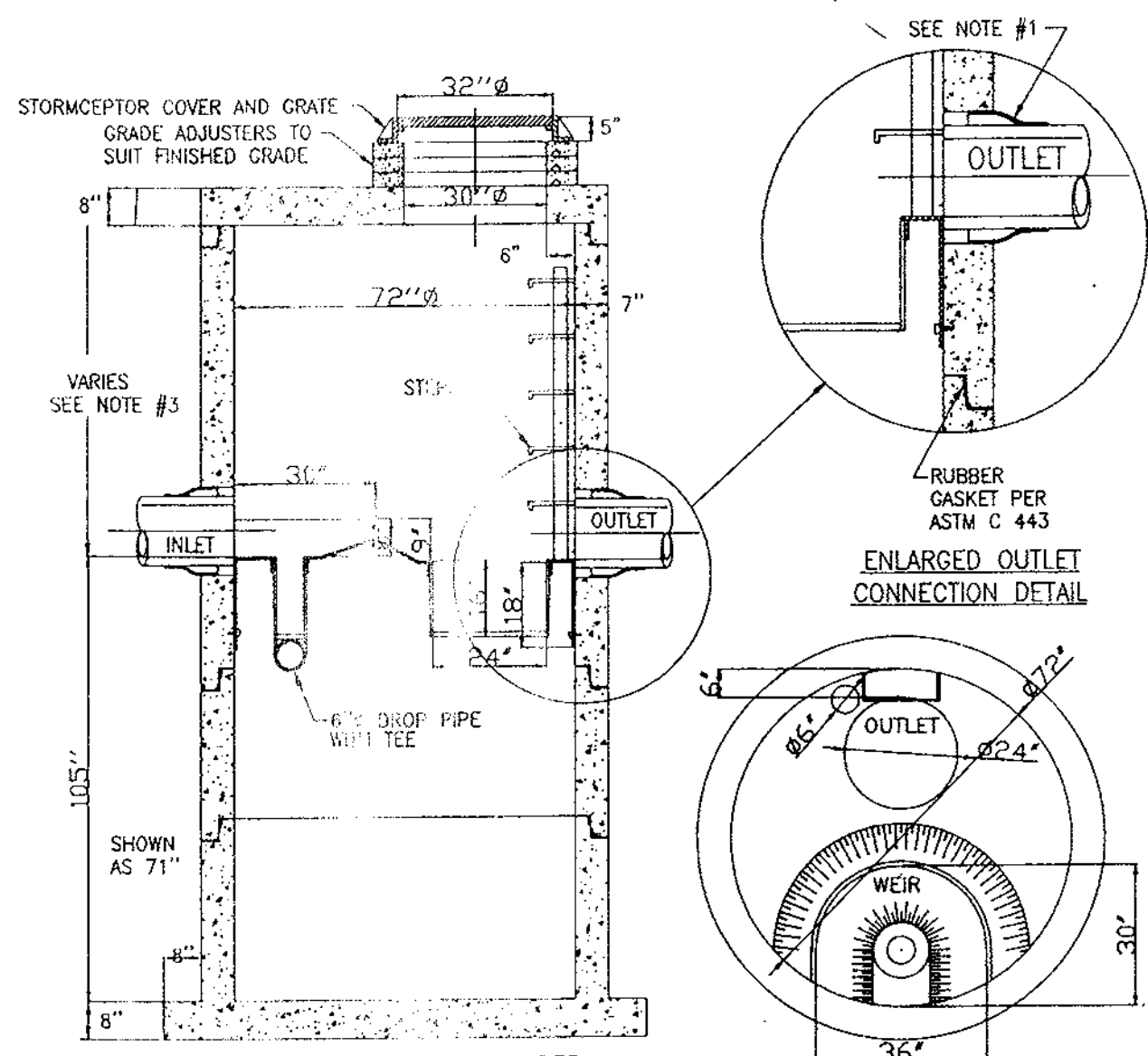


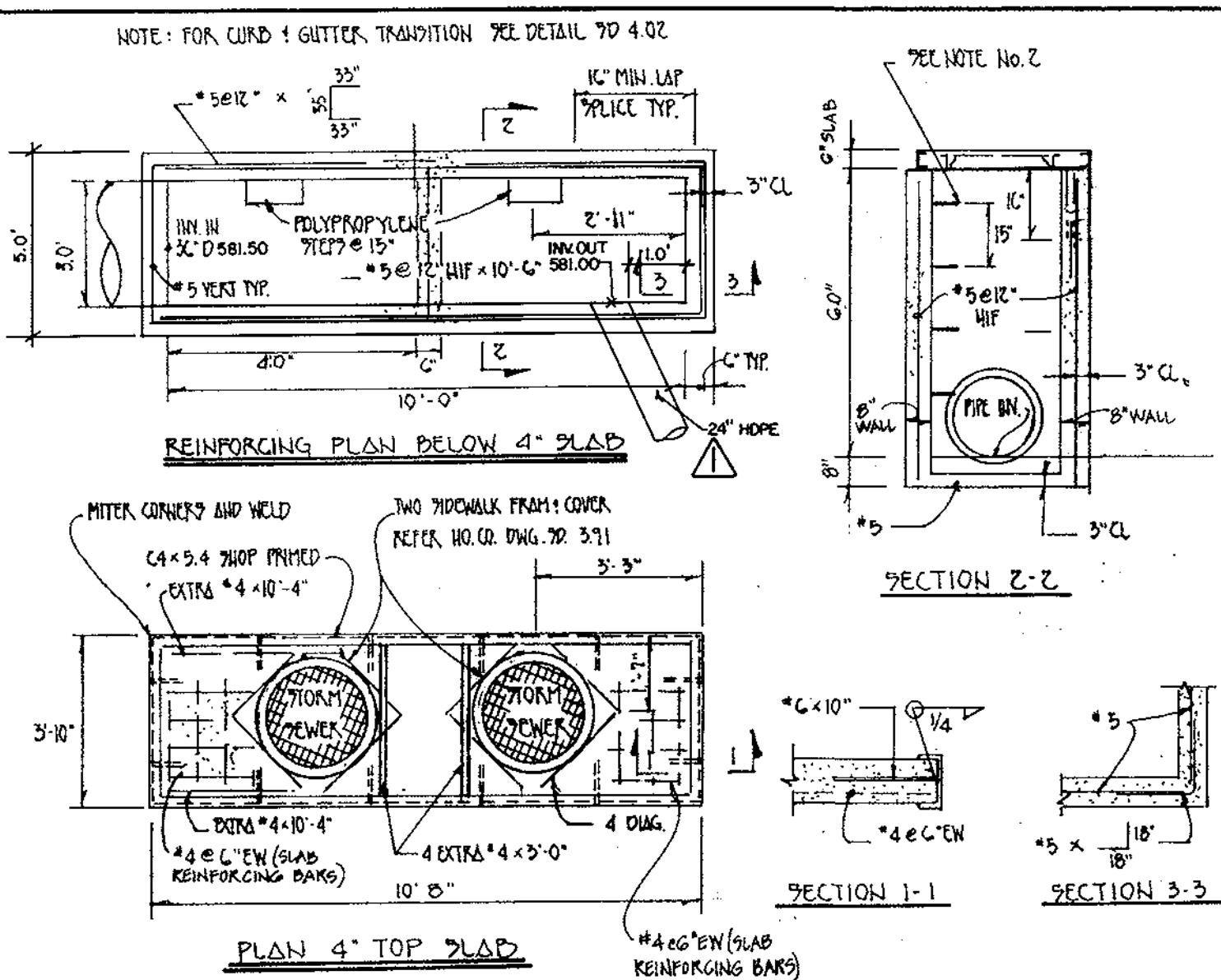
STC 1800 Precast Concrete Stormceptor®
(1800 US Gallon Capacity)
(Disc Design)



- NOTE:
1. FLEXIBLE CONNECTIONS ARE RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. COVER TO BE POSITIONED OVER CURB AND VENT PIPE.
 3. THIS IS A GENERAL ARRANGEMENT DRAWING. CONSULT LOCAL REPRESENTATIVE FOR SPECIAL CASES.
 4. INLET DROP PIPE WILL BE EITHER 12" OR 18" WITH A 5" ORIFICE PLATE.
 5. ALL CONCRETE JOINTS HAVE RUBBER GASKETS THAT CONFORM TO ASTM C 443.
 6. U.S. PATENT NO. 4,985,148

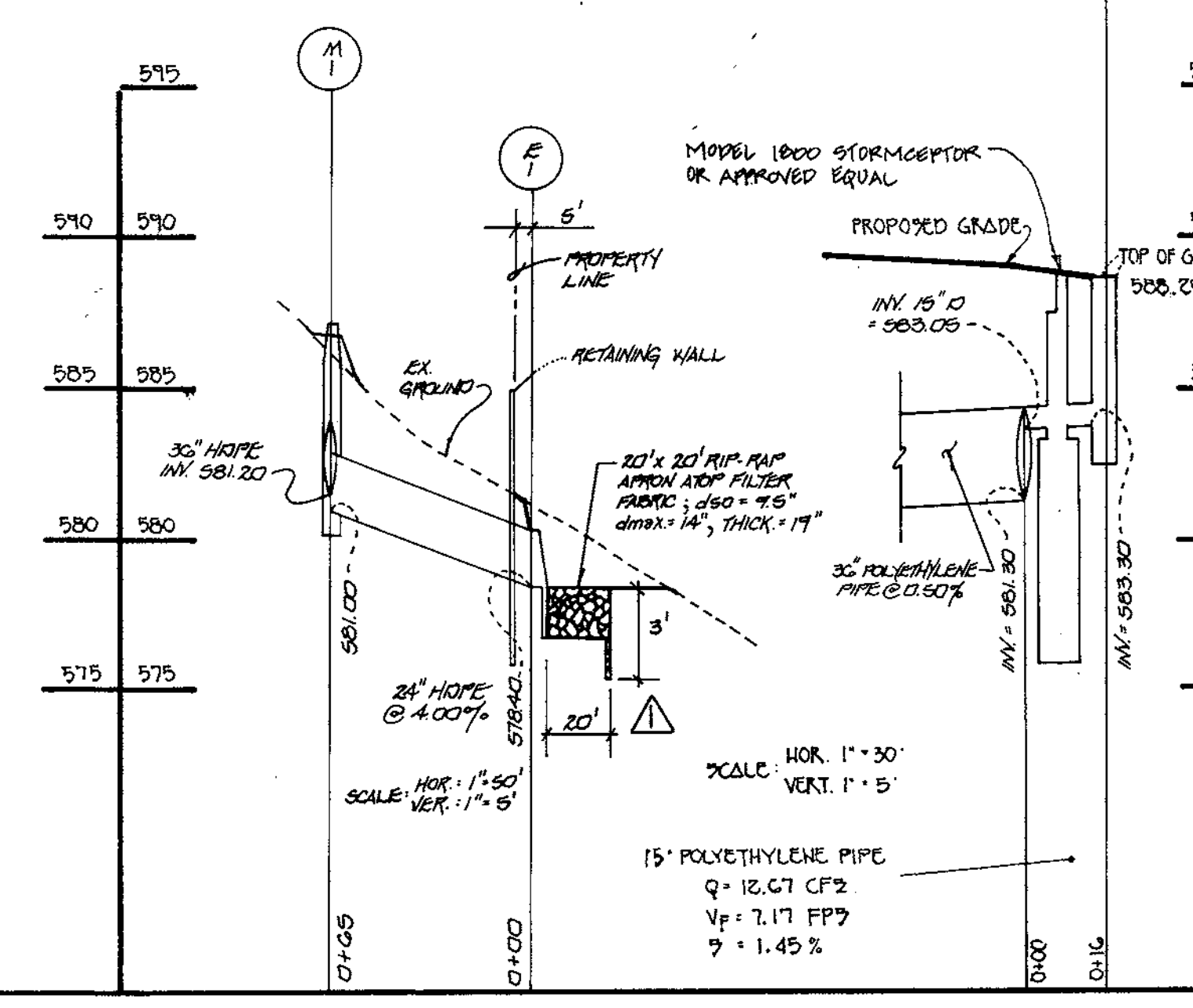
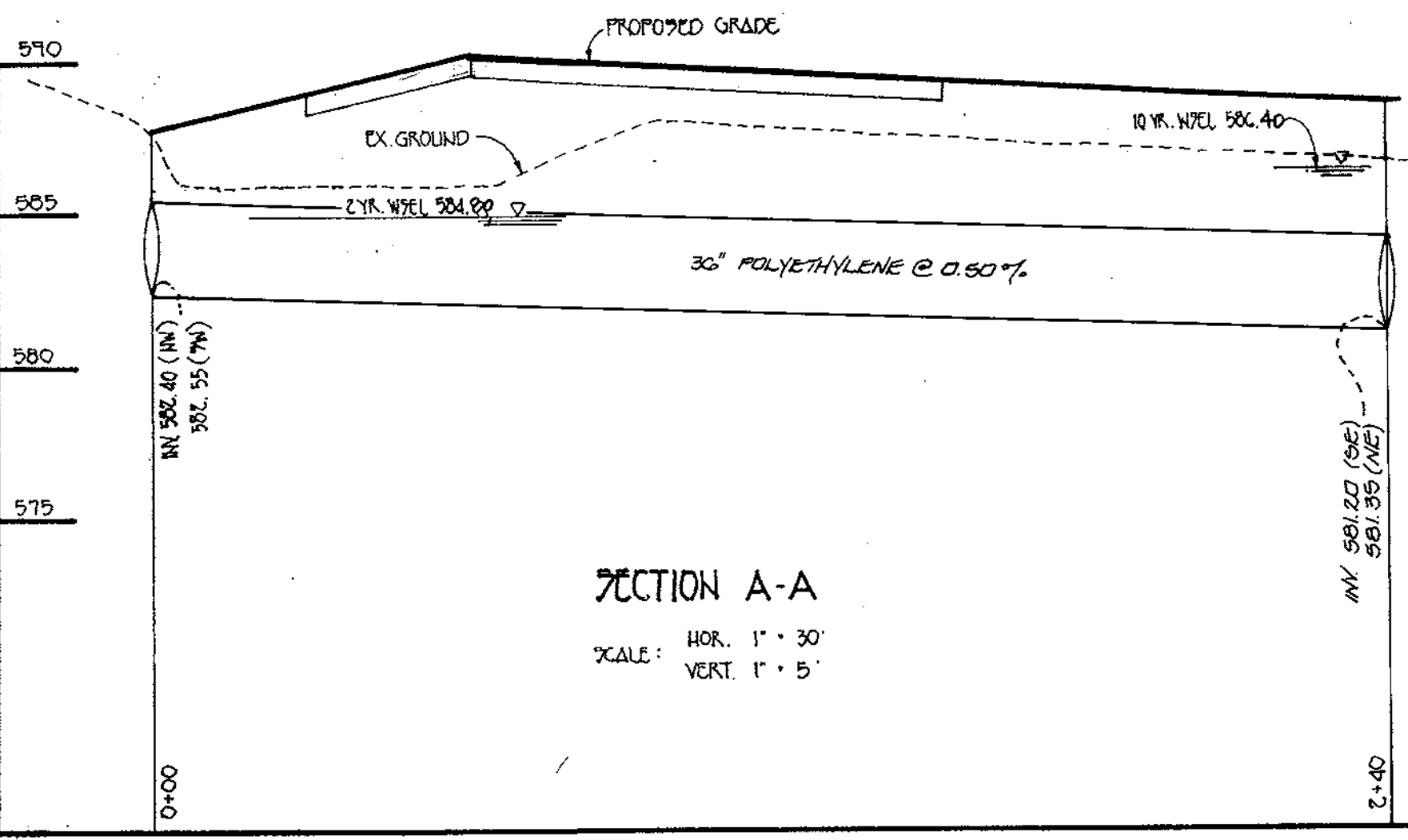
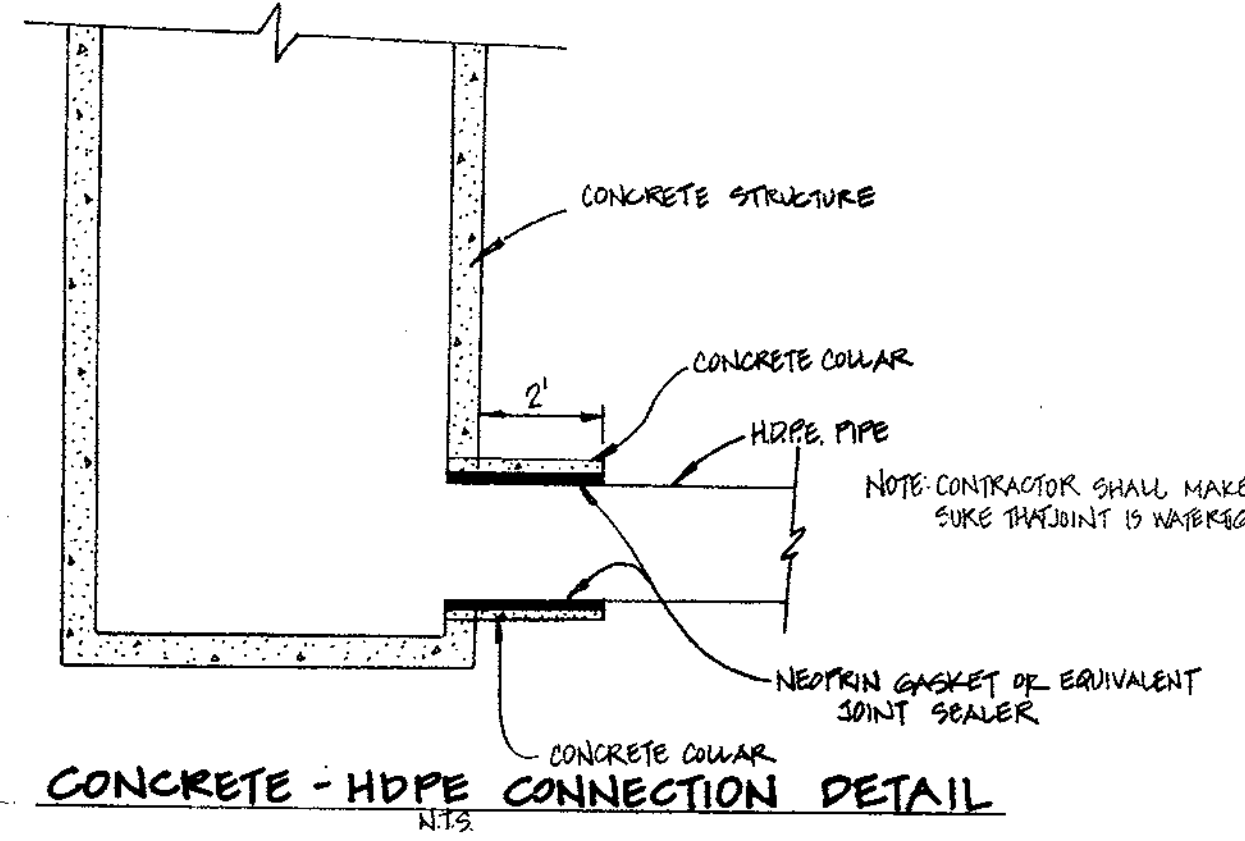
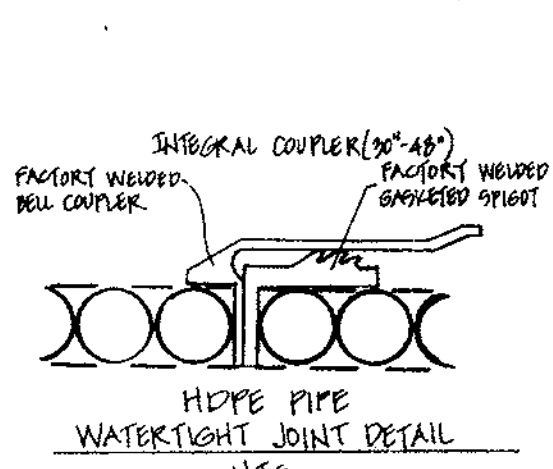
CONTRACTOR INSTALLATION INSTRUCTIONS FOR PRECAST CONCRETE STORMCEPTOR "DISC" DESIGN

1. STAKE-OUT THE LOCATION OF THE STORMCEPTOR AND EXCAVATE HOLE. EXCAVATE AROUND SPACE TO CONNECT INLET AND OUTLET PIPES TO UNIT. INSTALL A 2" BENCH OF 3" REINFORCED CONCRETE SUBGRADE AT THE BOTTOM OF THE EXCAVATION. INSTALL TYPICAL REINFORCING AS SHOWN.
2. CHECK ELEVATION OF UNIT BY MEANS OF SIGHTING FROM BASE OF THE STORAGE CHAMBER. OUTSIDE BOTTOM OF UNITS SLAB TO THE INVERT OF STORMCEPTOR. SUBGRADE MUST BE ELEVATION OF UNITS SLAB TO THE INVERT OF STORMCEPTOR. CHECK ELEVATION OF INSTALLED SUBGRADE AND ADJUST AS NEEDED.
3. SECURE REINFORCER APPROVAL OF SUBGRADE AND SUBBASE. ALL LIFTING APPARATUS IS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR.
4. INSTALL STORAGE CHAMBER. INSTALL BY LIFTING FROM HOLES INTO BASE OF STORAGE CHAMBER. ATTACH COLLARS OR CHAINS TO THE SUBGRADE. PLACE COLLARS OR CHAINS TO THE BASE OF THE STORAGE CHAMBER. LIFT AND PLACE THE STORAGE CHAMBER IN TO LET LIVES ON THE BASE. CHECK FOR PROPER ALIGNMENT OF COLLARS. LIFT AND PLACE THE STORAGE CHAMBER IN TO LET LIVES ON THE BASE. CHECK FOR PROPER ALIGNMENT OF COLLARS. LIFT AND PLACE THE STORAGE CHAMBER IN TO LET LIVES ON THE BASE. CHECK FOR PROPER ALIGNMENT OF COLLARS.
5. INSTALL DIVERSION SECTION OF STORMCEPTOR WITH FACETS INSTALLED STORMCEPTOR. LIFT DIVERSION SECTION AND INSTALL. MAKE SURE DIVERSION SECTION IS PROPERLY INSTALLED. CHECK FOR PROPER ALIGNMENT OF DIVERSION SECTION. CHECK FOR PROPER ALIGNMENT OF DIVERSION SECTION. CHECK FOR PROPER ALIGNMENT OF DIVERSION SECTION.
6. INSTALL INLET AND OUTLET STORMCEPTOR. CONNECT INLET AND OUTLET STORMCEPTOR WITH FLEXIBLE BOOTS. WHEN PROVIDED WITH HOSE-ORANGE GASKETS, NO FLEXIBLE BOOTS ARE PROVIDED. THE BRUSH OF THE BOOT AND OUTLET PIPE IS TO MATCH WITH THE INVERT OF THE STORMCEPTOR. FLEXIBLE BOOT INSTALLATION PROCEDURE: CENTER THE PIPE IN THE BOOT. OPENING. LUBRICATE THE INSIDE OF THE BOOT WITH THE INSIDE OF THE BOOT. THE PIPE SHOULD BE CENTERED IN THE BOOT. THE PIPE SHOULD BE CENTERED IN THE BOOT. THE PIPE SHOULD BE CENTERED IN THE BOOT.
7. INSTALL STORMCEPTOR DEEP PIPES ACCORDING TO SITE PIPE INSTALLATION PROCEDURE.
8. INSTALL DEEP PIPES. LIFT DEEP SECTION AND INSTALL. CHECK THAT SECTION IS SET FLUSH AND IS AT PROPER ELEVATION AND THAT UNIT IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS REQUIRED. IF STORMCEPTOR IS TO BE USED FOR ACCESS FROM MANHOLE OPENING AND ADJACENT TO VENT PIPE. NOTE FOR SPECIAL INSTALLATION: THIS SECTION MAY NOT BE REQUIRED.
9. INSTALL TOP SLAB WITH INLET AND OUTLET STORMCEPTOR. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING.
10. STORMCEPTOR OUTLET TO BE INSTALLED WITH 18" DIA. HOLES. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING.
11. STORMCEPTOR WITH APPROVED MANHOLE. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING.
12. STORMCEPTOR WITH APPROVED MANHOLE. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING.
13. STORMCEPTOR WITH APPROVED MANHOLE. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING.
14. STORMCEPTOR WITH APPROVED MANHOLE. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING.
15. STORMCEPTOR WITH APPROVED MANHOLE. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING. HANDLE OPENING OFFSET BUT CONTAINED. SHOULD BE CENTERED TO OPENING.

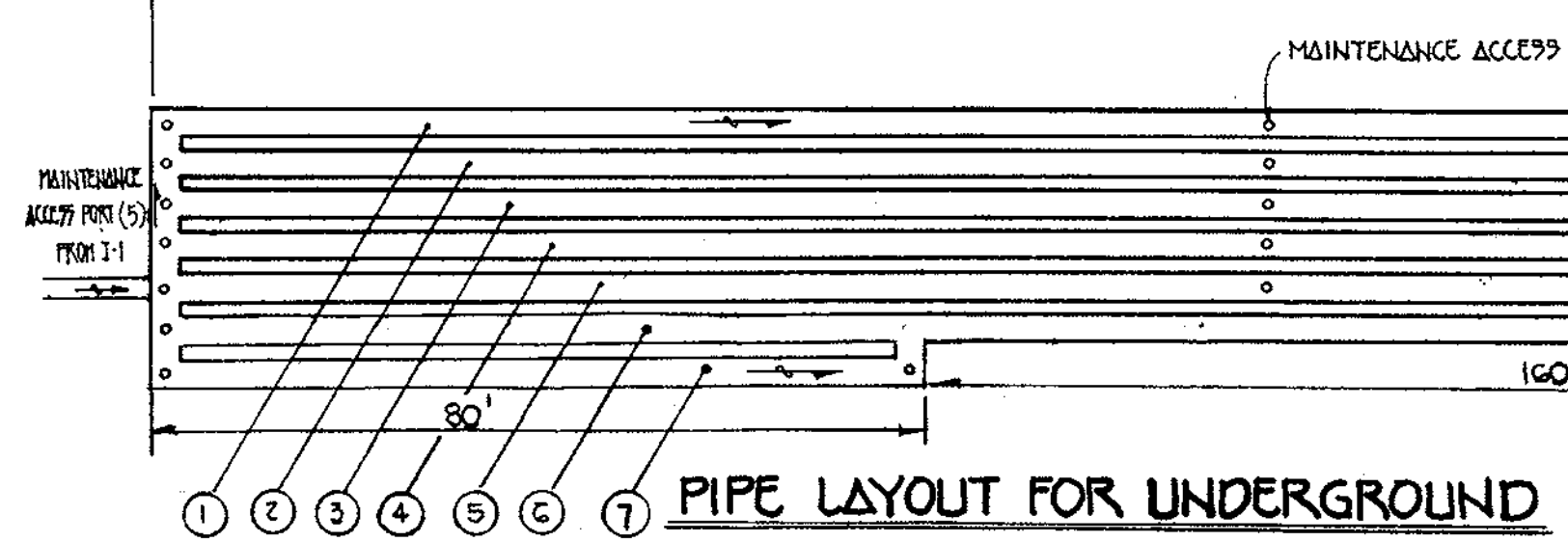


- NOTES:
1. CONCRETE SHALL CONFORM TO MARYLAND DOT STANDARD SPECIFICATION FOR CONSTRUCTION & MATERIALS 1982, MIX NO. 6. IN ADDITION, $f_c = 4500$ PSI @ 28 DAYS, CEMENT SHALL BE TYPE III, AND #8 COARSE AGGREGATE SHALL BE USED.
 2. POLYPROPYLENE STEPS SHALL BE TYPE PS 4 OR PS 5 AS MANUFACTURED BY M.A. INDUSTRIES, INC. STEP SHALL BE INSTALLED IN LINE WHERE A) $> 3'-6"$ PER. NO. CO. DETAIL 6954.
 3. REFERENCE DRAWING FOR TYPE A-10 INLET IS HOWARD COUNTY STANDARD DRAWING NO. SD 4.02.
 4. REINFORCING SCHEDULE IS BASED ON USED METHOD AND DESIGN LOADS AS SPECIFIED IN AASHTO STANDARD SPECIFICATION FOR HIGHWAY BRIDGES, 13th EDITION, 1983 AND INTERM SPECIFICATIONS.
 5. WEIGHTS: 4" TOP SLAB WT. = 2,000#
MAX. INLET BOX WT. = 24,000# (10' HEIGHT, 1.0)
RISER WT/VF = 2,000#VF

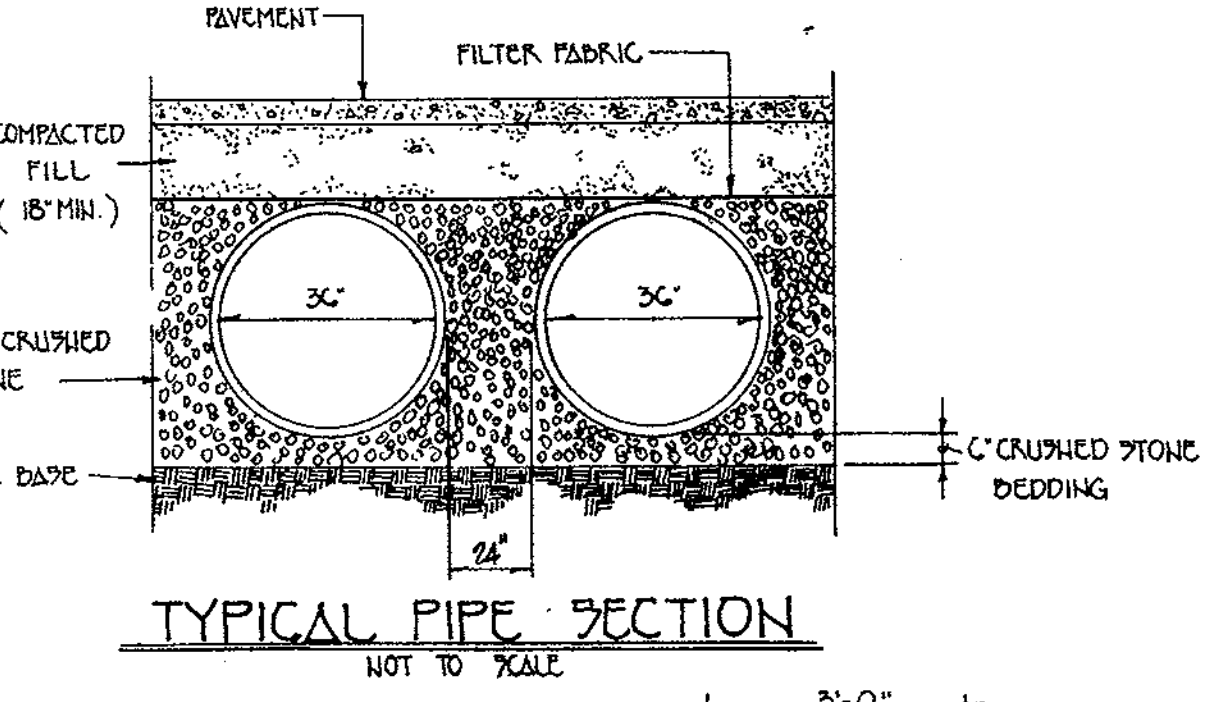
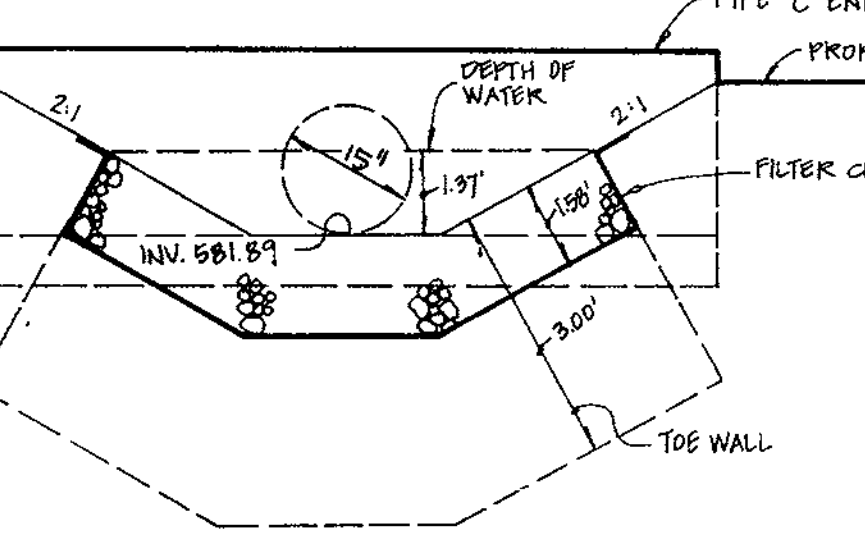
MODIFIED PRECAST STANDARD
TYPE A-10 INLET



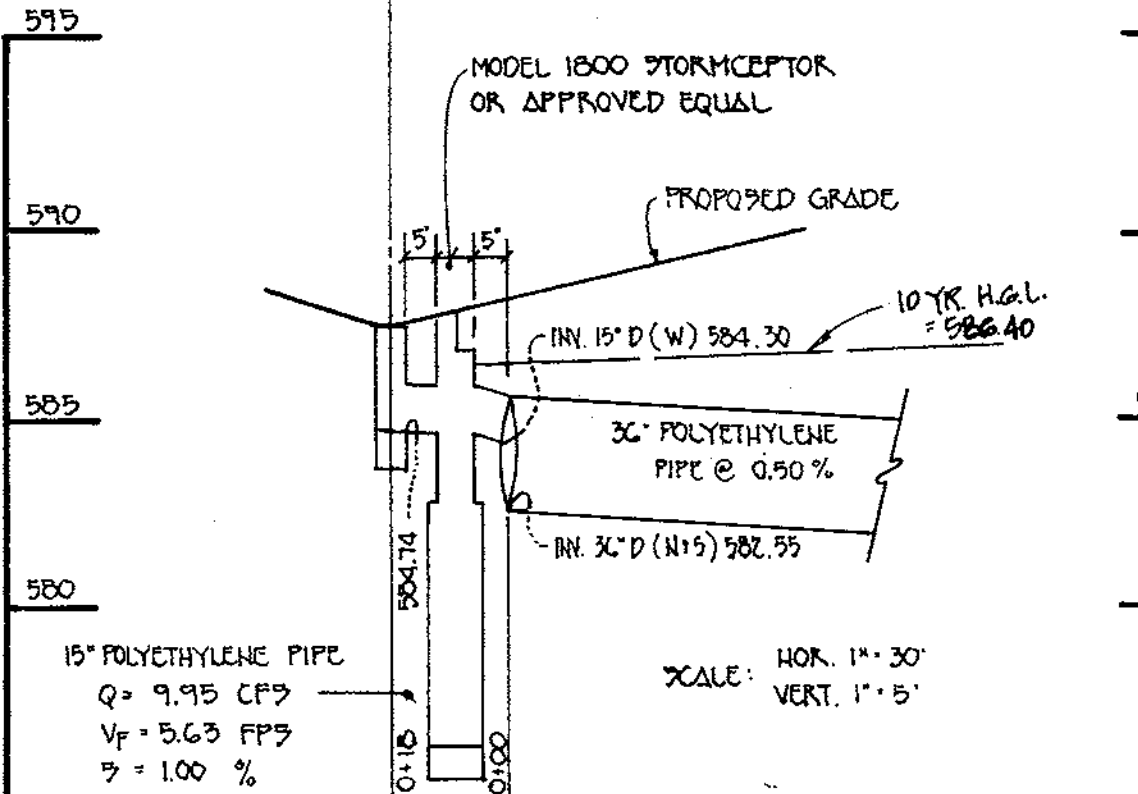
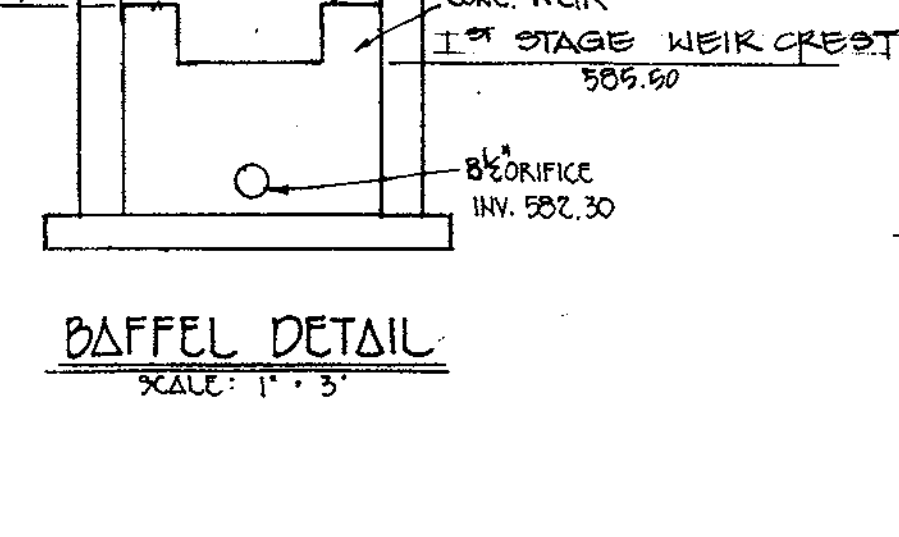
- OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE
1. Stormceptor water quality structure will require periodic inspection and cleaning to maintain operation and function. Owners will have the Stormceptor inspected and cleaned as required by Howard County, utilizing the Stormceptor Inspection/Maintenance Form. Inspections can be done by using a clear, portable tube (plastic) to extract a water column sample. When sediment depth exceeds the specified level (Table 9 of Technical Manual) then cleaning of the unit is required.
 2. Stormceptor water quality structure must be checked and cleaned immediately after intrusion with contact appropriate regulator bacteria.
 3. Maintenance of Stormceptor units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
 4. Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the Stormceptor will be repaired as needed.
 5. Owner shall retain and make Stormceptor Inspection/Maintenance Form available to Howard County officials upon their request.



RIP-RAP OUTFALL DETAIL



DAFFEL DETAIL



STRUCT. #	INV. IN	INV. OUT	TOP ELEV.	HO. CO. DETAIL #
I-1	-	584.74	587.50	5' INLET S.D. 4.22
I-2	-	583.30	588.25	5' INLET S.D. 4.22
M-1	581.20	581.00	588.53	MODIFIED '90 4.41
E-1	-	578.40	-	CONC. END SECTION S.D. - 5.51

No.	REVISION	DATE
1	MOVED E-1 OUTFALL	12-30-98

APPROVED FOR PRIVATE WATER AND SEWER SYSTEM
 James M. Boyd, Health Officer
 HOWARD COUNTY HEALTH DEPARTMENT
 9/29/98

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: [Signature]
 Date: 9/29/98

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE
 Date: 9/29/98
 Signature: [Signature]

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Cindy Hamilton, Chief, Division of Land Development
 Date: 9/29/98
 Signature: [Signature]

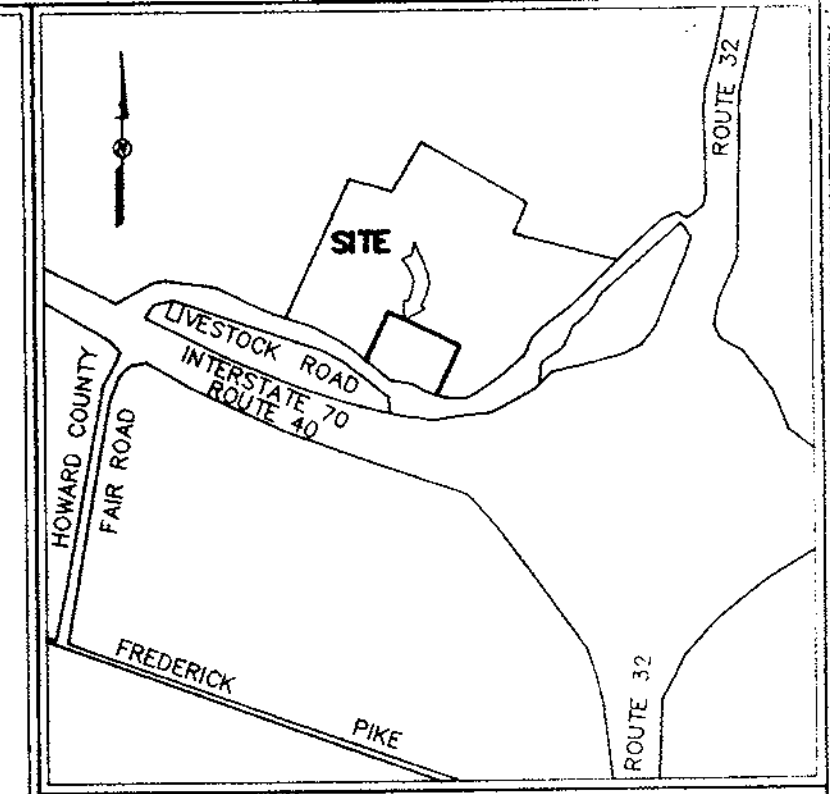
SITE DEVELOPMENT PLAN
 NOTES & DETAILS
 PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.
 LOT 3
 TAX MAP No: 15 PARCEL: 229
 3RD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 9/29/98
 SHEET 2 OF 4

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 1000 W. BELT ROAD, SUITE 100
 ELICOTT CITY, MARYLAND 21043
 (410) 588-1000

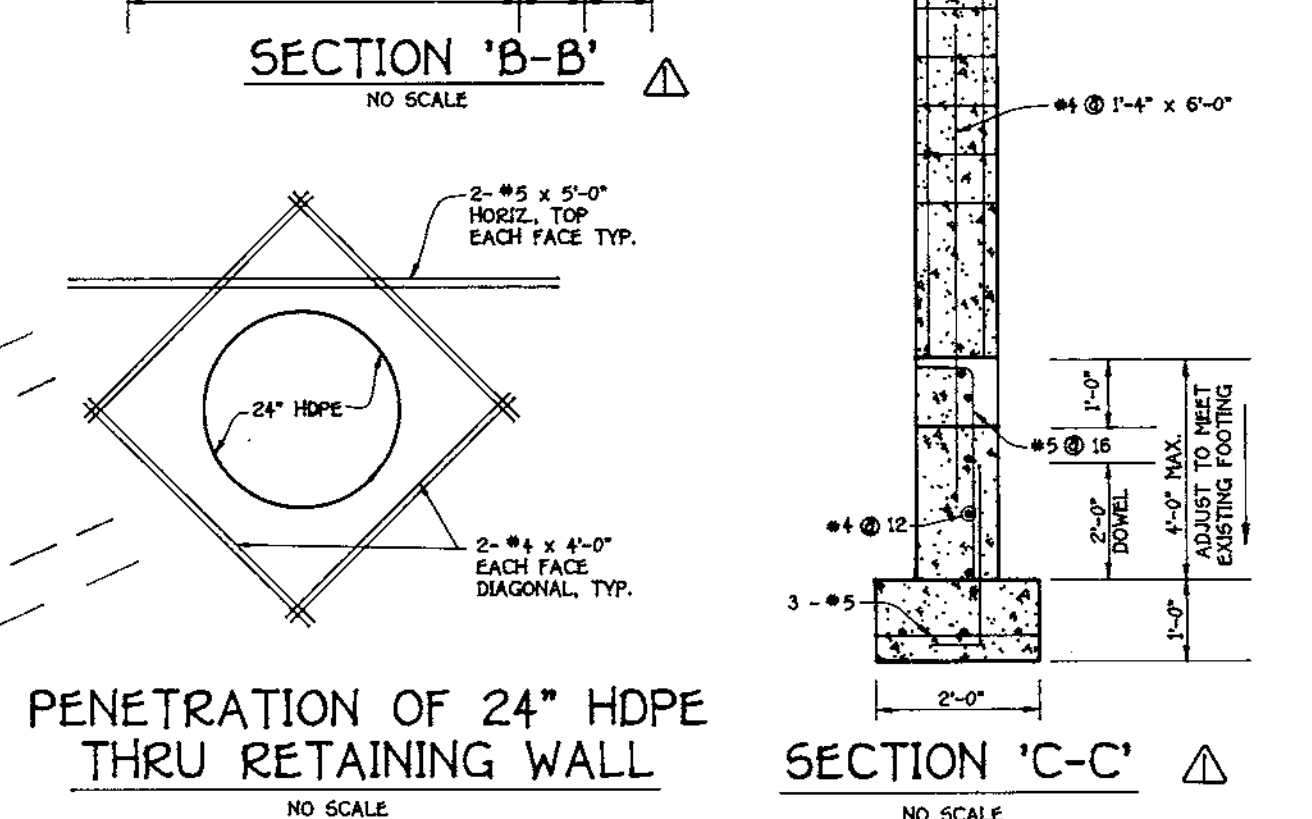
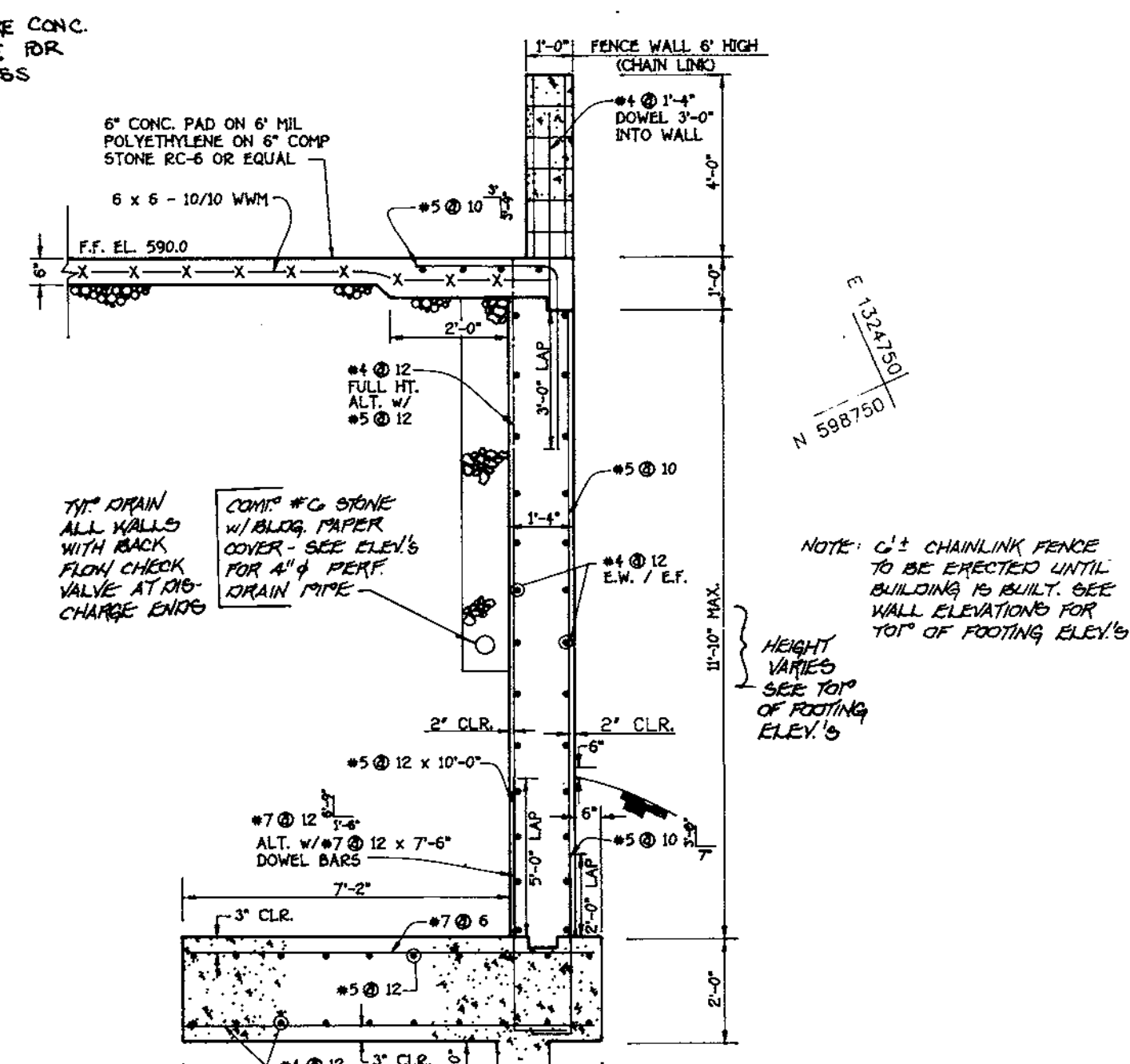
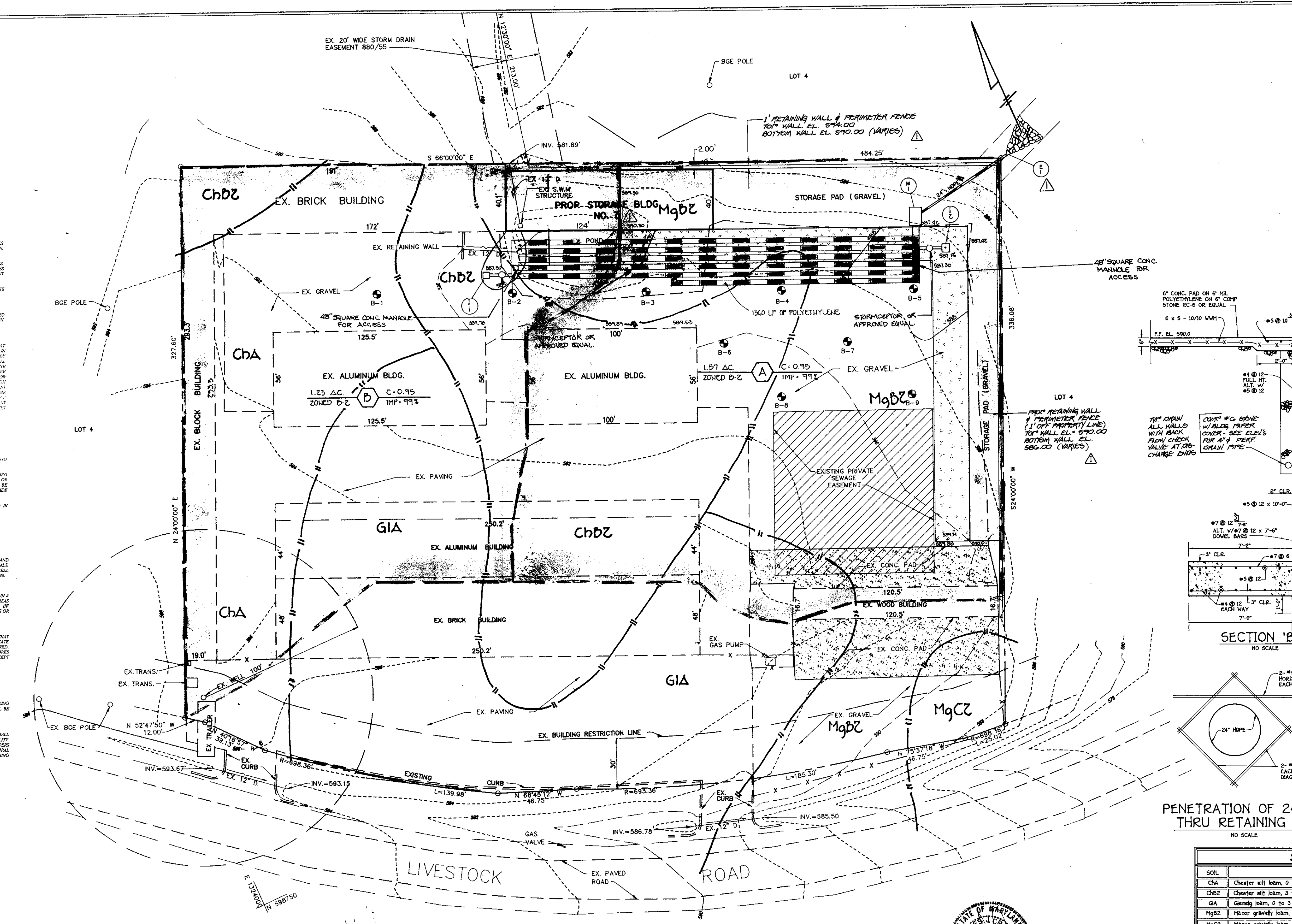
DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer: [Signature]
 Date: 1-4-98

OWNER / DEVELOPER
 O'DONNELL & COMPANY
 4652 SHEPPARD LANE
 ELICOTT CITY, MARYLAND 21043

SUBDIVISION	PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.	SECTION/AREA	LOT NO.
PLAT NO.	5308	BLOCK NO. 214	ZONE B-2
TAX/ZONE	15	ELEC. DIST.	3rd
CENSUS TR.	6030	SEWER CODE	



VICINITY
SCALE: 1"=1200'



SOILS LEGEND		
SOIL	NAME	CLASS
ChA	Chester silt loam, 0 to 3 percent slopes	B
ChBZ	Chester silt loam, 3 to 8 percent slopes, moderately eroded	B
GA	Glendy loam, 0 to 3 percent slopes	B
MgBZ	Major gravelly loam, 3 to 8 percent slopes, moderately eroded	B
MgCZ	Major gravelly loam, 8 to 15 percent slopes, moderately eroded	B

SOILS MAP &
DRAINAGE AREA MAP

SITE DEVELOPMENT PLAN

PROPERTY OF BALTIMORE LIVESTOCK
AUCTION MARKET INC.
LOT 3
ZONED B-2

TAX MAP NO: 15 PARCEL: 229
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE:
SHEET 3 OF 4 S.D.P. 98

No.	REVISION	DATE
1	SHIFTED PROR. BLDG. NO. 7, ADDED RETAINING WALL & MOVED E-1 OUTFALL	12-30-98

APPROVED FOR PRIVATE WATER AND POWER SYSTEM
Joyce M. Boyd
HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 9/29/98

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Joseph
Signature of Engineer (Print name below signature) DATE: 9/4/98

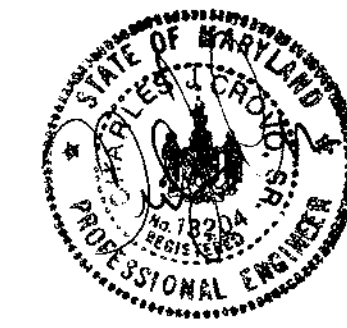
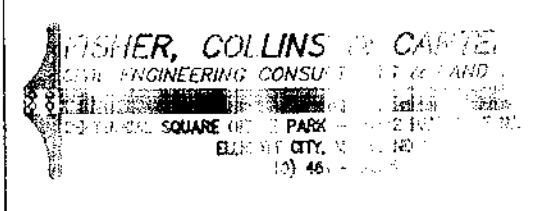
Reviewed by HOWARD SCD and meets Technical Requirements.
U.S.D.A. - Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard SCD

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cathy Hamilton
Chief, Division of Land Development
DATE: 9/14/98

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Donnell P. O'Donnell
Signature of Developer (Print name below signature) DATE: 9-4-98

OWNER / DEVELOPER
O'DONNELL P. COMPANY
4652 SHEPPARD LANE
ELLICOTT CITY, MARYLAND
21043

SUBDIVISION	PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.	SECTION/AREA	LOT NO.
PLAT NO.	7500	BLOCK NO. / ZONE	3+4 / B-2
WATER CODE		TAX/ZONE	15
		ELEC. DIST.	3 rd
		CENSUS TR.	6030
		SEWER CODE	



CONCRETE STORMCEPTOR ORDER REQUEST FORM

CONTRACTOR INFORMATION
 NAME _____
 ADDRESS _____
 CITY _____
 STATE _____
 ZIP CODE _____
 CONTACT _____
 PHONE _____
 FAX _____

OWNER INFORMATION
 NAME _____
 PHONE _____
 FAX _____

STORMCEPTOR MODEL
 9000 9000
 8000 8000
 7000 7000
 6000 6000
 5000 5000
 4000 4000
 3000 3000
 2000 2000
 1000 1000
 0000 0000

PROJECT NAME _____
 APPROXIMATE TIME FRAME UNTIL REQUIRED DELIVERY NEEDED _____
 DELIVERY ADDRESS: STREET _____
 CITY _____ STATE _____ ZIP CODE _____
 DESIGNER COMPANY _____
 DESIGNER CONTACT _____ PHONE _____ FAX _____

PLEASE FAX THIS ORDER TO HYDRO CONSULT/CO CENTER: (410) 387-9556
 ATTENTION: ANDREW VANDERKAM PHONE: (410) 387-9600
 FOR TECHNICAL ASSISTANCE PLEASE CALL STORMCEPTOR CORPORATION AT
 1000 786-0806 OR TOLL FREE AT 1-800-782-4703.
 ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RESTORED
 WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION
 LOOSEN UPPER THREE INCHES OF SOIL BY RAZING, DISCING OR
 OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY
 LOOSENED.

SOIL AMENDMENTS
 APPLY 500 LBS. PER ACRE 10-10-10 FERTILIZER OR 100 LBS/
 1000 SQ.FT.

SEEDING
 FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST
 1 THROUGH NOVEMBER 15, SEED WITH 100 LBS. PER ACRE OF
 ANNUAL RYE GRASS SEED WITH 100 LBS. PER ACRE OF
 1000 SQ.FT. FOR THE PERIOD NOVEMBER 15 THRU FEBRUARY
 28, PLANT SITE BY APPLYING 2 TONS PER ACRE OF WELLS
 ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE
 SPRING OR USE SOU.

MULCHING
 APPLY IF TO 2 TONS PER ACRE TO 50 LBS./1000 SQ.FT.
 OF UNMULCHED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING.
 ANCHORING TOOL OR 200 GALLONS PER ACRE OF GALLON SQ.FT.
 OF SPREADER APPLIED ON FLAT AREAS OR SLOPES OF 10% OR
 MORE. USE 500 GALLONS PER ACRE ON GALLON SQ.FT. FOR
 ANCHORING.

REFER TO THE 1986 MARYLAND STANDARDS AND SPECIFICATION FOR
 SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT
 COVERED.

TEMPORARY SEEDING NOTES

1. A minimum of 48 hours notice must be given to the HOWARD COUNTY
 DEPARTMENT OF PLANNING, LICENSING AND PERMITS, SEDIMENT CONTROL
 DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (10-19-95).

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED
 ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN
 CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS
 FOR SOIL EROSION AND SEDIMENT CONTROL AND RESOURCES PROTECTIO.
 OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 31 7
 CALENDAR DAYS FOR ALL PERMITTED SEDIMENT CONTROL STRUCTURES.
 APPLY 400 LBS. PER ACRE 10-10-10 FERTILIZER TO ALL PERMITTED AREAS
 AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

3. ALL PERMITTED TEMPORARY STABILIZATION STRUCTURES
 SHALL BE POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1
 CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
 ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD
 SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS
 AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR
 TEMPORARY SEEDING (SEC. 20, 500 (SEC. 24), TEMPORARY SEEDING (SEC. 50,
 AND MULCHING (SEC. 32). TEMPORARY STABILIZATION WITH MULCH ALONE CAN
 ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER
 GERMINATION AND ESTABLISHMENT OF GRASSES.

4. ALL SEDIMENT CONTROL STRUCTURES ARE TO BE MAINTAINED IN PLACE AND ARE
 TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR
 THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT
 CONTROL INSPECTOR.

5. SITE ANALYSIS
 TOTAL AREA OF SITE 4.0 ACRES
 AREA TO BE SCOOPED OR PAVED 0.10 ACRES
 AREA TO BE VEGETATIVELY STABILIZED 0.00 ACRES
 TOTAL CUT 0.00 ACRES
 TOTAL FILL 0.00 ACRES

6. ANY SEDIMENT CONTROL PRACTICES WHICH IS DISTURBED BY GOING
 INTO THE DAY OF DISTURBANCE ARE TO BE REPAIRED ON THE
 DAY OF DISTURBANCE. PRACTICES WHICH IS DISTURBED BY GOING
 NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 5 ACRES,
 APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON
 APPROVAL OF INSTALLATION OF PERMITTEE SEDIMENT AND SEDIMENT
 CONTROL PLAN BEFORE PROCEEDING WITH ANY OTHER EARTH
 DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION
 APPROVALS MAY NOT BE APPLICABLE UNTIL THE INITIAL APPROVAL
 BY THE INSPECTION AGENCY IS MADE.

7. REPAIRS TO THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE (3)
 LEAKS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN
 ONE WORKING DAY, WHEREVER IS SHORTER.

SEDIMENT CONTROL NOTES

1. OBTAIN GRADING PERMIT
 2. CLEAR AND GRAD DITCH TO LIMITS OF DISTURBANCE. (2 DAYS)
 3. INSTALL PERMITTEE AND EROSION CONTROL MEASURES AS SHOWN
 ON PLAN. (2 DAYS)
 4. FINISH GRAD DITCH, INITIAL GRADED AGGREGATE. (4 DAYS)
 5. REMOVE SEDIMENT AND EROSION CONTROL MEASURES AS PERMITS
 IS GRANTED BY SEDIMENT AND EROSION CONTROL INSPECTOR. (3 DAYS)

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS:

SEEDING PREPARATION
 LOOSEN UPPER THREE INCHES OF SOIL BY RAZING, DISCING
 OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

SOIL AMENDMENTS
 APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (52 LBS/
 1000 SQ.FT) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER
 (10 LBS./1000 SQ.FT) TO ALL PERMITTED AREAS FOR THE
 PERIOD MAY 1 THROUGH JULY 31. SEED WITH 60 LBS./ACRE
 OF ANNUAL RYE GRASS SEED WITH 100 LBS. PER ACRE OF
 1000 SQ.FT) AND 500 LBS. PER ACRE 10-10-10 FERTILIZER
 (10 LBS./1000 SQ.FT) TO ALL PERMITTED AREAS FOR THE
 PERIOD AUGUST 1 THROUGH OCTOBER 31.

SEEDING
 FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST
 1 THROUGH OCTOBER 15, SEED WITH 100 LBS. PER ACRE (25
 LBS./1000 SQ.FT) OF RYE GRASS SEED WITH 100 LBS. PER ACRE
 OF 1000 SQ.FT) AND 500 LBS. PER ACRE 10-10-10 FERTILIZER
 (10 LBS./1000 SQ.FT) TO ALL PERMITTED AREAS FOR THE
 PERIOD MAY 1 THROUGH JULY 31. SEED WITH 60 LBS./ACRE
 OF ANNUAL RYE GRASS SEED WITH 100 LBS. PER ACRE OF
 1000 SQ.FT) AND 500 LBS. PER ACRE 10-10-10 FERTILIZER
 (10 LBS./1000 SQ.FT) TO ALL PERMITTED AREAS FOR THE
 PERIOD AUGUST 1 THROUGH OCTOBER 15.

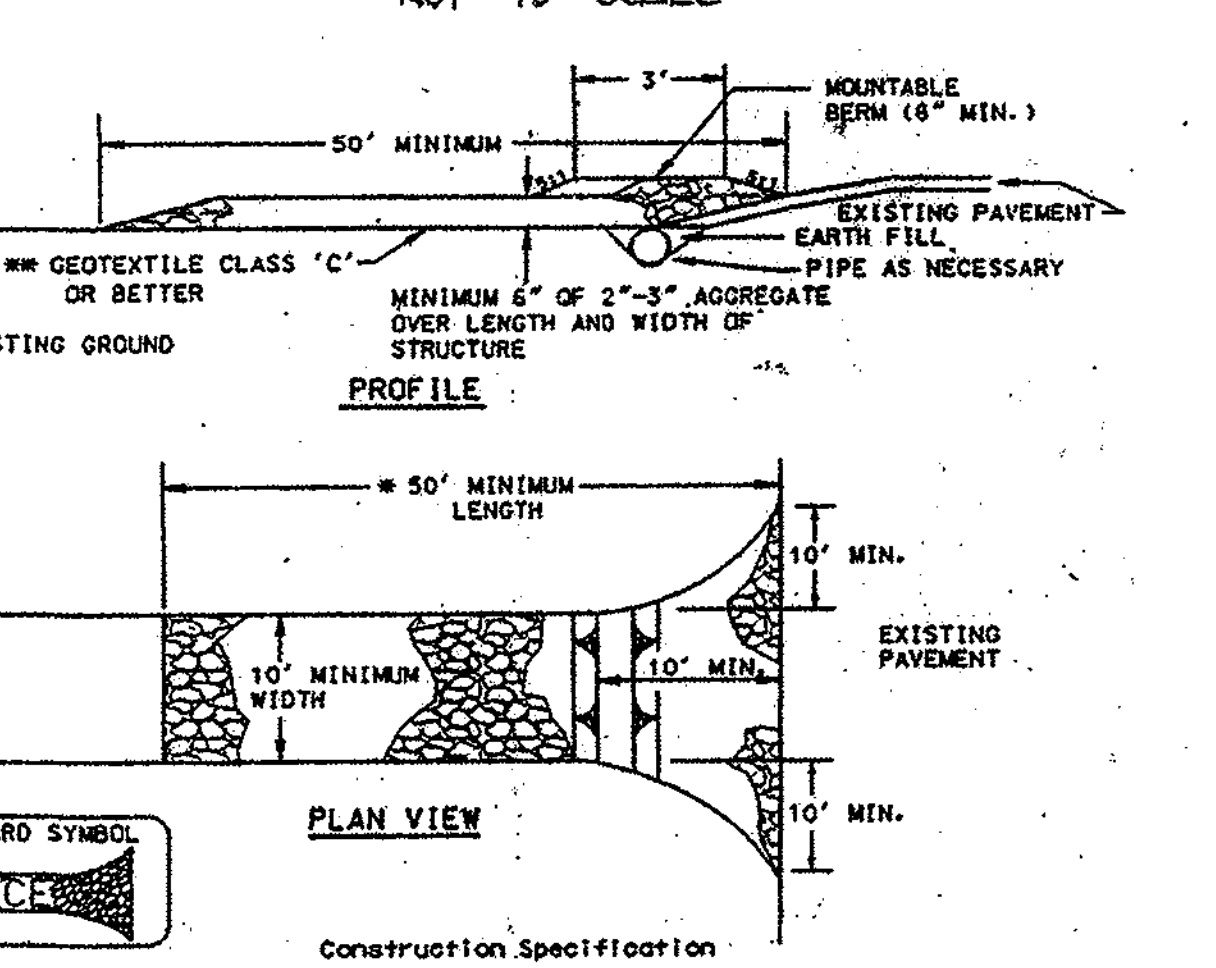
MULCHING
 APPLY IF TO 2 TONS PER ACRE TO 50 LBS./1000 SQ.FT.
 OF UNMULCHED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING.
 ANCHORING TOOL OR 200 GALLONS PER ACRE OF GALLON SQ.FT.
 OF SPREADER APPLIED ON FLAT AREAS OR SLOPES OF 10% OR
 MORE. USE 500 GALLONS PER ACRE ON GALLON SQ.FT. FOR
 ANCHORING.

REFER TO THE 1986 MARYLAND STANDARDS AND SPECIFICATION FOR
 SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT
 COVERED.

PERMANENT SEEDING NOTES

1. OBTAIN GRADING PERMIT
 2. CLEAR AND GRAD DITCH TO LIMITS OF DISTURBANCE. (2 DAYS)
 3. INSTALL PERMITTEE AND EROSION CONTROL MEASURES AS SHOWN
 ON PLAN. (2 DAYS)
 4. FINISH GRAD DITCH, INITIAL GRADED AGGREGATE. (4 DAYS)
 5. REMOVE SEDIMENT AND EROSION CONTROL MEASURES AS PERMITS
 IS GRANTED BY SEDIMENT AND EROSION CONTROL INSPECTOR. (3 DAYS)

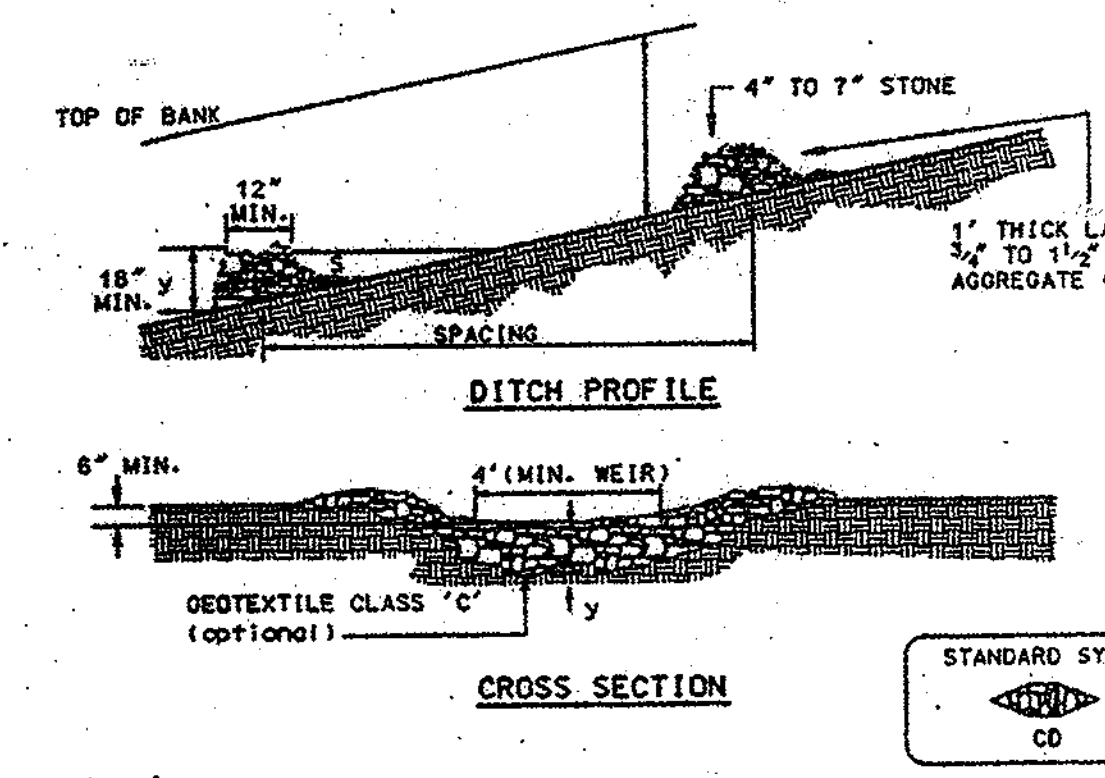
STABILIZED CONSTRUCTION ENTRANCE



Construction Specifications

- Length - minimum of 50' (40' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. (The plan approval authority may not require single family residences to use geotextile.)
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrance shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

STONE CHECK DAM DETAIL



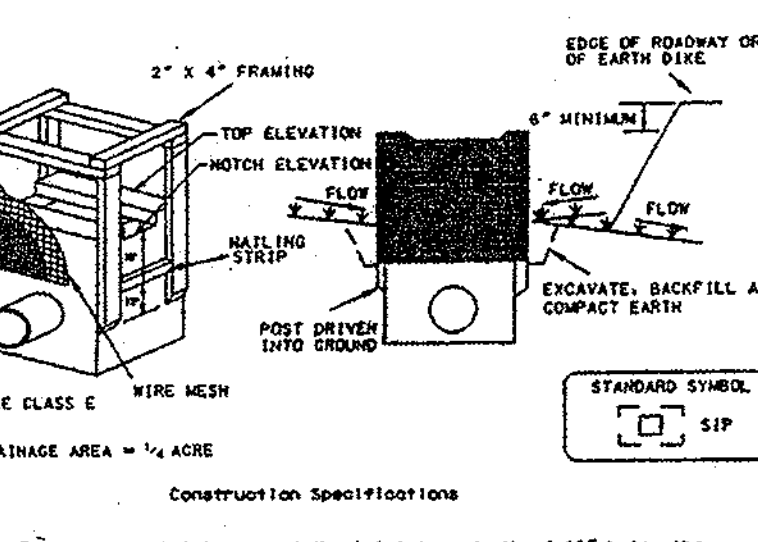
STANDARD STONE CHECK DAM DESIGN

SLOPE	SPACING
2% or less	80'
2.1% to 4%	25'
4.1% to 7%	40'
7.1% to 10%	15'
over 10%	Use lined waterway design

Construction Specifications

- Swales and ditches shall be prepared in accordance with the construction specifications described in Section A-2, Standards and Specifications for Temporary Swale.
- The check dam shall be constructed of 4"-7" stone. The stone shall be placed so that it completely covers the width of the channel and is keyed into the channel banks.
- The top of the check dam shall be constructed so the center is approximately 6" lower than the outer edges, forming a weir that water can flow across.
- The maximum height of the check dam at the center shall not exceed 2'.
- The upstream side of the check dam shall be lined with approximately 1/2" to 1 1/2" aggregate.
- Accumulated sediment shall be removed when it has built up to 1/2 of the original height of the weir crest.

INLET PROTECTION DETAIL



Construction Specifications

- Excavate completely around the inlet to a depth of 18" below the notch elevation.
- Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strapping between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on detail 22a. The top of the frame (weir) must be 5" below adjacent roadways where flooding and safety hazards may occur.
- Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten the wire. The ends must meet and overlap at a post.
- Stretch the Geotextile Class C tightly over the wire mesh with the opening extending from the top of the frame 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
- Backfill ground the inlet in compacted 6" layers until the top of earth is level with the notch elevation on the ends and top elevation on the sides.
- If the inlet is not in a ramp, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
- The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

TOPSOIL SPECIFICATIONS

TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 TOPSOIL SHALL BE A LOAM SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF APPROVED BY THE COUNTY AND APPROVED BY THE APPROPRIATE AGENCY AUTHORITY. ORGANIC MATTER SHALL NOT BE A FEATURE OF CONTRASTING TEXTURE SHOULD AND SHALL CONTAIN LESS THAN 1% BY VOLUME OF COBBLES, STONES, BLAG, COMBES, FRAGMENTS, GRAVEL, STEEL TRAILS, OR OTHER MATERIALS LARGER THAN 1/2" IN DIAMETER.
 TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERRIES, GRASS, QUACKGRASS, JOHNSONGRASS, MUTEGRASS, POISON IVY, TRIFOLIUM, OR OTHERS AS SPECIFIED.
 WHERE THE TOPSOIL IS EITHER HEAVILY ACIDIC OR COMPOSED OF HEAVY CLAYS, GRAVEL, LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-6 TONS PER ACRE (800-1000 GALLONS PER ACRE) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DISTURBED AREAS AND MIXED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES:

- When straw mulch is used, it shall be applied over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied in a uniform distribution and depth so that the soil surface is not exposed. If a mulch applying tool is to be used, the rate should be increased to 2.5 tons/acre.
- Wood mulch (fiber mulch) shall be applied at a net dry weight of 1200 lbs. per acre. The mulch shall be applied in a uniform distribution and depth so that the soil surface is not exposed. If a mulch applying tool is to be used, the rate should be increased to 1500 lbs. per acre.
- Application of hard mulches shall be heavier at the edges where wind catches mulch, such as in valleys and crevices of banks. The remainder of mulch should be applied uniformly after blower application. Synthetic mulches such as Kevlar Old Topsoil (KOT) Mulch, Terra-Tax, Terra-Tax II, or other approved equal may be used at rates recommended by the manufacturer.
- Lightweight plastic netting may be applied over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 12' wide and 300 to 1000 feet long.

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT.

Joseph M. B... per [Signature]
 COUNTY HEALTH OFFICER

9/29/98
 DATE

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature]
 Signature of Engineer (Print name below signature)

9/14/98
 Date

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

[Signature]
 Signature of Developer (Print name below signature)

9-4-98
 Date

Reviewed for HOWARD SCD and meets Technical Requirements.

[Signature]
 U.S.D.A.-Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 Howard SCD

OWNER/DEVELOPER
 O'DONNELL & COMPANY
 4652 SHEPPARD LANE
 ELLICOTT CITY, MARYLAND 21043

APPROVED DEPARTMENT OF PLANNING AND ZONING

[Signature]
 Chief, Division of Land Development

[Signature]
 Chief, Development Engineering Division

[Signature]
 Director of Planning and Zoning

9/29/98
 DATE

9/14/98
 DATE

9/28/98
 DATE

SUBDIVISION PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET, INC. SECTION/AREA LOT NO. 3

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
5308	3 & 4	B-2	J5	3RD	6030

WATER CODE _____ SEWER CODE _____

DETAIL SHEET

PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET, INC.

LOT 3

TAX MAP No: 15 PARCEL: 229

THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE:

SHEET 4 OF 4

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2055

Sheet No.	Description
1	Site Development Plan
2	Site Development Plan
3	House Detail Sheet
4	Detail Sheet

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTIVE ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

- NAME:** *Cindy Hunt Berry*
- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT. (1 WEEK)
 - INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN (4 DAYS)
 - CLEAR AND GRUB SITE TO LIMITS OF DISTURBANCE. (1 DAY PER DWELLING)
 - EXCAVATE FOR FOUNDATION AND ROUGH GRADE LOT. (1 DAY PER DWELLING)
 - CONSTRUCT DWELLING. (90 DAYS PER DWELLING)
 - FINISH GRADE LOT AND INSTALL DRIVEWAYS AND SIDEWALKS. (2 DAYS PER DWELLING)
 - INSTALL PERMANENT SEEDING AND LANDSCAPING. (2 DAYS PER DWELLING)
 - REMOVE SEDIMENT CONTROL DEVICES AS PERMISSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED.

LOT INFORMATION

UNIT NUMBER	STREET ADDRESS	MIN. CELLAR ELEV.	INV. ELEV. PROPERTY LINE (S.H.C.)	LOT SIZE
70	10997 CHESTER WAY	421.4'	416.22'	15,119 Sq. Ft.
71	10999 CHESTER WAY	421.0'	415.87'	10,246 Sq. Ft.
72	10900 DICKENS WAY	467.0'	462.20'	9,557 Sq. Ft.
73	10904 DICKENS WAY	462.4'	457.68'	7,437 Sq. Ft.
74	10908 DICKENS WAY	457.4'	452.60'	7,257 Sq. Ft.
75	10912 DICKENS WAY	448.0'	443.25'	6,129 Sq. Ft.
76	10916 DICKENS WAY	440.7'	435.73'	6,616 Sq. Ft.
77	10920 DICKENS WAY	438.1'	433.39'	6,129 Sq. Ft.
78	10924 DICKENS WAY	438.4'	433.70'	7,975 Sq. Ft.
79	10928 DICKENS WAY	437.3'	432.20'	10,589 Sq. Ft.
80	10929 DICKENS WAY	437.5'	433.51'	8,602 Sq. Ft.
81	10935 DICKENS WAY	440.8'	434.93'	12,019 Sq. Ft.
83	10921 DICKENS WAY	441.7'	436.25'	8,177 Sq. Ft.
84	2102 BECKETT WAY	457.3'	453.53'	10,509 Sq. Ft.
85	2106 BECKETT WAY	460.0'	454.85'	7,928 Sq. Ft.
86	2110 BECKETT WAY	460.9'	455.70'	8,781 Sq. Ft.
87	2114 BECKETT WAY	461.0'	455.63'	9,893 Sq. Ft.
88	2118 BECKETT WAY	459.9'	455.12'	9,023 Sq. Ft.
89	2117 BECKETT WAY	459.8'	455.07'	9,290 Sq. Ft.
90	2113 BECKETT WAY	460.5'	455.13'	7,625 Sq. Ft.
91	2109 BECKETT WAY	460.1'	454.71'	7,171 Sq. Ft.
92	2105 BECKETT WAY	459.3'	454.34'	6,773 Sq. Ft.
93	2101 BECKETT WAY	461.0'	457.03'	10,290 Sq. Ft.
94	10914 DORCHESTER WAY	474.7'	469.75'	10,330 Sq. Ft.
95	10918 DORCHESTER WAY	476.3'	471.37'	8,378 Sq. Ft.
96	10922 DORCHESTER WAY	477.8'	472.87'	6,976 Sq. Ft.
97	10926 DORCHESTER WAY	478.9'	473.99'	7,005 Sq. Ft.

SCHEDULE A PERIMETER LANDSCAPE EDGE

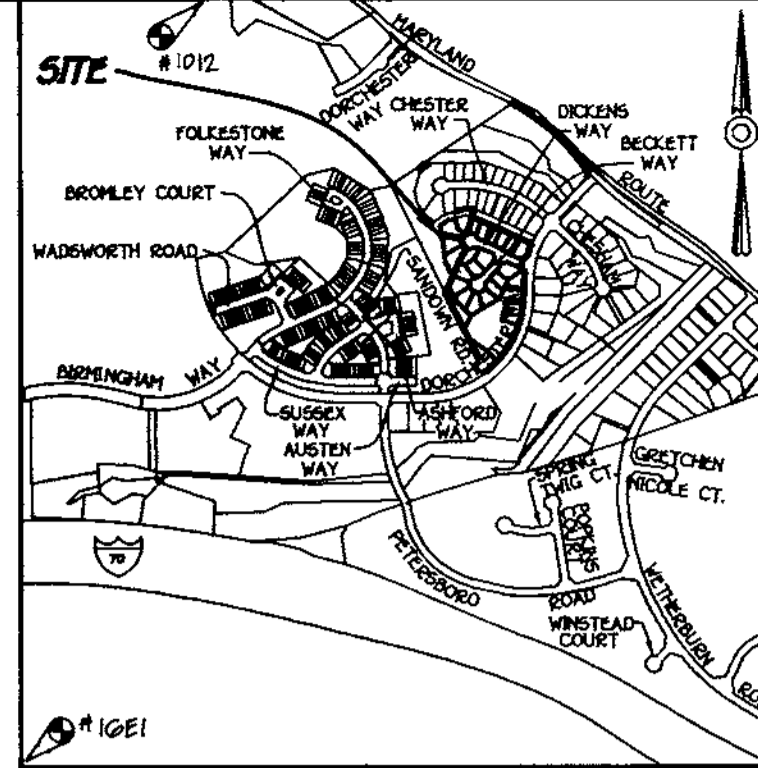
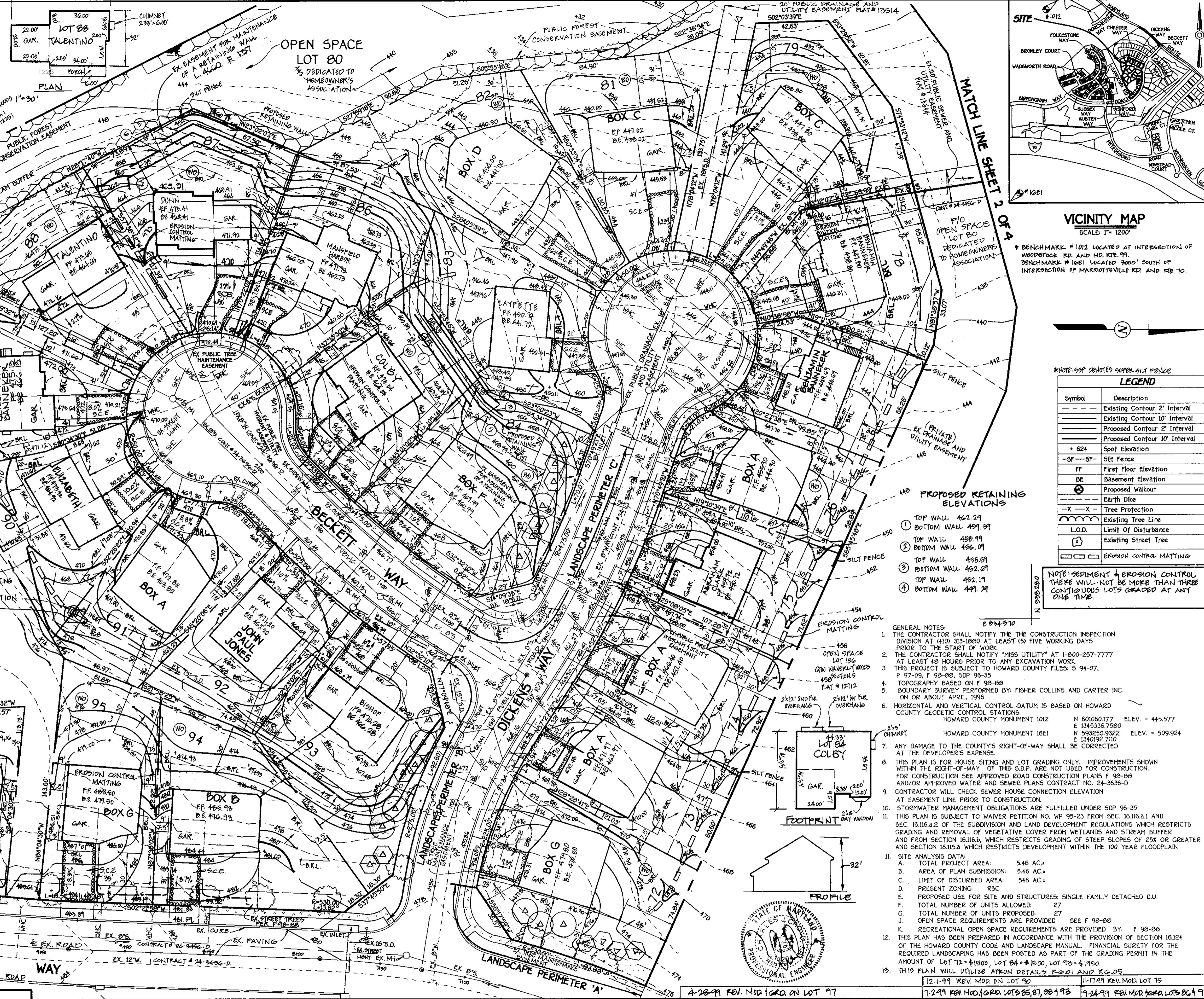
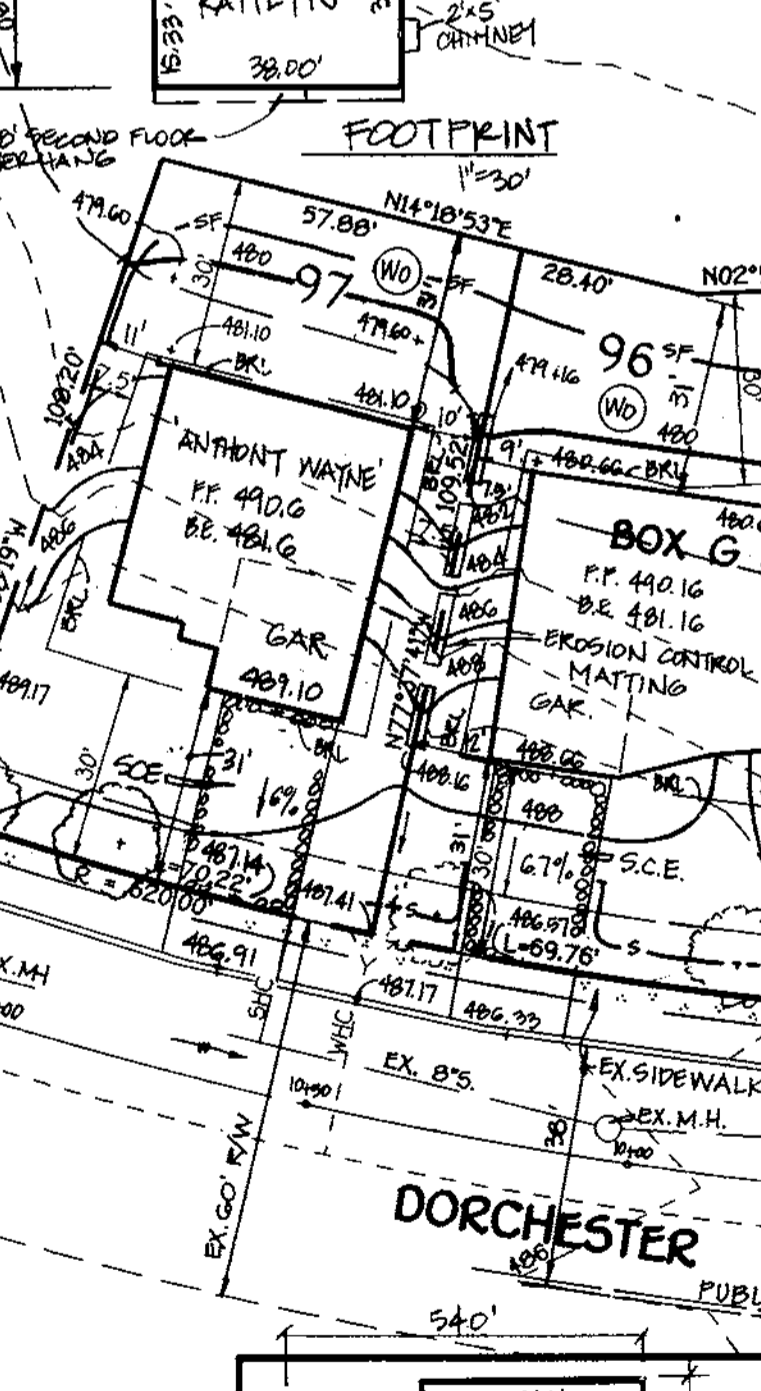
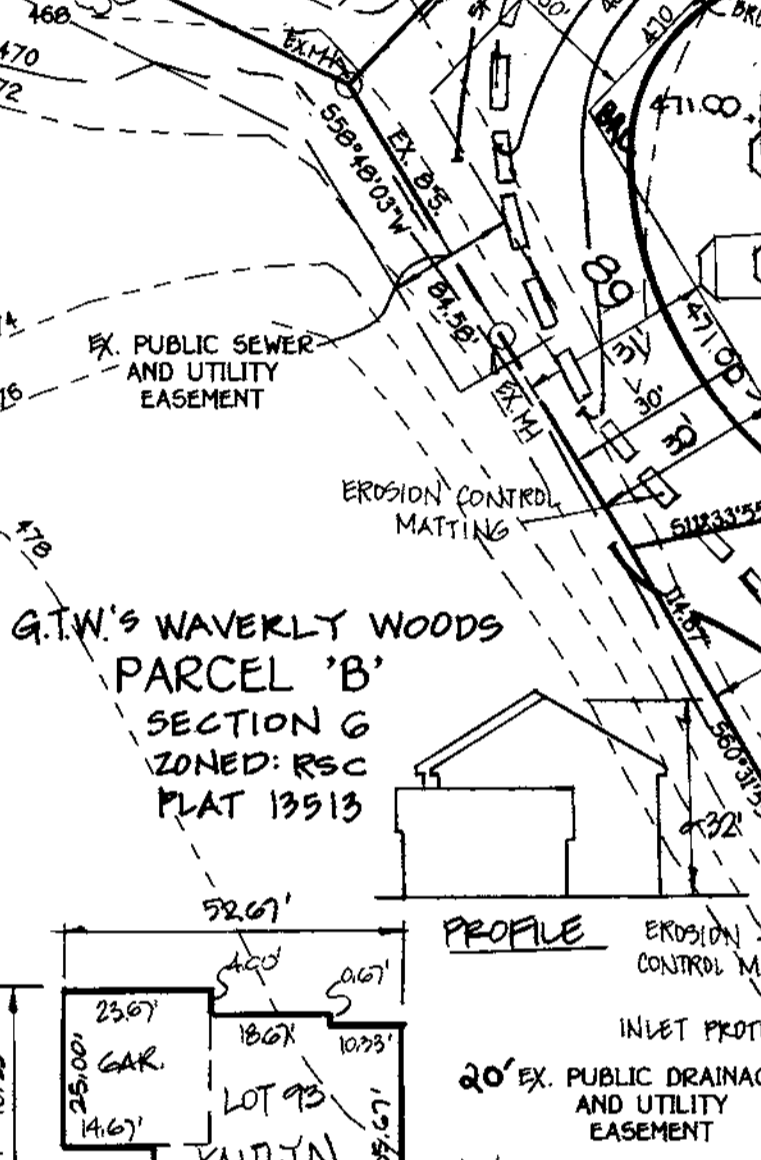
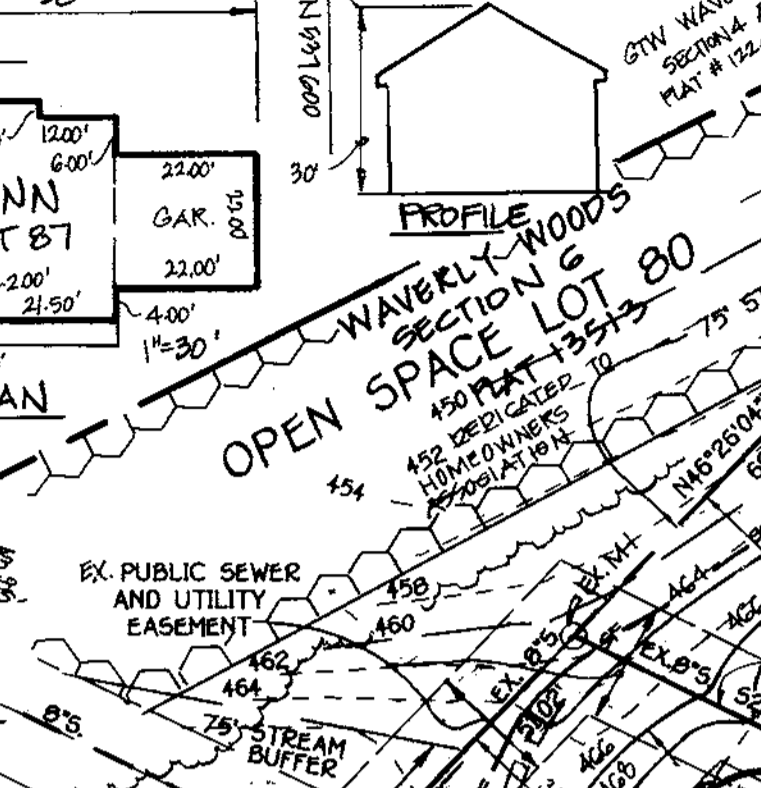
Category	Perimeter Edge		
	A	B	C
Landscape Type	D	B	B
Linear Feet or Roadway Frontage/Perimeter	129	161	135
Credit for Existing Vegetation (Yes, No Linear Feet) (Describe Below if Needed)	NO	NO	NO
Credit for Wall, Fence or Berm (Yes, No Linear Feet) (Describe Below if Needed)	NO	NO	NO
Number of Plants Required			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Shrubs	0	0	0
Number of Plants Provided			
Shade Trees	3	4	3
Evergreen Trees	4	4	4
Other Trees (2:1 Substitution)	0	0	0
Shrubs (2:1 Substitution)	0	0	0
Describe Plant Substitution Credits Below if Needed			

LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10	(Symbol)	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2 1/2"-3"
12	(Symbol)	PINUS STROBUS	WHITE PINE	6"-8" HT.

PROPOSED RETAINING WALL ELEVATIONS

- ② BOTTOM WALL 452.40
TOP WALL 499.30
- ③ BOTTOM WALL 458.80
TOP WALL 498.70
- ① BOTTOM WALL 451.80
TOP WALL 462.10



VICINITY MAP
 SCALE: 1" = 1200'
 * BENCHMARK # 1012 LOCATED AT INTERSECTION OF WOODSTOCK RD. AND MD. RTE. 99.
 * BENCHMARK # 1061 LOCATED 300' SOUTH OF INTERSECTION OF MARKKOTTSVILLE RD. AND RT. 70.

LEGEND

Symbol	Description
(Symbol)	Existing Contour 2' Interval
(Symbol)	Existing Contour 10' Interval
(Symbol)	Proposed Contour 2' Interval
(Symbol)	Proposed Contour 10' Interval
(Symbol)	Spot Elevation
(Symbol)	Silt Fence
(Symbol)	First Floor Elevation
(Symbol)	Basement Elevation
(Symbol)	Proposed Walkout
(Symbol)	Earth Dike
(Symbol)	Tree Protection
(Symbol)	Existing Tree Line
(Symbol)	Limit of Disturbance
(Symbol)	Existing Street Tree

GENERAL NOTES:

- THE CONTRACTOR SHALL NOTIFY THE THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: S 94-07, P 97-07, F 98-88, SFP 98-35, 45870R05, 45870R06, 45870R07, 45870R08, 45870R09, 45870R10, 45870R11, 45870R12, 45870R13, 45870R14, 45870R15, 45870R16, 45870R17, 45870R18, 45870R19, 45870R20, 45870R21, 45870R22, 45870R23, 45870R24, 45870R25, 45870R26, 45870R27, 45870R28, 45870R29, 45870R30, 45870R31, 45870R32, 45870R33, 45870R34, 45870R35, 45870R36, 45870R37, 45870R38, 45870R39, 45870R40, 45870R41, 45870R42, 45870R43, 45870R44, 45870R45, 45870R46, 45870R47, 45870R48, 45870R49, 45870R50, 45870R51, 45870R52, 45870R53, 45870R54, 45870R55, 45870R56, 45870R57, 45870R58, 45870R59, 45870R60, 45870R61, 45870R62, 45870R63, 45870R64, 45870R65, 45870R66, 45870R67, 45870R68, 45870R69, 45870R70, 45870R71, 45870R72, 45870R73, 45870R74, 45870R75, 45870R76, 45870R77, 45870R78, 45870R79, 45870R80, 45870R81, 45870R82, 45870R83, 45870R84, 45870R85, 45870R86, 45870R87, 45870R88, 45870R89, 45870R90, 45870R91, 45870R92, 45870R93, 45870R94, 45870R95, 45870R96, 45870R97, 45870R98, 45870R99, 45870R100.
- TOPOGRAPHY BASED ON F 98-88
- BOUNDARY SURVEY PERFORMED BY FISHER COLLINS AND CARTER INC. ON OR ABOUT APRIL, 1996
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS
 HOWARD COUNTY MONUMENT 1012 N 601060177 ELEV. = 445.577
 E 1345336.7580
 N 5825633.022 ELEV. = 509.924
 E 1340292.710
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHT-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F 98-88 AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-3636-D
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION
- STORMWATER MANAGEMENT OBLIGATIONS ARE FULFILLED UNDER SDP 98-35
- THIS PLAN IS SUBJECT TO WAIVER PETITION NO. WP 95-23 FROM SEC. 16.16.1 AND SEC. 16.16.2 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH RESTRICTS GRADING AND REMOVAL OF VEGETATIVE COVER FROM WETLANDS AND STREAM BUFFER AND FROM SECTION 16.16.6, WHICH RESTRICTS GRADING OF STEEP SLOPES OF 25% OR GREATER AND SECTION 16.16.8, WHICH RESTRICTS DEVELOPMENT WITHIN THE 100 YEAR FLOODPLAIN
- SITE ANALYSIS DATA:
 A. TOTAL PROJECT AREA: 546 AC.
 B. AREA OF PLAN SUBMISSION: 546 AC.
 C. LIMIT OF DISTURBED AREA: 546 AC.
 D. PRESENT ZONING: RSC
 E. PROPOSED USE FOR SITE AND STRUCTURES: SINGLE FAMILY DETACHED D.U.
 F. TOTAL NUMBER OF UNITS ALLOWED: 27
 G. TOTAL NUMBER OF UNITS PROPOSED: 27
 H. OPEN SPACE REQUIREMENTS ARE PROVIDED: SEE F 98-88
 I. RECREATIONAL OPEN SPACE REQUIREMENTS ARE PROVIDED BY: F 98-88
 J. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF LOT 72 = \$1500, LOT 84 = \$1500, LOT 85 = \$1500, LOT 93 = \$1500
 K. THIS PLAN WILL UTILIZE APPROXIMATELY 6000' OF 2" X 4" X 8' POSTS
 L. 12-1-99 REV. MOD. ON LOT 90
 M. 11-19-99 REV. MOD. LOT 75
 N. 1-24-99 REV. MOD. LOTS 85, 81, 88, 93
 O. 1-24-99 REV. MOD. LOTS 80, 97

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Cindy Hunt Berry
 Signature of Engineer (Print name below signature) Date: 12/1/98

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at the Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Cindy Hunt Berry
 Signature of Developer (Print name below signature) Date: 12-1-98

Reviewed for HOWARD SCD and meets Technical Requirements.

Paul Simon
 Signature of Engineer (Print name below signature) Date: 3/23/99

John P. ...
 Signature of Engineer (Print name below signature) Date: 3/23/99

OWNER
 WAVERLY WOODS DEVELOPMENT CORP
 90 LAND DESIGN DEVELOPMENT
 10805 HICKORY RIDGE ROAD
 COLUMBIA, MD. 21044

BUILDER
 WILLIAMSBURG EXETER HOMES
 R.O. BOX 1018
 COLUMBIA, MD. 21044

APPROVED DEPARTMENT OF PLANNING AND ZONING

Cindy Hunt Berry
 Signature of Engineer (Print name below signature) Date: 4/1/99

John P. ...
 Signature of Engineer (Print name below signature) Date: 3/25/99

Paul Simon
 Signature of Engineer (Print name below signature) Date: 3/23/99

PROJECT
 GTW'S WAVERLY WOODS SECTION 6

SECTION/AREA
 6

LOT NO.
 70-79, 81-97

PLAT
 13514

BLOCK NO.
 6

ZONE
 RSC

TAX/ZONE
 16

ELEC. DIST.
 THIRD

CENSUS TR.
 6090

WATER CODE
 H-05

SEWER CODE
 5993000

SITE DEVELOPMENT PLAN
PLAN VIEW

LOTS 70-79, 81-97
GTW'S WAVERLY WOODS
SECTION 6

TAX MAP No: 16 PARCEL: 20
 THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: NOVEMBER, 1998
 SHEET 1 OF 4

DEFINITION
Vegetative stabilization is the use of plants to stabilize soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas, and improving wildlife habitat and visual resources.

CONSTRUCTION PRACTICES THAT APPLY
This practice shall be used on denuded areas as specified on the plan and may be used on highly erodible or critically eroding areas. This specification is divided into temporary seeding to quickly establish vegetative cover for short duration (up to one year), and Permanent Seeding for long term vegetative cover. Examples of applicable areas for Temporary Seeding are Temporary Soil Stockpiles, cleared areas being left idle between construction phases, earth dikes, etc. and for Permanent Seeding are lawns, dunes, cut and fill slopes, and other disturbed areas.

EFFECTS ON WATER QUALITY AND QUANTITY
Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, and groundwater recharge. Vegetation cover over time will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment and nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone. Sediment control devices must be in place during grading, seeded preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment from washing into surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. Site Preparation

1. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
2. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
3. Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.

B. Soil Amendments Fertilizer and Lime Specifications

1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
2. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Fertilizers shall be substituted for fertilizers with the same N-P-K ratio and the appropriate approval authority. Fertilizers shall be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name, trademark and manufacturer of the producer.
3. Lime materials shall be ground limestone hydrated or burnt lime may be substituted which contains at least 50% calcium oxide plus magnesium oxide. Limestone or lime shall be applied to the soil such that at least 50% will pass through a #100 mesh sieve and 90-100% will pass through a #20 mesh sieve.
4. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.

C. Seeded Preparation

Temporary Seeding

1. Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural, tillage or construction equipment, such as disc harrows or chisel plows. Rippers mounted on construction equipment. After the soil is loosened it should not be roller dragged smooth, but left in the roughened condition. Slope areas greater than 3:1 should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
2. Apply fertilizer and lime as prescribed on the plan.
3. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.

Permanent Seeding

1. Minimum soil conditions required for permanent vegetative establishment
2. Soluble salts shall be less than 500 parts per million (ppm).
3. The soil shall contain less than 40% clay, but enough fine grained material (less than 200 sieve) to provide the capacity to hold a moderate amount of moisture. An exception is if loesslike or silty loesslike soils are present, then a sand-silt-clay plus silt) would be acceptable.
4. Soil shall contain 1.5% minimum organic matter by weight.
5. Soil must contain sufficient pore space to permit proper root penetration.
6. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standards and Specifications.

D. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.

E. Apply soil amendments as per soil test or as included on the plan.

F. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seeded preparation, loosen surface soil by disking with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 3-5" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

D. Seed Specifications

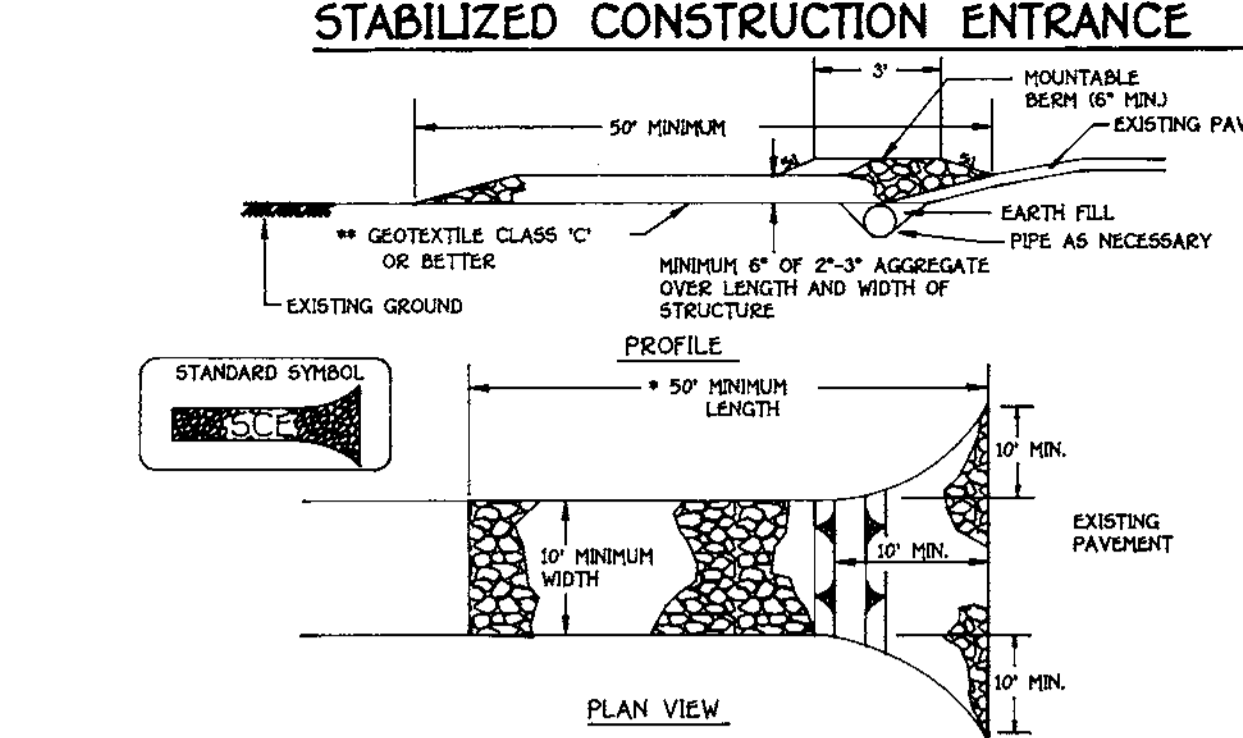
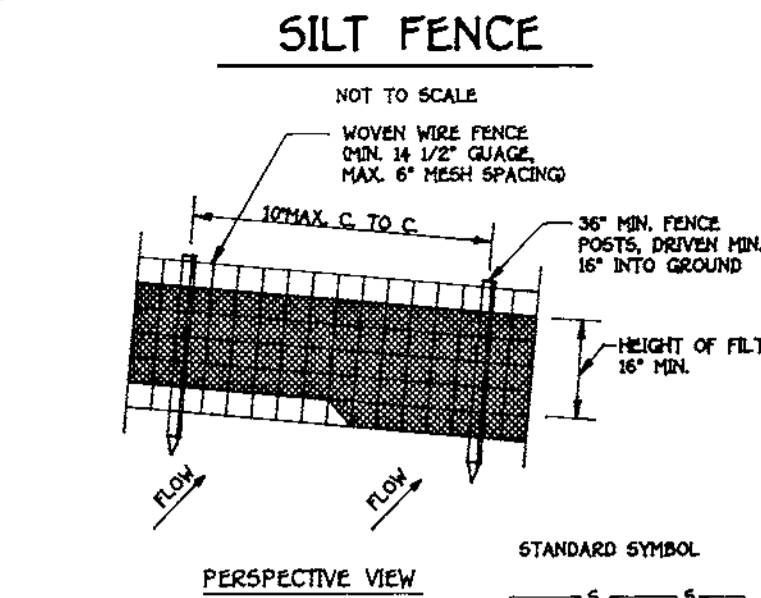
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to inspection and shall have been tested within 12 months immediately preceding the date of planting.
2. Note: Seed shall be made available to the inspector to verify the seed rate of seed used.
3. Inoculant - The inoculant for treating legume seed in the seed mixtures shall be a pure culture of the bacteria normally associated with the legume. Inoculant shall not be used later than the date indicated on the container. Add fresh inoculant as directed on package. Use four times the amount of inoculant as specified on the package. Inoculant shall be stored in a cool, dry place. Inoculant use: Temperatures above 75-80° F. can weaken bacteria and make the inoculant less effective.

E. Methods of Seeding

1. Hydroseeding - Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or in rows.
2. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen maximum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorus) 50 lbs. per acre; K2O (potassium) 50 lbs. per acre.
3. Lime - use only ground agricultural limestone, up to 3 tons per acre may be applied by hydroseeder. Normally, not more than 2 tons of lime should be hydroseeded at any one time. Do not use burnt or hydrated lime when hydroseeding.
4. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
5. Without Interruption.
6. Dry Seeding - This includes use of conventional drop or broadcast spreaders.
7. Seed spreader shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summary or Tables 205 or 206. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
8. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
9. Drill or Cultivator Seeding - Mechanized seeders that apply and cover seed with soil.
10. Cultivating seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seeded must be two directions perpendicular to each other. Apply half the seeding rate in each direction.

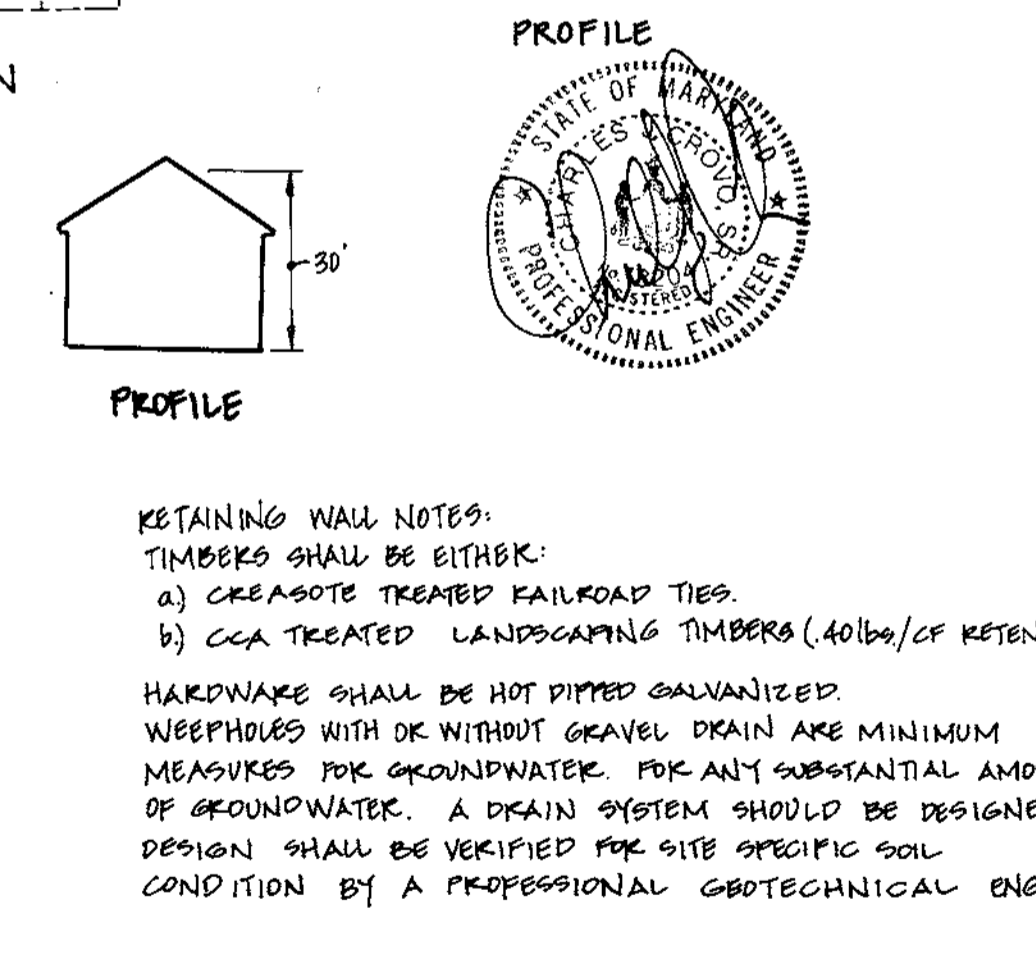
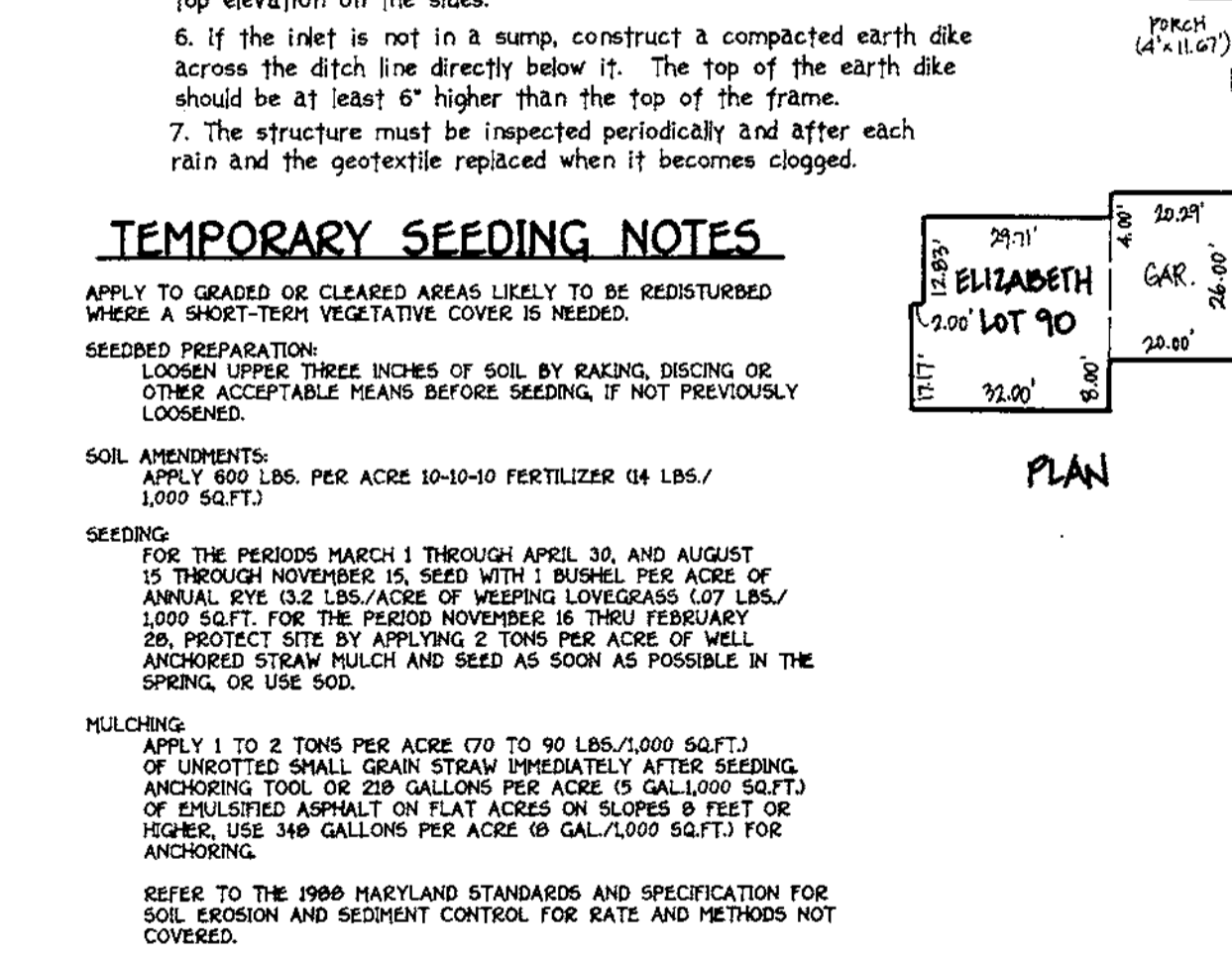
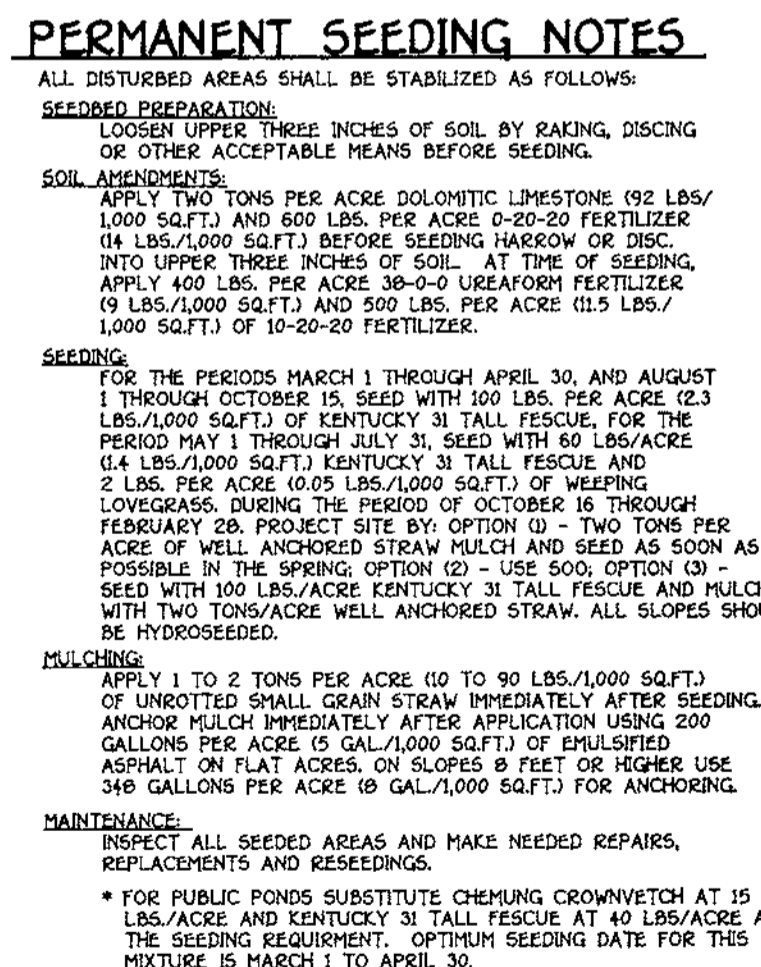
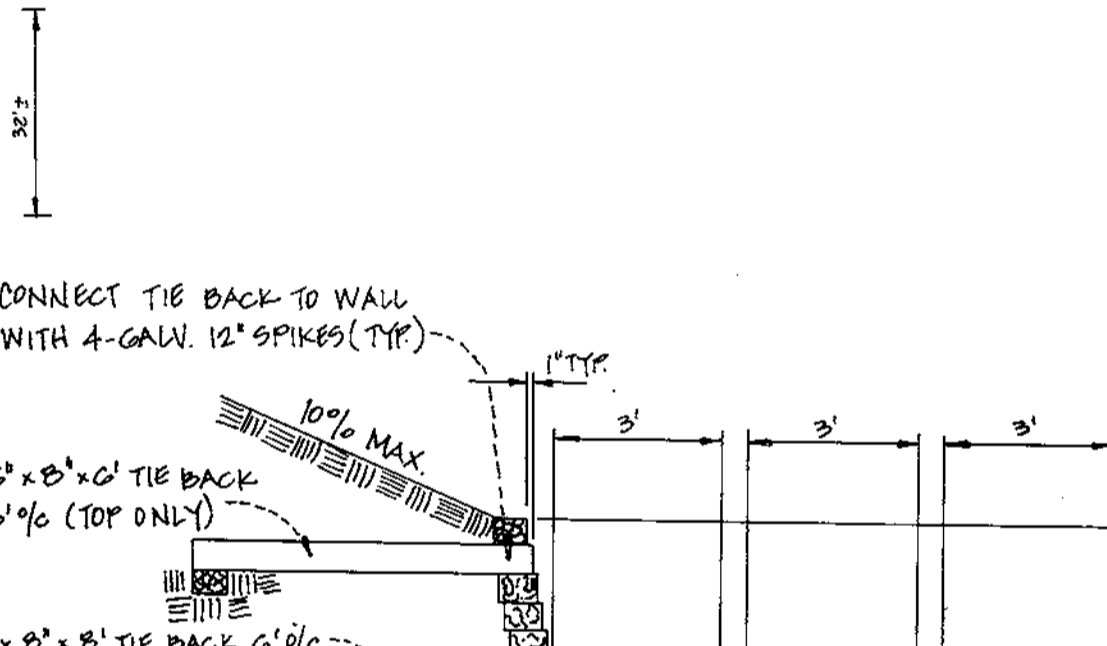
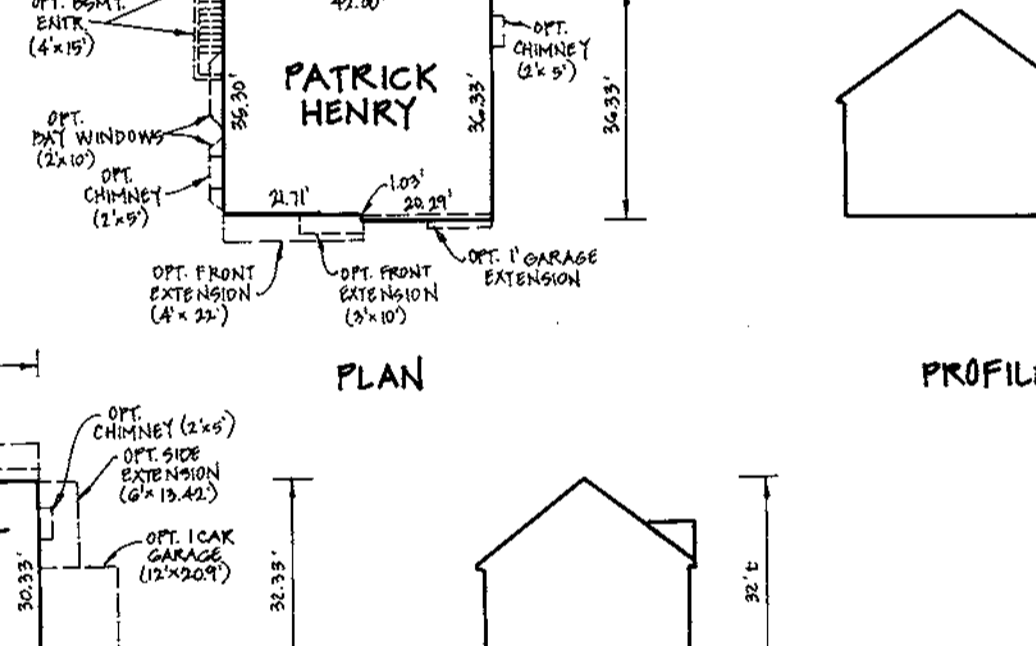
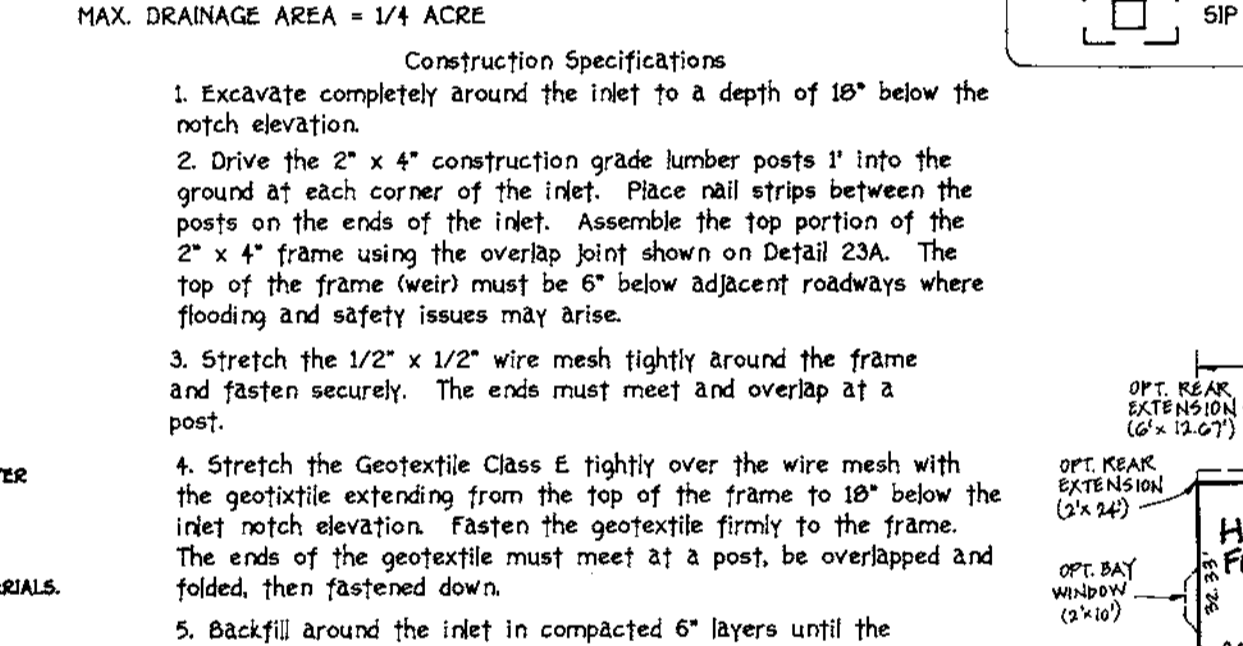
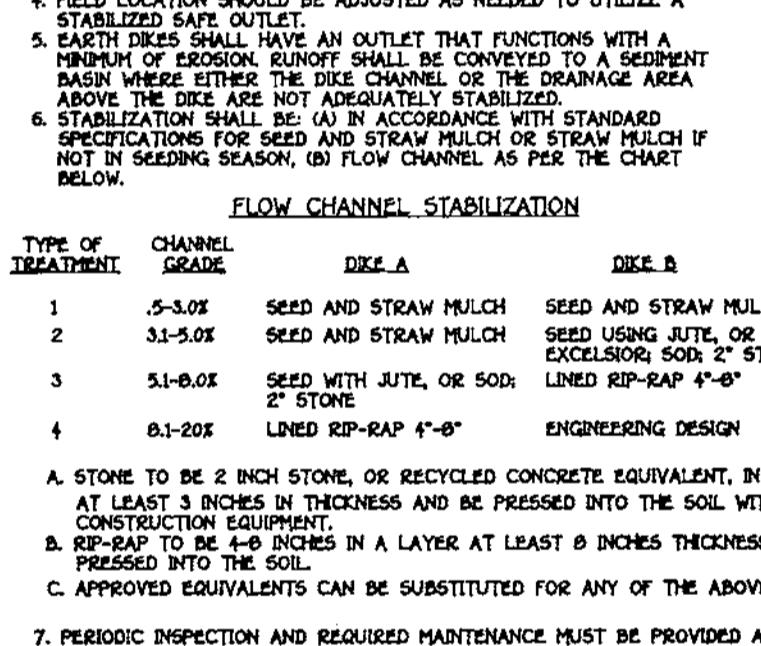
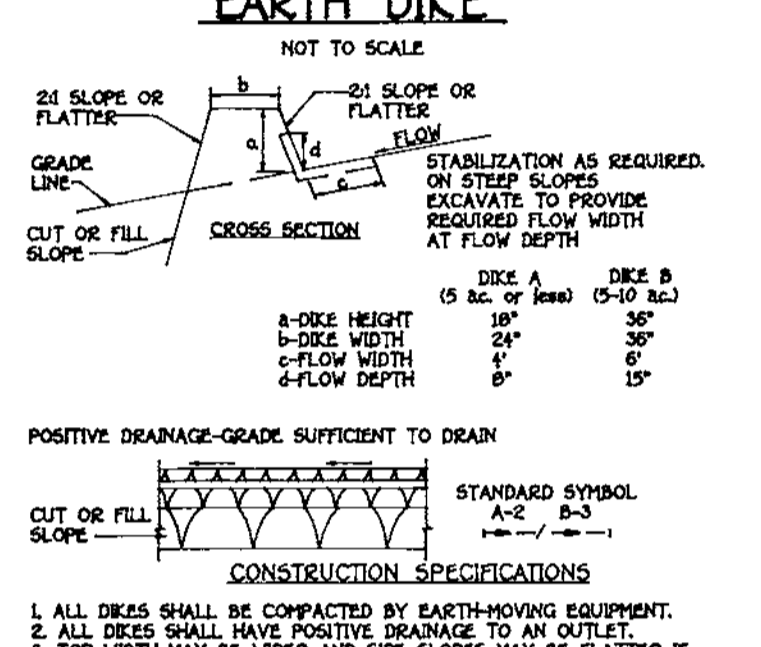
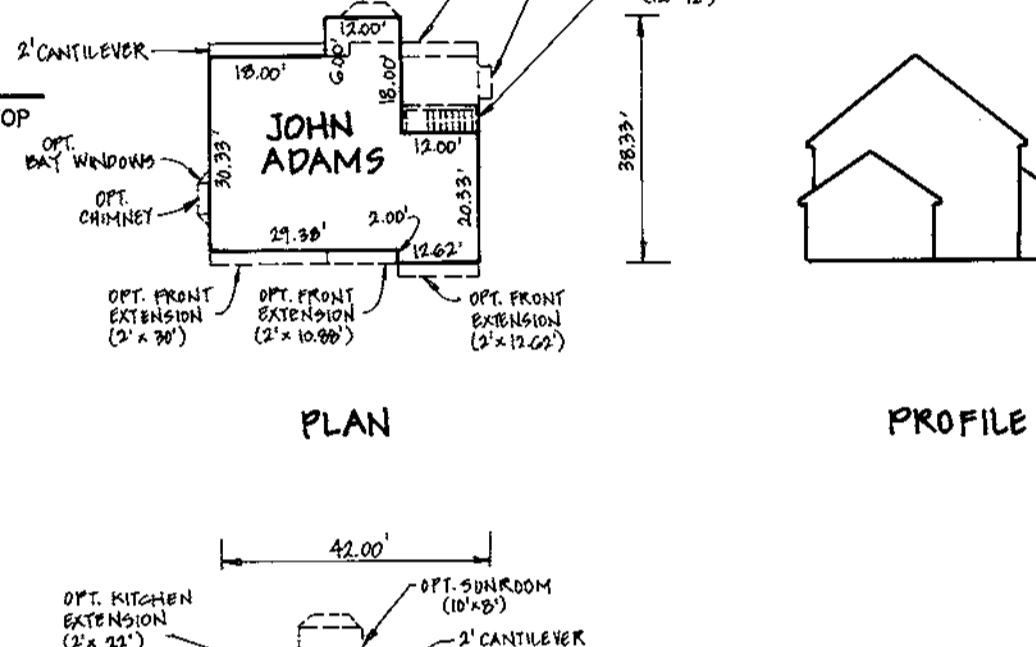
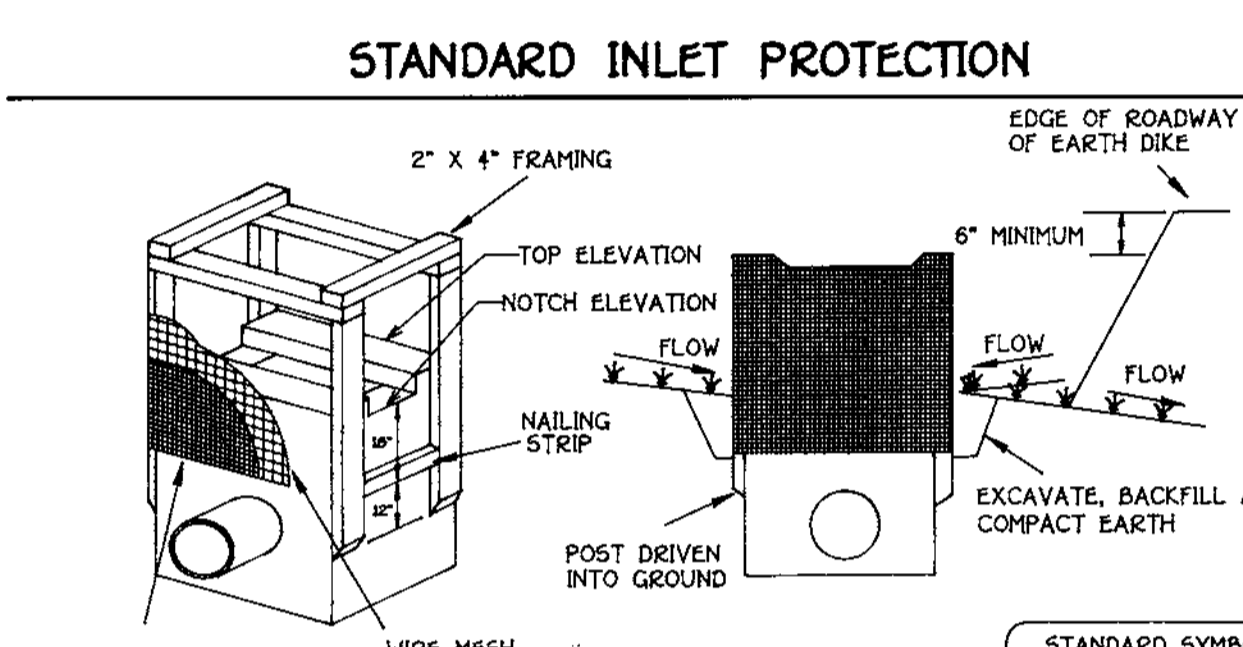
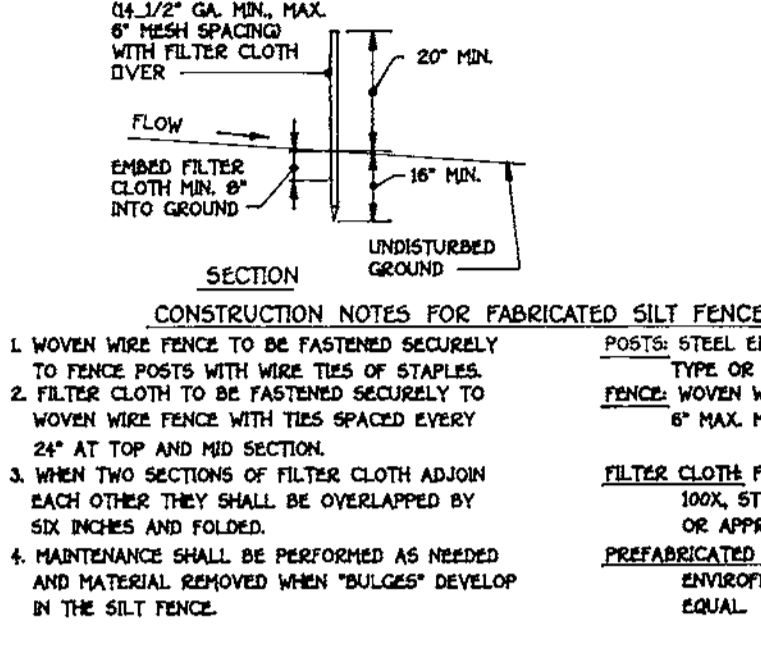
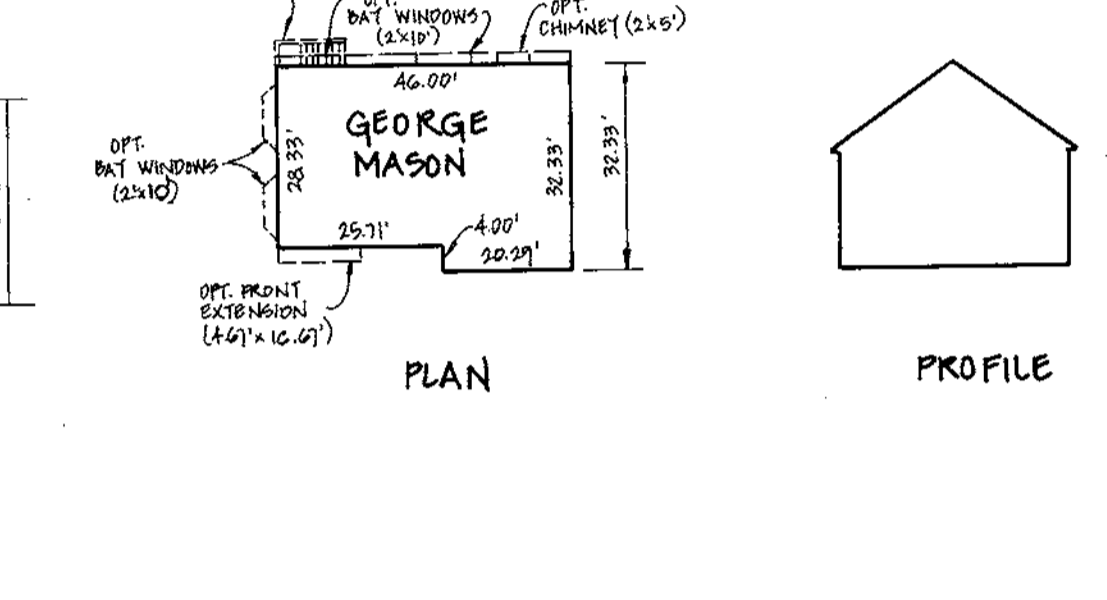
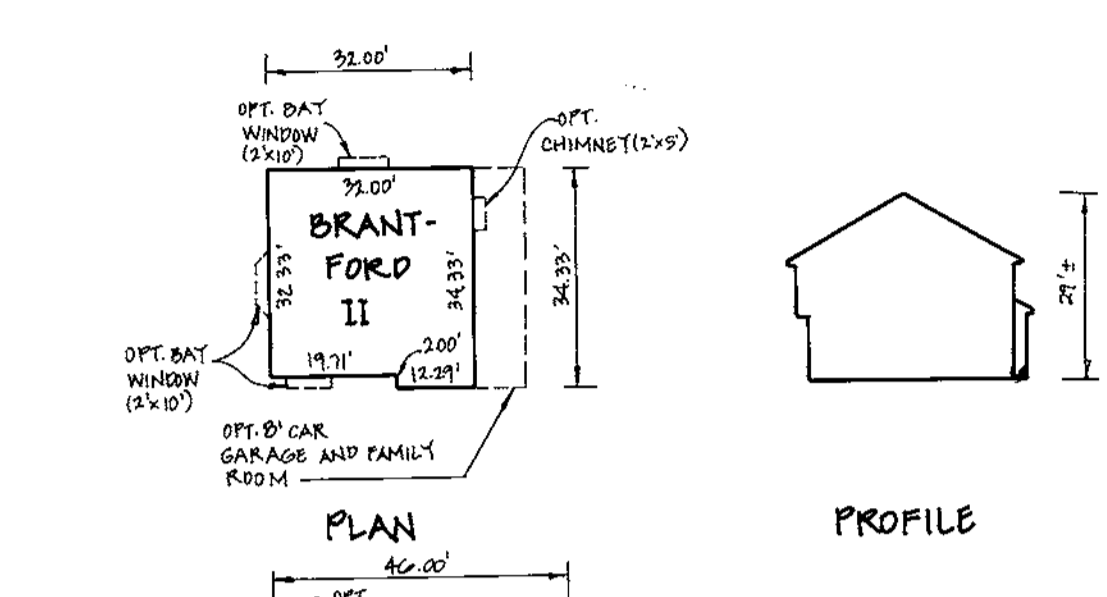
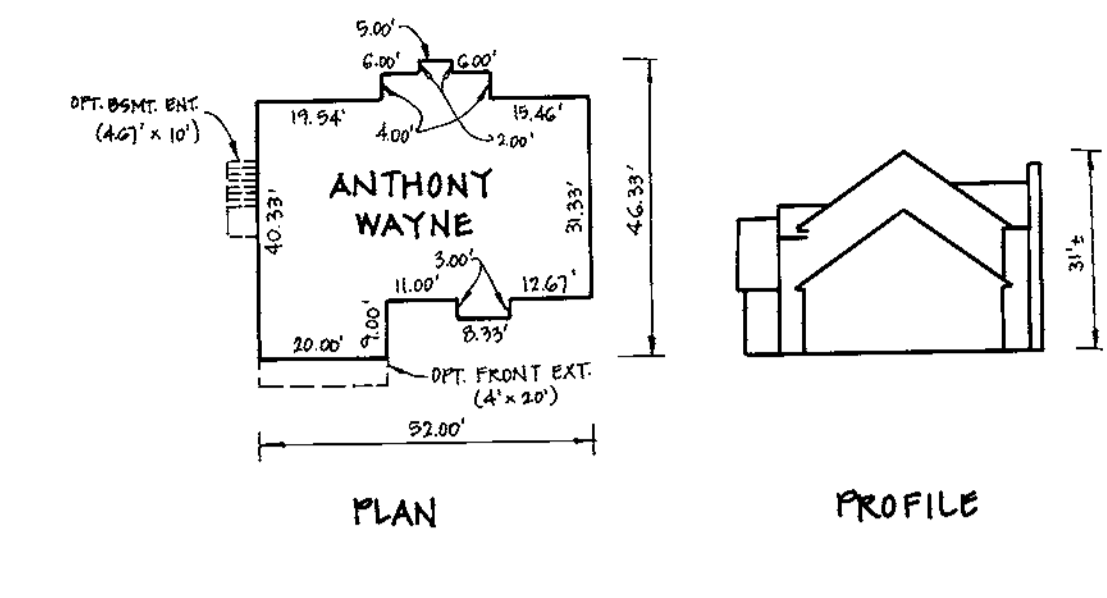
F. Muck Specifications (in order of preference)

1. Straw shall consist of thoroughly steamed wheat, rye or oat straw, reasonable bright in color, and shall not be musty, mold, caked, decayed or excessively dirty and shall be free of noxious weed seeds as specified in the Muck Seed Law.
2. Wood Cellulose Fiber Muck (WCFM) - WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
3. WCFM shall be dried green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
4. WCFM packages shall be manufactured and processed in such a manner that the wood cellulose fiber muck will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The muck material shall form a blotter-like ground cover, on application, having moisture absorption and retention properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
5. WCFM material shall contain no elements or compounds in concentrations that will be phytotoxic.
6. WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 6.0 to 8.5, ash content of 1.5% maximum, and shall be used in a mixture with water.
7. Mucking Seeded Areas - Muck shall be used in areas where one species of grass is desired. If seeding is completed outside of the seeding season, muck shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
8. When straw muck is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Muck shall be applied to a uniform, loose depth of between 1" and 2". Muck applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a muck anchoring tool is used, the rate should be increased to 2.5 tons/acre.
9. Wood cellulose fiber used as a muck shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
10. Securing Straw Muck Muck Anchoring - Muck anchoring shall be performed immediately following muck application to minimize loss by wind or water. This may be done by one of the following methods listed by preference, depending upon size of area and erosion hazards:
 - i. A muck anchoring tool is a 1/2" diameter instrument designed to punch and anchor muck into the soil surface a minimum of two (2) inches. This practice is most effective on sloping areas and limited to lighter seed mixtures.
 - ii. Synthetic binders - such as Acrylic Latex, Urethane, Polyurethane, Terra Tex, Terra Tac, etc. or other approved resin may be used at rates recommended by the manufacturer to anchor muck.
 - iii. Application of liquid binders should be heavier at the edges where wind catches muck, such as in valleys and crest of banks. The remainder of muck should be applied uniformly after binder application.
11. Lightweight plastic netting may be used at rates recommended by the manufacturer to anchor muck. Netting is usually available in rolls 4' to 15' wide and 300 to 3,000 feet long.



SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (03-10-95).
2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT HARBOR AND SHIPING REGULATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE PERMIT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 30 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES.
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
5. ALL SEDIMENT TRANSPORTATION SHALL BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER AND STABILIZED WITHIN 30 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES.
6. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
7. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
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FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL Pk
ELLSWORTH CITY, MARYLAND 21113
410-336-1999

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer (Print name below signature) *John J. Carter* Date *11/18*

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer (Print name below signature) *Cindy Heston* Date *12-1-98*

Reviewed for HOWARD SCD and meets Technical Requirements.
John J. Carter Date *3/23/99*
USDA-NR Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John J. Carter Date *3/23/99*
Howard SCD

OWNER
WAVERLY WOODS DEVELOPMENT CORP.
P.O. BOX 18102
10805 HICKORY RIDGE ROAD
COLUMBIA, MD. 21044

BUILDER
WILLIAMS/BURG/PATRIC HOMES
P.O. BOX 10218
COLUMBIA, MD. 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Paul Hamstra Date *4/1/99*
Chief, Division of Land Development

John J. Carter Date *3/23/99*
Chief, Department Engineering Division

John J. Carter Date *4/5/99*
Director, Department of Planning and Zoning, MD

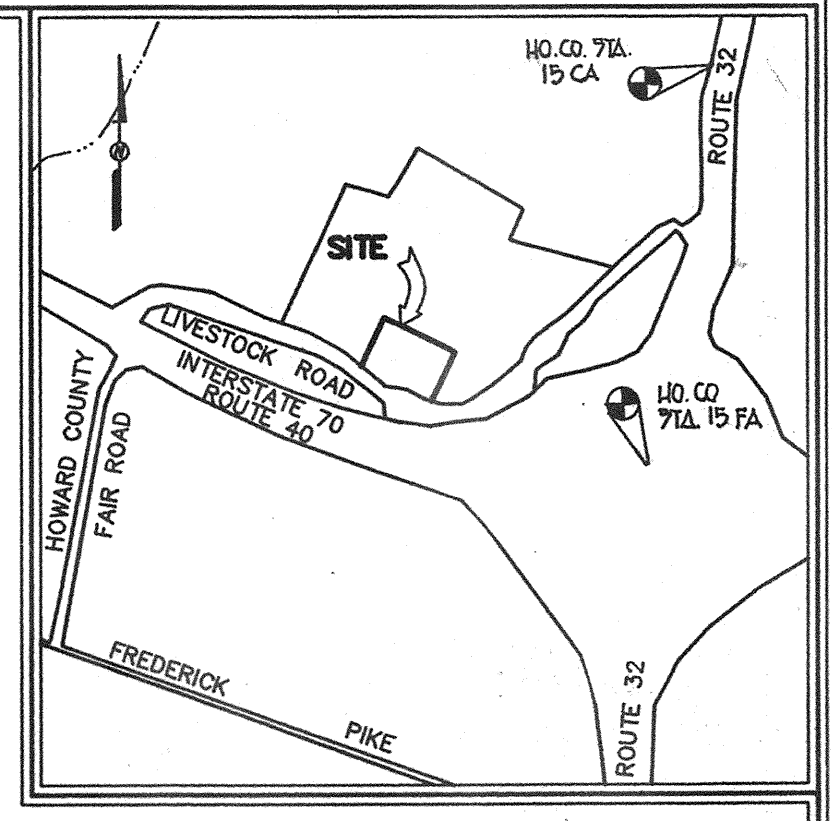
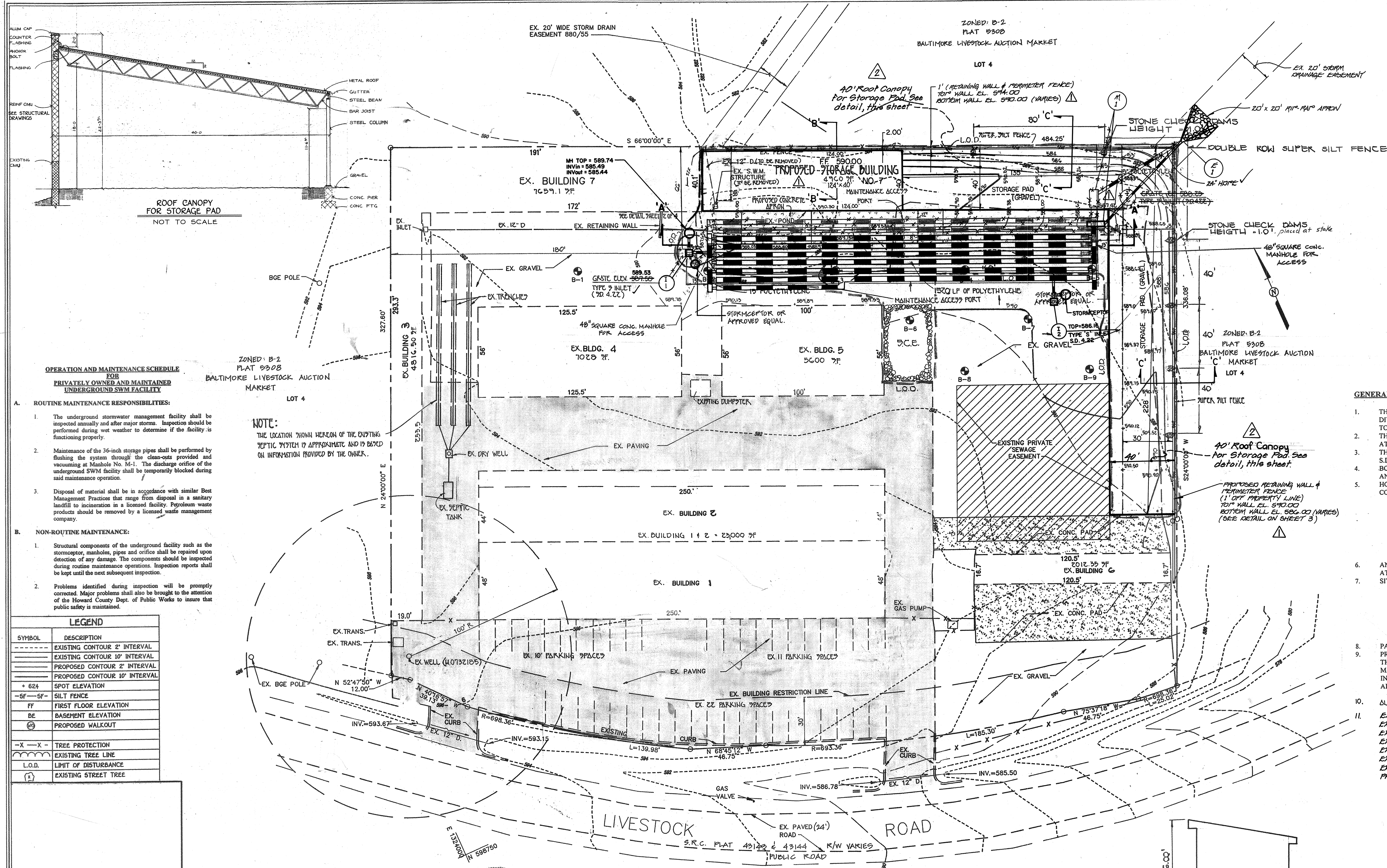
PROJECT		SECTION/AREA	LOT NO.
GTW'S WAVERLY WOODS		6	70-79, 81-97
PLAT	BLOCK NO.	ZONE	TAX/ZONE
13913-13914	6	RSC	16
WATER CODE		SEWER CODE	ELEC. DIST.
H-05		5993000	THRD
CENSUS TR.		6030	

TAX MAP No: 16 PARCEL: 20
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: NOVEMBER, 1998
SHEET 3 OF 4

12-1-99 ADD HOUSE FOOTPRINT FOR LOT 90

SITE DEVELOPMENT PLAN
NOTES AND DETAILS
LOTS 70-79, 81-97
GTW'S WAVERLY WOODS
SECTION 6

SDP 99-58



VICINITY
SCALE: 1"=1200'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND SWM FACILITY

- A. ROUTINE MAINTENANCE RESPONSIBILITIES:**
- The underground stormwater management facility shall be inspected annually and after major storms. Inspection should be performed during wet weather to determine if the facility is functioning properly.
 - Maintenance of the 36-inch storage pipes shall be performed by flushing the system through the clean-outs provided and vacuuming at Manhole No. M-1. The discharge orifice of the underground SWM facility shall be temporarily blocked during said maintenance operation.
 - Disposal of material shall be in accordance with similar Best Management Practices that range from disposal in a sanitary landfill to incineration in a licensed facility. Petroleum waste products should be removed by a licensed waste management company.
- B. NON-ROUTINE MAINTENANCE:**
- Structural components of the underground facility such as the stormceptor, manholes, pipes and orifice shall be repaired upon detection of any damage. The components should be inspected during routine maintenance operations. Inspection reports shall be kept until the next subsequent inspection.
 - Problems identified during inspection will be promptly corrected. Major problems shall also be brought to the attention of the Howard County Dept. of Public Works to insure that public safety is maintained.

NOTE:
THE LOCATION SHOWN HEREON OF THE EXISTING SEPTIC SYSTEM IS APPROXIMATE AND IS BASED ON INFORMATION PROVIDED BY THE OWNER.

LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 624	SPOT ELEVATION
-SF--SF-	SILT FENCE
FF	FIRST FLOOR ELEVATION
BE	BASEMENT ELEVATION
⊕	PROPOSED WALKOUT
-X-X-	TREE PROTECTION
---	EXISTING TREE LINE
L.O.D.	LIMIT OF DISTURBANCE
(T)	EXISTING STREET TREE

No.	REVISION	DATE
1	SHIFTED PROP. BLDG. NO. 7, ADDED RETAINING WALL & MOVED E-1 OUTFALL	12-30-98
2	Added roof canopy for storage pad	10-19-04



ADDRESS CHART

PARCEL	STREET ADDRESS
3727	12750 LIVESTOCK ROAD

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Reviewed for HOWARD SCD and meets Technical Requirements.
U.S.D.A.-Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard SCD

OWNER / DEVELOPER
O'DONNELL & COMPANY
4602 SHEPPARD LANE
ELLICOTT CITY, MARYLAND 21042

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Development
Chief, Development Engineering Division

SUBDIVISION	PROPERTY	SECTION/AREA	LOT NO.		
530B	PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.	15	3		
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CE/STUS TR.
530B	314	B-2	15	3 rd	C030
WATER CODE	SEWER CODE				

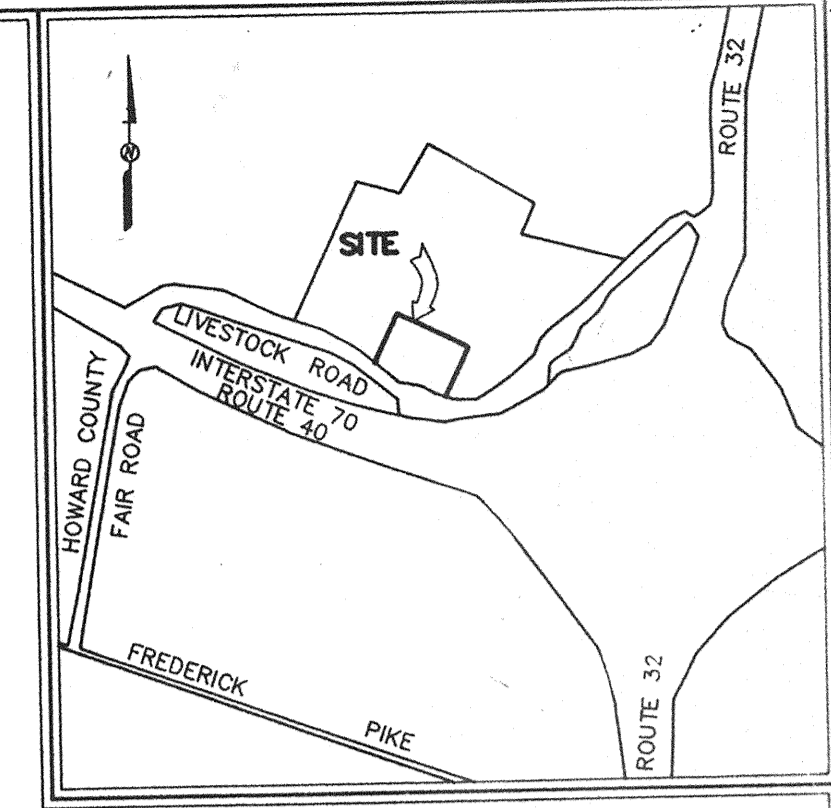
- GENERAL NOTES**
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK. THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: S.D.P. 77-44, S.D.P. 83-223, S.D.P. 85-40, S.D.P. 85-135 AND F 05-06.
 - BOUNDARY AND TOPOGRAPHY SURVEY PERFORMED BY SHANABERGER AND LANE, INC. ON OR ABOUT FEBRUARY, 1996.
 - HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:
HOWARD COUNTY MONUMENT 15CA
N 598862.673 ELEVATION: 516.15
E 1325913.765
HOWARD COUNTY MONUMENT 15FA
N 595906.984 ELEVATION 486.95
E 1325627.673
 - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - SITE ANALYSIS DATA:
A. TOTAL PROJECT AREA: 4.00 AC.±
B. AREA OF PLAN SUBMISSION: 0.71±
C. LIMIT OF DISTURBED AREA: 0.71±
D. PRESENT ZONING: B-2
E. PROPOSED USE FOR SITE AND STRUCTURES: RETAIL SALES AND STORAGE OF CONSTRUCTION MATERIALS.
 - PARKING REQUIREMENTS: EXISTING PARKING SPACES: 43 (REF. S.D.P. 87-40)
 - PROPOSED STORAGE BUILDINGS: 4,960 SQ.FT.
THE PROPOSED STORAGE BUILDING IS FOR STORAGE OF CONSTRUCTION MATERIALS. THERE WILL NOT BE ANY RETAIL SALES FLOOR OR OFFICES IN THIS AREA. ALL PARKING REQUIREMENTS WHERE MET ON PREVIOUSLY APPROVED SITE DEVELOPMENT PLANS.
 - ALL ROOF TOPS WILL TIE IN TO THE PROPOSED UNDERGROUND SWM FACILITY.
EX. BUILDING 1 = 12,000 SQ. FT.
EX. BUILDING 2 = 11,000 SQ. FT.
EX. BUILDING 3 = 4,810.50 SQ. FT.
EX. BUILDING 4 = 7,028 SQ. FT.
EX. BUILDING 5 = 5,600 SQ. FT.
EX. BUILDING 6 = 2,012.35 SQ. FT.
EX. BUILDING 7 = 7,657.1 SQ. FT.
PROPOSED BLDG. 7 = 4,710 SQ. FT.

SHEET INDEX

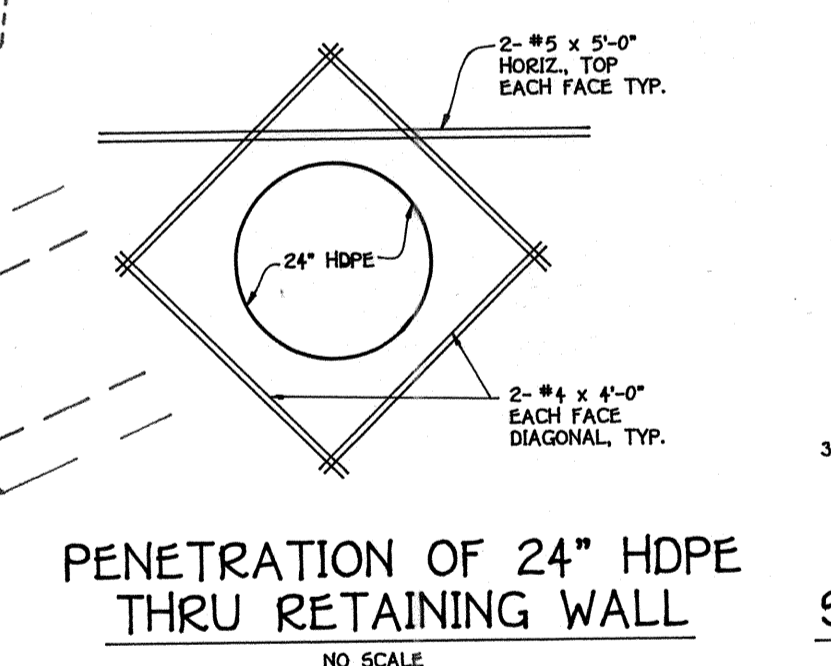
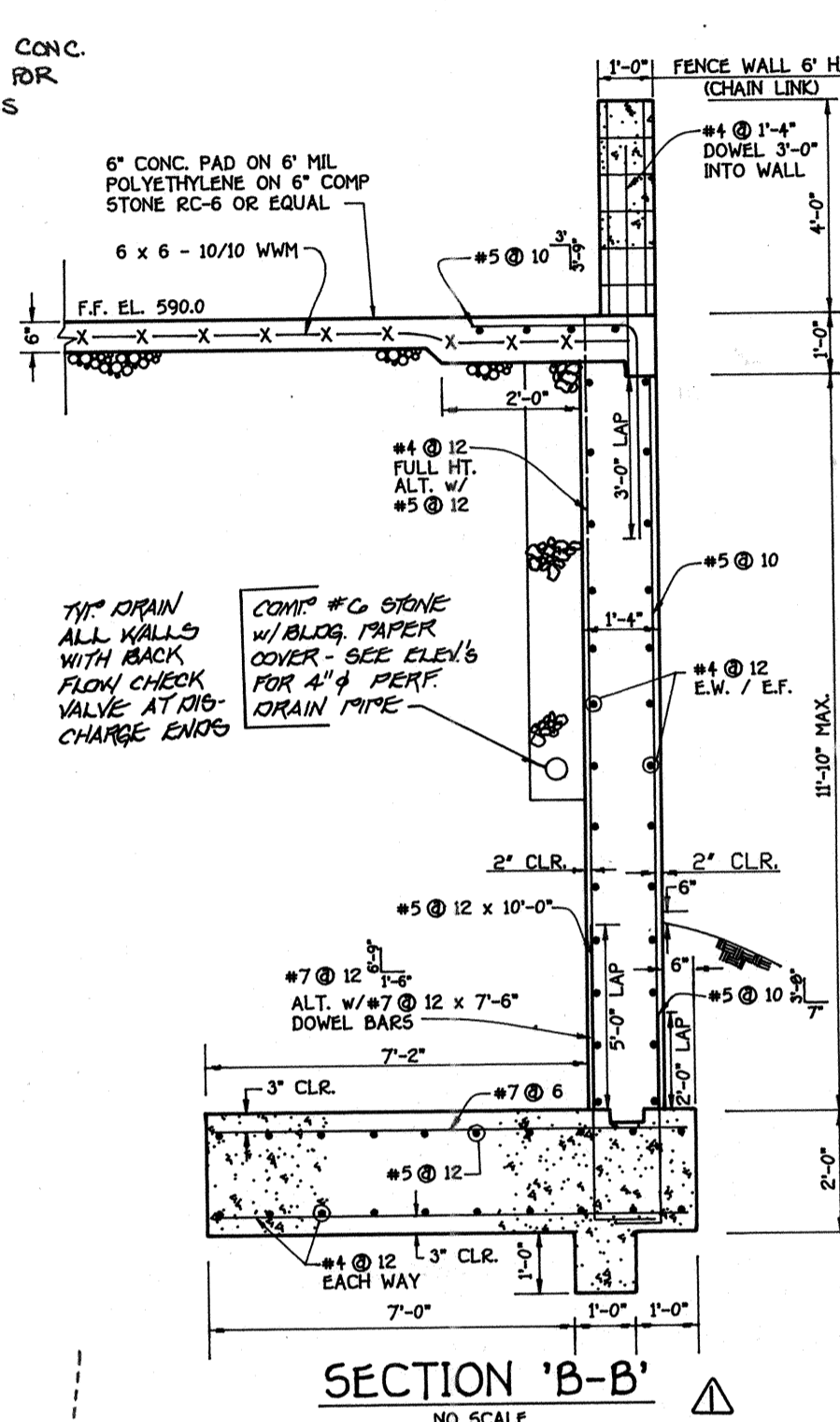
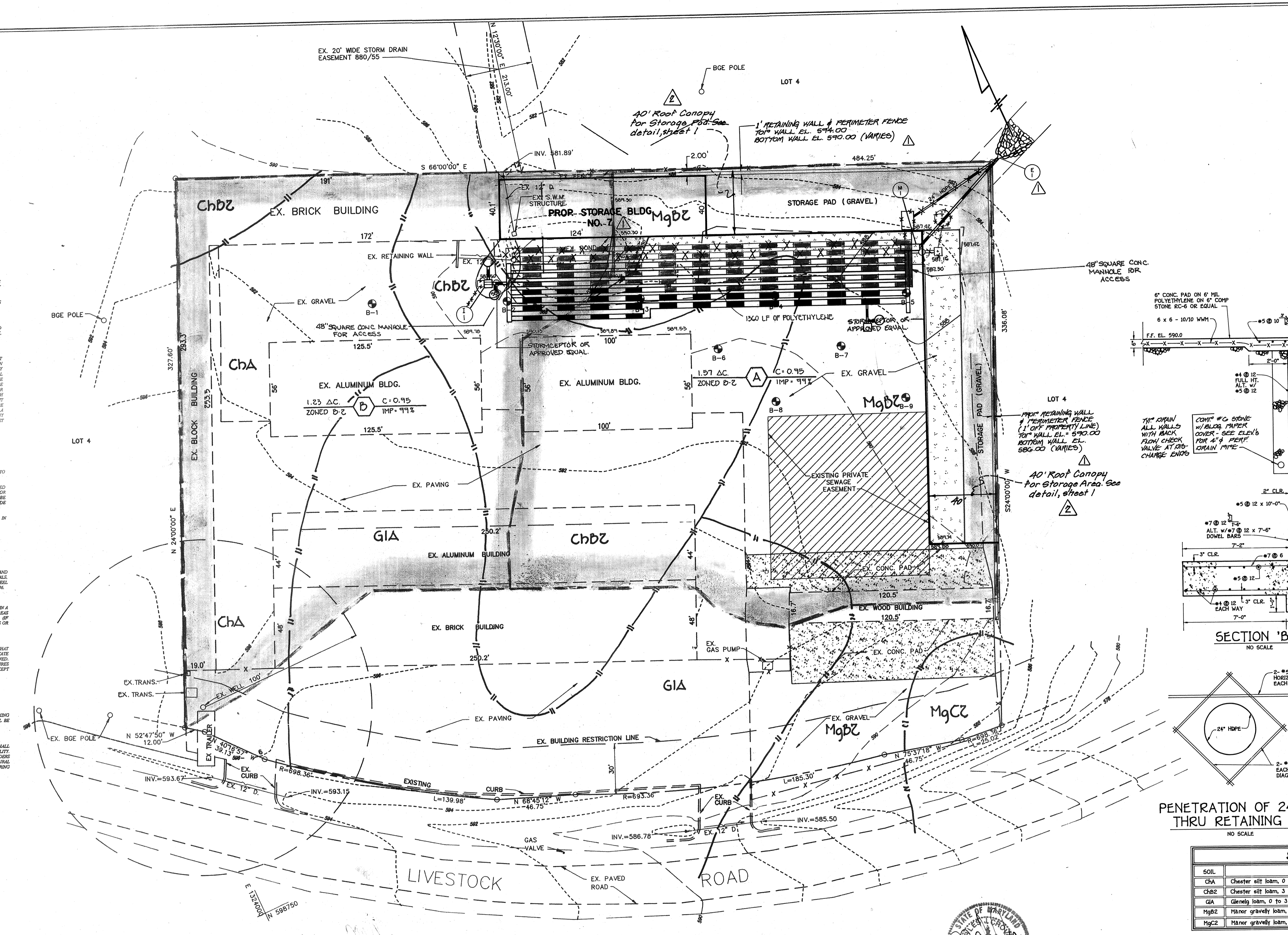
SHEET No.	DESCRIPTION
1 OF 4	PLAN VIEW
2 OF 4	NOTES & DETAILS
3 OF 4	POUITS & DRAINAGE AREA MAP
4 OF 4	DETAIL SHEET

SITE DEVELOPMENT PLAN
PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.
LOT 3
ZONED B-2
TAX MAP NO: 15 PARCEL: 229
THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE:
SHEET 1 OF 4

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 481 - 2885



VICINITY
SCALE: 1"=1200'



SOILS LEGEND		
SOIL	NAME	CLASS
ChA	Chester silt loam, 0 to 3 percent slopes	B
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded	B
GIA	Glenelg loam, 0 to 3 percent slopes	B
MgB2	Manor gravelly loam, 3 to 8 percent slopes, moderately eroded	B
MgC2	Manor gravelly loam, 8 to 15 percent slopes, moderately eroded	B

SOILS MAP &
DRAINAGE AREA MAP

SITE DEVELOPMENT PLAN

No.	REVISION	DATE
1	SHIFTED PROP. BLDG. NO. 7, ADDED RETAINING WALL & MOVED E-1 OUTFALL	12-30-98
2	Added Root Canopy for Storage Pad	10-19-02

APPROVED FOR PRIVATE WATER AND SEWER SYSTEM
Joyce M. Boyd
 HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 9/29/98

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature]
 DATE: 9/19/98

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
[Signature]
 DATE: 1-4-98

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A. - Natural Resources Conservation Service
 Date: 9/16/98

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Date: 9/16/98

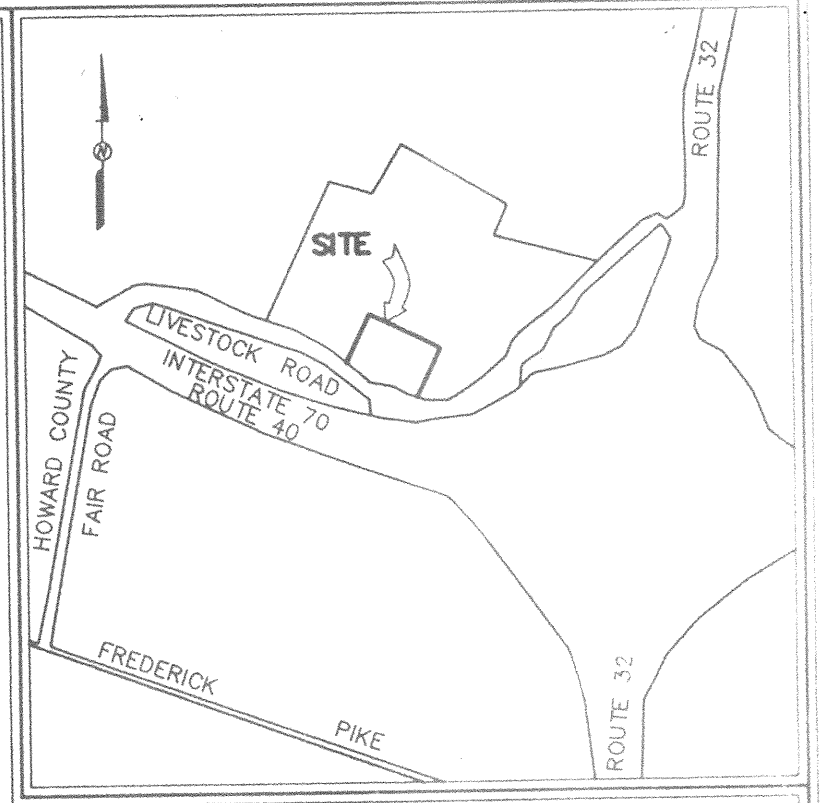
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
 Director - Department of Planning and Zoning
 Date: 9/29/98

[Signature]
 Chief, Division of Land Development
 Date: 9/14/98

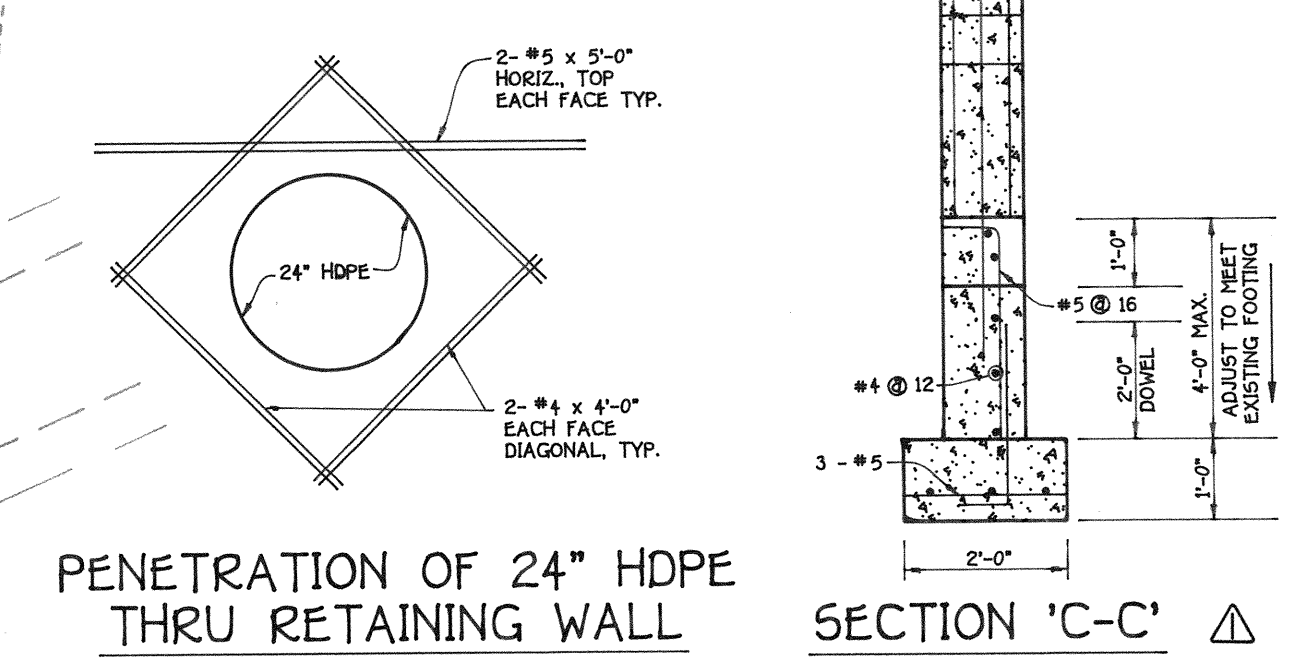
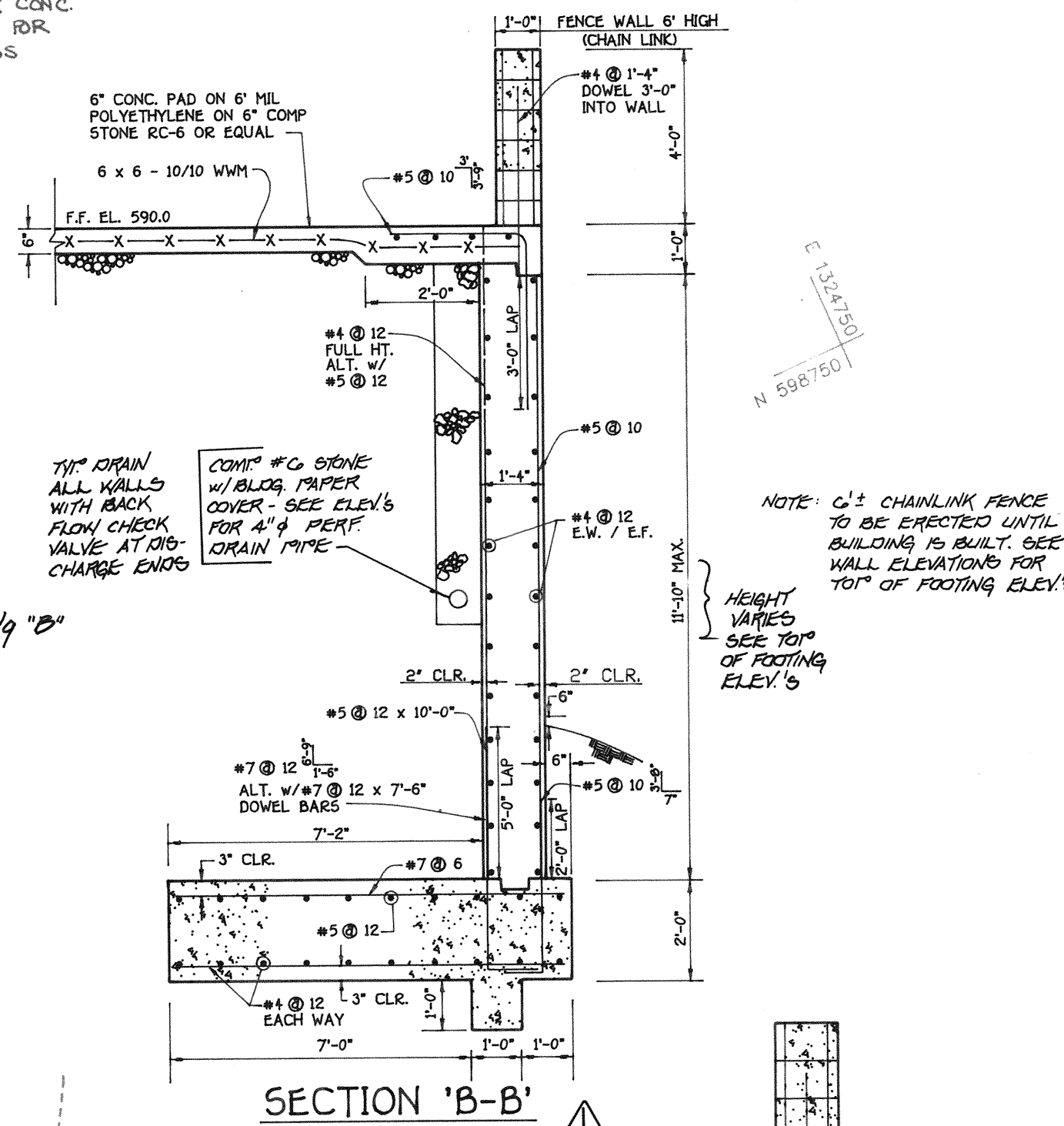
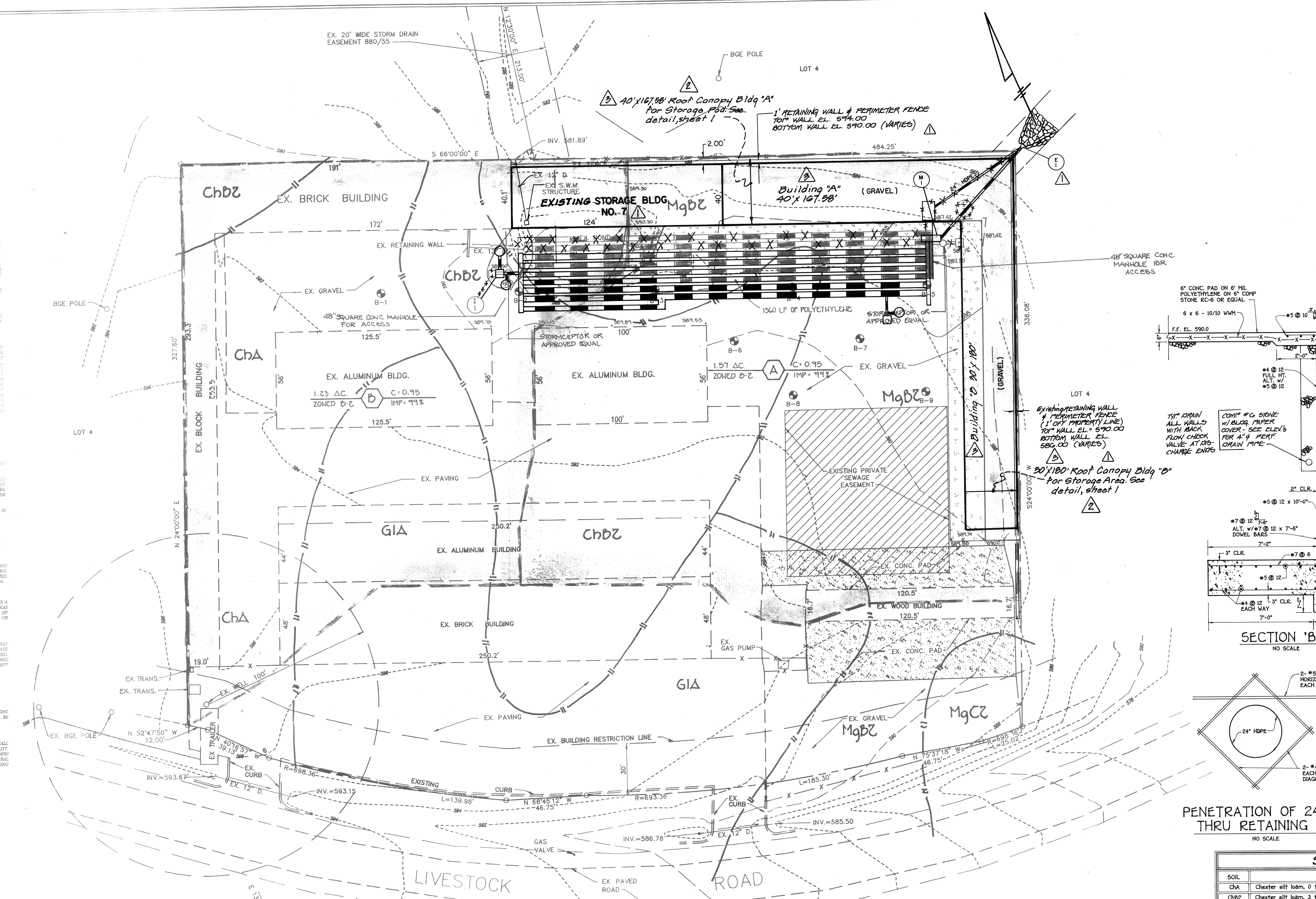
SUBDIVISION	PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.	SECTION/AREA	LOT NO.
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE
9305	314	D-2	15
WATER CODE	SEWER CODE	ELEC. DIST.	CENSUS TR.
		3	6030

PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.
 LOT 3
 ZONED B-2
 TAX MAP No: 15 PARCEL: 229
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1"=30' DATE:
 SHEET 3 OF 4 S.D.P. 96-

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10774 BALTIMORE NATIONAL PIKE
 ELKLOTT CITY, MARYLAND 21042
 (410) 461-2805



VICINITY
SCALE: 1"=1200'



SOILS LEGEND		
SOIL	NAME	CLASS
ChA	Chester silt loam, 0 to 3 percent slopes	B
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded	B
GIA	Glenely loam, 0 to 3 percent slopes	B
MgB2	Minor gravelly loam, 3 to 8 percent slopes, moderately eroded	B
MgC2	Minor gravelly loam, 8 to 15 percent slopes, moderately eroded	B

SOILS MAP &
DRAINAGE AREA MAP

SITE DEVELOPMENT PLAN

PROPERTY OF BALTIMORE LIVESTOCK
AUCTION MARKET INC.
LOT 3
ZONED B-2

TAX MAP NO. PARCEL: 229
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE:
SHEET 3 OF 4 S.D.P. 36

No.	REVISION	DATE
?	Added Root Canopy (Building 'A' & 'B') to Ex. Storage Pads	4-11-08
△	SHIFTED PROT. BLDG. NO. 7, ADDED RETAINING WALL & MOVED E-1 OUTFALL	12-30-98
△	Added Root Canopy for Storage Pad	10-18-04

APPROVED FOR PRIVATE WATER AND SEWER SYSTEM
Joyce M. Boyd per *J.M.* 9/29/98
HEALTH OFFICER, OHP
HOWARD COUNTY HEALTH DEPARTMENT

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Cheryl D. Smith 9/4/98
Signature of Engineer (Print name below signature) Date

DEVELOPER'S CERTIFICATE
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Cheryl D. Smith 4-4-98
Signature of Developer (Print name below signature) Date

Reviewed for HOWARD SCD and meets Technical Requirements.
U.S.D.A.-Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard SCD Date

OWNER / DEVELOPER
O'DONNELL COMPANY
4652 SHEPPARD LANE
ELLICOTT CITY, MARYLAND
21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Jan S. Hutto 3/29/98
Director, Department of Planning and Zoning Date

Cindy Hamilton 9/29/98
Chief, Division of Development Date

Chris D. ... 9/14/98
Chief, Development Engineering Division Date

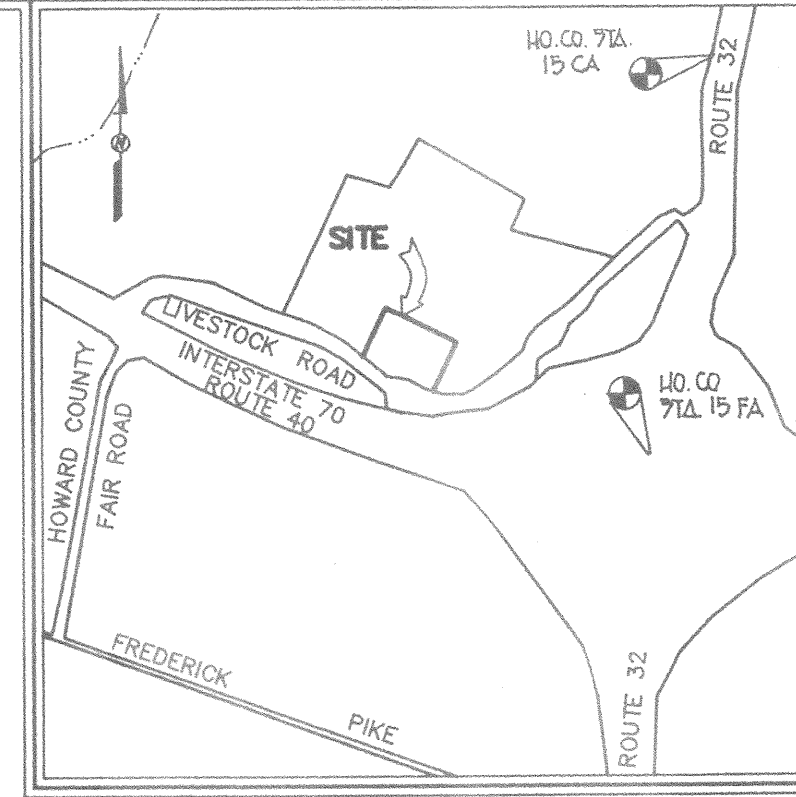
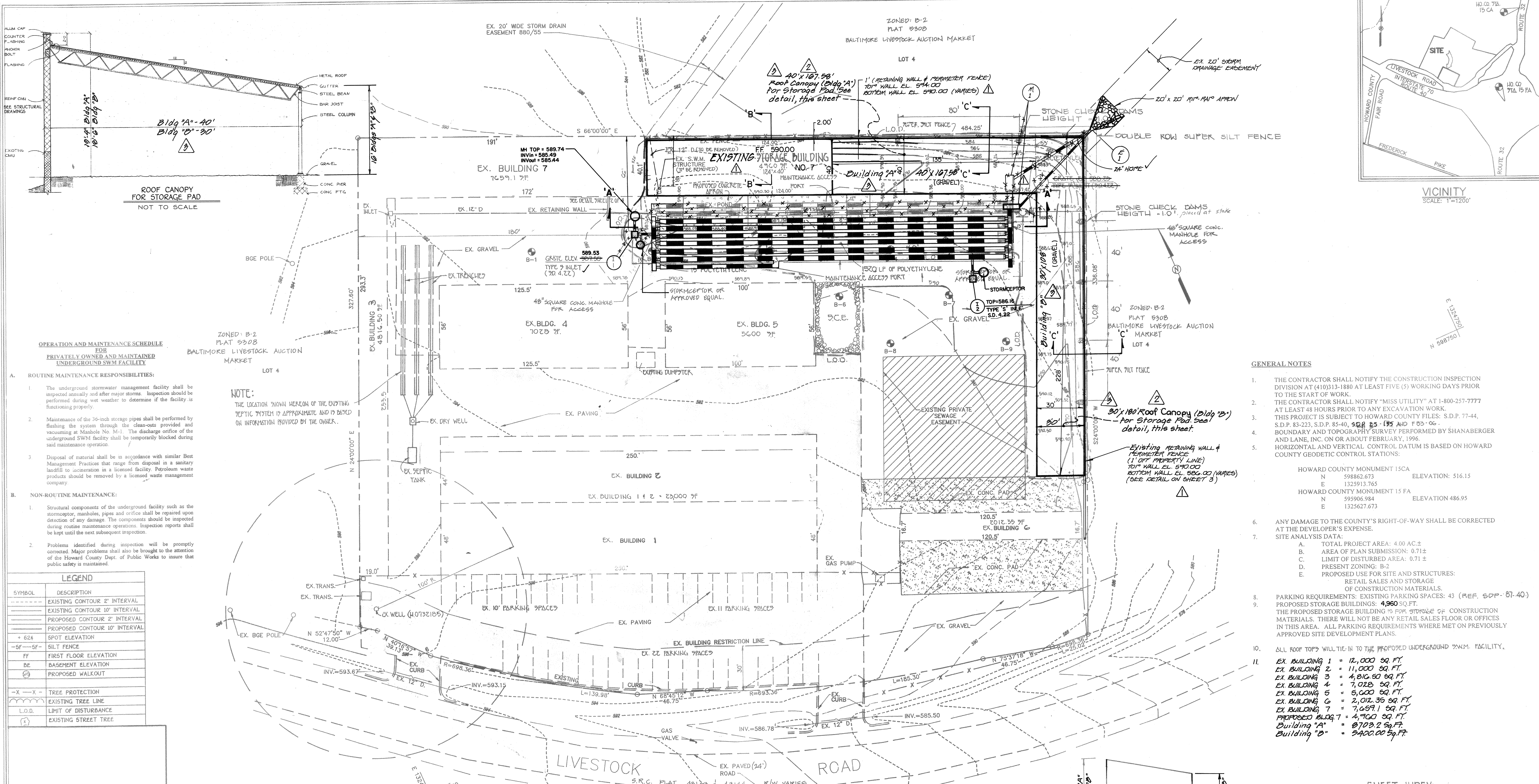
PLAT NO.	BLOCK NO.	TAX/ZONE	ELEC. DIST.	CENSUS TR.
9308	344	D-2	15	6030
WATER CODE	SEWER CODE			

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & ARCHITECTS
10272 BALTIMORE AVENUE, SUITE 100
ELICOTT CITY, MARYLAND 21043
(410) 481-3855

E:\C\442937\SDP11.WG

AS-BUILT (9-23-99)

S.D.P. 98-58



OPERATION AND MAINTENANCE SCHEDULE

PRIVATELY OWNED AND MAINTAINED UNDERGROUND SWM FACILITY

A. ROUTINE MAINTENANCE RESPONSIBILITIES:

- The underground stormwater management facility shall be inspected annually and after major storms. Inspection should be performed during wet weather to determine if the facility is functioning properly.
- Maintenance of the 36-inch storage pipes shall be performed by flushing the system through the clean-outs provided and vacuuming at Manhole No. M-1. The discharge orifice of the underground SWM facility shall be temporarily blocked during said maintenance operation.
- Disposal of material shall be in accordance with similar Best Management Practices that range from disposal in a sanitary landfill to incineration in a licensed facility. Petroleum waste products should be removed by a licensed waste management company.

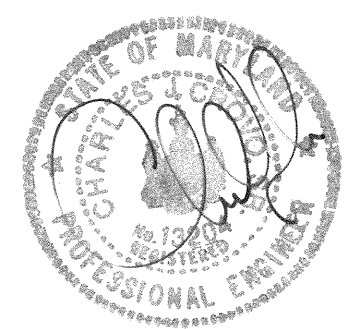
B. NON-ROUTINE MAINTENANCE:

- Structural components of the underground facility such as the stormceptor, manholes, pipes and orifices shall be repaired upon detection of any damage. The components should be inspected during routine maintenance operations. Inspection reports shall be kept until the next subsequent inspection.
- Problems identified during inspection will be promptly corrected. Major problems shall also be brought to the attention of the Howard County Dept. of Public Works to insure that public safety is maintained.

NOTE:
THE LOCATION SHOWN HEREON OF THE EXISTING SEPTIC SYSTEM IS APPROXIMATE AND IS BASED ON INFORMATION PROVIDED BY THE OWNER.

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 624	SPOT ELEVATION
-SF - SF-	SILT FENCE
FF	FIRST FLOOR ELEVATION
DE	BASEMENT ELEVATION
⊕	PROPOSED WALKOUT
-X -X-	TREE PROTECTION
---	EXISTING TREE LINE
L.O.D.	LIMIT OF DISTURBANCE
(T)	EXISTING STREET TREE

No.	REVISION	DATE
3	Added roof canopy (Bldg 1 & 2) to ex. Storage Pads, Rev. Bldg profile.	4-11-03
1	SHIFTED PROP. BLDG. No. 7, ADDED RETAINING WALL & MOVED E-1 OUTFALL	12-30-98
2	Added roof canopy for storage pad	10-19-04



ADDRESS CHART	
PARCEL	STREET ADDRESS
3/229	12950 LIVESTOCK ROAD

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer (Print name below signature) *James M. Boydell* DATE 9/1/98

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer (Print name below signature) *Charles J. O'Donnell* DATE 9-4-98

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

U.S.D.A.—Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Date: _____
 Signature: _____
 Howard SCD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

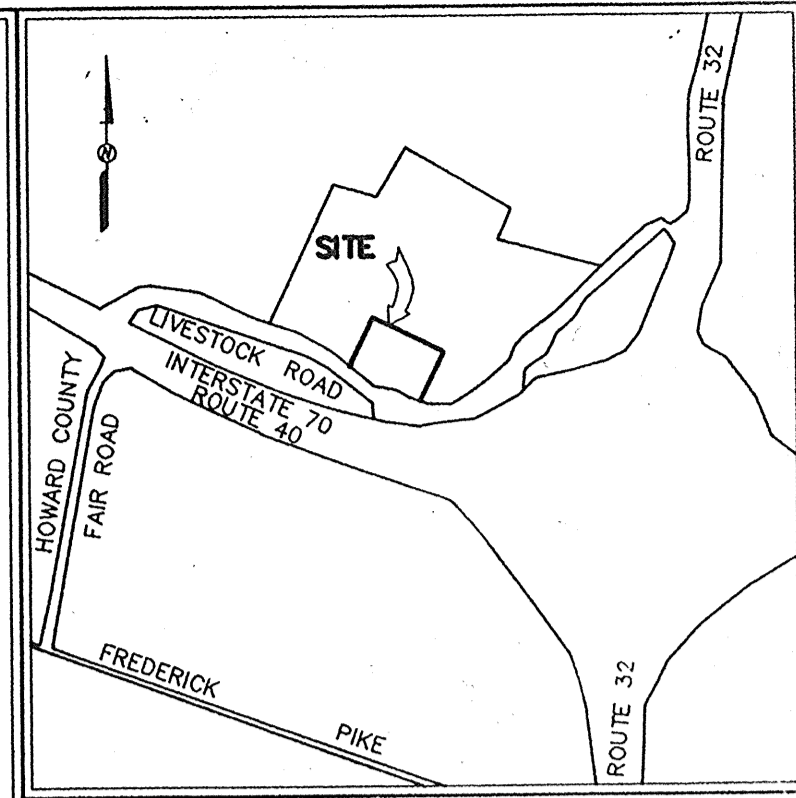
Director - Department of Planning and Zoning
 Chief, Planning and Development
 Chief, Development Engineering Division
 Date: 9/29/98
 Date: 9/29/98
 Date: 9/14/98

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CC BUS TR.
5300B	314	B-2	15	34	CO30

SITE DEVELOPMENT PLAN

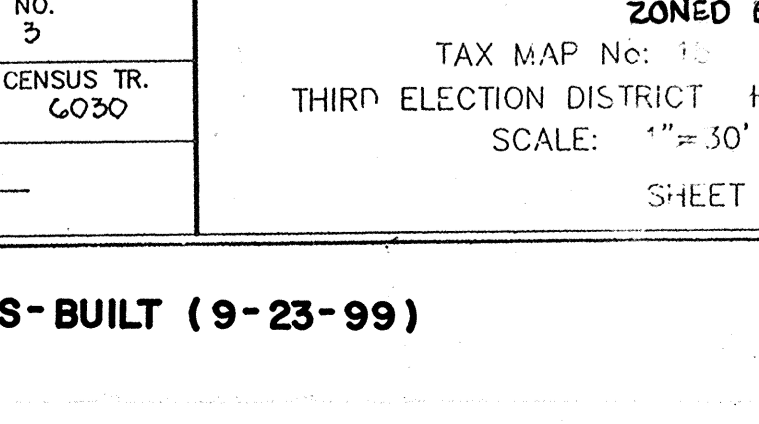
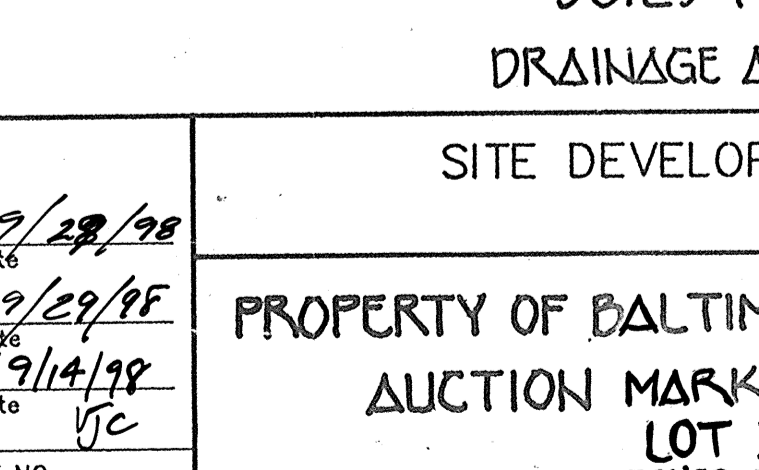
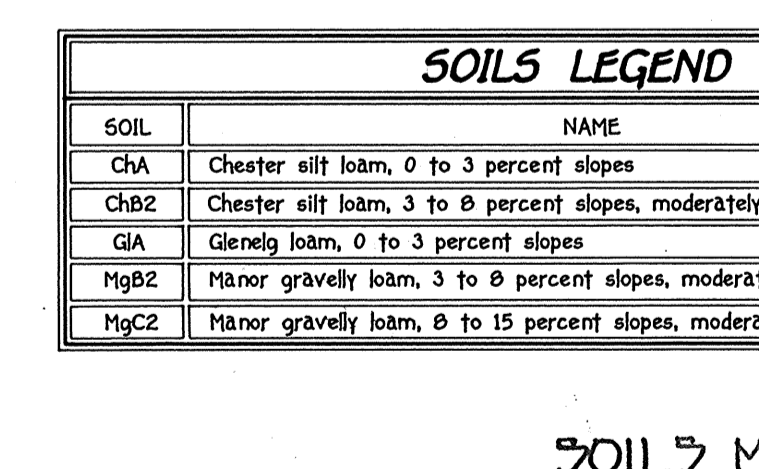
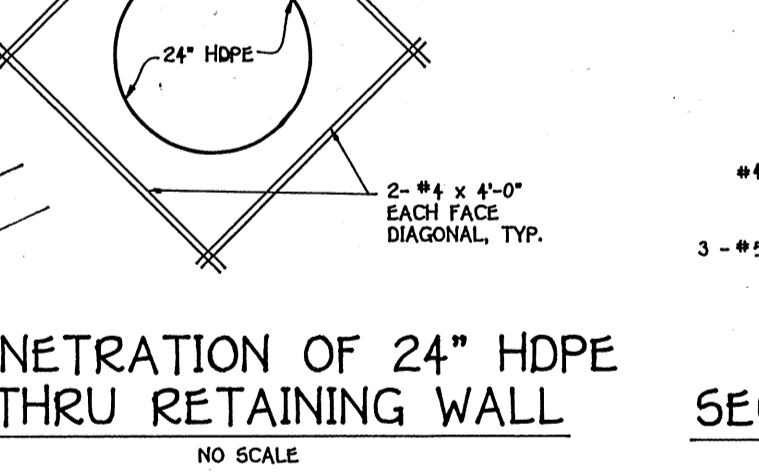
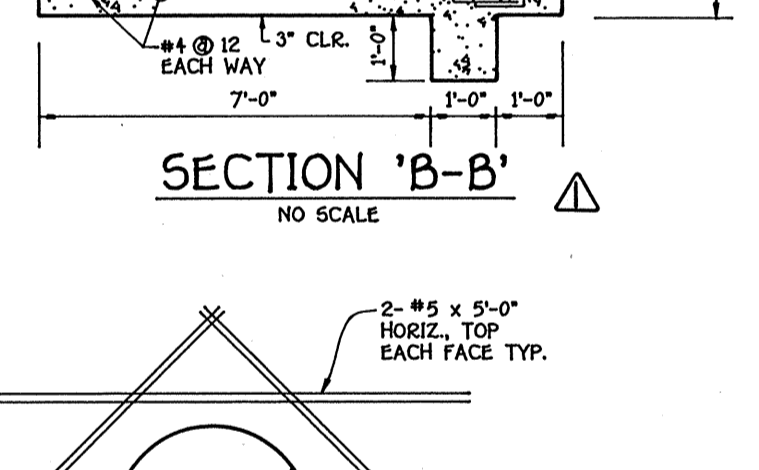
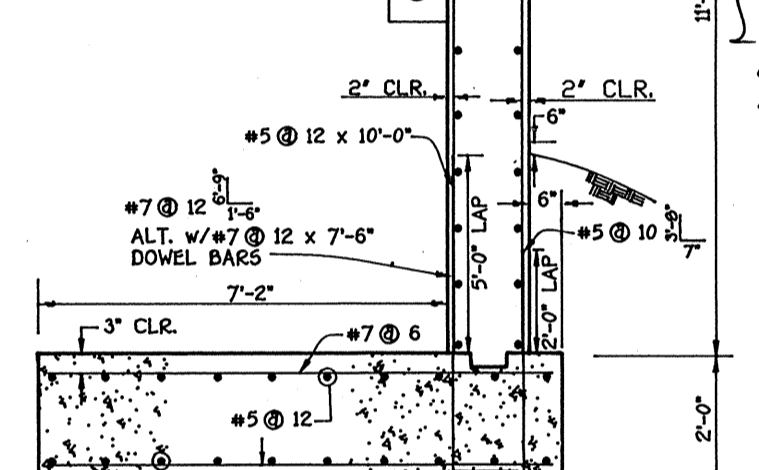
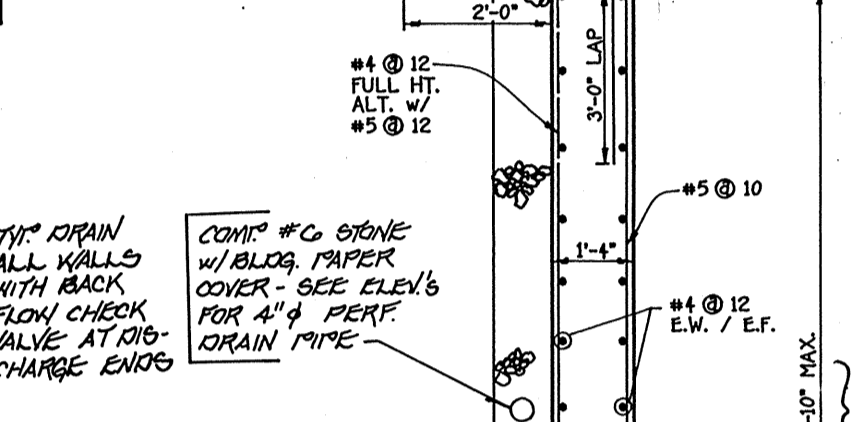
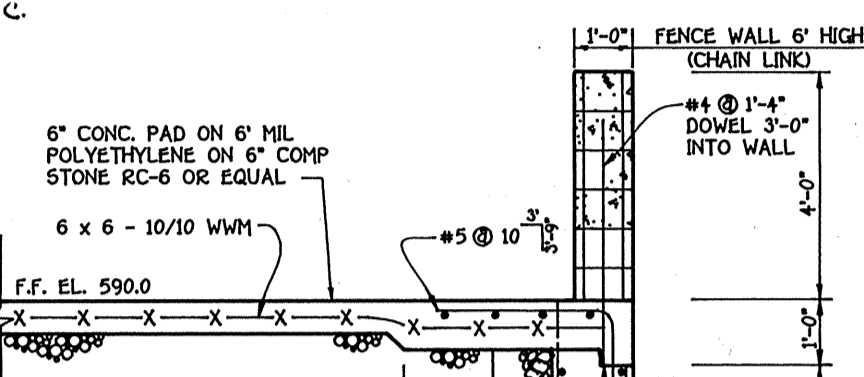
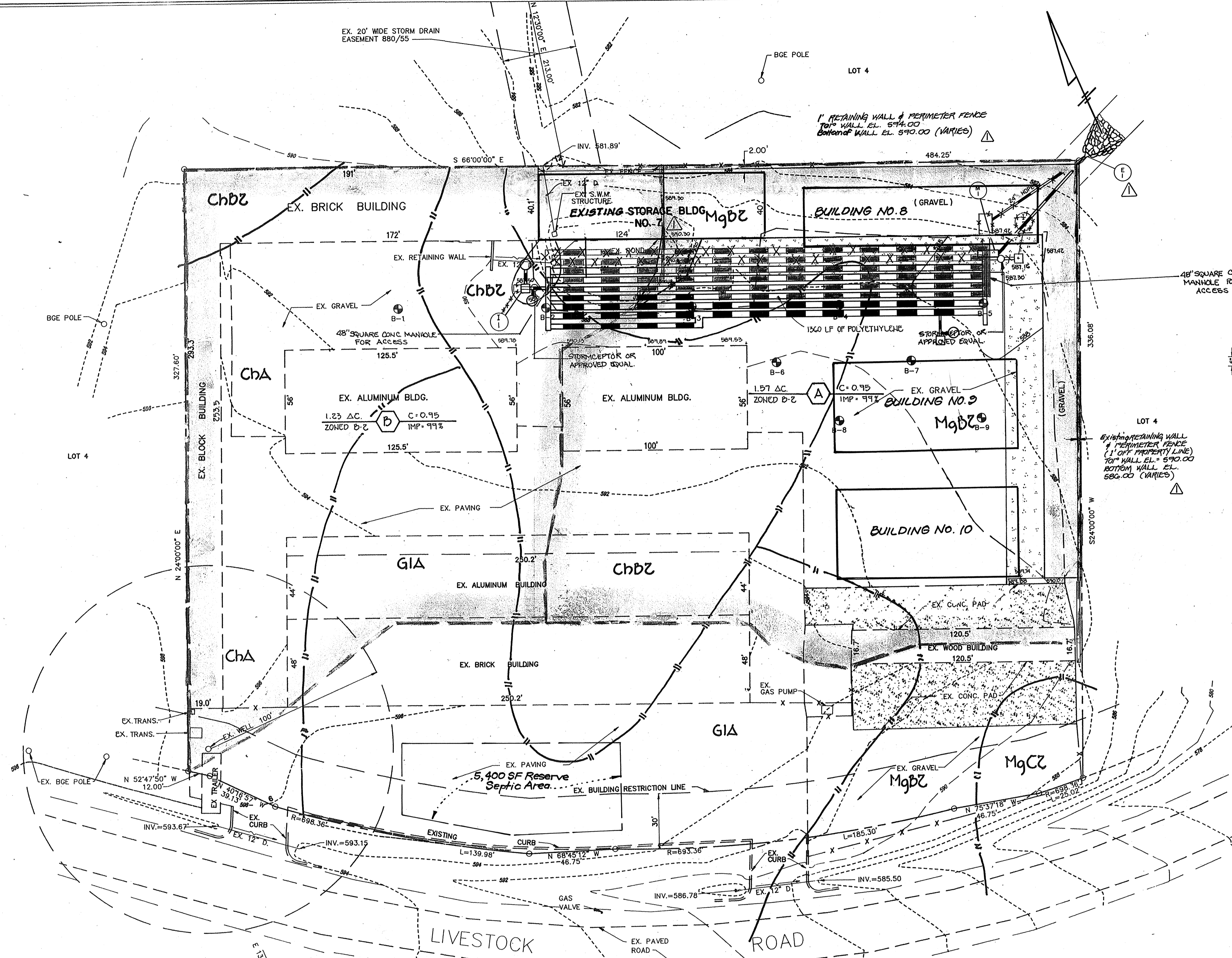
PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.
 LOT 3
 ZONED B-2
 TAX MAP NO: 15 PARCEL: 229
 THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1"=30' DATE: _____
 SHEET 1 OF 4

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2888



VICINITY
SCALE: 1"=1200'

- PRIVATE UNDERGROUND STORMWATER MANAGEMENT FACILITY CONSTRUCTION SPECIFICATIONS**
- I. SITE PREPARATION:**
 AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT AND STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STUFFED OF TOPSOIL. ALL TREES, VEGETATION, ROCKS AND OTHER OBSTRUCTIONAL MATERIAL SHALL BE REMOVED.
 AREAS TO BE COVERED BY THE POND OR RESERVOIR WILL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, RUBBISH AND OTHER OBSTRUCTIONAL MATERIAL UNLESS OTHERWISE DESIGNATED ON THE PLANS. THESE BRUSH AND STUMPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE.
 ALL CLEARED AND GRUBBED MATERIAL SHALL BE DEPOSITED OUTSIDE THE LIMITS OF THE POND AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.
- II. EARTHWORKS:**
 THE BACKFILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREA OR AREAS. IT SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, OVERSIZED STONES, FROZEN OR OTHER OBSTRUCTIONAL MATERIALS.
- III. STRUCTURAL BACKFILL:**
 BACKFILL MATERIAL SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADDITIONAL MATERIAL. THE FILL SHALL BE PLACED BY HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. CONTROL THE MOVEMENT OF THE HAULING EQUIPMENT OVER THE FILL SO THAT THE BOTTOM SURFACE OF BACKFILL IS EQUIVALENT TO 95% OF ASTM SPECIFICATION 1-99 OR EQUIVALENT ASTM SPECIFICATION. FILL MATERIAL MUST CONTAIN ENOUGH MOISTURE TO YIELD THE REQUIRED DENSITY OF COMPACTION FROM THE EQUIPMENT USED. AT NO TIME DURING THE BACKFILL OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET HORIZONTAL TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE UNLESS THERE IS A COMPACTED FILL OF TWO FEET OR MORE OVER THE STRUCTURE OR PIPE SYSTEM.
- IV. PIPES/CONDUITS:**
 ALL PIPES SHALL BE CIRCULAR IN CROSS SECTION.
 A. CORRUGATED POLYETHYLENE PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR HDPE PIPE:
 1. MATERIALS - HDPE PIPE - TYPE "S" SHALL CONFORM TO ASTM DESIGNATION M-2439 MATERIAL SPECIFICATIONS.
 2. BEDDING - THE PIPE SHALL BE FINELY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE SAND COMPACTED TO PROVIDE ADEQUATE SUPPORT.
 3. JOINTS AND CONNECTIONS SHALL BE COMPLETELY WATER TIGHT AND IN CONFORMANCE WITH ASTM M-2439 SPECIFICATIONS.
 4. BACKFILLING SHALL CONFORM TO "STRUCTURAL BACKFILL".
 5. OTHER DETAILS SHALL BE SHOWN ON THE DRAWINGS.
- V. CONCRETE:**
 CONCRETE MUST MEET MINIMUM REQUIREMENTS SET FORTH IN THE MARYLAND STATE HIGHWAY ADMIN. STD. SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS. SECTION 516 PORTLAND CEMENT CONCRETE MIXTURES WITH REINFORCING STEEL MUST BE ASTM A615, GRADE 60, STEEL ANGLES AND ANCHOR BARS MUST BE ASTM A36.
- VI. STABILIZATION:**
 ALL BORROW AREAS SHALL BE GRADED TO PROVIDE PROPER DRAINAGE AND LEFT IN A STABLE CONDITION. ALL EXPOSED SURFACES OF THE SOIL AND BORROW AREAS SHALL BE STABILIZED BY SEEDING, LIMING, FERTILIZING AND MOWING AS REQUIRED IN ACCORDANCE WITH THE VEGETATIVE TREATMENT SPECIFICATIONS OR ASSUMED ON THESE PLANS.
- VII. EROSION AND SEDIMENT CONTROL:**
 CONSTRUCTION OPERATIONS WILL BE CARRIED OUT IN SUCH A MANNER THAT EROSION WILL BE CONTROLLED AND WATER AND AIR POLLUTION MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT WILL BE FOLLOWED. CONSTRUCTION PLANS SHALL DETAIL EROSION AND SEDIMENT CONTROL MEASURES TO BE EMPLOYED DURING THE CONSTRUCTION PROCESS. ALL MEASURES TO BE KEPT OUT OF THE UNDERGROUND FACILITY DURING AND AFTER CONSTRUCTION.
- VIII. TIMING:**
 SEE SEQUENCE OF CONSTRUCTION OPERATION ON THESE PLANS.
- IX. CONTAMINATION:**
 CARE SHALL BE EXERCISED TO PREVENT NATURAL OR FILL SOILS FROM INTERMIXING WITH THE STONE AGGREGATE. ALL CONTAMINATED STONE AGGREGATE SHALL BE REMOVED AND REPLACED WITH UNCONTAMINATED STONE AGGREGATE.
- X. TRENCH PREPARATION:**
 EXCAVATE THE TRENCH TO THE DESIGN DIMENSIONS. EXCAVATED MATERIALS SHALL BE PLACED AWAY FROM THE TRENCH SIDES TO ENHANCE TRENCH WALL STABILITY. LARGE TREE ROOTS MUST BE TRIMMED FLUSH WITH THE TRENCH SIDES. Boulders OR OTHER OBSTACLES SHALL BE REMOVED FROM THE TRENCH WALLS AND NATURAL SOILS SHALL BE PLACED IN THESE VOIDS AT THE MOST CONVENIENT TIME DURING CONSTRUCTION TO ENSURE FABRIC CONFORMITY TO THE EXCAVATION SIDES.



No.	REVISION	DATE
4	Deleted Bldg's A and B, Add Bldg's. 8 & 10, Relocated Reserve Septic Area	6-29-05
3	Added Root Canopy (Building "A" & "B") to Ex. Storage Pods	4-11-06
2	SHIFTED FROM BLDG. No. 7, ADDED RETAINING WALL & MOVED E-1 OUTFALL	12-30-08
1	Added Root Canopy for Storage Pod	10-15-04

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer (Print name below signature) *James M. Boyd* Date *9/14/98*

DEVELOPER'S CERTIFICATE
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 Signature of Developer (Print name below signature) *James M. Boyd* Date *1-4-98*

Reviewed for HOWARD SCD and meets Technical Requirements. Date *9/14/98*
 U.S.D.A.-Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature of Howard SCD *[Signature]* Date *9/14/98*

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning *[Signature]* Date *9/29/98*
 Chief, Division of Land Development *[Signature]* Date *9/29/98*
 Chief, Development Engineering Division *[Signature]* Date *9/14/98*

OWNER/DEVELOPER
 O'DONNELL COMPANY
 4692 SHEPPARD LANE
 ELLICOTT CITY, MARYLAND
 21043

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
9300	3+4	D-2	15	3 rd	6030

SITE DEVELOPMENT PLAN
 PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.
 LOT 3
 ZONED B-2
 TAX MAP No. 1 PARCEL: 229
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1"=30' DATE:
 SHEET 3 OF 4 S.D.P. 96-

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & SURVEYORS
 8000 SQUARE CREEK PARK 10772 BENTLEY NATIONAL FORE
 BLOOMING GARDEN, MARYLAND 21043
 (410) 481-2025

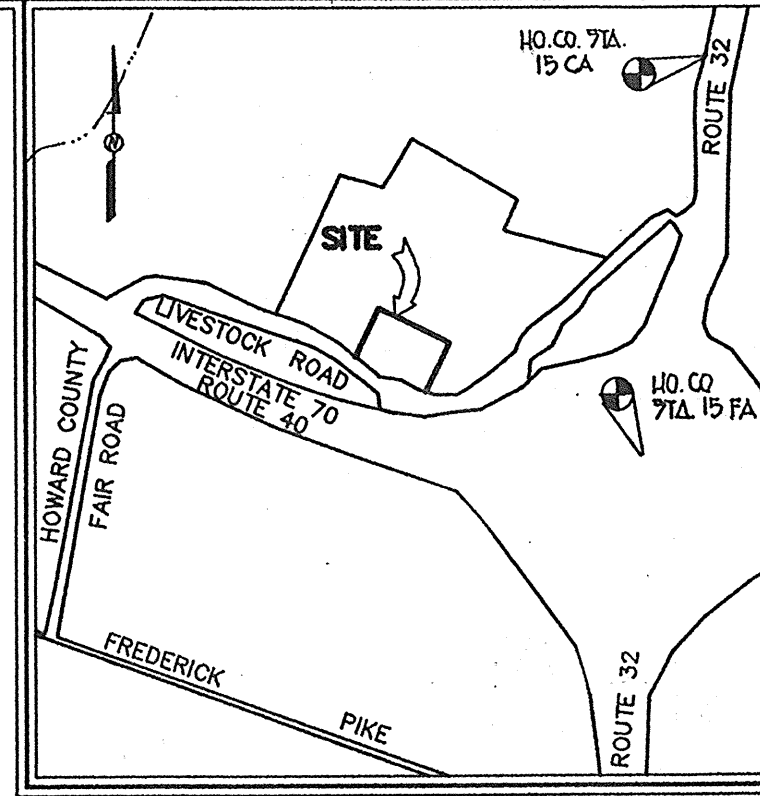
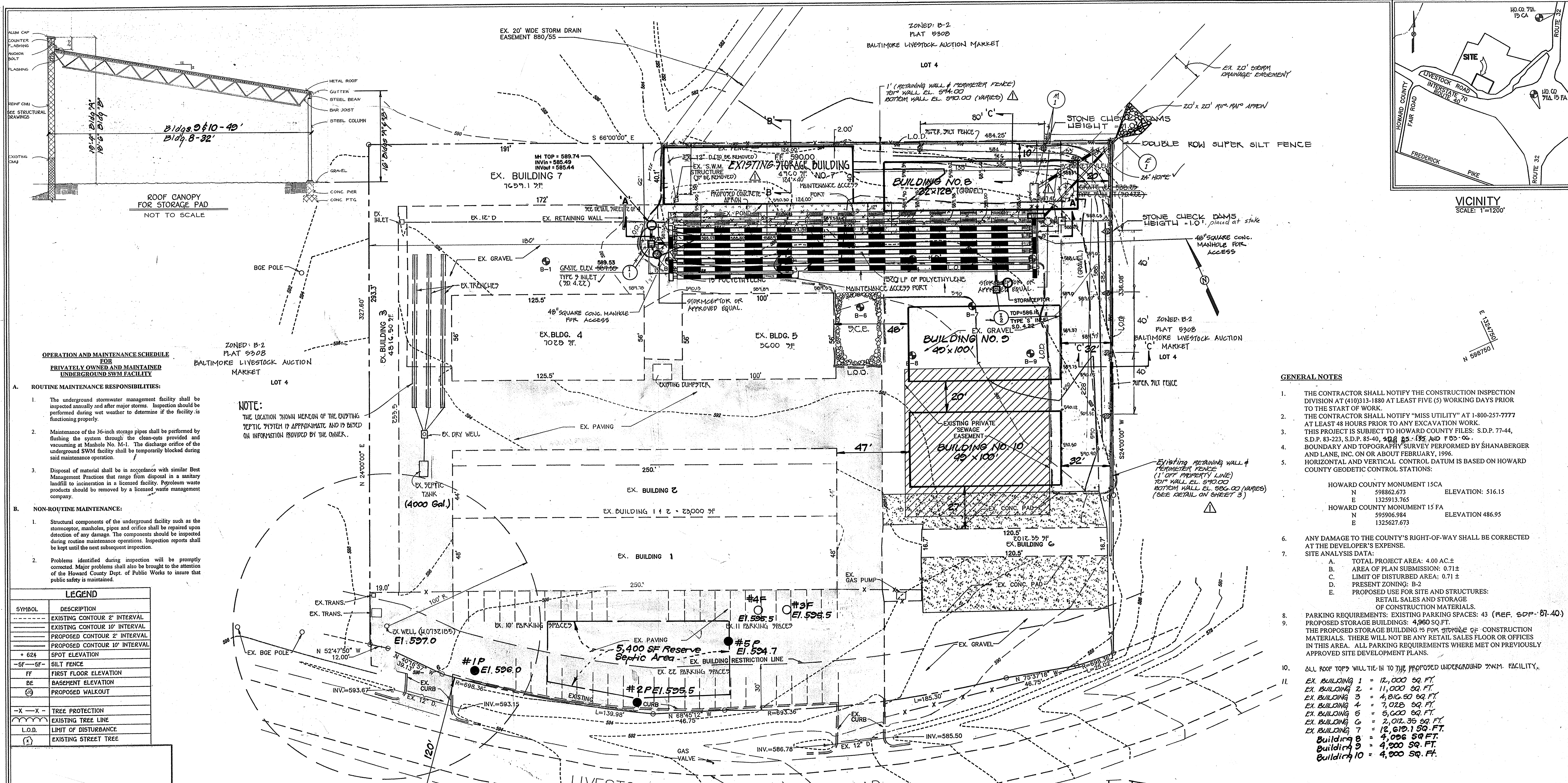
APPROVED FOR PRIVATE WATER AND SEWER SYSTEM
 James M. Boyd Health Officer 9/29/98
 HOWARD COUNTY HEALTH DEPARTMENT
 Approved for the Relocation of the Reserve Septic Area
 Robert J. Wain Health Officer 7/25/05
 HOWARD COUNTY HEALTH DEPARTMENT



SOILS LEGEND

SOIL	NAME	CLASS
ChA	Chester silt loam, 0 to 3 percent slopes	B
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded	B
GIA	Glenlyon loam, 0 to 3 percent slopes	B
MgB2	Manor gravelly loam, 3 to 8 percent slopes, moderately eroded	B
MgC2	Manor gravelly loam, 8 to 15 percent slopes, moderately eroded	B

SOILS MAP & DRAINAGE AREA MAP



- GENERAL NOTES**
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: S.D.P. 77-44, S.D.P. 63-223, S.D.P. 85-40, S.D.P. 85-185 AND 183-06.
 - BOUNDARY AND TOPOGRAPHY SURVEY PERFORMED BY SHANABERGER AND LANE, INC. ON OR ABOUT FEBRUARY, 1996.
 - HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:

HOWARD COUNTY MONUMENT 15CA	N	598862.673	ELEVATION: 516.15
	E	1325913.765	
HOWARD COUNTY MONUMENT 15 FA	N	595906.984	ELEVATION 486.95
	E	1325627.673	
 - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - SITE ANALYSIS DATA:

A.	TOTAL PROJECT AREA: 4.00 AC ±
B.	AREA OF PLAN SUBMISSION: 0.71 ±
C.	LIMIT OF DISTURBED AREA: 0.71 ±
D.	PRESENT ZONING: B-2
E.	PROPOSED USE FOR SITE AND STRUCTURES: RETAIL SALES AND STORAGE OF CONSTRUCTION MATERIALS.
 - PARKING REQUIREMENTS: EXISTING PARKING SPACES: 43 (REF. S.O.P. 87-40)
 - PROPOSED STORAGE BUILDING IS FOR STORAGE OF CONSTRUCTION MATERIALS. THERE WILL NOT BE ANY RETAIL SALES FLOOR OR OFFICES IN THIS AREA. ALL PARKING REQUIREMENTS WHERE MET ON PREVIOUSLY APPROVED SITE DEVELOPMENT PLANS.
 - ALL ROOF TOPS WILL TIE-IN TO THE PROPOSED UNDERGROUND STORM FACILITY.
 - | | |
|----------------|---------------------|
| EX. BUILDING 1 | = 12,000 SQ. FT. |
| EX. BUILDING 2 | = 11,000 SQ. FT. |
| EX. BUILDING 3 | = 4,810.50 SQ. FT. |
| EX. BUILDING 4 | = 7,025 SQ. FT. |
| EX. BUILDING 5 | = 5,000 SQ. FT. |
| EX. BUILDING 6 | = 2,012.35 SQ. FT. |
| EX. BUILDING 7 | = 12,619.15 SQ. FT. |
| Building 8 | = 4,096 SQ. FT. |
| Building 9 | = 4,200 SQ. FT. |
| Building 10 | = 4,200 SQ. FT. |

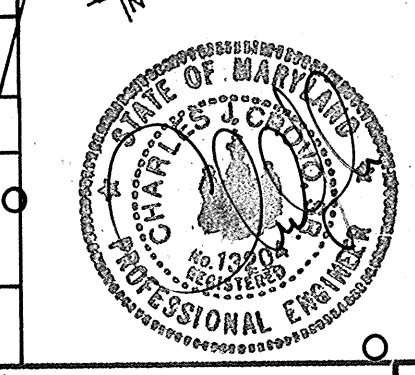
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 - Problems identified during inspection will be promptly corrected. Major problems shall also be brought to the attention of the Howard County Dept. of Public Works to insure that public safety is maintained.

LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 624	SPOT ELEVATION
-SF -SF-	SILT FENCE
FF	FIRST FLOOR ELEVATION
BE	BASEMENT ELEVATION
DE	PROPOSED WALKOUT
-X -X-	TREE PROTECTION
---	EXISTING TREE LINE
L.O.D.	LIMIT OF DISTURBANCE
(T)	EXISTING STREET TREE

4	Delete Revision No. 3	6-20-05
5	Revise Reserve Septic Area Location, Add Storage Buildings 8, 9 & 10	4-11-05
	Added roof canopy (Buildings 9 & 10) to Ex. Storage Pads, Rev. Bldg. profile.	
No.	REVISION	DATE
1	SHIFTED FROM BLDG. No. 7, ADDED RETAINING WALL & MOVED E-1 OUTFALL	12-30-78
2	Added roof canopy for storage pad	10-19-04



ADDRESS CHART

PARCEL	STREET ADDRESS
5/279	12750 LIVESTOCK ROAD

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer (Print name below signature) *James M. Boyd* Date *9/18/98*

DEVELOPER'S CERTIFICATE

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Signature of Developer (Print name below signature) *Erin* Date *9-4-98*

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service Date *9/24/98*

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD Date *9/24/98*

OWNER / DEVELOPER

O'DONNELL COMPANY
4652 SHEPARD LANE
ELICOTT CITY, MARYLAND
21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning Date *9/29/98*

Chief, Division of Land Development Date *9/29/98*

Chief, Development Engineering Division Date *9/14/98*

SUBDIVISION: PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
530B	314	B-2	15	3rd	6030

WATER CODE _____ SEWER CODE _____

SITE DEVELOPMENT PLAN

PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.

LOT 3

ZONED B-2

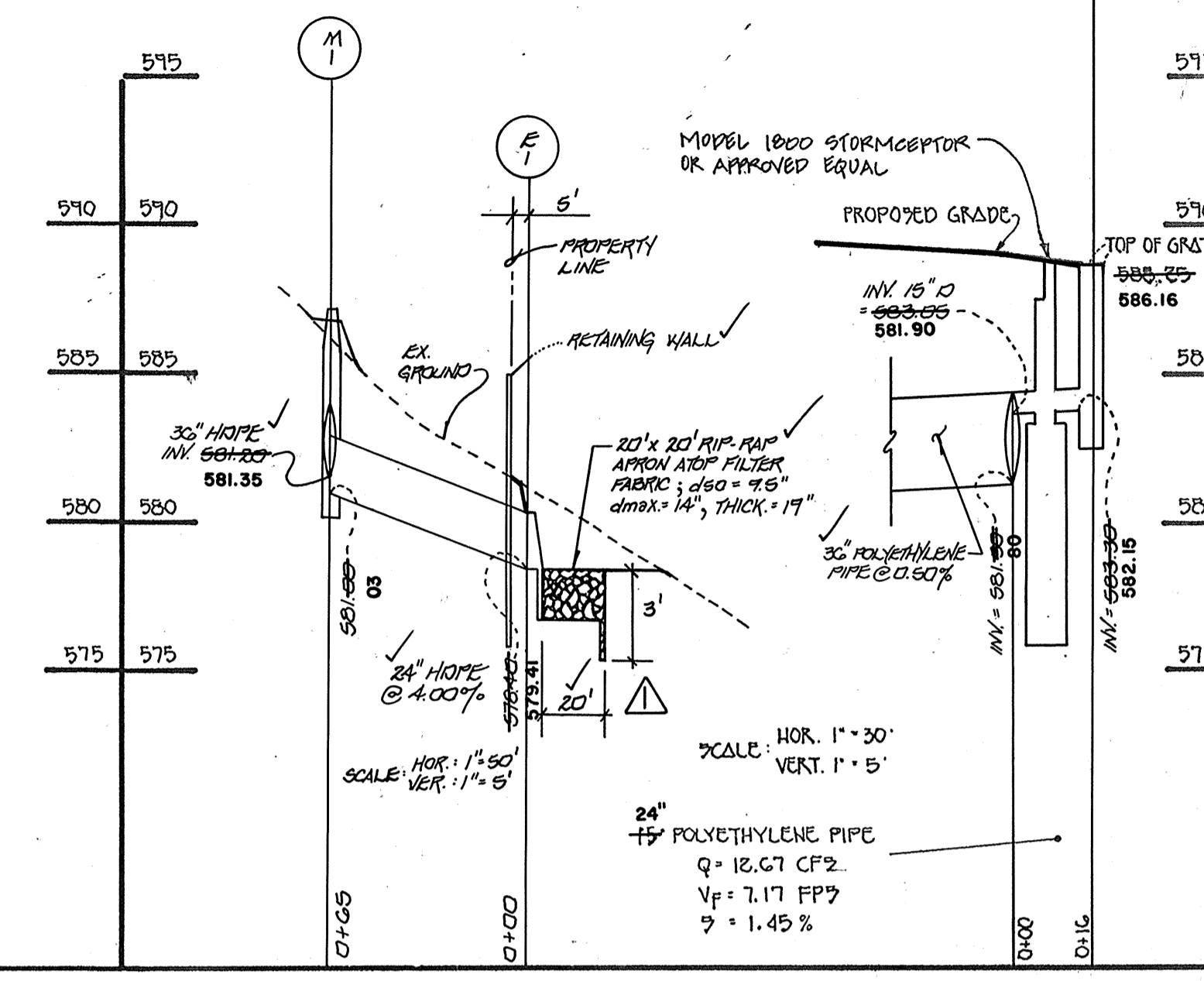
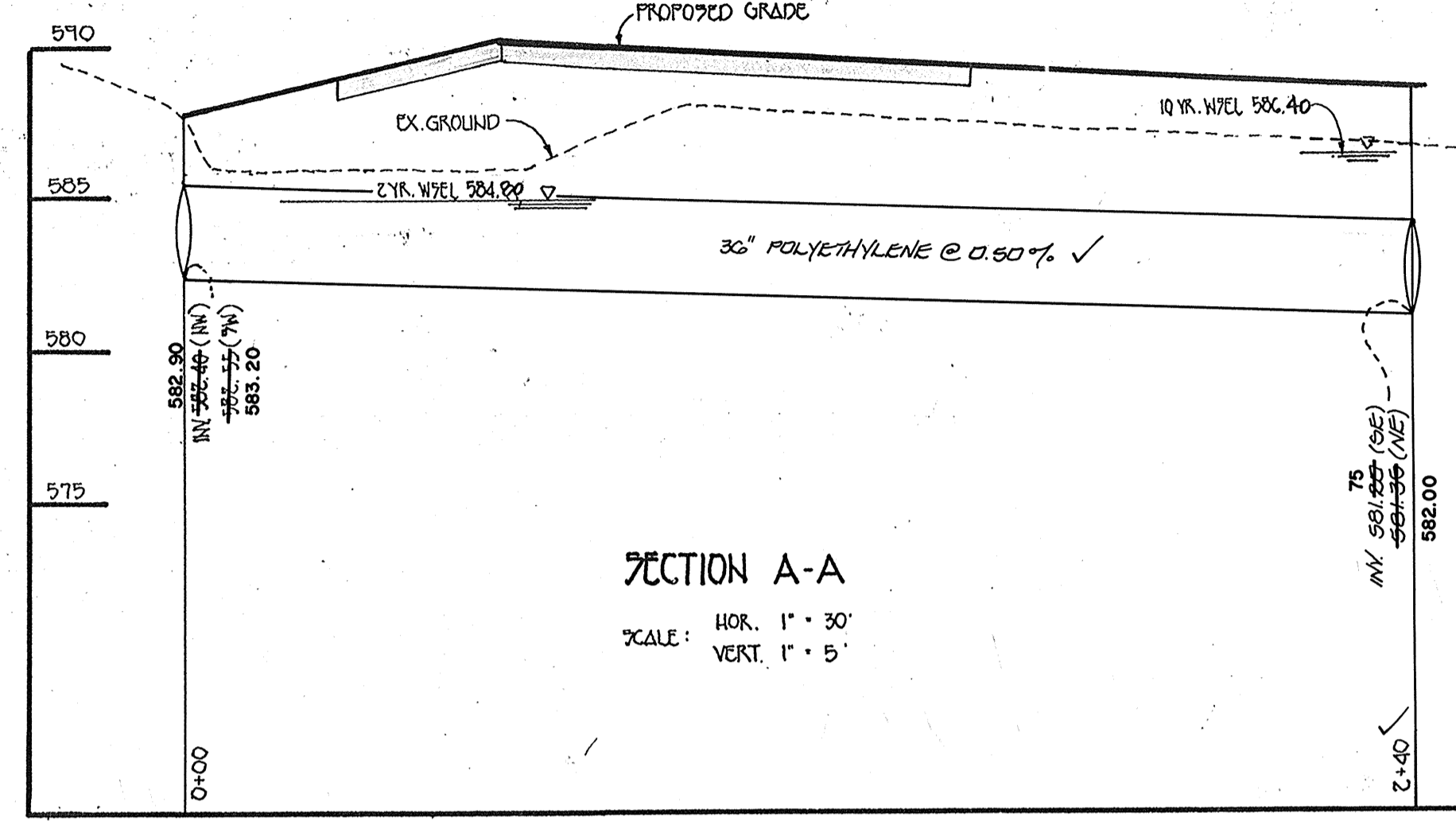
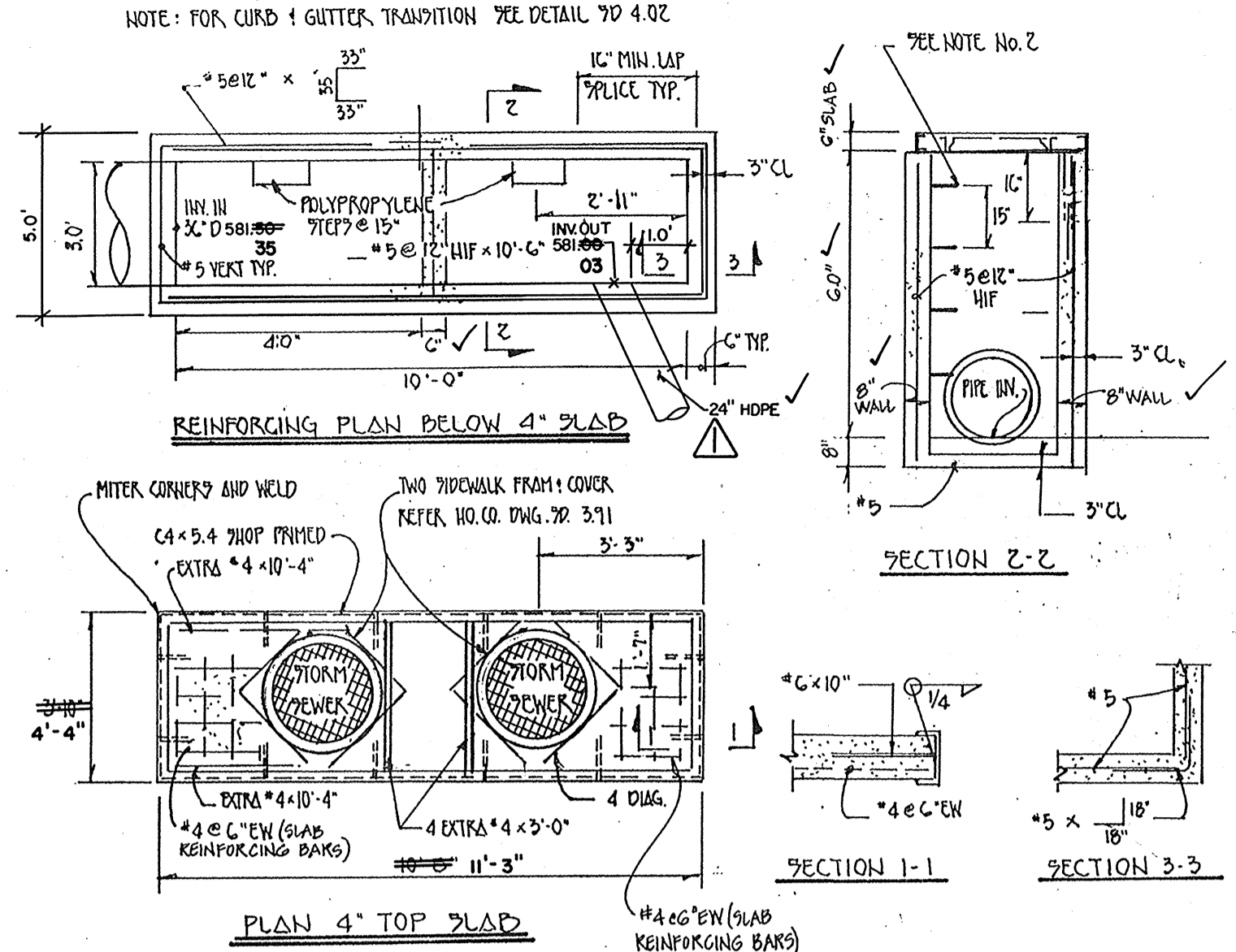
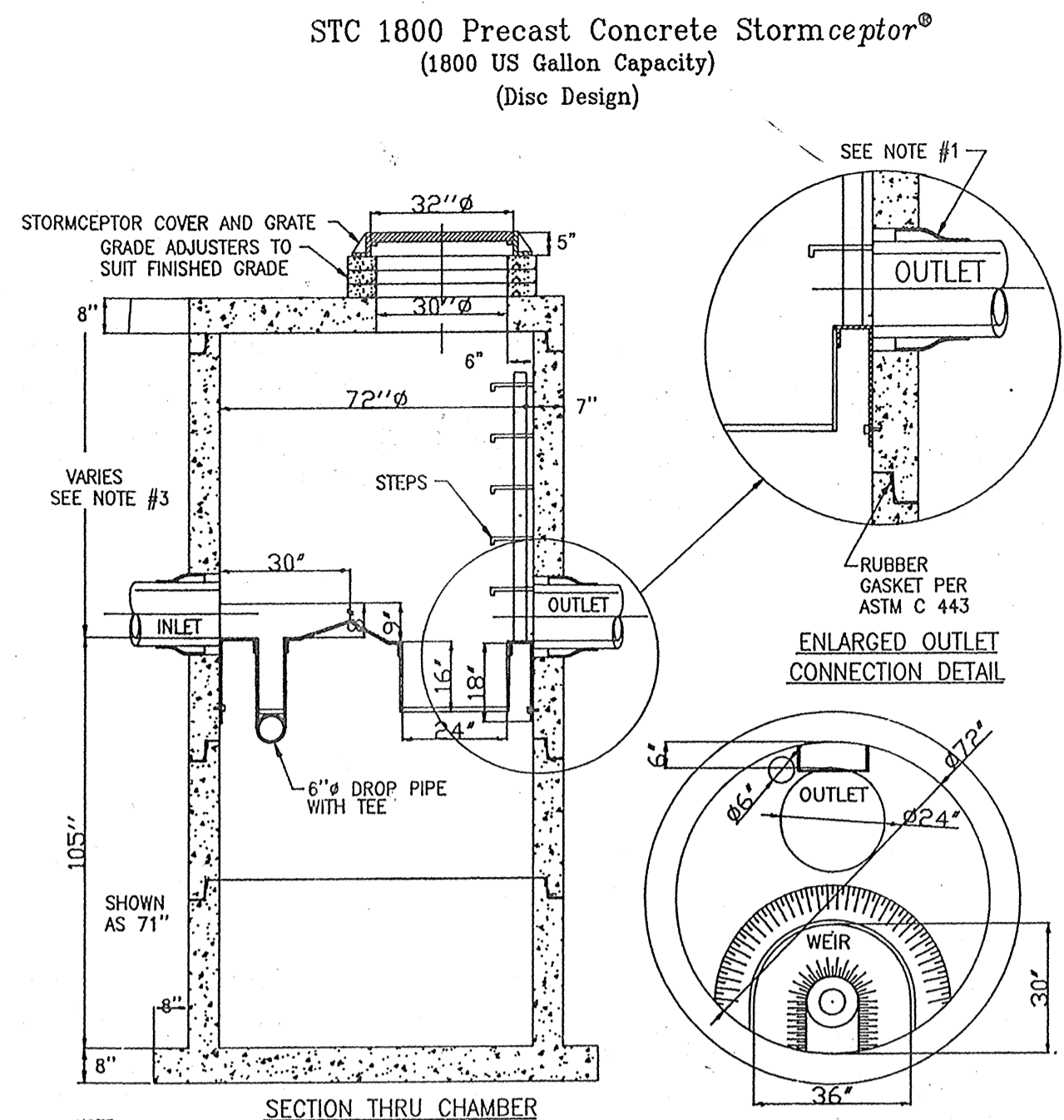
TAX MAP No: 15 PARCEL: 229

THIRD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SCALE: 1"=30' DATE: _____

SHEET 1 OF 4

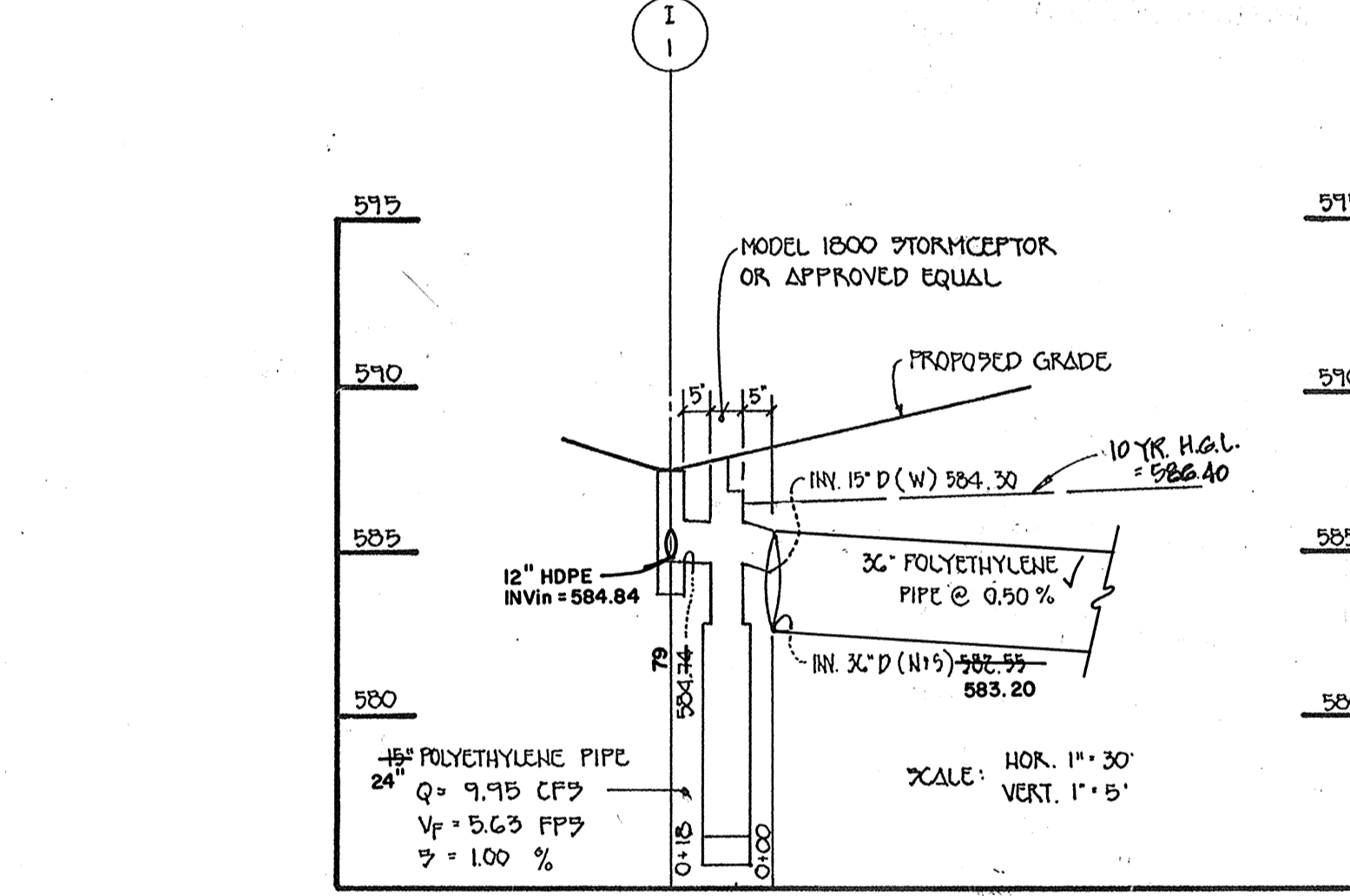
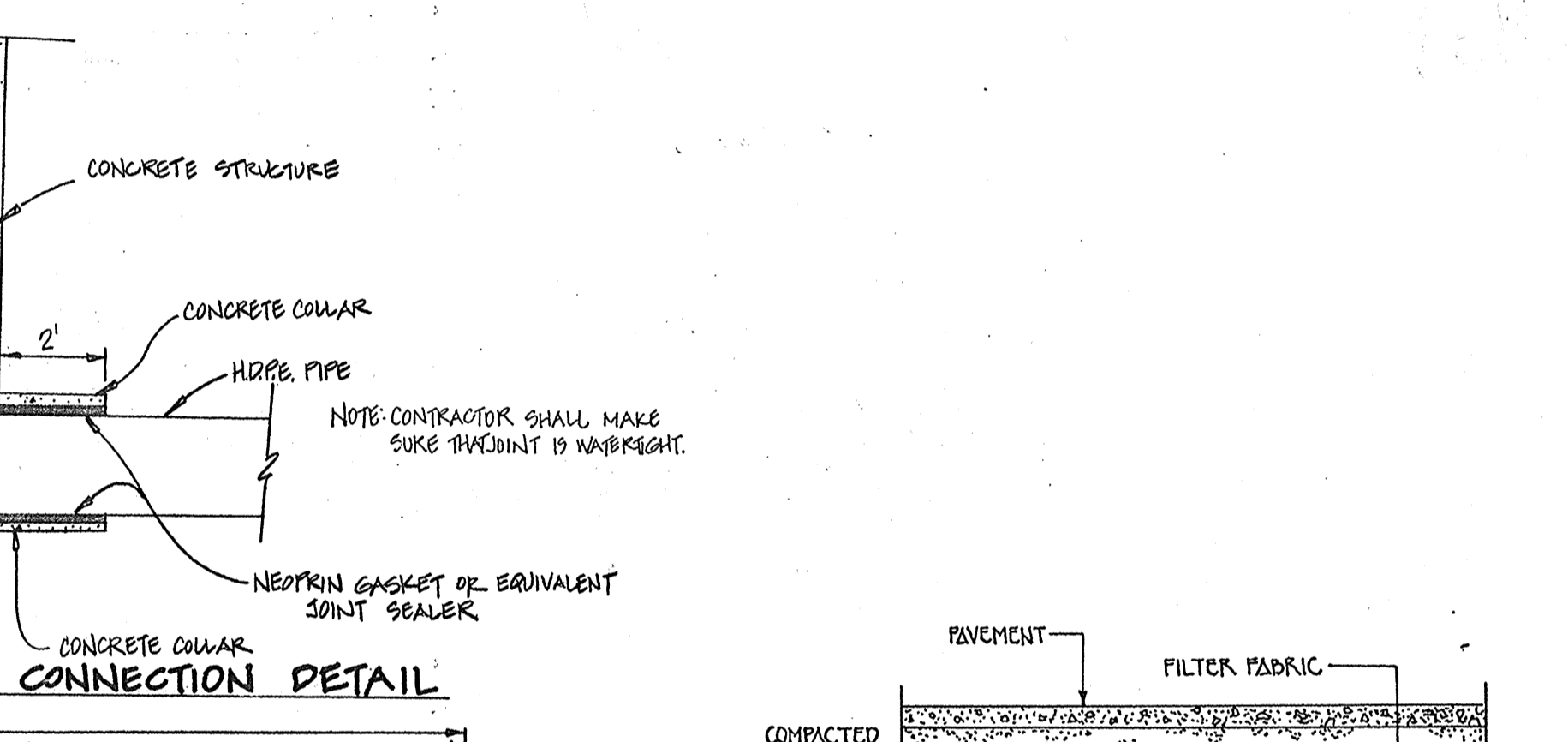
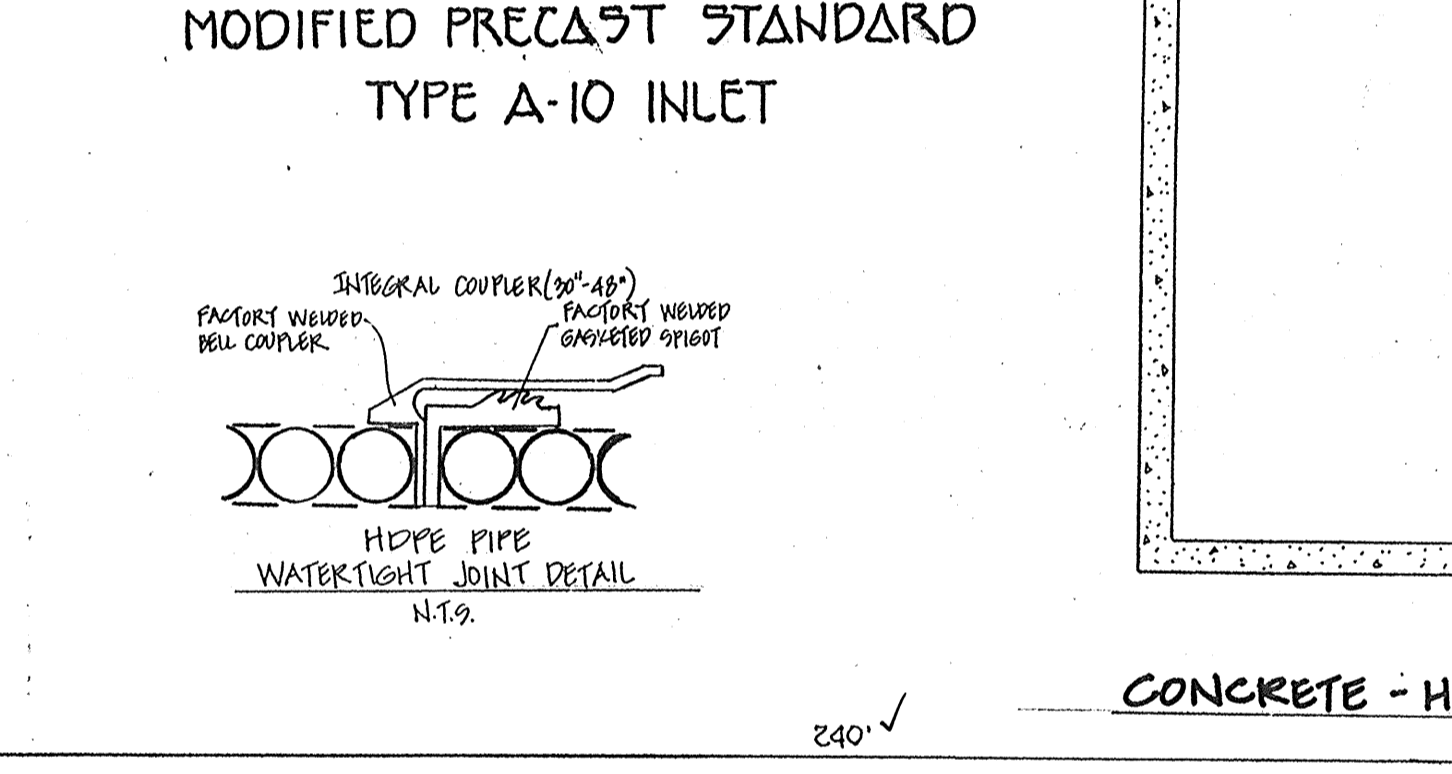
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21043
(410) 461-2885



NOTE:
 1. FLEXIBLE CONNECTIONS ARE RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. COVER TO BE POSITIONED OVER OUTLET AND VENT PIPE.
 3. THIS IS A GENERAL ARRANGEMENT DRAWING. CONSULT LOCAL REPRESENTATIVE FOR SPECIAL CONDITIONS.
 4. INLET DROP PIPE WILL BE EITHER 6\"/>

NOTES:
 1. CONCRETE SHALL CONFORM TO MARYLAND DOT STANDARD SPECIFICATION FOR CONSTRUCTION & MATERIALS 1982, MIX NO. 6 IN ADDITION TO 4500 PSI @ 28 DAYS, CEMENT SHALL BE TYPE II, AND #8 COARSE AGGREGATE SHALL BE USED.
 2. POLYPROPYLENE STEPS SHALL BE TYPE PS 4 OR PS 5 AS MANUFACTURED BY M.A. INDUSTRIES, INC. STEP SHALL BE INSTALLED IN LINE WHERE A > 3\"/>

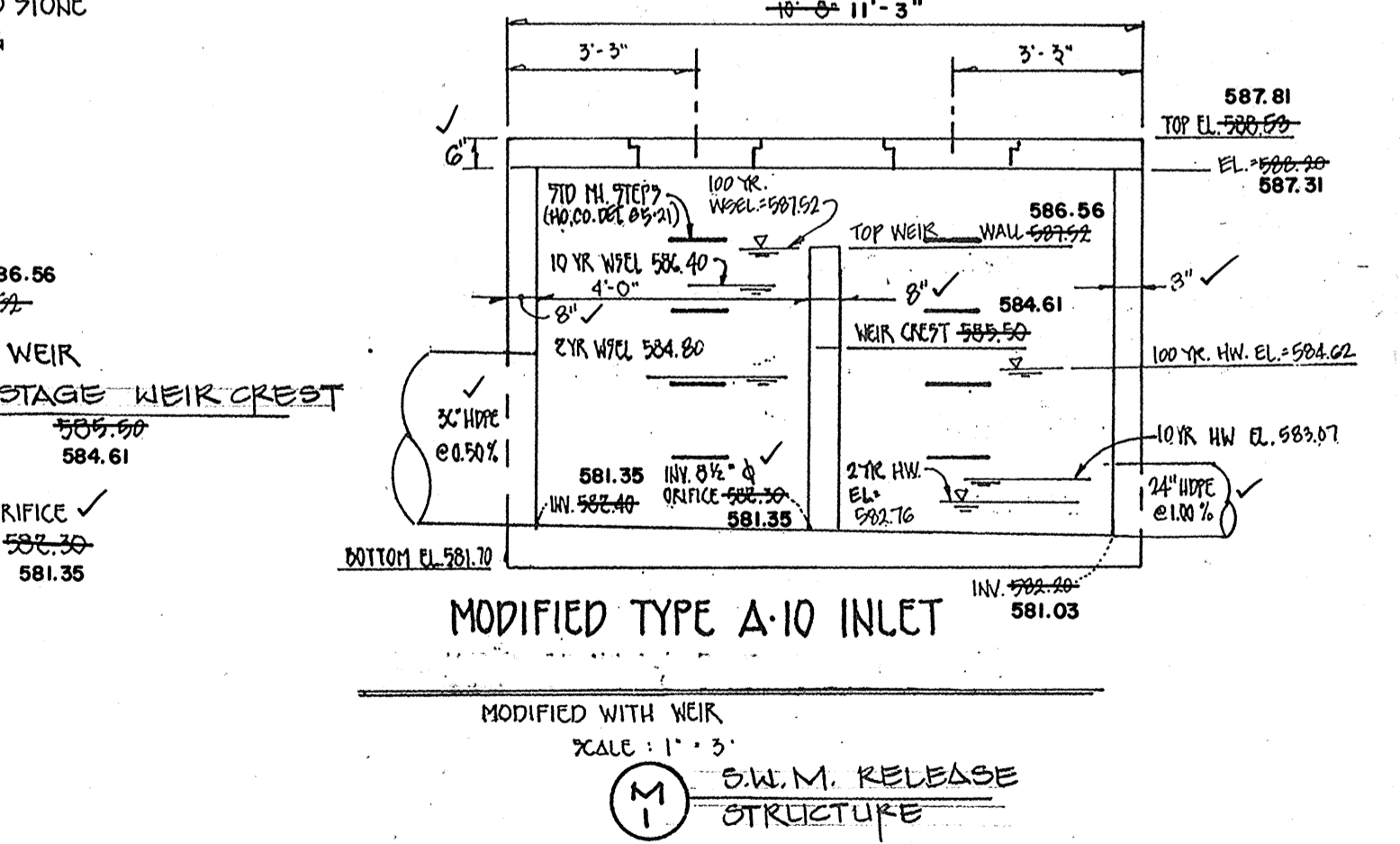
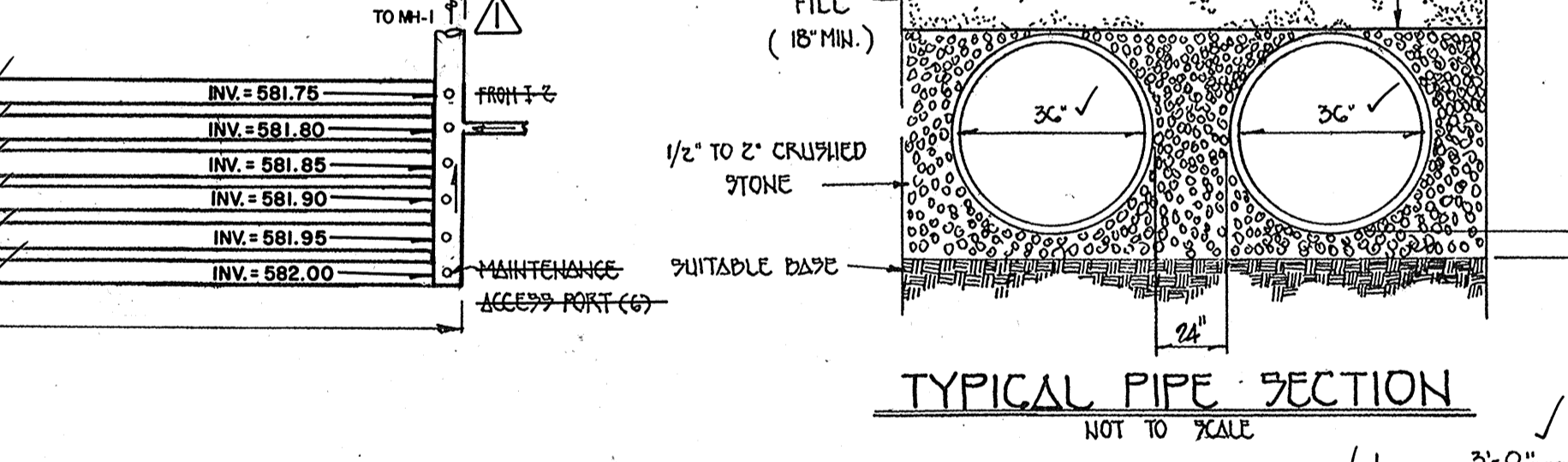
CONTRACTOR INSTALLATION INSTRUCTIONS: PRECAST CONCRETE STORMCEPTOR \"DISC\" DESIGN
 1. STAKE-OUT THE LOCATION OF THE STORMCEPTOR AND EXCAVATE HOLE. EXCAVATE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO UNIT. INSTALL A 2\"/>



OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE
 1. Stormceptor water quality structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Stormceptor unit inspected yearly or as required by Howard County, utilizing the Stormceptor Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube (\"slide judge\") to extract a water column sample. When sediment depth exceeds the specified level (Table 9 of Technical Manual) then cleaning of the unit is required.
 2. Stormceptor water quality structures must be checked and cleaned immediately after petroleum spills, contact appropriate regulatory agencies.
 3. Maintenance of Stormceptor units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
 4. Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the Stormceptor will be repaired as needed.
 5. Owner shall retain and make Stormceptor Inspection/Monitoring Forms available to Howard County officials upon their request.

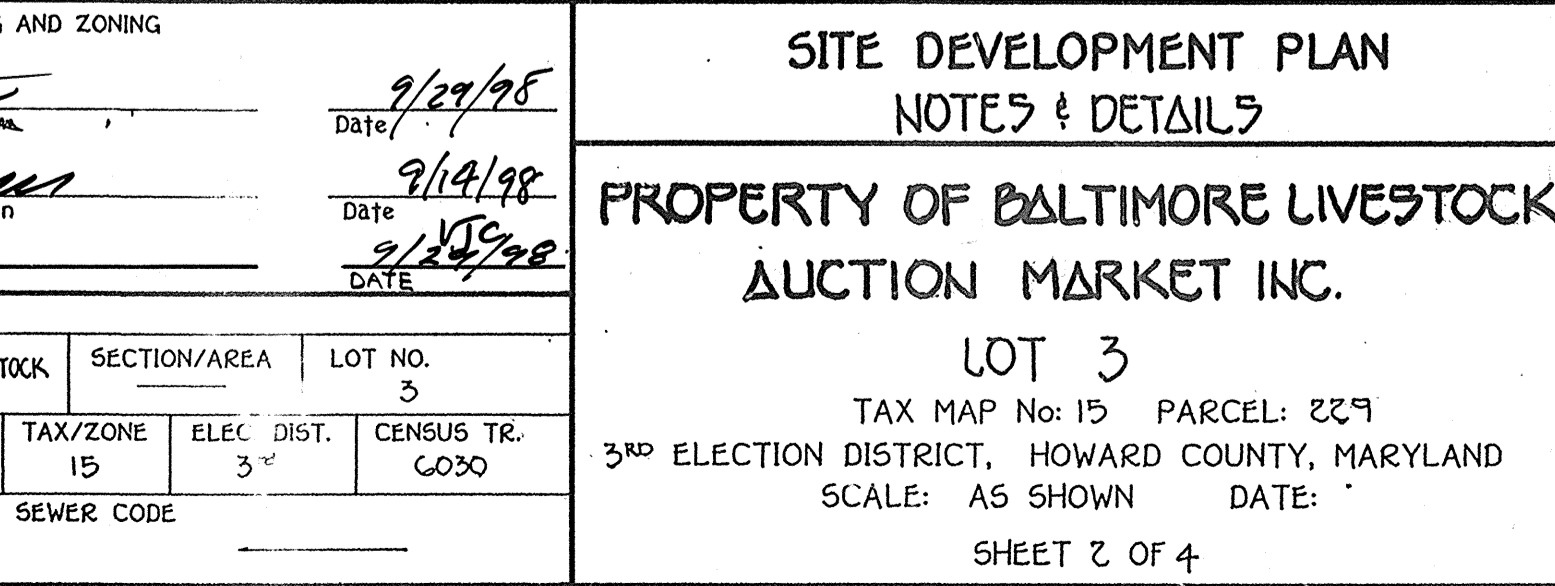
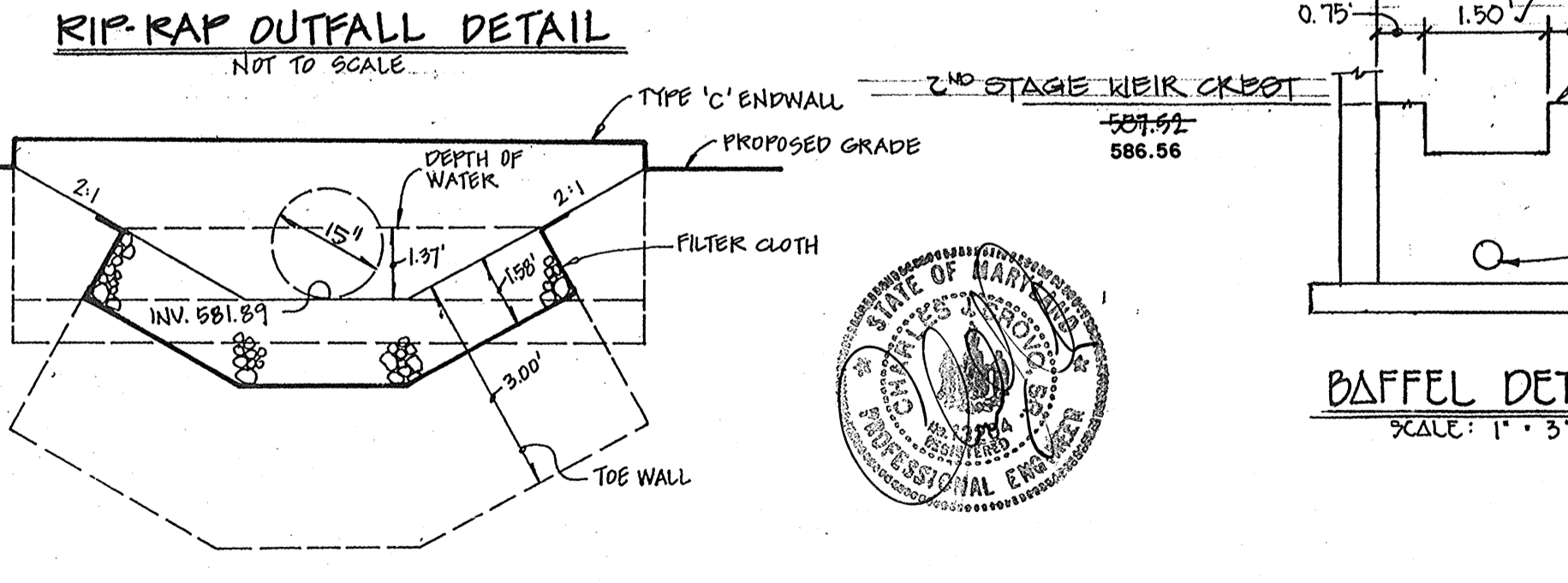
PIPE LAYOUT FOR UNDERGROUND PIPING STORAGE
 SCALE: 1\"/>

NO.	INVERT	DIAMETER	LENGTH	START	END
1	582.90	24"	30'	10+00	10+30
2	582.95	24"	30'	10+30	10+60
3	583.00	24"	30'	10+60	10+90
4	583.05	24"	30'	10+90	11+20
5	583.10	24"	30'	11+20	11+50
6	583.15	24"	30'	11+50	11+80
7	583.20	24"	30'	11+80	12+10



STRUCTURE SCHEDULE

STRUCT. #	INV. IN	INV. OUT	TOP ELEV.	H.O. CO. DETAIL #
I-1	584.84	584.74	587.50	5\"/>
I-2	582.15	583.30	588.25	5\"/>
M-1	581.20	581.03	587.81	MODIFIED - 70.41
E-1	579.41	578.40	580.55	CONG. END SECTION S.D. - 5.51



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 (410) 461-2855

APPROVED FOR PRIVATE WATER AND SEWER SYSTEM
 James M. Boyd, Health Officer, Howard County Health Department, 9/29/98
 Approved for the Relocation of the Reserve Septic Area
 Robert J. Walden, Health Officer, Howard County Health Department, 7/25/05

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: [Signature], Date: 9/4/98
 DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
 Signature of Developer: [Signature], Date: 4-4-98

OWNER / DEVELOPER
 O'DONNELL & COMPANY
 4652 SHEPPARD LANE
 ELICOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: [Signature], Date: 9/29/98
 Chief, Development Engineering Division: [Signature], Date: 9/14/98
 Director: [Signature], Date: 9/24/98

SUBDIVISION	PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET, INC.	SECTION/AREA	LOT NO.
PLAT NO.	5300	BLOCK NO. 514	ZONE D-C
TAX/ZONE	15	ELEC. DIST. 3	CENSUS TR. C030
WATER CODE		SEWER CODE	

SITE DEVELOPMENT PLAN NOTES & DETAILS
 PROPERTY OF BALTIMORE LIVESTOCK AUCTION MARKET INC.
 LOT 3
 TAX MAP No: 15 PARCEL: 229
 3RD ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE:
 SHEET 2 OF 4