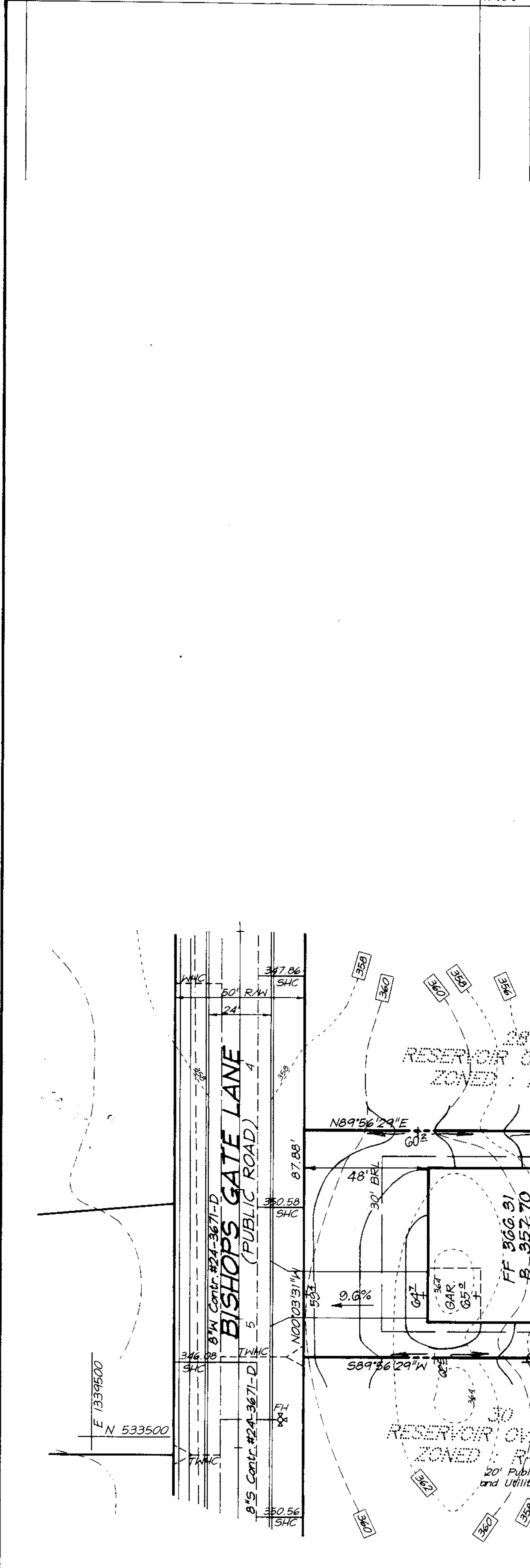
NO.	REVISIONS	DATE
3	REV. Hse & Grd. lot 62	5-15-00
4	REV. Hse & Grd. LOT 55 FROM 'C' BOX TO BRANDENBURG	3-17-00
1	REV. Hse & Grd. lot 53	1-7-00

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED DM	SITE DEVELOPMENT PLAN RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN PS		4 of 10
CHECKED jmw		JOB NO. 98-040
DATE 8-18-98		FILE NO. 98-040X
FOR: NV HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114		



NO.	REVISIONS	DATE
1	Rev. Hse & Grd lot 59	10/28/99
2	Rev. Hse & Grd lot 45	1-6-00
3	Rev. Hse & Grd lot 46	2-16-00

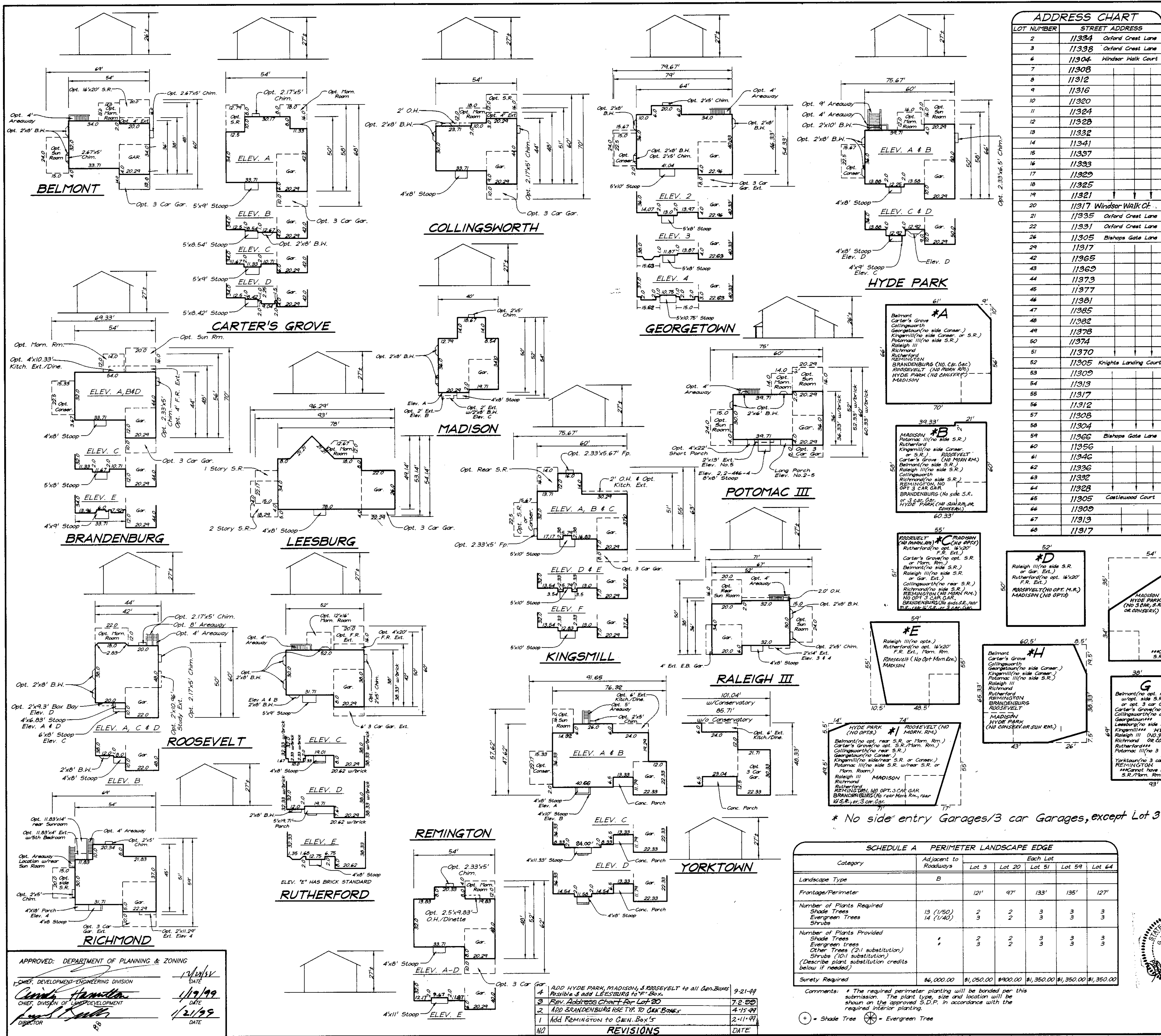


APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cathy Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT
Paul Sackett
 DATE: 1/19/99
 DATE: 1/21/99

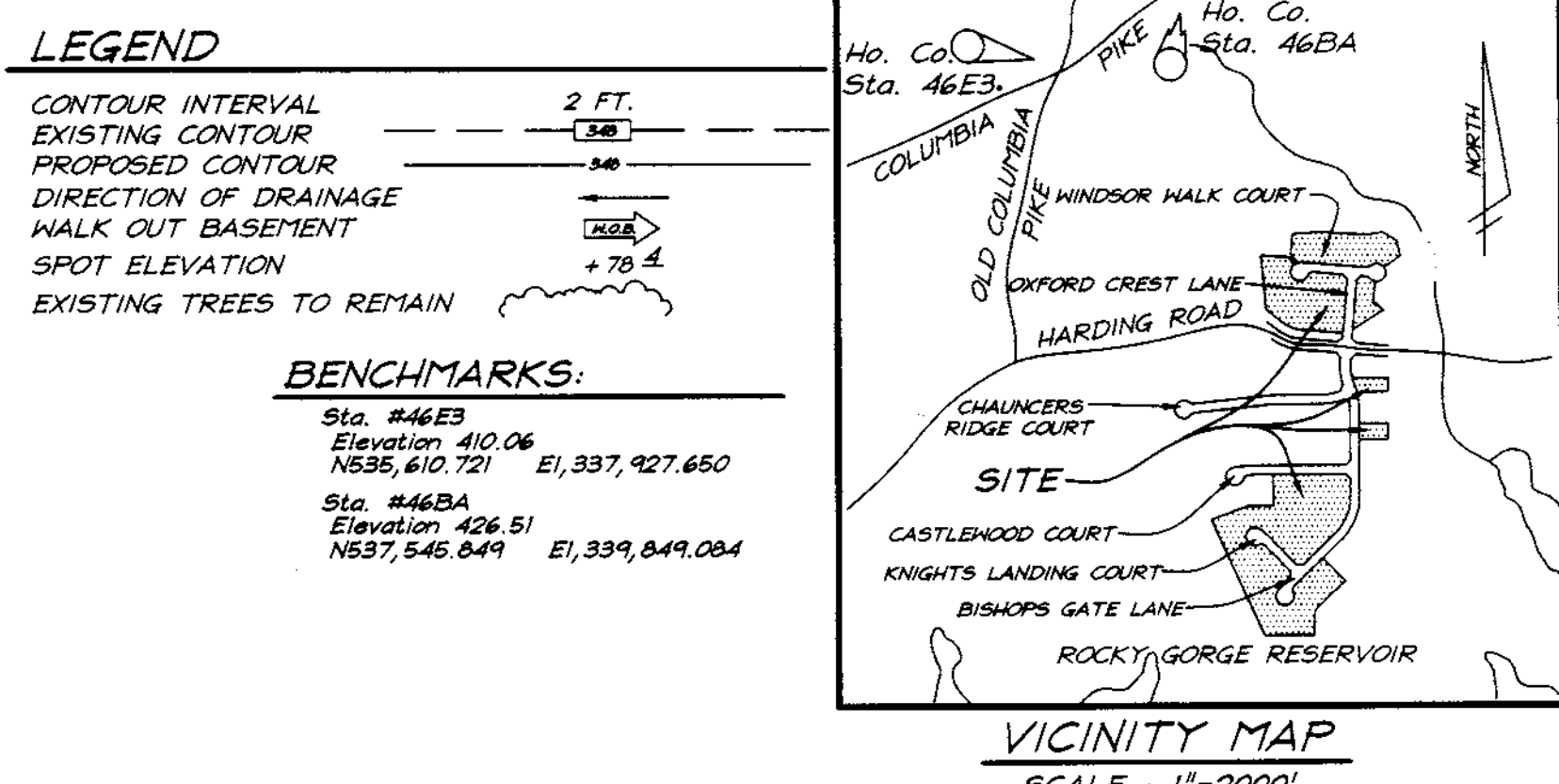
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 ENGINEERS • PLANNERS • SURVEYORS
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DESIGNED	DM	SITE DEVELOPMENT PLAN LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68 RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (64th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE	1" = 30'	
DRAWN	PS		DRAWING	5 of 10	
CHECKED	jfw		JOB NO.	98-040	
DATE	B-18-98		FOR: NY HOMES	FILE NO.	98-040X
			2200 Defense Highway, Suite 301 Crofton, Maryland 21114		



LOT NUMBER	STREET ADDRESS
2	11384 Oxford Crest Lane
3	11338 Oxford Crest Lane
6	11304 Windsor Walk Court
7	11308
8	11312
9	11316
10	11320
11	11324
12	11328
13	11332
14	11341
15	11337
16	11333
17	11329
18	11325
19	11321
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29	11317
42	11965
43	11369
44	11373
45	11377
46	11381
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- GENERAL NOTES:**
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DESCRIPTION	SHEET No.
SITE DEVELOPMENT PLANS	1, 2, 3, 4, 5 of 10
SEDIMENT AND EROSION CONTROL PLANS	6, 7, 8, 9, 10 of 10

OWNER/DEVELOPER
RESERVOIR OVERLOOK, L.C.
 6820 ELM STREET, SUITE 200
 McLEAN, VIRGINIA 22101

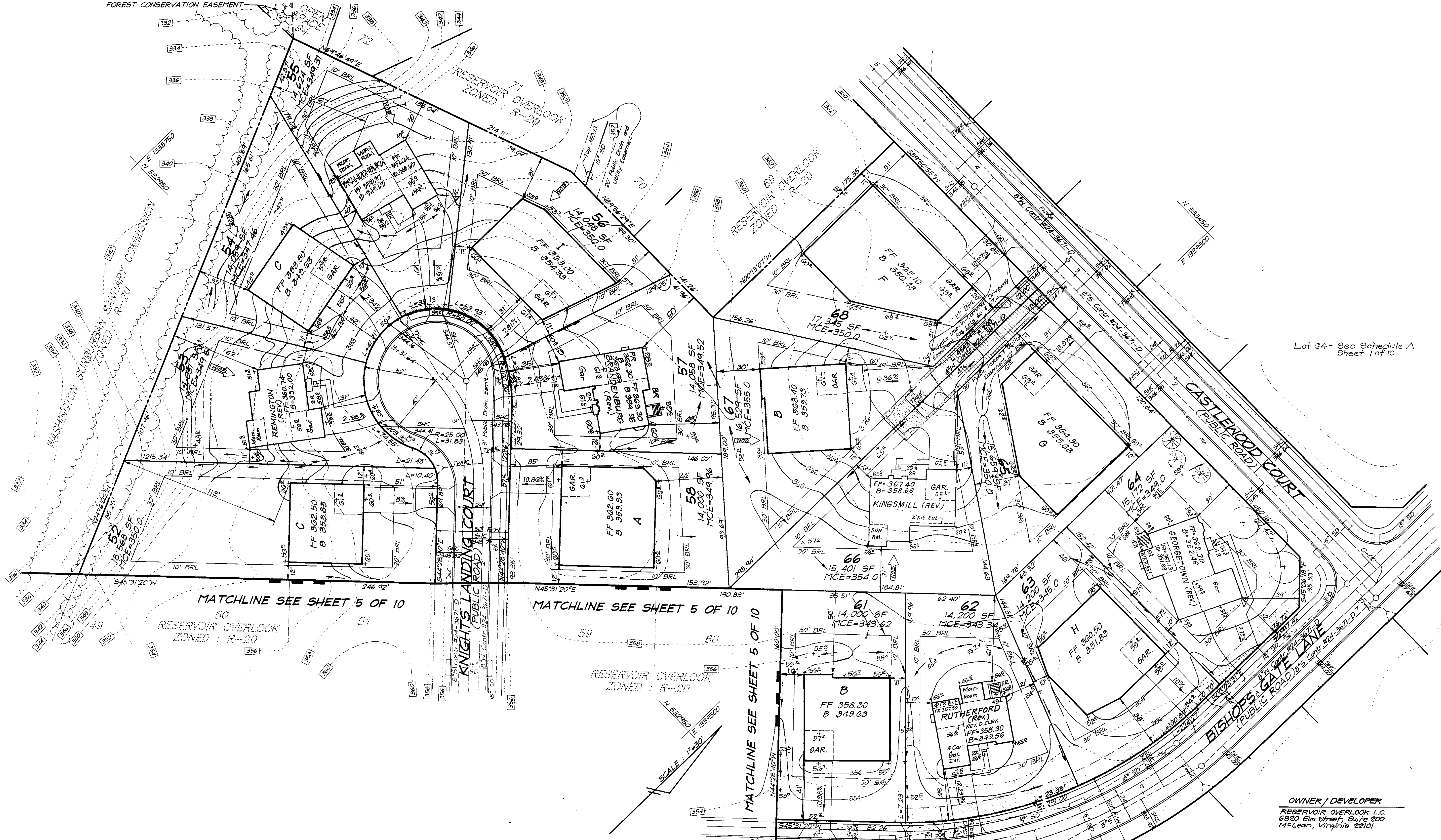
SPECIAL NOTES:
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-98-61 and/or approved Water and Sewer Plans Contract #24-3671-D.

Category	Adjacent to Roadways					Each Lot
	Lot 3	Lot 20	Lot 51	Lot 59	Lot 64	
Landscape Type	B					
Frontage/Perimeter	121'	97'	133'	135'	127'	
Number of Plants Required						
Shade Trees	13 (1/50)	2	2	3	3	3
Evergreen Trees	14 (1/40)	3	2	3	3	3
Shrubs						
Number of Plants Provided						
Shade Trees	*	2	2	3	3	3
Evergreen Trees						
Other Trees (2:1 substitution)		3	2	3	3	3
Shrubs (10:1 substitution)						
(Describe plant substitution credits below if needed.)						
Surety Required	\$6,000.00	\$1,050.00	\$900.00	\$1,350.00	\$1,350.00	\$1,350.00

Comments: * The required perimeter planting will be bonded per this submission. The plant type, size and location will be shown on the approved S.D.P. in accordance with the required interior planting.
 ⊕ = Shade Tree ⊗ = Evergreen Tree

REVISIONS	DATE
1 ADD HYDE PARK, MADISON, & ROOSEVELT to all Gen.Boxes	9-21-99
2 Possible 3 add LEESBURG to "F-Box"	7-2-99
3 Rev. Address Chart for Lot 20	7-2-99
4 Add BRANDENBURG USE TYP. TO GEN.BOXES	7-2-99
1 Add REMINGTON to GEN.Box 5	2-11-99
NO	

APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT-ENGINEERING DIVISION
 DATE: 1/19/99
 CHIEF, DIVISION OF SITE DEVELOPMENT
 DATE: 1/21/99
 DIRECTOR



Lot G4- See Schedule A Sheet 1 of 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

OWNER / DEVELOPER
 RESERVOIR OVERLOOK L.C.
 6820 Elm Street, Suite 200
 McLean, Virginia 22101

APPROVED: DEPARTMENT OF PLANNING & ZONING
 DATE: 11/19/99
 DATE: 11/21/99

NO.	REVISIONS	DATE
5	Rev. hse. & grad. lot 66 from 'C' Box to Kingsmill (Rev.)	7-6-00
4	Rev. hse. & grad. lot 64 from 'B' Box to Georgetown (Rev.)	6-16-00
3	Rev. hse. & grad. lot 57	5-15-00
2	Rev. hse. & grad. lot 62	3-17-00
1	REV. HSE. & GRAD. LOT 55 FROM 'C' BOX TO BRANDENBURG	1-7-00
1	Rev. Hse & Grad lot 53	

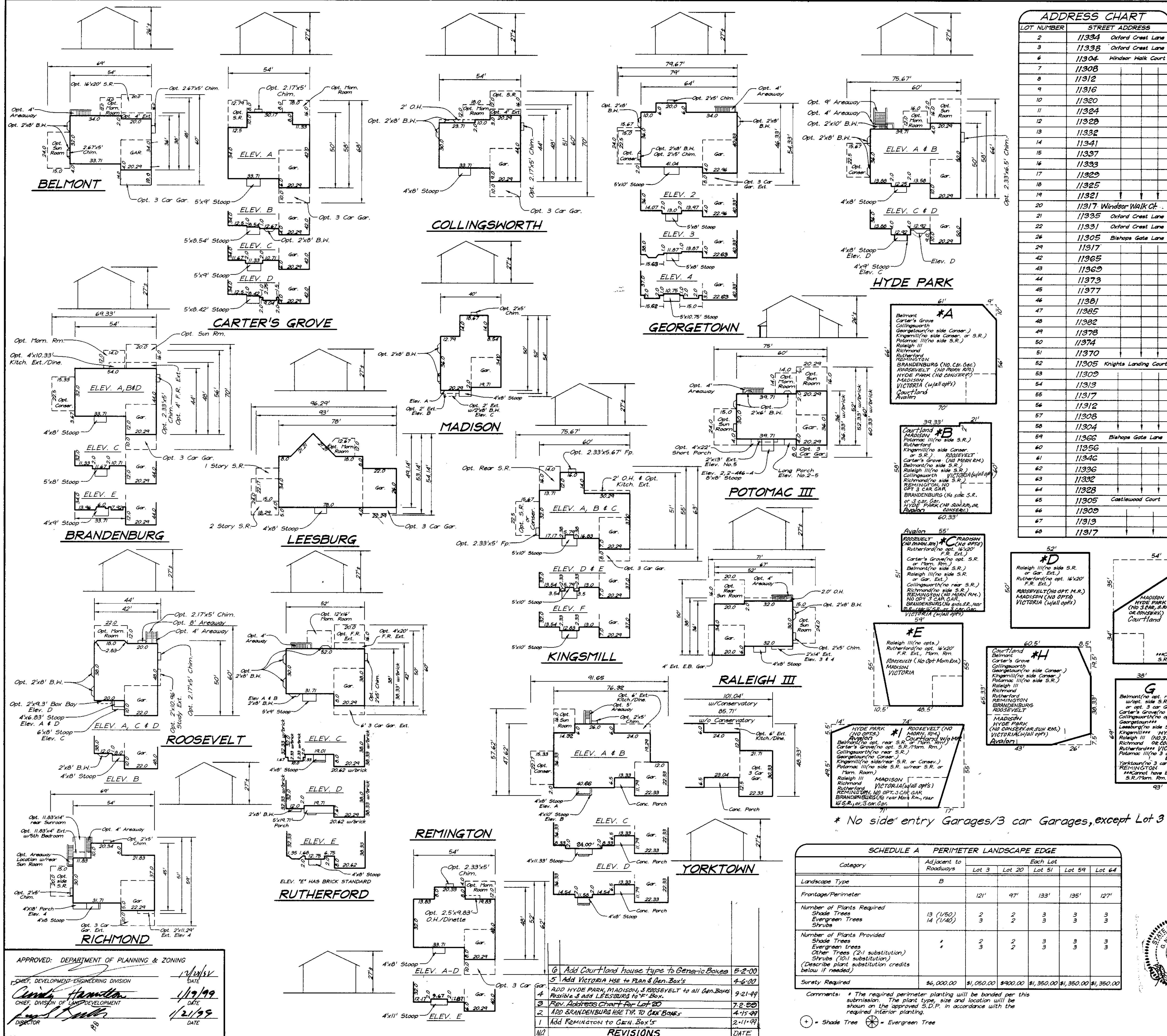
CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED: DM
 DRAWN: PS
 CHECKED: jme
 DATE: 8-18-98

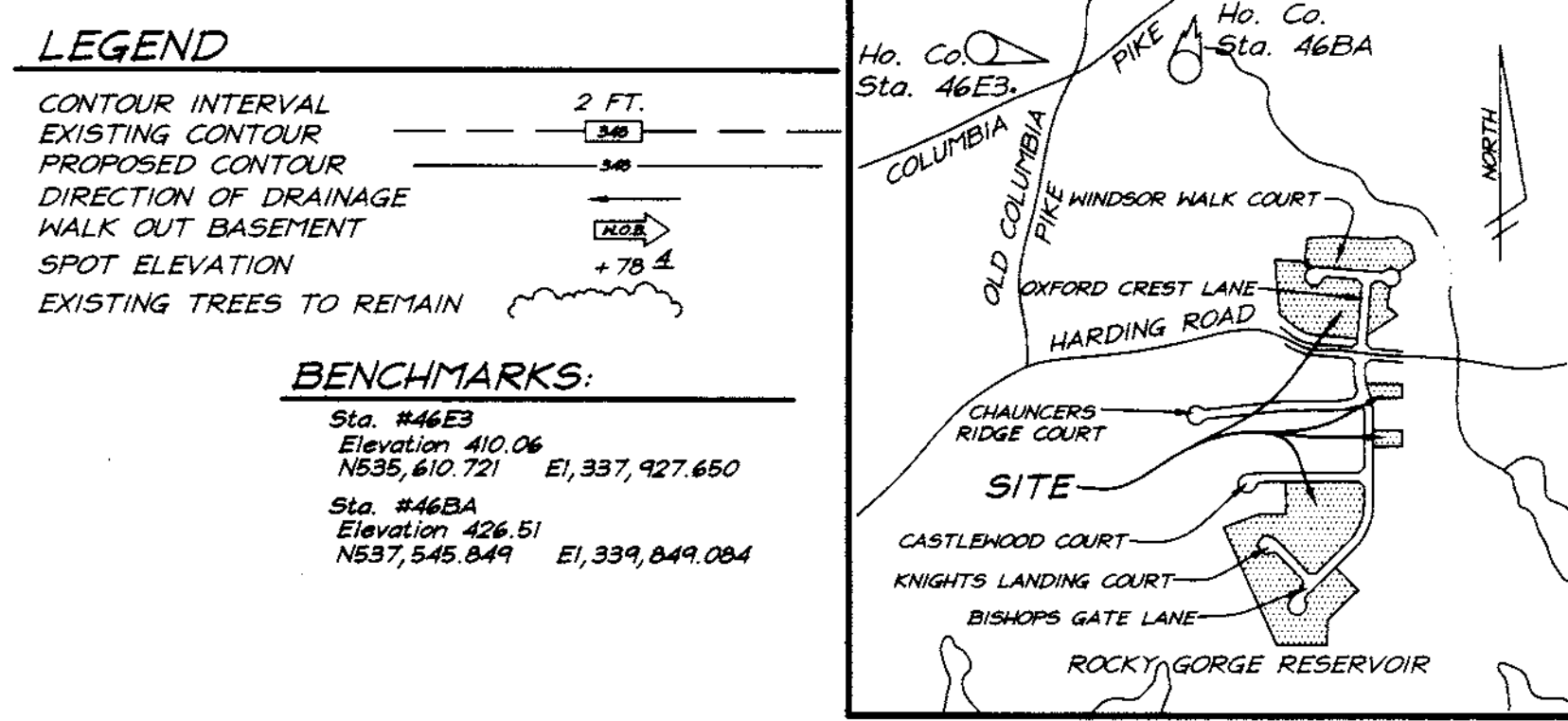
SITE DEVELOPMENT PLAN
 LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68
RESERVOIR OVERLOOK
 TAX MAP 46 PARCELS 15, 78, 186 & 187
 SIXTH (6th) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: NV HOMES
 2200 Defense Highway, Suite 301
 Crofton, Maryland 21114

SCALE: 1" = 30'
 DRAWING: 4 of 10
 JOB NO.: 98-040
 FILE NO.: 98-040X

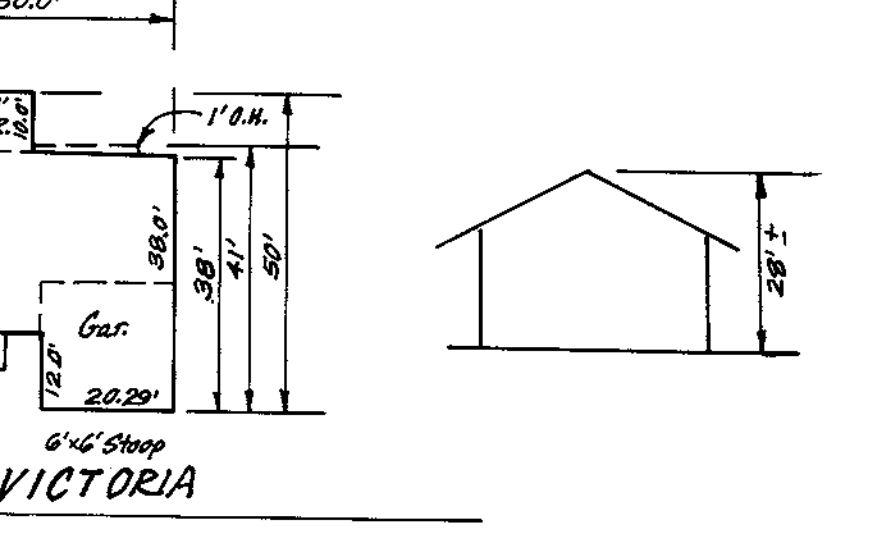


ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
2	11334 Oxford Crest Lane
3	11338 Oxford Crest Lane
6	11304 Windsor Walk Court
7	11308
8	11312
9	11316
10	11320
11	11324
12	11328
13	11332
14	11341
15	11337
16	11333
17	11329
18	11325
19	11321
20	11317 Windsor Walk Ct.
21	11335 Oxford Crest Lane
22	11331 Oxford Crest Lane
26	11305 Bishops Gate Lane
29	11317
42	11365
43	11369
44	11373
45	11377
46	11381
48	11385
49	11382
49	11378
50	11374
51	11370
52	11305 Knights Landing Court
53	11309
54	11313
55	11317
56	11312
57	11308
58	11304
59	11366 Bishops Gate Lane
60	11356
61	11346
62	11336
63	11332
64	11328
65	11305 Castlwood Court
66	11309
67	11313
68	11317



LEGEND
 CONTOUR INTERVAL 2 FT.
 EXISTING CONTOUR
 PROPOSED CONTOUR
 DIRECTION OF DRAINAGE
 WALK OUT BASEMENT
 SPOT ELEVATION
 EXISTING TREES TO REMAIN

- BENCHMARKS:**
 Sta. #46E3 Elevation 410.06
 N536, 610.721 E1, 337, 927.650
 Sta. #46BA Elevation 426.51
 N537, 545.849 E1, 339, 849.084
- GENERAL NOTES:**
- Subject property is zoned: R-20 per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 16.09 Acres.
 - The total number of lots included in this submission is: 48
 - Improvement to property: Single Family Detached
 - SAC Elevations shown are at the Property line.
 - Department of Planning and Zoning reference file numbers: F-88-12, 5-97-07, W-97-62, W-97-138, P-98-03.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #24-3671-D, approved Road Construction Plans F-98-61.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Mildenberg, Bondler & Assoc., Inc. in Jan. 1998.
 - The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Control stations: 46E3 & 46BA
 - The contractor shall notify the Department of Public Works/Construction Inspection Division at (410) 313-1800 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - Stormwater Management is provided per: F-98-61
 - This plan has been prepared in accordance with provision of Section 16-124 of the Howard County Code and the Landscape Manual. Financial Surety for the required 27 landscape trees in the amount of \$6,000.00 is part of the Builders Grading Permit application.
 - Lot 2 is non-buildable until such time as lot 1 is connected to public sewer and the existing septic easement is properly abandoned.



SHEET INDEX		
DESCRIPTION	SHEET NO.	
SITE DEVELOPMENT PLANS	1, 2, 3, 4, 5 of 10	
SEDIMENT AND EROSION CONTROL PLANS	6, 7, 8, 9, 10 of 10	

OWNER / DEVELOPER
 RESERVOIR OVERLOOK, L.C.
 6820 ELM STREET, SUITE 200
 MCLEAN, VIRGINIA 22101

SPECIAL NOTES:
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-98-61 and/or approved Water and Sewer Plans Contract #24-3671-D.

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
RESERVOIR OVERLOOK		2, 3, 6 - 22, 26, 29, 42 - 68
PLAT NO. 1346E Hwy 1347E	BLOCK NO. 15 & 16	ZONE R-20
		TAX MAP NO. 46
		ELECTION DIST. 6th
		CENSUS TRACT 606B.02
WATER CODE E-18	SEWER CODE 7601000	

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED: DM
 DRAWN: PS
 CHECKED: PS
 DATE: 8-18-98

SITE DEVELOPMENT PLAN
RESERVOIR OVERLOOK
 LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68
 TAX MAP 46 PARCELS 15, 78, 186 & 187
 SIXTH (6th) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

SCALE: 1" = 30'
 DRAWING: 1 of 10
 JOB NO.: 98-040
 FILE NO.: 98-040X

FOR: NV HOMES
 2200 Defense Highway, Suite 301
 Crofton, Maryland 21114

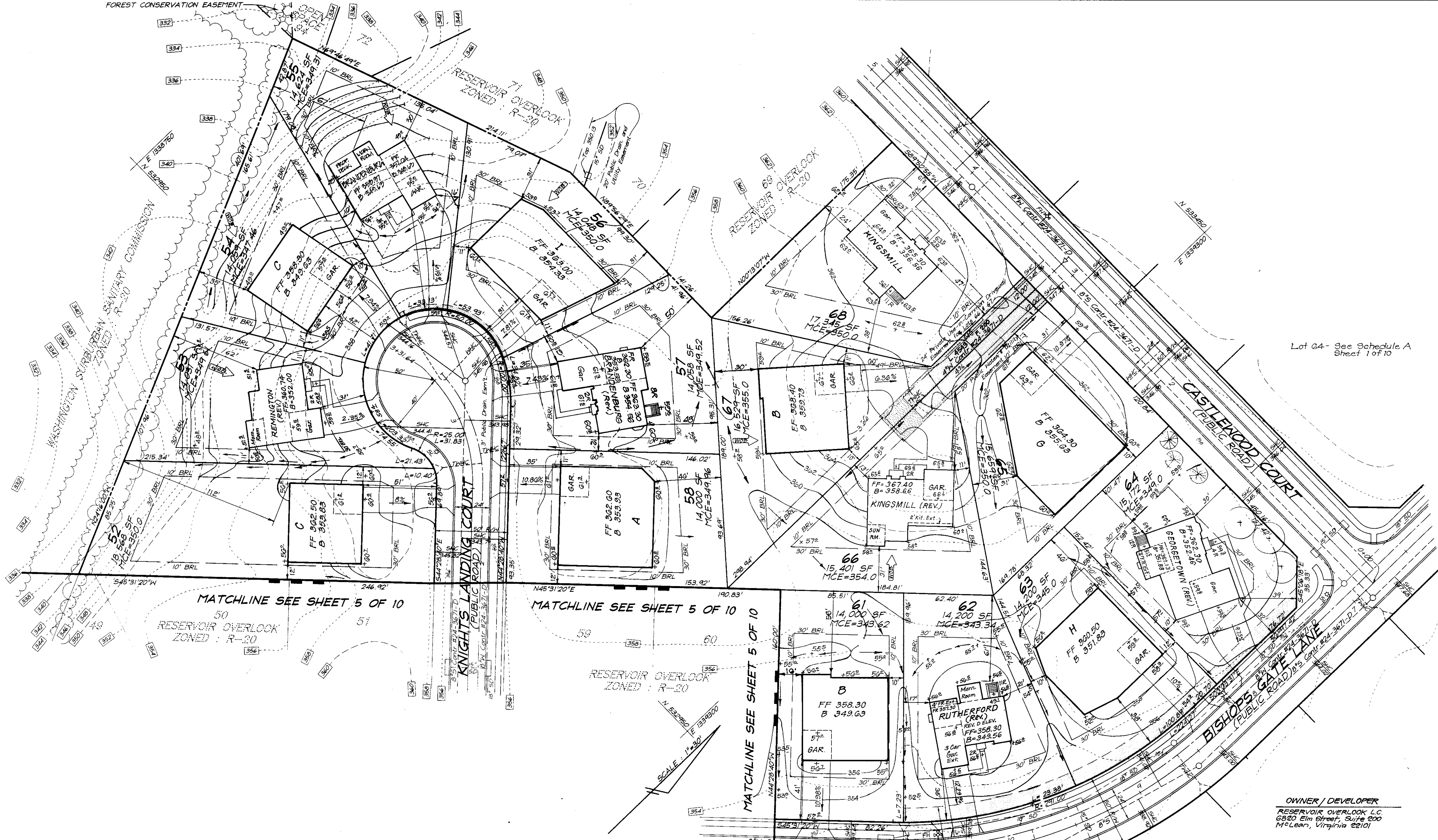
SCHEDULE A PERIMETER LANDSCAPE EDGE						
Category	Adjacent to Roadways	Each Lot				
		Lot 3	Lot 20	Lot 51	Lot 59	Lot 64
Landscape Type	B					
Frontage/Perimeter		121'	97'	133'	135'	127'
Number of Plants Required						
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Shrubs (10:1 substitution)						
(Describe plant substitution credits below if needed)						
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Comments: * The required perimeter planting will be bonded per this submission. The plant type, size and location will be shown on the approved S.D.P. in accordance with the required interior planting.

☉ = Shade Tree ☼ = Evergreen Tree

APPROVED: DEPARTMENT OF PLANNING & ZONING
 DATE: 11/24/99
 DATE: 1/9/99
 DATE: 1/2/99

- REVISIONS**
- Add Courtland house type to Generic Boxes 5-2-00
 - Add VICTORIA HSE to Plan & Gen. Box's 4-6-02
 - ADD HYDE PARK, MADISON, & ROOSEVELT to all Gen. Boxes 9-21-99
 - Rev. Address Chart for Lot 20 7-2-00
 - ADD BRANDENBURG HSE TO GEN. BOXES 4-15-99
 - Add REMINGTON to Gen. Box's 2-11-99
 - NA



Lot 64- See Schedule A Sheet 1 of 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

SCALE: 1"=30'

OWNER / DEVELOPER
 RESERVOIR OVERLOOK L.C.
 6820 Elm Street, Suite 200
 McLean, Virginia 22101

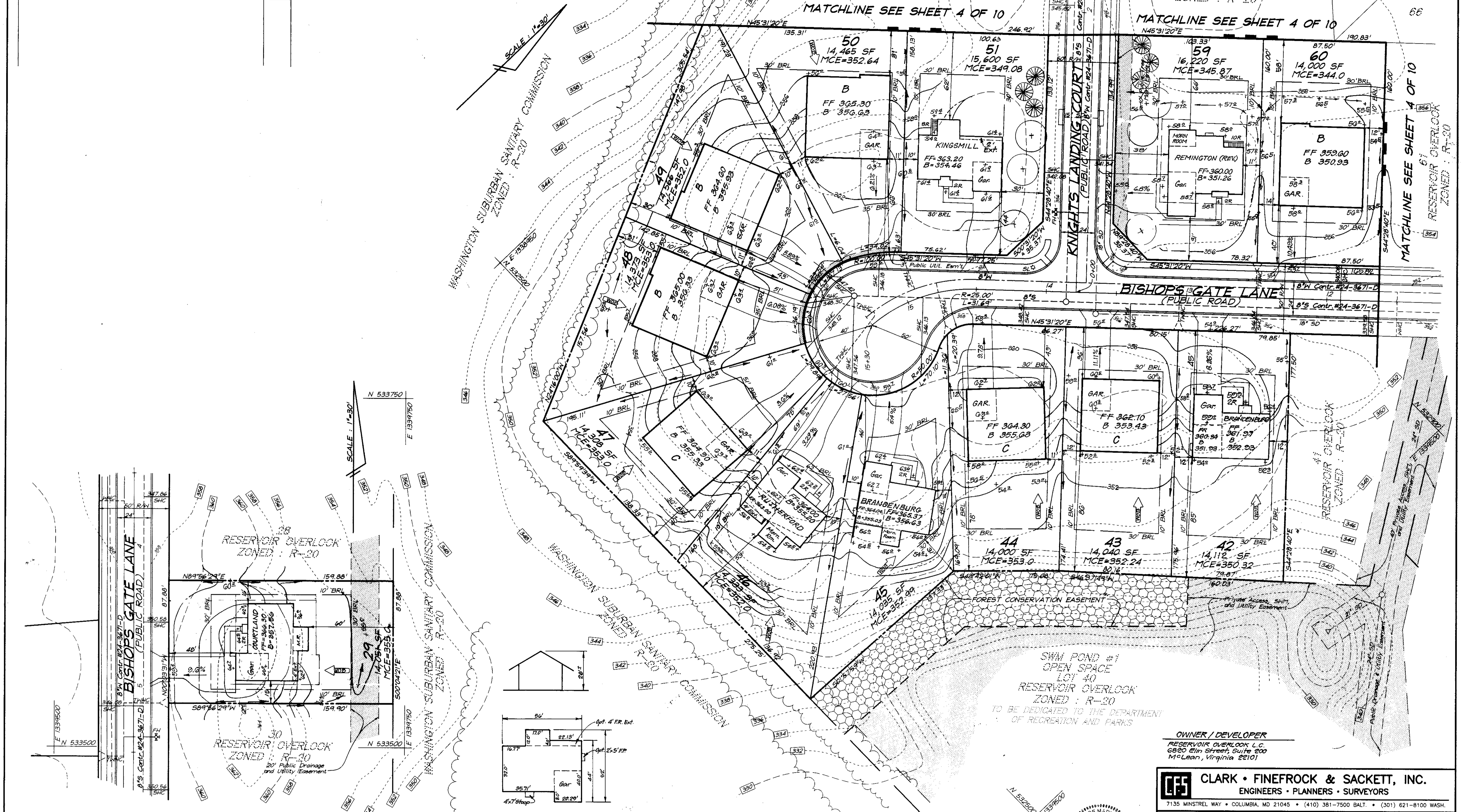
APPROVED: DEPARTMENT OF PLANNING & ZONING
 DATE: 1/4/99
 DATE: 1/19/99
 DATE: 1/21/99

NO.	REVISIONS	DATE
6	Rev. hse. & grad. lot 68 from 'F' Box to Kingsmill	9-6-00
5	Rev. hse. & grad. lot 66 from 'C' Box to Kingsmill (Rev.)	7-6-00
4	Rev. hse. & grad. lot 64 from 'B' Box to Georgetown (Rev.)	6-16-00
3	Rev. hse. & grad. lot 57	5-15-00
2	Rev. hse. & grad. lot 62	3-17-00
1	Rev. hse. & grad. lot 53 FROM 'C' BOX TO BRANDENBURG	1-7-00

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 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED DM	SITE DEVELOPMENT PLAN RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN PS		DRAWING 4 of 10
CHECKED jme		JOB NO. 98-040
DATE 8-18-98		FILE NO. 98-040X
FOR: NV HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114		

NO.	REVISIONS	DATE
1	Rev. Hse & Grd lot 59	10/23/99
2	Rev. Hse & Grd lot 43	1-6-00
3	Rev. Hse & Grd lot 46	2-16-00
4	Rev. Hse & Grd lot 51	3-9-00
5	Rev. Hse & Grd lot 29	4-11-00
6	Rev. hse. & grd. lot 42	5-4-00



APPROVED: DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Claudia Hamilton 1/19/99

CHIEF, DIVISION OF LAND DEVELOPMENT
Joseph Sackett 1/21/99

DESIGNED: DM

DRAWN: PS

CHECKED: jmw

DATE: 8-18-98

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

SITE DEVELOPMENT PLAN
LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 60
RESERVOIR OVERLOOK
TAX MAP 46 PARCELS 15, 78, 186 & 187
SIXTH (6th) ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: NY HOMES
2200 Defense Highway, Suite 301
Crofton, Maryland 21114

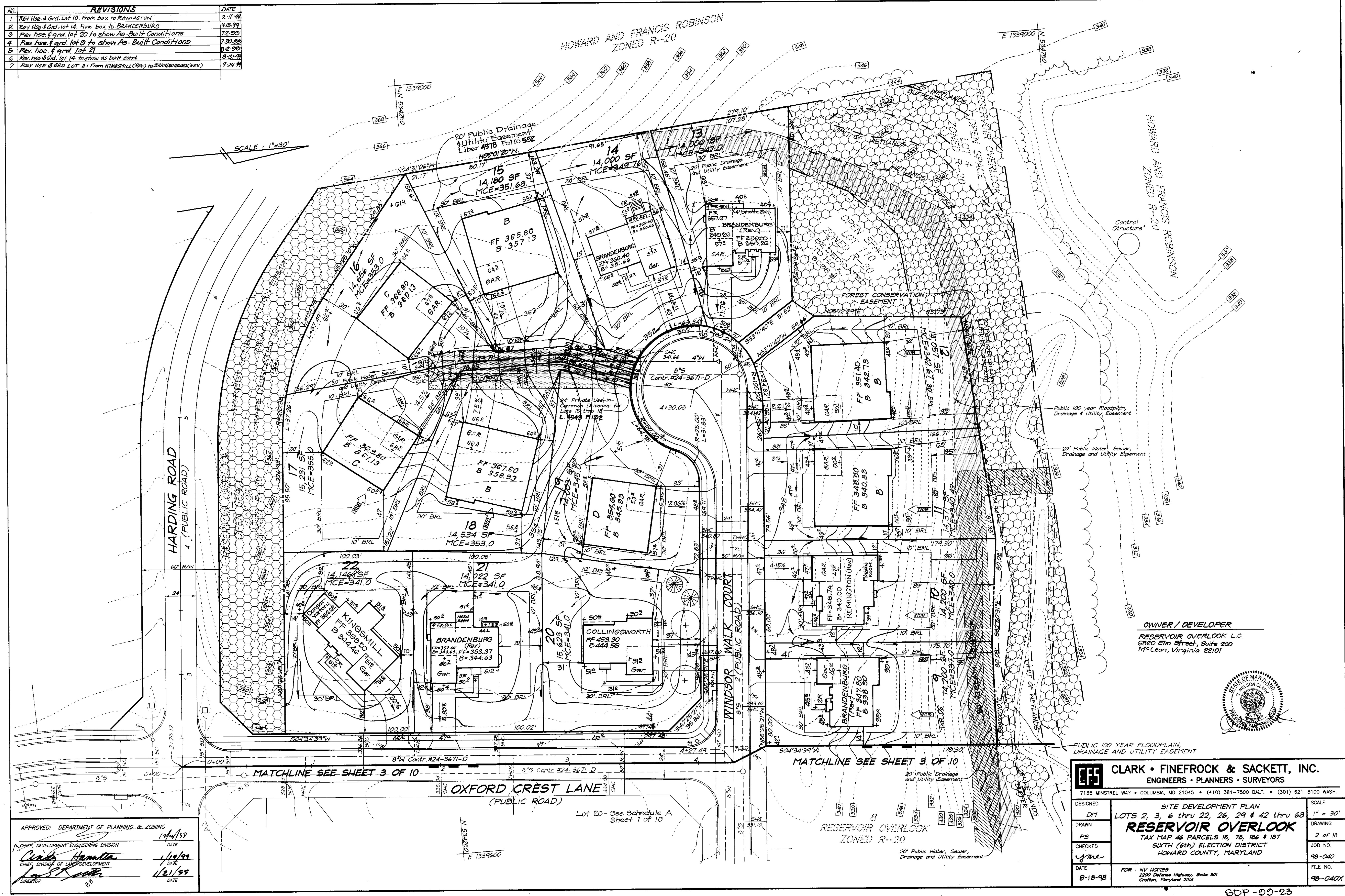
SCALE: 1" = 30'

DRAWING: 5 of 10

JOB NO.: 98-040

FILE NO.: 98-040X

NO.	REVISIONS	DATE
1	REV HSE. 3 GRD. LOT 10. FROM BOX TO REMINGTON	2-11-99
2	REV HSE. 4 GRD. LOT 14. FROM BOX TO BRANDENBURG	4-15-99
3	REV HSE. 4 GRD. LOT 20 TO SHOW AS-BUILT CONDITIONS	7-2-99
4	REV HSE. 4 GRD. LOT 9 TO SHOW AS-BUILT CONDITIONS	7-30-99
5	REV HSE. 4 GRD. LOT 21	8-2-99
6	REV HSE. 3 GRD. LOT 14 TO SHOW AS-BUILT COND.	8-31-99
7	REV HSE. 3 GRD. LOT 21 FROM KINGSMILL (REV) TO BRANDENBURG (REV)	9-24-99



APPROVED: DEPARTMENT OF PLANNING & ZONING

10/24/99 DATE

1/14/99 DATE

11/21/99 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR

LOT 20 - SEE SCHEDULE A SHEET 1 OF 10

OXFORD CREST LANE (PUBLIC ROAD)

WINDSOR WALK COURT (PUBLIC ROAD)

HARDING ROAD (PUBLIC ROAD)

MATCHLINE SEE SHEET 3 OF 10

MATCHLINE SEE SHEET 3 OF 10

OWNER / DEVELOPER

RESERVOIR OVERLOOK L.C.

6820 Elm Street, Suite 200

McLean, Virginia 22101

CLARK • FINEFROCK & SACKETT, INC.

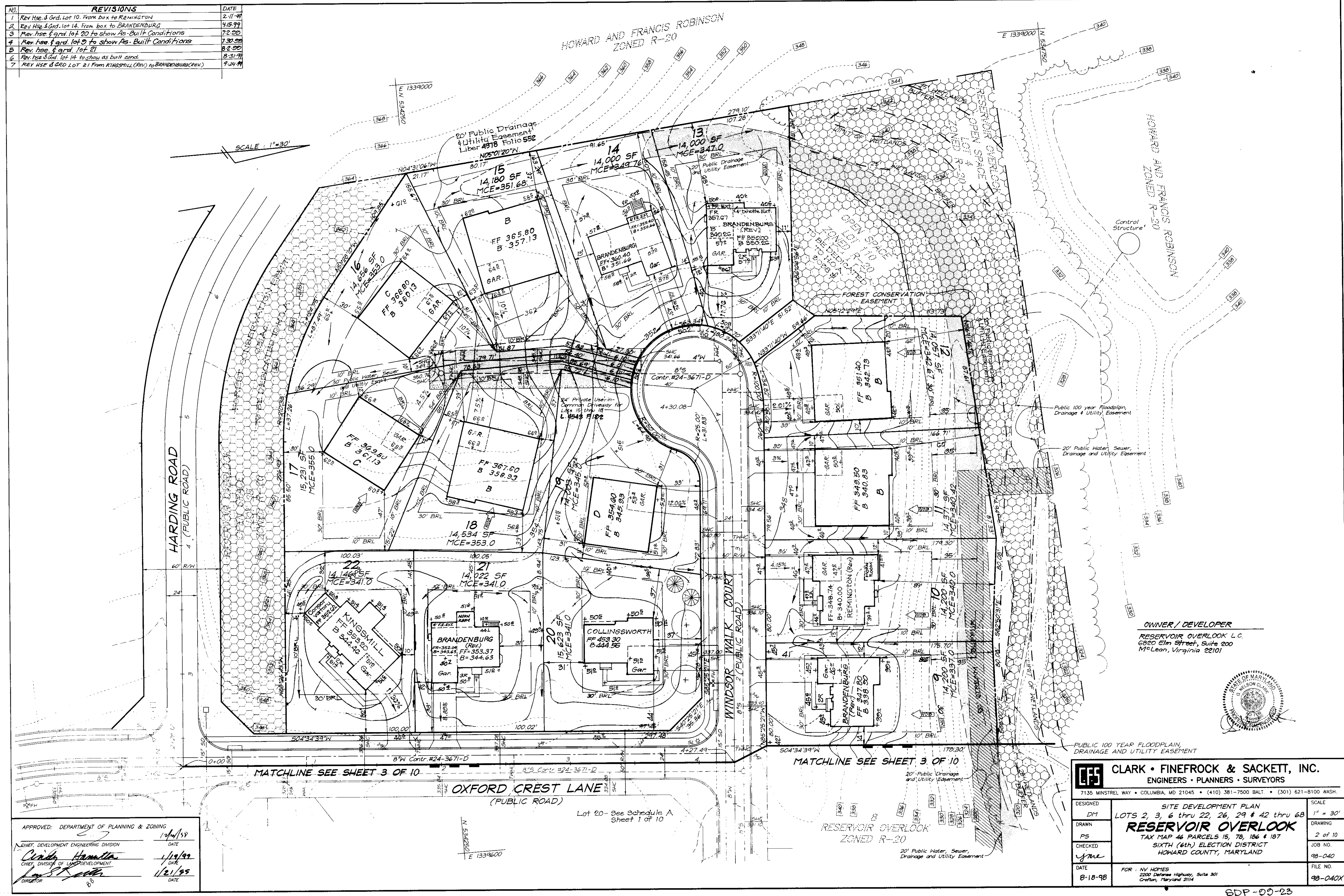
ENGINEERS • PLANNERS • SURVEYORS

7135 MINTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	DM	SITE DEVELOPMENT PLAN LOTS 2, 3, 6 thru 22, 26, 29 & 42 thru 68 RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE	1" = 30'
DRAWN	PS		DRAWING	2 of 10
CHECKED	jme		JOB NO.	98-040
DATE	8-18-98		FILE NO.	98-040X
FOR: NV HOMES			2200 Defense Highway, Suite 301	



NO.	REVISIONS	DATE
1	Rev Hse & Grd. Lot 10. From box to REMINGTON	2-11-99
2	Rev Hse & Grd. lot 14. From box to BRANDENBURG	4-15-99
3	Rev. hse & grd. lot 20 to show As-Built Conditions	7-2-99
4	Rev. hse & grd. lot 0 to show As-Built Conditions	7-30-99
5	Rev. hse & grd. lot 21	8-2-99
6	Rev. hse & Grd. lot 14 to show as built cond.	8-31-99
7	REV HSE & GRD LOT 21 FROM KINGSMILL (REV.) TO BRANDENBURG (REV.)	9-24-99



APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cathy Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature]
 DIRECTOR

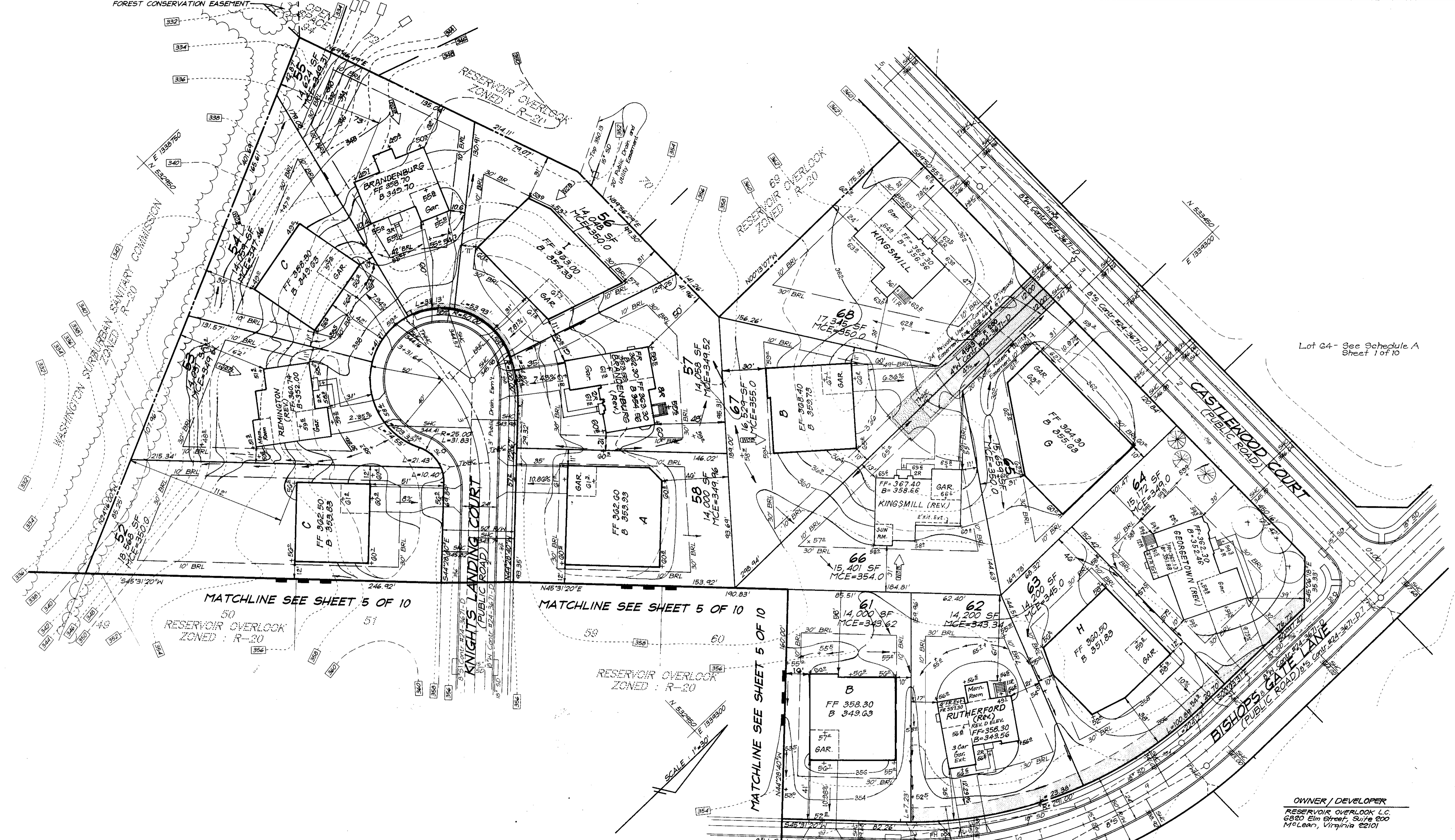
DATE: 10/4/99
 DATE: 1/18/99
 DATE: 1/21/99

OWNER / DEVELOPER
 RESERVOIR OVERLOOK L.C.
 6820 Elm Street, Suite 200
 McLean, Virginia 22101



CLARK • FINEFROCK & SACKETT, INC.
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DESIGNED DM	SITE DEVELOPMENT PLAN RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN PS		DRAWING 2 of 10
CHECKED jmc		JOB NO. 98-040
DATE 8-18-98		FILE NO. 98-040X
FOR: NV HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114		



Lot 64- See Schedule A
Sheet 1 of 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

MATCHLINE SEE SHEET 5 OF 10

OWNER / DEVELOPER
RESERVOIR OVERLOOK L.C.
6820 Elm Street, Suite 200
McLean, Virginia 22101

APPROVED: DEPARTMENT OF PLANNING & ZONING
DATE: 11/19/99
DATE: 11/21/99

NO.	REVISIONS	DATE
7	Rev. hse. & grad. lot 55 to show As-Built Conditions	9-25-00
6	Rev. hse. & grad. lot 68 from 'F' Box to Kingsmill	9-6-00
5	Rev. hse. & grad. lot 66 from 'C' Box to Kingsmill (Rev.)	7-6-00
4	Rev. hse. & grad. lot 64 from 'B' Box to Georgetown (Rev.)	6-16-00
3	Rev. hse. & grad. lot 57	5-15-00
2	Rev. hse. & grad. lot 62	3-17-00
1	Rev. hse. & grad. lot 55 FROM 'C' BOX TO BRANDENBURG	1-7-00
1	Rev. Hse & Grad. lot 53	

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DESIGNED DM	SITE DEVELOPMENT PLAN RESERVOIR OVERLOOK TAX MAP 46 PARCELS 15, 78, 186 & 187 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
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DATE 8-18-98	FOR: NV HOMES 2200 Defense Highway, Suite 301 Crofton, Maryland 21114	FILE NO. 98-040X

