

NOTES CONTINUED

21. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
22. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
23. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH 2' CONTOUR INTERVALS PREPARED BY KCW CONSULTANTS, INC. DATED 2/24/97.
24. THE COORDINATES SHOWN HEREON ARE BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NO. 1742001 AND 1742002 WERE USED FOR THIS PROJECT.
25. EXISTING UTILITIES ARE BASED UPON FIELD SURVEY AND PLANS OF RECORD.
26. THERE IS NO FLOODPLAIN ON THIS SITE.
27. THERE ARE NO WETLANDS ON THIS SITE.
28. NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT. THIS PROJECT WILL NOT CAUSE AN INCREASE IN TRAFFIC VOLUME.
29. WAIVER PETITION (WP-98-85) APPROVED PER LETTER DATED MARCH 27, 1998 FOR H.C.S.L.D.R. SECTION 16.156(F) AND 16.156(K) TO PERMIT REACTIVATION OF THE PLAN AND 180 DAYS TO SUBMIT ORIGINALS (BY SEPT. 23, 1998) AND 45 DAYS TO RESOLVE D.E.D. COMMENTS (BY MAY 11, 1998).
30. WAIVER PETITION (WP-99-95) APPROVED PER LETTER DATED APRIL 21, 1999 FOR H.C.S.L.D.R. SECTION 16.156(K) TO GRANT REACTIVATION OF SDP-97-160 AND GRANT A 180 DAY EXTENSION TO SUBMIT PLAN ORIGINALS FOR SIGNATURE APPROVAL (BY OCT. 18, 1999).

**31. FOREST CONSERVATION
DECLARATION OF INTENT
FILED AUG. 10, 1999.
NO WORK INVOLVED.**

AUSTIN MICHAEL
LIBER 3329-554
ZONED M-2

GICHNER ASSOCIATES, INC.
LIBER 589-258
ZONED M-2

N 43°21'23" W
219.22'

N 43°21'23" W
219.22'

N 43°21'23" W
219.22'

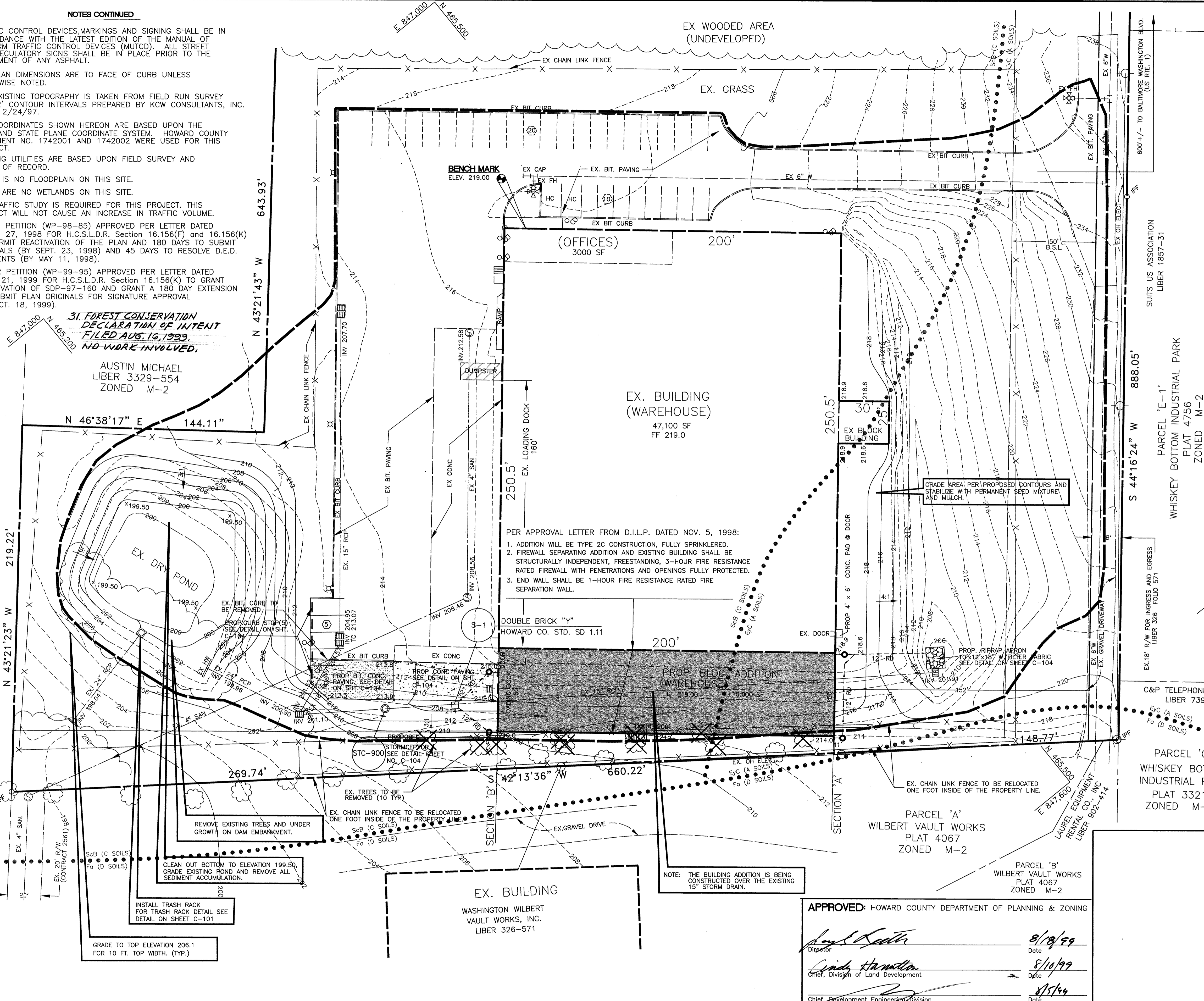
N 43°21'23" W
219.22'

N 43°21'23" W
219.22'

N 43°21'23" W
219.22'

N 43°21'23" W
219.22'

N 43°21'23" W
219.22'



- PER APPROVAL LETTER FROM D.I.L.P. DATED NOV. 5, 1998:
1. ADDITION WILL BE TYPE 2C CONSTRUCTION, FULLY SPRINKLERED.
 2. FIREWALL SEPARATING ADDITION AND EXISTING BUILDING SHALL BE STRUCTURALLY INDEPENDENT, FREESTANDING, 3-HOUR FIRE RESISTANCE RATED FIREWALL WITH PENETRATIONS AND OPENINGS FULLY PROTECTED.
 3. END WALL SHALL BE 1-HOUR FIRE RESISTANCE RATED FIRE SEPARATION WALL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David Keith Director Date: 8/18/99

Cindy Hamilton Chief, Division of Land Development Date: 8/10/99

[Signature] Chief, Development Engineering Division Date: 8/17/99

BENCHMARK
CL OF NAPA OFFICE BUILDING DOOR SILL
ELEVATION 219.00

LEGEND

- TREE
- TREE (TO BE REMOVED)
- TREE LINE
- SOILS LINE
- FENCE
- EXISTING CONTOURS (2') - 208
- EXISTING CONTOURS (10') - 210
- PROPOSED CONTOURS (2') - 208
- PROPOSED CONTOURS (10') - 210
- PROPERTY LINE
- EX. ELEC
- EX. TELEPHONE
- EX. WATER
- EX. SAN
- EX. DRAIN
- PROP. BUILDING
- PROP CONC PAVING
- PROP BIT PAVING

LOCATION PLAN
SCALE: 1" = 600'

NOTE: THERE ARE NO WETLANDS ON THIS SITE.

- SITE ANALYSIS**
1. TOTAL PROJECT AREA: 477,418 SF / 10.96 AC.
 2. AREA OF PLAN SUBMISSION: 234,745 SF / 5.39 AC. +/-
 3. LIMIT OF DISTURBED AREA: 60,200 SF / 1.38 AC. +/-
 4. PRESENT ZONING: M-2 ZONING MAP 50 GRID 9 PARCEL #442
ELECTION DISTRICT : 6th CENUS TRACT: 6069.03 DEED REFERENCE: 920-494
 5. EXISTING USE: WAREHOUSE 47,100 SF
OFFICE 3,000 SF
TOTAL 50,100 SF - (10.5% COVERAGE)
 6. PROP. USE : WAREHOUSE AND OFFICE WITH PROPOSED
10,000 SF OFFICE ADDITION (50' x 200')
 7. FLOOR SPACE: EX OFFICE : 3,000 SF
EX WAREHOUSE : 47,100 SF
PROP WAREHOUSE ADDITION : 10,000 SF
TOTAL : 60,100 SF
 8. MAXIMUM NO OF EMPLOYEES PER USE: OFFICE 5
WAREHOUSE 10
 9. PARKING SPACES REQUIRED: 0.5 PS/1000 SF x 60,100 SF = 31 PS
 10. PARKING SPACES SHOWN = 30 EX. PS (INC. 2 HC)
5 PROP. PS
35 PS TOTAL
 11. OPEN SPACE ON SITE: 5.57 AC. / 50.8 % OF GROSS AREA
 12. APPLICABLE DPZ FILE REFERENCES:
1979 PLAN APPROVAL FOR INITIAL BUILDING CONSTRUCTION SDP-80-05
NO ON-SITE RETAIL SALES
 13. EXISTING PUBLIC SEWER AND WATER SERVES THIS SITE.
 14. THE EXISTING PRIVATE STORMWATER MANAGEMENT POND WILL BE MODIFIED BY OWNER IN CONJUNCTION WITH THE S.D.P. #97-160 TO ACCEPT ADDITIONAL IMPERVIOUS AREA RUNOFF. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN THE POND.
 15. THE SOIL CLASSIFICATIONS DELINEATED HEREON ARE BASED UPON "HOWARD COUNTY SOIL SURVEY" MAP NO.31 PREPARED BY THE SOIL CONSERVATION SERVICE.
 16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 17. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1855 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 18. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 19. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
 20. BUILDING SETBACKS (PER M-2 ZONING):
FRONT 152'
REAR 0'
SIDE 0'

ADDRESS CHART

Parcel #	442	Street Address	9941 WASHINGTON BLVD LAUREL, MD. 20725
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PERMIT INFORMATION CHART

Subdivision Name	"DAVIS INDUSTRIAL PARK"	Section/Area	N/A	Parcel #	442
L/F	920/494	Block #	4	Zoning	M-2
Water Code:	C 05	Tax Map	50	Election District	6 TH
		Sewer Code:	7103000	Census Tract	6069.03

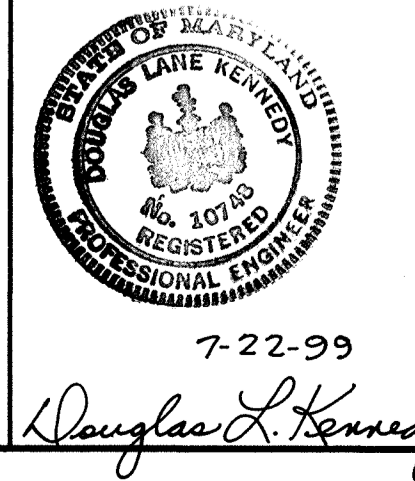
**SITE DEVELOPMENT PLAN
AND GRADING PLAN**

**NAPA AUTO PARTS
BUILDING ADDITION**

DAVIS INDUSTRIAL PARK

6TH ELECTION DISTRICT HOWARD CO., MARYLAND

KCW Consultants, Inc.
CIVIL ENGINEERS AND LAND SURVEYORS
3104 TIMANUS LANE, SUITE 101
BALTIMORE, MARYLAND 21244
TELE: (410) 281-0033
FAX: (410) 298-0604



LIST OF DRAWINGS:

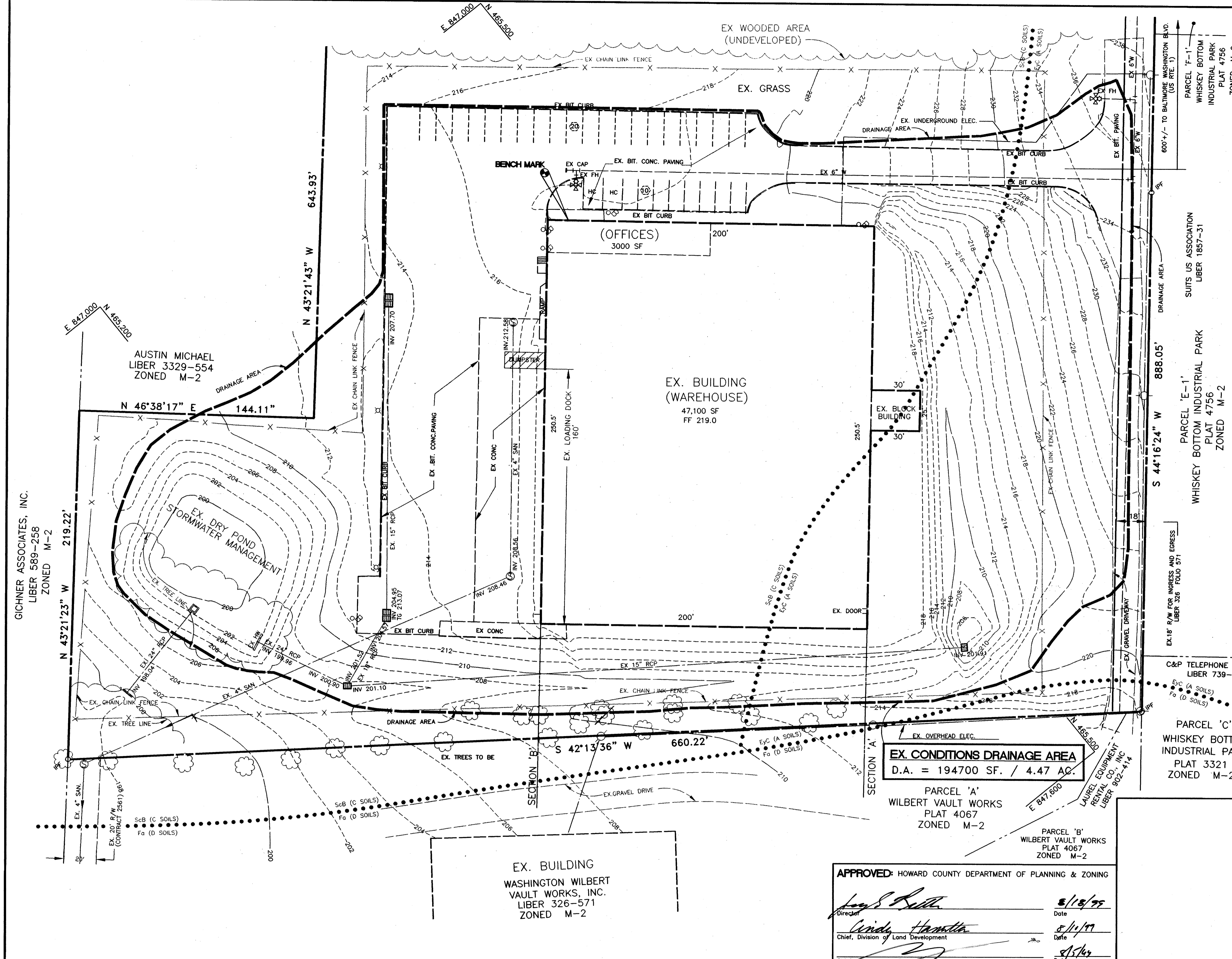
C-100	SITE DEVELOPMENT AND GRADING PLAN
C-101	EXISTING CONDITIONS PLAN
C-102	SEDIMENT CONTROL PLAN
C-103	SEDIMENT CONTROL DETAILS
C-104	SITE DETAILS AND PROFILES

OWNER:
QUAKER CITY MOTOR PARTS CO., INC.
680 NORTH BROAD STREET
MIDDLETOWN, DELAWARE 19709
ATTN: JAMES DUCKWORTH, PRESIDENT
PHONE: (302) 378-9834

REVISIONS

DATE	DESCRIPTION
7/22/99	SUBMITTED FOR SIGNATURE APPROVAL
2/17/99	REMOVE OFF-SITE EASEMENT; ADDED CONDITIONS PER DILP.
10/9/98	REQUEST "VARIANCE" FROM BOCA Section 507.2.
5/06/98	REVISED PROPOSED POND GRADES.
3/28/98	REVISED PER P&Z LETTER 3-27-98
3/6/98	ADDED NON-BUILDABLE EASEMENT
11/13/97	SUBMITTED TO HOWARD CO. SCS
11/13/97	REVISED NOTES, ADDED TRASH RACK AND DETAIL
8/20/97	REVISED NOTES AND PLAN PER H.C COMMENTS OF 7/29/97

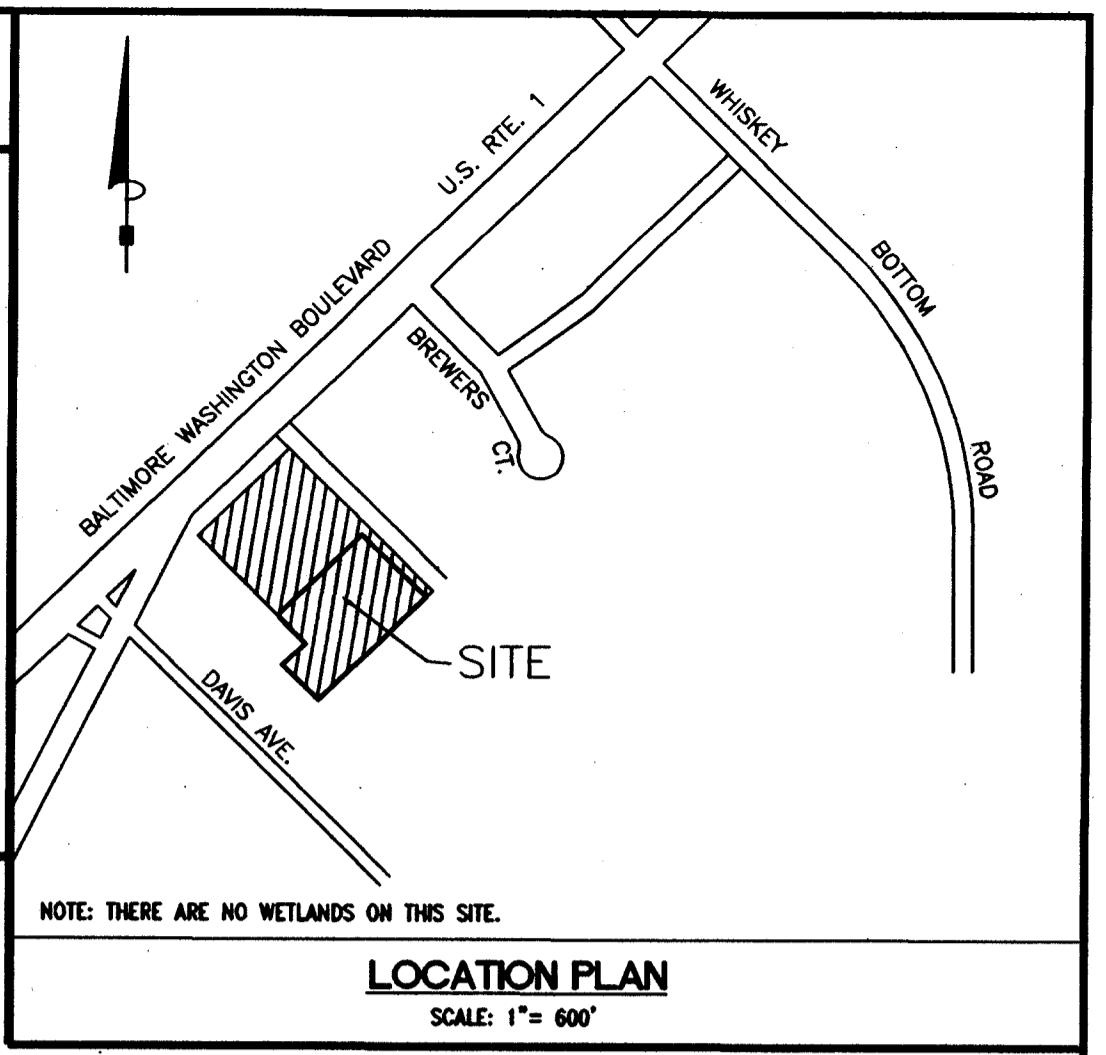
KCW J.O. 9759
SCALE: 1" = 30'
DATE: JUNE 10, 1997
DESIGNED: RCB/CHC
DRAWN: CHC
CHECKED:
DRAWING NO.: NAPA C-100
1 OF 5



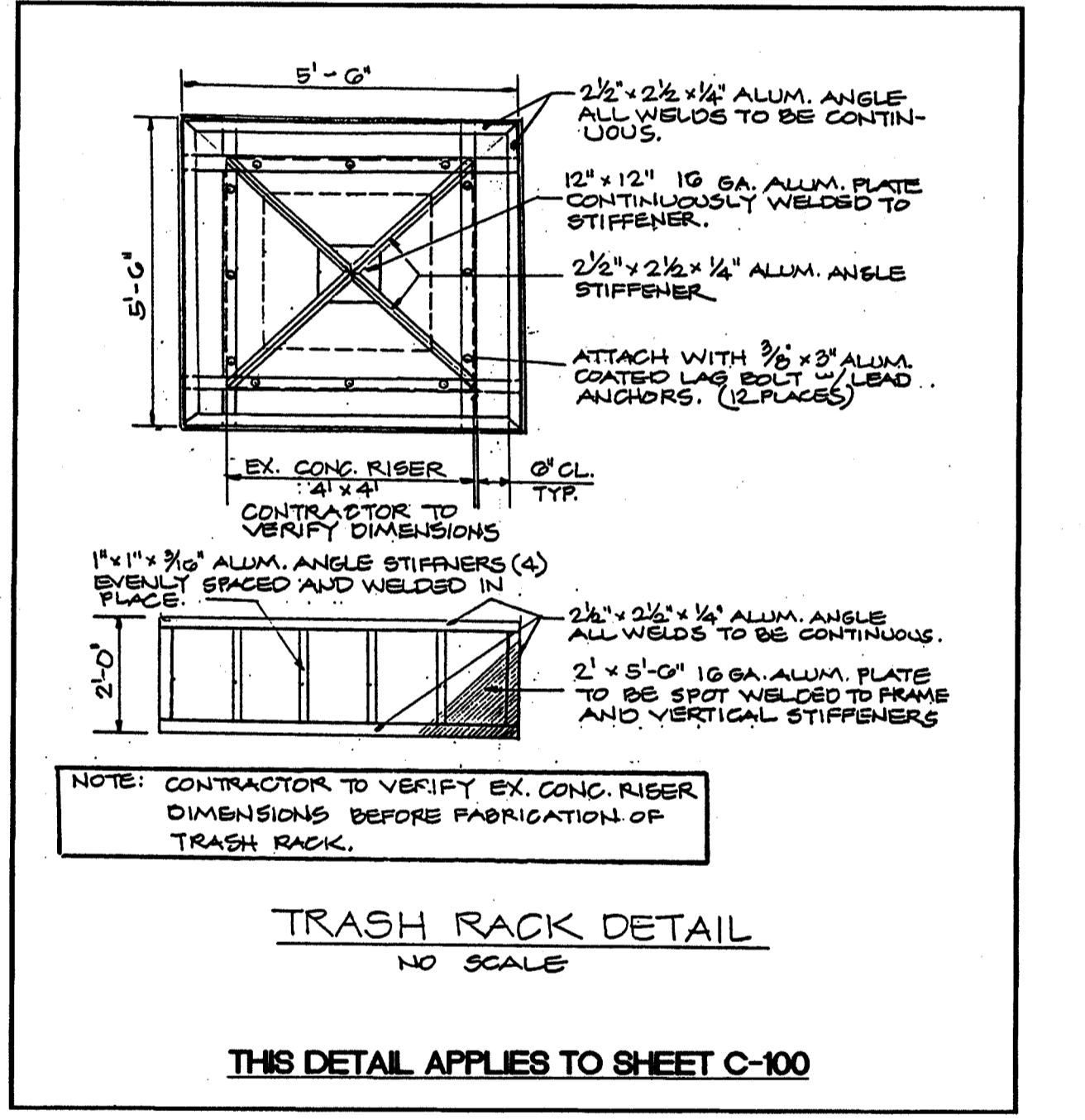
BENCH MARK
CL OF NAPA OFFICE BUILDING DOOR SILL
ELEVATION 219.00

LEGEND

- SOILS LINE: ScB (C SOILS), EYC (A SOILS)
- TREE LINE
- FENCE
- EXISTING CONTOURS (2')
- EXISTING CONTOURS (10')
- PROPERTY LINE
- EX. ELEC.
- EX. ELECTRIC
- EX. TELEPHONE
- EX. WATER
- EX. SAN
- EX. DRAIN
- DRAINAGE AREA



- GENERAL NOTES**
- EXISTING IMPERVIOUS AREA EX. BUILDING = 51075 SF.
EX. PAVING = 50282 SF.
TOTAL AREA = 101,353 SF.
 - EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ON THESE DRAWINGS ARE BASED UPON THE BEST AVAILABLE INFORMATION FROM EXISTING DRAWINGS. THE CORRECTNESS OR COMPLETENESS OF THE INFORMATION GIVEN IS NOT WARRANTED OR GUARANTEED AND IS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR SHALL VERIFY ALL SUCH INFORMATION ALL TO HIS OWN SATISFACTION.



EX. CONDITIONS DRAINAGE AREA
D.A. = 194700 SF. / 4.47 AC.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard S. Hill 5/18/97
Director Date

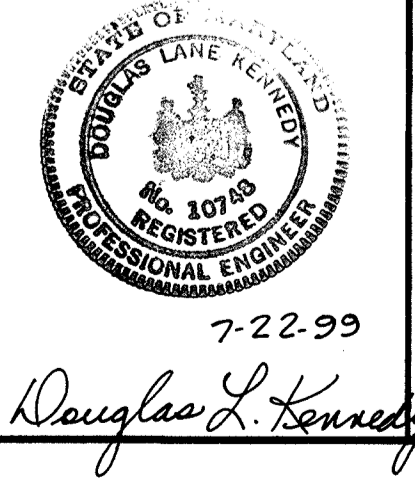
Uinda Hamilton 5/11/97
Chief, Division of Land Development Date

[Signature] 5/15/97
Chief, Development Engineering Division Date

PERMIT INFORMATION CHART

Subdivision Name	"DAVIS INDUSTRIAL PARK"		Section/Area	N/A	Parcel #	442					
L/F	920/494	Block #	4	Zoning	M-2	Tax Map	50	Election District	6TH	Census Tract	6069.03
Water Code:	C 05		Sewer Code:	7103000							

KCW Consultants, Inc.
CIVIL ENGINEERS AND LAND SURVEYORS
3104 TIMANUS LANE, SUITE 101
BALTIMORE, MARYLAND 21244
TELE: (410) 281-0033
FAX: (410) 298-0604



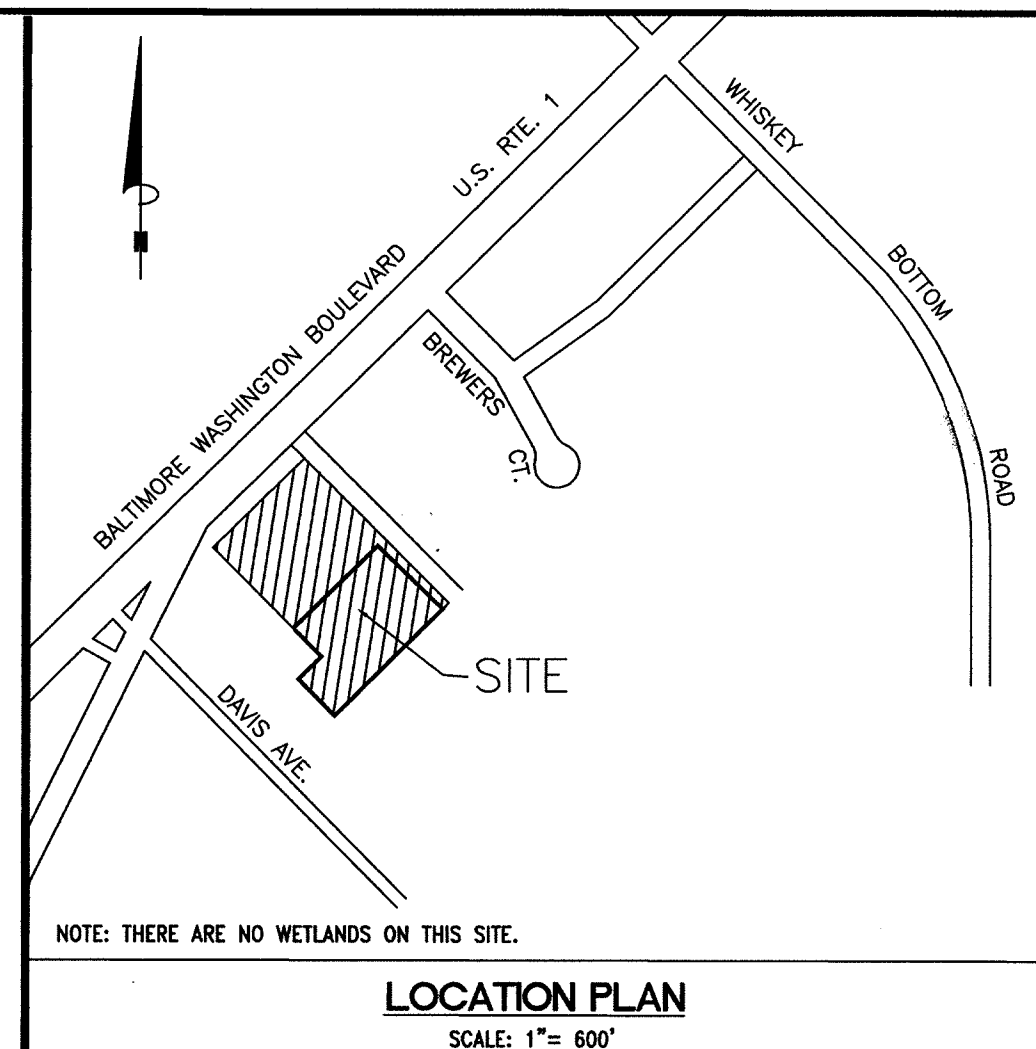
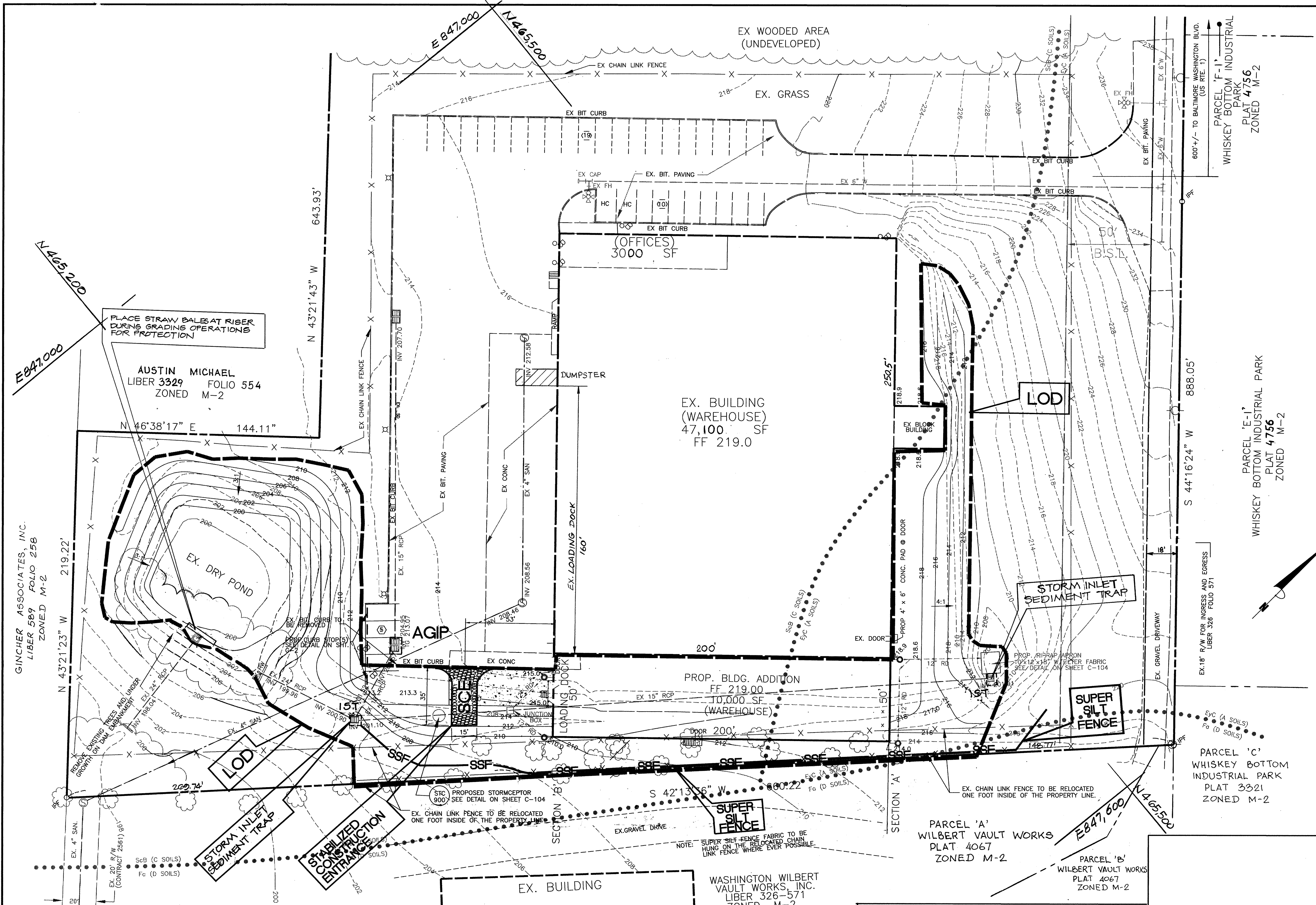
- LIST OF DRAWINGS:**
- C-100 SITE DEVELOPMENT AND GRADING PLAN
 - C-101 EXISTING CONDITIONS PLAN
 - C-102 SEDIMENT CONTROL PLAN
 - C-103 SEDIMENT CONTROL DETAILS NOTES AND PROFILES
 - C-104 SITE DETAILS

OWNER:
QUAKER CITY MOTOR PARTS CO., INC.
680 NORTH BROAD STREET
MIDDLETOWN, DELAWARE 19709
ATTN: JAMES DUCKWORTH, PRESIDENT
PHONE: (302) 378-9834

REVISIONS

DATE	REVISIONS
7/22/99	SUBMITTED FOR SIGNATURE APPROVAL
11/13/97	SUBMITTED TO HOWARD CO. SCS
11/13/97	REVISED PLAN, ADDED TRASH RACK DETAIL

NAPA AUTO PARTS BUILDING ADDITION
DAVIS INDUSTRIAL PARK
6TH ELECTION DISTRICT HOWARD CO., MARYLAND
S.D.P. # 97-160



SEDIMENT CONTROL LEGEND

TREE LINE	
EXISTING CONTOURS (1')	
EXISTING CONTOURS (5')	
PROPOSED CONTOURS (1')	
PROPOSED CONTOURS (5')	
PROPERTY LINE	
LIMIT OF DISTURBANCE	
SILT FENCE	
SUPER SILT FENCE	
STONE CONSTRUCTION ENTRANCE	
AT GRADE INLET PROTECTION	
INLET SEDIMENT TRAP	
EX. ELECTRIC	
EX. TELEPHONE	
EX. WATER	
EX. SAN	
EX. DRAIN	
PROP. DRAIN	
SOILS LINE	

TOTAL LIMIT OF DISTURBANCE
60112 SQ.FT / 1.38 AC.

HOWARD SOIL CONSERVATION DISTRICT APPROVAL
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson 8/4/99
HOWARD SOIL CONSERVATION DISTRICT DATE

NATURAL RESOURCES CONSERVATION SERVICE REVIEW
THIS PLAN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Cheryl Simmons 8/4/99
NATURAL RESOURCES CONSERVATION SERVICE DATE

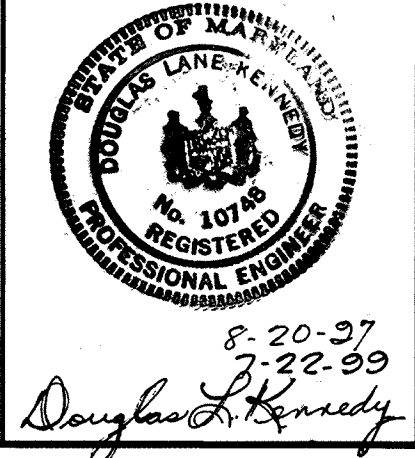
LIBER 920-494
CENSUS TRACT: 6069.03
TAX MAP: 50
GRID: 4
PARCEL: 442
WATER CODE: C 05
SEWER CODE: T1003000

ENGINEER'S CERTIFICATION
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Douglas R. Kennedy, P.E. 12/5/97
DOUGLAS R. KENNEDY, P.E. FOR KCW CONSULTANTS, INC. DATE

OWNER'S CERTIFICATION
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
James Duckworth 12/10/97
QUAKER CITY MOTOR PARTS CO., INC. DATE
JAMES DUCKWORTH, PRESIDENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
John R. Smith 8/12/99
Director Date
Cindy Hamilton 5/10/99
Chief, Division of Land Development Date
[Signature] 8/5/99
Chief, Development Engineering Division Date

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680 NORTH BROAD STREET
MIDDLETOWN, DEL. 19709
ATTN: JAMES DUCKWORTH, PRESIDENT
PHONE: (302) 378-9834

REVISIONS

DATE	REVISIONS
7/22/99	SUBMITTED FOR APPROVAL SIGNATURES
5/6/98	REVISED PROPOSED POND GRADE
3-28-98	REVISED PER P42 LETTER 3-27-98
12/5/97	REVISED PER HOWARD CO. SCD COMMENTS
11/13/97	SUBMITTED TO HOWARD CO. SCS
11/13/97	REVISED PLAN
8-20-97	REVISED PER DPW COMMENTS DATED 7-29-97

KCW J.O. 9759
SCALE: 1" = 30'
DATE: JUNE 16, 1997
DESIGNED: RCB/ZF
DRAWN: ZF
CHECKED: D.L.K.
DRAWING NO.: 3 of 5
NAPA C-102

SEDIMENT CONTROL PLAN

NAPA AUTO PARTS BUILDING ADDITION
DAVIS INDUSTRIAL PARK
6TH ELECTION DISTRICT
HOWARD CO., MARYLAND

S.D.P. #97-160

VEGETATIVE STABILIZATION

- A. SITE PREPARATION
1. Install erosion and sediment control structures...
2. Perform grading operations...
3. Schedule regular soil tests...
B. SOIL AMENDMENTS (Fertilizer and Lime Specifications)
1. Soil test must be performed...
2. Fertilizers shall be uniform...
3. Lime materials shall be ground limestone...
C. SEEDING PREPARATION
1. Seeding
2. Temporary Seeding
3. Permanent Seeding

VEGETATIVE STABILIZATION (continued)

- 4. Wood cellulose fiber may be used for anchoring straw...
5. Application of liquid binders should be heavier at the edges...
6. Lightweight plastic netting may be stapled over the mulch...
D. SOD ESTABLISHMENT
1. GENERAL SPECIFICATIONS
2. SOD INSTALLATION
3. SOD MAINTENANCE

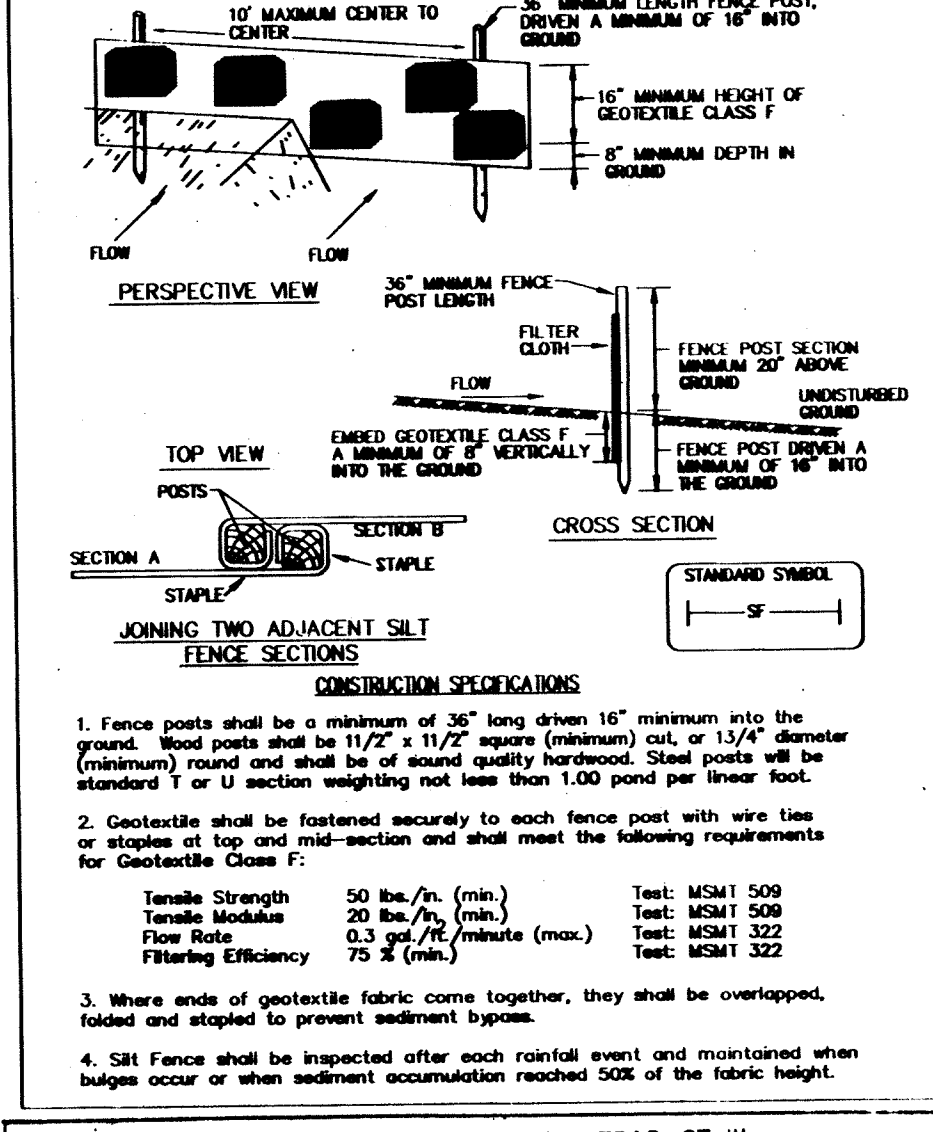
PERMANENT SEEDING NOTES

REFERENCE: "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...
SEEDING PREPARATION: LOGS...
SOIL AMENDMENTS: A LIST OF SOIL TEST RECOMMENDATIONS...
SEEDING: APPLY 2 TONS PER ACRE...
MAINTENANCE: INSPECT ALL SEEDING AREAS...

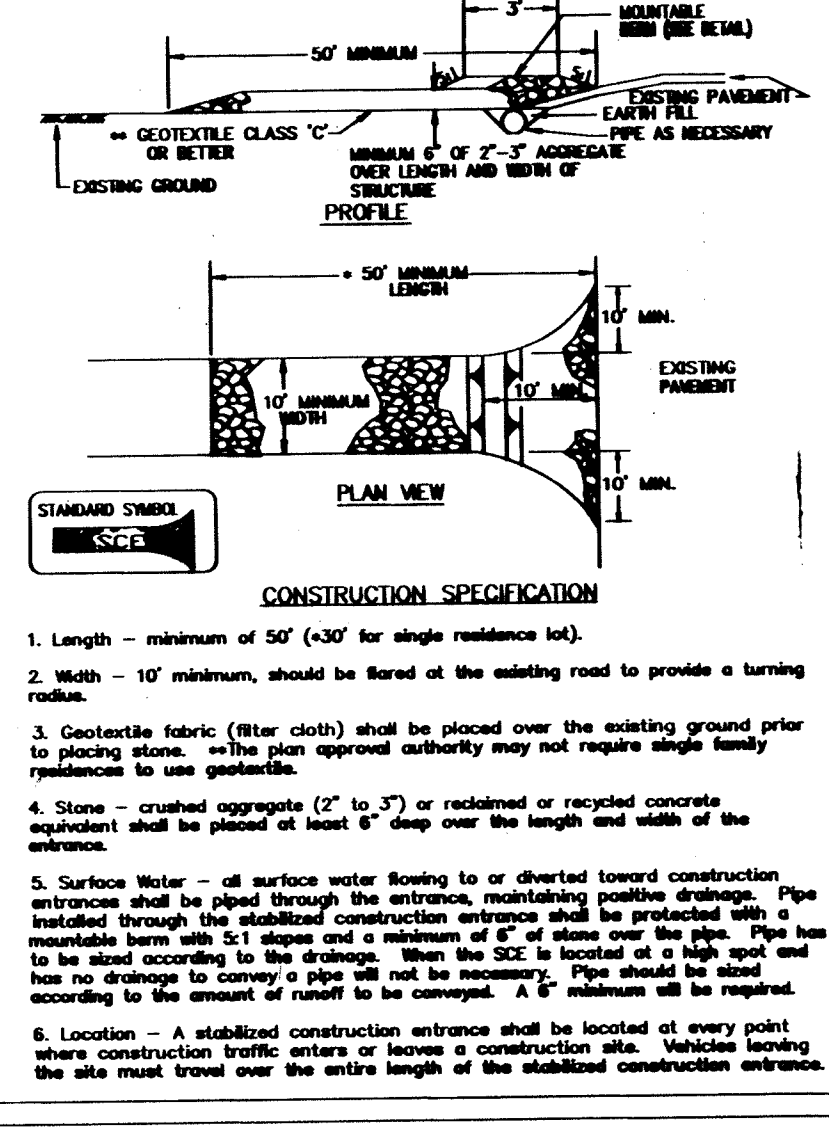
TEMPORARY SEEDING NOTES

REFERENCE: "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...
SEEDING PREPARATION: LOGS...
SEEDING: APPLY 2 TONS PER ACRE...
MAINTENANCE: INSPECT ALL SEEDING AREAS...

SILT FENCE



STABILIZED CONSTRUCTION ENTRANCE



OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

- 1. The Stormceptor water quality structure shall be periodically inspected and cleaned to maintain its operation and function...
2. The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills...
3. The maintenance of the Stormceptor unit shall be done using a vacuum truck...
4. The inlet and outlet pipes shall be checked for any obstructions...
5. The owner shall retain and make the Stormceptor Inspection/Monitoring Forms available to the Howard County officials upon their request.

STORMWATER MANAGEMENT POND MAINTENANCE SCHEDULE

- 1. The stormwater management pond and its appurtenances shall be inspected on a semi-annual basis for proper function and clogging...
2. The owner shall remove any debris or other objectionable material found in his inspection of the pond...
3. Any non-vegetated areas are to be dressed and seeded according to the permanent seeding notes shown on these plans...
4. The stormwater management pond shall be maintained in a functioning condition and made available to the inspection of the Howard County officials upon their request.

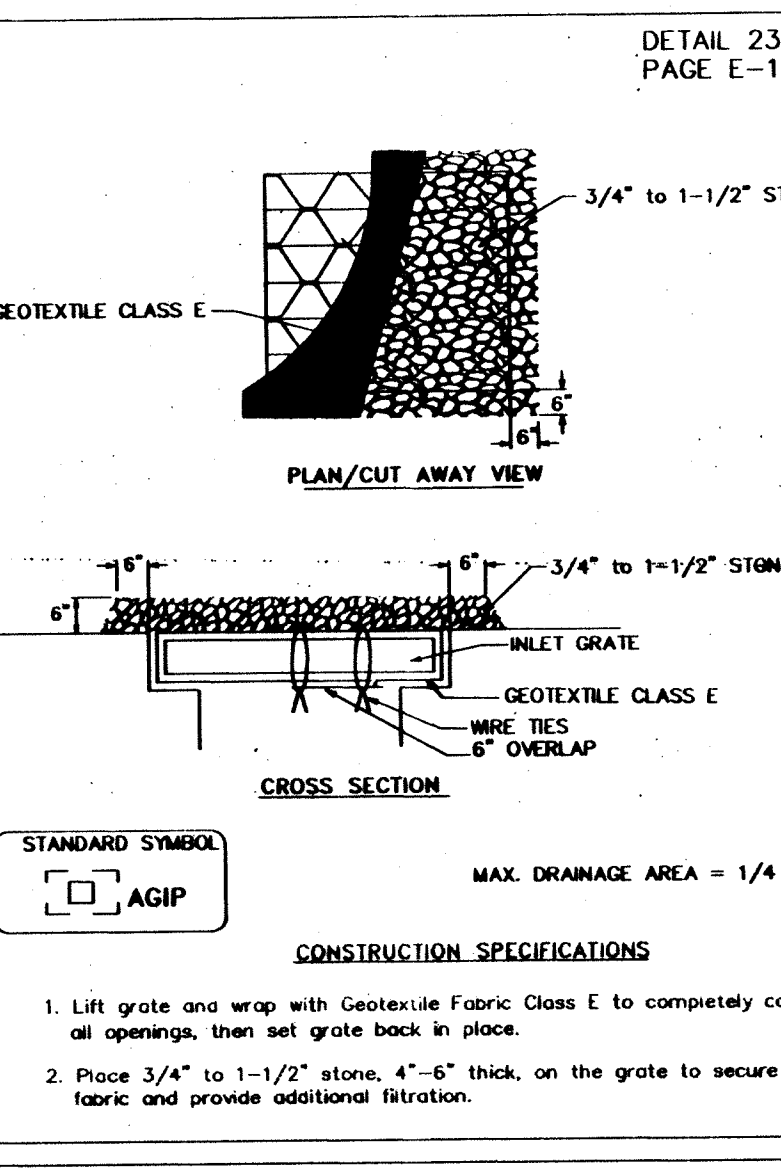
PERMANENT SEEDING

- a. Minimum soil conditions required for permanent vegetative establishment:
1. Soil pH shall be between 6.0 and 7.0...
2. Soil shall contain less than 4000 lbs per million (ppm) of sodium...
3. Soil must contain sufficient pore space to permit adequate root penetration...
b. Methods of Seeding
1. Hydroseeding: Apply seed uniformly with hydroseeder...
2. Broadcast Seeding: Seed should be applied in two directions perpendicular to each other...
3. Outdragger Seeding: Mechanized seeders that apply and cover seed with soil.

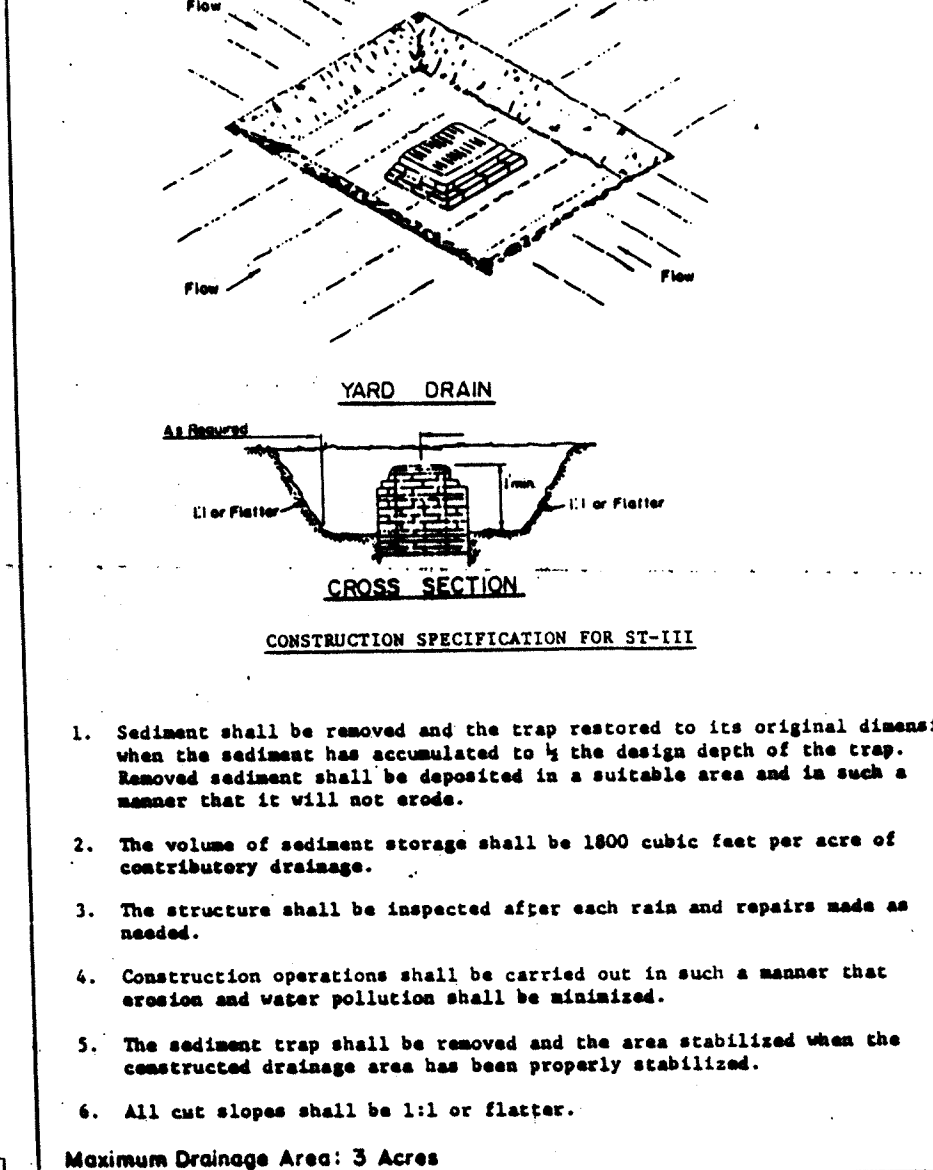
SOD ESTABLISHMENT

- 1. GENERAL SPECIFICATIONS
a. Class of turfgrass sod shall be Maryland or Virginia Sod certified or approved...
b. Sod shall be machine cut of a uniform soil thickness of 3/4" plus or minus 1/8"...
2. SOD INSTALLATION
a. During period of excessively high temperature or in areas having dry soil, the sod should be irrigated immediately prior to laying the sod...
3. SOD MAINTENANCE
a. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain adequate moisture content.

AT GRADE INLET PROTECTION



STORM INLET SEDIMENT TRAP ST-111



SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION...
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN...
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
A) 7 CALENDAR DAYS FOR ALL PERMANENT SEDIMENT CONTROL STRUCTURES, DRESSES, PERMANENT SLOPES AND ALL SLOPES GREATER THAN 3:1...
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER...
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEEDING INSPECTOR.

METHODS OF SEEDING

- 1. Hydroseeding: Apply seed uniformly with hydroseeder...
2. Broadcast Seeding: Seed should be applied in two directions perpendicular to each other...
3. Outdragger Seeding: Mechanized seeders that apply and cover seed with soil.

COMPACTED FILL

- 1. Embankment shall be constructed of approved materials from the excavation, or from other sources...
2. Before depositing fill, the ground surface shall be cleared of all refuse, brush, stumps, logs and frozen material...
3. Where fill is to be made on hillside or slopes, the slope of the original ground on which the fill is to be placed shall be preserved as specified...
4. Placing, spreading and compacting fill materials
a. The fill material shall be placed in layers which shall not exceed 8 inches.

GEOTEXTILE FABRICS

Table with 4 columns: CLASS, APPARENT OPENING SIZE (IN. MIN.), GRAB TENSILE STRENGTH (LB. MIN.), BURST STRENGTH (PSI. MIN.). Rows include Class A, B, C, D, E and G (SILT FENCE).

SEQUENCE OF CONSTRUCTION

- 1. Obtain a grading permit (2 days)
2. The contractor shall notify the Howard County Department of Public Works (410) 313-1855 and the Maryland Department of the Environment at least five (5) working days prior to beginning any excavation or construction...
3. Install all sediment control measures specified on this plan in accordance with the "1994 Standards and Specifications for Soil Erosion and Sediment Control" (1 week)
4. Mass grade entire site in accordance with this plan and restore and reconstruct existing stormwater management pond according to these plans (2 weeks)
5. Stabilize all disturbed areas according to temporary seeding notes (2 days)
6. Install proposed double backfill and proposed Stormceptor STC-900 and stabilize the disturbed areas according to temporary seeding notes (1 week)
7. Construct proposed building addition, proposed paving and remainder of site improvements (6 months)
8. Upon completion of all construction, remove all stumps or debris from the stormwater management pond and Stormceptor. Stabilize all disturbed areas according to permanent seeding notes (1 week)
9. Remove all sediment control devices after obtaining permission from the sediment control inspector (1 week)

PERMIT INFORMATION CHART

Table with columns: Subdivision Name, Section/Area, Parcel #, Zoning, Tax Map, Election District, Census Tract, Water Code, Sewer Code.

HOWARD SOIL CONSERVATION DISTRICT APPROVAL

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Signature: John R. Robertson, Date: 8/16/99.

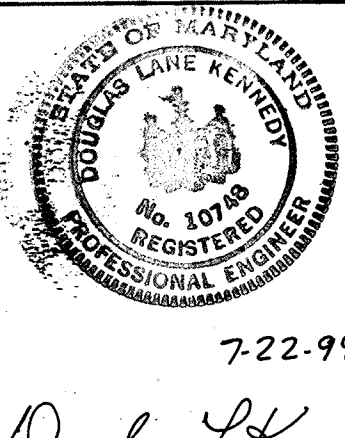
NATURAL RESOURCES CONSERVATION SERVICE REVIEW

THIS PLAN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS. Signature: Douglas L. Kennedy, Date: 8/16/99.

SEDIMENT CONTROL DETAILS

Project information: NAPA AUTO PARTS BUILDING ADDITION, DAVIS INDUSTRIAL PARK, 6TH ELECTION DISTRICT, HOWARD CO., MARYLAND. Includes scale, date, and drawing number.

KCW Consultants, Inc. CIVIL ENGINEERS AND LAND SURVEYORS. 3104 TIMPANS LANE, SUITE 101, BALTIMORE, MARYLAND 21244. TEL: (410) 281-0033, FAX: (410) 298-0034.



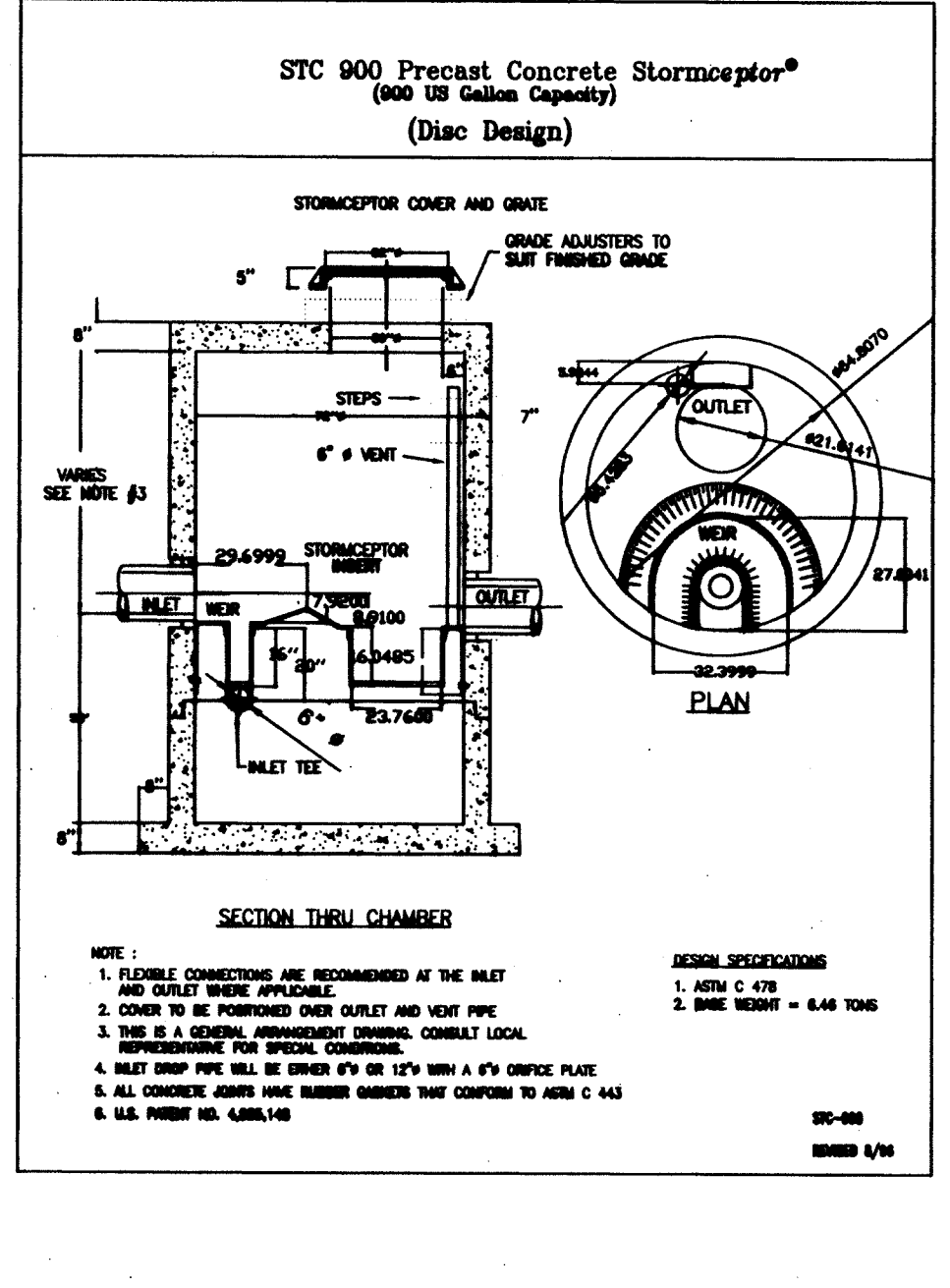
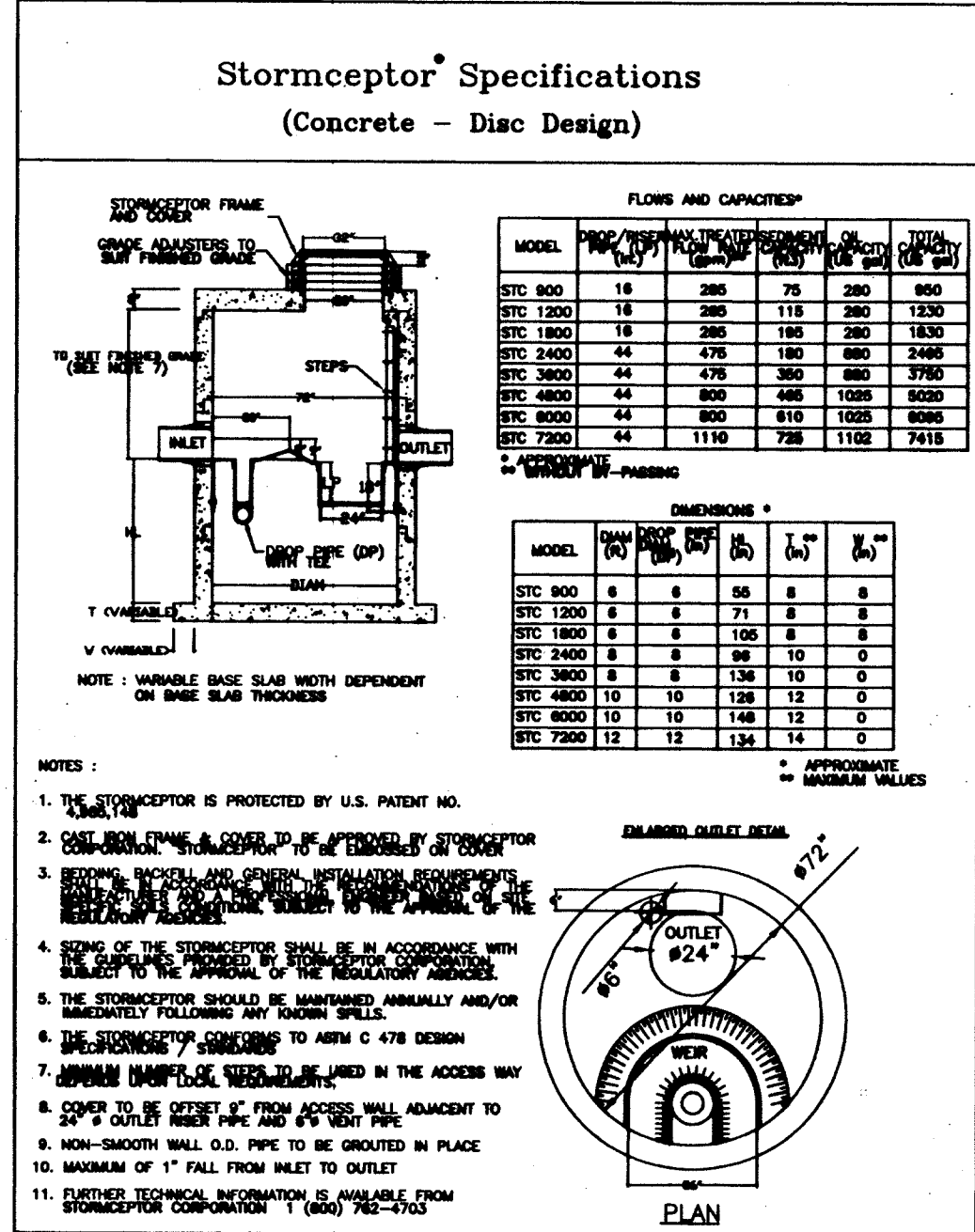
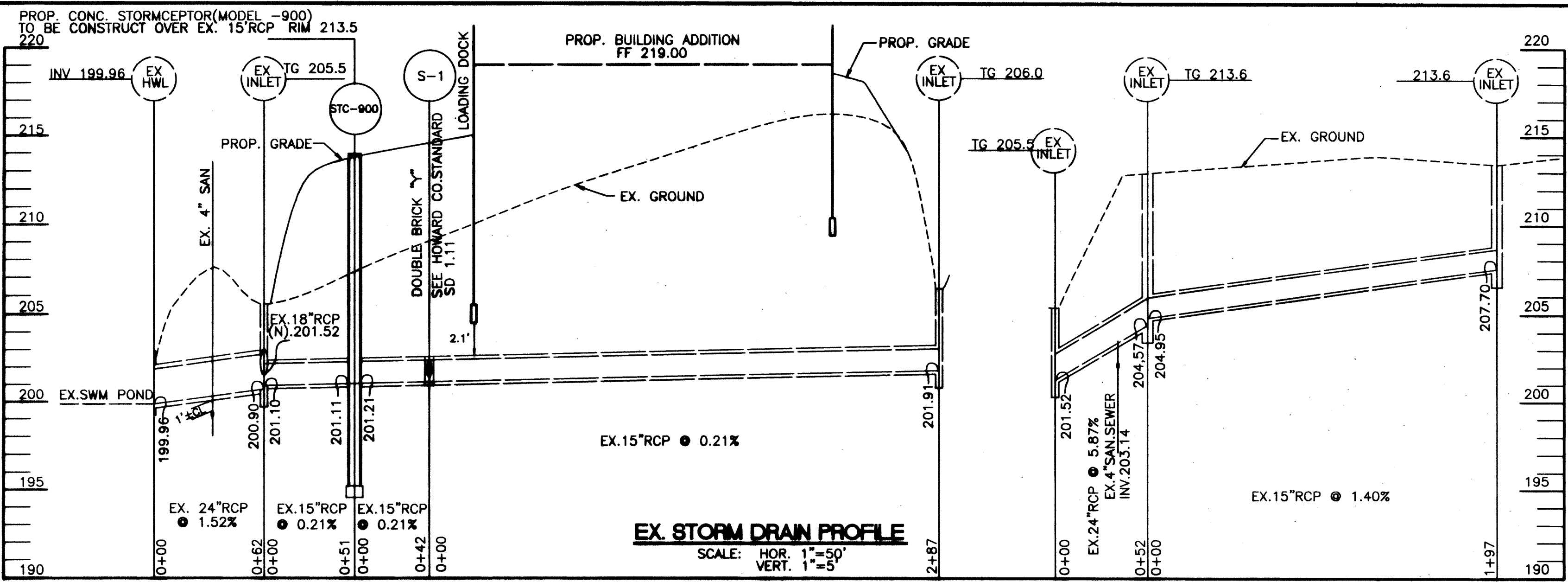
LIST OF DRAWINGS: C-100 SITE DEVELOPMENT AND GRADING PLAN, C-101 EXISTING CONDITIONS PLAN, C-102 SEDIMENT CONTROL PLAN, C-103 SEDIMENT CONTROL DETAILS NOTES AND PROFILES, C-104 SITE DETAILS.

OWNER: QUAKER CITY MOTOR PARTS CO., INC. 680 NORTH BROAD STREET, MIDDLETOWN, DEL. 19709. ATTN: JAMES DUCKWORTH, PRESIDENT. PHONE: (302) 378-9834.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. Signature: Charles H. Smith, Date: 8/10/99. Chief, Division of Land Development.

REVISIONS table with columns: DATE, DESCRIPTION. Includes revisions for submitted for approval, revised per Howard Co. EOD comments, and submitted to Howard Co. SC.

S.D.P.# 97-160



SITE	SITE AREA (ACRES)	GREENSPACE (ACRES)	NEW IMPERVIOUS AREA (ACRES)
NAPA AUTO 9759	4.47	0.0	0.29

STORMCEPTOR MODEL	MAX. IMP. D.A. (ACRES)	DRAIN SIZE (IN / OUT)	MAX. TREATED FLOW RATE (cfs)
STC-900	1.57	15" / 15" RCP	7.9

STORMCEPTOR MODEL	TOTAL HOLDING CAPACITY (GAL.)	OIL HOLDING CAPACITY (GAL.)	SEDIMENT HOLDING CAPACITY (C.F.)
STC-900	950	280	75

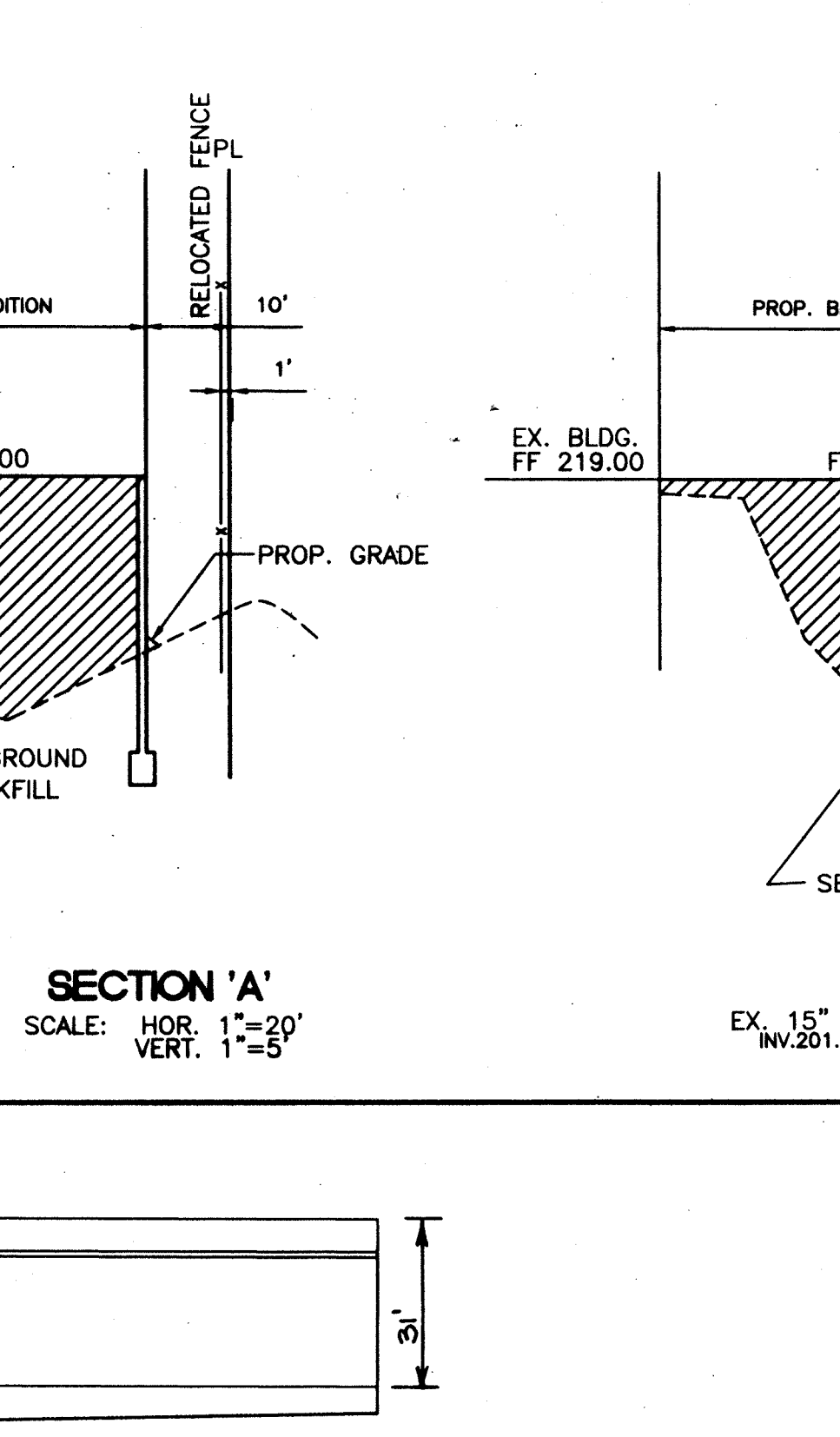
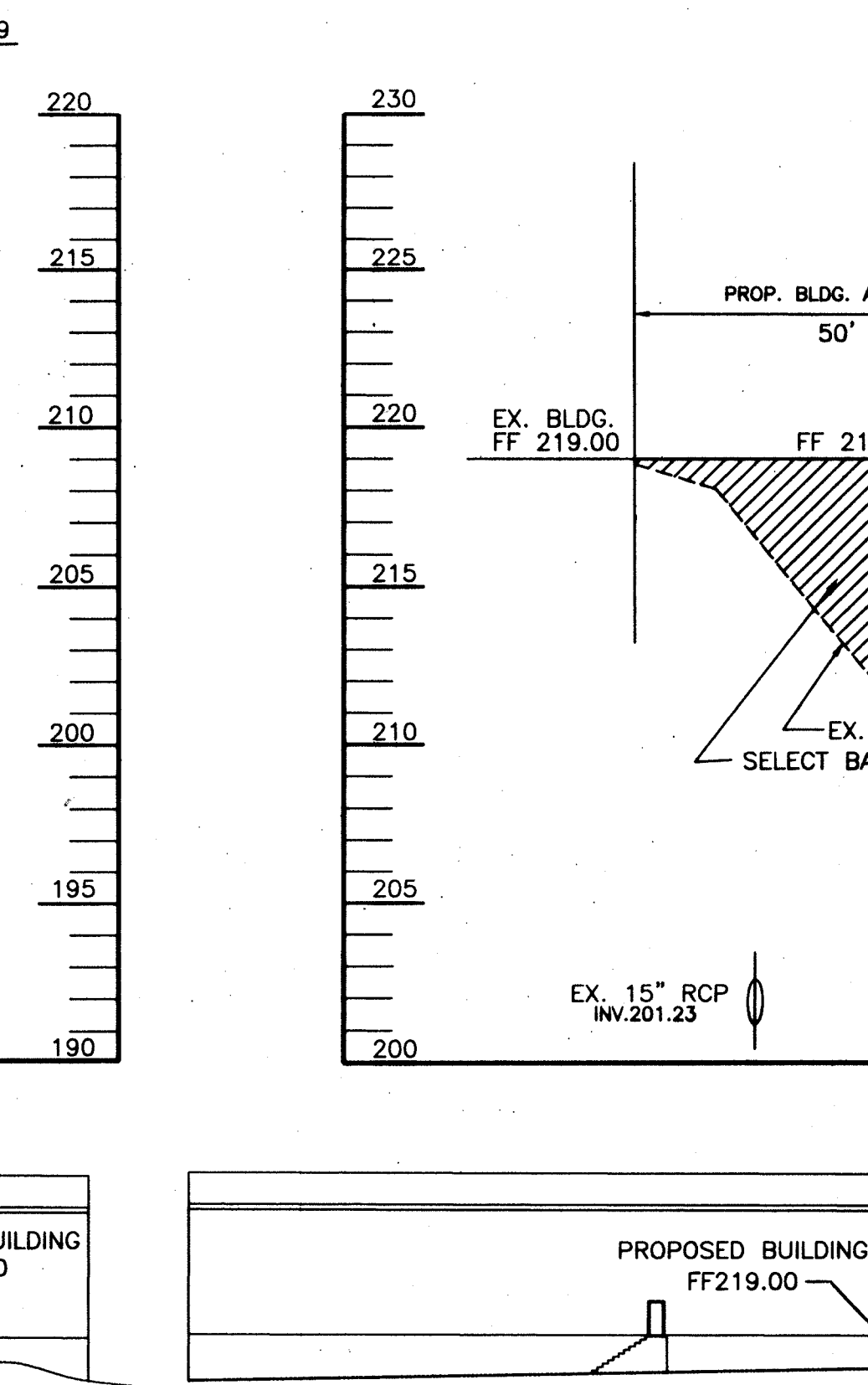
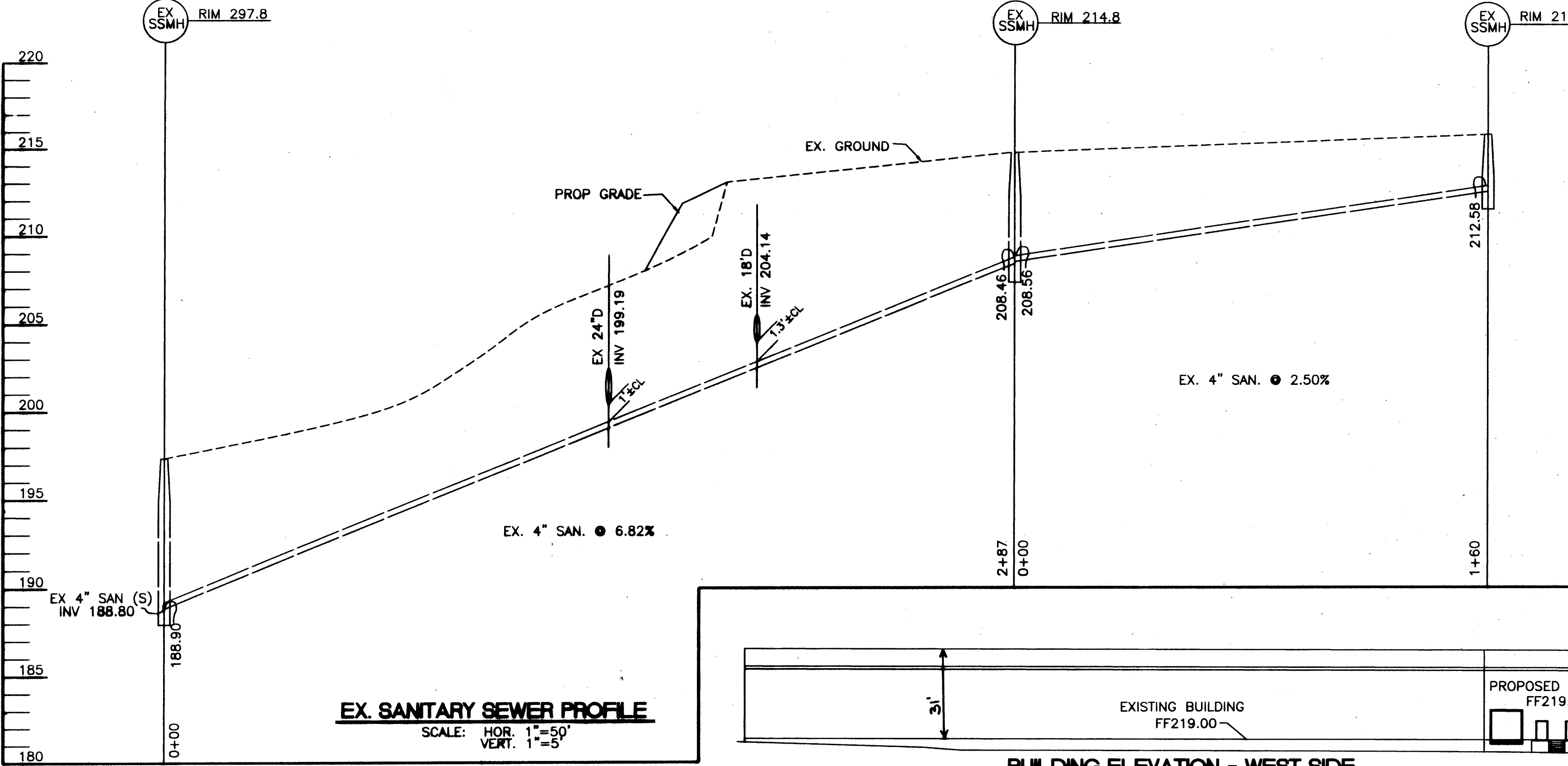
STORMCEPTOR MODEL	TOTAL DRAINAGE AREA (ACRES)	DESIGN PEAK FLOW (CFS)	INSERT SIZE HEIGHT (IN.)
STC-900	1.57	7.9	11.9

STORMCEPTOR MODEL	TOP OF GRAVEL BASE ELEV.	STORM DRAIN INVERT ELEV.	STORM DRAIN TOP ELEV.
STC-900	TO BE DETERMINED	201.21/201.11	213.50

STORMCEPTOR COMPUTATIONS:

TOTAL NEW IMPERVIOUS AREA = 12420 S.F.
 BUILDING = 10000 S.F.
 PAVEMENT = 2420 S.F.
 TOTAL = 12420 S.F.

WATER QUALITY COMPUTATIONS:
 12,420 X 72 X 0.005 = 4471 CF



Concrete Stormceptor Order Request Form*

Official Use Only

Contractor Information

Name: _____
 Address: _____
 City: _____
 State: _____
 Zip Code: _____
 Contact: _____
 Phone: _____
 Fax: _____

Order Information

Name: QUAKER MOTOR CITY MOTOR PARTS CO., INC.
 Phone: (302) 378-9824
 Fax: (302) 378-9824

Please draw orientation of inlet and outlet pipes on drawing along with pipe inside diameter (I.D.) and invert elevation (I.E.). Clearly mark inlet pipe with an I and outlet pipe with an O and provide the manufacturer pipe length in degrees.

Stormceptor Model	Inlet Size	Outlet Size	Disc Diameter	Disc Thickness	Disc Weight	Disc Area	Disc Perimeter	Disc Volume	Disc Weight
900 X 3600	18"	12"	12"	1.5"	200	170	53.4	1080	140
1200 X 4800	24"	18"	18"	1.5"	300	254	78.5	1620	210
1800 X 7200	36"	24"	24"	1.5"	450	424	113.1	2430	315
2400 X 10800	48"	32"	32"	1.5"	600	568	153.9	3240	420
3000 X 14400	60"	40"	40"	1.5"	750	707	199.9	4050	525
3600 X 18000	72"	48"	48"	1.5"	900	851	245.9	4860	630
4200 X 21600	84"	56"	56"	1.5"	1050	995	291.9	5670	735
4800 X 25200	96"	64"	64"	1.5"	1200	1139	337.9	6480	840
5400 X 28800	108"	72"	72"	1.5"	1350	1283	383.9	7290	945
6000 X 32400	120"	80"	80"	1.5"	1500	1427	429.9	8100	1050
6600 X 36000	132"	88"	88"	1.5"	1650	1571	475.9	8910	1155
7200 X 39600	144"	96"	96"	1.5"	1800	1715	521.9	9720	1260

Project Name: NAPA AUTO PARTS BUILDING ADDITION
 Approximate Date: 09/10/99
 Designer: KCW CONSULTANTS, INC.
 Designer Contact: CHAMBERLAIN, J.E.
 Phone: (410) 281-0033 Fax: (410) 281-0032

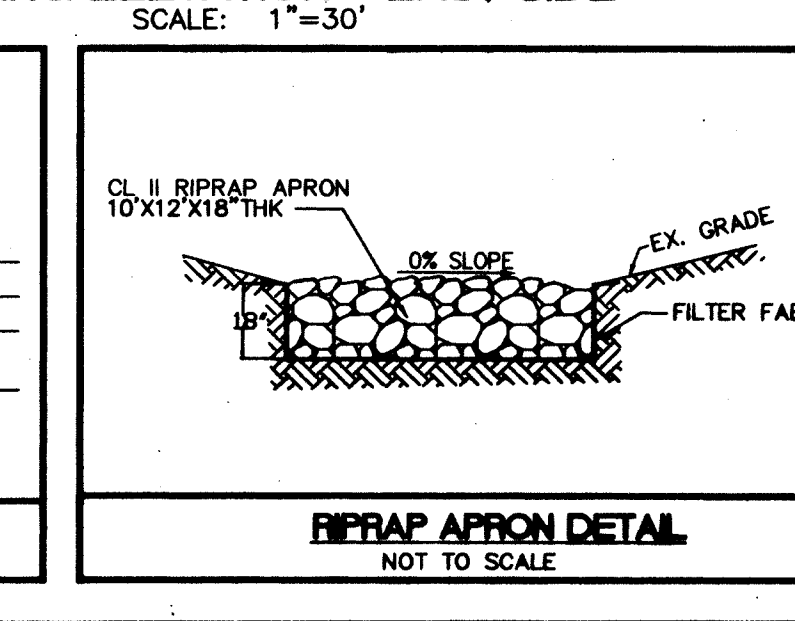
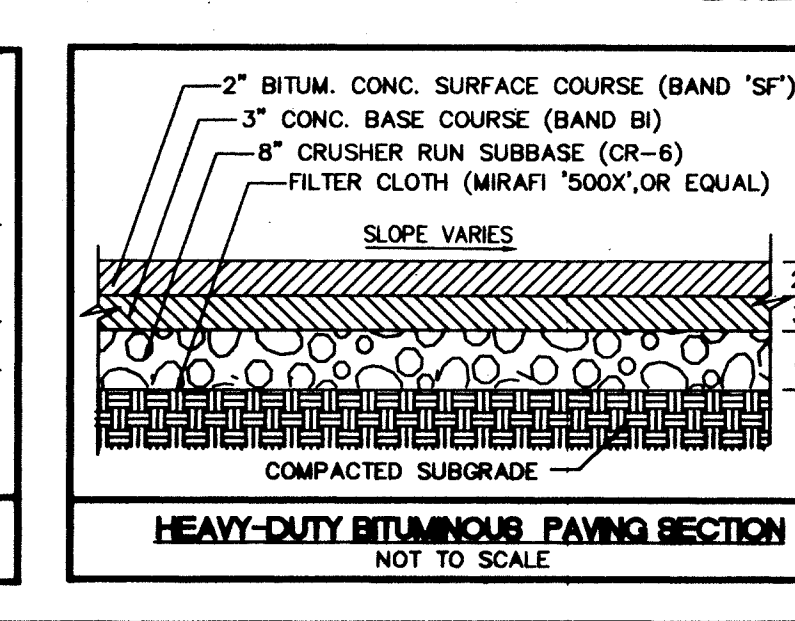
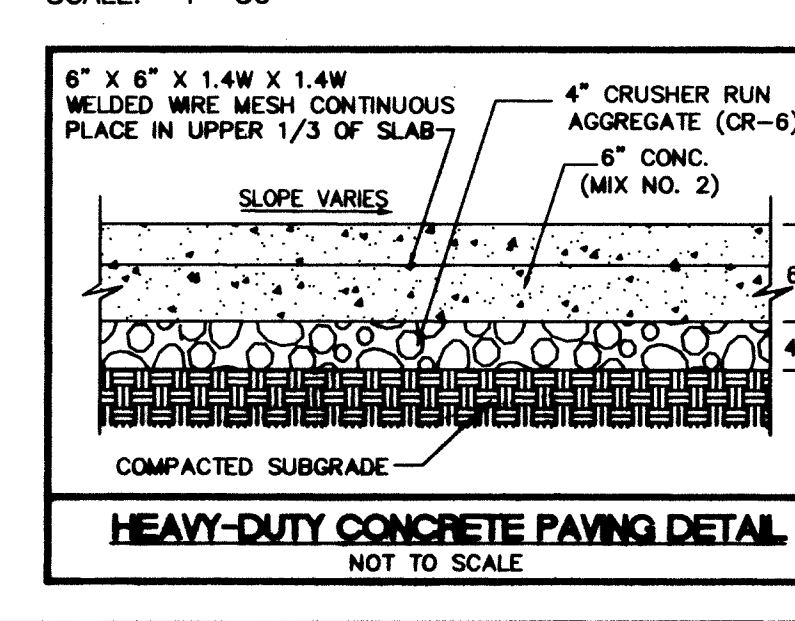
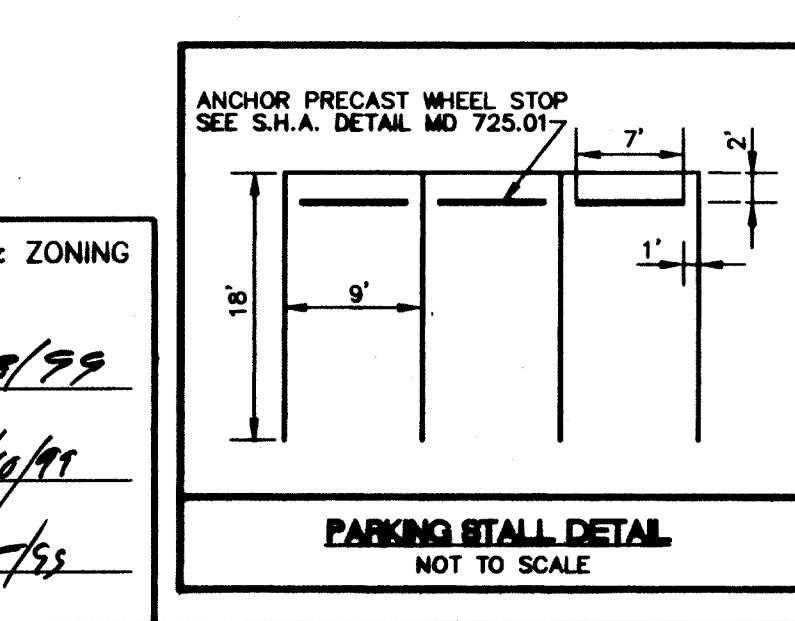
*Please See Site Visit to Stormceptor Corporation at (800) 753-4198
 For Technical Information Please Call Stormceptor Corporation at (800) 753-4198 or Toll Free at 1-800-762-4763

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 8/10/99
 Director

[Signature] 8/10/99
 Chief, Division of Land Development

[Signature] 8/10/99
 Chief, Development Engineering Division



LIST OF DRAWINGS:

NO.	DESCRIPTION
C-100	SITE DEVELOPMENT AND GRADING PLAN
C-101	EXISTING CONDITIONS PLAN
C-102	SEDIMENT CONTROL PLAN
C-103	SEDIMENT CONTROL DETAILS NOTES AND PROFILES
C-104	SITE DETAILS

OWNER:
 QUAKER CITY MOTOR PARTS CO., INC.
 680 NORTH BROAD STREET
 MIDDLETOWN, DELAWARE 19709

ATTN: JAMES DUKAKI, PRESIDENT
 PHONE: (302) 378-9834

REVISIONS

DATE	DESCRIPTION
7/22/99	SUBMITTED FOR APPROVAL SIGNATURES
11/13/97	SUBMITTED TO HOWARD CO SCS
8/20/97	ADDED STORMCEPTOR ORDER FORM AND DETAIL PER COMMENTS
7/15/97	ADDED STORMCEPTOR AND DOUBLE BRICK "Y" AND DETAILS PER COMMENTS

KCW J.O. 9759
 SCALE: 1" = 50'
 DATE: JUNE 10, 1997
 DESIGNED: RCB/CHC
 DRAWN: CHC
 CHECKED: DLK
 DRAWING NO.: 5 of 5
 NAPA C-104

KCW Consultants, Inc.
 CIVIL ENGINEERS AND LAND SURVEYORS
 3104 TIMANUS LANE, SUITE 101
 BALTIMORE, MARYLAND 21244

TELE: (410) 281-0033
 FAX: (410) 281-0032

7-22-99
[Signature]

LIBER: 920-494
 CENSUS TRACT: #6069.03
 TAX MAP: 50
 GRID: X4
 PARCEL: 442
 WATER CODE: C 05
 SEWER CODE: 71003000

PROFILES AND DETAILS

NAPA AUTO PARTS BUILDING ADDITION
 DAVIS INDUSTRIAL PARK
 6TH ELECTION DISTRICT HOWARD CO., MARYLAND
 S.D.P.#97-160