

LEGEND

CONTOUR INTERVAL: 2 FT.

EXISTING CONTOUR: -340

PROPOSED CONTOUR: +78.4

DIRECTION OF DRAINAGE: WALK OUT BASEMENT

SPOT ELEVATION: 78.4

STABILIZED CONSTRUCTION ENTRANCE: SCS

EROSION CONTROL MATTING: SSS

SUPER SILT FENCE: SSS

LIMIT OF DISTURBED AREA: SSS

TREE PROTECTION FENCE: SSS

EXISTING TREES TO REMAIN: SSS

PROPOSED STREET TREE: X

SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (13-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or disturbance, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all permanent sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1.
 - 14 days for all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. 6). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**
 - Total Area of Site: 0.46 Acres
 - Area Disturbed: 0.26 Acres
 - Area to be roofed or paved: 0.26 Acres
 - Area to be vegetatively stabilized: 0.20 Acres
 - Total Cut: 1461 CY
 - Offsite Waste/Borrow Area Location: N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPM Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
- The total amount of silt fence = 0
- The total amount of super silt fence = 200 LF
- The total amount of earth dikes = 0

*** It is the responsibility of the contractor to identify the spot/borrow site and notify and gain approval from the sediment control inspector when the area of the grading permit number at the time of construction.**

CONSTRUCTION SEQUENCE

NO. OF DAYS	BENCHMARKS:
1	BT#41
2	Railroad Spike in Pole #525690
3	Trouten Road Elevation 949.27
4	N45647.02 E82026.81
5	BT#42
6	Railroad Spike in Poplar Elevation 938.92
7	N49551.90 E82072.80

GENERAL NOTES:

- Subject property is zoned: N.T.S.F.L.D. per 10-18-93 Comprehensive Zoning Plan.
- The total area included in this submission is: 0.46 Acres
- The total number of lots included in this submission is: 1
- Improvement to property: Single Family Detached
- The maximum lot coverage permitted is: 30%
- Department of Planning and Zoning reference file numbers are: S-91-03, P-95-17, F-97-125, SP-96-12
- Utilities shown as existing are taken from approved Water and Sewer plans Contract # 34-3576-D, approved Road Construction plans F-97-125.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was taken from Road Construction Plans F-97-125 prepared by Riemer, Muegge & Associates, Inc., in January 1997.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2337001 and 2437003.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R-6.05.
- Stormwater Management is provided by: F-97-125, Stormwater Management Quantity Control is provided by the Maryland Route 32 Stream Crossings. Water Quality is provided by publicly owned Bioretention Areas.
- In accordance with FDP-Phase 209 Part VI, bay windows or chimneys not more than 10 feet in width, may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks.
- SHC elevations shown are located at the property line.
- Building Restriction Lines and Land uses are to be in accordance with the approved FDP Phase 209 VI, recorded in Plat Nos. 3054-A-1572 thru 3054-A-1577.
- Street Trees shown are in accordance with F-97-125.

VICINITY MAP

Scale: 1"=2000'

Reviewed for HOWARD S.C.D. and met technical Requirements

Cheryl Sammons 6/16/98
Signature Date
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Blunt 6/16/98
Approved

APPROVED - DEPARTMENT OF PLANNING & ZONING

Cheryl Sammons 6/19/98
DATE

Creda Hamilton 7/1/98
DATE

John R. Blunt 7/8/98
DATE

1. Rev. Use, 5' grad., add use typical and Ret. Wall Detail 10-30-98

NO REVISIONS Date

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

G. Nelson Clark 4-21-98
NAME DATE

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

G. Nelson Clark 4-21-98
NAME DATE

CLARK • FINEFROCK & SACKETT, INC.

ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	SCALE
PS	1" = 30'
DRAWN	DRAWING
PS	1 of 1
CHECKED	JOB NO.
TD	97-046
DATE	FILE NO.
04-21-98	97-046X

SITE DEVELOPMENT PLAN

LOT 217

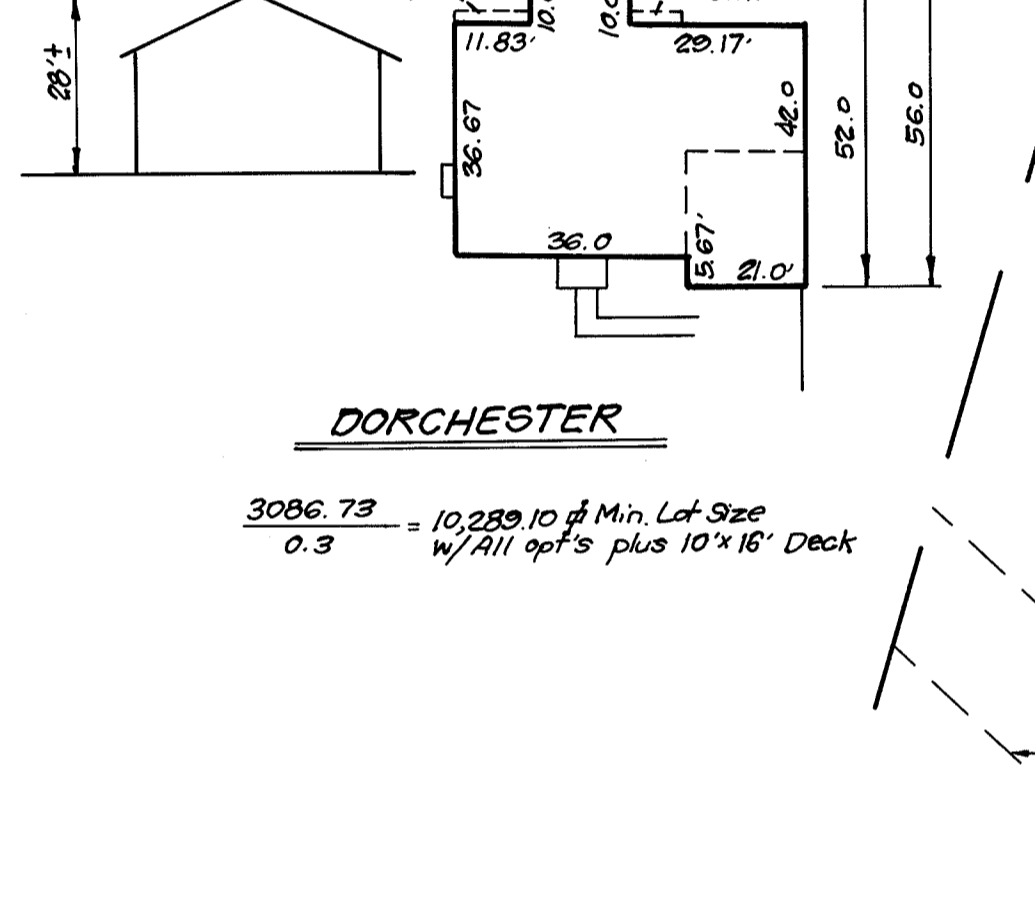
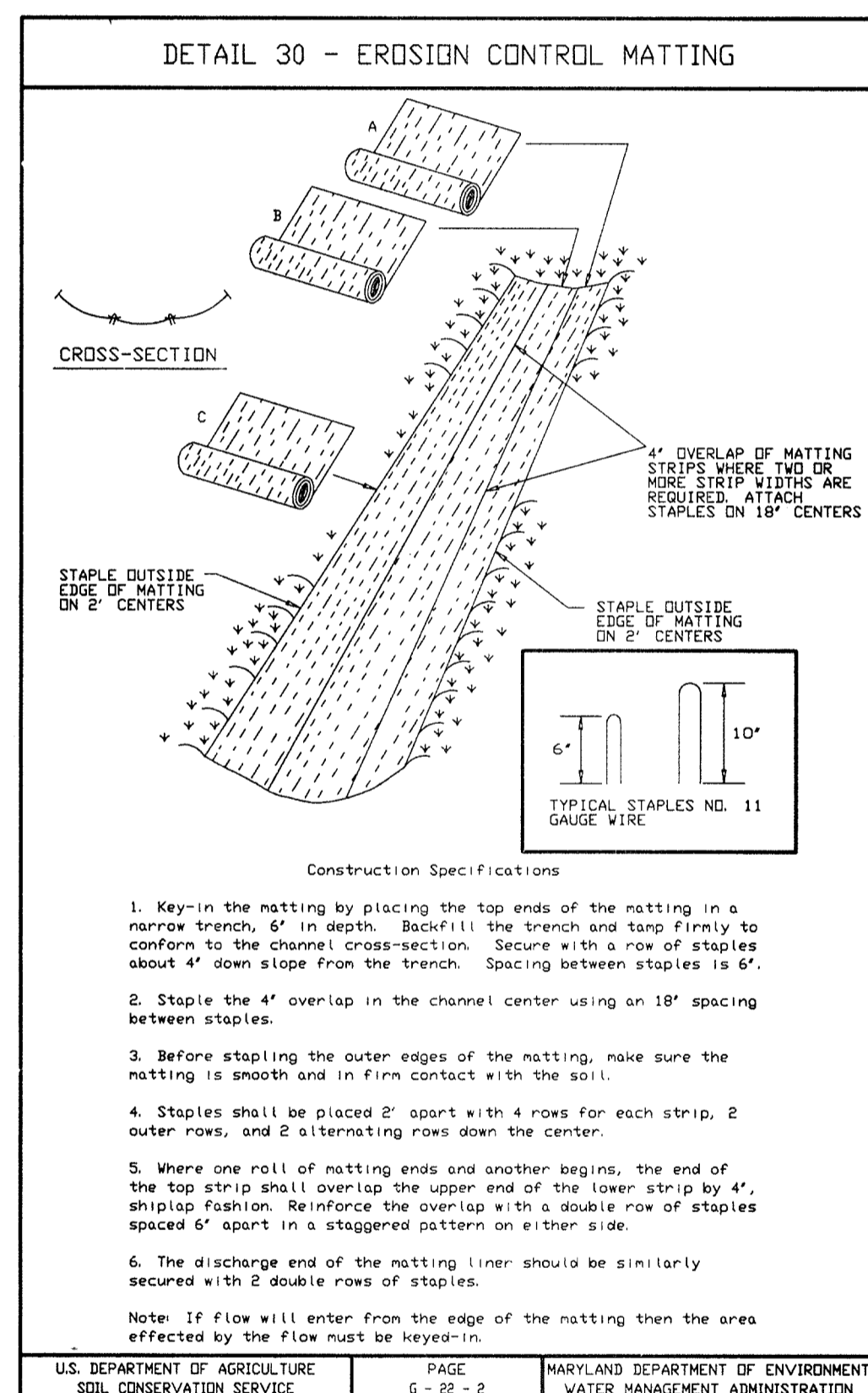
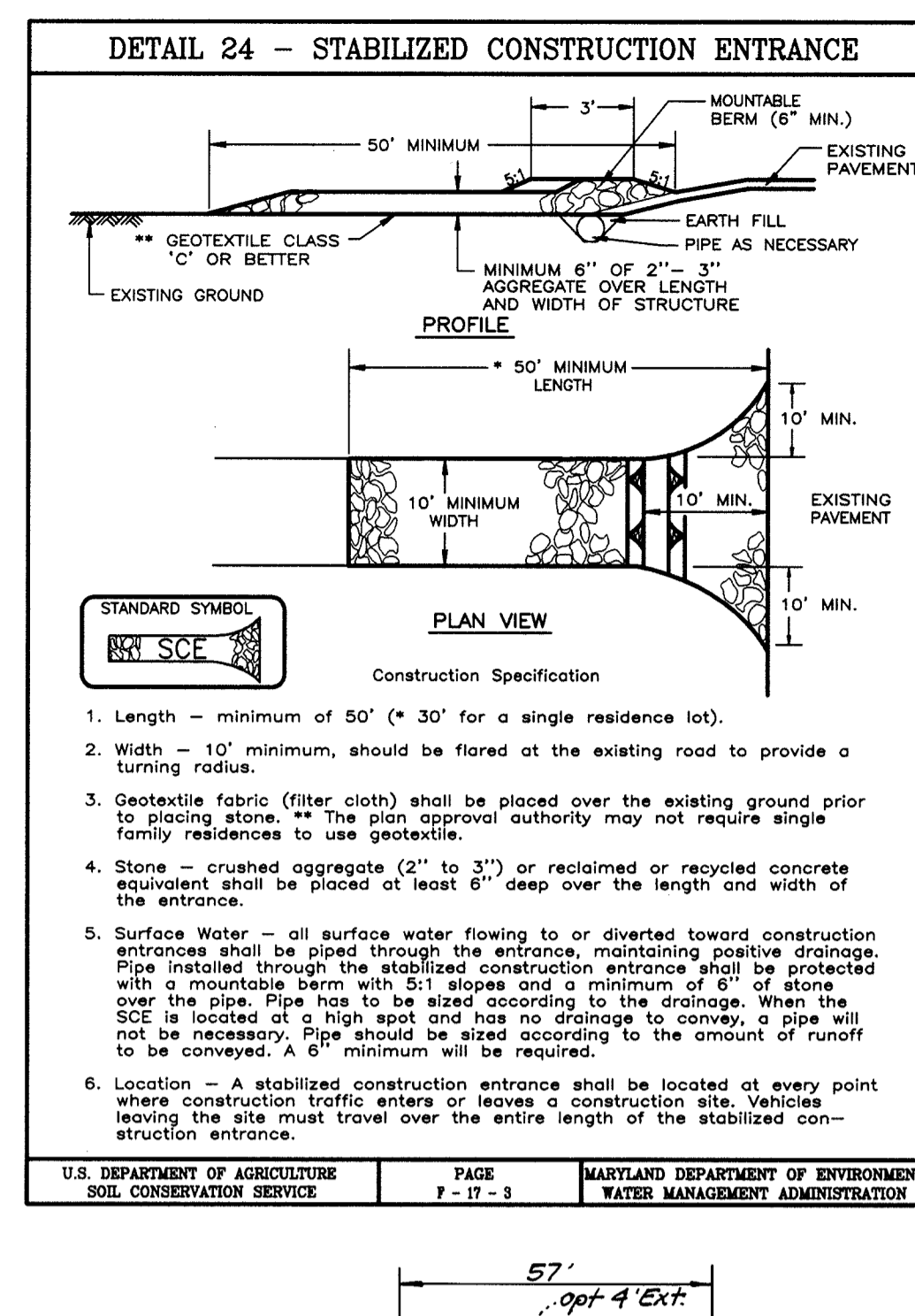
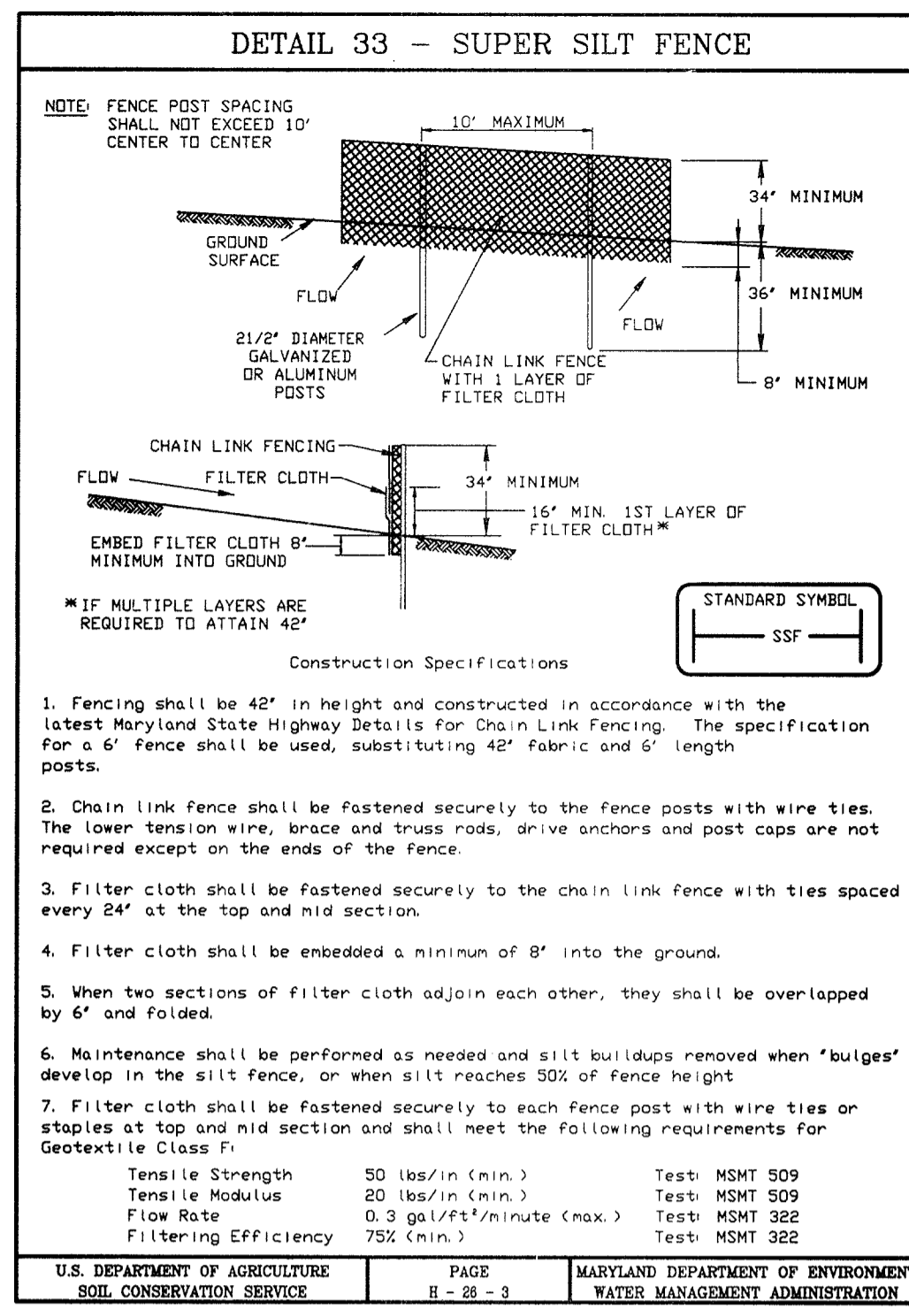
COLUMBIA VILLAGE OF RIVER HILL

SECTION 2 AREA 6 PHASE 3

FIFTH (5th) ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

FOR: WILLIAMSBURG BUILDERS
P.O. Box 1018
Columbia, Maryland 21044



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

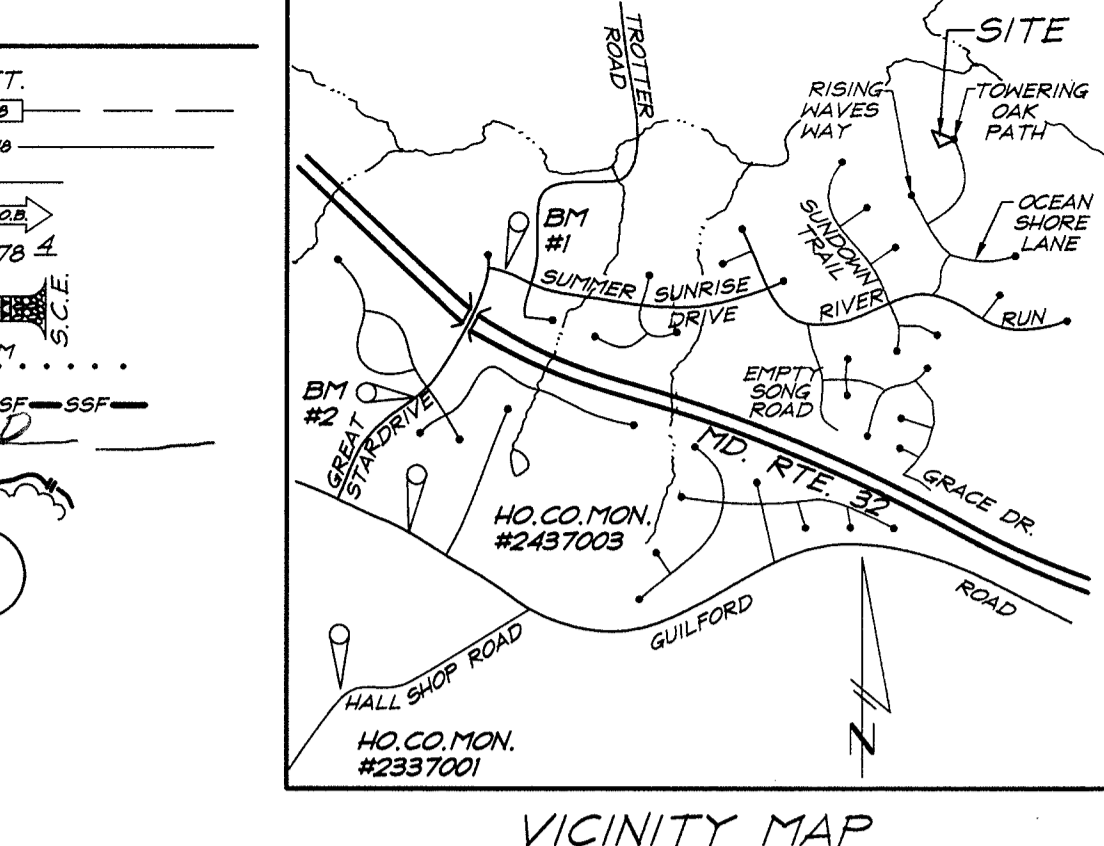
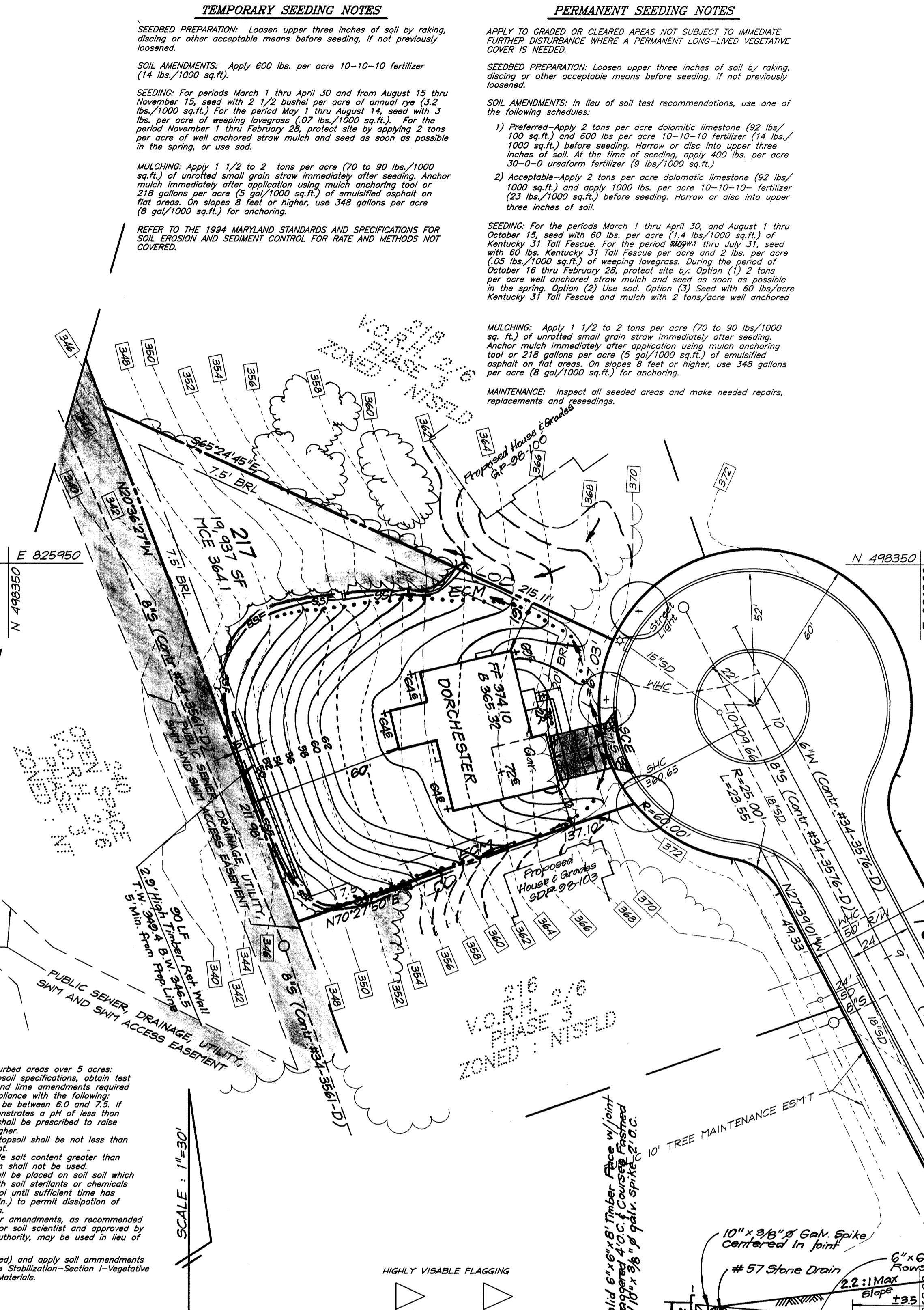
Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
- The soil is so acidic that treatment with limestone is not feasible.

When Toppingsoil, Maintain Needed Erosion and Sediment Control Practices such as Diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

- Grades on the areas to be toppedsoil, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from toppingsoil or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

Blaze Orange Plastic Mesh Typical Tree Protection Fence Detail



SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND SECTIONS 3.0, 4.0, 5.0, 6.0, 7.0, 8.0, 9.0, 10.0, 11.0, 12.0, 13.0, 14.0, 15.0, 16.0, 17.0, 18.0, 19.0, 20.0, 21.0, 22.0, 23.0, 24.0, 25.0, 26.0, 27.0, 28.0, 29.0, 30.0, 31.0, 32.0, 33.0, 34.0, 35.0, 36.0, 37.0, 38.0, 39.0, 40.0, 41.0, 42.0, 43.0, 44.0, 45.0, 46.0, 47.0, 48.0, 49.0, 50.0, 51.0, 52.0, 53.0, 54.0, 55.0, 56.0, 57.0, 58.0, 59.0, 60.0, 61.0, 62.0, 63.0, 64.0, 65.0, 66.0, 67.0, 68.0, 69.0, 70.0, 71.0, 72.0, 73.0, 74.0, 75.0, 76.0, 77.0, 78.0, 79.0, 80.0, 81.0, 82.0, 83.0, 84.0, 85.0, 86.0, 87.0, 88.0, 89.0, 90.0, 91.0, 92.0, 93.0, 94.0, 95.0, 96.0, 97.0, 98.0, 99.0, 100.0.
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- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for final site closure has been obtained from the Howard County Sediment Control Inspector.

CONSTRUCTION SEQUENCE:

NO. OF DAYS	BENCHMARKS:
1	Obtain grading permit.
2	Install tree protection fence.
3	Install sediment and erosion control devices and stabilize.
4	Excavate for foundations, rough grade and temporarily stabilize.
5	Construct structures, sidewalks and driveways.
6	Final grade and stabilize in accordance with S.D.S. and Specs.
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.

* Delay construction of houses on lots: N/A

GENERAL NOTES:

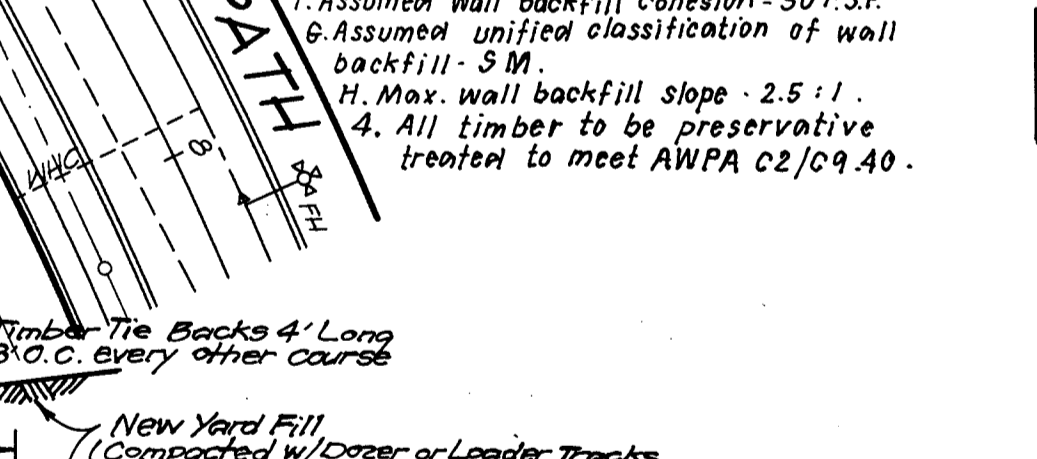
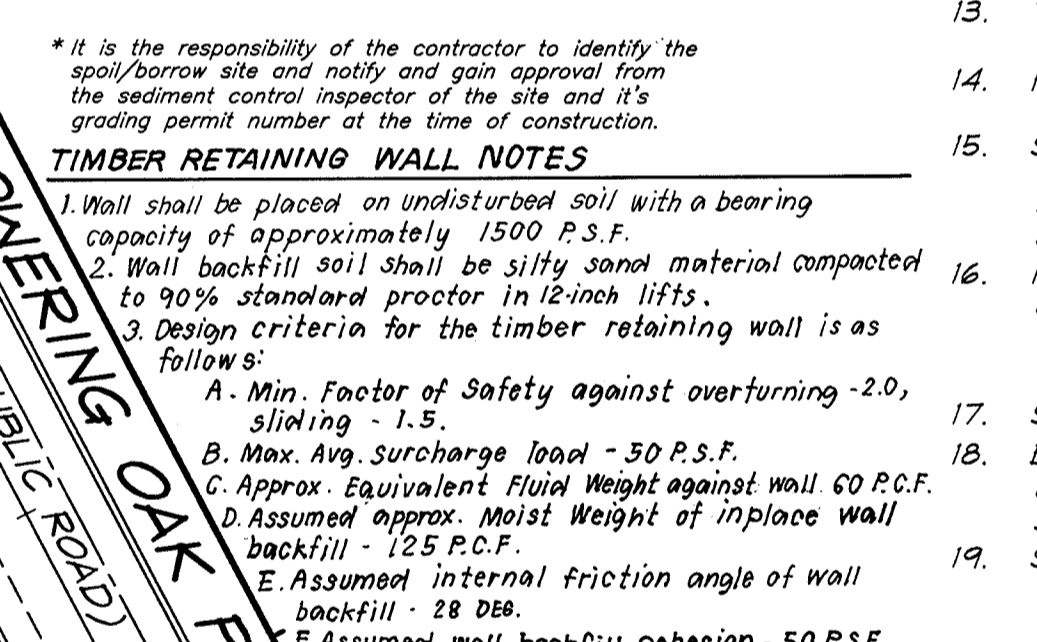
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- Street Trees shown are in accordance with F-97-125.

ADDRESS CHART

Lot#	Street Address
27	6625 Towering Oak Path

TIMBER RETAINING WALL NOTES

- Wall shall be placed on undisturbed soil with a bearing capacity of approximately 1500 P.S.F.
- Wall backfill soil shall be silty sand material compacted to 90% standard proctor in 12-inch lifts.
- Design criteria for the timber retaining wall is as follows:
 - Min. Factor of Safety against overturning - 2.0, sliding - 1.5.
 - Max. Avg. Surcharge load - 30 P.S.F.
 - Approx. Equivalent Fluid Weight against wall 60 P.C.F.
 - Assumed approx. Moist Weight of in-place wall backfill - 125 P.C.F.
 - Assumed internal friction angle of wall backfill - 28 DB.
 - Assumed wall backfill cohesion - 50 P.S.F.
 - Assumed unified classification of wall backfill - SM.
 - Max. wall backfill slope - 2.5:1.
- All timber to be preservative treated to meet AWPA C2/C9.4.0.



Reviewed for HOWARD S.C.D. and meets Technical Requirements
Cheryl Sumner 6/16/98
 U.S. Natural Resource Conservation Service

Approved
John R. Rhoads 6/16/98

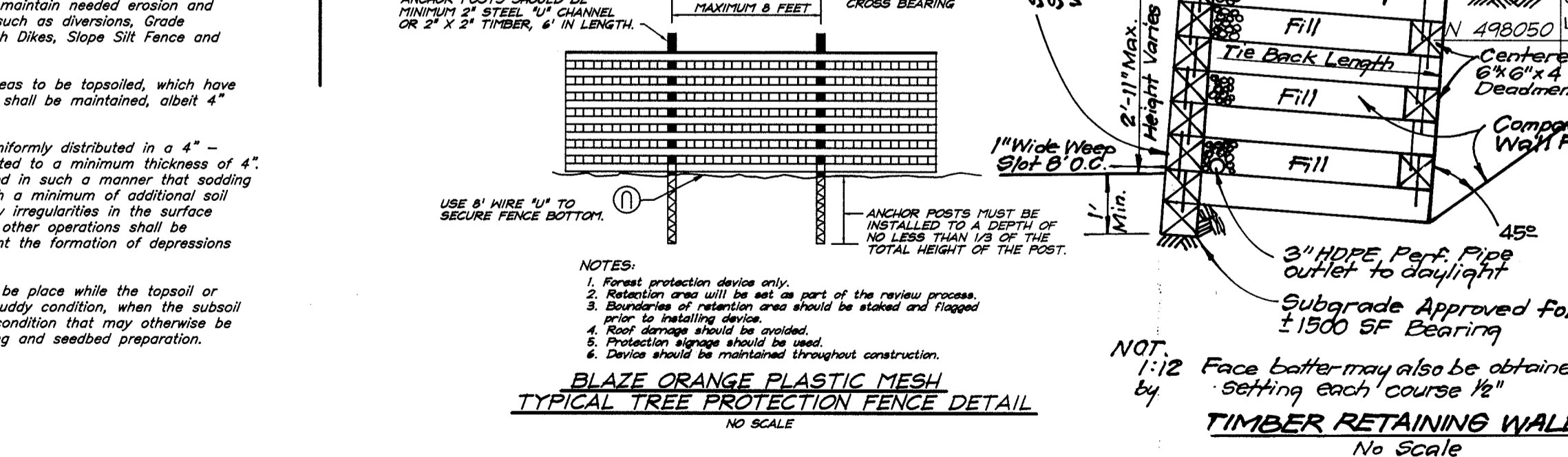
APPROVED: DEPARTMENT OF PLANNING & ZONING
John R. Rhoads 6/19/98
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Candy Hamilton 7/1/98
 CHIEF, DIVISION OF LAND DEVELOPMENT

John R. Rhoads 7/6/98
 DIRECTOR

REVISIONS

No.	DESCRIPTION	DATE
3	Add Timber Retaining Wall Notes	9-11-00
2	Rev. retaining wall location & detail	2-17-00
1	Rev. hse. & grd., add hse. typical and Ret. Wall Detail	10-30-98



ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Sediment Control District.

G. Nelson Clark 2-1-98
 G. NELSON CLARK
 DATE

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-97-125 and/or approved Water and Sewer Plans Contract #34-3576-D.

DESIGNED	SCALE
PS	1" = 30'
DRAWN	DRAWING
PS	1 OF 1
CHECKED	JOB NO.
TD	97-046
DATE	FILE NO.
04-21-98	97-046x

FOR: WILLIAMSBURG BUILDERS
 P.O. Box 1018
 Columbia, Maryland 21044