

SITE DEVELOPMENT PLAN

U.S. No. 1 JOINT VENTURE

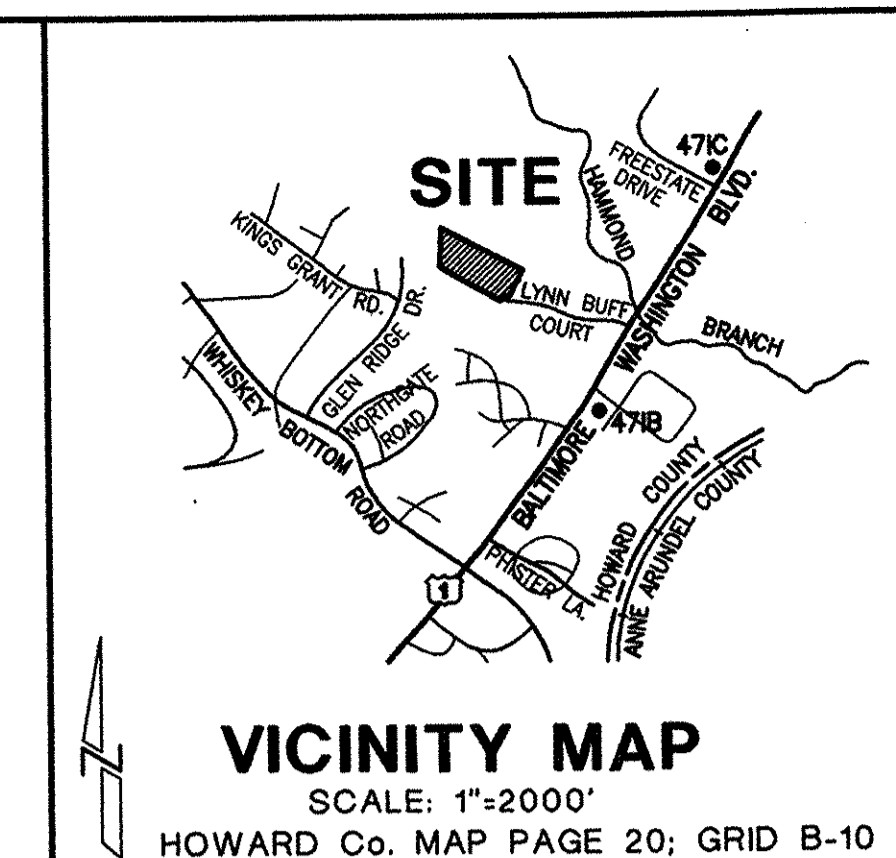
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE

GUILFORD ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23

WATER CODE C04, SEWER CODE 7220000



IPDS
The Interprofessional
PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects

SITE TABULATION

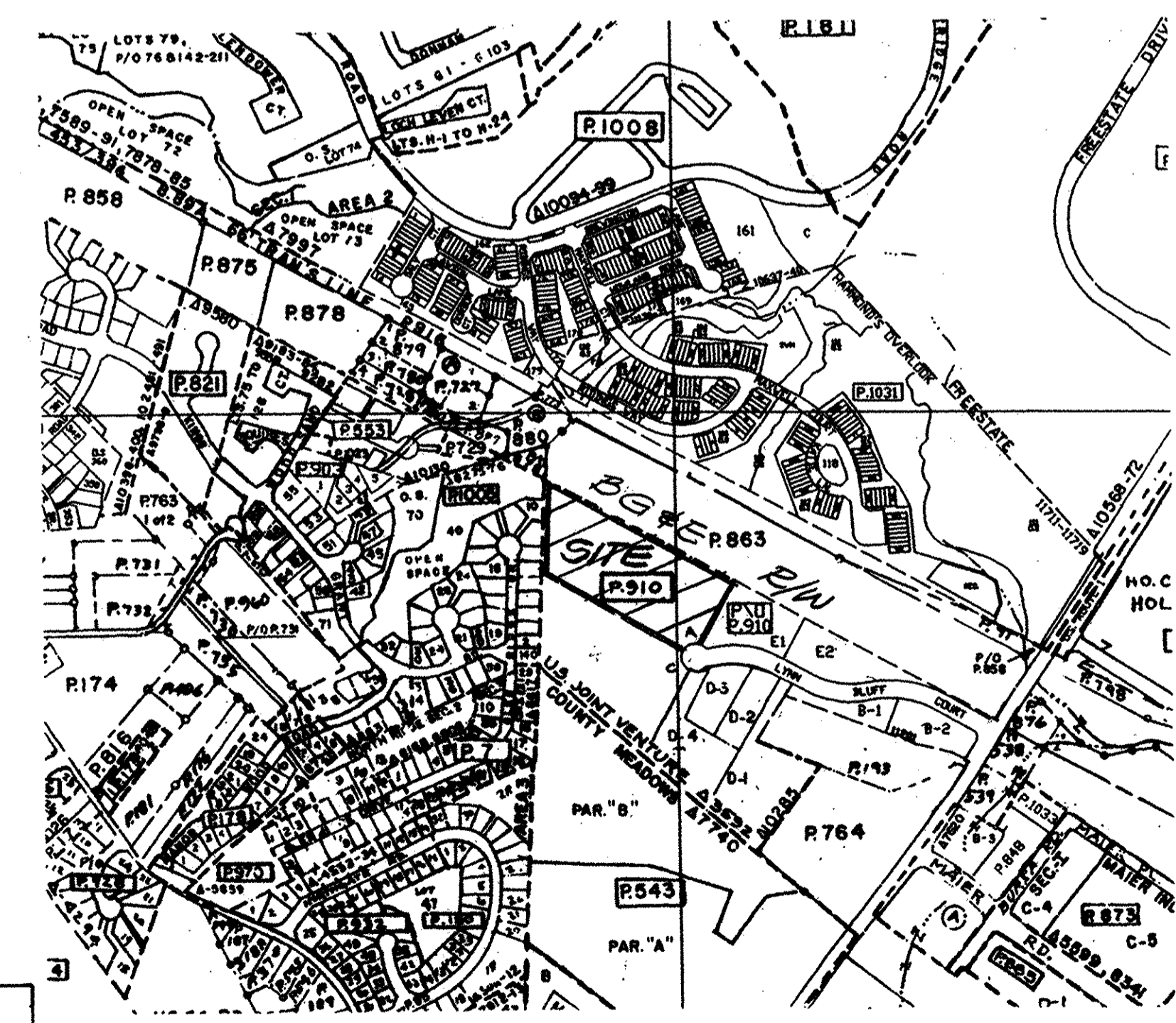
PRESENT ZONING	M-1
DEED REFERENCE	L. 454, F. 036
AREA OF PARCEL	7.527 Ac.
PROPOSED USE	WAREHOUSING & PARKING
PROPOSED BUILDING COVERAGE	115,463 SQ. FT.
PROJECTED No. OF EMPLOYEES	50
TOTAL PARKING SPACES REQUIRED:	
0.5 SPACES PER 1000 SF OF 115,463 SQUARE FEET GROSS FLOOR AREA	58
3.3 SPACES PER 1000 SF OF 40,909 SQUARE FEET MAX. ALLOWABLE MEZZANINE FLOOR AREA (FUTURE GENERAL OFFICE USE)	135
TOTAL REQUIRED	193
TOTAL PARKING SPACES PROVIDED:	
STANDARD (9'x18')	164
COMPACT (8'x16')	23
HANDICAPPED (8'x20')	6
TOTAL SPACES	193
LOADING SPACES	29
LANDSCAPE ISLANDS REQUIRED:	
1/20 PARKING SPACES	10
MINIMUM 200 SF EACH	2000 SF
MINIMUM WIDTH = 12'	
DISTURBED AREA	5.7 Ac. (76%)

LIST OF DRAWINGS

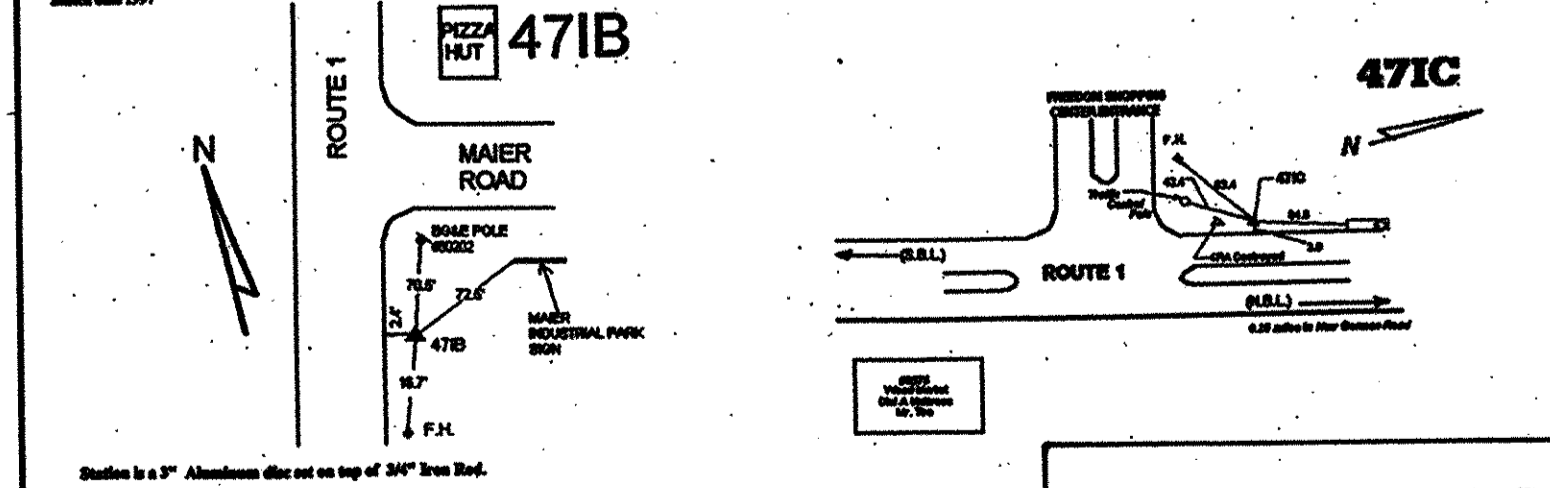
CS	COVER SHEET (1 of 13)
SDP-1	SITE DEVELOPMENT PLAN (2 of 13)
SDP-2	SITE DETAILS (3 of 13)
SDP-3	SITE DETAILS (4 of 13)
SDP-4	FRONT BUILDING ELEVATION AND BUILDING PROFILES (5 of 13)
LA-1	LANDSCAPING PLAN (6 of 13)
DA-1	DRAINAGE AREA MAPS (7 of 13)
SWM-1	STORMWATER MANAGEMENT PLAN (8 of 13)
SWM-2	DETAILS & STORM DRAIN PROFILES (9 of 13)
SWM-3	STORMWATER MANAGEMENT DETAILS (10 of 13)
SC-1	EROSION & SEDIMENT CONTROL PLAN (11 of 13)
SC-2	EROSION AND SEDIMENT CONTROL DETAILS & NOTES (12 of 13)
S-1	SOILS AND ENVIRONMENTAL ANALYSIS (13 of 13)

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, AND CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY JOYCE ENGINEERING CORPORATION, DATED OCTOBER, 1987.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 47B AND 47C WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC, EX. WHO. CONTRACT No. 667-D-W&S.
- SEWER IS PUBLIC, EX. SHC. CONTRACT No. 667-D-W&S.
- STORMWATER MANAGEMENT CONTROL IS TO BE PROVIDED BY PRIVATE UNDERGROUND STORAGE PIPES WITH INFILTRATION TRENCHES AND WILL BE MAINTAINED BY THE OWNER OF PROPERTY.
- THERE IS NO FLOODPLAIN ON SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAB UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV. OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS-OF-WAY AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM. IF THIS WASTE IS REGULATED UNDER SECTION 18.22A OF THE HOWARD COUNTY CODE, EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WATER PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WATER TO PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.
- ALL IMPROVEMENTS AS SHOWN ON THESE PLANS WITHIN THE R/W OF LYNN BUFF COURT WILL BE THE RESPONSIBILITY OF THE DEVELOPER.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO SECTION 134 - OUTDOOR LIGHTING, ZONING REGULATIONS.
- NO UNDERGROUND/GROUNDWATER TESTING CONDUCTED FOR THE PRESENCE OF CONTAMINANTS AT THIS TIME.
- WATER METERS SHALL BE LOCATED OUTSIDE THE BUILDING IN THE AREA BETWEEN THE SIDEWALK AND THE PARKING LOT CURB.



HOWARD COUNTY GEODETIC CONTROL: 471B		HOWARD COUNTY GEODETIC CONTROL: 471C	
NGS FID NUMBER: N/A	Station is a 3rd Order Station with a Continuation from 471C	NGS FID NUMBER: N/A	Also: N/A
Horizontal Method: Horizontal and Vertical	Vertical Method: Vertical	Horizontal Method: Horizontal and Vertical	Vertical Method: Vertical
Angles to 64-Digit Format		Angles to 64-Digit Format	
Workings: 14402.5400 m	23001.070 m	23001.070 m	23001.070 m
Station: 14402.5400 m	23001.070 m	23001.070 m	23001.070 m
Other Station Information: 14402.5400 m	23001.070 m	23001.070 m	23001.070 m
County: Howard	State: MD	County: Howard	State: MD
Adjustment Method: 471C	Method: N/A	Adjustment Method: 471C	Method: N/A
Grid Adjustment: 471C	Method: N/A	Grid Adjustment: 471C	Method: N/A
Grid Station: 471C	Method: N/A	Grid Station: 471C	Method: N/A
Grid Station: 471C	Method: N/A	Grid Station: 471C	Method: N/A
Grid Station: 471C	Method: N/A	Grid Station: 471C	Method: N/A



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 10/6/98 DATE
DIRECTOR

[Signature] 10/5/98 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 10/1/98 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

TAX MAP
SCALE: 1"=600'

NOTE: SEE VICINITY MAP FOR LOCATIONS OF GEODETIC CONTROL POINTS



OWNER / DEVELOPER

Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664

SDP-98-135

ADDRESS CHART	
BUILDING	STREET ADDRESS
9590	LYNN BUFF COURT

SUBDIVISION NAME:	U.S. No. 1 JOINT VENTURE	SECT./AREA:	N/A	PARCEL:	A
DEED:	BLOCK:	ZONING:	TAX MAP No.:	ELECTION DISTRICT:	CENSUS TRACT:
PLAT 3592	22/23	M-1	47	6th	6069.02
WATER CODE:	C04	SEWER CODE:	7220000		

COVER SHEET

U.S. No. 1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

SCALE: NONE

REVISIONS: 06-22-98

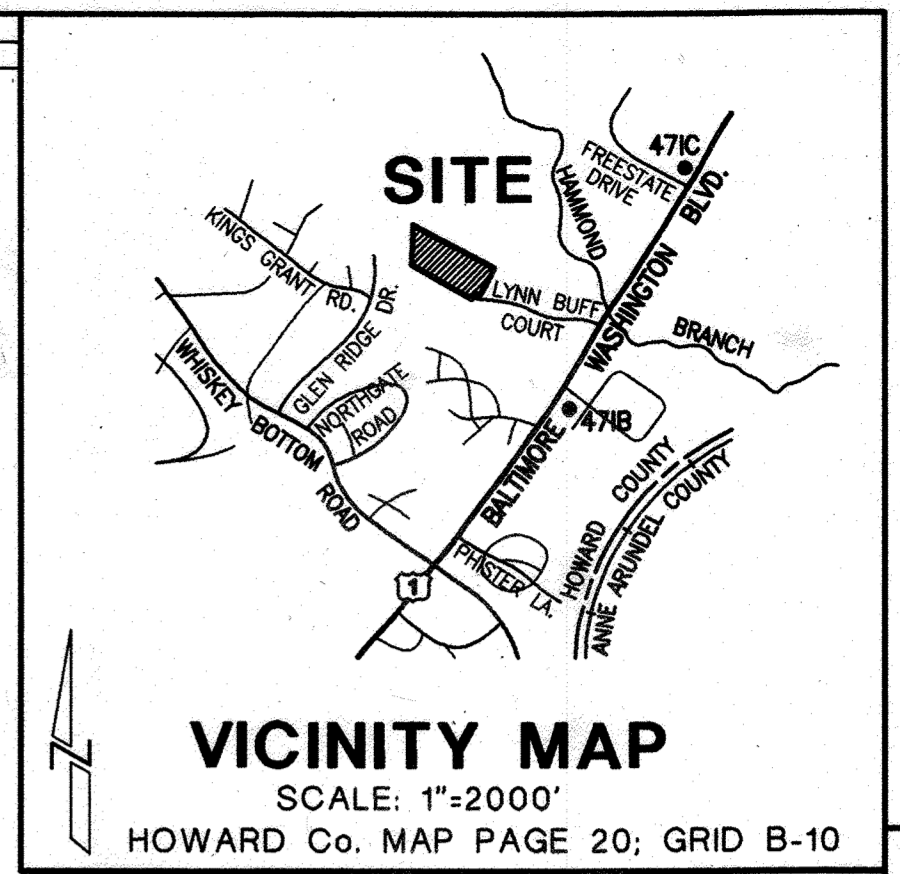
DATE: 01-18-98

JOB NUMBER: CS

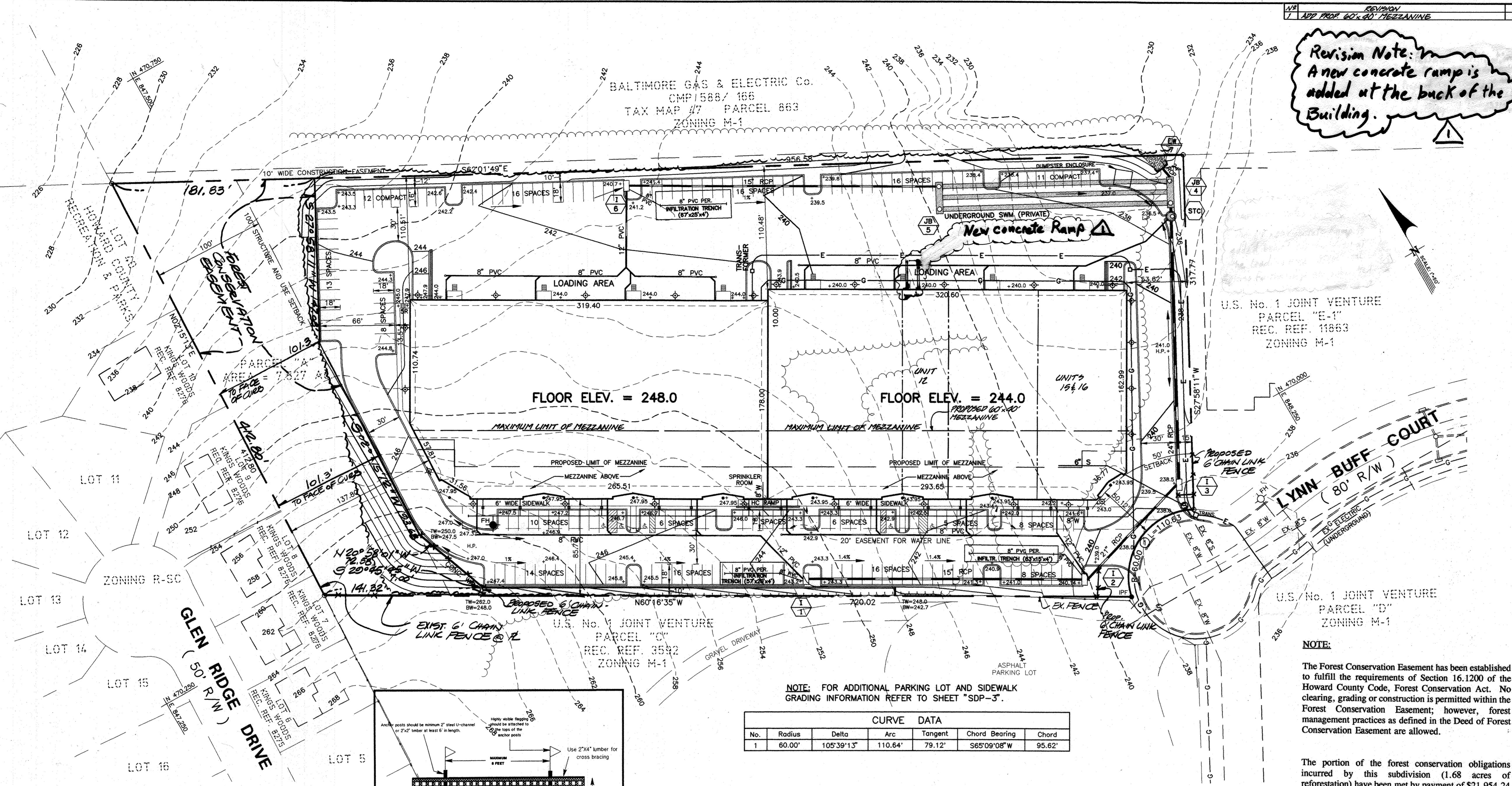
SHEET 1 OF 13

SDP-98-135

Revision Note:
A new concrete ramp is added at the back of the Building.



IPDS
The Interprofessional PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects



U.S. No. 1 JOINT VENTURE
PARCEL "E-1"
REC. REF. 11863
ZONING M-1

U.S. No. 1 JOINT VENTURE
PARCEL "D"
ZONING M-1

NOTE: FOR ADDITIONAL PARKING LOT AND SIDEWALK GRADING INFORMATION REFER TO SHEET "SDP-3".

CURVE DATA				
No.	Radius	Delta	Arc	Chord
1	60.00'	105°39'13"	110.64'	79.12'
			56°09'08" W	95.62'

NOTE:
The Forest Conservation Easement has been established to fulfill the requirements of Section 16.1200 of the Howard County Code, Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement; however, forest management practices as defined in the Deed of Forest Conservation Easement are allowed.

The portion of the forest conservation obligations incurred by this subdivision (1.68 acres of reforestation) have been met by payment of \$21,954.24 to the Howard County Forest Conservation Fund.

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH A COPY OF THESE PLANS WITHIN 30-DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario, 5-1-98, NAZARIO DEVELOPMENT AND COMPANY

BY THE ENGINEER:
I/WE CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I/WE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 30-DAYS OF COMPLETION.

Fred L. Skelton, 6/15/98, IPDS, LLC

THESE PLANS SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

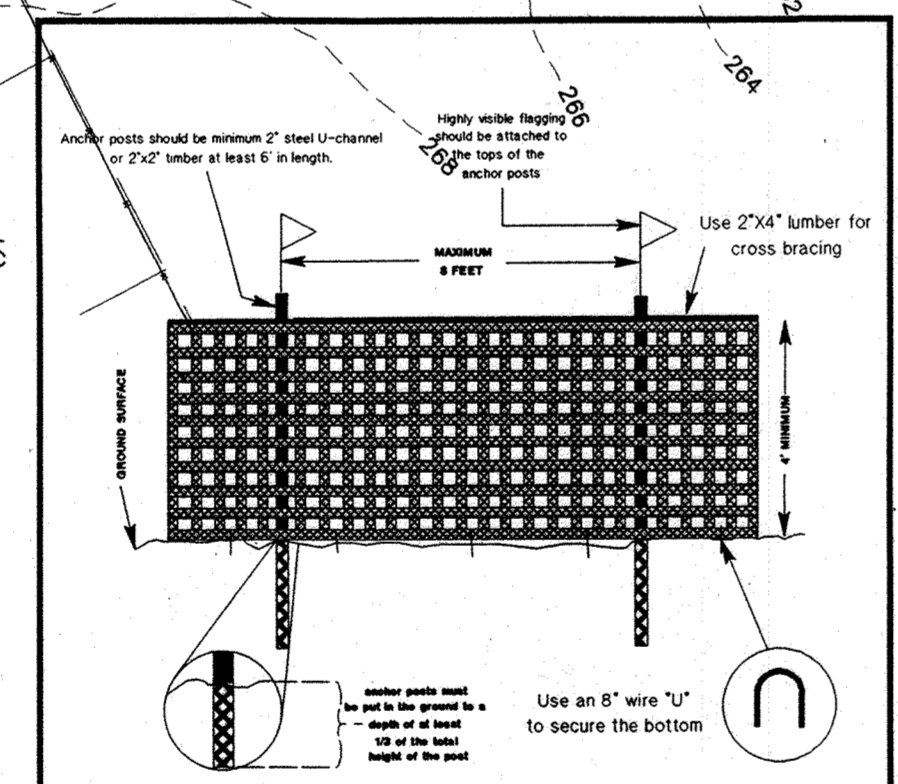
Clayton Simmonds, 9/13/98, NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

John R. Robertson, 9/13/98, HOWARD SOIL CONSERVATION DISTRICT

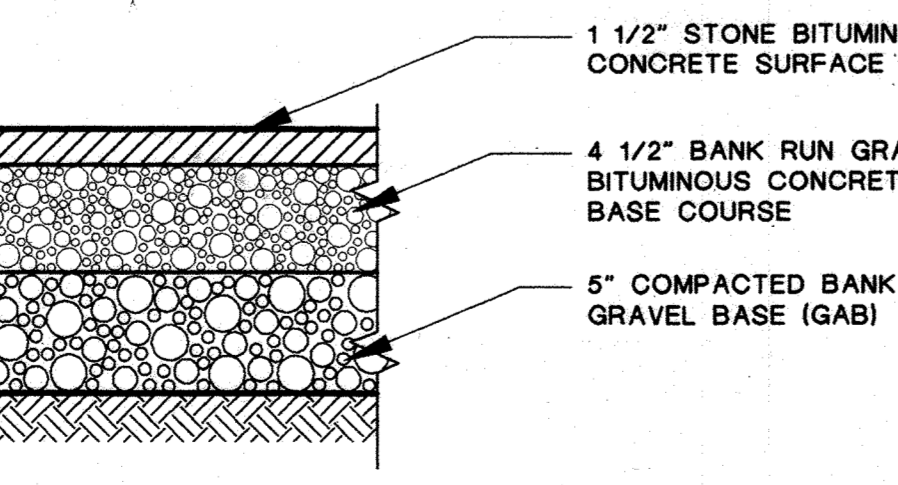
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Director, 10/6/98
Chief, Division of Land Development, 10/10/98
Chief, Development Engineering Division, 10/11/98

ADJACENT PROPERTY OWNERS	
PROPERTY	OWNER
KINGS WOODS SECTION 1, AREA 1 LOT 6	GARY KUYKENDALL 9536 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 7	MELANIE MCKNIGHT 9540 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 8	THIEREY BREANT 9544 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 9	HIEN V. ONG 9548 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 10	ROBERT MARTINEZ 9552 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 40	HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS
CMP 588/166 TAX MAP 47	BALTIMORE GAS & ELECTRIC Co. P.O. BOX 1475 BALTIMORE, MARYLAND 21203-1475
U.S. No. 1 JOINT VENTURE PARCEL "E"	LYNN BUFF LIMITED PARTNERS 9550 LYNN BUFF CT LAUREL, MARYLAND 20723-6324
U.S. No. 1 JOINT VENTURE PARCEL "C"	STEFINTRACO A. SWISS CORPORATION c/o GREGORY PNEIL 8401 CONNECTICUT AVE. CHEVY CHASE, MARYLAND 20815



GENERAL NOTES

- Limits of disturbance will be set as part of the review process for an approved TCP.
- The boundaries of the limits of disturbance should be staked and flagged prior to erecting the protective device.
- Anchor posts should be placed to avoid severing or damaging large tree roots.
- Fencing material should be fastened securely to the anchor posts, cross bracing, and ground.



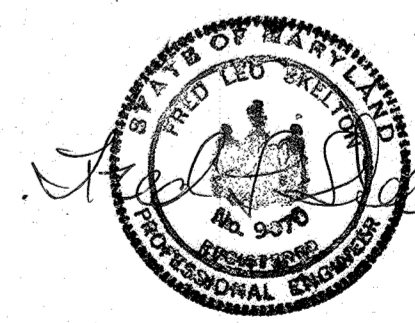
TYPICAL ON-SITE PAVING SECTION No. P-3
SCALE: 1 1/2"=1'-0"

GENERAL PAVING NOTES

- All roadway construction shall be in accordance with the General Specifications for Highway and Street Construction, the Howard County Code and the Howard County Road Ordinance.
- Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location and elevation of the mains by digging test pits by hand at utility crossings well in advance of trenching. If clearances to water and sewer lines are less than shown on this plan or twelve (12) inches, contact the Engineer before proceeding with construction.
- All elevations shown on these plans are referred to Maryland State and Howard County vertical datum.
- All roadway fillet radii shall be 25 feet, unless otherwise noted.
- All unpaved areas within the property or right-of-way shall be sodded.
- All curb and gutter shall be in accordance with Howard County Standard No. R-3.01.
- All sidewalks shall be in accordance with Howard County Standard No. R-3.05, unless otherwise noted.
- Provide Standard No. R-4.01 sidewalk ramps Type A at locations shown on the plans.
- The pavement subgrade is to be approved by the Howard County Inspector prior to installation of Base Course.
- Underdrain system shall be installed when warranted by field conditions or as required by the Howard County Inspector.

LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
TREELINE	~~~~~	---
CONTOUR LINE	---250---	---250---
SPOT ELEVATION		+250
STORMDRAIN PIPE	====	====
LIMIT OF DISTURBANCE		L.O.D.
SILT FENCE		S.F.
HANDICAPPED SPACE		♿
FIRE HYDRANT	○ _{FH}	● _{FH}
CURB & GUTTER	---	---
WHEELCHAIR RAMP		*
TOP OF WALL		T.W.
BOTTOM OF WALL		B.W.
WATER METER VAULT (3/4" METER & 1" WHC)		⊕
SITE LIGHTING FIXTURE MOUNTED ON BLDG.		⊕



OWNER \ DEVELOPER
Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664

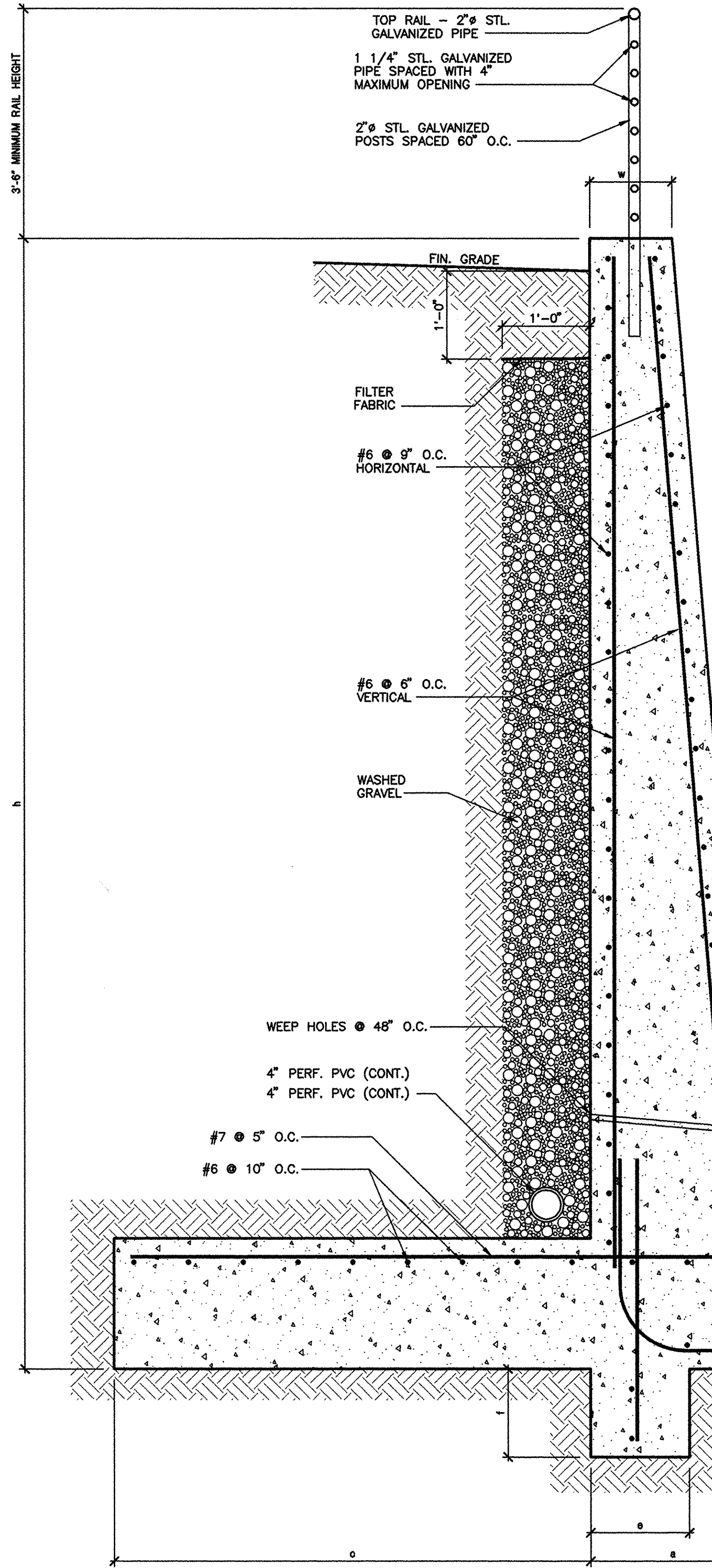
SITE DEVELOPMENT PLAN

U.S. No. 1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 6068.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

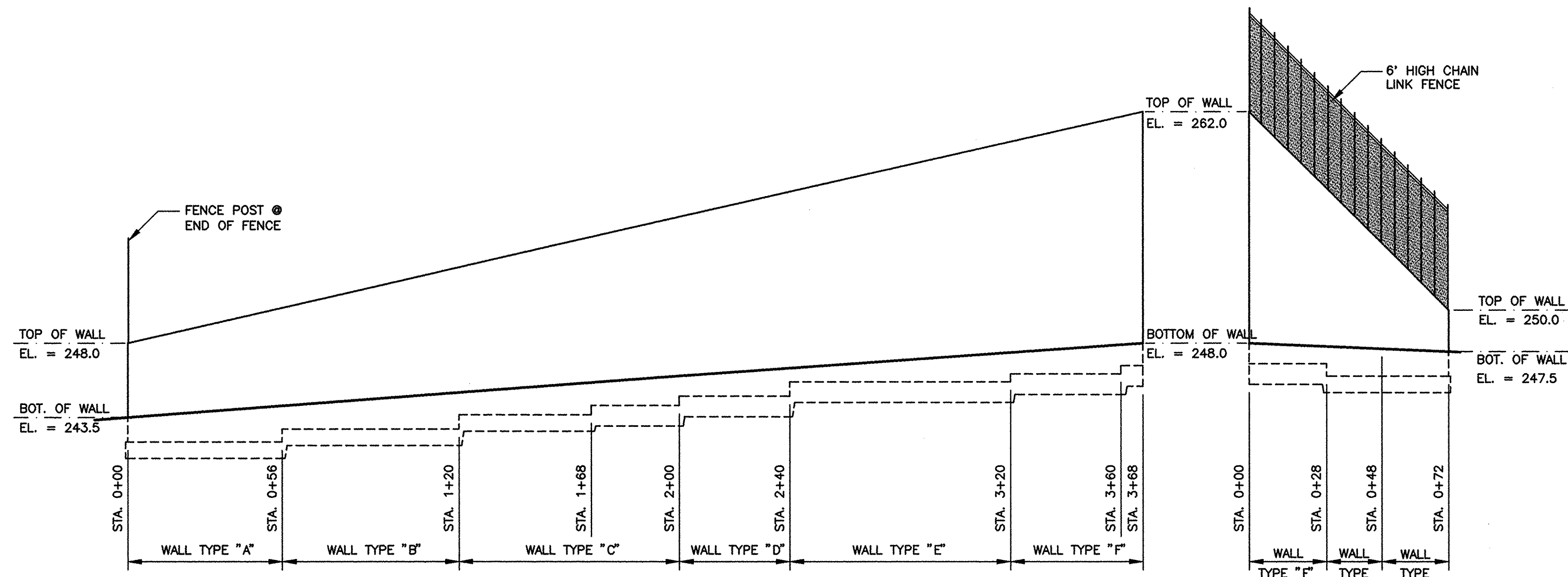
SDP-98-135

SDP-1
SHEET 2 OF 13

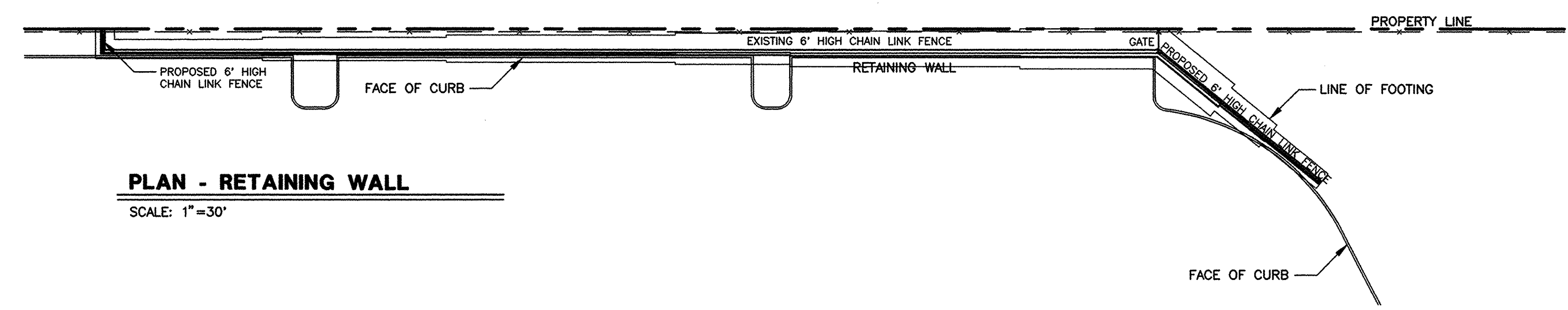
SDP-98-135



RETAINING WALL DETAIL
NO SCALE



ELEVATIONS - RETAINING WALL
SCALE: 1"=30' HOR.; 1"=5' VERT.



PLAN - RETAINING WALL
SCALE: 1"=30'

CONCRETE RETAINING WALL DIMENSIONS								
TYPE	h	a	b	c	d	e	f	w
A	less than 10'	1'-4"	1'-10"	3'-6"	1'-2"	1'-0"	1'-0"	1'-0"
B	10' to 12'	1'-8"	2'-4"	4'-3"	1'-4"	1'-0"	1'-0"	1'-0"
C	12' to 14'	1'-8"	2'-10"	5'-0"	1'-8"	1'-3"	1'-0"	1'-0"
D	14' to 16'	1'-10"	3'-4"	5'-0"	1'-8"	1'-3"	1'-0"	1'-0"
E	16' to 18'	2'-2"	3'-10"	6'-0"	1'-10"	1'-3"	1'-0"	1'-3"
F	18' to 20'	2'-6"	4'-3"	7'-3"	2'-0"	1'-3"	1'-0"	1'-3"

STRUCTURAL NOTES

SOIL PRESSURE: SOIL BEARING CAPACITY BENEATH FOOTINGS TO BE A MINIMUM OF 3,000 PSF.

FOOTINGS: TO BE A MINIMUM OF 2'-6" BELOW OUTSIDE FINISH GRADE AND BEARING ON UNDISTURBED SOIL.

CONCRETE: MINIMUM $F_c = 5,000$ PSI; DESIGN MIX AND PLACE IN ACCORDANCE WITH ACI 318-83. CONCRETE SHALL BE PROTECTED SO THAT THE TEMPERATURE AT THE SURFACE WILL NOT FALL BELOW 50 DEGREES F, OR THAT THERE WILL BE NO LOSS OF MOISTURE FROM THE SURFACE FOR A PERIOD OF SEVEN DAYS AFTER POURING. PROTECTION AGAINST LOSS OF MOISTURE SHALL BE ACCOMPLISHED BY COVERING THE CONCRETE WITH BURLAP OR COTTON MATS KEPT CONTINUOUSLY WET. DUSTING THE SURFACE WITH CEMENT IS PROHIBITED. AFTER SCREEDING THE SLAB, THE SURFACE SHALL BE FLOATED AND LATER STEEL TROWELED TO A SMOOTH, HARD, LEVEL FINISH. ALL CONCRETE SLABS SHALL BE A MAXIMUM OF 3/16" OUT OF LEVEL IN ANY 10'-0" LENGTH CHAMFER ALL EXPOSED EDGES. USE OF ADDITIVES SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY I.P.D.S. USE OF ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

REINFORCING: ASTM A-616 GRADE 40.

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

JOSEPH NAZARIO, OWNER
NAZARIO DEVELOPMENT AND COMPANY
DATE: 5-1-98

BY THE ENGINEER:
I/WE CERTIFY THAT THIS PLAN FOR EROSION CONTROL, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION.

FRED L. SKELTON, MD. REGISTRATION No. 9070
IPDS, LLC
DATE: 6/5/98

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

CHERYL SIMMONS, S.S. SOIL CONSERVATION SERVICE
DATE: 9/30/98

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

FRED L. SKELTON, MD. REGISTRATION No. 9070
IPDS, LLC
DATE: 9/30/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DIRECTOR: JAMES S. SMITH, DATE: 10/6/98
CHIEF, DIVISION OF LAND DEVELOPMENT: ANDY HAMILTON, DATE: 10/5/98
CHIEF, DEVELOPMENT ENGINEERING DIVISION: ADAM WATSON, DATE: 10/1/98

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
DIRECTOR: [Signature], DATE: [Blank]
CHIEF, BUREAU OF ENGINEERING: [Signature], DATE: [Blank]

AS BUILT CERTIFICATE

FRED L. SKELTON - MD. REGISTRATION No. 9070
IPDS, LLC
DATE: [Blank]

OWNER \ DEVELOPER

Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664



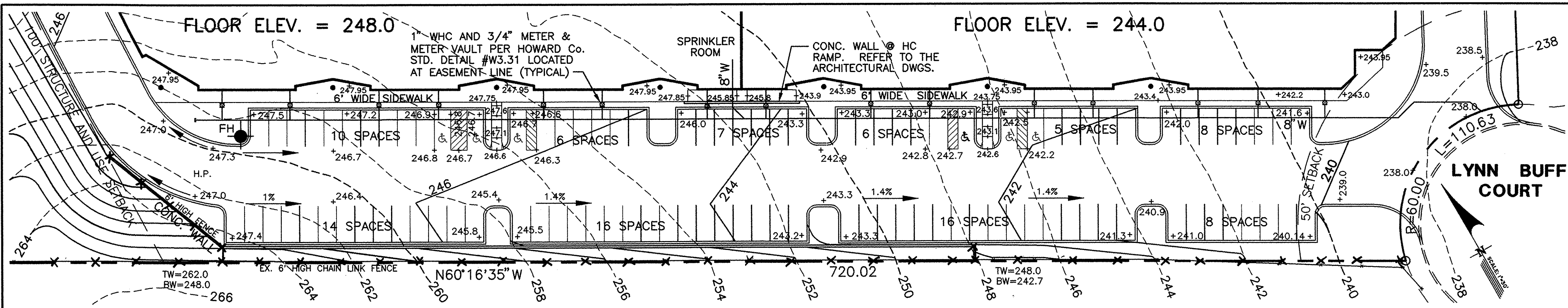
SDP-98-135

802 Silgo Avenue
Silver Spring, Maryland, 20910
(301) 585-5676
IPDS
The Interprofessional
PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects

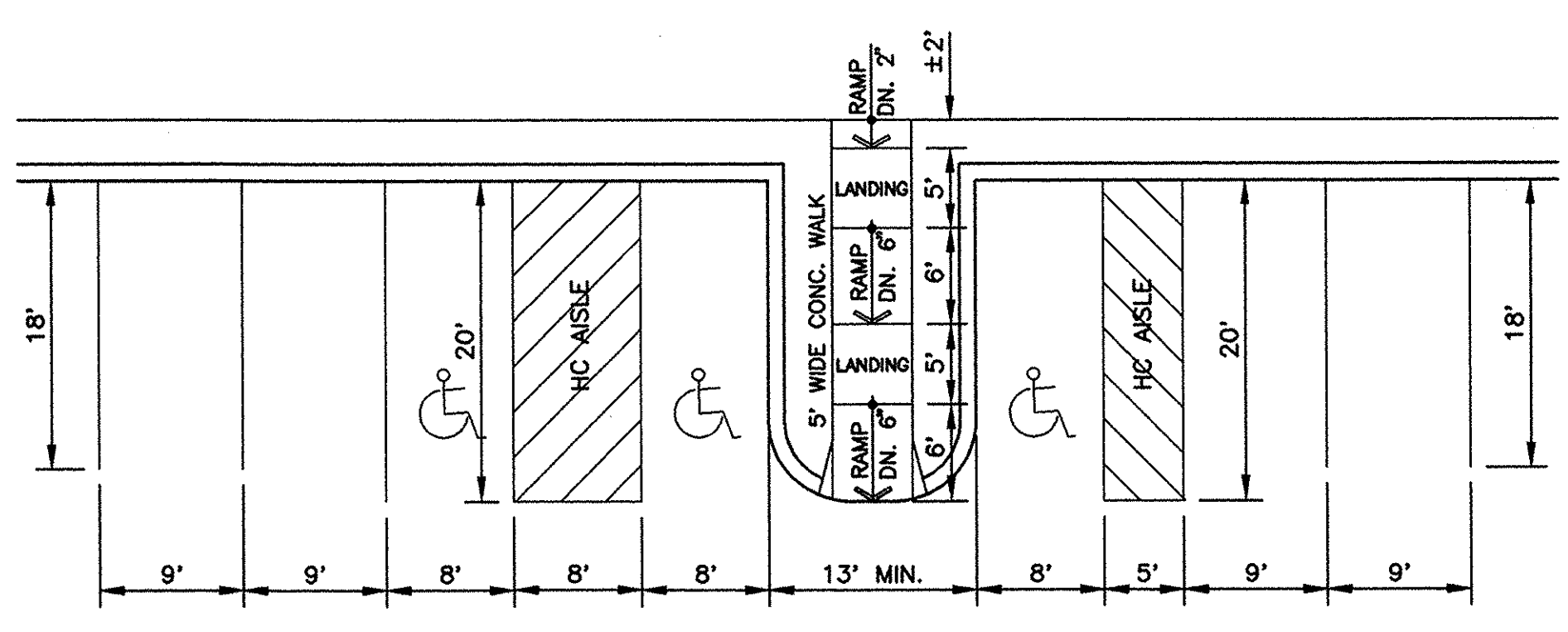
SITE DETAILS

U.S. No.1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3692, WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

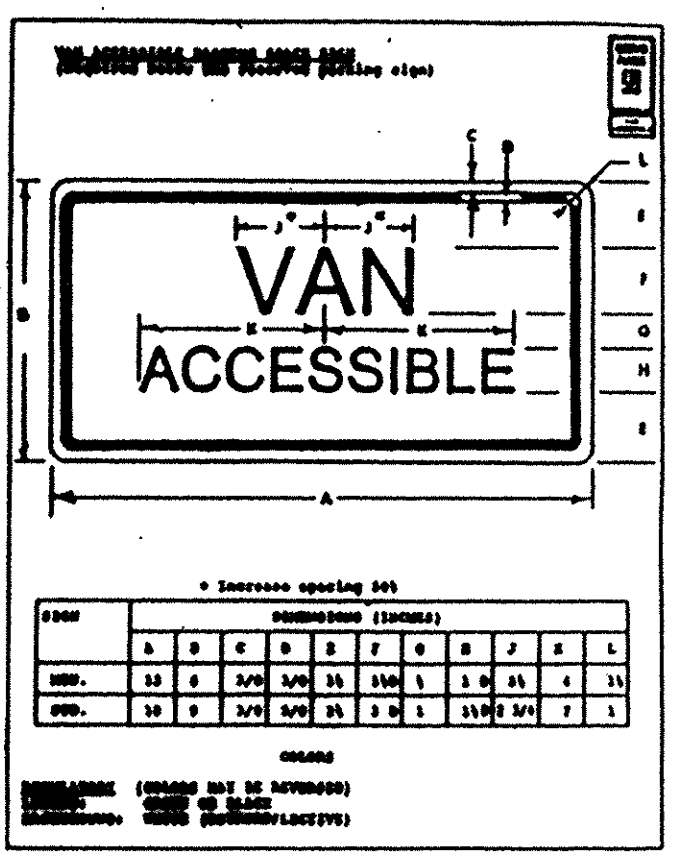
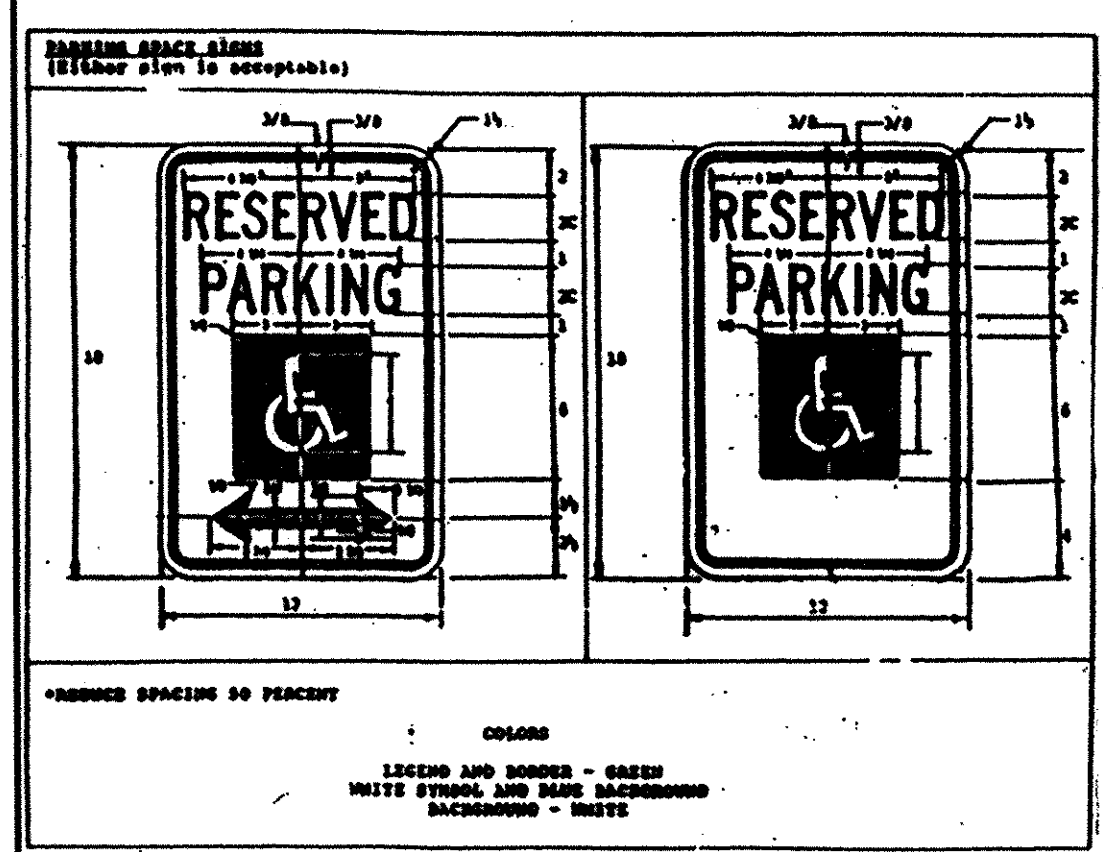
AS NOTED
SCALE:
06-18-98
REVISIONS:
01-18-98
DATE:
JOB NUMBER:
SDP-2
SHEET 3 OF 13
SDP-98-135



PARTIAL SITE PLAN
SCALE: 1"=30'



TYPICAL HANDICAPPED PARKING DETAIL
SCALE: 1"=10'



NOTE: HANDICAPPED SIGNS ARE BUILDING MOUNTED 6.5' ABOVE CONC. WALKWAY.

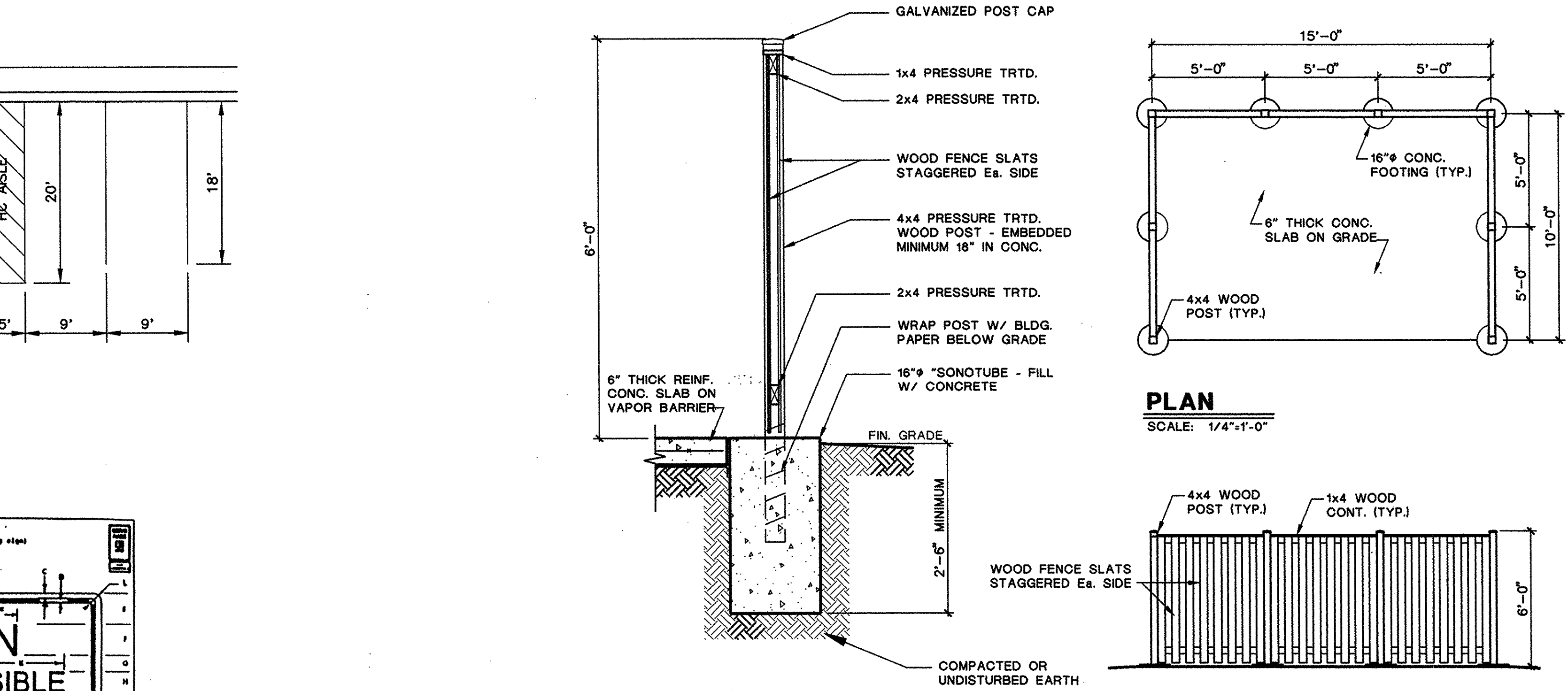
HANDICAPPED PARKING SIGN SPECIFICATIONS

I. Fine Sign:
Pursuant to Howard County Council Bill #45-93* which established a \$98.00 fine for violating provisions for handicapped parking and provided for posting notifications of that fine, this specification describes the sign authorized for posting and the associated mounting detail.

\$98 FINE

Sign to utilize an aluminum blank 6" x 12" x 0.080 inch thick with two (2) single post mounting holes. The text and border shall be standard green to match the R7-8 reserved parking sign and the background shall be reflective white. The text shall be 3" characters.

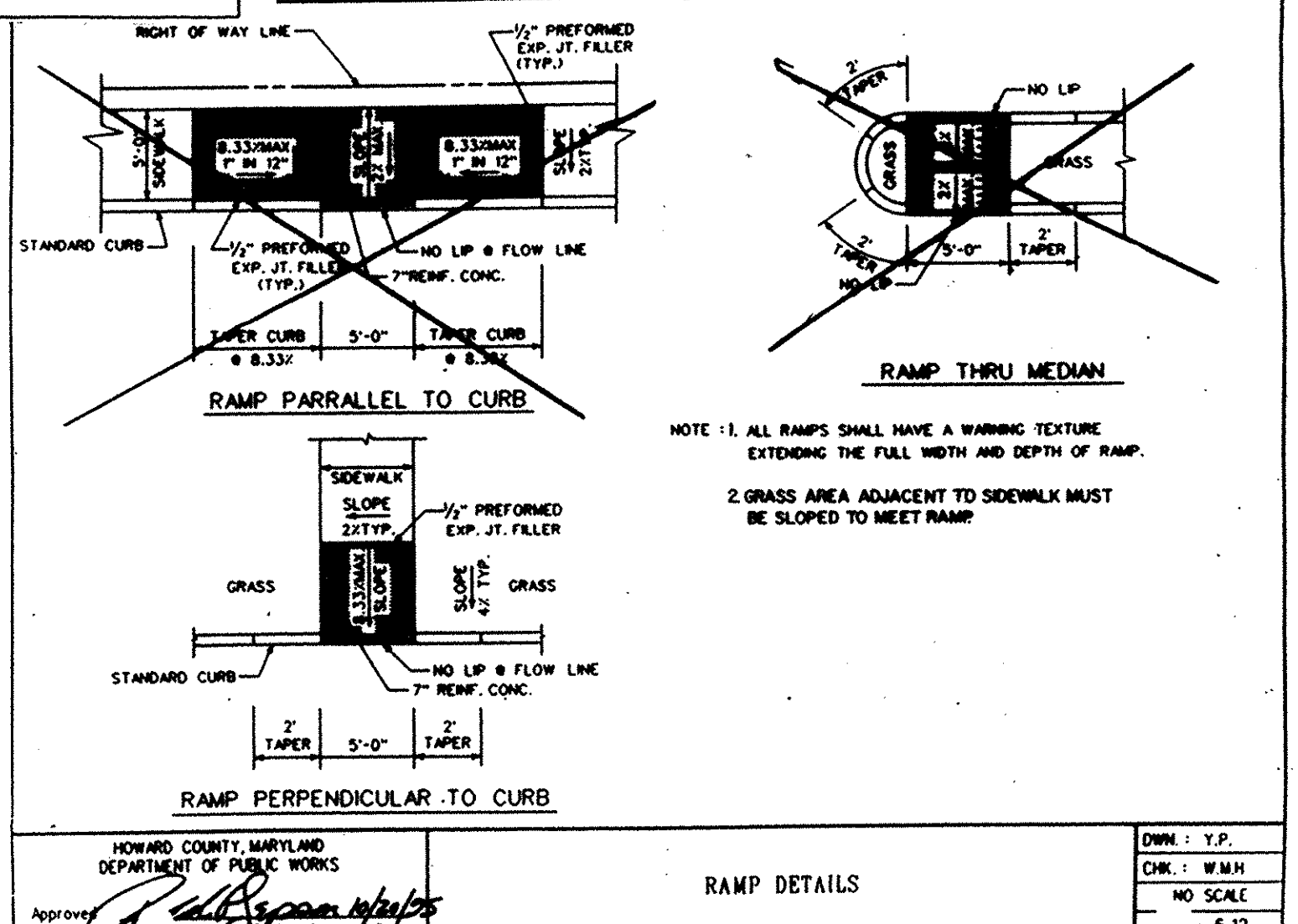
II. Mounting:
The above fine sign shall be mounted underneath the below R7-8 reserved parking sign. The bottom edge shall be no less than 7 feet above ground. If the sign is placed against a building, structure or other location where vehicle or pedestrian traffic is not obstructed, the bottom edge of the sign shall be at least 6 feet, but no more than 10 feet above ground. Because this is in addition to existing sign installations, some adjustment in height will be necessary.



TYPICAL POST DETAIL
SCALE: 3/4"=1'-0"

ELEVATION
SCALE: 1/4"=1'-0"

DUMPSTER ENCLOSURE



NOTE: 1. ALL RAMPS SHALL HAVE A WARNING TEXTURE EXTENDING THE FULL WIDTH AND DEPTH OF RAMP.
2. GRASS AREA ADJACENT TO SIDEWALK MUST BE SLOPED TO MEET RAMP.

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario / OWNER
NAZARIO DEVELOPMENT AND COMPANY
DATE: 5-1-98

BY THE ENGINEER:
I/WE CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT WITHIN 90 DAYS OF COMPLETION.

Fred L. Skelton / ND. REGISTRATION No. 9070
IPDS, LLC
DATE: 6/5/98

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Cheyl Simmons / U.S. SOIL CONSERVATION SERVICE
DATE: 9/30/98

THESE PLANS SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson / HOWARD SOIL CONSERVATION DISTRICT
DATE: 9/30/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DIRECTOR: [Signature]
DATE: 10/6/98

APPROVED: [Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 10/8/98

APPROVED: [Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/16/98

APPROVED: [Signature]
FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
DIRECTOR: [Signature]
DATE: [Blank]

APPROVED: [Signature]
CHIEF, BUREAU OF ENGINEERING
DATE: [Blank]

AS BUILT CERTIFICATE
FRED L. SKELTON - MD. REGISTRATION No. 9070
IPDS, LLC
DATE: [Blank]

OWNER \ DEVELOPER
Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664



SDP-98-135

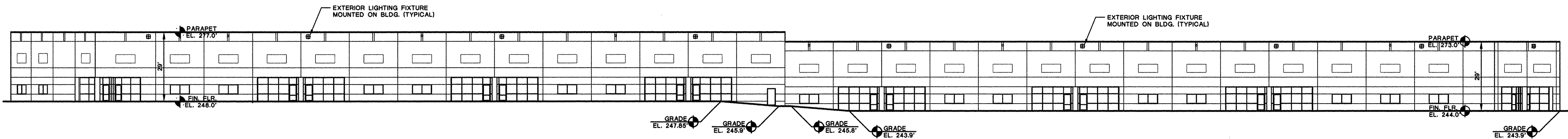
802 Sligo Avenue
Silver Spring, MD 20910
Maryland, 20910
IPDS
The Professional
PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects

SITE DETAILS

U.S. No.1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592 WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

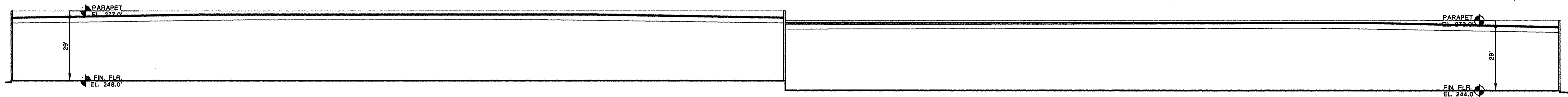
AS NOTED
SCALE:
06-18-98
REVISIONS:
04-30-98
DATE:
JOB NUMBER:

SDP-3
SHEET 4 OF 13
SDP-98-135



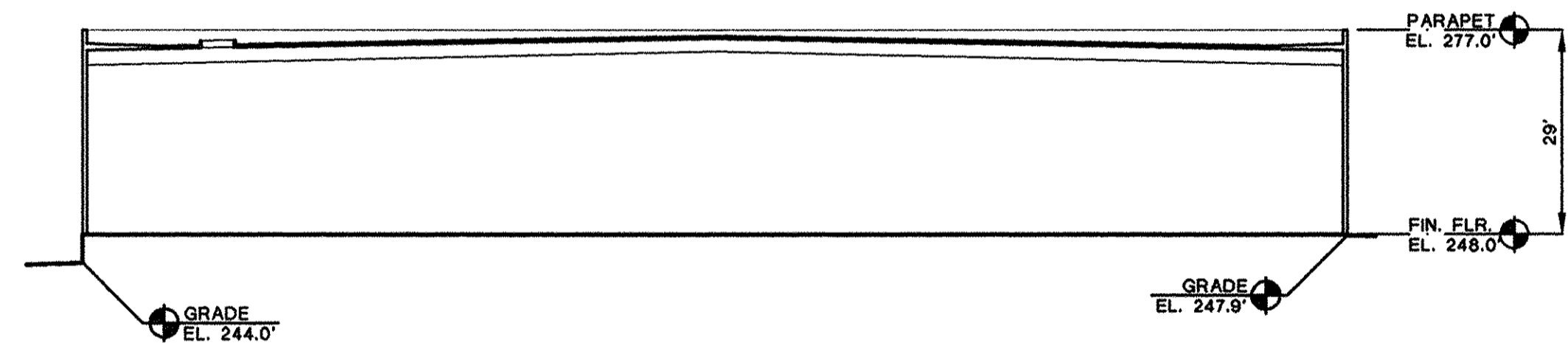
FRONT BUILDING ELEVATION

SCALE: 1"=20'



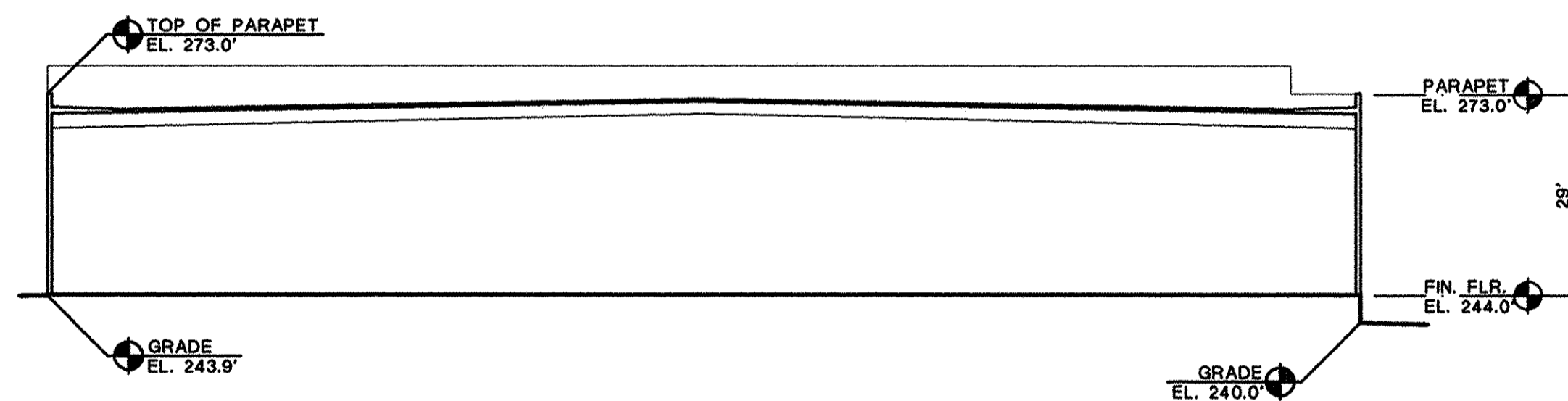
BUILDING SECTION "A"

SCALE: 1"=20'



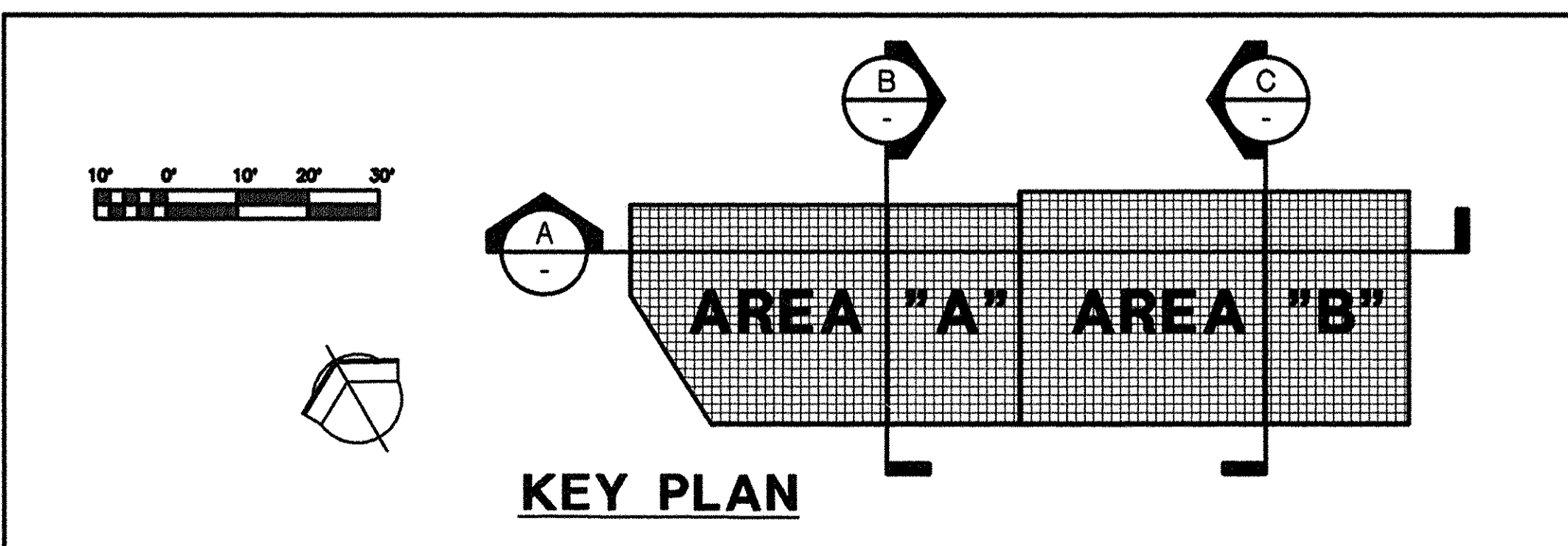
BUILDING SECTION "B"

SCALE: 1"=20'



BUILDING SECTION "C"

SCALE: 1"=20'



KEY PLAN

OWNER \ DEVELOPER
 Joseph Nazario
 Nazario Development and Company
 6500 Ammendale Road
 Beltsville, Maryland 20705
 (301) 937-4664



BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN EROSION CONTROL PLAN OF THE PROJECT WITHIN 90 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario 5-1-98
 JOSEPH NAZARIO, OWNER DATE
 NAZARIO DEVELOPMENT AND COMPANY

BY THE ENGINEER:
 I/WE CERTIFY THAT THIS PLAN FOR SOIL CONSERVATION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST REQUIRE THE HOWARD SOIL CONSERVATION DISTRICT WITHIN AN EROSION CONTROL PLAN OF THE PROJECT WITHIN 90 DAYS OF COMPLETION.

Fred L. Skelton 6/5/98
 FRED L. SKELTON - MD. REGISTRATION No. 9070 DATE
 IPDS, LLC

THESE PLANS SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Cheryl Scrimme 9/30/98
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

John K. Chatterton 9/30/98
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Joseph S. Hamilton 10/6/98
 DIRECTOR DATE

Conrad Hamilton 10/5/98
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William P. ... 10/1/98
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

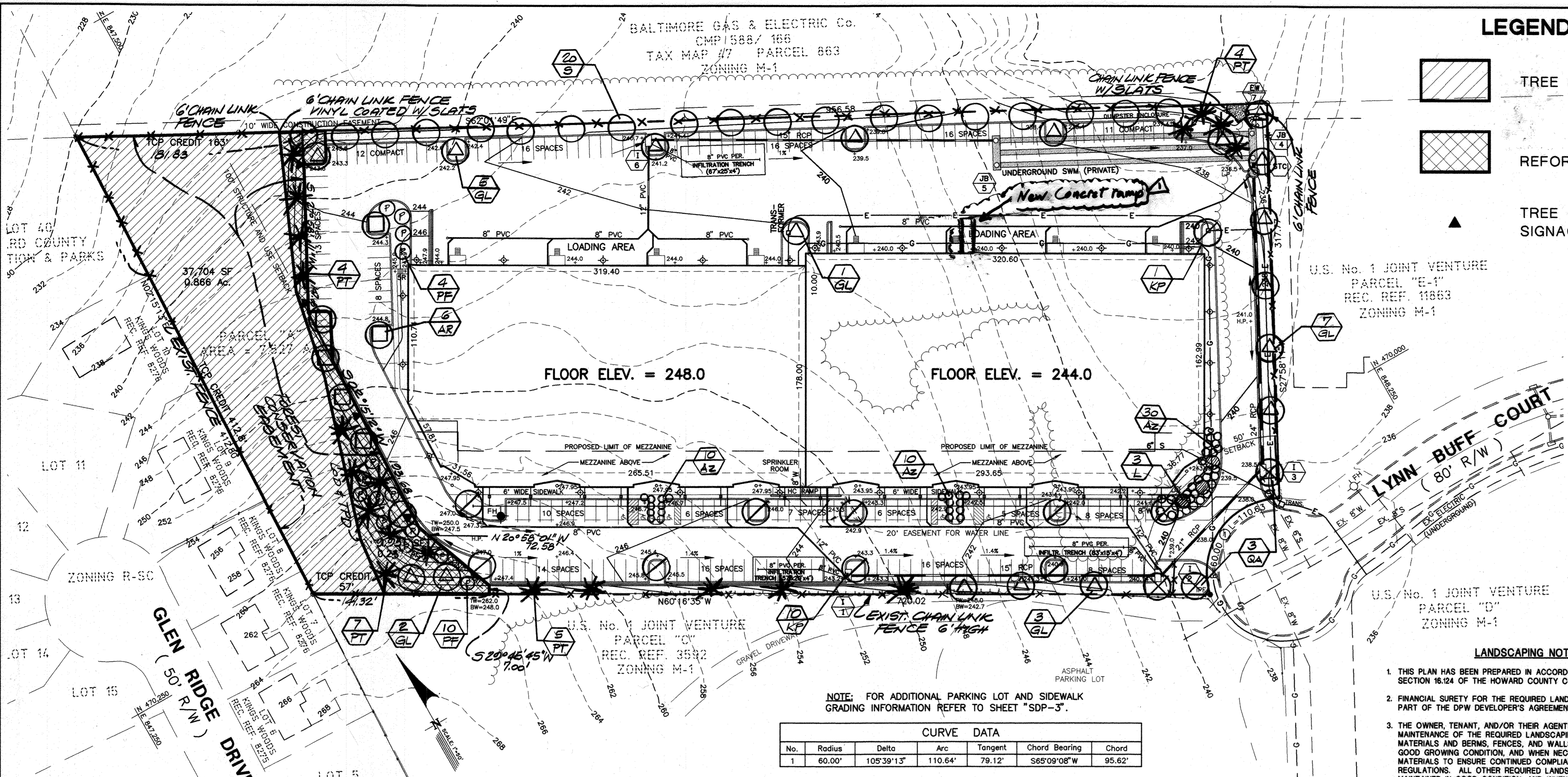
IPDS
 The Interprofessional
 PLANNING & DESIGN STUDIO, LLC
 Engineers • Architects • Surveyors
 Planners & Landscape Architects

**FRONT BUILDING ELEVATION
 & BUILDING PROFILES**

U.S. No.1 JOINT VENTURE
 PARCEL "A", PLAT CMP No. 3692, WAREHOUSE
 GUILFORD ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND
 CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23
 WATER CODE C04, SEWER CODE 7220000

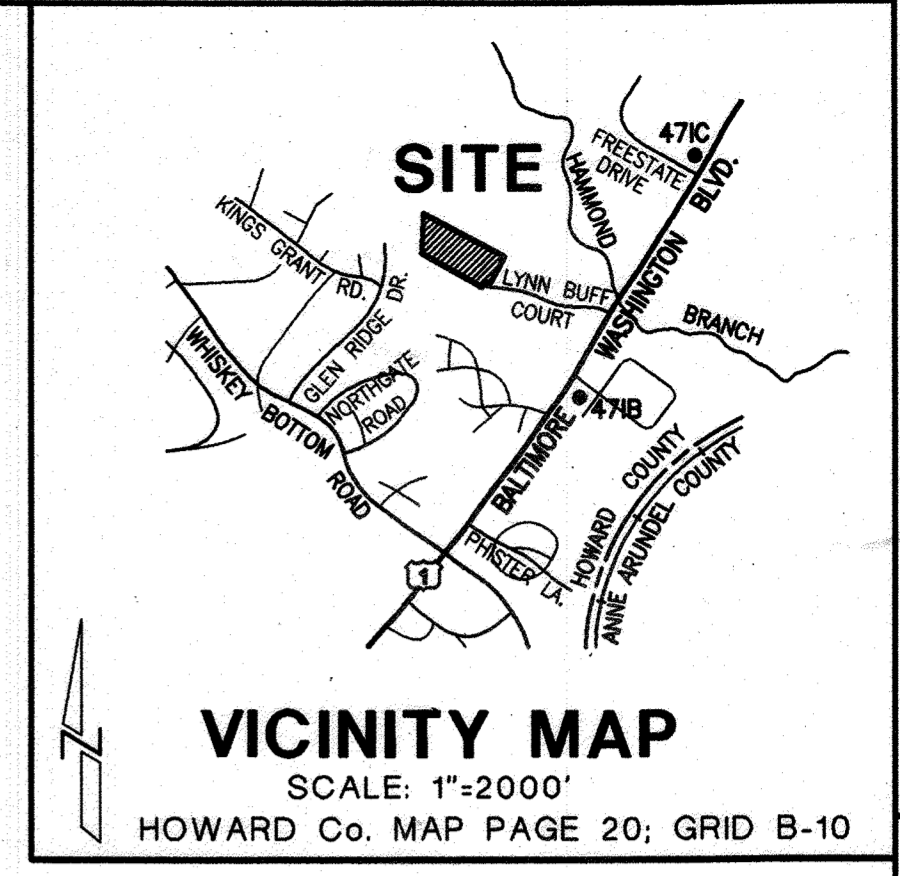
SCALE: 1"=20'
 REVISIONS:
 06-18-98
 04-30-98
 JOB NUMBER:

SDP-4
 SHEET 5 OF 13
SDP-98-135



LEGEND

- TREE PRESERVATION AREA
- REFORESTATION AREA
- TREE CONSERVATION SIGNAGE



DEVELOPER'S/BUILDER'S CERTIFICATE

WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Joseph Nazario, Owner
 Nazario Development and Company
 DATE: 2-6-98

Fred L. Skelton, MD, Registration No. 9070
 IPDS, LLC
 DATE: 05-01-98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: Fred L. Skelton, DATE: 10/6/98
 Chief, Division of Land Development: Cindy Hamilton, DATE: 10/5/98
 Chief, Development Engineering Division: [Signature], DATE: 10/1/98

- LANDSCAPING NOTES**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$1,120,000.
 - THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

CURVE DATA

No.	Radius	Delta	Arc	Tangent	Chord Bearing	Chord
1	60.00'	105°39'13"	110.64'	79.12'	S65°09'08"W	95.62'

PLANTING SCHEDULE

CATEGORY	SYMBOL	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	QUANTITIES			COST IN \$	
						STREET TREES	ON-SITE (PARKING LOT)	SUPPORTS & SCREENING	MATERIALS	INSTALLATION
SHADE TREES	AR	ACER RUBRUM	RED MAPLE	C	2 1/2 - 3" CAL. BAB		8			
	GL	GLEDITSIA TRIACANTHOS INERMIS	HONEYLOCUST	C	2 1/2 - 3" CAL. BAB		8		12	
	QA	QUERCUS ACUTISSIMA	SAWTOOTH OAK	C	2 1/2 - 3" CAL. BAB	3				
	S	SOPHORA JAPONICA	REGENT SCHOLARTREE	D	2 1/2 - 3" CAL. BAB		20			
ORNAMENTALS AND EVERGREENS	KP	KOELREUTRIA PANICULATA	GOLDEN RAIN TREE	O	6 - 8" BAB	11				
	PF	PHOTINIA FRASERI	RED PHOTINIA	O	6 - 8" BAB		14			
	PT	PINUS THUNBERGI	JAPANESE BLACK PINE	E	6 - 8" BAB		20			
SHRUBS	AZ	AZALEA KURUME	AZALEA	S	18 - 24" COM.	30	20			
	L	LEUCOCHAE CATEBAEII	DROOPING LEUCOCHAE	S	18 - 24" COM.	3				

PERIMETER LANDSCAPE EDGE - SCHEDULE "A"

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES			
		NORTH	EAST	SOUTH	WEST
LANDSCAPE TYPE	E	C (DUMPS/STER)	C (PERIMETER)	A	C
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	110'	15'	956.58'	317.77'	720.02'
CREDIT OF EXISTING VEGETATION	NONE	NONE	165'	NONE	67'
CREDIT FOR WALL, FENCE OR BERM	NONE	YES	YES	NONE	NONE
NUMBER OF PLANTS REQUIRED				OPTIONAL	OPTIONAL
SHADE TREES	110/40-3	15/40-1	793.58/40-20	0	0
EVERGREEN TREES	0	15/20-1	0	0	0
SHRUBS	110/4-28	0	0	0	0
NUMBER OF PLANTS PROVIDED					
SHADE TREES	3	1	20	0	0
EVERGREEN TREES	0	0	40	0	0
OTHER TREES (21 SUBJ)	0	0	0	0	0
SHRUBS	33	0	0	0	0

SCHEDULE "B" PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	193 SPACES
NUMBER OF TREES REQUIRED (1 PER 20 SPACES)	193 ÷ 20 = 10
NUMBER OF TREES PROVIDED	17
NUMBER OF PLANTING ISLANDS REQUIRED	10
NUMBER OF PLANTING ISLANDS PROVIDED	10
LANDSCAPE ISLAND AREA PROVIDED	2,400 SF

OWNER \ DEVELOPER

Joseph Nazario
 Nazario Development and Company
 6500 Ammendale Road
 Beltsville, Maryland 20705
 (301) 937-4664

Woodland Conservation Worksheet for Non-Governmental Projects

Zone: M-1
 Gross Tract: 7.527 Ac.
 Floodplain: [Blank]
 Previously Dedicated Land-Net Tract: 7.527 Ac.
 Subdivision/Block/Lot: U.S. No. 1 Joint Venture - Parcel "A"

Woodland Conservation Calculations:

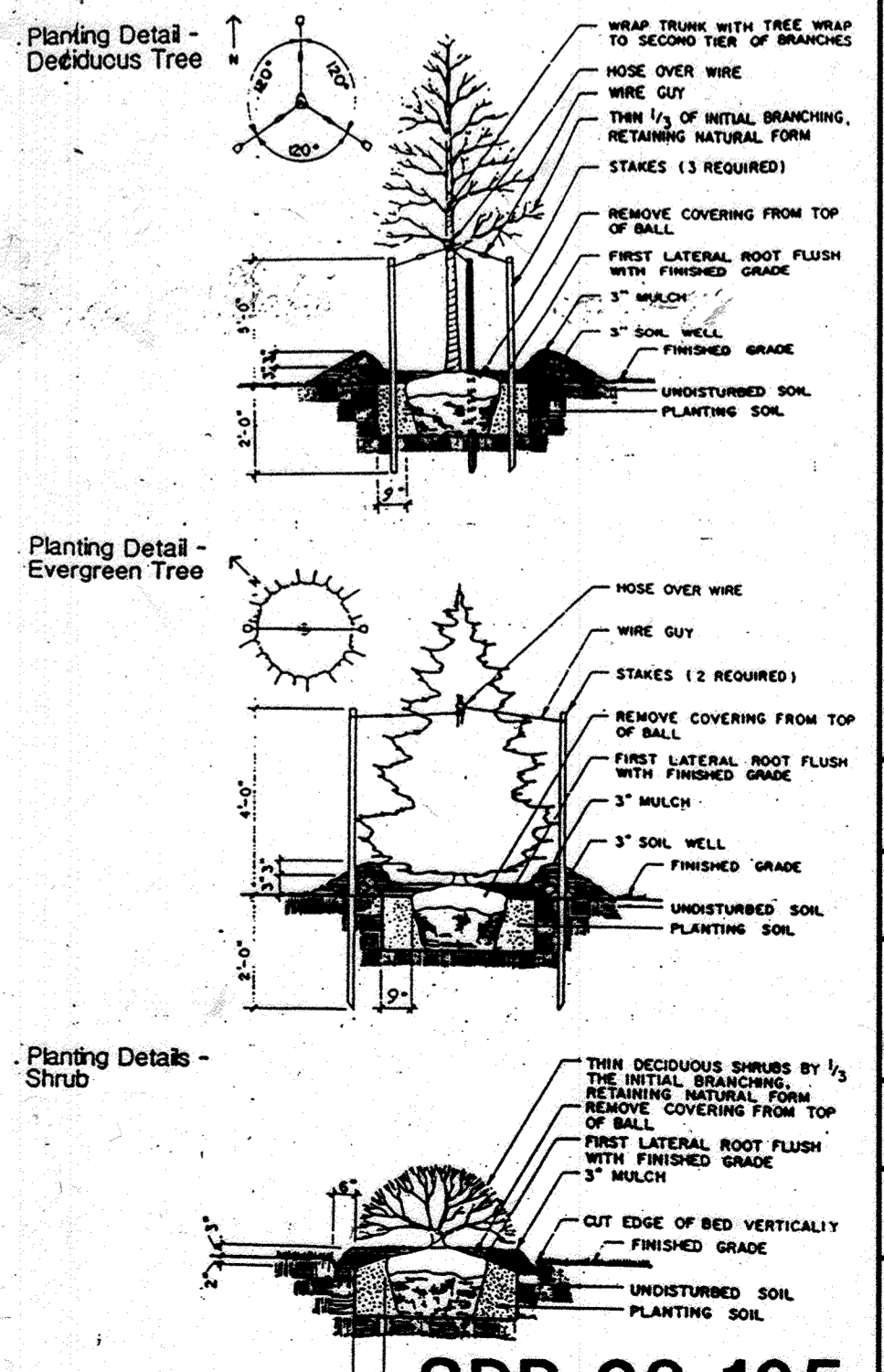
Existing Woodland WCT (15 % x Net tract) = 1.13
 Smaller of a. or b. = 1.13
 Woodland above WCT (a-b); if <0 enter 0 = 0
 Woodland Cleared = 0
 Smaller of d. or e. = 0
 Clearing below WCT (e-f); if <0 enter 0 = 0
 Replacement (f x 0.25) = 0
 Afforestation: (g x 2.0) = 0
 (net tract x .2 - a), or (net tract x .15 - a) if <0 enter 0 = 0
 Replacement required = (c+h+i+j-l-g) = 0

Woodland Conservation Provided: (acres)
 Woodland Preservation = 0.87
 Reforestation/Replacement = 0.25
 Afforestation = 1.68
 Area approved for fee-in-lieu = 1.68 x \$0.30 x 43560 = \$21,254.24
 Off-site Credits = 0
 Woodland Conservation Provided (must equal or exceed item "m" above) = 2.80
 Additional woodland retained but not part of any requirements: 0 acres

Net Tract (acres): a. 6.78, b. 1.13, c. 1.13, d. 5.65, e. 5.91, f. 5.65, g. 0.26, h. 1.41, i. 0.52, j. 0.00, m. 2.80

Floodplain (acres): k. N/A, l. [Blank]

Revision Note:
 A new concrete ramp is added at the back of the building.



IPDS
 The Interprofessional
 PLANNING & DESIGN STUDIO, LLC
 Engineers • Architects • Surveyors
 Planners & Landscape Architects

802 Sligo Avenue
 Silver Spring, Maryland, 20910
 (301) 585-5676

LANDSCAPING PLAN AND TREE CONSERVATION PLAN

U.S. No. 1 JOINT VENTURE
 PARCEL "A", PLAT CMP NO. 3592, WAREHOUSE
 GUILFORD ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND
 CENSUS TRACT 6669.02, TAX MAP 47, BLOCK 22/23
 WATER CODE C04, SEWER CODE 7220000

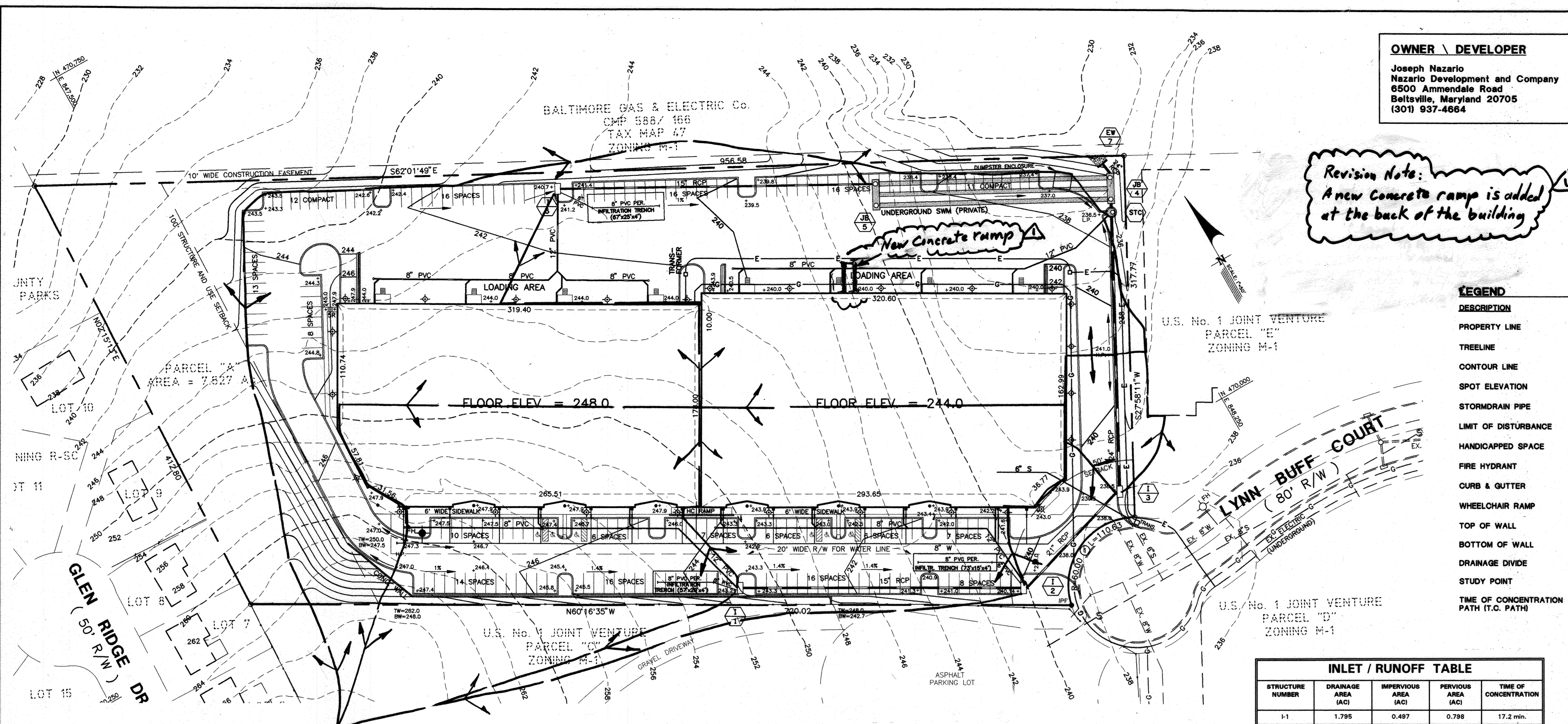
SCALE: 1"=50'
 01-12-21
 06-18-98

REVISIONS:
 01-18-98

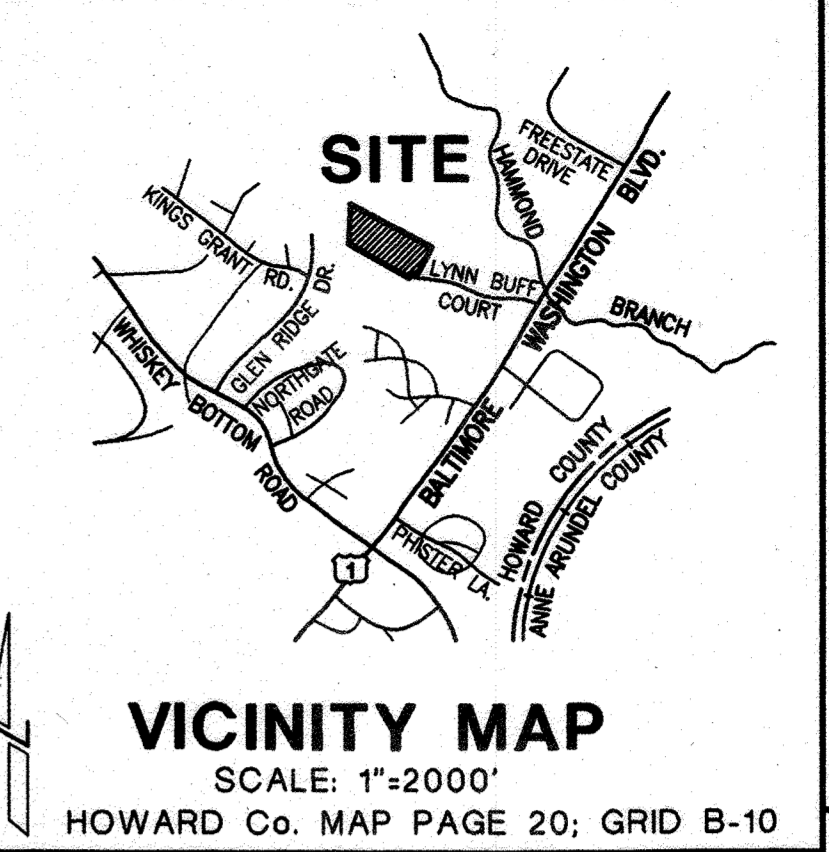
DATE: 01-18-98

JOB NUMBER:
 LA-1/TCP

SHEET 6 OF 13
 SDP-98-135



OWNER / DEVELOPER
Joseph Nazario
Nazario Development and Company
6500 Amundale Road
Beltsville, Maryland 20705
(301) 937-4664



LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
TREELINE	~~~~~	~~~~~
CONTOUR LINE	----- 250	----- 250
SPOT ELEVATION	X 250	+ 250
STORMDRAIN PIPE	-----	-----
LIMIT OF DISTURBANCE	---	L.O.D.
HANDICAPPED SPACE	---	---
FIRE HYDRANT	○ FH	● FH
CURB & GUTTER	---	---
WHEELCHAIR RAMP	---	*
TOP OF WALL	---	T.W.
BOTTOM OF WALL	---	B.W.
DRAINAGE DIVIDE	←	←
STUDY POINT	---	● S.P.
TIME OF CONCENTRATION PATH (T.C. PATH)	---	---

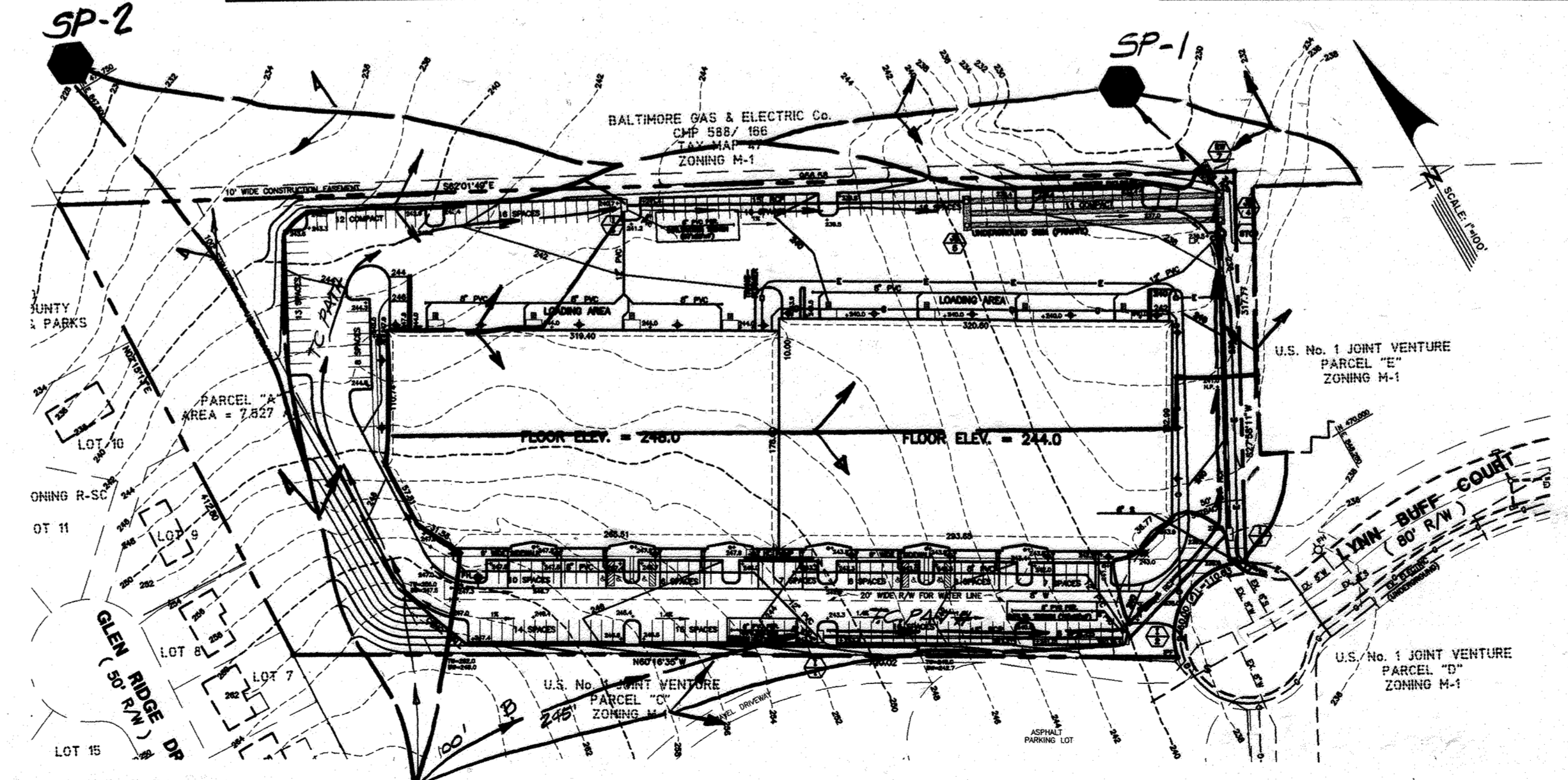
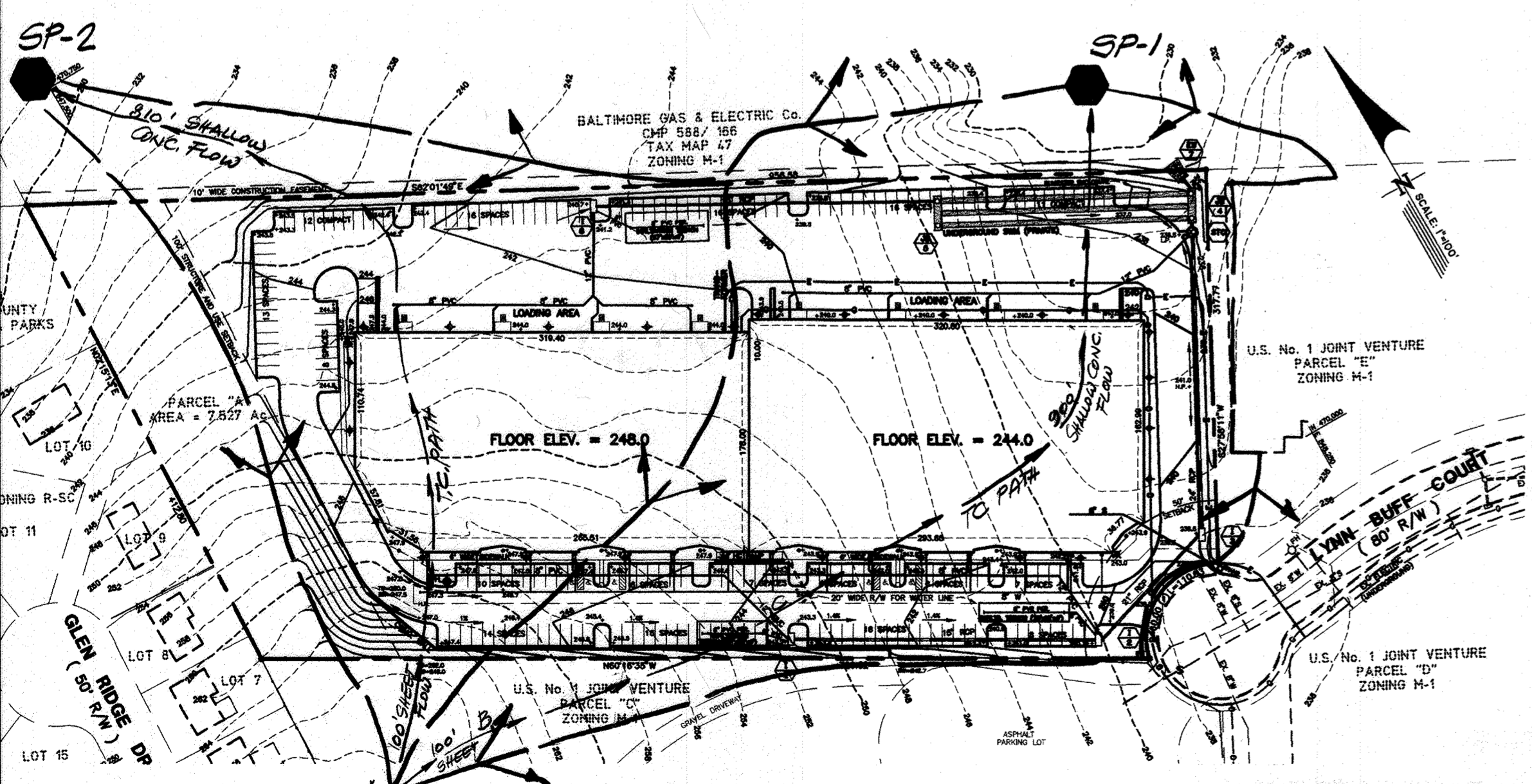
DRAINAGE AREA MAP
SCALE: 1"=50'

HYDROLOGIC TABLE

STUDY POINT	DRAINAGE AREA (ACRES)		CURVE NUMBER		TIME OF CONCENTRATION	
	PRE-DEVELOPED	POST-DEVELOPED	PRE-DEVELOPED	POST-DEVELOPED	PRE-DEVELOPED	POST-DEVELOPED
1	6.067	9.21	61	80	0.320	0.314
2	3.98	0.742	55	55	0.3125	0.216

INLET / RUNOFF TABLE

STRUCTURE NUMBER	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	PERVIOUS AREA (AC)	TIME OF CONCENTRATION
I-1	1.795	0.497	0.798	17.2 min.
I-2	1.655	0.959	0.696	10.12 min.
I-3	0.108	0.079	0.029	5 min.
STC/JB-4	1.939	1.246	0.009	5 min.
JB-5				
I-6	1.737	1.473	0.264	19.82 min.
EW-7				



BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario
JOSEPH NAZARIO, OWNER
NAZARIO DEVELOPMENT AND COMPANY
DATE: 05-01-90

BY THE ENGINEER:
I/WE CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTICED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION.

Fred L Skelton
FRED L SKELTON - MD, REGISTRATION No. 9070
IPDS, LLC
DATE: 05-01-98

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Cheryl Simmers 9/30/98
NATURAL RESOURCES CONSERVATION SERVICE
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

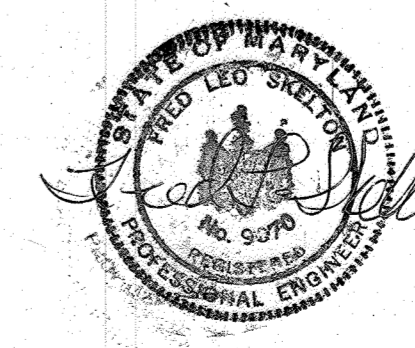
John R. Robertson 9/30/98
HOWARD SOIL CONSERVATION DISTRICT
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Paul Suter 10/6/98
DIRECTOR
DATE

Condi Hamilton 10/5/98
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE

John DeMunnis 10/1/98
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE

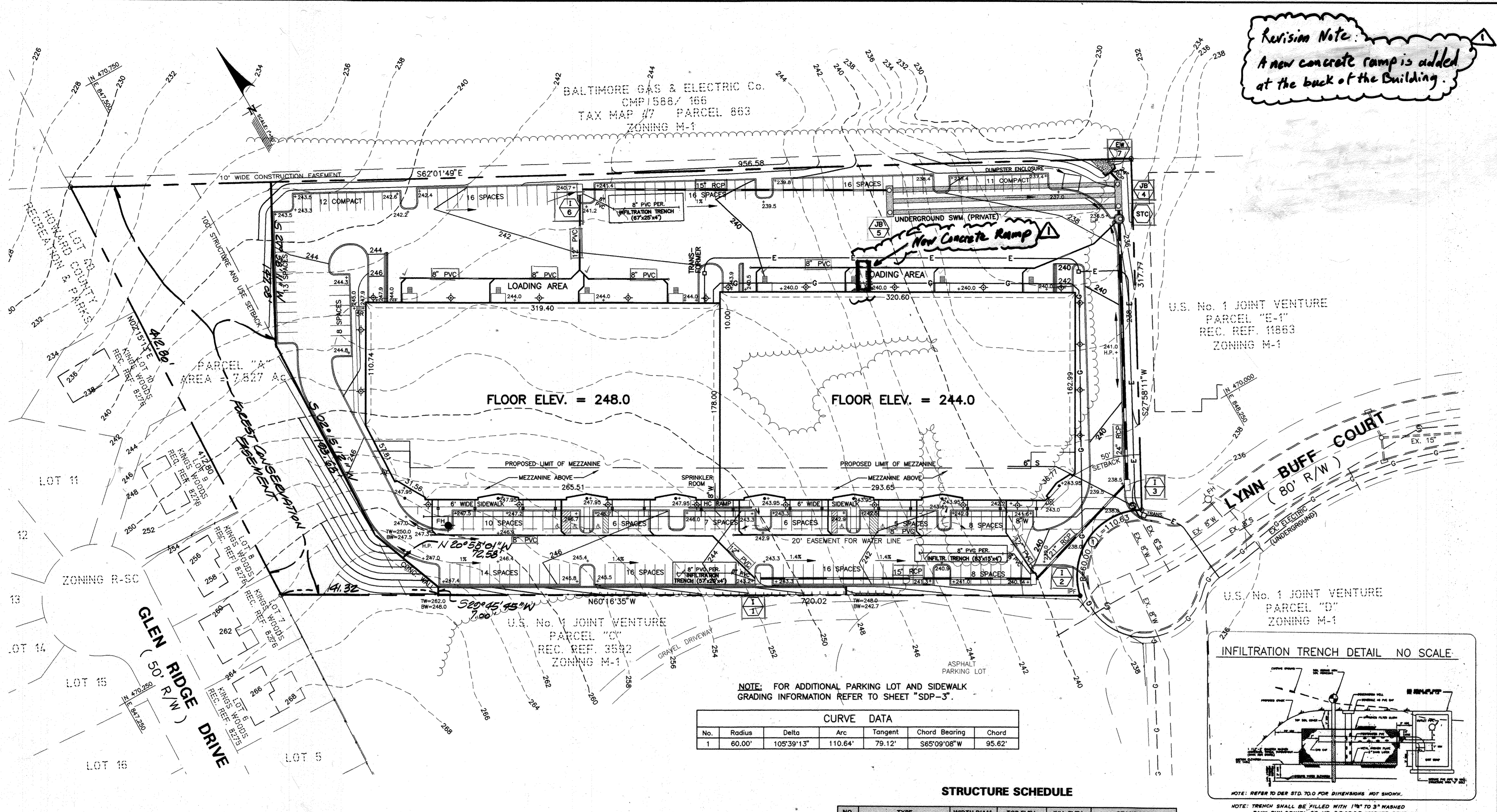


802 Silgo Avenue
Silver Spring, Maryland, 20910
(301) 585-5676
The Interprofessional
IPDS
PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects

DRAINAGE AREA MAPS

U.S. No. 1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
GULFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 5069.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

AS NOTED
SCALE:
01-12-21
REVISIONS:
DATE: 04-30-98
JOB NUMBER:
DA-1
SHEET 7 OF 13
SDP-98-135



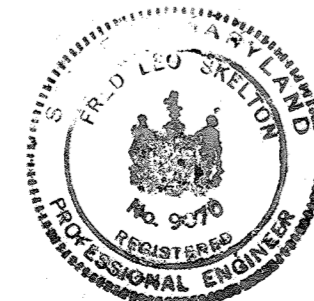
**OPERATION AND MAINTENANCE SCHEDULE
FOR UNDERGROUND SWM QUANTITY STORAGE PIPES AND
INFILTRATION TRENCH INLET STRUCTURE**

1. THE INFILTRATION TRENCH INLET STRUCTURES AND THE 48" DIA. UNDERGROUND STORMWATER STORAGE PIPES SHALL BE INSPECTED AND CLEANED EVERY SIX MONTHS TO MAINTAIN OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE INFILTRATION TRENCH INLET STRUCTURES, STORMCEPTOR AND UNDERGROUND STORAGE PIPES EVERY SIX MONTHS AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORMS. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OPENING IS OBSERVED, THE FACILITY MUST BE CLEANED.
2. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT APPROPRIATE REGULATORY AGENCIES.
3. THE MAINTENANCE OF THE INFILTRATION TRENCH INLETS AND STORMCEPTOR STRUCTURES SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE INLET. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
4. THE SEDIMENT DEBRIS SHALL BE REMOVED FROM THE 48" DIA. STORAGE PIPES BY VACUUM TRUCK OR OTHER MANUAL MEANS.
5. THE UNDERGROUND STORAGE PIPES CONTROL STRUCTURE SHALL BE CHECKED FOR ANY OBSTRUCTION AT LEAST ONE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND THE OWNER SHALL HAVE THEM REMOVED.
6. THE OWNER SHALL PROVIDE CORRECTIVE MAINTENANCE ANY TIME THE TRENCHES DO NOT DRAIN DOWN COMPLETELY WITHIN 96 HOURS.
7. THE OWNER SHALL RETAIN AND MAKE THE INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.
8. THE SWM SYSTEM IS TO BE PRIVATELY OWNED AND MAINTAINED.

CERTIFICATE

I hereby certify that to the best of my knowledge that this "As-Built" truly represents existing field conditions including, but not limited to sizes, diameters, line and grade, and elevations.

Fred L. Skelton (SEAL)
Fred L. Skelton, P.E.
MD Reg. No. 9070



03-14-01

CURVE DATA

No.	Radius	Delta	Arc	Tangent	Chord Bearing	Chord
1	60.00'	105°39'13"	110.64'	79.12'	S65°09'08"W	95.62'

STRUCTURE SCHEDULE

NO.	TYPE	WIDTH/DIAM.	TOP ELEV.	INV. ELEV.	STANDARD DETAIL
1	INLET A-5	6' x 5'	248.25	239.25	SD 4.01
2	INLET A-5	6' x 5'	248.75	239.75	SD 4.01
3	INLET A-10	2.5' x 10'	248.50	239.50	SD 4.02
4	JUNCTION BOX A-5	6' x 5'	248.00	231.00	SEE DETAIL
5	JUNCTION BOX		248.00	232.00	SEE DETAIL
6	INLET A-5	6' x 5'	241.69	234.23	SD 4.01
7	ENDWALL TYPE "C"	24"	234.20	230.20	SD 5.21
STC	STORMCEPTOR	36" DIA.	237.50	228.00	STC 2400

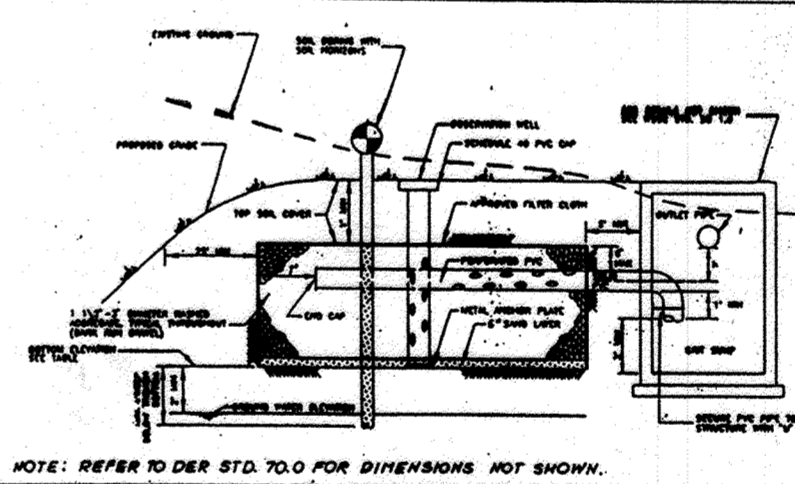
PIPE SCHEDULE

FROM	TO	SIZE	TYPE	LENGTH (FEET)
1	2	15" RCP	CL IV	244
2	3	21" RCP	CL IV	116
3	STC	24" RCP	CL IV	230
STC	4	24" RCP	CL IV	4
4	7	24" RCP	CL III	11
5	6	15" RCP	CL IV	272
6	4	TRIPLE 48"	CMP	600

PIPE SUMMARY

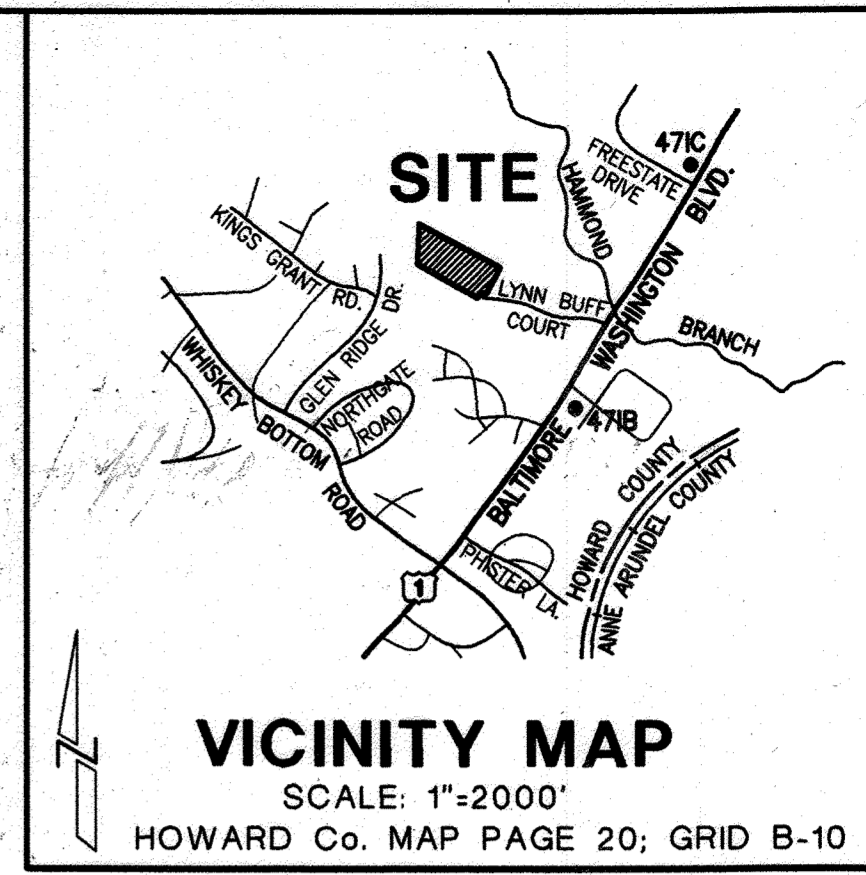
SIZE	TYPE	LENGTH
15"	RCP CL IV	516
21"	RCP CL IV	116
24"	RCP CL III	11
24"	RCP CL IV	234
48"	CMP	600

INFILTRATION TRENCH DETAIL NO SCALE



NOTE: TRENCH SHALL BE FILLED WITH 1/4" TO 3/8" WASHED BANK-RUN GRAVEL OR NO. 5 TO #8 WASHED CRUSHED BLUESTONE. BLUESTONE MUST BE OBTAINED FROM AN APPROVED SUPPLIER.

1. INFILTRATION SYSTEMS MAY NOT RECEIVE UNTIL THE ENTIRE CONTRIBUTORY DRAINAGE AREA TO THE INFILTRATION SYSTEM HAS RECEIVED FINAL STABILIZATION.
2. HEAVY EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER INFILTRATION AREAS TO MINIMIZE COMPACTION OF THE SOIL.
3. EXCAVATE THE TRENCH TO THE DESIGN DIMENSIONS. EXCAVATED MATERIALS SHALL BE PLACED AWAY FROM THE TRENCH SITES IN ORDER TO PREVENT FUMES OR TRAPING OF THE FILTER FABRIC DURING SUBSEQUENT INSTALLATION PROCEDURES. THE MATERIALS OF THE TRENCH SHALL BE REINFORCED WHERE REQUIRED AND SEALED BY HEAVY EQUIPMENT.
4. A LIST OF NON-WOVEN FABRICS THAT MEET HOWARD COUNTY SPECIFICATIONS ARE AS FOLLOWS. ANY ALTERNATIVE FILTER FABRIC MUST BE APPROVED BY THE ENGINEER AND HOWARD COUNTY.
 - A. MIFLUX 1804
 - B. SF24C W/ 4-12 SF, 30F, 80F
 - C. TYPHON 341, 361
 - D. SUDON GLOBE TRENCH 1200
 - E. TRIMBAX 50
5. EACH HOLE MUST BE CUT TO THE PROPER WIDTH PRIOR TO INSTALLATION. THIS CUT WIDTH MUST INCLUDE SUFFICIENT MATERIAL TO COVER THE TRENCH PERIMETER UNLESS THE HOLE IS FOR A 4 INCH DIAMETER TOP COVER. THE FILTER FABRIC SHALL BE TUCKED UNDER THE SAID LAYER ON THE BOTTOM OF THE INFILTRATION TRENCH FOR A DISTANCE OF 12 INCHES. STOPS OR OTHER ANCHORS SHOULD BE PLACED ON THE FABRIC AT THE BOTTOM OF THE TRENCH TO KEEP THE TRENCH OPEN DURING WINDY PERIODS. WHEN COVERLAYS ARE REQUIRED BETWEEN HOLE WALLS, THE COVERLAYS SHALL BE OVERLAPPED TO PROVIDE A SEAMLESS SURFACE BEHIND THE FABRIC.
6. A 4 INCH SAND FILTER LAYER SHALL BE PLACED ON THE BOTTOM OF THE INFILTRATION TRENCH AND COMPACTED USING PLATE COMPACTORS. THE SAND FOR THE INFILTRATION TRENCH SHALL BE WASHED AND MEET ASTM STD. NO. 9 OR NO. 10, OR ANY ALTERNATIVE SAND GRADATION MUST BE APPROVED BY THE ENGINEER AND HOWARD COUNTY.
7. A MAXIMUM LOSS OF 12 INCHES OF 12 INCHES IS RECOMMENDED. THE GRAVEL FOR THE INFILTRATION TRENCH SHALL BE WASHED AND MEET ONE OF THE FOLLOWING ASTM AND FOR. NO. 2 OR 3. ANY ALTERNATIVE GRAVEL GRADATION MUST BE APPROVED BY THE ENGINEER AND HOWARD COUNTY. FOLLOWING THE ABOVE, THE GRAVEL SHALL BE PLACED IN THE TRENCH. THE GRAVEL SHALL BE COMPACTED TO FORM A 4 INCH MINIMUM LONGITUDINAL LAP. THE DESIRED FILL SOIL OR STONE GRADATION SHALL BE PLACED OVER THE LAP AT SUFFICIENT INTERVALS TO MAINTAIN THE LAP DURING SUBSEQUENT BACKFILLING.
8. CARE SHALL BE EXERCISED TO PREVENT NATURAL OR FILL SOILS FROM INTERMIXING WITH THE STONE AGGREGATE. ALL CONTAMINATED STONE AGGREGATE SHALL BE REMOVED AND REPLACED WITH UNCOMPACTED STONE AGGREGATE.
9. VOIDS CAN BE CREATED BETWEEN THE FABRIC AND EXCAVATED SIDES AND SHALL BE AVOIDED. REMOVING SOILS OR OTHER OBSTACLES FROM THE TRENCH WALLS IS ONE SOURCE OF SUCH VOIDS. NATURAL SOILS SHOULD BE PLACED IN THESE VOIDS AT THE MOST CONFINED TIME DURING CONSTRUCTION TO ENSURE FABRIC CONFORMITY TO THE EXCAVATION SIDES.
10. VERTICALLY EXCAVATED WALLS MAY BE DIFFICULT TO MAINTAIN IN AREAS WHERE THE SOIL MOISTURE IS HIGH OR WHERE SOFT CONDITIONS OR COMPRESSIONABLE SUBSTRATES EXIST. THESE CONDITIONS MAY REQUIRE LAYING BACK OF THE SOIL BEHIND THE TRENCH WALLS TO MAINTAIN STABILITY.
11. PVC DISTRIBUTION PIPES SHALL BE PERMITTED TO MEET ASTM STD. D 2064. FABRICATION SIZE AND SPACING SHALL MEET ASTM STD. D 2064. DISTRIBUTION PIPES SHALL BE PROVIDED ONLY WITHIN THE INFILTRATION TRENCH AND SHALL BE PLACED AT LEAST 1 FOOT FROM THE INFILTRATION TRENCH WALLS. THE END OF THE PVC PIPE SHALL BE CAPPED.
12. THE OBSERVATION WELLS TO CONSIST OF 4 INCH TO 6 INCH DIAMETER PVC PIPE WITH A CAP AT GROUND LEVEL AND TO BE LOCATED AT THE LONGITUDINAL CENTER OF THE INFILTRATION TRENCH. A 2 INCH PORTED PVC PIPE SHALL BE PROVIDED AND PLACED VERTICALLY WITHIN THE INFILTRATION TRENCH AN ANCHOR PROVIDED AT THE BOTTOM OF THE PIPE. THE BOTTOM OF THE PIPE SHALL REST ON THE TRENCH BOTTOM.



Revision Note:
A new concrete ramp is added at the back of the Building.

U.S. No. 1 JOINT VENTURE
PARCEL "E-1"
REC. REF. 18693
ZONING M-1

U.S. No. 1 JOINT VENTURE
PARCEL "D"
ZONING M-1

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITHIN 90-DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario
JOSEPH NAZARIO, ENGINEER
NAZARIO DEVELOPMENT AND COMPANY
5-1-98
DATE

BY THE ENGINEER:

I/WE CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 90-DAYS OF COMPLETION.

Fred L. Skelton
FRED L. SKELTON, MD. REGISTRATION NO. 9070
IPDS, LLC
6/5/98
DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Carol Simmons
CAROL SIMMONS
NATURAL RESOURCES CONSERVATION SERVICE
9/30/98
DATE

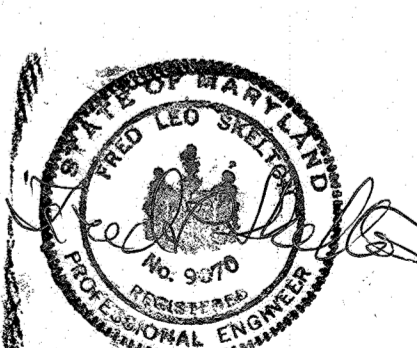
THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

John R. Hunter
JOHN R. HUNTER
HOWARD SOIL CONSERVATION DISTRICT
9/30/98
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Condy Hamilton
CONDY HAMILTON
CHIEF, DIVISION OF LAND DEVELOPMENT
10/6/98
DATE

John R. Hunter
JOHN R. HUNTER
CHIEF, DEVELOPMENT ENGINEERING DIVISION
10/6/98
DATE



OWNER \ DEVELOPER

Joseph Nazario
Nazario Development and Company
6500 Ammenclade Road
Beltsville, Maryland 20705
(301) 937-4664

802 Silgo Avenue
Silver Spring, Maryland, 20910
(301) 585-5676

IPDS
The Interprofessional
PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects

**STORMWATER
MANAGEMENT PLAN**

U.S. No.1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3992, WAREHOUSE
GULFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23
WATER CODE CO4, SEWER CODE 722000

SCALE: 1"=50'

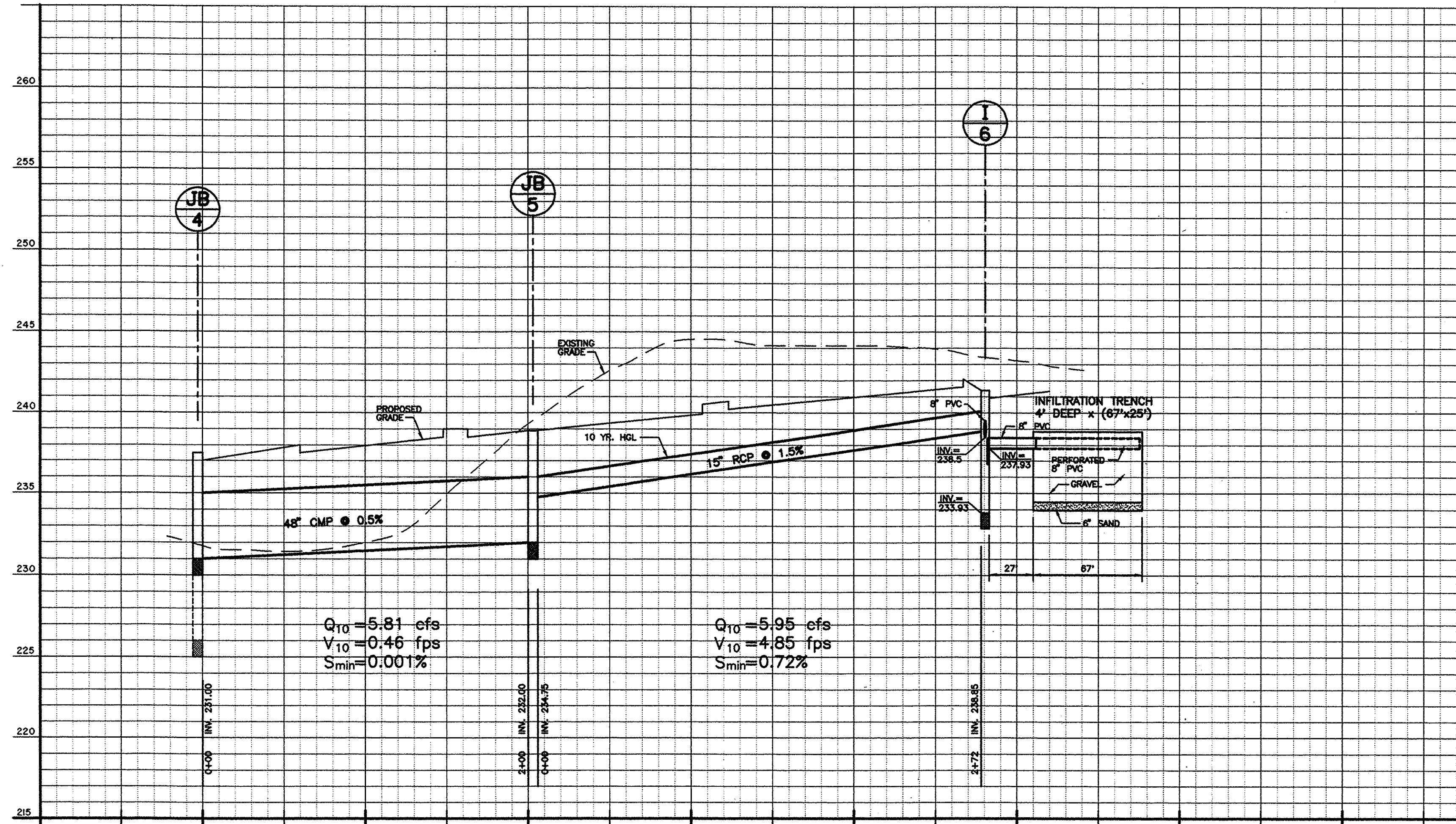
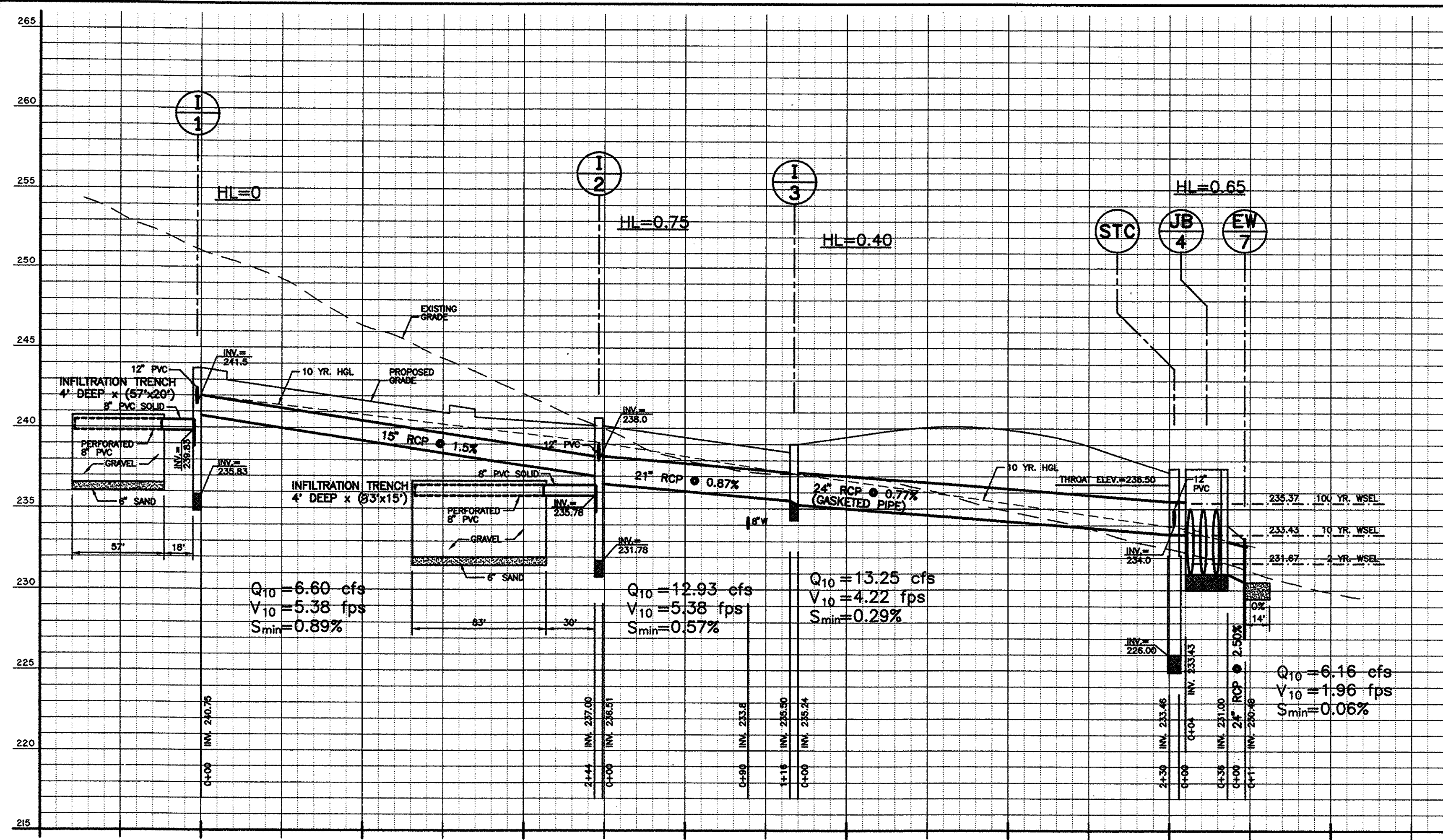
06-18-98
01-12-21

01-28-98

JOB NUMBER:

SWM-1
SHEET 8 OF 13

SDP-98-135



**CONTRACTOR INSTALLATION INSTRUCTIONS:
 PRECAST CONCRETE STORMCEPTOR**

STAKEOUT-OUT THE LOCATION OF THE STORMCEPTOR AND EXCAVATE HOLE. EXCAVATE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO UNIT. INSTALL A 12" DEEP (OR AS REQUIRED) LAYER OF COMPACTED AGGREGATE SUBBASE AT THE BOTTOM OF THE EXCAVATION. INSTALL MULE OR SHORING AS NEEDED.

CHECK ELEVATION OF UNIT BY MEASURING ITS SECTIONS FROM BASE OF THE STORAGE CHAMBER (BOTTOM OF UNIT'S SLAB) TO THE INVERT OF STORMCEPTOR BYPASS CHAMBER INLET ELEVATION (FIBERGLASS INSERT). SUBTRACT THIS DISTANCE FROM DESIGN INVERT ELEVATION TO DETERMINE TOP OF SUBBASE ELEVATION. CHECK ELEVATION OF INSTALLED SUBBASE AND ADJUST AS NEEDED.

SECURE INSPECTOR APPROVAL OF SUBGRADE AND SUBBASE.

INSTALL STORAGE CHAMBER. INSTALL SCREW INSERTS INTO BASE OF STORAGE CHAMBER. ATTACH CABLES OF CHAINS TO ALL 3 LIFT LUGS ON THE BASE SLAB. USING LARGE EQUIPMENT OR CRANE LIFT AND PLACE THE BASE SECTION OF THE STORAGE CHAMBER IN THE EXCAVATED HOLE ON THE SUBBASE. MAKE SURE THAT THE BASE IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS NOT REQUIRED. INSTALL RUBBER GASKET ON BASE UNIT AND COAT WITH LUBRICATING GREASE (PROVIDED IN SHIPMENT), IF NOT PRELUBRICATED. INSTALL ADDITIONAL STORAGE CHAMBER SECTIONS, AS REQUIRED (PROCEDURE IS SAME AS STEP 8).

(FOR STORMCEPTOR MODELS STC-900, STC-1200 AND STC-1800 SKIP STEP 5 AND GO TO STEP 6)

INSTALL REDUCING SLAB. (STORMCEPTOR MODELS STC-2400, STC-3600, STC-4800, STC-6000 AND STC-7200) CHECK THAT SECTION IS SET FLUSH LEVEL AND IS AT THE PROPER ELEVATION. INSTALL RUBBER GASKET ON THE TRANSITION SLAB SPIGOT AND COAT WITH LUBRICATING GREASE (PROVIDE IN SHIPMENT).

INSTALL BYPASS CHAMBER OF STORMCEPTOR WITH FACTORY INSTALLED STORMCEPTOR INSERT. LIFT BYPASS SECTION AND INSTALL WHILE CHECKING ALIGNMENT AND GRADE OF INLET AND OUTLET DRAINAGE PIPES. CHECK TO MAKE SURE THE BYPASS CHAMBER IS SET FLUSH LEVEL AND IS AT THE PROPER ELEVATION. THE BYPASS CHAMBER MUST BE ORIENTED SUCH THAT INLET PIPE DISCHARGES INTO THE V-SHAPED FIBERGLASS WEIRS INSIDE INSERT. INSTALL RUBBER GASKET ON TOP OF BYPASS SECTION AND COAT WITH LUBRICATING GREASE, IF NOT PRELUBRICATED.

INSTALL STORMCEPTOR DROP PIPES ACCORDING TO STC PIPE INSTALLATION PROCEDURES ON REVERSE SIDE OF THESE INSTRUCTIONS.

INSTALL RISER SECTION. LIFT RISER SECTION AND INSTALL WHILE CHECKING THAT SECTION IS SET FLUSH AND IS AT PROPER ELEVATION AND THAT UNIT IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS REQUIRED, IF STEPS ARE INCLUDED. ALIGN STEPS ABOVE INLET INSPECTION PORT. NOTE: FOR SHALLOW INSTALLATIONS THIS SECTION MAY NOT BE REQUIRED.

INSTALL TOP SLAB WITH OPENING FOR STORMCEPTOR COVER. IF OPENING IS OFFSET (NOT CENTERED) THE TOP SLAB OPENING SHOULD BE ORIENTED ABOVE THE STORMCEPTOR INLET INSPECTION PORT (PLUG).

BACKFILL STORMCEPTOR WITH APPROVED BACKFILL MATERIAL (NO ORGANIC OR TOPSOIL IS TO BE USED FOR BACKFILL). BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL SHOULD BE COMPACTED TO LOCAL/STATE REQUIREMENTS.

INSTALL AND SET GRADE ADJUSTING RINGS, AS NEEDED. PLUG ALL LIFT HOLES WITH TAPERED FLEXIBLE PLUG AND KNOCK IN TO PLACE. PLUGS IN STORAGE CHAMBER MUST BE GROUTED INSIDE AND OUTSIDE WITH GROUT.

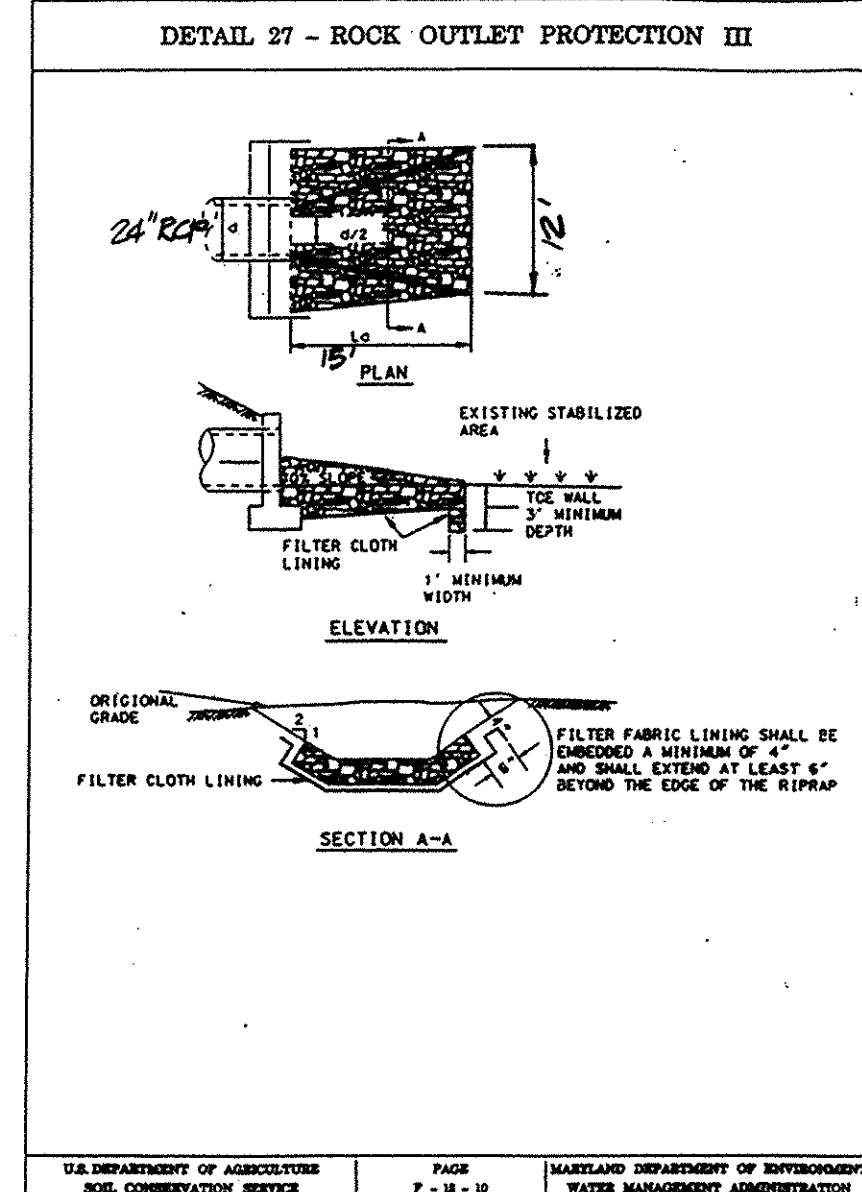
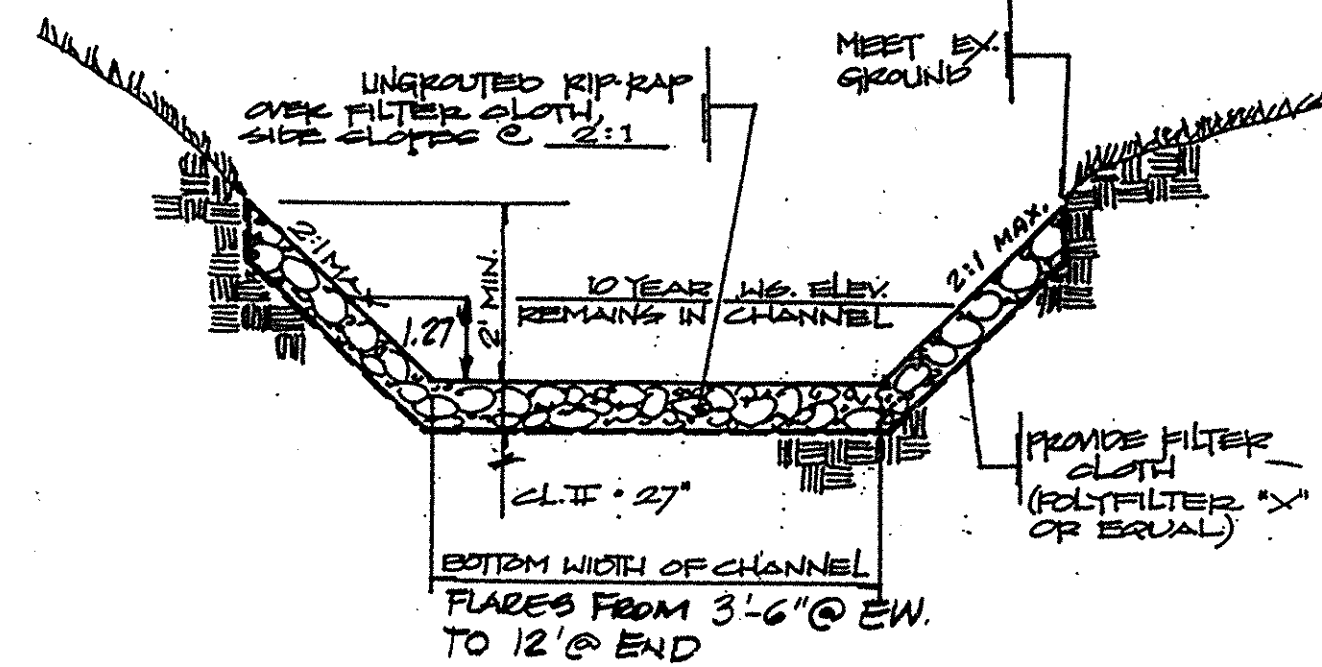
INSTALL AND SET STORMCEPTOR FRAME AND COVER.

INSTALL INLET AND OUTLET STORM DRAIN PIPES. CONNECT INLET AND OUTLET STORM DRAIN PIPES WITH FLEXIBLE BOOTS (WHEN PROVIDED AND WITH NON-SHRINK GROUT WHEN NO FLEXIBLE BOOTS ARE PROVIDED). THE INVERT OF THE INLET AND OUTLET PIPE IS TO MATCH WITH THE INVERT OF THE STORMCEPTOR INSERT. FLEXIBLE BOOT INSTALLATION PROCEDURES: CENTER THE PIPE IN BOOT OPENING. LUBRICATE THE OUTSIDE OF THE PIPE AND/OR THE INSIDE OF THE BOOT. IF THE PIPE OUTSIDE DIAMETER IS THE SAME AS THE INSIDE DIAMETER OF THE BOOT, POSITION THE PIPE CLAMP IN THE GROOVE OF THE BOOT WITH THE SCREW AT THE TOP. TIGHTEN THE PIPE CLAMP SCREW TO 60 INCH POUNDS. IF THE PIPE IS MUCH SMALLER THAN THE BOOT LIFT THE BOOT SUCH THAT IT CONTACTS THE BOTTOM OF THE PIPE WHILE TIGHTENING THE CLAMP TO ENSURE EVEN CONTRACTION OF THE RUBBER. MOVE PIPE HORIZONTALLY AND/OR VERTICALLY TO BRING TO GRADE.

THE STORMCEPTOR SHOULD BE PUMPED OUT WHEN THE SEDIMENT CONTROL MEASURES ARE REMOVED (SITE PERMANENTLY STABILIZED).

FINAL INSPECTION

**TYPICAL:
 RIP-RAP OUTFALL CHANNEL**
 not to scale



ROCK OUTLET PROTECTION III

Construction Specifications

- The subgrade for the filter, rip-rap, or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
- Geotextile shall be protected from sunning, cutting, or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of geotextile over the damaged part or by completely replacing the geotextile. All overlaps shall be placed in a manner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent works.
- Stone for the rip-rap or gabion outlets may be placed by equipment. They shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying material. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spoils filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent works.
- The stone shall be placed so that it blends in with the existing ground. If the stone is placed too high then the flow will be forced out of the channel and scour will occur.

AS BUILT CERTIFICATE

FRED L. SKELTON - MD. REGISTRATION No. 9070
 IPDS, LLC

DATE

OWNER \ DEVELOPER

Joseph Nazario
 Nazario Development and Company
 6500 Annapolis Road
 Beltsville, Maryland 20705
 (301) 937-4664

SDP-98-135

FRED L. SKELTON
 MARYLAND PROFESSIONAL ENGINEER
 REG. NO. 9070

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DIRECTOR: *Paul Butts* 10/6/98 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT: *Cindy Hamilton* 10/5/98 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *John DeMunn* 10/1/98 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

DIRECTOR: _____ DATE

CHIEF, BUREAU OF ENGINEERING: _____ DATE

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE HAVE PROVIDED THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario 5-1-98 DATE
 JOSEPH NAZARIO / OWNER
 NAZARIO DEVELOPMENT AND COMPANY

BY THE ENGINEER:

I/WE CERTIFY THAT THIS PLAN FOR SOIL CONSERVATION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE HOWARD COUNTY CONSERVATION DISTRICT WITHIN 30 DAYS OF COMPLETION.

Fred L. Skelton 6/5/98 DATE
 FRED L. SKELTON - MD. REGISTRATION No. 9070
 IPDS, LLC

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Paul Simon 9/30/98 DATE
 S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Reardon 9/30/98 DATE
 HOWARD SOIL CONSERVATION DISTRICT

802 Silgo Avenue
 Silver Spring, Maryland, 20910
 (301) 585-5676

IPDS
 The Interprofessional
 PLANNING & DESIGN STUDIO, LLC
 Engineers • Architects • Surveyors
 Planners & Landscape Architects

**DETAILS AND
 STORM DRAIN PROFILES**

U.S. No. 1 JOINT VENTURE
 PARCEL "A", PLAT CMP No. 3692, WAREHOUSE
 GUILFORD ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND
 CENSUS TRACT 6089.02, TAX MAP 47, BLOCK 22/23
 WATER CODE C04, SEWER CODE 7220000

AS NOTED
 SCALE:

REVISIONS:
 06-18-98
 01-18-98

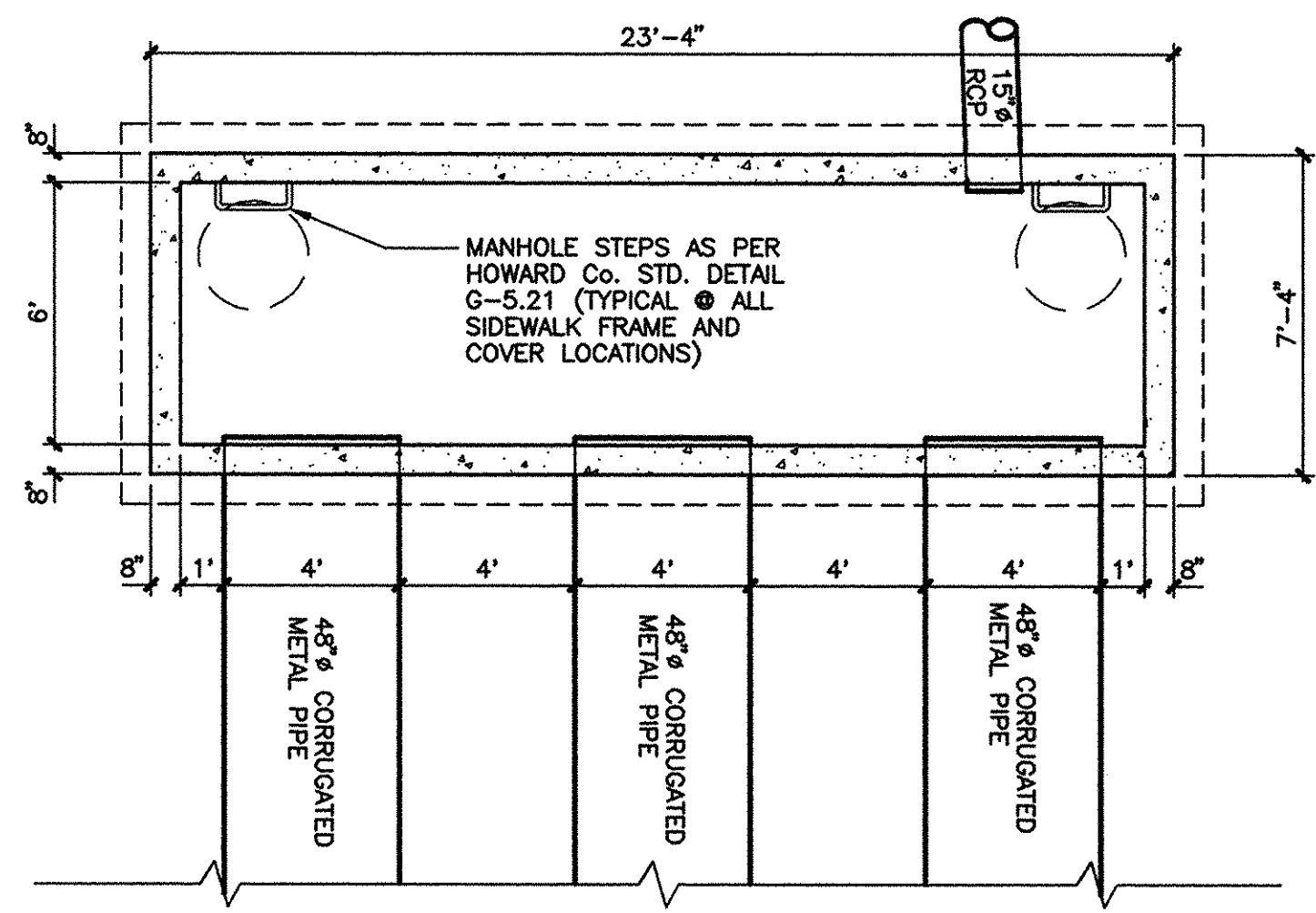
DATE:

JOB NUMBER:

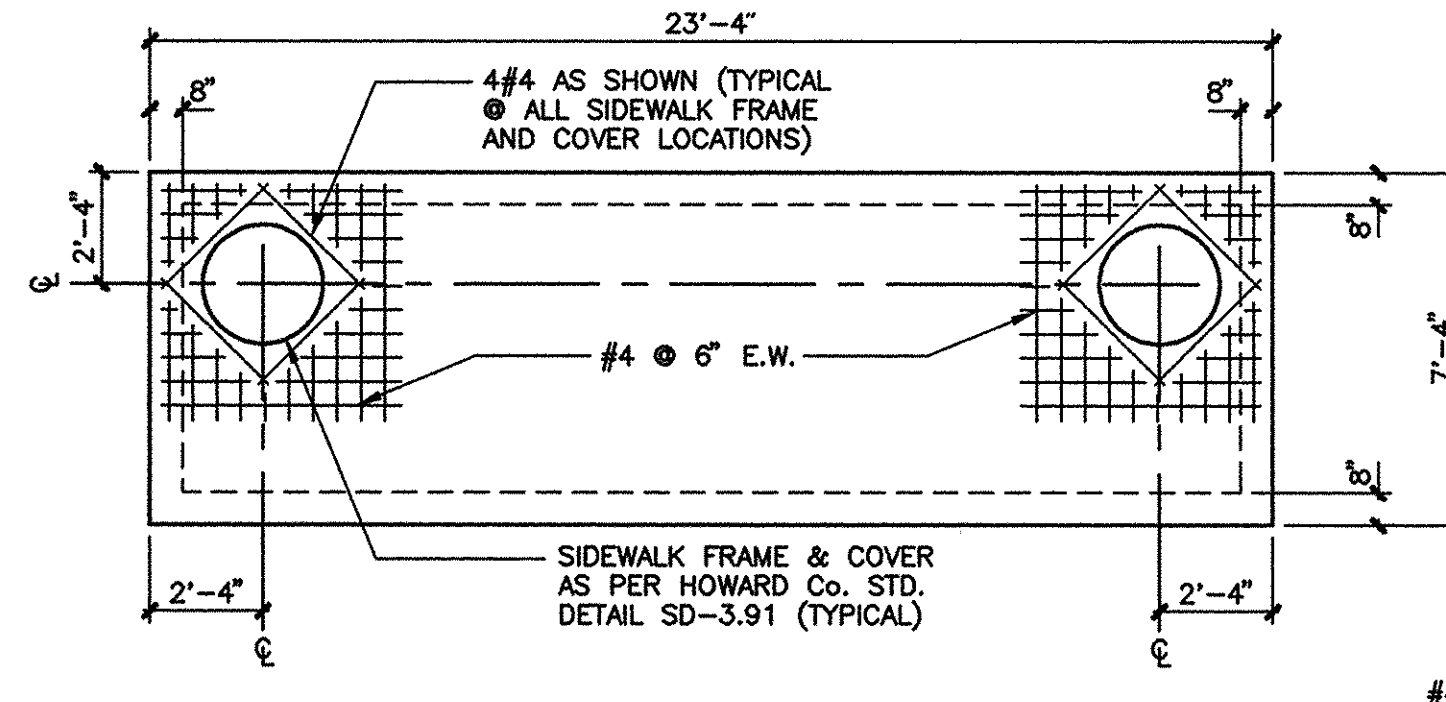
SWM-2

SHEET 9 OF 13

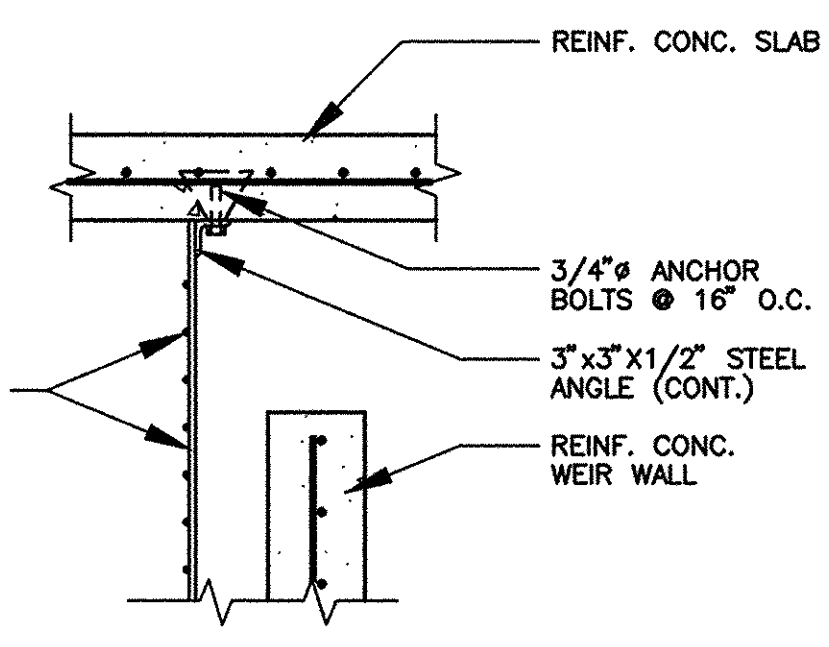
SDP-98-135



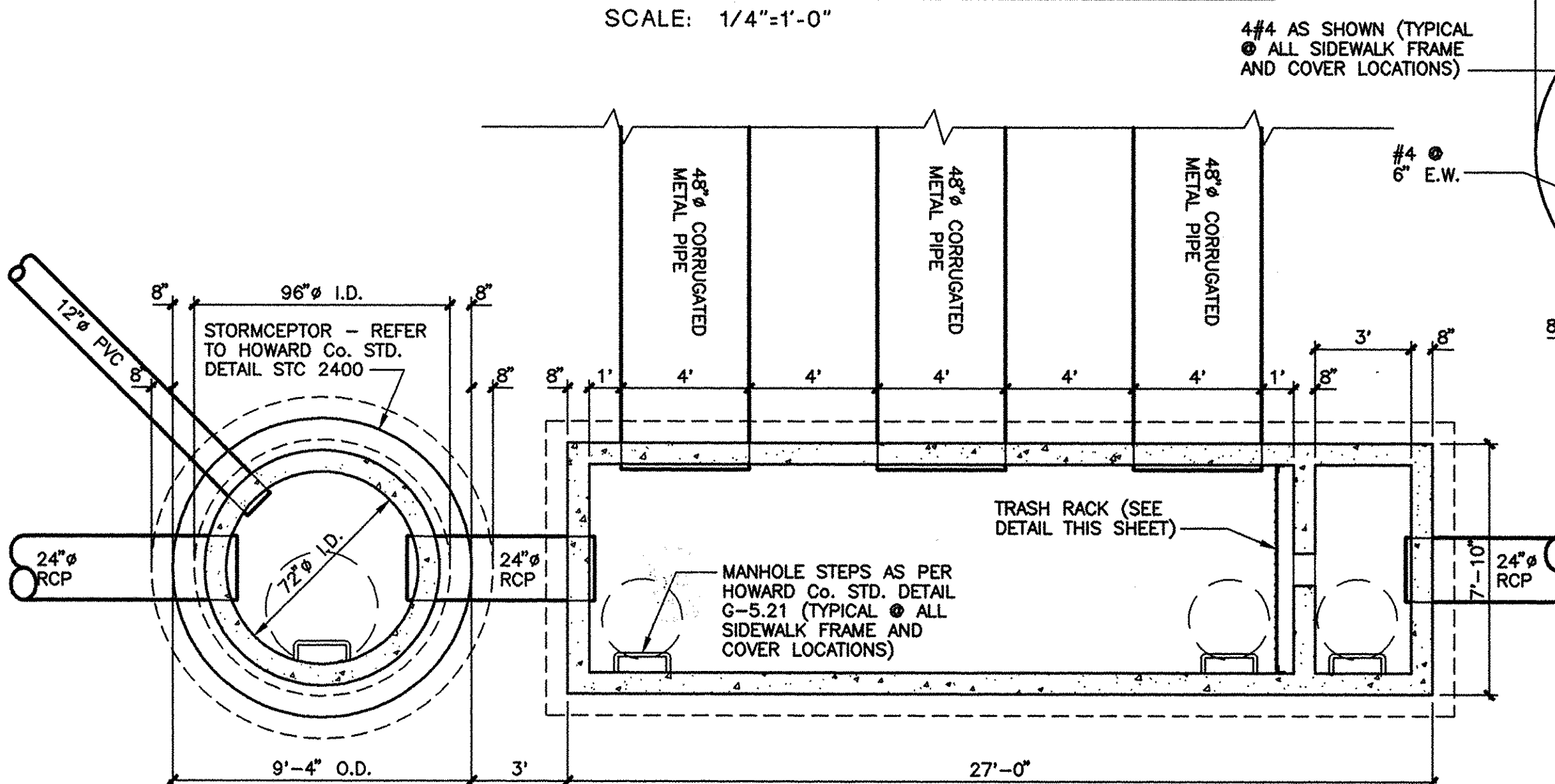
JUNCTION BOX No. 5 - PLAN VIEW
SCALE: 1/4"=1'-0"



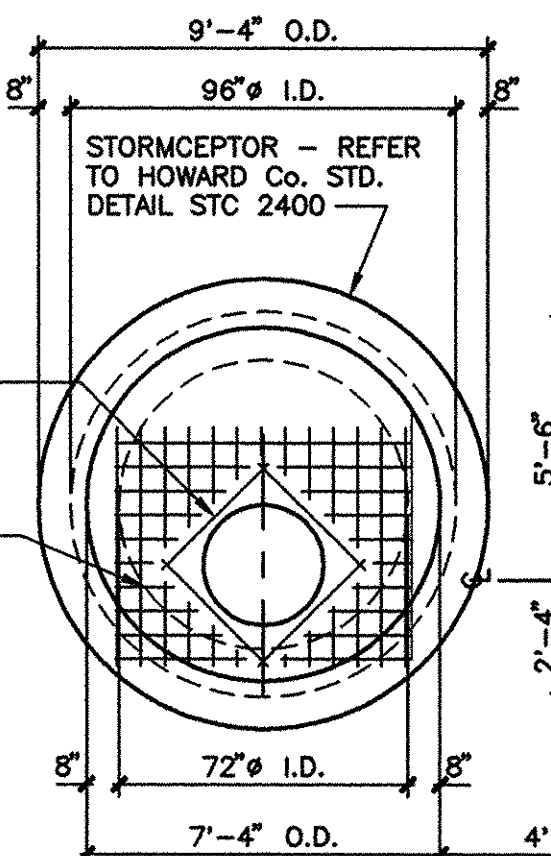
JUNCTION BOX No. 5 - TOP SLAB DETAIL
SCALE: 1/4"=1'-0"



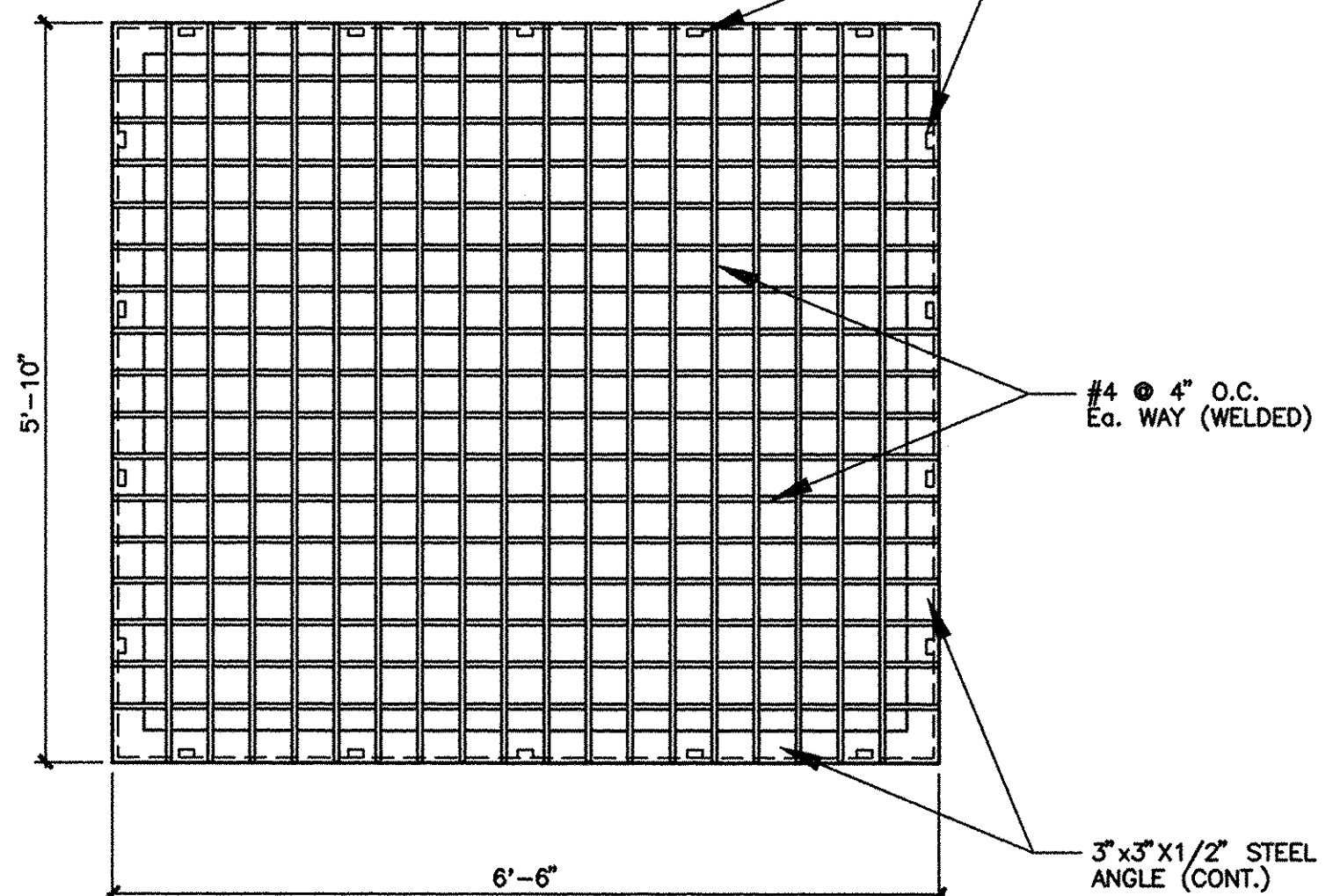
DETAIL - TRASH RACK
SCALE: 3/4"=1'-0"



JUNCTION BOX No. 4 - PLAN VIEW
SCALE: 1/4"=1'-0"



JUNCTION BOX No. 4 - TOP SLAB DETAIL
SCALE: 1/4"=1'-0"



ELEVATION - TRASH RACK
SCALE: 3/4"=1'-0"

UNDERGROUND PIPE STORAGE (PRIVATE)

SPECIFICATIONS FOR CONSTRUCTION

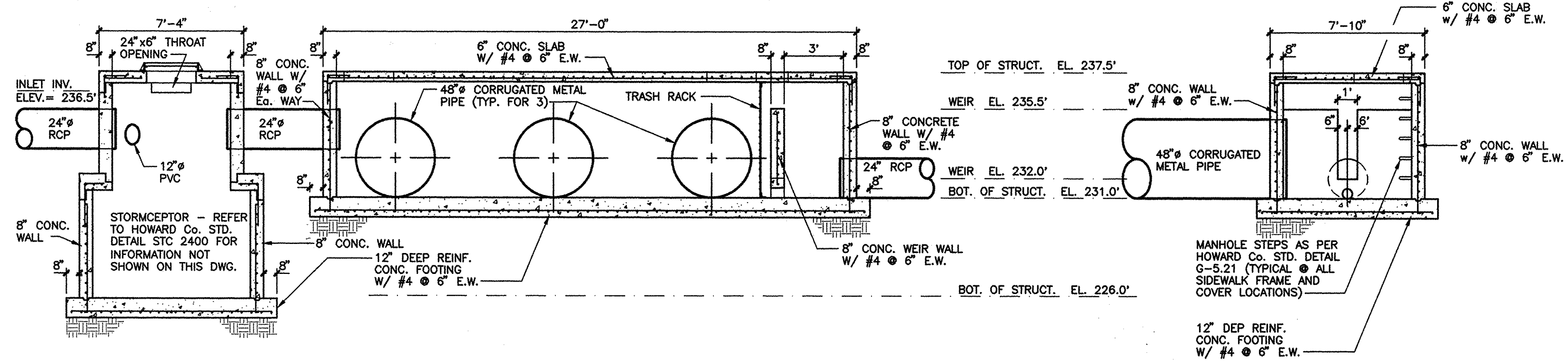
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER AND HOWARD COUNTY FOR APPROVAL PRIOR TO COMMENCING WORK.
- ALL WORK SHALL BE PLACED ON UNDISTURBED SUBGRADE. ANY OVER-EXCAVATION SHALL BE BACKFILLED WITH CR-6 CRUSHED RUN AND COMPACTED TO 95% AASHTO UNDER DIRECTION OF ENGINEER. NO CONSTRUCTION SHALL BE PLACED ON WET OR FROZEN GROUND.
- ALL WELDING SHALL BE DONE BY MANUFACTURER'S WELDER. WELDS SHALL BE WATERPROOFED PRIOR TO BACKFILLING AND FINAL INSPECTION.
- ALL STEEL USED FOR STORAGE STRUCTURE SHALL BE CORRUGATED STEEL ALUMINIZED PIPE, 12 GAUGE.
- THE CONTRACTOR SHALL GUARANTEE TOTAL RUST-PROOFING OF THE STEEL PIPE.
- PIPES SHALL BE BEDDED IN 12" OF SAND.
- MINIMUM COVER SHALL BE 18".

NOTES

- REFER TO ARMCO, INC. METAL PRODUCTS DIVISION (OR EQUAL AND APPROVED) FOR LOCATIONS OF WELDED CONNECTIONS.
- SHOP DRAWINGS TO BE SUBMITTED TO HOWARD COUNTY AND THE ENGINEER PRIOR TO CONSTRUCTION.

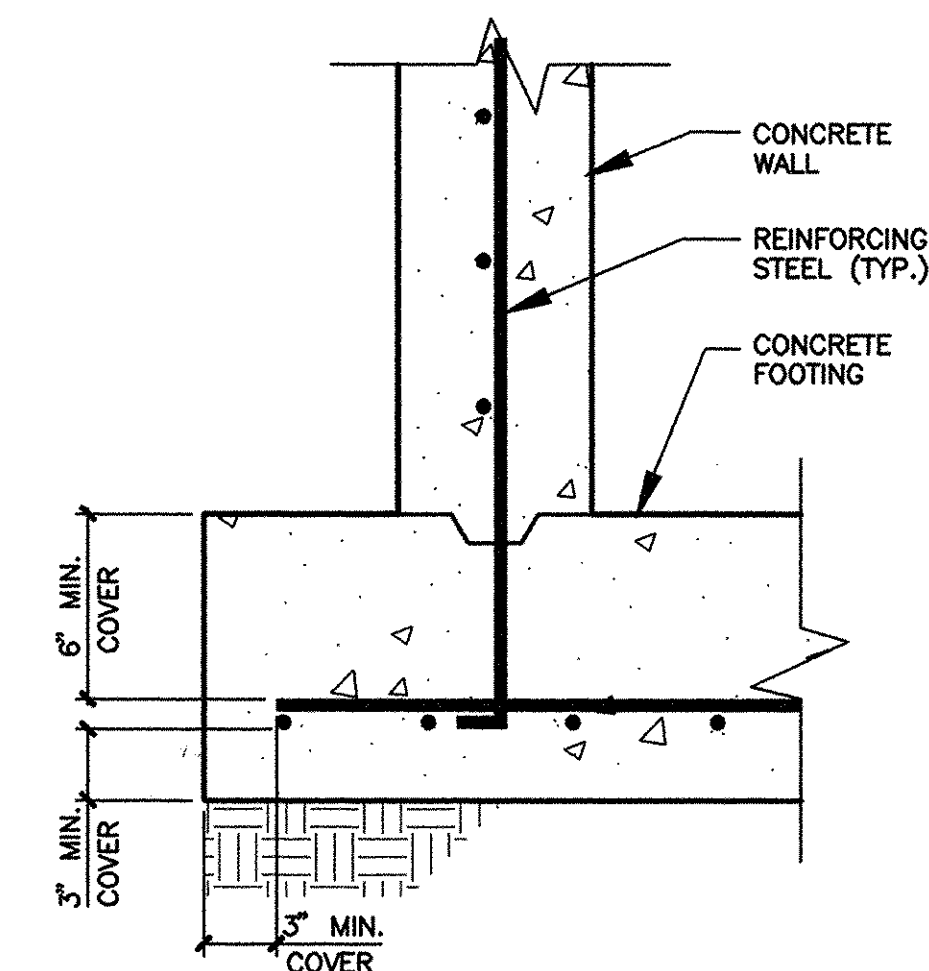
GENERAL NOTES:

- CONCRETE STRENGTH SHALL BE $f_c' = 5000$ PSI @ 28 DAYS.
- ALL REINFORCING STEEL TO BE ASTM A615 GRADE 60.
- PROVIDE MINIMUM 3" CONCRETE COVER ON ALL BELOW GRADE REINFORCING STEEL, UNLESS OTHERWISE SPECIFIED. PROVIDE MINIMUM 2" CONCRETE COVER ON ALL ABOVE GRADE REINFORCING STEEL, UNLESS OTHERWISE SPECIFIED.
- FOR INFORMATION NOT SHOWN REFER TO DER STD. DTL SD/10.0 AND SD/10.1.
- ALL LSP REINFORCEMENT TO BE 32 TIMES REBAR DIAMETER (MIN).
- FOR PRECAST STRUCTURE SUBMIT SHOP DRAWINGS TO PERMITS AND REVIEW DIVISION FOR APPROVAL.
- PROVIDE WATERTIGHT JOINTS AT ALL WALL PENETRATIONS.



JUNCTION BOX No. 4 - LONGITUDINAL SECTION
SCALE: 1/4"=1'-0"

JUNCTION BOX No. 4 - CROSS SECTION
SCALE: 1/4"=1'-0"



TYPICAL FOOTING DETAIL
NO SCALE

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario 5-1-98
JOSEPH NAZARIO, OWNER
NAZARIO DEVELOPMENT AND COMPANY DATE

BY THE ENGINEER:
I/WE CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I/WE HAVE ADVISED THE DISTRICT THAT WE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION.

Fred L. Skelton 6/5/98
FRED L. SKELTON - MD. REGISTRATION NO. 9070
IPDS, LLC DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Daryl Simmons 9/30/98
DARYL SIMMONS
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Skelton 9/30/98
JOHN R. SKELTON
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Joseph Nazario 10/6/98
DIRECTOR DATE

Cheryl Hamilton 10/5/98
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John R. Skelton 10/1/98
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

John R. Skelton
DIRECTOR DATE

John R. Skelton
CHIEF, BUREAU OF ENGINEERING DATE



AS-BUILT CERTIFICATE

FRED L. SKELTON - MD. REGISTRATION NO. 9070
IPDS, LLC DATE

OWNER \ DEVELOPER

Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664

AS NOTED

SCALE:
06-18-98
REVISIONS:
01-18-98
DATE:

SWM-3

NO. 10 OF 13
SHEET

802 Sligo Avenue
Silver Spring, Maryland 20910
Phone: 301-585-5676

IPDS
The Interprofessional
PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects

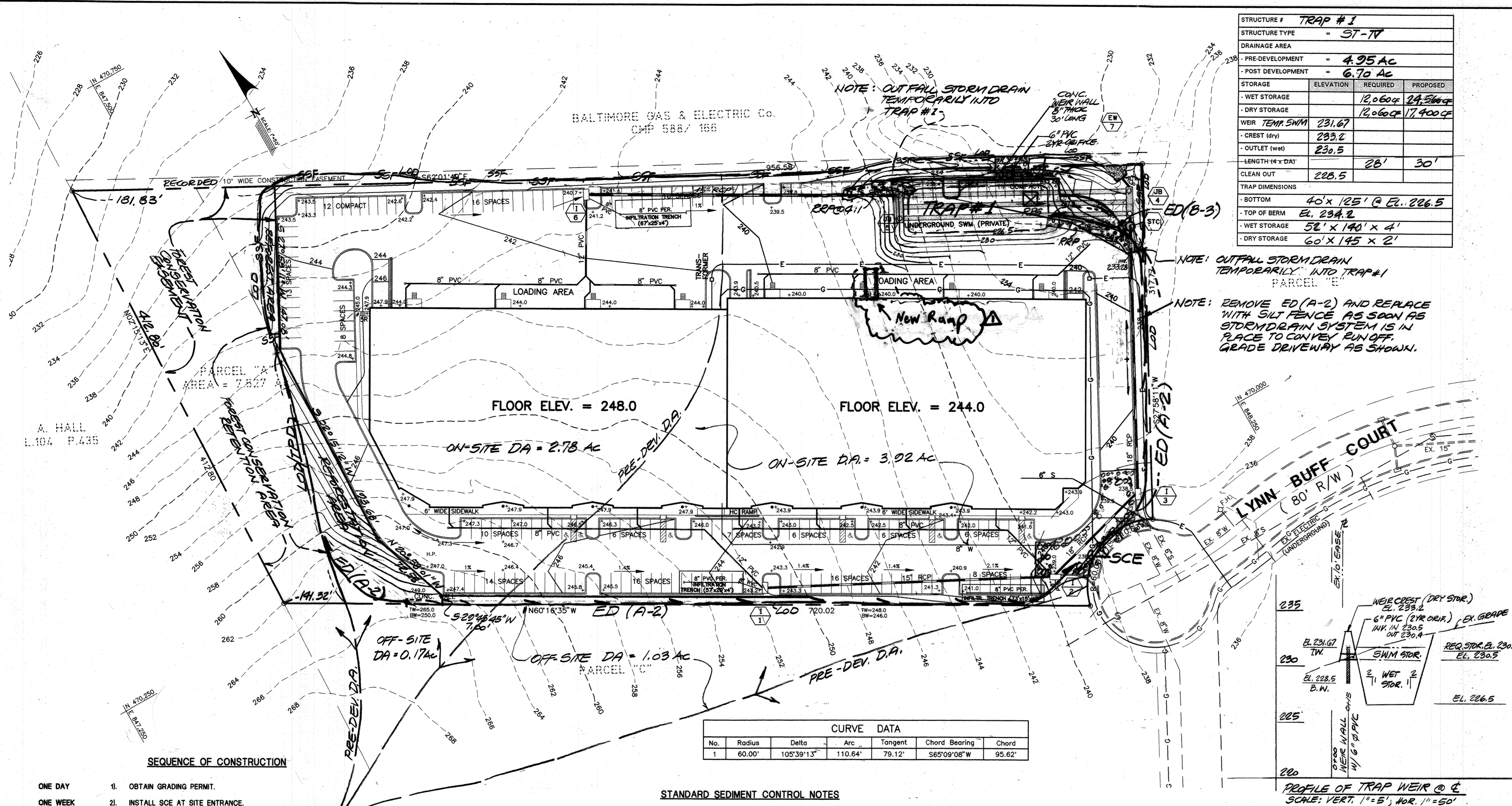
STORMWATER MANAGEMENT DETAILS

U.S. No. 1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 60689.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

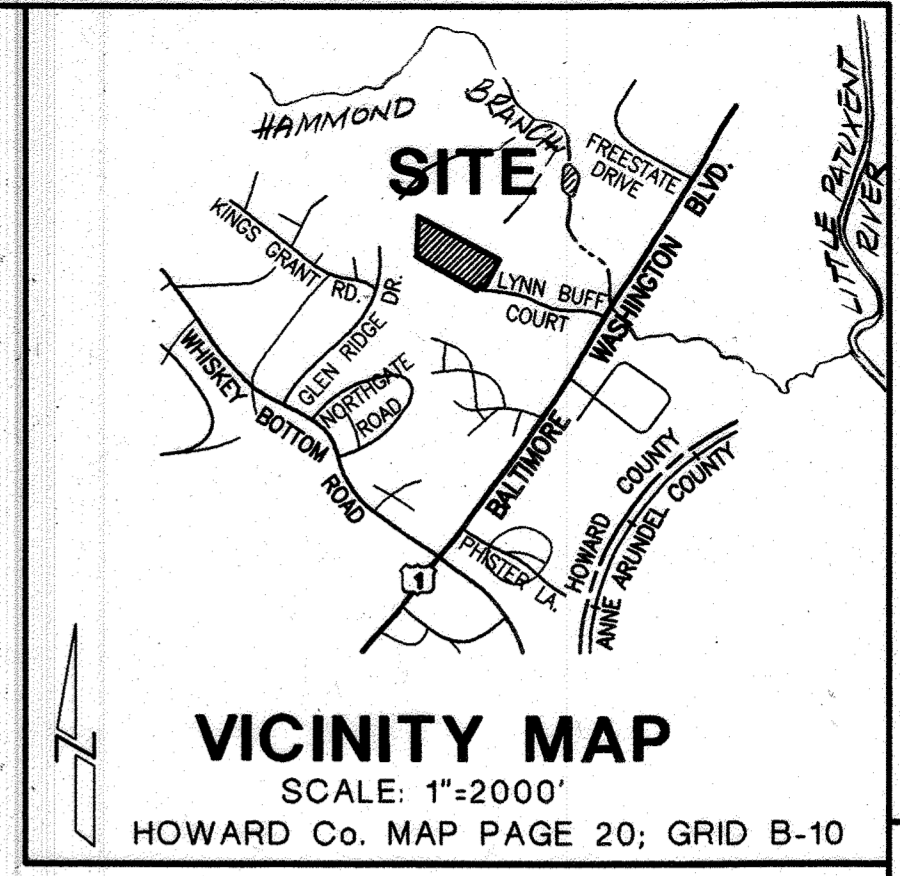
AS NOTED

NO. 10 OF 13
SHEET

SDP-98-135



STRUCTURE #	TRAP #1
STRUCTURE TYPE	ST-TV
DRAINAGE AREA	
- PRE-DEVELOPMENT	4.95 AC
- POST DEVELOPMENT	6.70 AC
STORAGE	
- WET STORAGE	12,060 CF 24,500 CF
- DRY STORAGE	12,060 CF 17,400 CF
WEIR TEMP SWM	231.67
- CREST (dry)	233.2
- OUTLET (wet)	230.5
- LENGTH (4' x DAY)	26' 30'
CLEAN OUT	228.5
TRAP DIMENSIONS	
- BOTTOM	40' x 125' @ EL. 226.5
- TOP OF BERM	EL. 234.2
- WET STORAGE	58' x 140' x 4'
- DRY STORAGE	60' x 145' x 2'



IPDS
The Interdisciplinary
PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects

- SEQUENCE OF CONSTRUCTION**
- ONE DAY 1. OBTAIN GRADING PERMIT.
 - ONE WEEK 2. INSTALL SCE AT SITE ENTRANCE.
 - TWO WEEKS 3. CONSTRUCT SEDIMENT TRAP NO. 1 AND INSTALL SILT FENCING BELOW AREAS OF EMBANKMENT AS SHOWN.
 - TWO DAYS 4. INSTALL DIVERSION UPSTREAM ALONG SOUTH AND WEST PROPERTY LINE TO PREVENT SURGE RUN-OFF OVER CUT AREAS AND INSTALL TFD FENCING AS SHOWN ON PLAN & DETAIL (GREEN 2 of B).
 - ONE WEEK 5. INSTALL ALL REMAINING SEDIMENT CONTROL MEASURES AS SHOWN ON PLANS AND NOTES, INCLUDING BUT NOT LIMITED TO TRAP NO. 1, EARTH DIKES, SILT FENCES AND OUTLET STRUCTURES. INSTALL STORM DRAIN PIPE AND OUT-FALL STRUCTURES NO. 1 THRU NO. 3 TEMPORARILY INTO TRAP FOR CONVEYANCE OF SEDIMENT LADEN RUN-OFF.
 - SIX MONTHS 6. CONSTRUCT BUILDING PAD AND ROUGH GRADE SITE. INSTALLATION OF UNDERGROUND SWM PIPES SHALL BE DEFERRED UNTIL TRAP NO. 1 CAN BE REMOVED.
BUILDING CONSTRUCTION MAY START AS SOON AS THE BUILDING PAD IS ESTABLISHED. SEDIMENT CONTROL MEASURES INSTALLED FOR PAD CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THE APPROVED SEDIMENT CONTROL PLAN.
 - TWO MONTHS 7. UPON APPROVAL BY INSPECTOR, FINAL GRADE SITE CONSTRUCT RETAINING WALLS AND STABILIZE ROADWAYS.
 - THREE MONTHS 8. INSTALL GAS AND ELECTRIC, SEWER, WATER & REMAINING STORM DRAIN AND INFILTRATION TRENCHES.
 - THREE WEEKS 9. CONSTRUCT CURB & GUTTER AND BASE COURSE IN ROADWAYS.
 - TWO WEEKS 10. PAVE ROADWAYS AND STABILIZE ANY REMAINING AREAS.
ITEMS NO. 8 & NO. 9 MAY BE CARRIED OUT CONCURRENTLY.
 - FOUR WEEKS 11. UPON PERMANENT VEGETATIVE STABILIZATION OF SITE AND UPON APPROVAL BY INSPECTOR, TRAP IS TO BE CLEANED OUT AND SEDIMENT REMOVED. THE TEMPORARY STOCK PILE AREA MAY BE USED AS DISPOSAL SITE.
THE STORM DRAIN SYSTEM SHALL BE FLUSHED AND ALL SEDIMENT REMOVED BEFORE THE SEDIMENT TRAP CAN BE FILLED IN AND UNDERGROUND SWM PIPES CAN BE INSTALLED. FLUSHING SHALL BE DONE AFTER ITEM NO. 9 OF THE SEQUENCE OF CONSTRUCTION IS COMPLETED. SURGE SILT FENCE DOWNSTREAM FROM SWM FACILITY SHALL BE IN PLACE UNTIL INSTALLATION OF SWM PIPES.
 - ONE WEEK 12. UPON APPROVAL OF INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES.

- STANDARD SEDIMENT CONTROL NOTES**
- I (WE) CERTIFY THAT:
- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1855).
 - ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
 - FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
 - ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
 - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
 - ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 7. SITE ANALYSIS:
TOTAL AREA OF SITE = 7.527 AC.
AREA DISTURBED (TOTAL) = 6.7 AC.
AREA TO BE ROOFED OR PAVED = 5.4 AC.
AREA TO VEGETATIVELY STABILIZED = 1.3 AC.
TOTAL CUT = 28,000 CY
TOTAL FILL = 10,000 CY
OFFSITE WASTE AREA LOCATION = MARINUCCI TRACT, LAUREL, PG. 9, SC # 92-08, PERMIT # 8354-97-14
 - ANY SEDIMENT CONTROL PRACTICE WHICH DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN, AND FURTHER, AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE HOWARD COUNTY INSPECTION STAFF OR THEIR AUTHORIZED AGENTS.
- ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. RESPONSIBLE PERSON ON SITE: AARON SMILEY.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, RIGHT-OF-WAYS THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES, AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHT-OF-WAYS THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE SEDIMENT CONTROL APPROVALS ON THIS PLAN EXTEND ONLY TO AREAS AND PRACTICES IDENTIFIED AS PROPOSED WORK.
- THE APPROVAL OF THIS PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH ANY FEDERAL/STATE/COUNTY REQUIREMENTS APPURTENANT TO ENVIRONMENTAL ISSUES.

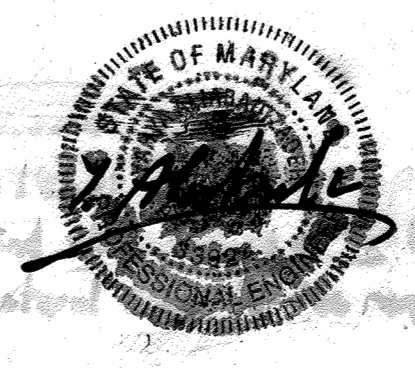
CURVE DATA

No.	Radius	Delta	Arc	Tangent	Chord Bearing	Chord
1	60.00'	105°39'13"	110.64'	79.12'	S65°09'08"W	95.62'

LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
TREELINE	~~~~~	~~~~~
CONTOUR LINE	----- 250 -----	----- 250 -----
SPOT ELEVATION		+250
STORMDRAIN PIPE	=====	=====
LIMIT OF DISTURBANCE		L.O.D.
SILT FENCE		S.F.
HANDICAPPED SPACE		♿
FIRE HYDRANT	⊙	⊙
CURB & GUTTER	---	---
WHEELCHAIR RAMP		*
TOP OF WALL		T.W.
BOIOM OF WALL		B.W.

Revision Note:
A new concrete ramp is added on the back of building.



BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario, OWNER
Nazario Development and Company
DATE: 2-6-98

BY THE ENGINEER:

I/WE CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I/WE CERTIFY THAT THE DEVELOPER HAS MAINTAINED THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Fred L. Skelton, MD, REGISTRATION NO. 9070
IPDS, LLC
DATE: 05-01-98

These plans have been reviewed for the HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL-POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

John R. Robertson, 9/30/98
NATURAL RESOURCES CONSERVATION SERVICE
DATE

These plans for SMALL-POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson, 9/30/98
HOWARD SOIL CONSERVATION DISTRICT
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: _____ DATE: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: _____ DATE: 10/6/98

Chief, Division of Land Development: _____ DATE: 10/5/98

Chief, Development Engineering Division: _____ DATE: 10/1/98

AS BUILT CERTIFICATE

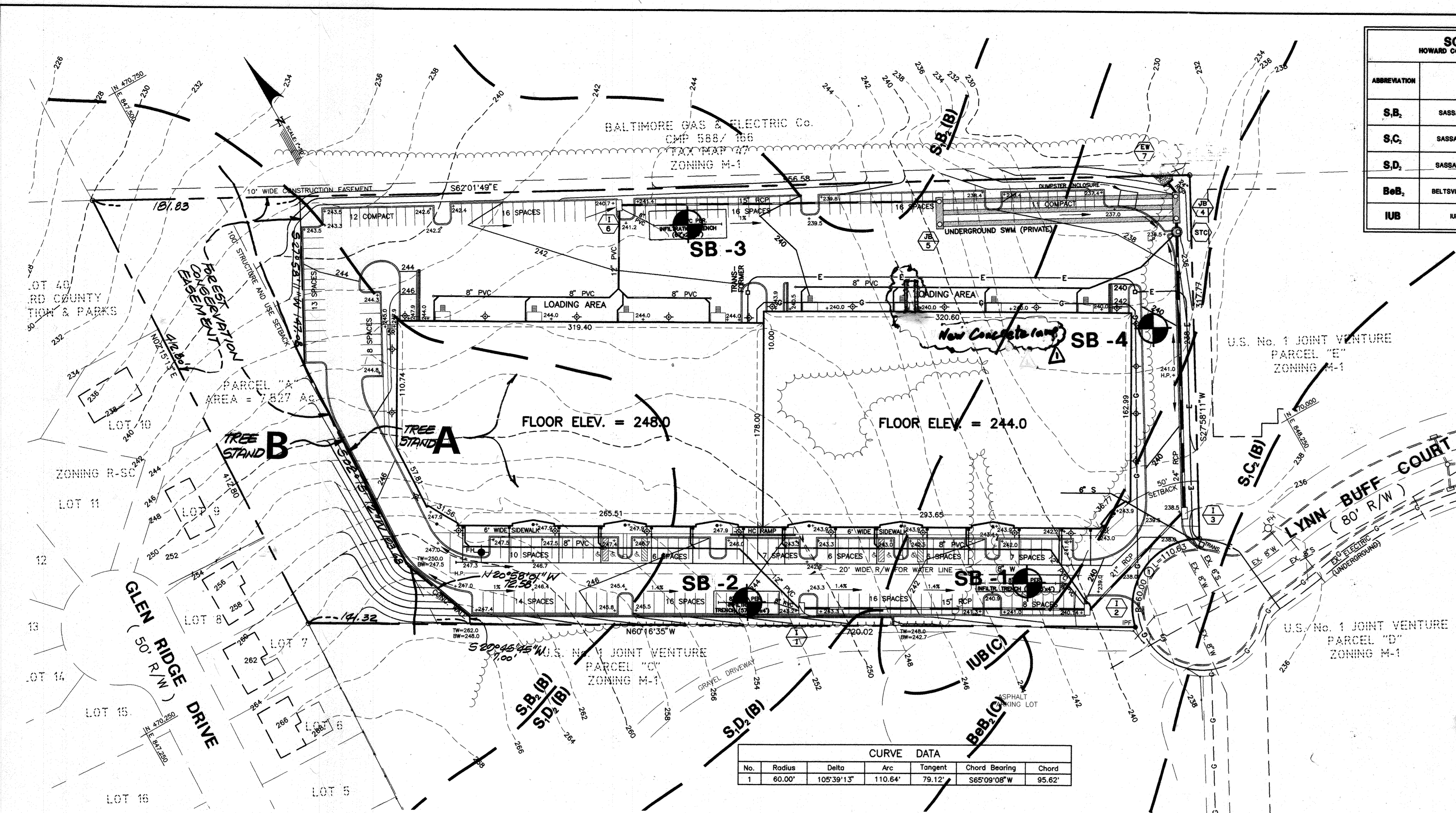
FRED L. SKELTON - MD, REGISTRATION NO. 9070
IPDS, LLC
DATE: _____

EROSION AND SEDIMENT CONTROL PLAN

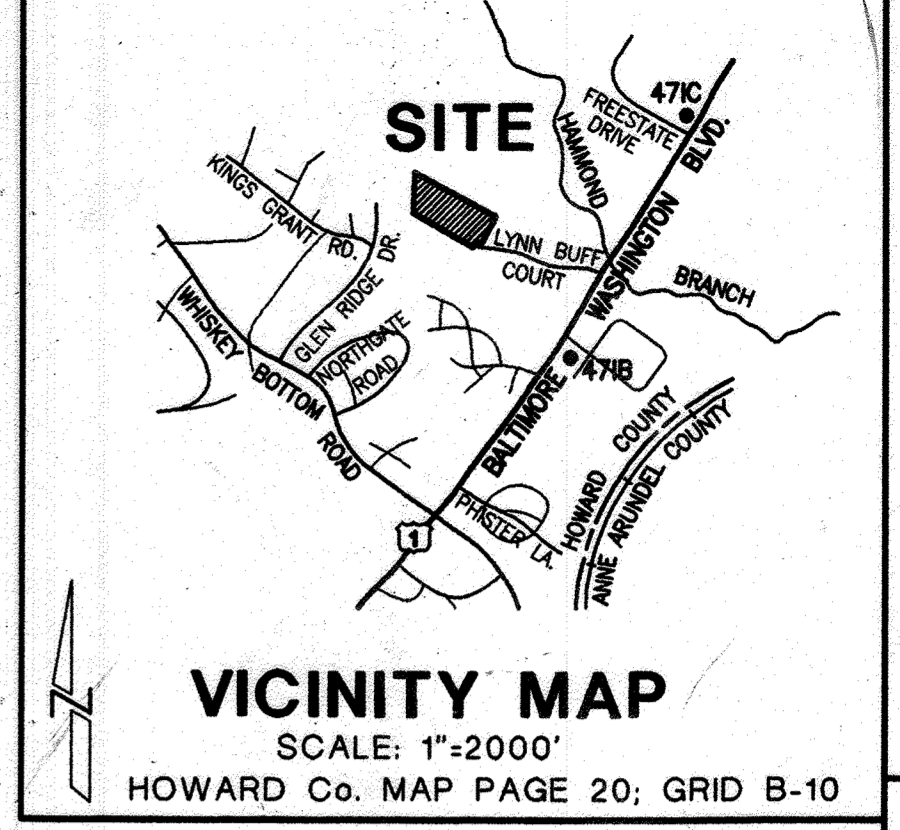
U.S. No. 1 JOINT VENTURE
PARCEL "A", PLAT CMP NO. 3892, WAREHOUSE
GUILFORD ELECTION DISTRICT NO. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 8089.02, TAX MAP 47, BLOCK 22/23
WATER CODE 004, SEWER CODE 7220000

AS NOTED
SCALE: 1"=50'
DATE: 01/12/21
REVISIONS: 6/30/98
DATE: 01-06-98
JOB NUMBER:
SC-1
SHEET 11 OF 13
SDP-98-135

OWNER / DEVELOPER
Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664



SOIL TYPES HOWARD COUNTY SOILS MAP No. 34		
ABBREVIATION	NAME	BCD SOIL CLASSIFICATION
S _B	SASSAFRAS LOAM 1-5%	B
S _C	SASSAFRAS LOAM 5-10%	B
S _D	SASSAFRAS LOAM 10-15%	B
Be _B	BELTSVILLE SILT LOAM 1-5%	C
IUB	IRKA LOAM 1-5%	C



SITE LOCATION
Lynn Buff Court, Parcel "A"

METHODOLOGY
Data were collected on this site using the 1/10th acre point method and information presented complies with the minimum requirements of the Maryland Department of Natural Resources Forest Conservation Manual (1991).

STAND CONDITION
The site area is approximately 7.5 acres and is forested with the exception of minor areas disturbed during construction of the street.
The condition of the forested areas is described by Stand. Data sheets for each stand describe forest structure and forest stand condition.
The areas as shown on the plan are described in more detail in the following paragraphs supported by field data sheets (see appendix).

Stand A
This stand consists of approximately 6.5 acres of secondary Pine growth. Most of this area will be cleared for the proposed development (see attached Forest Structure Analysis and Forest Stand Summary Sheets).

Stand B
Stand B is approximately 1.0 acre and consists of mature hardwood forest. This area is to be protected and maintained as buffer area toward the Kings Grant Subdivision. Areas disturbed as part of the grading operation will be replanted with caliper stock plant material (see Landscaping plan).

CURVE DATA						
No.	Radius	Delta	Arc	Tangent	Chord Bearing	Chord
1	60.00'	105°39'13"	110.64'	79.12'	S65°09'08"W	95.62'

MAFI ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: LYNN BUFF COURT
Project Number: TBLN/NT

Soil Boring #1: 238.11
Date Bored: 04-17-98

Soil Boring #	Soil Depth	Soil Description	Moisture Content	Soil Color	Soil Texture	Soil Structure	Soil Consistency	Soil Reaction	Soil Odor	Soil Temperature	Soil Notes
S-1	0'-0"	Wk. clayey sandy silt with trace of organic (M)	41.7%	10YR 5/2	CL-ML	LM	Soft	Neutral	None	68°F	
S-2	0'-2"	Med. clayey, fine clayey sandy silt (M)	28.9%	10YR 5/2	CL-ML	LM	Soft	Neutral	None	68°F	
S-3	0'-4"	Sand, silty, medium to coarse, trace of clay (SM)	17.4%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-4	0'-6"	Light yellowish brown silty sand, trace of gravel, nodules, medium dense, moisture content 21.4%, "S"	21.4%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-5	0'-8"	Sand, silty, medium to coarse, medium dense, moisture content 21.8%, "S"	21.8%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	

MAFI ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: LYNN BUFF COURT
Project Number: TBLN/NT

Soil Boring #1: 238.11
Date Bored: 04-17-98

Soil Boring #	Soil Depth	Soil Description	Moisture Content	Soil Color	Soil Texture	Soil Structure	Soil Consistency	Soil Reaction	Soil Odor	Soil Temperature	Soil Notes
S-1	0'-0"	Med. light brown silty sand, presence of roots (SM)	17.9%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-2	0'-2"	Same as S-1, moisture content - 17.9%	17.9%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-3	0'-4"	Med. light brown coarse grained sand, trace of clay (SM)	17.4%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-4	0'-6"	Same as S-1, moisture content - 15.2%	15.2%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-5	0'-8"	Same as S-1, moisture content - 12.4%	12.4%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	

MAFI ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: LYNN BUFF COURT
Project Number: TBLN/NT

Soil Boring #1: 238.11
Date Bored: 04-17-98

Soil Boring #	Soil Depth	Soil Description	Moisture Content	Soil Color	Soil Texture	Soil Structure	Soil Consistency	Soil Reaction	Soil Odor	Soil Temperature	Soil Notes
S-1	0'-0"	Med. light brown silty sand (SM)	18.7%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-2	0'-2"	Same as S-1, moisture content - 17.1%	17.1%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-3	0'-4"	Light grayish brown silty sand with trace of clay (SM)	18.5%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-4	0'-6"	Med. fine light gray sandy silt (ML)	15.0%	10YR 5/2	ML	LM	Soft	Neutral	None	68°F	
S-5	0'-8"	Med. pink coarse grained sand, trace of clay (SM)	6.9%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	

MAFI ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: LYNN BUFF COURT
Project Number: TBLN/NT

Soil Boring #1: 238.11
Date Bored: 04-17-98

Soil Boring #	Soil Depth	Soil Description	Moisture Content	Soil Color	Soil Texture	Soil Structure	Soil Consistency	Soil Reaction	Soil Odor	Soil Temperature	Soil Notes
S-1	0'-0"	Med. grayish brown sandy silt with some gravel and trace of clay, some roots observed (ML)	21.5%	10YR 5/2	ML	LM	Soft	Neutral	None	68°F	
S-2	0'-2"	Med. yellowish brown silty gravel with sand (SM)	15.9%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-3	0'-4"	Auger refused at 5.0 feet, boring terminated									
S-4	0'-6"	Med. pink coarse grained sand, trace of clay (SM)	10.2%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	
S-5	0'-8"	Med. light yellowish brown coarse grained sand (SM)	10.8%	10YR 5/2	SM	LM	Soft	Neutral	None	68°F	

IPDS, LLC.
THE INTERPROFESSIONAL PLANNING & DESIGN SERVICES, LLC.
802 SILGO AVENUE, SILVER SPRING, MD 20910
TELEPHONE (301) 585-6676
FACSIMILE (301) 585-8088

May 6, 1998

Howard County, Maryland
Soil Conservation District
3025 Chevrolet Drive
Suite J
Ellicott City, Maryland 21042

RE: NAZARIO - LYNN BUFF COURT
US #1 Joint Venture
SDP# 98-88

This is to certify that the investigation was conducted on the above referenced project regarding wetlands. Based on criteria for delineation of wetlands contained in the Federal Manual for Identifying and Delineating Jurisdictional Wetlands none of the areas could be considered wetlands.
Wetlands, however, could be found off-site on the B & E right of way. This development is not expected to impact those areas adversely.

Siegfried W. Teichler
Siegfried W. Teichler
Reg. #730



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 10/6/98
DIRECTOR DATE

[Signature] 10/5/98
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 10/1/98
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

AS BUILT CERTIFICATE

FRED L. SKELTON - MD. REGISTRATION No. 9070
IPDS, LLC DATE

OWNER / DEVELOPER

Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664

Revision Note:
A new concrete ramp is added at the back of the building.

IPDS
The Interprofessional Planning & Design Studio, LLC
Engineers & Architects - Surveyors
Planners & Landscape Architects

SOILS AND ENVIRONMENTAL ANALYSIS

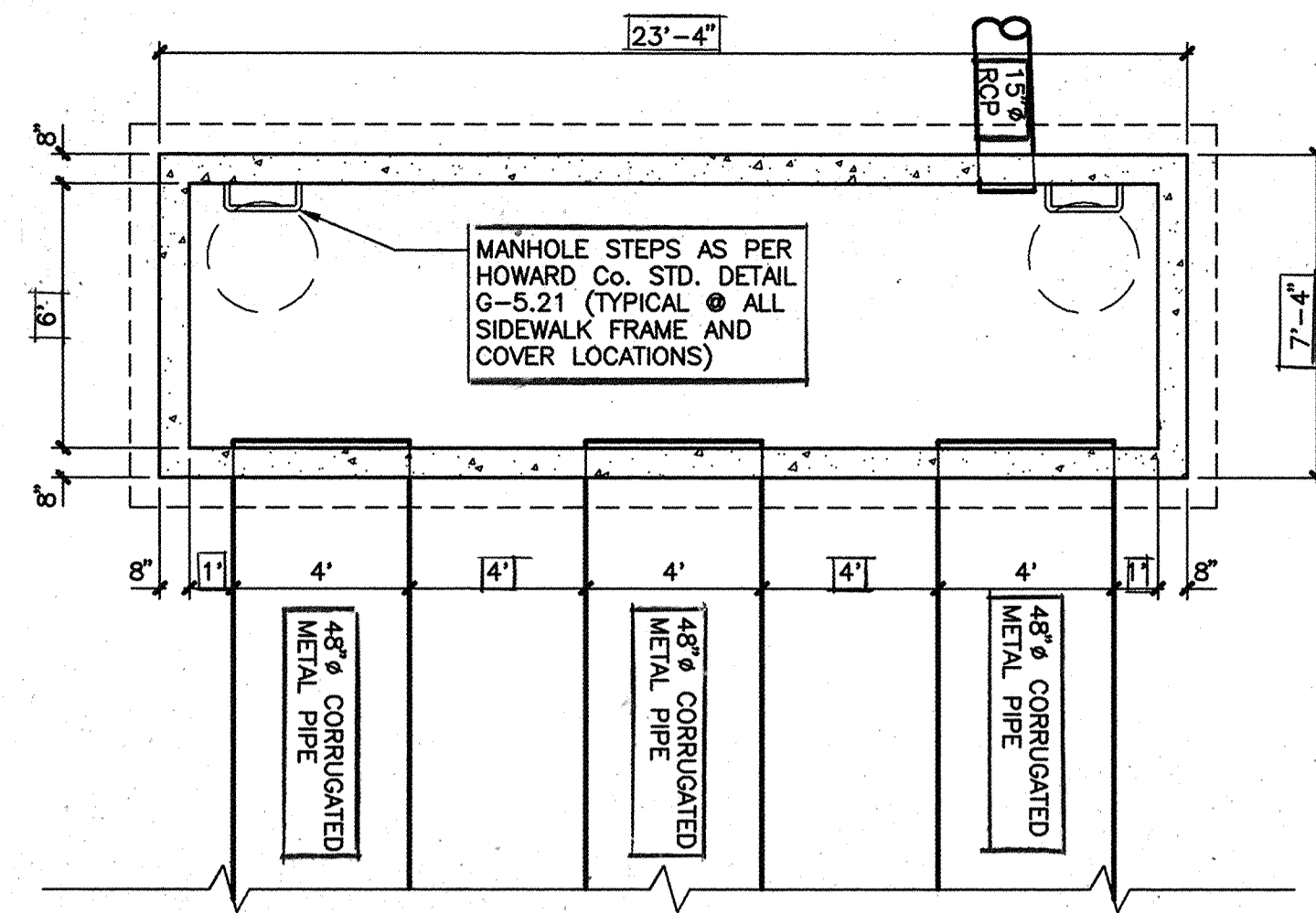
U.S. No. 1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 6068.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

SCALE: 1"=50'
DATE: 04-30-98
REVISIONS: 01-18-98
JOB NUMBER: S-1
SHEET 13 OF 13
SDP-98-135

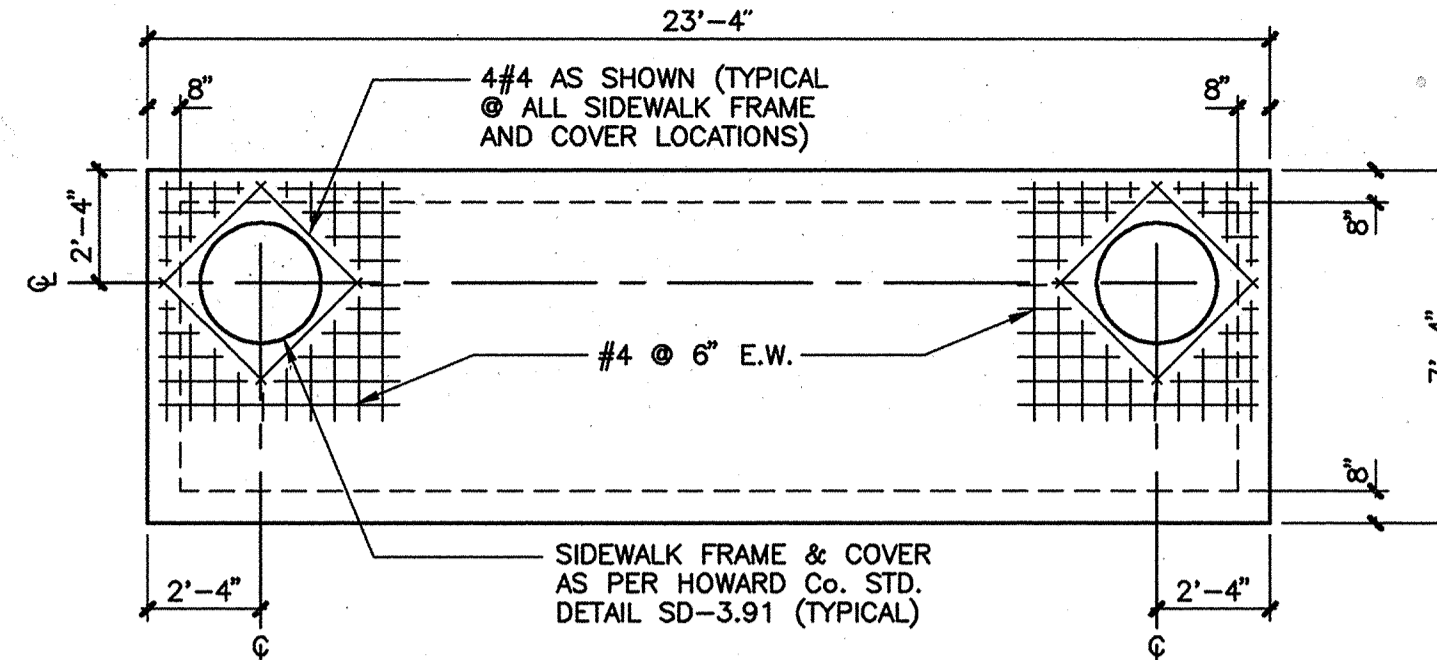
CERTIFICATE

I hereby certify that to the best of my knowledge that this "As-Built" truly represents existing field conditions including, but not limited to sizes, diameters, line and grade, and elevations.

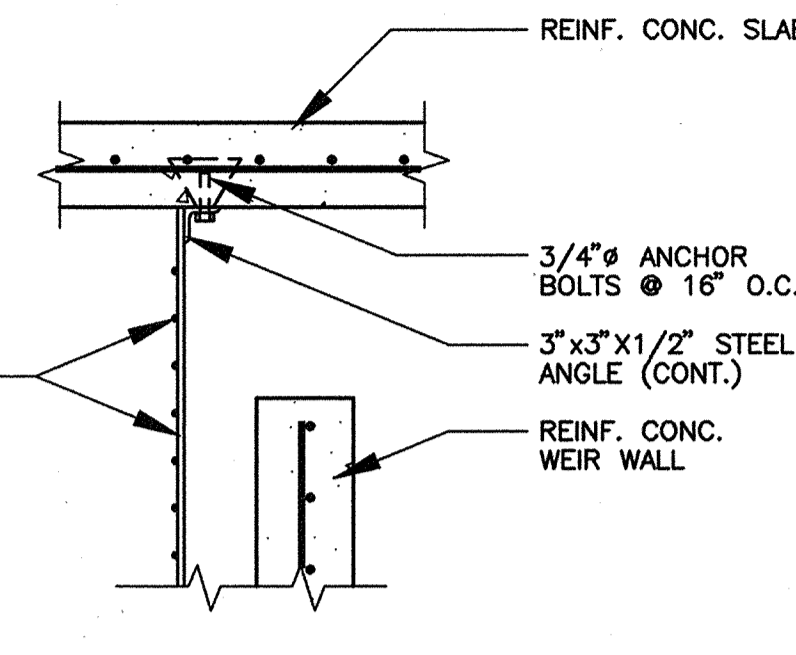
Fred L. Skelton (SEAL)
 Fred L. Skelton, P.E.
 MD Reg. No. 9070



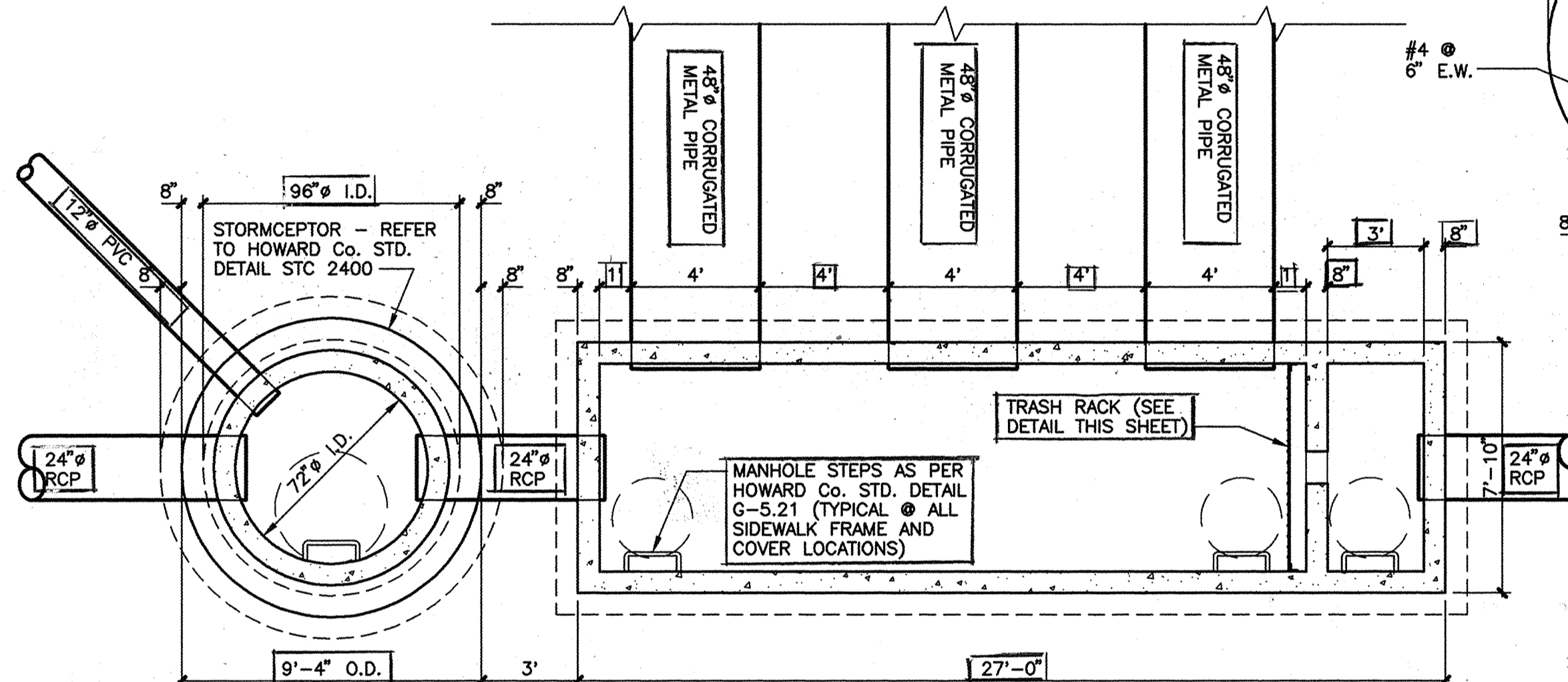
JUNCTION BOX No. 5 - PLAN VIEW
 SCALE: 1/4"=1'-0"



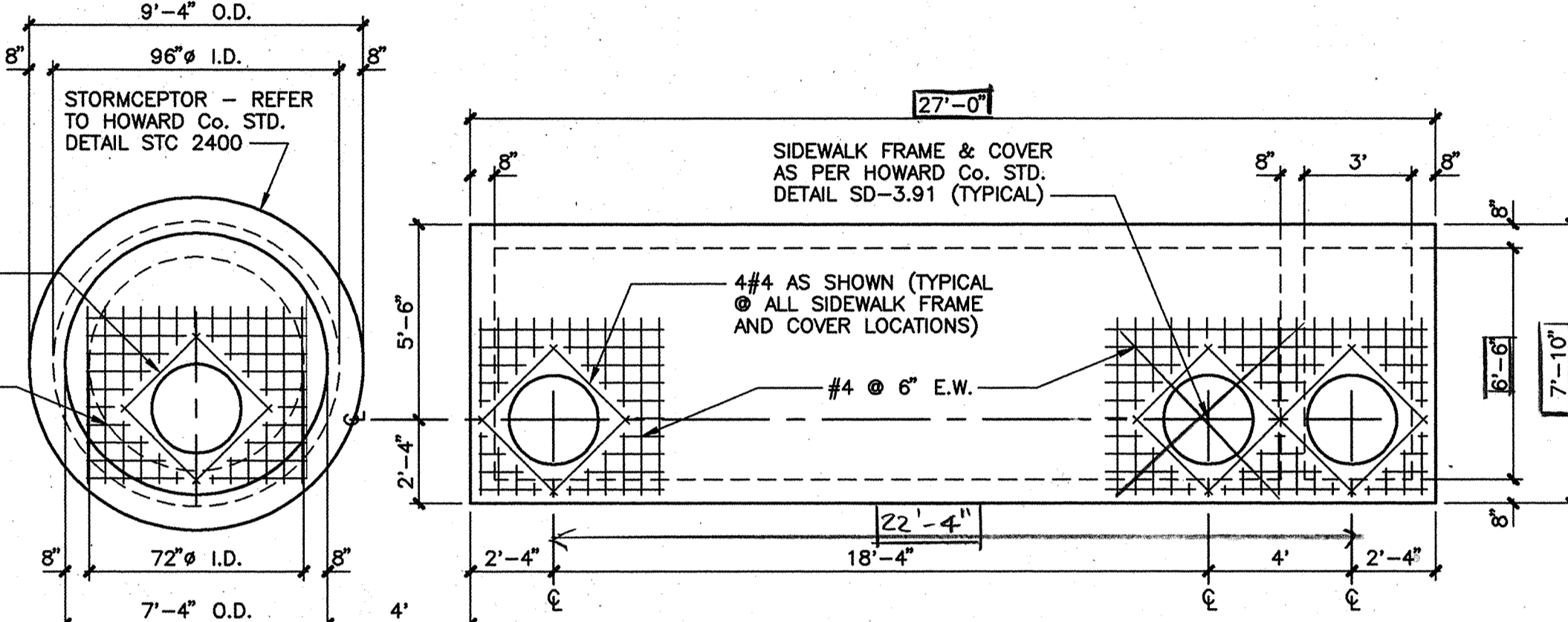
JUNCTION BOX No. 5 - TOP SLAB DETAIL
 SCALE: 1/4"=1'-0"



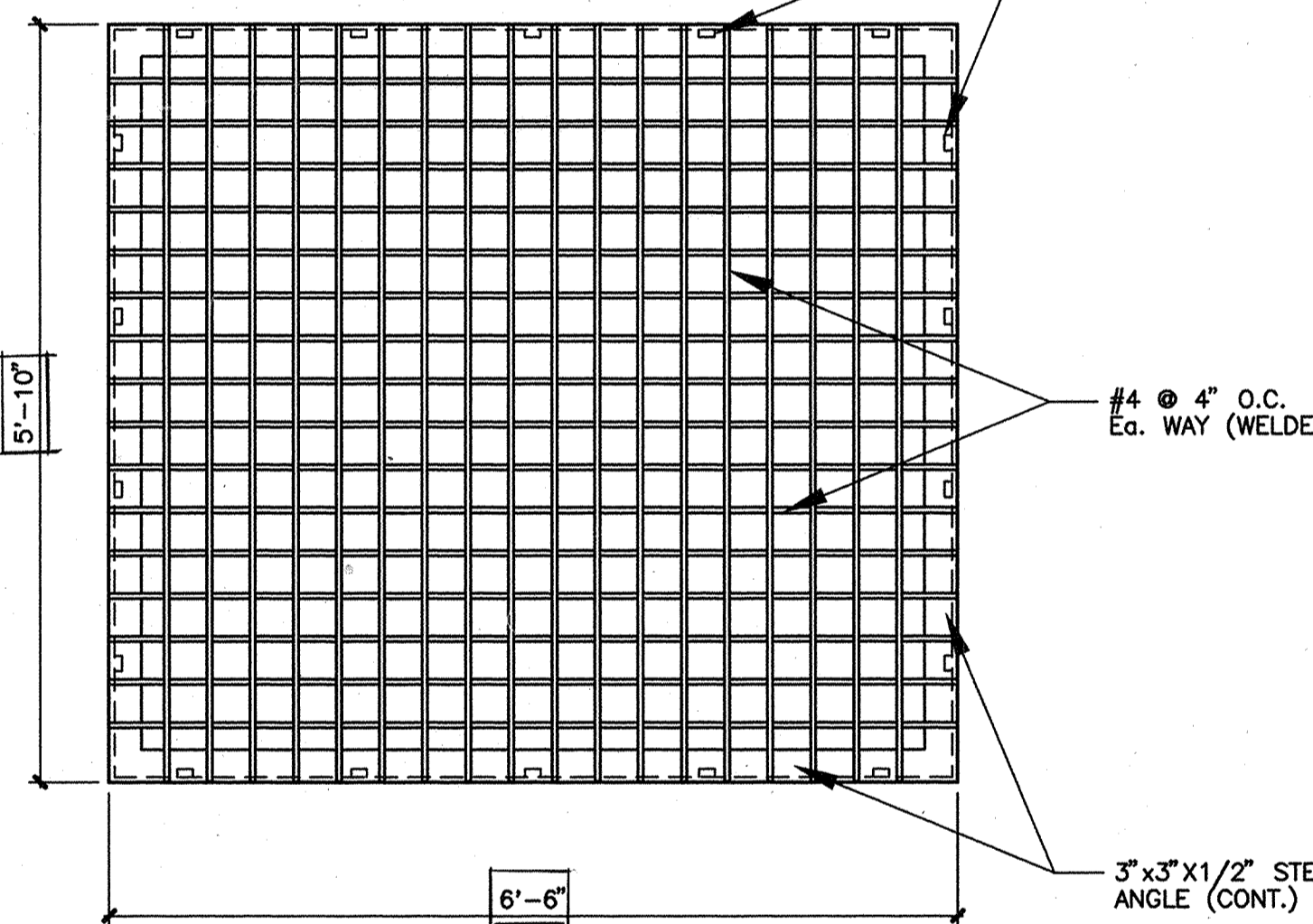
DETAIL - TRASH RACK
 SCALE: 3/4"=1'-0"



JUNCTION BOX No. 4 - PLAN VIEW
 SCALE: 1/4"=1'-0"



JUNCTION BOX No. 4 - TOP SLAB DETAIL
 SCALE: 1/4"=1'-0"



ELEVATION - TRASH RACK
 SCALE: 3/4"=1'-0"

UNDERGROUND PIPE STORAGE (PRIVATE)

SPECIFICATIONS FOR CONSTRUCTION

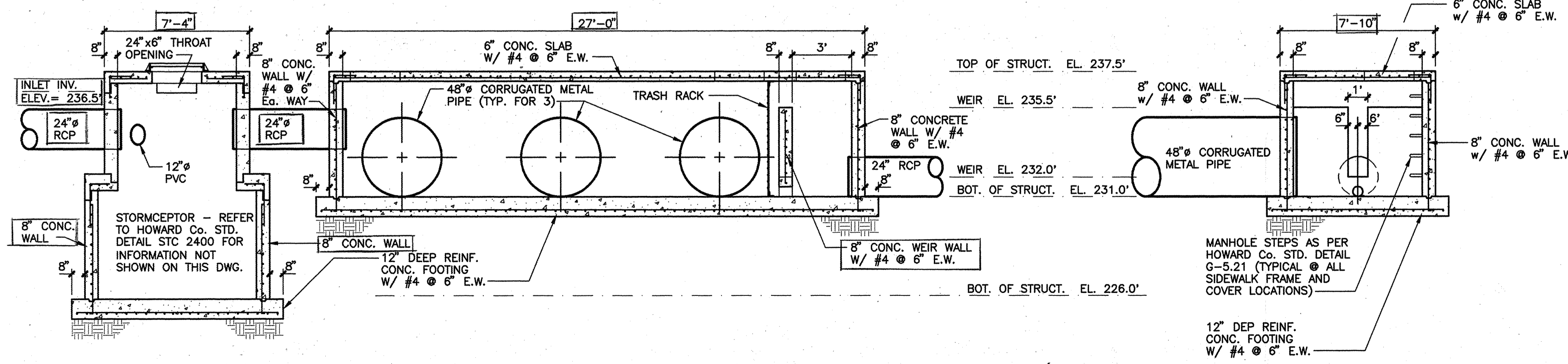
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER AND HOWARD COUNTY FOR APPROVAL PRIOR TO COMMENCING WORK.
2. ALL WORK SHALL BE PLACED ON UNDISTURBED SUBGRADE. ANY OVER-EXCAVATION SHALL BE BACKFILLED WITH CR-6 CRUSHED RUN AND COMPACTED TO 95% AASHTO UNDER DIRECTION OF ENGINEER. NO CONSTRUCTION SHALL BE PLACED ON WET OR FROZEN GROUND.
3. ALL WELDING SHALL BE DONE BY MANUFACTURER'S WELDER. WELDS SHALL BE WATERPROOFED PRIOR TO BACKFILLING AND FINAL INSPECTION.
4. ALL STEEL USED FOR STORAGE STRUCTURE SHALL BE CORRUGATED STEEL ALUMINIZED PIPE, 12 GAUGE.
5. THE CONTRACTOR SHALL GUARANTEE TOTAL RUST-PROOFING OF THE STEEL PIPE.
6. PIPES SHALL BE BEDDED IN 12" OF SAND.
7. MINIMUM COVER SHALL BE 18".

NOTES

1. REFER TO ARMCO, INC. METAL PRODUCTS DIVISION (OR EQUAL AND APPROVED) FOR LOCATIONS OF WELDED CONNECTIONS.
2. SHOP DRAWINGS TO BE SUBMITTED TO HOWARD COUNTY AND THE ENGINEER PRIOR TO CONSTRUCTION.

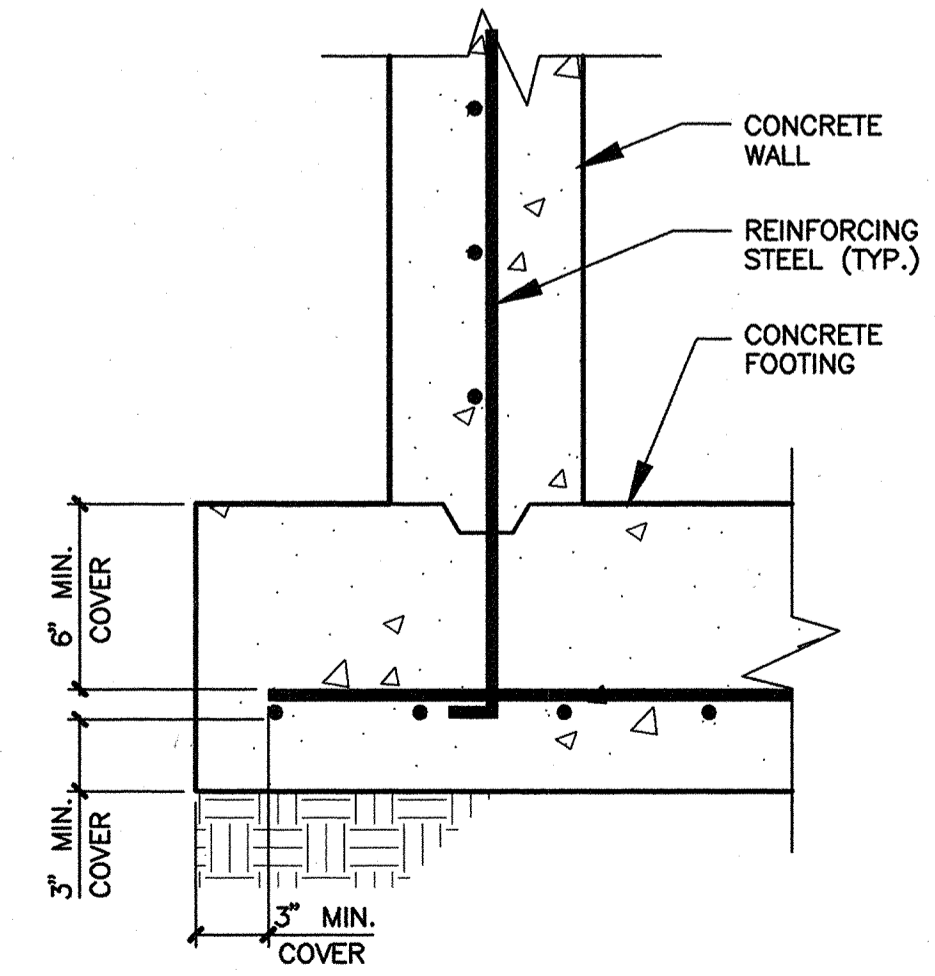
GENERAL NOTES:

1. CONCRETE STRENGTH SHALL BE $f_c' = 5000$ PSI @ 28 DAYS.
2. ALL REINFORCING STEEL TO BE ASTM A615 GRADE 60.
3. PROVIDE MINIMUM 3" CONCRETE COVER ON ALL BELOW GRADE REINFORCING STEEL, UNLESS OTHERWISE SPECIFIED. PROVIDE MINIMUM 2" CONCRETE COVER ON ALL ABOVE GRADE REINFORCING STEEL, UNLESS OTHERWISE SPECIFIED.
4. FOR INFORMATION NOT SHOWN REFER TO DER STD. DTL. SD/10.0 AND SD/10.1.
5. ALL LAP REINFORCEMENT TO BE 32 TIMES REBAR DIAMETER (MIN.).
6. FOR PRECAST STRUCTURE SUBMIT SHOP DRAWINGS TO PERMITS AND REVIEW DIVISION FOR APPROVAL.
7. PROVIDE WATERTIGHT JOINTS AT ALL WALL PENETRATIONS.



JUNCTION BOX No. 4 - LONGITUDINAL SECTION
 SCALE: 1/4"=1'-0"

JUNCTION BOX No. 4 - CROSS SECTION
 SCALE: 1/4"=1'-0"



TYPICAL FOOTING DETAIL
 NO SCALE

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY CONSERVATION DISTRICT.

Joseph Nazario 5-1-98
 JOSEPH NAZARIO OWNER
 NAZARIO DEVELOPMENT AND COMPANY DATE

BY THE ENGINEER:
 I/WE CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT. I/WE WILL PROVIDE THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION.

Fred L. Skelton 6/6/98
 FRED L. SKELTON - MD. REGISTRATION No. 9070
 IPDS, LLC DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Paul Simmons 9/30/98
 U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

John R. Peterson 9/30/98
 HOWARD COUNTY CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David Smith 11/6/98
 DIRECTOR DATE

Cindy Hamstra 10/5/98
 CHIEF, DIVISION OF LAND-DEVELOPMENT DATE

Mike Dammann 10/1/99
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

[Signature]
 DIRECTOR DATE

[Signature]
 CHIEF, BUREAU OF ENGINEERING DATE



AS BUILT CERTIFICATE
Fred L. Skelton 03-14-01
 FRED L. SKELTON - MD. REGISTRATION No. 9070
 IPDS, LLC DATE

OWNER \ DEVELOPER
 Joseph Nazario
 Nazario Development and Company
 6500 Ammendale Road
 Beltsville, Maryland 20705
 (301) 937-4664

802 Silgo Avenue
 Silver Spring, Maryland, 20910
 (301) 565-5676

IPDS
 The Interprofessional
 PLANNING & DESIGN STUDIO, LLC
 Engineers • Architects • Surveyors
 Planners & Landscape Architects

**STORMWATER MANAGEMENT
 DETAILS**

U.S. No. 1 JOINT VENTURE
 PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
 GUILFORD ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND
 CENSUS TRACT 6088.02, TAX MAP 47, BLOCK 22/23
 WATER CODE C04, SEWER CODE 722000

AS NOTED
 SCALE:
 06-18-98
 REVISIONS:
 01-18-98
 DATE:
 JOB NUMBER:

SWM-3
 SHEET 10 OF 13

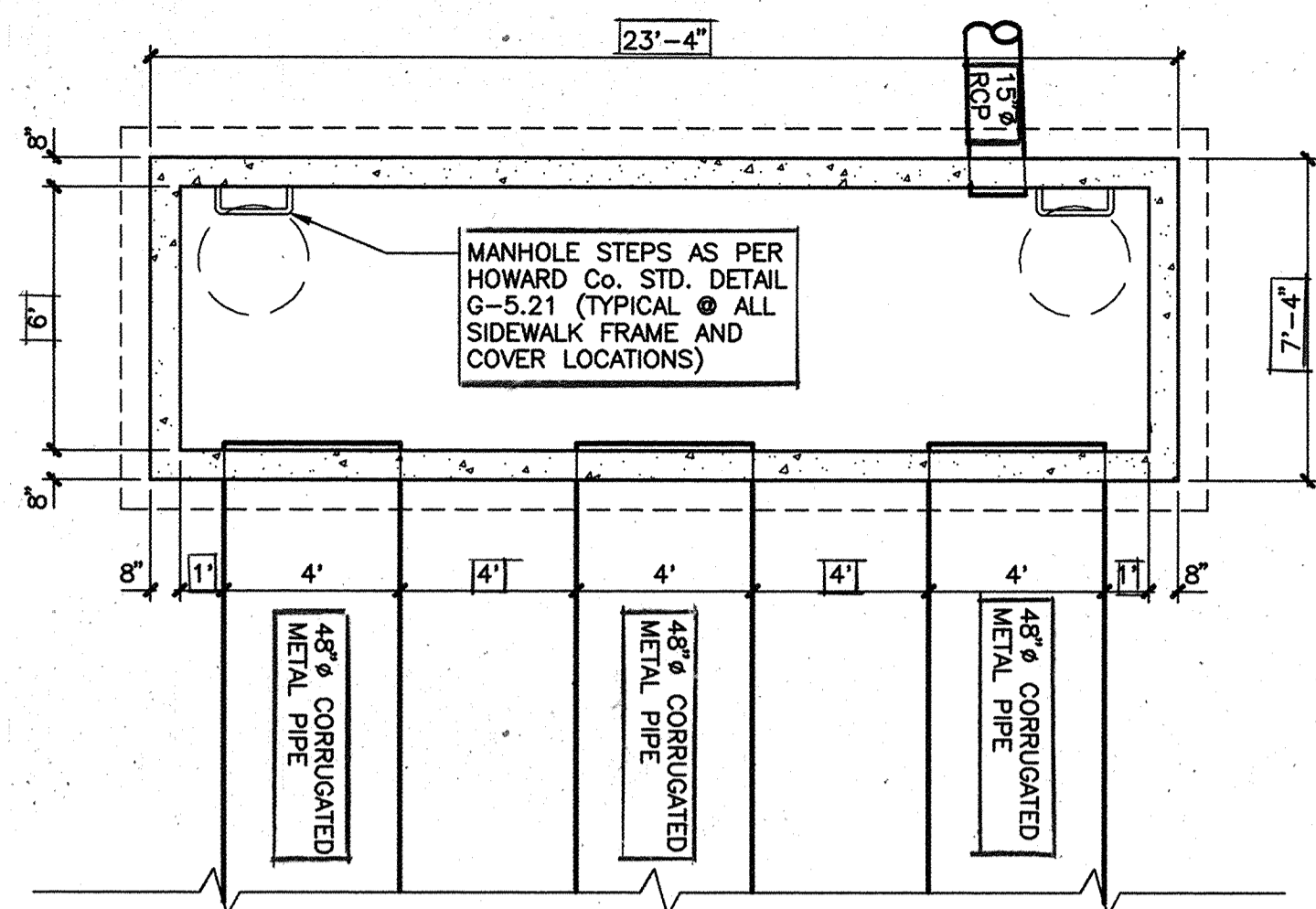
SDP-98-135

SDP-98-135

CERTIFICATE

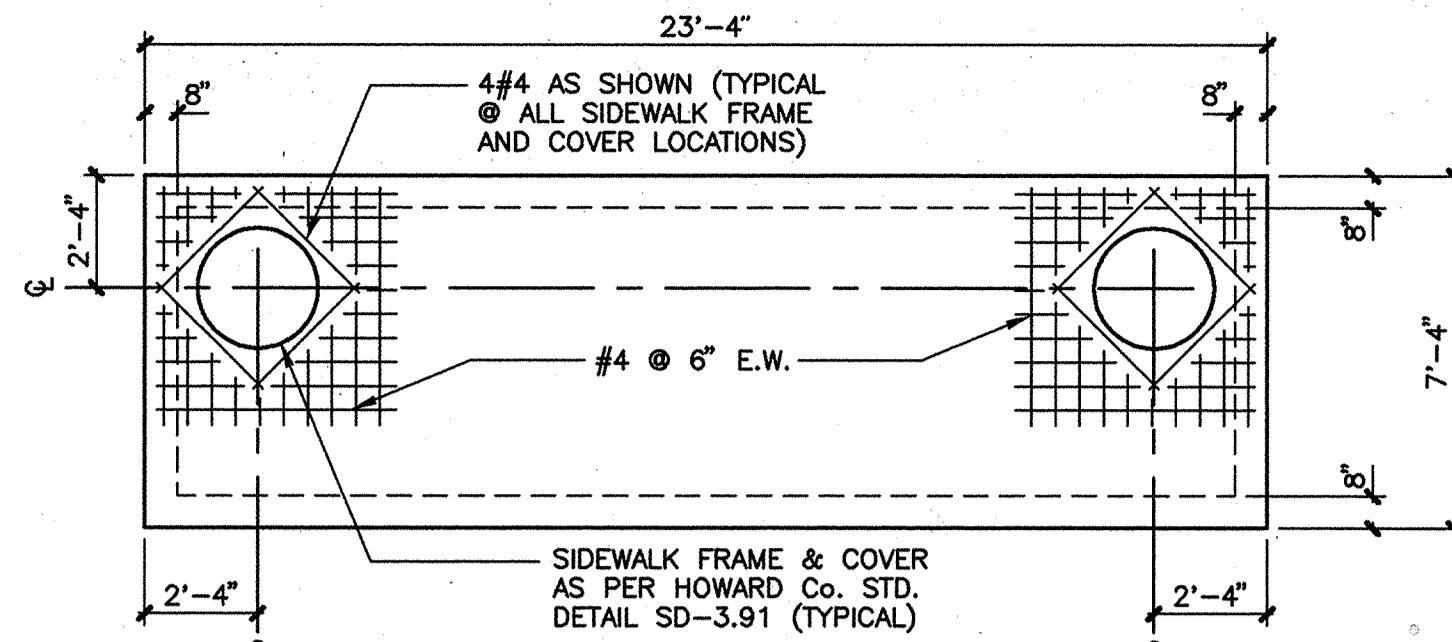
I hereby certify that to the best of my knowledge that this "As-Built" truly represents existing field conditions including, but not limited to sizes, diameters, line and grade, and elevations.

Fred L. Skelton (SEAL)
Fred L. Skelton, P.E.
MD Reg. No. 9070



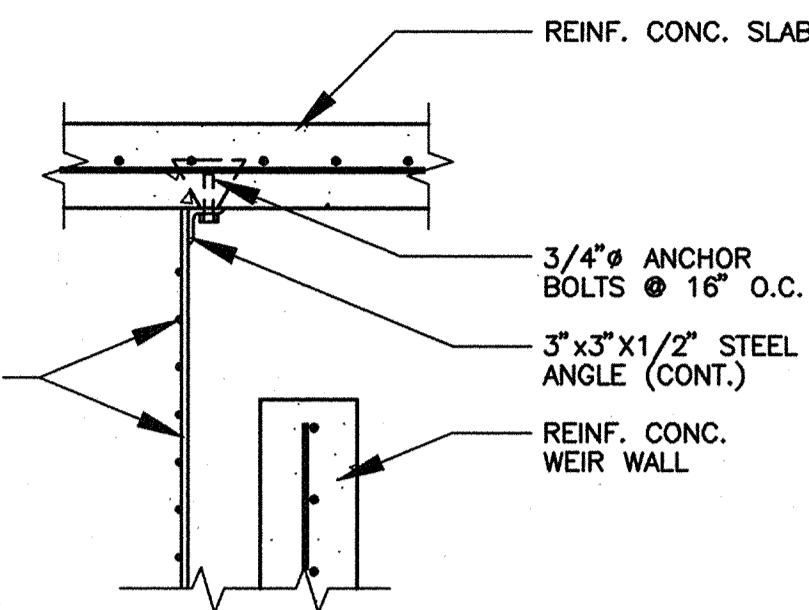
JUNCTION BOX No. 5 - PLAN VIEW

SCALE: 1/4"=1'-0"



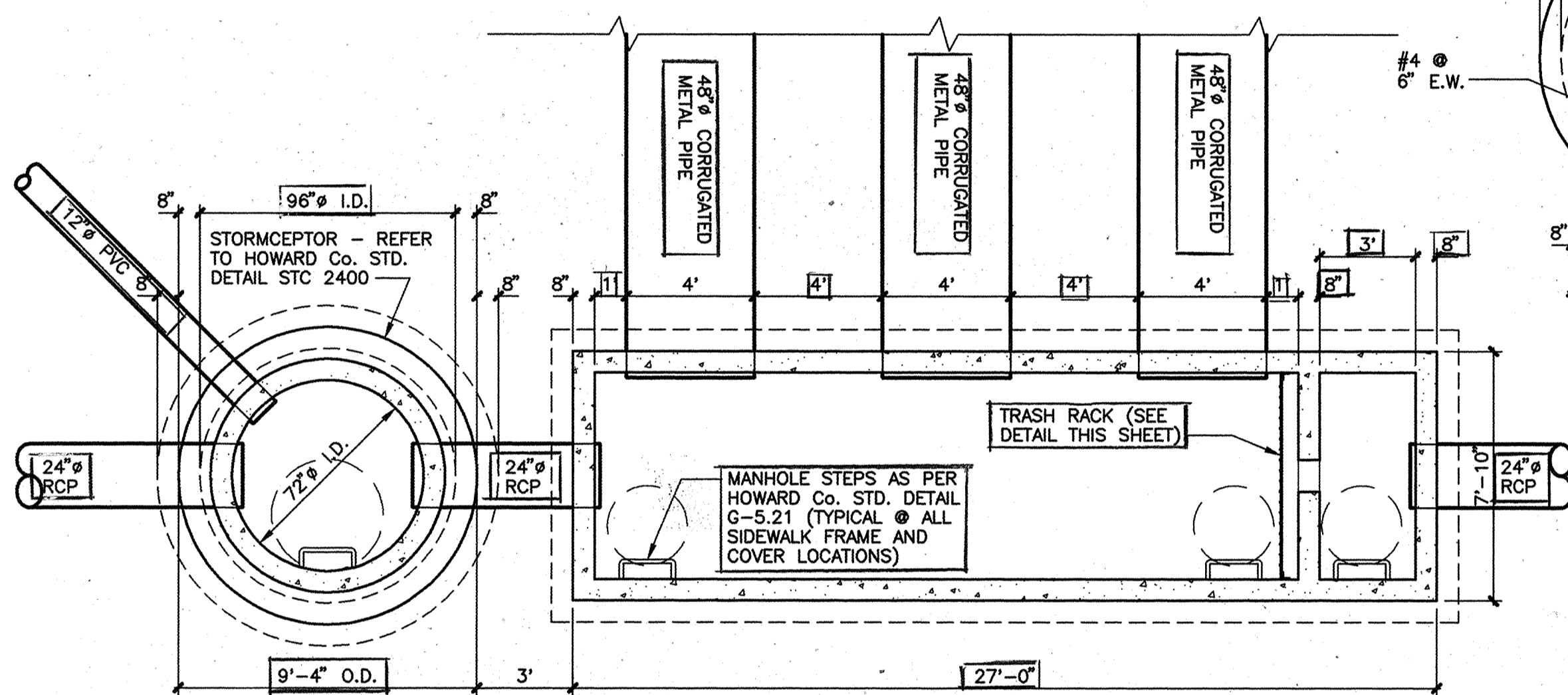
JUNCTION BOX No. 5 - TOP SLAB DETAIL

SCALE: 1/4"=1'-0"



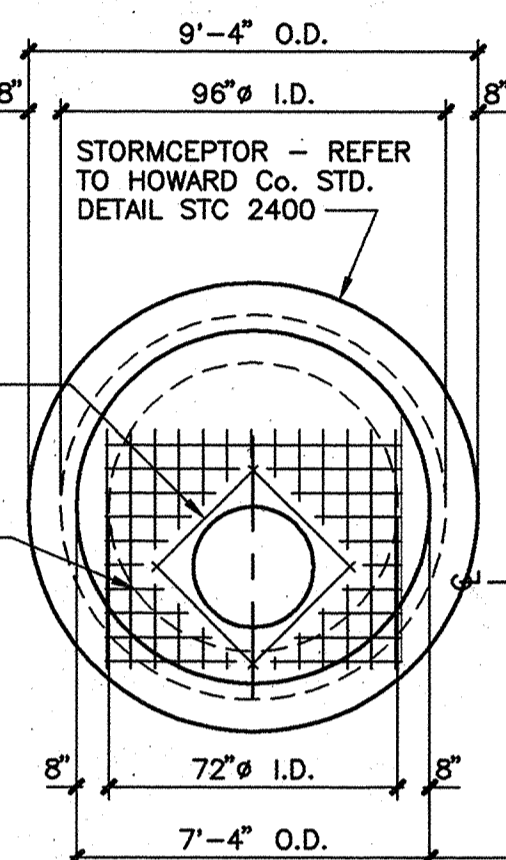
DETAIL - TRASH RACK

SCALE: 3/4"=1'-0"



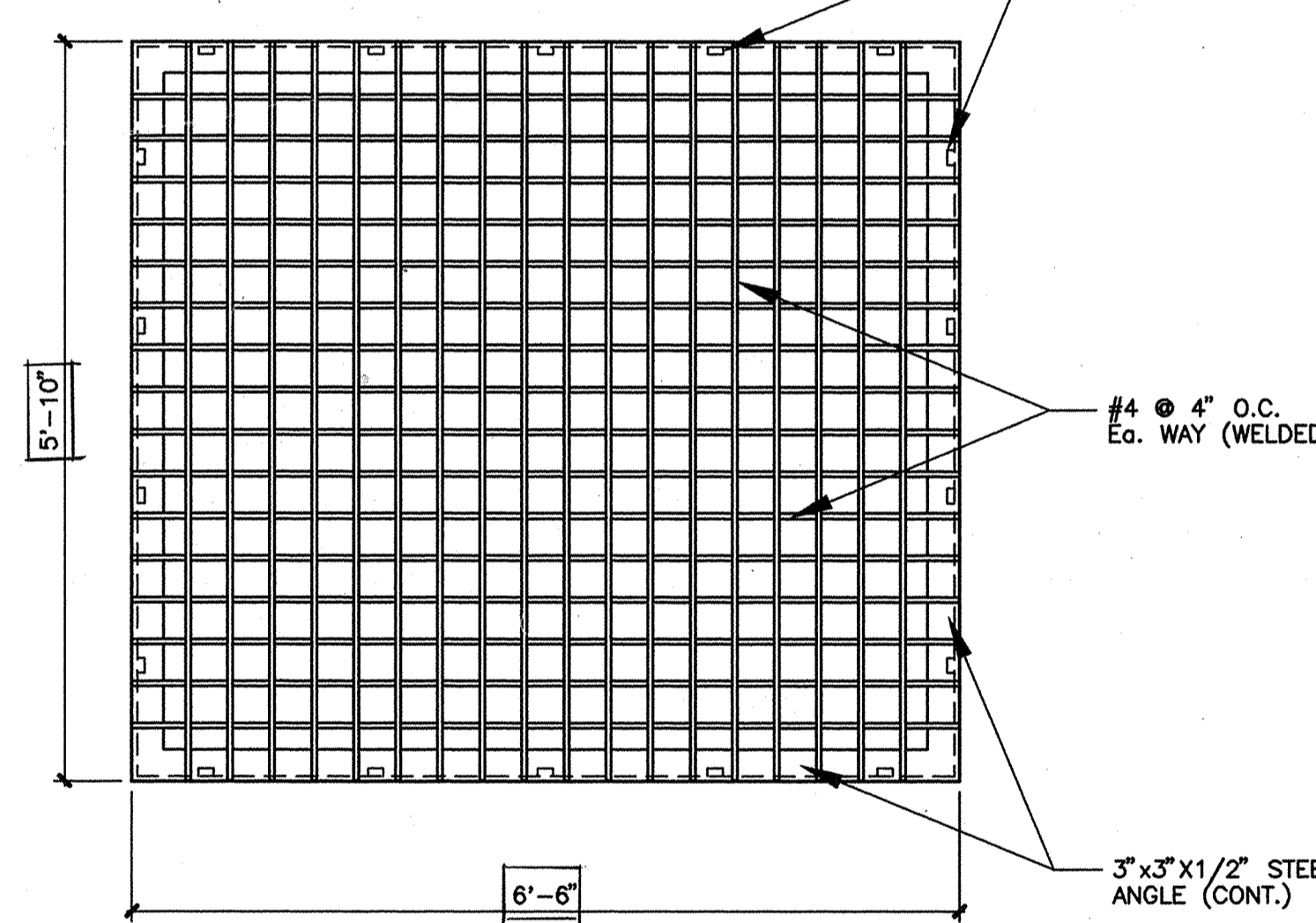
JUNCTION BOX No. 4 - PLAN VIEW

SCALE: 1/4"=1'-0"



JUNCTION BOX No. 4 - TOP SLAB DETAIL

SCALE: 1/4"=1'-0"



ELEVATION - TRASH RACK

SCALE: 3/4"=1'-0"

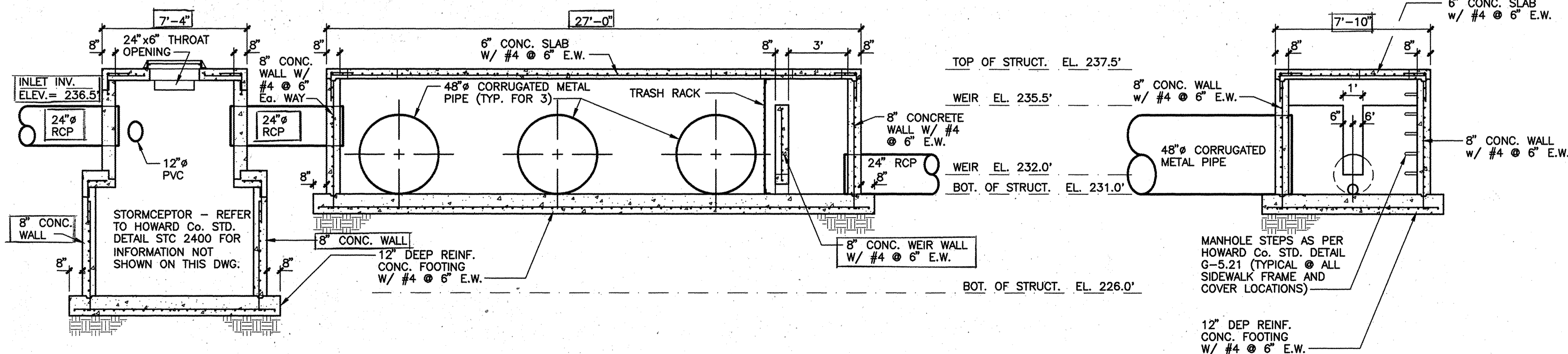
UNDERGROUND PIPE STORAGE (PRIVATE)

SPECIFICATIONS FOR CONSTRUCTION

- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER AND HOWARD COUNTY FOR APPROVAL PRIOR TO COMMENCING WORK.
- ALL WORK SHALL BE PLACED ON UNDISTURBED SUBGRADE. ANY OVER-EXCAVATION SHALL BE BACKFILLED WITH CR-6 CRUSHED RUN AND COMPACTED TO 95% AASHTO UNDER DIRECTION OF ENGINEER. NO CONSTRUCTION SHALL BE PLACED ON WET OR FROZEN GROUND.
- ALL WELDING SHALL BE DONE BY MANUFACTURER'S WELDER. WELDS SHALL BE WATERPROOFED PRIOR TO BACKFILLING AND FINAL INSPECTION.
- ALL STEEL USED FOR STORAGE STRUCTURE SHALL BE CORRUGATED STEEL ALUMINIZED PIPE, 12 GAUGE.
- THE CONTRACTOR SHALL GUARANTEE TOTAL RUST-PROOFING OF THE STEEL PIPE.
- PIPES SHALL BE BEDDED IN 12" OF SAND.
- MINIMUM COVER SHALL BE 18".

NOTES

- REFER TO ARMO, INC. METAL PRODUCTS DIVISION (OR EQUAL AND APPROVED) FOR LOCATIONS OF WELDED CONNECTIONS.
- SHOP DRAWINGS TO BE SUBMITTED TO HOWARD COUNTY AND THE ENGINEER PRIOR TO CONSTRUCTION.

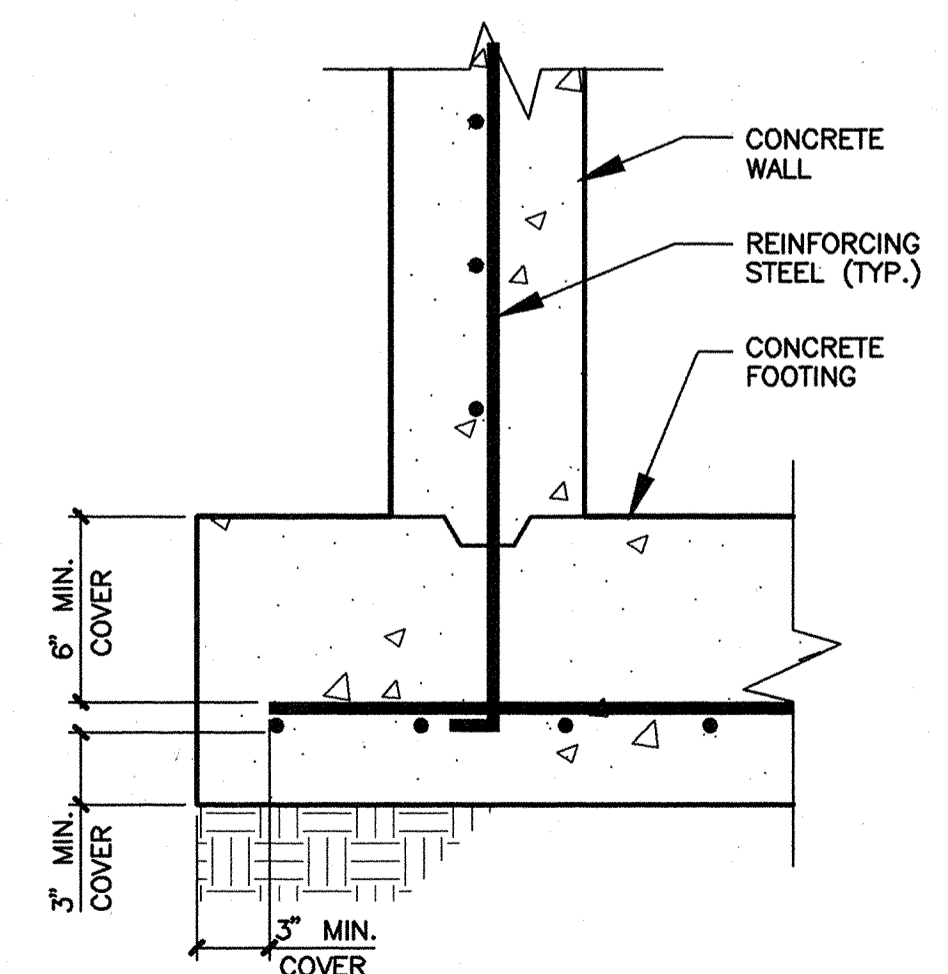


JUNCTION BOX No. 4 - LONGITUDINAL SECTION

SCALE: 1/4"=1'-0"

JUNCTION BOX No. 4 - CROSS SECTION

SCALE: 1/4"=1'-0"



TYPICAL FOOTING DETAIL

NO SCALE

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario (SEAL)
JOSEPH NAZARIO OWNER
NAZARIO DEVELOPMENT AND COMPANY
DATE: 5-1-98

BY THE ENGINEER:
I/WE CERTIFY THAT THIS PLAN FOR POND-CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I/WE AGREE THAT THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE PROJECT WITHIN 30 DAYS OF COMPLETION.

Fred L. Skelton (SEAL)
FRED L. SKELTON - MD. REGISTRATION No. 9070
IPDS, LLC
DATE: 6/6/98

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
Carol Simmons
U.S. SOIL CONSERVATION SERVICE
DATE: 9/30/98

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Chetani
HOWARD SOIL CONSERVATION DISTRICT
DATE: 9/30/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
David Smith 11/6/98
DIRECTOR
Cindy Hamilton 10/5/98
CHIEF, DIVISION OF LAND-DEVELOPMENT
Mike Dammann 10/1/98
CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
John R. Chetani
DIRECTOR
DATE
CHIEF, BUREAU OF ENGINEERING
DATE



AS BUILT CERTIFICATE
Fred L. Skelton (SEAL)
FRED L. SKELTON - MD. REGISTRATION No. 9070
IPDS, LLC
DATE: 03-14-01

OWNER \ DEVELOPER
Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664

802 Silgo Avenue
Silver Spring, Maryland, 20910
(301) 585-5676
IPDS
The Professional
PLANNING & DESIGN STUDIO, LLC
Engineers & Architects • Surveyors
Planners & Landscape Architects

STORMWATER MANAGEMENT DETAILS

U.S. No. 1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
GENSUS TRACT 8089.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

AS NOTED
SCALE:
06-18-98
REVISIONS:
01-18-98
DATE:
JOB NUMBER:

SWM-3
SHEET 10 OF 13

SDP-98-135

SDP-98-135

SITE DEVELOPMENT PLAN

U.S. No. 1 JOINT VENTURE

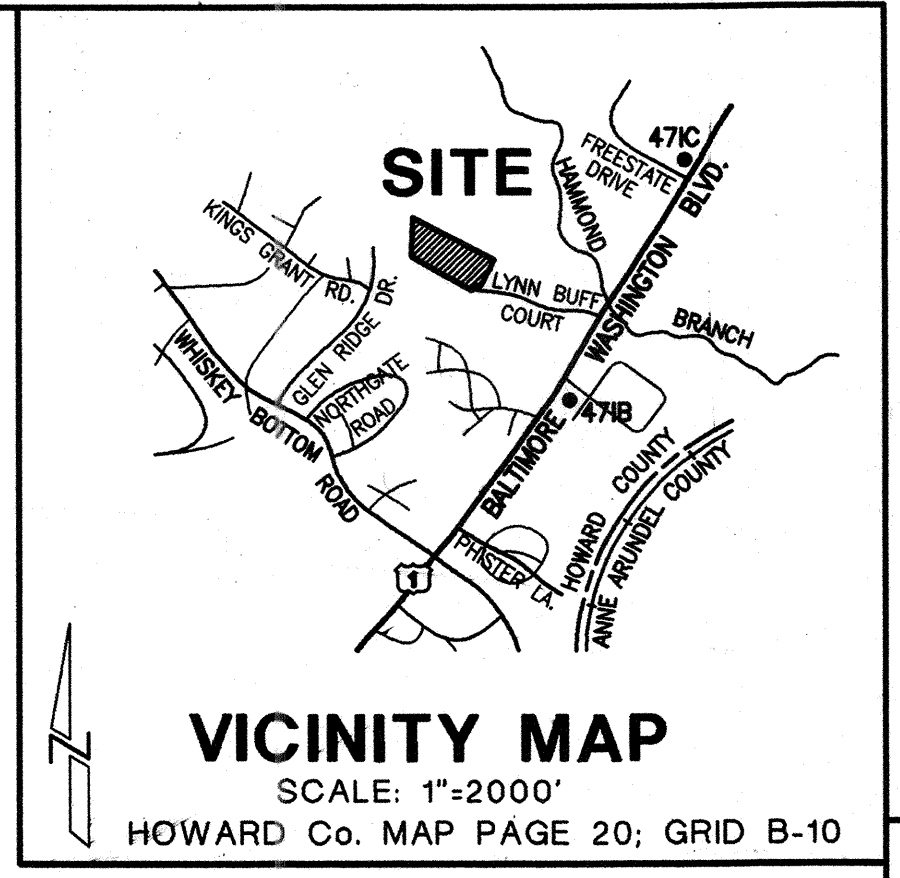
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE

GUILFORD ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23

WATER CODE C04, SEWER CODE 7220000



IPDS
The Interdisciplinary
PLANNING & DESIGN STUDIO, LLC
Engineers & Architects • Surveyors
Planners & Landscape Architects

SITE TABULATION

PRESENT ZONING	M-1
DEED REFERENCE	L. 454, F. 036
AREA OF PARCEL	7.527 Ac.
PROPOSED USE	WAREHOUSING & PARKING
PROPOSED BUILDING COVERAGE	115,463 SQ. FT.
PROJECTED No. OF EMPLOYEES	50
TOTAL PARKING SPACES REQUIRED:	
0.5 SPACES PER 1000 SF OF 115,463 SQUARE FEET GROSS FLOOR AREA)	58
3.3 SPACES PER 1000 SF OF 40,909 SQUARE FEET MAX. ALLOWABLE MEZZANINE FLOOR AREA (FUTURE GENERAL OFFICE USE)	135
TOTAL REQUIRED	193
TOTAL PARKING SPACES PROVIDED:	
STANDARD (9'x18')	164
COMPACT (8'x16')	23
HANDICAPPED (8'x20')	6
TOTAL SPACES	193
LOADING SPACES	29
LANDSCAPE ISLANDS REQUIRED:	
1/20 PARKING SPACES	10
MINIMUM 200 SF EACH	2000 SF
MINIMUM WIDTH = 12'	
DISTURBED AREA	5.7 Ac. (76%)

PARCEL "A" PLAT FILE NUMBER IS F-75-67
NOTE: THIS PLAN WAS PREVIOUSLY SUBMITTED AS SDP-98-88 AND DENIED ON 5/6/98

OWNER / DEVELOPER
Joseph Nazario
Nazario Development and Company
6500 Amundale Road
Beltsville, Maryland 20705
(301) 937-4664

SDP-98-135

ADDRESS CHART	
BUILDING	STREET ADDRESS
9590	LYNN BUFF COURT

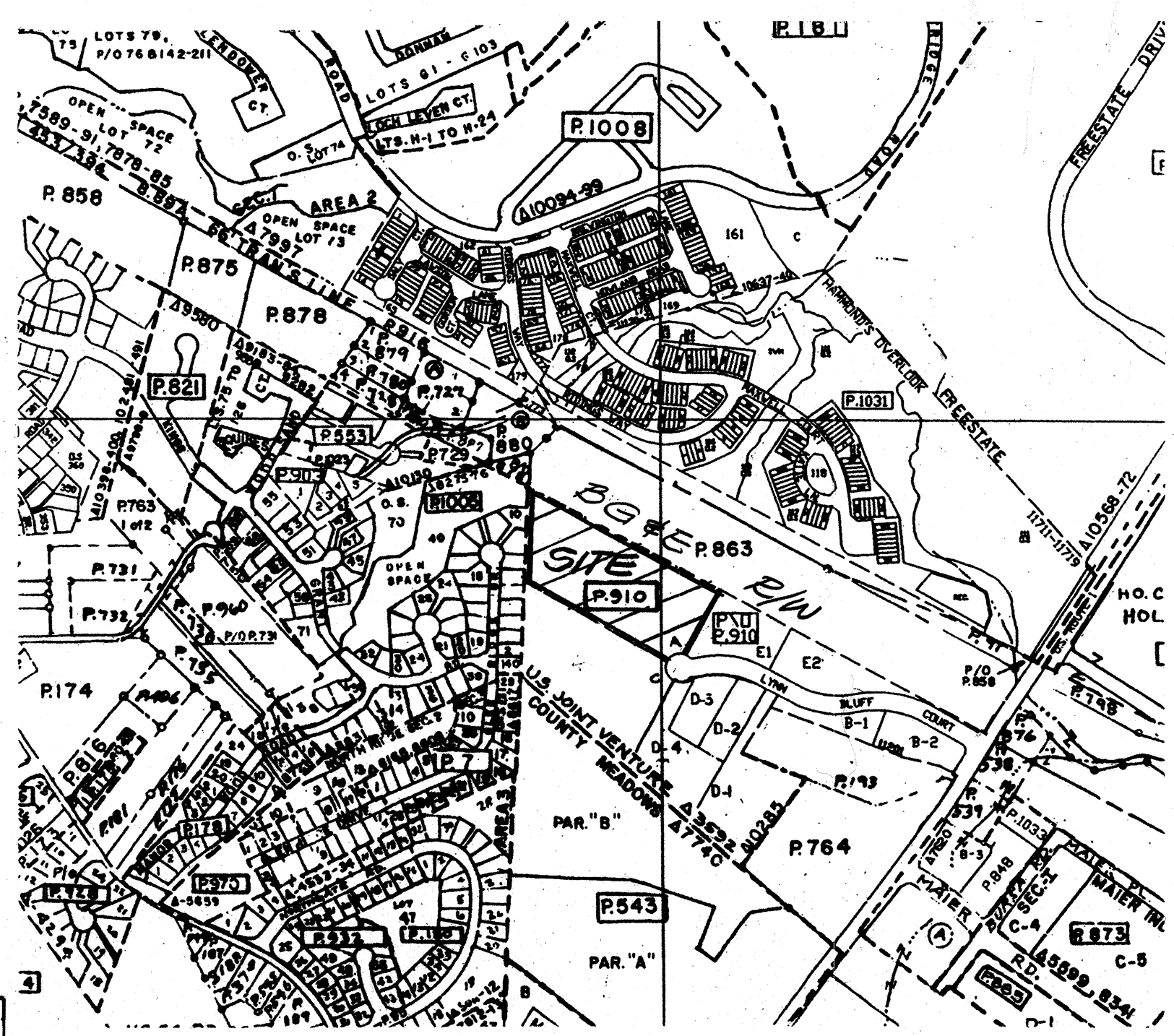
SUBDIVISION NAME:	U.S. No. 1 JOINT VENTURE	SECT./AREA:	N/A	PARCEL:	A
DEED:	PLAT 3592	BLOCK:	22/23	ZONING:	M-1
TAX MAP No.:	47	ELECTION DISTRICT:	6th	CENSUS TRACT:	6069.02
WATER CODE:	C04	SEWER CODE:	7220000		

LIST OF DRAWINGS

CS	COVER SHEET (1 of 13)
SDP-1	SITE DEVELOPMENT PLAN (2 of 13)
SDP-2	SITE DETAILS (3 of 13)
SDP-3	SITE DETAILS (4 of 13)
SDP-4	FRONT BUILDING ELEVATION AND BUILDING PROFILES (5 of 13)
LA-1	LANDSCAPING PLAN (6 of 13)
DA-1	DRAINAGE AREA MAPS (7 of 13)
SWM-1	STORMWATER MANAGEMENT PLAN (8 of 13)
SWM-2	DETAILS & STORM DRAIN PROFILES (9 of 13)
SWM-3	STORMWATER MANAGEMENT DETAILS (10 of 13)
SC-1	EROSION & SEDIMENT CONTROL PLAN (11 of 13)
SC-2	EROSION AND SEDIMENT CONTROL DETAILS & NOTES (12 of 13)
S-1	SOILS AND ENVIRONMENTAL ANALYSIS (13 of 13)

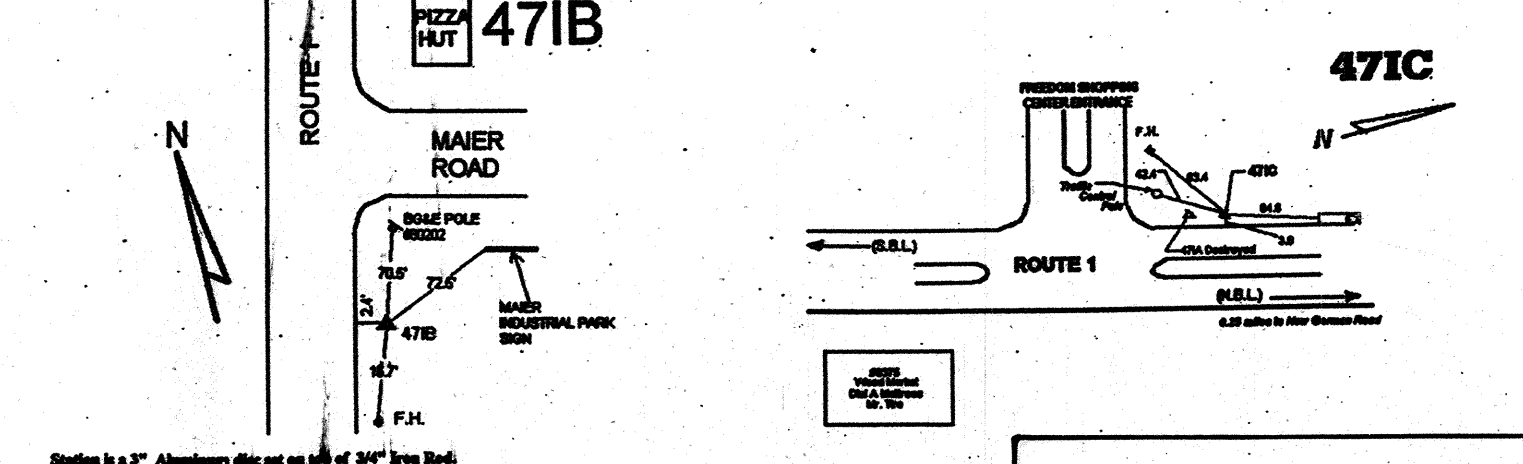
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, AND CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY JOYCE ENGINEERING CORPORATION, DATED OCTOBER, 1987.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 47B AND 47C WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC, EX. WHC. CONTRACT No. 867-D-W&S.
- SEWER IS PUBLIC, EX. SHC. CONTRACT No. 867-D-W&S.
- STORMWATER MANAGEMENT CONTROL IS TO BE PROVIDED BY PRIVATE UNDERGROUND STORAGE PIPES WITH INFILTRATION TRENCHES AND WILL BE MAINTAINED BY THE OWNER OF PROPERTY.
- THERE IS NO FLOODPLAIN ON SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2-01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV, OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS-OF-WAY AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM. IF THIS WASTE IS REGULATED UNDER SECTION 19.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WATER PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WATER TO PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.
- ALL IMPROVEMENTS AS SHOWN ON THESE PLANS WITHIN THE R/W OF LYNN BUFF COURT WILL BE THE RESPONSIBILITY OF THE DEVELOPER.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO SECTION 134 - OUTDOOR LIGHTING, ZONING REGULATIONS.
- NO UNDERGROUND/GROUNDWATER TESTING CONDUCTED FOR THE PRESENCE OF CONTAMINANTS AT THIS TIME.
- WATER METERS SHALL BE LOCATED OUTSIDE THE BUILDING IN THE AREA BETWEEN THE SIDEWALK AND THE PARKING LOT CURB.



TAX MAP
SCALE: 1"=600'

HOWARD COUNTY GEODETIC CONTROL: 471B	HOWARD COUNTY GEODETIC CONTROL: 471C
NGS FID NUMBER: N/A Coordinate based on: Maryland HADSD horizontal and NAVD83 vertical datum. CLASS: Horizontal - 1st Vertical - 1st	NGS FID NUMBER: N/A Coordinate based on: Maryland HADSD horizontal and NAVD83 vertical datum. CLASS: Horizontal - 1st Vertical - 1st
Northing: 16403.2412 m Easting: 449962.322 m Datum: 1983 Scale Factor: 0.999999977 Convergence: 0.00015 Other Datum Information: NAD83(1) 84(Avg) 84(1983) 84(Avg)	Northing: 16403.2412 m Easting: 449962.322 m Datum: 1983 Scale Factor: 0.999999977 Convergence: 0.00015 Other Datum Information: NAD83(1) 84(Avg) 84(1983) 84(Avg)
County: Howard Area: 21.433 sq. miles Last Adjustment: 04/03/96 Last Recovery: 04/03/96	County: Howard Area: 21.433 sq. miles Last Adjustment: 04/03/96 Last Recovery: 04/03/96



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David S. Smith 10/6/98
DIRECTOR DATE

Cindy Hamilton 10/5/98
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David P. Dammann 10/1/98
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

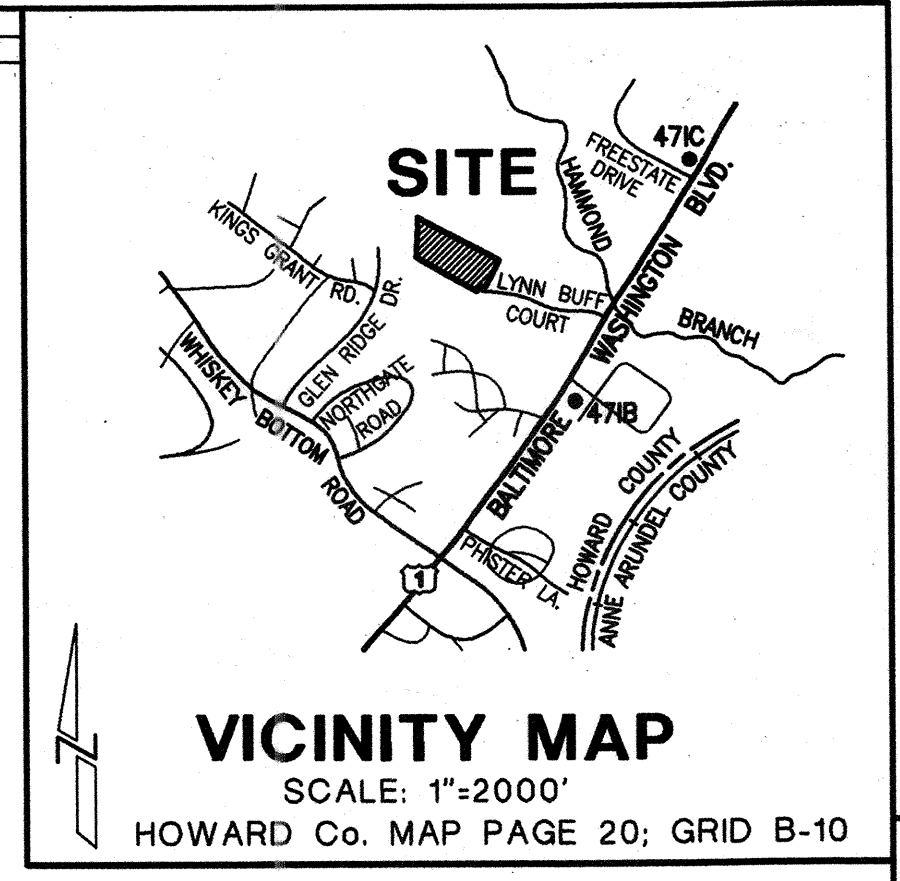
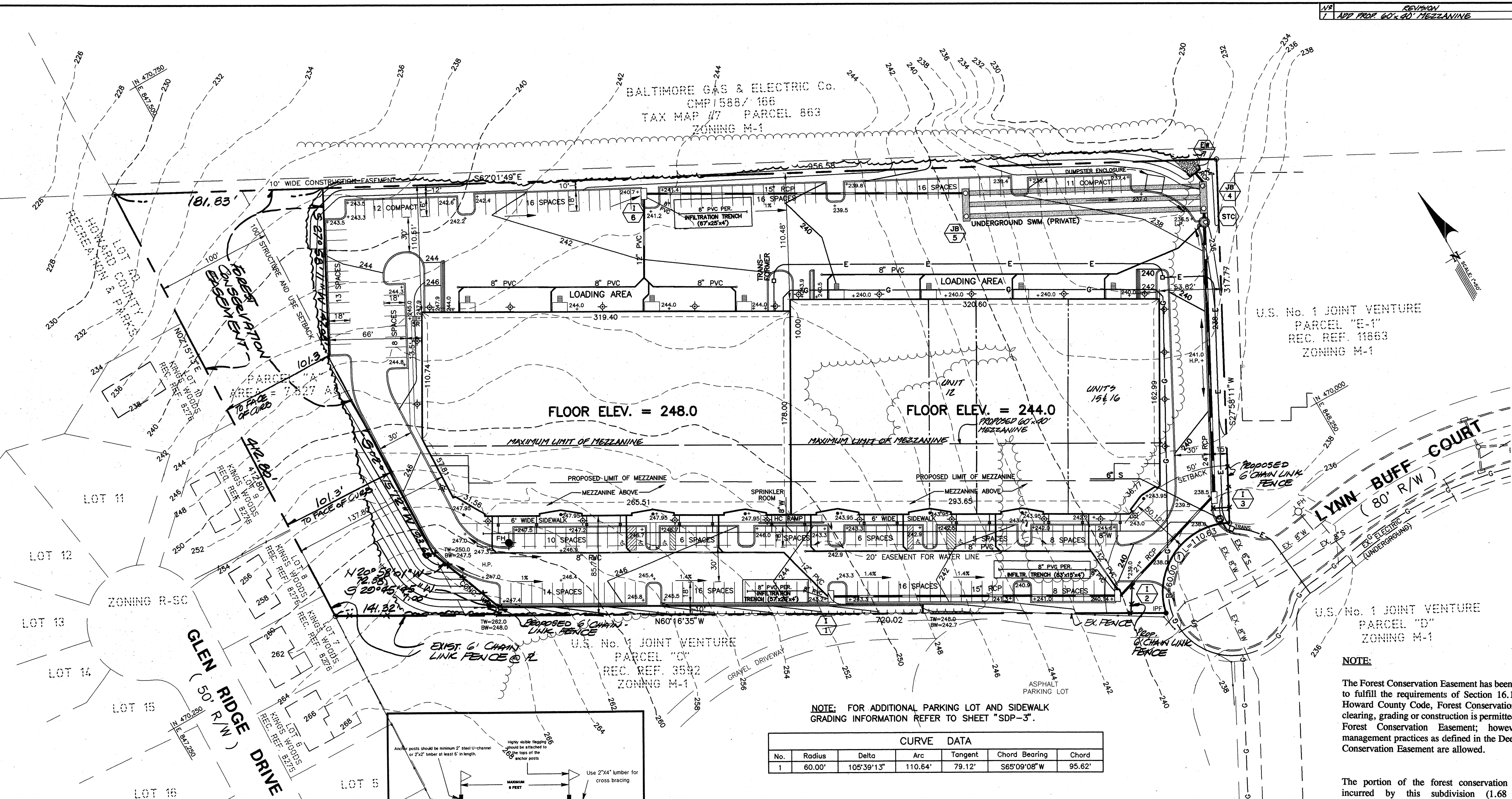
NOTE: SEE VICINITY MAP FOR LOCATIONS OF GEODETIC CONTROL POINTS

COVER SHEET

U.S. No.1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

SCALE: NONE
06-22-98
REVISIONS:
01-18-98
DATE:
JOB NUMBER:
CS
SHEET 1 OF 13

SDP-98-135



IPDS
The Interprofessional
PLANNING & DESIGN STUDIO, LLC
Engineers • Architects • Surveyors
Planners & Landscape Architects
802 Silgo Avenue
Silver Spring,
Maryland, 20910
(301) 585-5676

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 90-DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph Nazario 5-1-98 DATE
JOSEPH NAZARIO, OWNER
NAZARIO DEVELOPMENT AND COMPANY

BY THE ENGINEER:
I/WE CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTICED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE PROJECT WITHIN 90-DAYS OF COMPLETION.

Fred L. Skelton 6/5/98 DATE
FRED L. SKELTON - MD. REGISTRATION No. 8070
IPDS, LLC

THESE PLANS SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Clayton Simmons 9/30/98 DATE
CLAYTON SIMMONS, NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

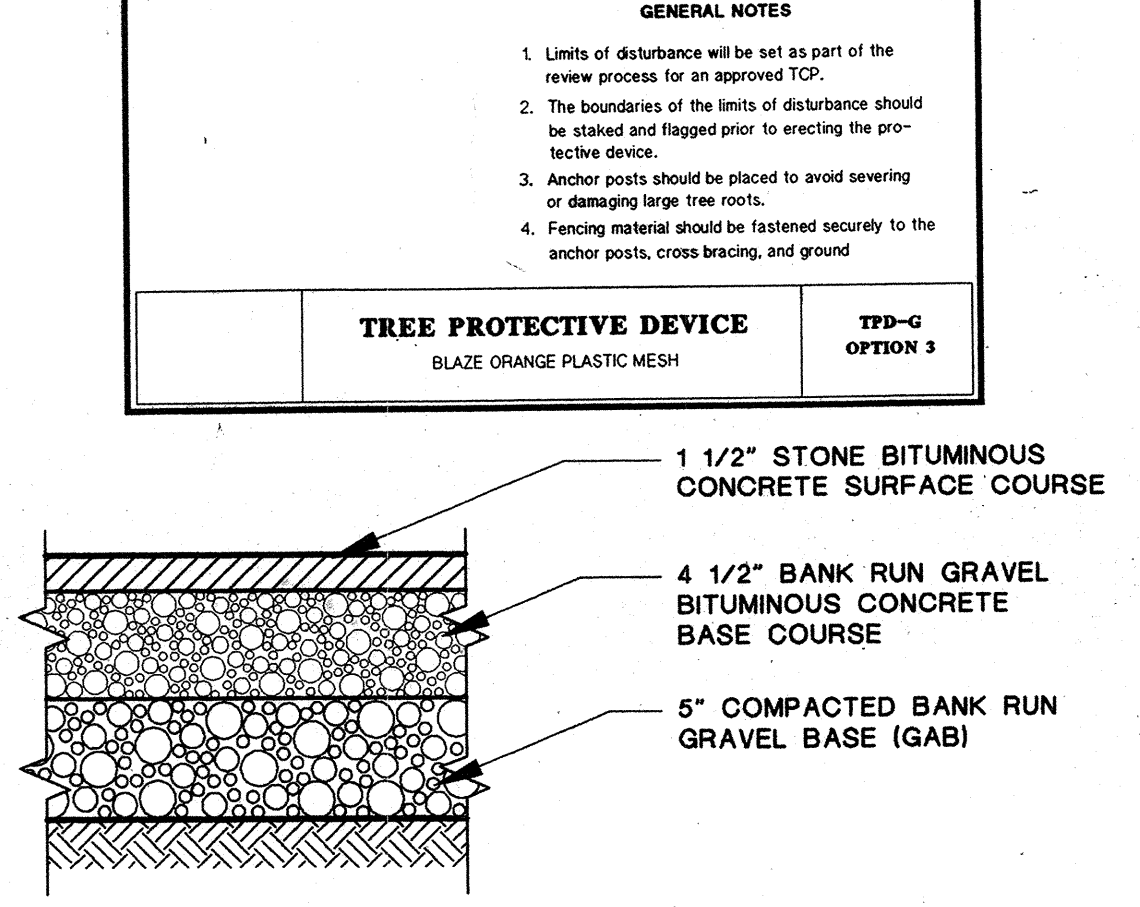
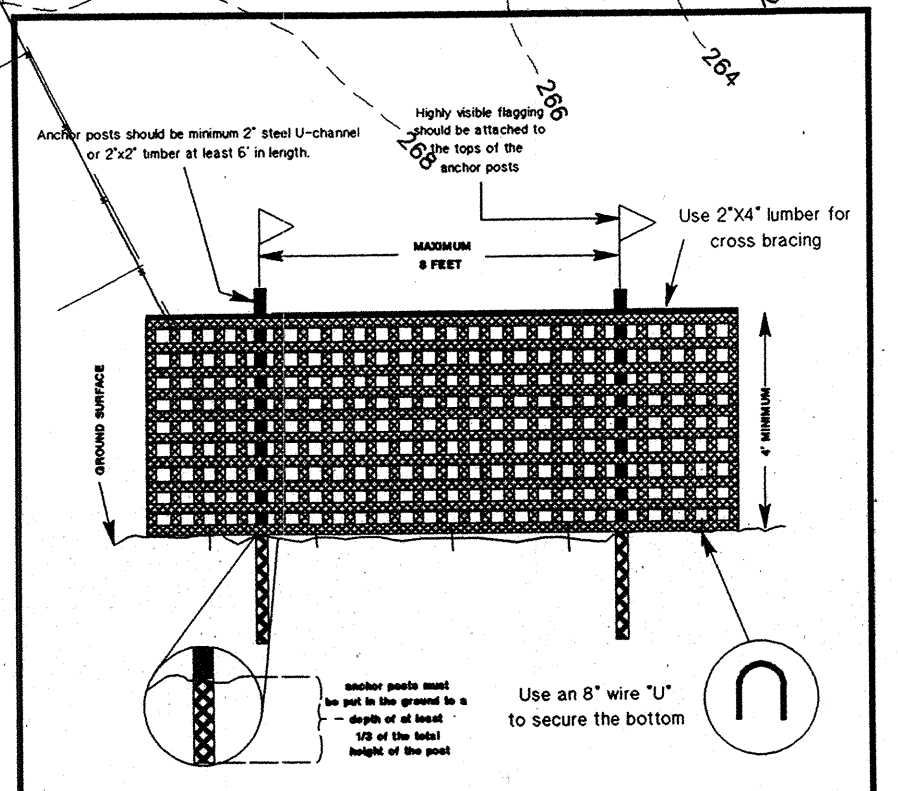
John K. Plutner 9/30/98 DATE
JOHN K. PLUTNER, HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
David S. Smith 10/6/98 DATE
DIRECTOR

Gracie Hamilton 10/5/98 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

William D. ... 10/1/98 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

ADJACENT PROPERTY OWNERS	
PROPERTY	OWNER
KINGS WOODS SECTION 1, AREA 1 LOT 6	GARY KUYKENDALL 9536 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 7	MELANE MCKNIGHT 9540 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 8	THEREY BREANT 9544 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 9	HIEN V. ONG 9548 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 10	ROBERT MARTINEZ 9552 GLEN RIDGE DR. LAUREL, MARYLAND 20723
KINGS WOODS SECTION 1, AREA 1 LOT 40	HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS
CMP 588/166 TAX MAP 47	BALTIMORE GAS & ELECTRIC Co. P.O. BOX 1475 BALTIMORE, MARYLAND 21203-1475
U.S. No. 1 JOINT VENTURE PARCEL "E"	LYNN BUFF LIMITED PARTNERS 9550 LYNN BUFF CT. LAUREL, MARYLAND 20723-6324
U.S. No. 1 JOINT VENTURE PARCEL "C"	STEFINTRACO A. SWISS CORPORATION c/o GREGORY PNELL 8401 CONNECTICUT AVE. CHEVY CHASE, MARYLAND 20815



TYPICAL ON-SITE PAVING SECTION No. P-3
SCALE: 1 1/2"=1'-0"

CURVE DATA				
No.	Radius	Delta	Arc Tangent	Chord Bearing
1	60.00'	105°39'13"	110.84'	79.12'
				S65°09'08"W
				95.62'

GENERAL PAVING NOTES

- All roadway construction shall be in accordance with the General Specifications for Highway and Street Construction, the Howard County Code and the Howard County Road Ordinance.
- Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location and elevation of the mains by digging test pits by hand at utility crossings well in advance of trenching. If clearances to water and sewer lines are less than shown on this plan or twelve (12) inches, contact the Engineer before proceeding with construction.
- All elevations shown on these plans are referred to Maryland State and Howard County vertical datum.
- All roadway fillet radii shall be 25 feet, unless otherwise noted.
- All unpaved areas within the property or right-of-way shall be sodded.
- All curb and gutter shall be in accordance with Howard County Standard No. R-3.01.
- All sidewalks shall be in accordance with Howard County Standard No. R-3.05, unless otherwise noted.
- Provide Standard No. R-4.01 sidewalk ramps Type A at locations shown on the plans.
- The pavement subgrade is to be approved by the Howard County Inspector prior to installation of Base Course.
- Underdrain system shall be installed when warranted by field conditions or as required by the Howard County Inspector.

LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
TREELINE	~~~~~	---
CONTOUR LINE	---250---	---250---
SPOT ELEVATION		+250
STORMDRAIN PIPE	====	====
LIMIT OF DISTURBANCE		L.O.D.
SILT FENCE		S.F.
HANDICAPPED SPACE		♿
FIRE HYDRANT	⊙	⊙
CURB & GUTTER		*
WHEELCHAIR RAMP		T.W.
TOP OF WALL		B.W.
BOTTOM OF WALL		Ⓜ
WATER METER VAULT (3/4" METER & 1" WHC)		Ⓜ
SITE LIGHTING FIXTURE MOUNTED ON BLDG.		⊙

OWNER \ DEVELOPER
Joseph Nazario
Nazario Development and Company
6500 Ammendale Road
Beltsville, Maryland 20705
(301) 937-4664



SITE DEVELOPMENT PLAN

U.S. No. 1 JOINT VENTURE
PARCEL "A", PLAT CMP No. 3592, WAREHOUSE
GUILFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND
CENSUS TRACT 6069.02, TAX MAP 47, BLOCK 22/23
WATER CODE C04, SEWER CODE 7220000

SCALE: 1"=50'
07-13-98
06-18-98
REVISIONS:
12-18-97
DATE:
JOB NUMBER:
SDP-1
SHEET 2 of 13
SDP-98-135