

MINIMUM LOT SIZE CHART			
LOT NO.	GROSS AREA(SF)	PIPESTEM AREA(SF)	REMAINING AREA(SF)
3	8,560	837	7,723
4	8,963	1,256	7,707
5	8,341	731	7,610
8	11,992	1,595	10,397
9	7,920	1,242	6,678
10	7,190	890	6,300
11	8,828	630	8,198
22	7,981	640	7,341
23	10,849	2,087	8,762
24	10,132	2,133	7,999
25	8,822	901	7,921
27	9,030	528	8,502
28	9,641	1,040	8,601
29	9,944	1,190	8,754
30	9,450	725	8,725
32	10,506	1,813	8,693
33	10,660	2,260	8,400
34	11,519	2,647	8,872
35	12,951	3,030	9,921
37	12,190	560	11,630
38	12,409	947	11,462
40	9,940	1,253	8,687
41	9,616	731	8,885
49	8,660	1,163	7,497
50	7,739	1,012	6,727

MINIMUM CELLAR ELEVATION		
LOT NO.	SHC INV. @ PL.	MIN. CELLAR ELEVATION
1	149.3	153.2
2	150.2	154.1
3	147.1	148.7
4	142.8	146.2
5	133.6	137.0
6	143.8	147.6
7	137.5	141.4
8	136.4	140.0
9	133.8	137.3
10	133.2	136.8
11	129.1	132.7
12	129.4	132.8
13	129.1	132.5
14	134.8	138.5
15	136.3	140.0
16	137.7	141.4
17	140.6	144.4
18	144.7	148.8
19	157.0	160.7
20	163.3	167.0
21	165.0	168.8
22	155.4	159.2
23	155.4	159.5
24	148.3	151.6
25	150.6	154.1
26	168.8	172.7

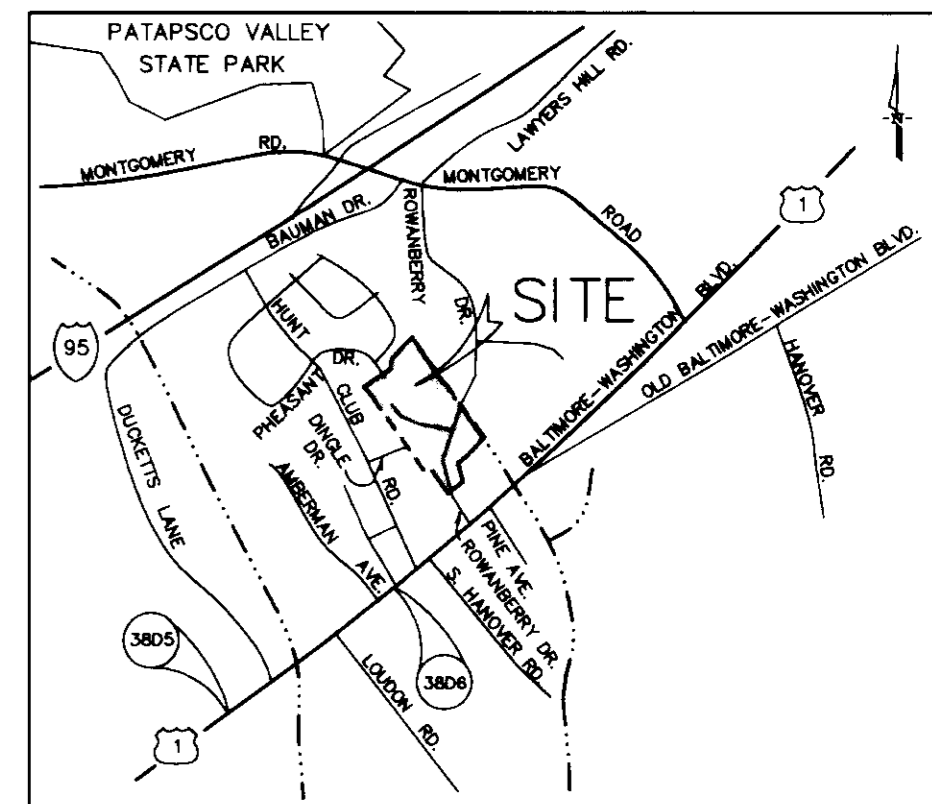
MINIMUM CELLAR ELEVATION		
LOT NO.	SHC INV. @ PL.	MIN. CELLAR ELEVATION
27	144.8	148.1
28	144.3	147.6
29	148.3	152.2
30	147.8	151.4
31	170.9	175.3
32	152.1	156.0
33	153.0	156.9
34	153.6	157.5
35	154.4	158.7
36	170.1	174.3
37	169.9	175.3
38	171.5	177.2
39	172.1	176.3
40	180.4	184.3
41	180.5	184.2
42	174.9	181.3
43	175.0	179.2
44	164.7	168.4
45	162.7	166.4
46	158.5	162.3
47	152.8	156.5
48	149.1	155.9
49	153.0	156.6
50	153.8	157.5
51	149.9	153.5
52	150.6	154.5

SITE DEVELOPMENT PLAN

DUBIN PROPERTY

1st ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



BENCH MARKS
 HORIZONTAL: NAD 83
 HOWARD COUNTY CONC. MON. 3805
 N. 557.155, E. 1,386.524, 1900
 HOWARD COUNTY CONC. MON. 3806
 N. 557.155, E. 1,384.992, 2002
 VERTICAL: NAD 27
 HOWARD COUNTY CONC. MON. 2546004
 ELEVATION 131.818
 *SEE VICINITY MAP FOR LOCATIONS.

VICINITY MAP
 SCALE: 1" = 2000'

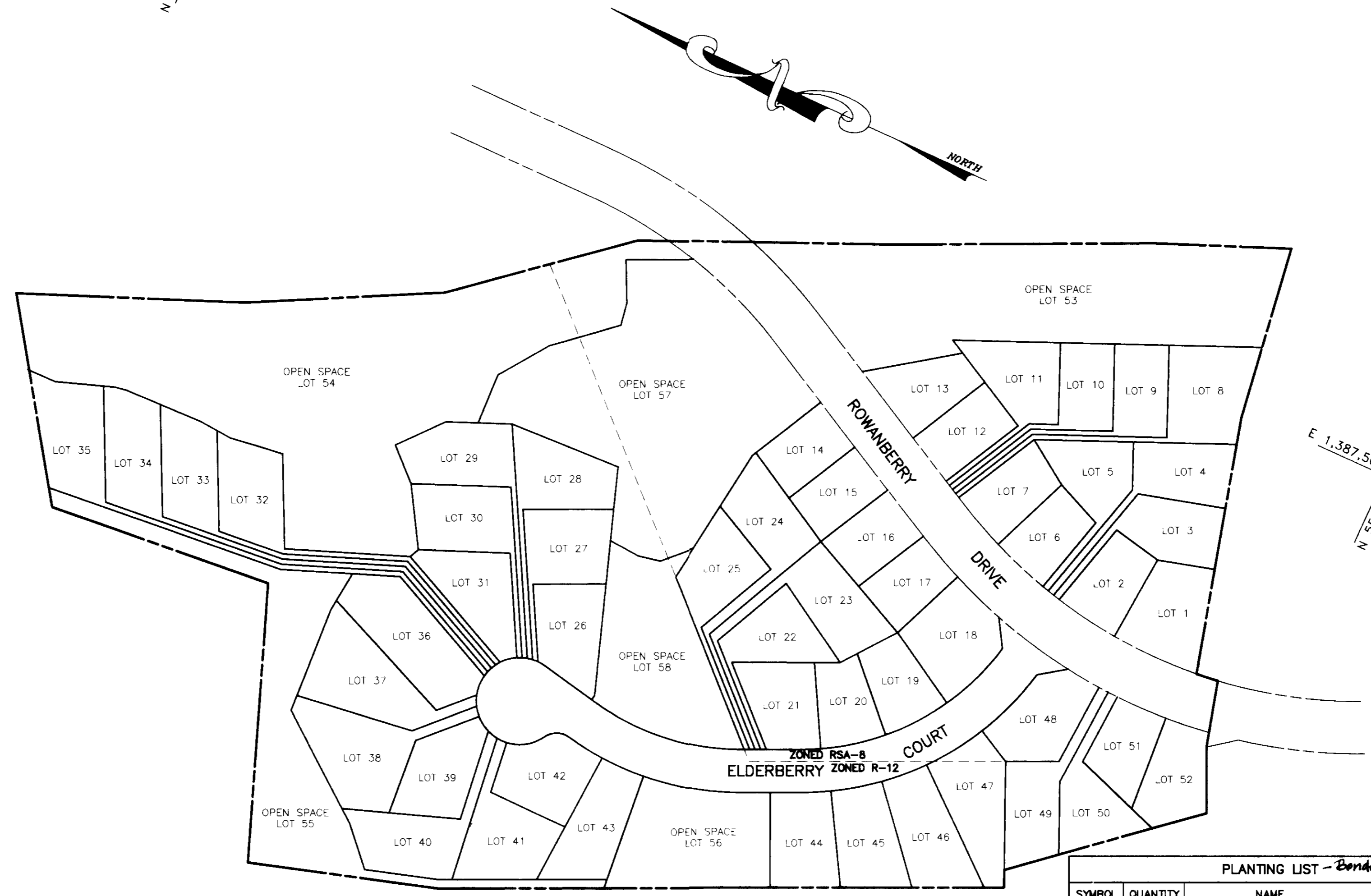
GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM ROAD CONSTRUCTION PLANS F-97-18. CONTOUR INTERVAL IS 2 FEET.
- HOWARD COUNTY CONTROL POINTS:
 HORIZONTAL DATUM BASED ON NAD 83 - MONUMENTS 3805 AND 3806
 VERTICAL DATUM BASED ON NAD 27 - MONUMENTS 2546004
- ALL ROADWAYS ARE PUBLIC AND EXISTING.
- EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM CONTRACT DRAWINGS 14-3538-D AND ROAD CONSTRUCTION PLANS F-97-18. CONTRACTOR SHALL PROVIDE ALL TOP ELEVATIONS AS NECESSARY TO MATCH SFP GRADES.
- STORMWATER MANAGEMENT IS PROVIDED FOR THESE LOTS UNDER ROAD CONSTRUCTION PLANS F-97-18 BY MEANS OF A RESTRICTION FRAGMENTATION.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, WETLAND BUFFERS, STREAM BUFFERS OR FOREST CONSERVATION AREAS.
- FENCES, FIREPLACES, CHIMNEYS, EXTERIOR STAIRWAYS, DECKS & BAY WINDOWS WHICH EXTEND ACROSS THE BRL SHALL BE IN ACCORDANCE WITH SECTION 12B(A)(1) OF THE HOWARD COUNTY ZONING REGULATIONS.
- [WOB] INDICATES WALKOUT BASEMENT.
- STREAM BUFFERS ARE LOCATED ON LOTS 9, 11, 21, 32 AND 36 THRU 38. WETLAND BUFFERS ARE LOCATED ON LOTS 21, 36 THRU 38 AND 40.
- PROVIDE HOWARD COUNTY FILE NO'S 5-94-40, F-92-111, P-96-11, WP-96-51, F-97-18.
- RESIDENTIAL LOTS SHALL BE DESIGNED TO PROVIDE AT LEAST 25 FEET OF USABLE YARD BETWEEN THE REAR OF A DWELLING AND ANY PROTECTED WETLAND OR STREAM BUFFER ON A RESIDENTIAL LOT. [SUBDIVISION SECTION 16.116(b)(3)].
- THIS PROJECT IS SUBJECT TO THE THIRD EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- MAINTENANCE AGREEMENT FOR USE-IN-COMMON DRIVeways ARE RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN LIBER 3919 AT FOLIO 0993 THRU 0708, LOTS 3-5, 8-11, 22-25, 27-30, 32-35, 37, 38, 40, 41, 45 AND 50.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE AT THE BUILDERS EXPENSE.
- BRL INDICATES BUILDING RESTRICTION LINE.
- FOR DRIVEWAY ENTRANCE DETAIL SEE HOWARD COUNTY STANDARD DETAIL R-6-01 & R-6-03.
- FOR EASEMENT, LOT SIZE AND OTHER RELATED INFORMATION, REFER TO PLAT NO'S 12752-12755.
- HOUSES/PORCHES WILL BE DIED ON LOTS SO THAT A SECOND GARAGE IS PARKED IN THE DRIVEWAY. LOTS NOT OVERLAPPING THIS USE-IN-COMMON ACCESS EASEMENT SEE LOTS 1, 32, 33 & 38 FOR EXAMPLES.

NOTE:
 CONTRACTOR TO CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY LINE PRIOR TO CONSTRUCTION OF HOUSE TO ENSURE PROPER SHC SLOPES CAN BE MAINTAINED.

ADDRESS CHART

LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
1	6383 ROWANBERRY DRIVE	19	6504 ELDERBERRY COURT	37	6561 ELDERBERRY COURT
2	6378 ROWANBERRY DRIVE	20	6508 ELDERBERRY COURT	38	6557 ELDERBERRY COURT
3	6375 ROWANBERRY DRIVE	21	6512 ELDERBERRY COURT	39	6553 ELDERBERRY COURT
4	6371 ROWANBERRY DRIVE	22	6516 ELDERBERRY COURT	40	6549 ELDERBERRY COURT
5	6367 ROWANBERRY DRIVE	23	6520 ELDERBERRY COURT	41	6545 ELDERBERRY COURT
6	6363 ROWANBERRY DRIVE	24	6524 ELDERBERRY COURT	42	6541 ELDERBERRY COURT
7	6359 ROWANBERRY DRIVE	25	6528 ELDERBERRY COURT	43	6537 ELDERBERRY COURT
8	6355 ROWANBERRY DRIVE	26	6532 ELDERBERRY COURT	44	6533 ELDERBERRY COURT
9	6351 ROWANBERRY DRIVE	27	6536 ELDERBERRY COURT	45	6529 ELDERBERRY COURT
10	6347 ROWANBERRY DRIVE	28	6540 ELDERBERRY COURT	46	6525 ELDERBERRY COURT
11	6343 ROWANBERRY DRIVE	29	6544 ELDERBERRY COURT	47	6521 ELDERBERRY COURT
12	6339 ROWANBERRY DRIVE	30	6548 ELDERBERRY COURT	48	6517 ELDERBERRY COURT
13	6335 ROWANBERRY DRIVE	31	6552 ELDERBERRY COURT	49	6513 ELDERBERRY COURT
14	6331 ROWANBERRY DRIVE	32	6556 ELDERBERRY COURT	50	6378 ROWANBERRY DRIVE
15	6327 ROWANBERRY DRIVE	33	6560 ELDERBERRY COURT	51	6374 ROWANBERRY DRIVE
16	6323 ROWANBERRY DRIVE	34	6564 ELDERBERRY COURT	52	6388 ROWANBERRY DRIVE
17	6319 ROWANBERRY DRIVE	35	6568 ELDERBERRY COURT		
18	6315 ELDERBERRY COURT	36	6572 ELDERBERRY COURT		



N 561.000
 E 1,386.500

PLAN
 SCALE: 1" = 200'

- PLANTING NOTES:
 1. TREES MUST BE PLANTED A MINIMUM OF 4 FEET FROM THE CURB OR SIDEWALK AND MUST BE A MINIMUM OF 5 FEET FROM ANY STORM DRAIN.
 2. A MINIMUM DISTANCE OF 20 FEET MUST BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND ANY STREET LIGHTS.
 3. TREE MUST BE PLANTED A MINIMUM OF 5 FEET FROM AN OPEN SPACE ACCESS STRIP AND 10 FEET FROM A DRIVEWAY.

SHEET NO.	TITLE
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	SITE DEVELOPMENT PLAN
5	SEDIMENT CONTROL PLAN
6	SEDIMENT CONTROL PLAN
7	SEDIMENT CONTROL PLAN
8	DETAILS

SITE DATA TABULATION

GENERAL SITE DATA

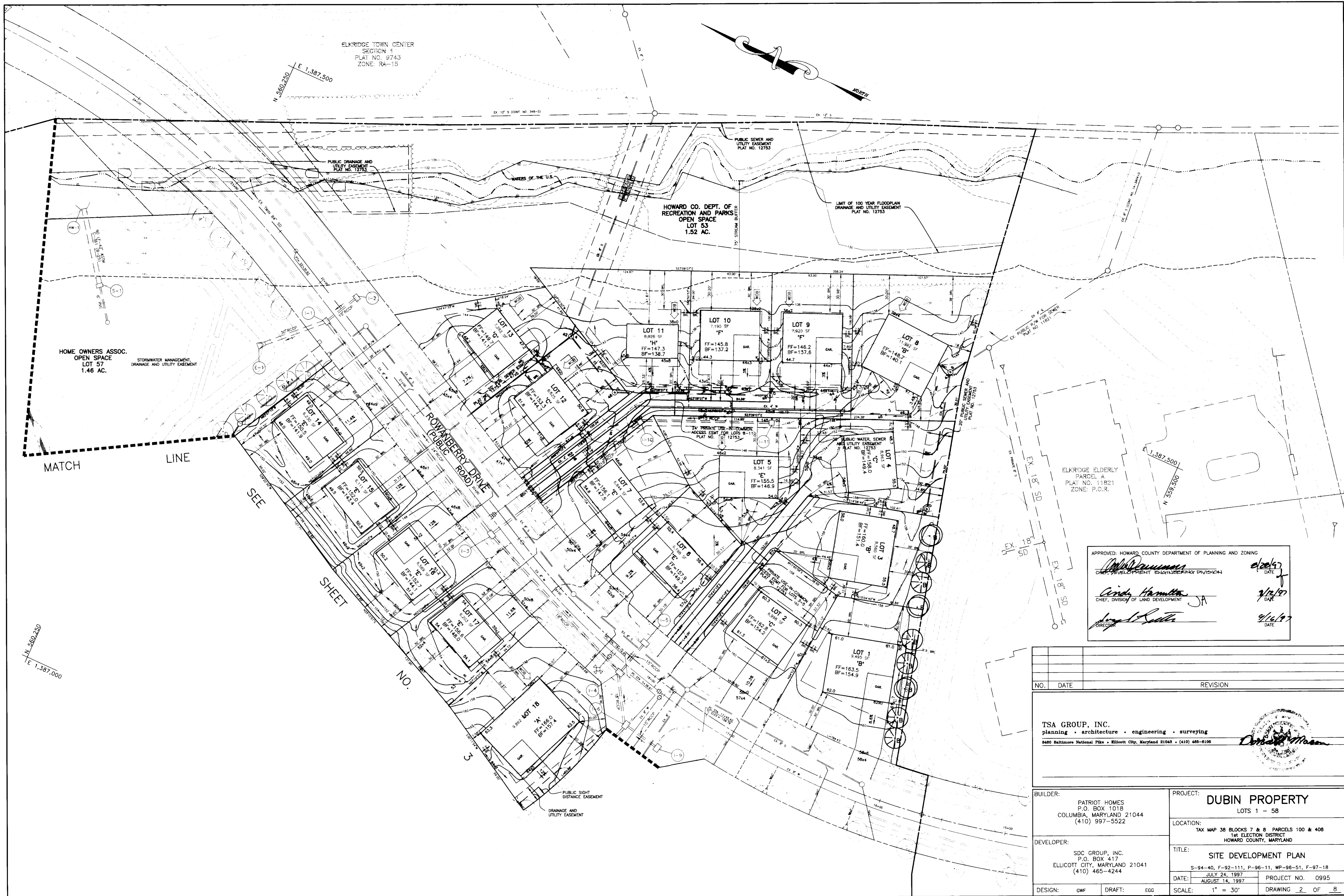
- PRESENT ZONING: R-5A-B AND R-12
- APPLICABLE DPZ FILE REFERENCES: S-94-40, F-92-111, P-96-11, WP-96-51, F-97-18
- PROPOSED USE OF SITE: SINGLE FAMILY DETACHED
- PROPOSED WATER AND SEWER SYSTEMS: PUBLIC

AREA TABULATION

1.) TOTAL PROJECT AREA.....	20.05 AC.
2.) NET AREA OF SITE.....	18.09 AC.
3.) AREA OF THIS PLAN SUBMISSION.....	20.05 AC.
4.) APPROXIMATE LIMIT OF DISTURBANCE.....	- AC.
5.) BUILDING COVERAGE OF SITE (PERMITTED).....	N/A (SFD)
6.) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT.....	52
7.) TOTAL NUMBER OF RESIDENTIAL UNITS/LOTS PROPOSED ON THIS SUBMISSION.....	52
8.) OPEN SPACE ON SITE.....	7.62 AC.
PERCENTAGE OF GROSS AREA.....	38%

SYMBOL	QUANTITY	NAME	REMARKS
(93)	93	ACER RUBRUM (RED MAPLE) (STREET TREE)(DEVELOPER)	2 1/2" MIN. CAL. B&B-FULL HEAD
(5)	5	ACER SACCHARUM (SUGAR MAPLE)(DEVELOPER)	2 1/2" MIN. CAL. B&B-FULL HEAD
(33)	33	ACER SACCHARUM (SUGAR MAPLE)(BUILDER)	2 1/2" MIN. CAL. B&B-FULL HEAD
(22)	22	PINUS STROBUS (EASTERN WHITE PINE) (DEVELOPER)	5'-6" HT. UNSHEARED
(8)	8	PINUS STROBUS (EASTERN WHITE PINE)(BUILDER)	5'-6" HT. UNSHEARED

HOUSE MATRIX																	
LOT NO.	BOX TYPE	BEN BANNEKER	PATRICK HENRY	THE LIBERTY	PAUL REVERE	JOHN HANCOCK	BEN FRANKLIN	FRANCIS SCOTT KEY	THOMAS JEFFERSON	JOHN ADAMS	GEORGE WASHINGTON	MOLLY PITCHER	ABRAHAM CLARK	VICTORY	PATRIOT	BRANTFORD II	WESTPORT
1	B	Y, 6	Y, 6	N	N	N	Y, 6, 7	Y, 6, 9	Y, 6	Y, 6	Y, 6, 7	N	N	Y, 6, 11	N	Y, 6	Y, 13
2	C	Y, 4, 6	N	N	N	N	N	N	Y, 1, 6	N	N	N	N	N	N	Y, 6	Y, 13
3	B	Y, 6	Y, 6	N	N	N	Y, 6, 7	Y, 6, 9	Y, 6	Y, 6	Y, 6, 7, 9	N	N	Y, 6, 11	N	Y, 6	Y, 13
4	C	Y, 4, 6	N	N	N	N	N	N	Y, 1, 6	N	N	N	N	N	N	Y, 6	Y, 13
5	E	N	N	N	N	N	N	N	N	N	Y, 2, 12	N	N	N	N	N	Y, 13
6	E	N	N	N	N	N	N	N	N	N	Y, 8	N	N	N	N	N	Y, 13
7	E	N	N	N	N	N	N	N	N	N	Y, 8	N	N	N	N	N	Y, 13
8	F	Y, 6, 12	Y, 6, 12	N	N	N	Y, 6, 7, 12	Y, 6, 7, 12	Y, 6, 12	Y, 6, 12	Y, 6, 12	Y, 6, 12	N	N	Y, 6, 11, 12	Y, 6, 12	Y, 13
9	F	Y, 6, 12	Y, 6, 12	N	N	N	N	N	Y, 6, 12	Y, 6, 12	Y, 6, 12	Y, 6, 12	N	N	N	Y, 6, 12	Y, 13
10	F	Y, 6, 12	Y, 6, 12	N	N	N	N	N	Y, 6, 12	Y, 6, 12	Y, 6, 12	Y, 6, 12	N	N	N	Y, 6, 12	Y, 13
11	H	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y, 6, 12	Y, 13
12	C	Y, 4, 6, 12	N	N	N	N	N	N	N	N	Y, 6, 12	Y, 6, 12	N	N	N	Y, 6, 12	Y, 13
13	B	N	N	N	N	N	N	N	N	N	Y, 6, 12	Y, 6, 12	N	N	N	Y, 6, 12	Y, 13
14	E	N	N	N	N	N	N	N	N	Y, 2	N	N	N	N	N	N	Y, 13
15	E	N	N	N	N	N	N	N	N	Y, 2	N	N	N	N	N	N	Y, 13
16	E	N	N	N	N	N	N	N	N	Y, 2	N	N	N	N	N	N	Y, 13
17	E	N	N	N	N	N	N	N	N	Y, 2	N	N	N	N	N	N	Y, 13
18	A	Y, 2, 4, 12	Y, 2, 12	N	N	N	Y, 2, 7, 12	Y, 2, 7, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	N	Y, 2, 12	N	Y, 2, 12	Y, 13
19	F	Y, 2, 12	Y, 2, 12	N	N	N	N	N	Y, 2, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	N	N	N	Y, 2, 12	Y, 13
20	C	Y, 2, 4, 12	N	N	N	N	N	N	Y, 2, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	N	N	N	Y, 2, 12	Y, 13
21	B	Y, 2, 12	Y, 2, 12	N	N	N	Y, 2, 7, 12	Y, 2, 7, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	Y, 2, 7, 12	N	Y, 2, 11, 12	N	Y, 2, 12	Y, 13
22	G	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y, 2, 12	Y, 13
23	D	Y, 6, 12	Y, 6, 12	N	N	N	Y, 6, 7, 12	Y, 6, 7, 12	Y, 6, 12	Y, 6, 12	Y, 6, 12	Y, 6, 12	N	Y, 6, 12	N	Y, 6, 12	Y, 13
24	C	Y, 2, 4, 12	N	N	N	N	N	N	Y, 2, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	N	N	N	Y, 2, 12	Y, 13
25	E	N	N	N	N	N	N	N	N	N	Y, 2, 12	N	N	N	N	N	Y, 13
26	C	Y, 4, 6, 12	N	N	N	N	N	N	Y, 6, 12	Y, 6, 12	N	N	N	N	N	Y, 6, 12	Y, 13
27	F	Y, 4, 6, 12	N	N	N	N	N	N	Y, 6, 12	Y, 6, 12	N	N	N	N	N	Y, 6, 12	Y, 13
28	C	Y, 4, 6, 12	N	N	N	N	N	N	Y, 6, 12	Y, 6, 12	N	N	N	N	N	Y, 6, 12	Y, 13
29	C	Y, 2, 4, 12	N	N	N	N	N	N	Y, 2, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	N	N	N	Y, 2, 12	Y, 13
30	B	Y, 2, 12	Y, 2, 12	N	N	N	Y, 2, 7, 12	Y, 2, 7, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	Y, 2, 7, 12	N	Y, 2, 11, 12	N	Y, 2, 12	Y, 13
31	H	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y, 2, 12	Y, 13
32	C	Y, 2, 4, 12	N	N	N	N	N	N	Y, 2, 12	Y, 2, 12	Y, 2, 12	Y, 2, 12	N	N	N	Y, 2, 12	Y, 13
33	C	Y, 4, 6, 12	N	N	N	N	N	N	Y, 6, 12	Y, 6, 12	N	N	N	N	N	Y, 6, 12	Y, 13



ELKRIDGE TOWN CENTER
SECTION 1
PLAT NO. 9743
ZONE: RA-15

HOWARD CO. DEPT. OF
RECREATION AND PARKS
OPEN SPACE
LOT 53
1.52 AC.

HOME OWNERS ASSOC.
OPEN SPACE
LOT 57
1.46 AC.

ELKRIDGE ELDERLY
PARCEL A
PLAT NO. 11821
ZONE: P.O.R.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 8/26/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

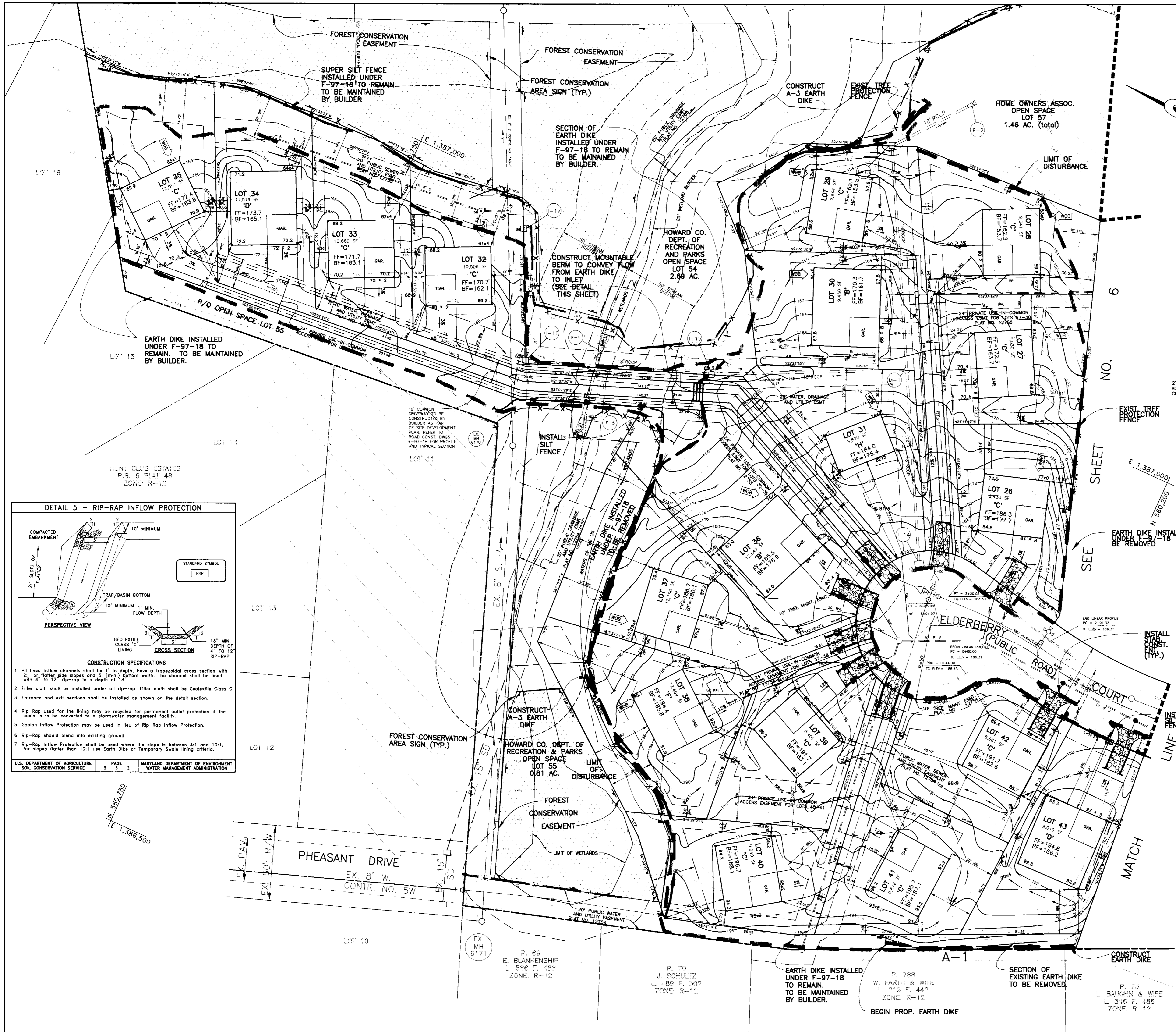
[Signature] 9/12/97
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 9/16/97
DIRECTOR DATE

NO.	DATE	REVISION

TSA GROUP, INC.
planning • architecture • engineering • surveying
8400 Baltimore National Pike • Ellicott City, Maryland 21043 • (410) 465-8106

BUILDER: PATRIOT HOMES P.O. BOX 1018 COLUMBIA, MARYLAND 21044 (410) 997-5522	PROJECT: DUBIN PROPERTY LOTS 1 - 58
DEVELOPER: SDC GROUP, INC. P.O. BOX 417 ELLCOTT CITY, MARYLAND 21041 (410) 465-4244	LOCATION: TAX MAP 38 BLOCKS 7 & 8 PARCELS 100 & 408 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DESIGN: GWF DRAFT: EGG	TITLE: SITE DEVELOPMENT PLAN S-94-40, F-92-111, P-96-11, WP-96-51, F-97-18 DATE: JULY 24, 1997 PROJECT NO. 0995 AUGUST 14, 1997 SCALE: 1" = 30' DRAWING 2 OF 8

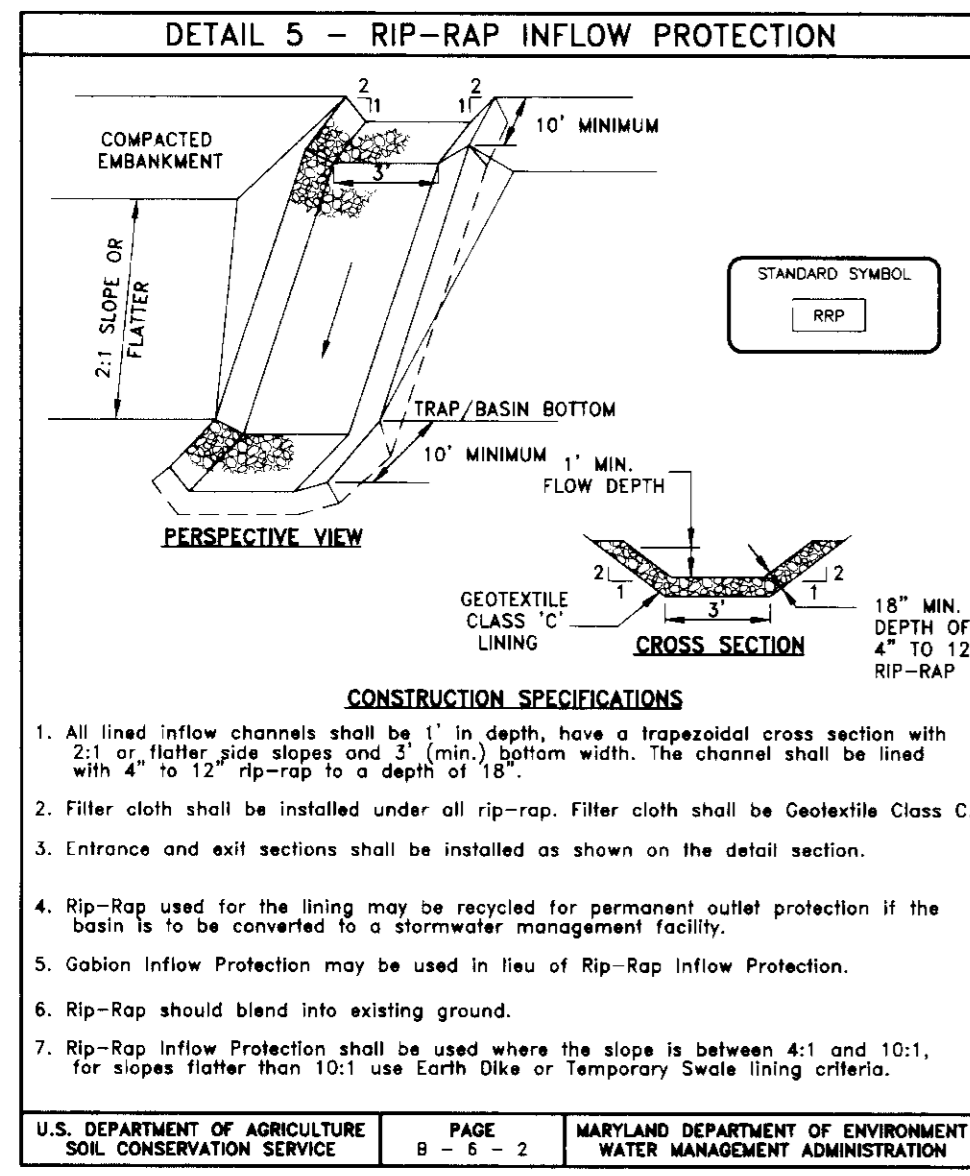
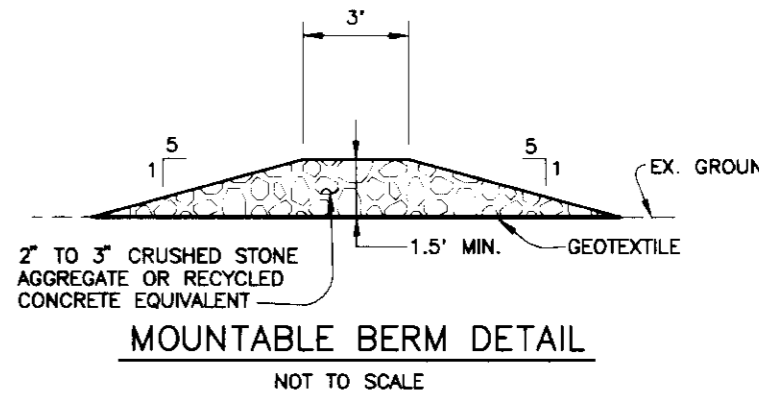


LEGEND

FOREST CONSERVATION EASEMENT	
STABILIZED CONSTRUCTION ENTRANCE	
PROPOSED CONTOUR	560
EXISTING GRADE	15" RCCP
PROPOSED STORM DRAIN	15" RCCP
LIMIT OF DISTURBANCE	
EXISTING EARTH DIKE*	A-1
PROPOSED EARTH DIKE	
EXISTING SILT FENCE*	— SF — SF —
PROPOSED SILT FENCE	
EXISTING SUPER SILT FENCE*	— SSF — SSF —
PROPOSED SUPER SILT FENCE	
TREE PROTECTION FENCE	X — X —

* — INSTALLED UNDER F-97-18

FOR SEDIMENT CONTROL ONLY

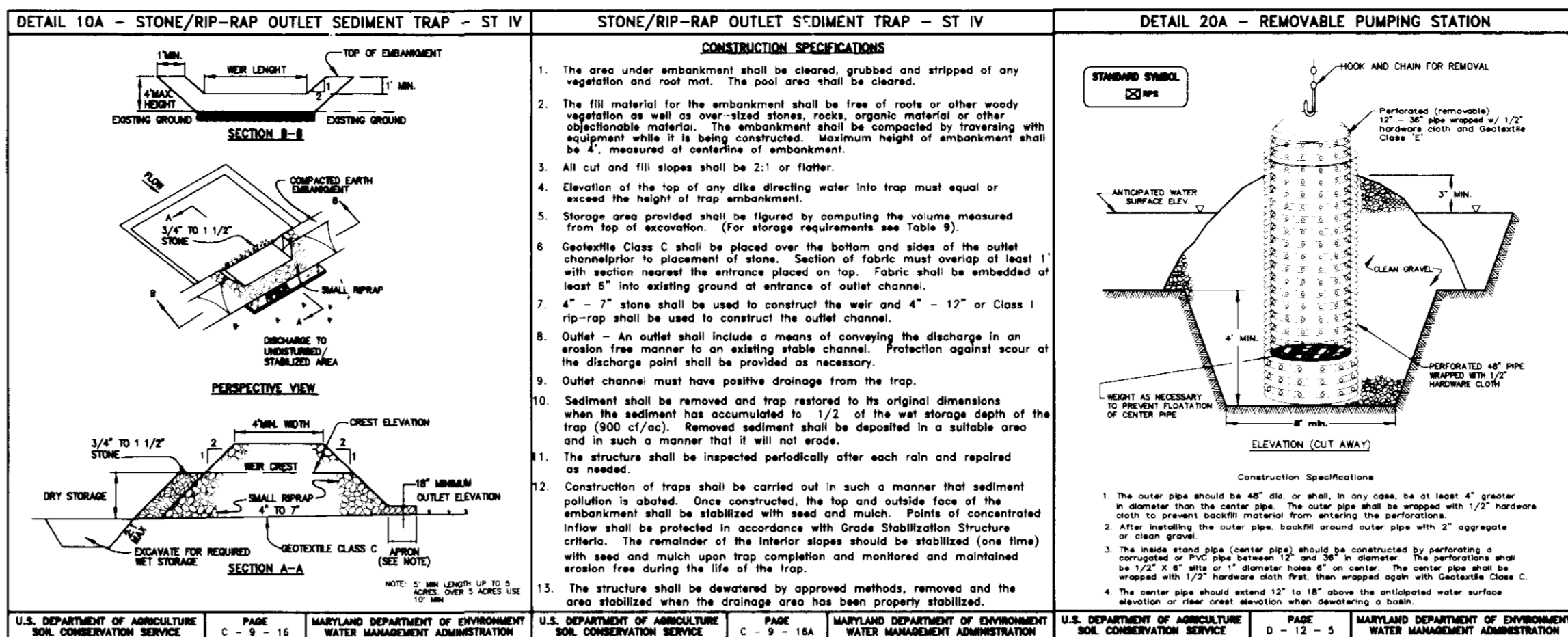
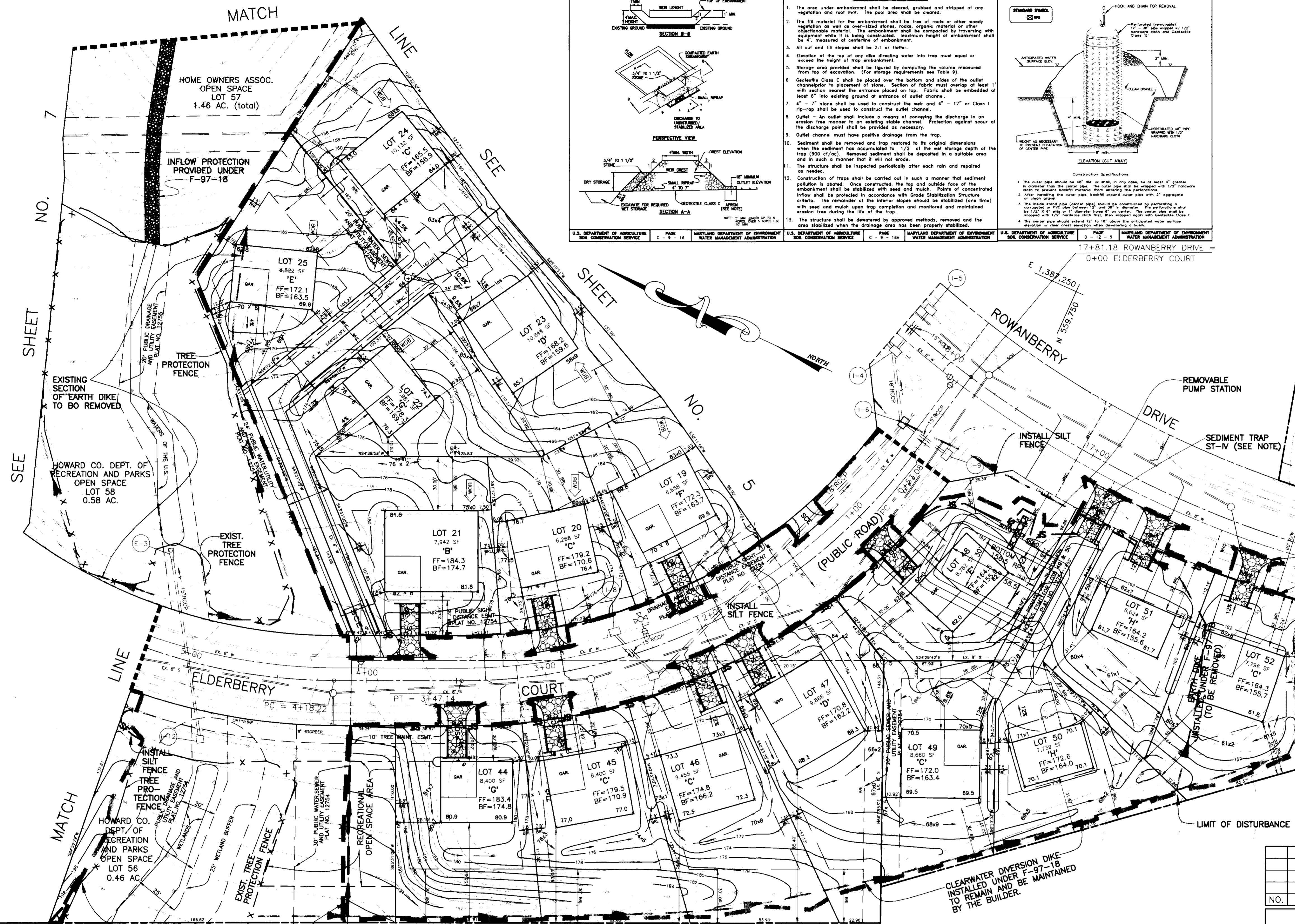


BY THE DEVELOPER: "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."	8/15/11 DATE
BY THE ENGINEER: "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."	8/13/97 DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	8/13/97 DATE
NATURAL RESOURCES CONSERVATION SERVICE	8/13/97 DATE
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.	8/13/97 DATE
APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	8/13/97 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/12/97 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	9/12/97 DATE
DIRECTOR	9/12/97 DATE

NO.	DATE	REVISION

TSA GROUP, INC.
planning • architecture • engineering • surveying
5400 Baltimore National Pike • Ellicott City, Maryland 21043 • (410) 486-6106

OWNER: SDC GROUP, INC. POST OFFICE BOX 417 ELLCOTT CITY, MARYLAND 21041 (410) 465-4244	PROJECT: DUBIN PROPERTY LOTS 1 - 58
BUILDER: PATRIOT HOMES P.O. BOX 1018 COLUMBIA, MARYLAND 21044 (410) 997-5522	LOCATION: TAX MAP 38 BLOCKS 7 & 8 PARCELS 100 & 408 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE: JULY 24, 1997 AUGUST 14, 1997	TITLE: SEDIMENT & EROSION CONTROL PLAN S-94-40, F-92-111, P-96-11, WP-96-51, F-97-18
DESIGN: GWF DRAFT: EGG	PROJECT NO.: 0995 DRAWING: 7 OF 8



BY THE DEVELOPER:
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
James J. Connelly
 DATE: 8/25/97

BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Donald Moon
 DATE: 8/25/97

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Chad Simons P.E.S.
 DATE: 8/25/97

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS:
Shawn Smith
 DATE: 8/25/97

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING:
William J. ...
 DATE: 8/26/97

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cindy Hamilton
 DATE: 9/10/97

CHIEF, DIVISION OF LAND DEVELOPMENT
Joseph ...
 DATE: 9/16/97

LEGEND

FOREST CONSERVATION EASEMENT	[Symbol]
STABILIZED CONSTRUCTION ENTRANCE	[Symbol]
PROPOSED CONTOUR	[Symbol]
EXISTING GRADE	[Symbol]
PROPOSED STORM DRAIN	[Symbol]
LIMIT OF DISTURBANCE	[Symbol]
EXISTING EARTH DIKE*	[Symbol]
PROPOSED EARTH DIKE	[Symbol]
EXISTING SILT FENCE*	[Symbol]
PROPOSED SILT FENCE	[Symbol]
EXISTING SUPER SILT FENCE*	[Symbol]
PROPOSED SUPER SILT FENCE	[Symbol]
TREE PROTECTION FENCE	[Symbol]

* - INSTALLED UNDER F-97-18

SEDIMENT BASIN DATA

DRAINAGE AREA (UNDER F-97-18)	24.25Ac.
WET STORAGE REQUIRED	43,560 cf
WET STORAGE PROVIDED	43,560 cf
BOTTOM ELEVATION	134.0
EMBANKMENT ELEVATION*	144.5
RISER WEIR CREST ELEV.	138.3
CLEAN OUT ELEVATION	135.7
EMERGENCY SPILLWAY CREST	141.5
DRAIN DOWN ORIFICE INVERT	133.5
DISTANCE FROM TOP OF RISER TO CLEANOUT ELEV.	6.9'

NOTE: THE EXISTING STORMWATER MANAGEMENT POND/SEDIMENT BASIN WAS CONSTRUCTED AND USED FOR SEDIMENT CONTROL UNDER F-97-18. BASIN WALL CONTINUE TO BE USED FOR SEDIMENT CONTROL UNDER THIS SDP. DATA SHOWN IN THIS TABLE IS REFLECTIVE OF F-97-18. DRAINAGE AREA TO BASIN UNDER THIS SDP, 16.2 Ac.

SEDIMENT TRAP DATA ST-IV

EXISTING DRAINAGE AREA	1.55 Ac.
VOLUME REQUIRED	1.55x3600=5580 CF
TRAPSIZE (BOTTOM)	58.5'x30'
SIDE SLOPES:	2:1
VOLUME PROVIDED:	5,619 CF
CREST ELEVATION	159.0
BOTTOM ELEVATION	156.5
OUTLET ELEV.	158.5
EMBANKMENT ELEVATION	160.0
CLEANOUT ELEVATION	157.8
CREST WIDTH	4x1.55=6.2'
DEPTH BELOW OUTLET	2.0'

NOTE: SEDIMENT TRAP TO BE INSTALLED PRIOR TO SITE GRADING. ONCE FINAL GRADES ARE ACHIEVED IN AREA AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, TRAP MAY BE REMOVED AND AREA PERMANENTLY STABILIZED.

FOR SEDIMENT CONTROL ONLY

NO.	DATE	REVISION
<p>TSA GROUP, INC. planning • architecture • engineering • surveying 5680 Baltimore National Pike • Ellicott City, Maryland 21045 • (410) 465-8106</p>		
OWNER:	SDC GROUP, INC. POST OFFICE BOX 417 ELICOTT CITY, MARYLAND 21041 (410) 465-4244	PROJECT: DUBIN PROPERTY LOTS 1 - 58
BUILDER:	PATRIOT HOMES P.O. BOX 1018 COLUMBIA, MARYLAND 21044 (410) 997-5522	LOCATION: TAX MAP 38 BLOCKS 7 & 8 PARCELS 100 & 408 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DESIGN:	GWF	DRAFT: EGG
TITLE: SEDIMENT & EROSION CONTROL PLAN S-94-40, F-92-111, P-96-11, WP-96-51, F-97-18		DATE: JULY 24, 1997 AUGUST 14, 1997
SCALE: 1" = 30'		PROJECT NO. 0995 DRAWING 6 OF 8

ELKRIDGE TOWN CENTER
SECTION 1
PLAT NO. 9743
ZONE: RA-15

- LEGEND**
- FOREST CONSERVATION EASEMENT
 - STABILIZED CONSTRUCTION ENTRANCE
 - PROPOSED CONTOUR
 - EXISTING GRADE
 - PROPOSED STORM DRAIN
 - LIMIT OF DISTURBANCE
 - EXISTING EARTH DIKE*
 - PROPOSED EARTH DIKE
 - EXISTING SILT FENCE*
 - PROPOSED SILT FENCE
 - EXISTING SUPER SILT FENCE*
 - PROPOSED SUPER SILT FENCE
 - TREE PROTECTION FENCE
- * - INSTALLED UNDER F-97-18

FOR SEDIMENT CONTROL ONLY

TOPSOIL STANDARDS AND SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CHINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

BY THE DEVELOPER: I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.	8/15/97 DATE
BY THE ENGINEER: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.	8/16/97 DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.	8/16/97 DATE
NATURAL RESOURCES CONSERVATION SERVICE	8/16/97 DATE
REVIEWED BY HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS	8/16/97 DATE
APPROVED BY HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	8/16/97 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	8/16/97 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	8/16/97 DATE
DIRECTOR	8/16/97 DATE

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (315-1850).
 - ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL", REVISIONS THERETO.
 - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
 - ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
 - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, FOR PERMANENT SEEDINGS (SEC. 51) SOIL (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
 - ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
- | | |
|------------------------------------|---------------|
| TOTAL AREA OF SITE | 20.05 ACRES |
| AREA DISTURBED | 10.39 ACRES |
| AREA TO BE ROOFED OR PAVED | 3.71 ACRES |
| AREA TO BE VEGETATIVELY STABILIZED | 7.75 ACRES |
| TOTAL CUT | 14,120 CY YDS |
| TOTAL FILL | 14,120 CY YDS |
- OPPOSITE WASTE/BORROW AREA LOCATION
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
 - ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 - ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
 - TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- PERMANENT SEEDING PREPARATION**
- SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.
- SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ FT).
 - ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.
- SEEDING: FOR THE PERIODS MARCH 1 THROUGH APRIL 30 AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.05 LBS/1000 SQ FT) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 15 THROUGH FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOO. OPTION (3) SEED WITH 60 LBS PER ACRE OF KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE OF WELL ANCHORED STRAW.
- MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.
- REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.
- TEMPORARY SEEDING PREPARATION**
- APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
- SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.
- SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).
- SEEDING: FOR PERIOD MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 1 THROUGH NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THROUGH AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.07 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.
- MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.
- MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

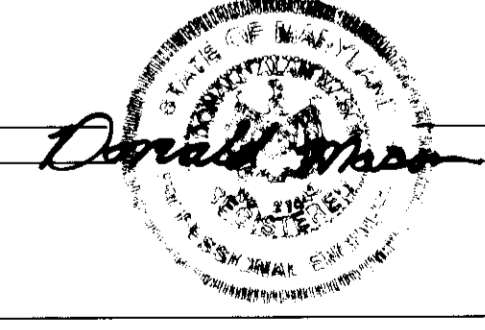
NOTE: CONSTRUCT MOUNTABLE BERM IN CONJUNCTION WITH STABILIZED CONSTRUCTION ENTRANCE TO CONVEY FLOW ALONG EARTH DIKE PERIMETER.

SEQUENCE OF CONSTRUCTION

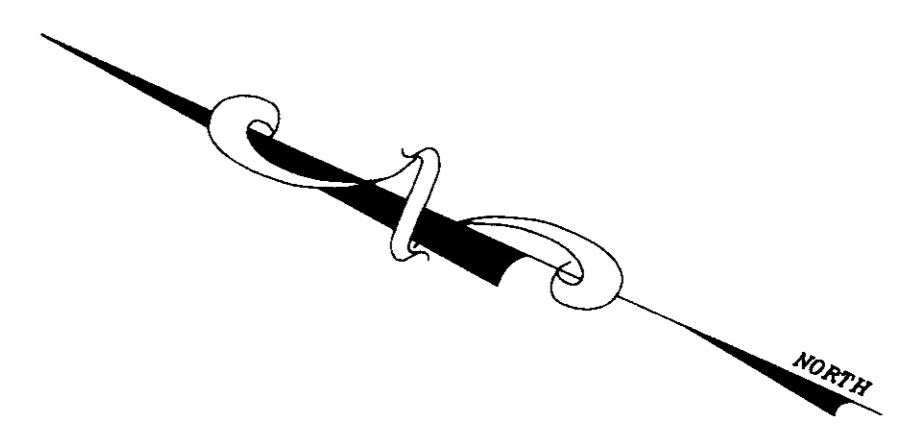
- (NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF CONSTRUCTION)
- DAY 1 - OBTAIN A GRADING PERMIT.
 - DAY 2-6 - INSTALL SEDIMENT CONTROLS THAT ARE NOTED TO BE INSTALLED UNDER THE SDP. THE EXISTING CONTROLS THAT WERE INSTALLED UNDER F-97-18 THAT ARE TO REMAIN SHALL BE INSPECTED TO ENSURE THEY MEET COMPLIANCE WITH SPECIFICATIONS. ANY REMAINING CONTROLS INSTALLED UNDER F-97-18 TO BE REMOVED BY DEVELOPER.
 - DAY 7-10* - EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDING NOTES.
 - DAY 11-81 - CONSTRUCT HOUSE, BACKFILL AND CONSTRUCT DRIVEWAY.
 - DAY 82-86 - FINAL GRADE AREA AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDING NOTES. FLUSH STORM DRAIN SYSTEM. REMOVE ACCUMULATED SEDIMENT IN SWM. RETURBISH AND CONVERT POND BACK TO PERMANENT DESIGN AS SHOWN ON F-97-18.
 - DAY 87-90 - WITH APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.
- * - INDICATES SINGLE HOUSE CONSTRUCTION
- NOTE: SEDIMENT CONTROL LOCATION AND IMPLEMENTATION SHOWN ON THESE PLANS IS SUBJECT TO REVISION IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR

NO.	DATE	REVISION

TSA GROUP, INC.
planning • architecture • engineering • surveying
8450 Baltimore National Pike • Ellicott City, Maryland 21043 • (410) 465-6106



OWNER: SDC GROUP, INC. P.O. BOX 417 ELLICOTT CITY, MARYLAND 21041 (410) 465-4244	PROJECT: DUBIN PROPERTY LOTS 1 - 58 TAX MAP 38 BLOCKS 7 & 8 PARCELS 100 & 408 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND
BUILDER: PATRIOT HOMES P.O. BOX 1018 COLUMBIA, MARYLAND 21044 (410) 997-5522	TITLE: SEDIMENT & EROSION CONTROL PLAN S-94-40, F-92-111, P-96-11, WP-96-51, F-97-18 DATE: JULY 24, 1997 AUGUST 14, 1997 PROJECT NO. 0995
DESIGN: GWF	DRAFT: EGG
SCALE: 1" = 30'	DRAWING NO. OF 8



SEE SHEET NO. 3

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 8/20/97 DATE

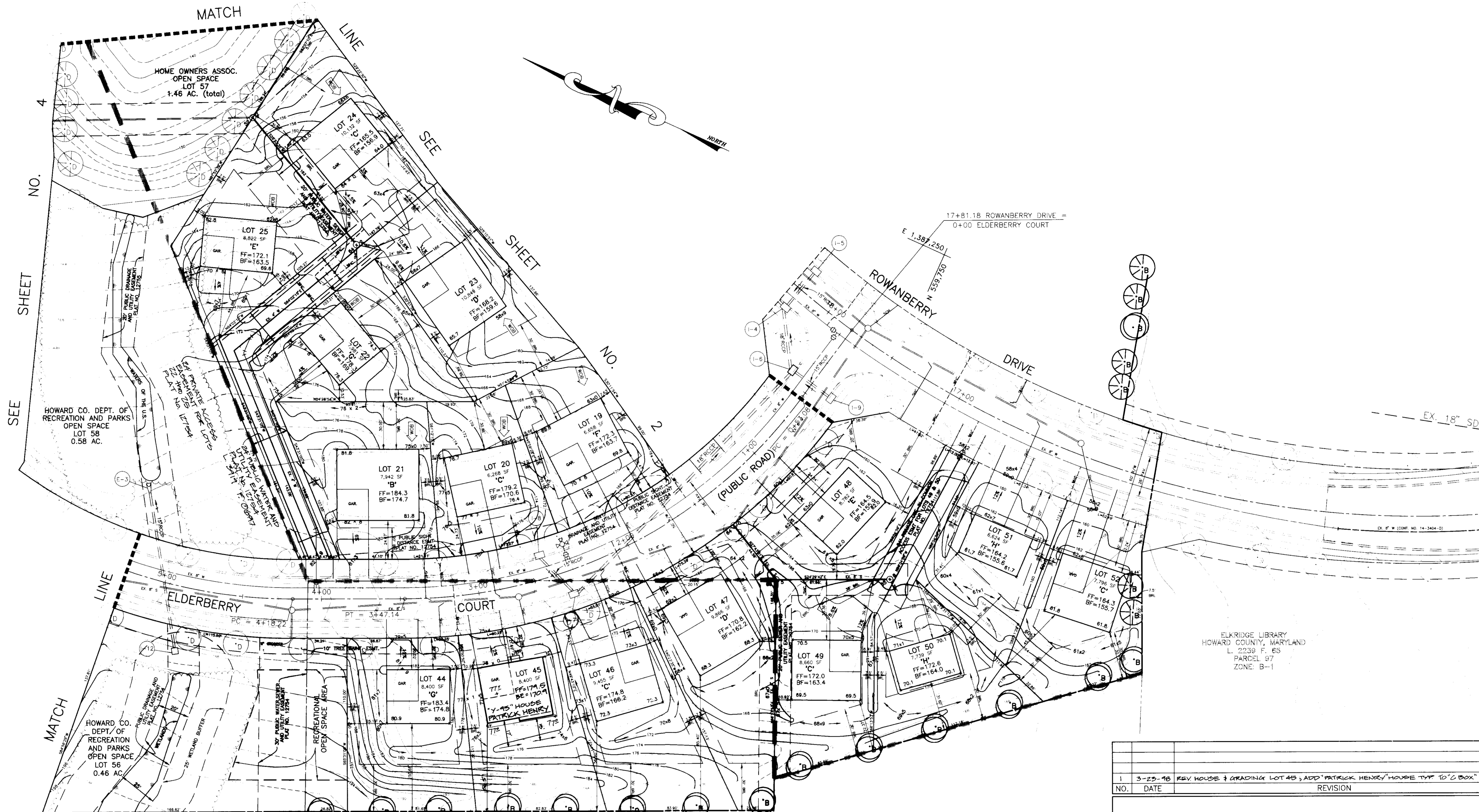
[Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT 7/12/97 DATE

[Signature]
 DIRECTOR 8/16/97 DATE

NO.	DATE	REVISION
2	4-2-98	REVISE ELEVATIONS, GRADES & HOUSE LOCATION ON LOT 37
1	2-23-98	REVISE HOUSE & GRADE LOT 37

TSA GROUP, INC.
 planning • architecture • engineering • surveying
 3460 Baltimore National Pike • Ellicott City, Maryland 21045 • (410) 466-8106

BUILDER: PATRIOT HOMES P.O. BOX 1018 COLUMBIA, MARYLAND 21044 (410) 997-5522	PROJECT: DUBIN PROPERTY LOTS 1 - 58
DEVELOPER: SDC GROUP, INC. POST OFFICE BOX 417 ELLICOTT CITY, MARYLAND 21041 (410) 465-4244	LOCATION: TAX MAP 38 BLOCKS 7 & 8 PARCELS 100 & 408 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE: SITE DEVELOPMENT PLAN S-94-40, F-92-111, P-96-11, WP-96-51, F-97-18	DATE: JULY 24, 1997 AUGUST 14, 1997
DESIGN: GWF DRAFT: EGG	PROJECT NO. 0995 SCALE: 1" = 30' DRAWING 4 OF 8



N 560.230
E 1,386.750

E 1,386.750
N 559.750

P. 73
L. BAUGHN & WIFE
L. 546 F. 486
ZONE: R-12

P. 90
A. SMITH, JR.
L. 1447 F. 304
L. 657 F. 742
ZONE: R-12

NO.	DATE	REVISION
1	3-23-98	REV HOUSE & GRADING LOT 45; ADD 'PATRICK HENRY' HOUSE TYP TO 'C' BOX

TSA GROUP, INC.
 planning • architecture • engineering • surveying
 5450 Baltimore National Pike • Ellicott City, Maryland 21043 • (410) 485-6105

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Williams
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 8/20/97

Candy Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 9/12/97

James R. Roth
 DIRECTOR
 DATE: 9/16/97

BUILDER:
 PATRIOT HOMES
 P.O. BOX 1018
 COLUMBIA, MARYLAND 21044
 (410) 997-5522

DEVELOPER:
 SDC GROUP, INC.
 POST OFFICE BOX 417
 ELLICOTT CITY, MARYLAND 21041
 (410) 465-4244

PROJECT:
DUBIN PROPERTY
 LOTS 1 - 58

LOCATION:
 TAX MAP 38 BLOCKS 7 & 8 PARCELS 100 & 408
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

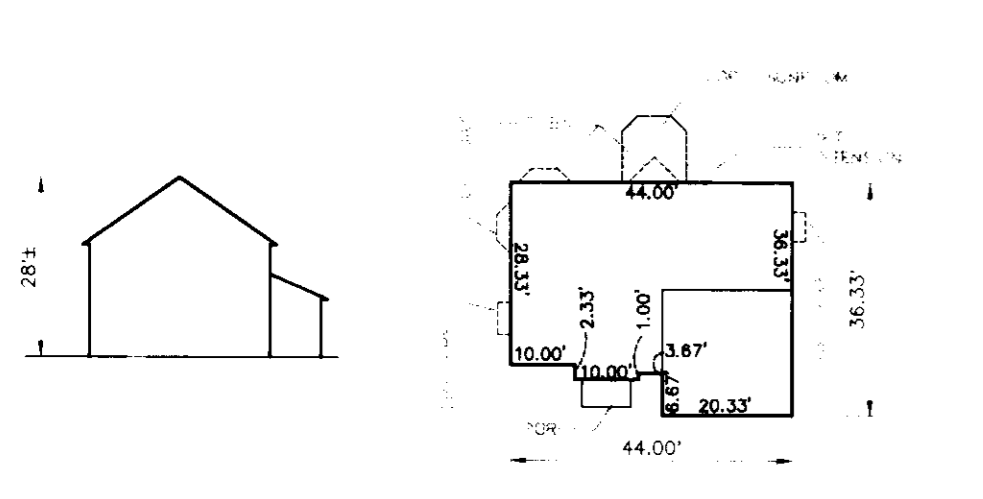
TITLE:
SITE DEVELOPMENT PLAN
 S-94-40, F-92-111, P-96-11, WP-96-51, F-97-18

DATE:
 JULY 24, 1997
 AUGUST 14, 1997

PROJECT NO.: 0995

SCALE: 1" = 30'

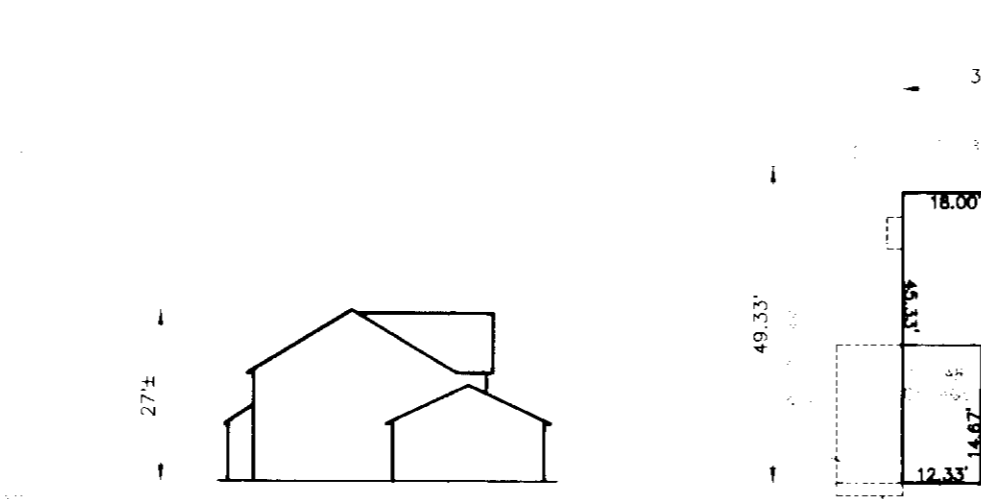
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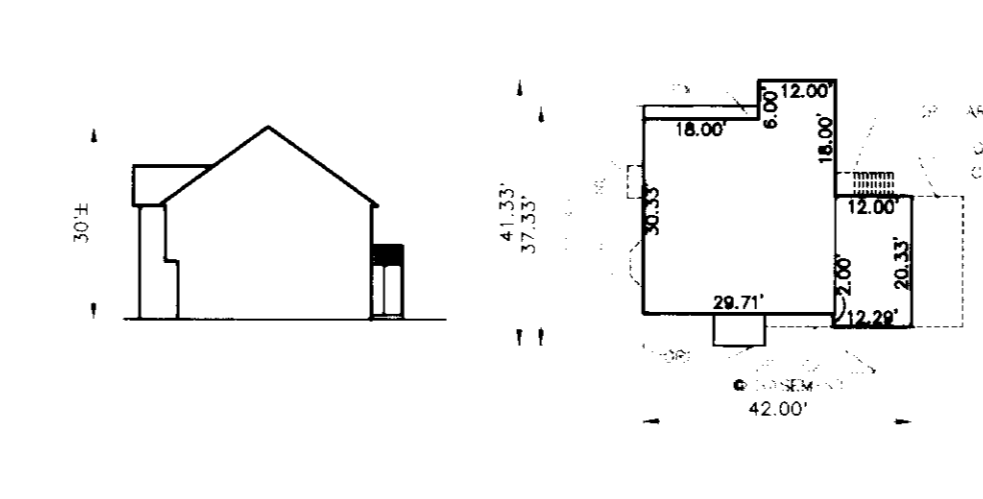
MODEL "T" - BENJAMIN BANECKER
SCALE: 1" = 30'



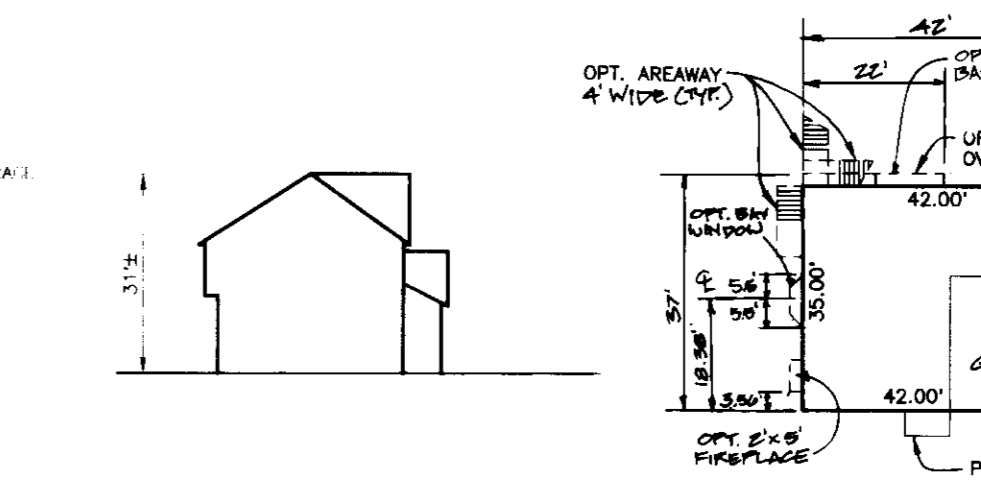
MODEL "L" - THE LIBERTY
SCALE: 1" = 30'



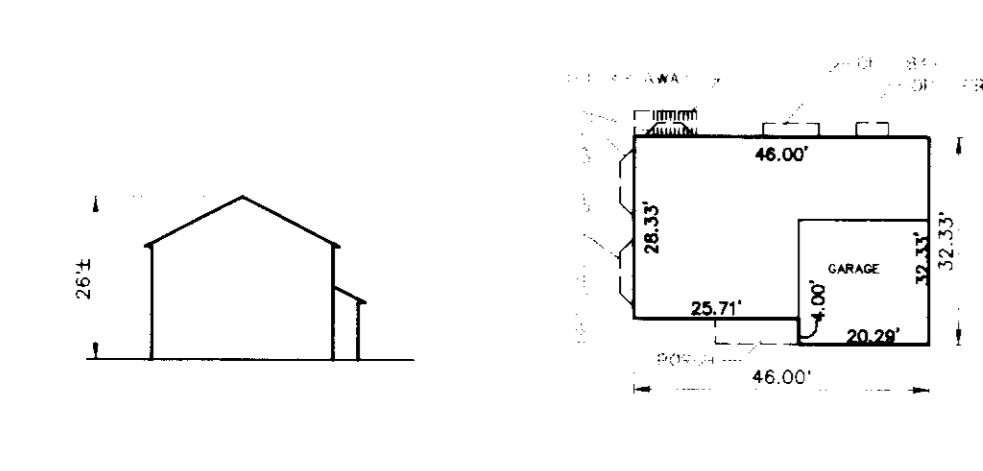
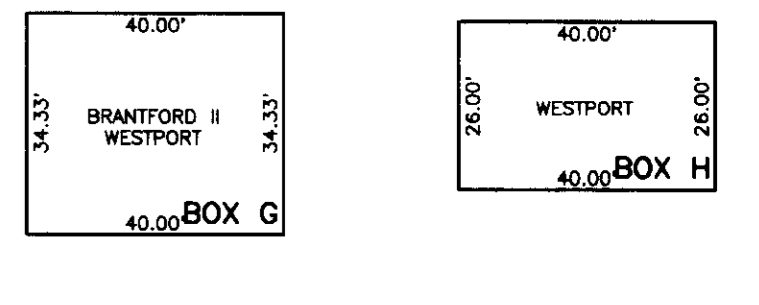
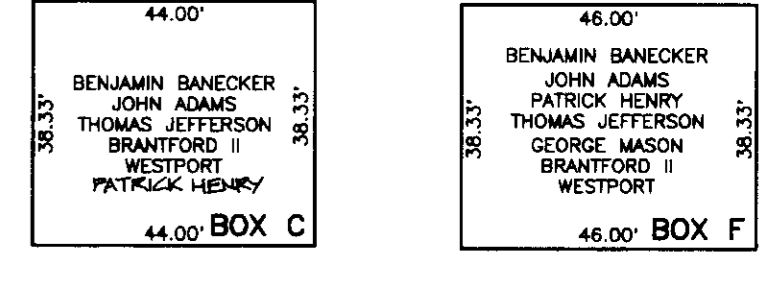
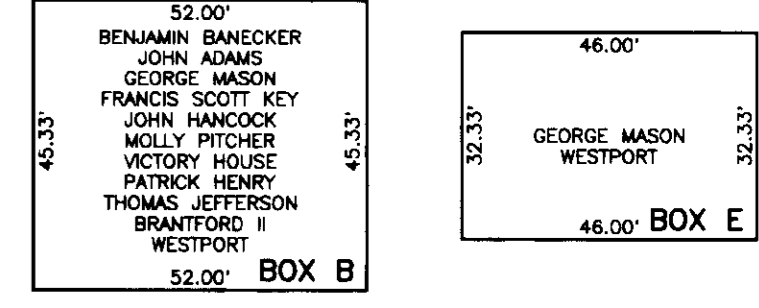
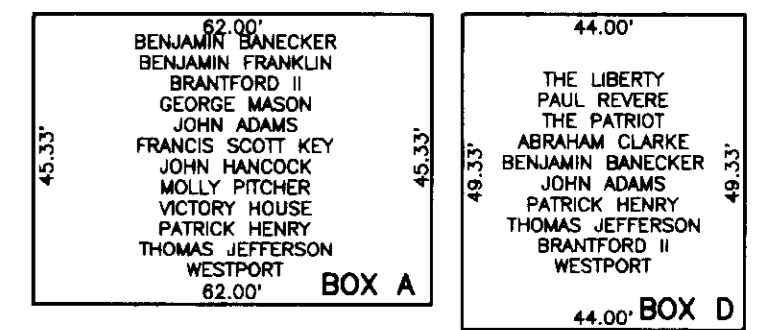
MODEL "E" - PAUL REVERE
SCALE: 1" = 30'



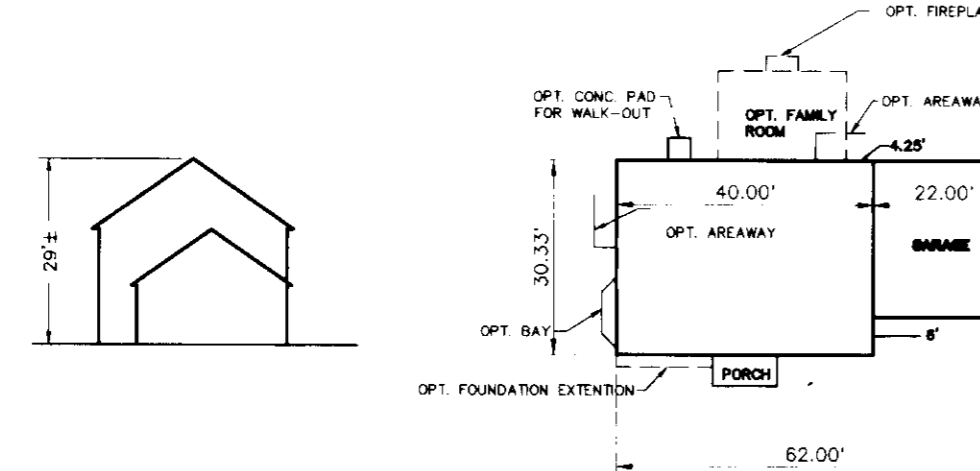
MODEL "A" - JOHN ADAMS
SCALE: 1" = 30'



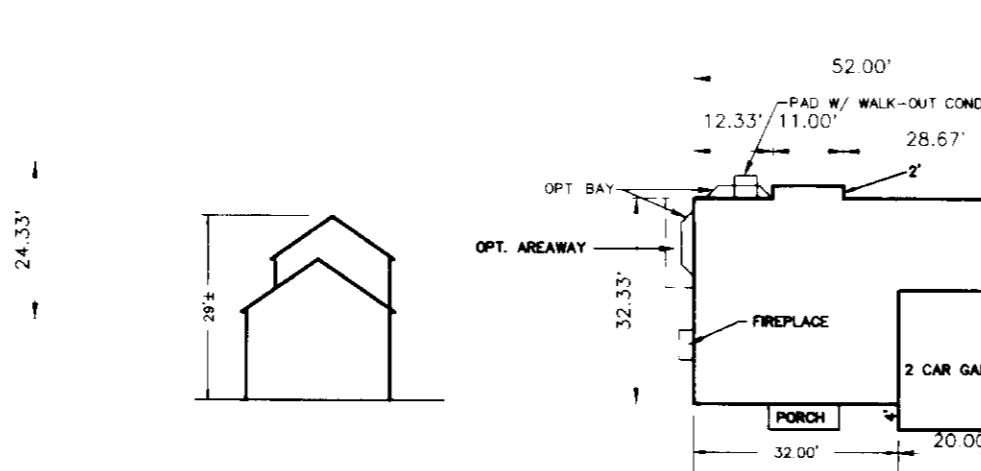
MODEL "Y-95" - PATRICK HENRY
SCALE: 1" = 30'



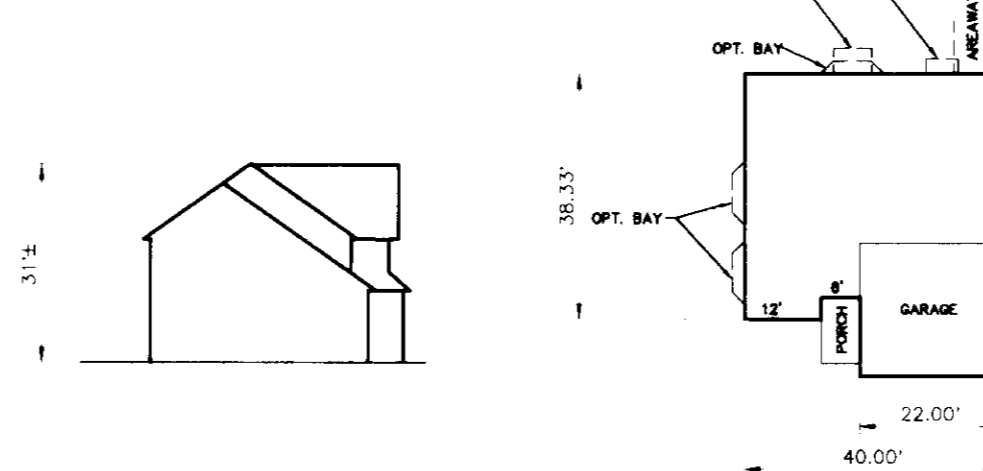
MODEL "N" - GEORGE MASON
SCALE: 1" = 30'



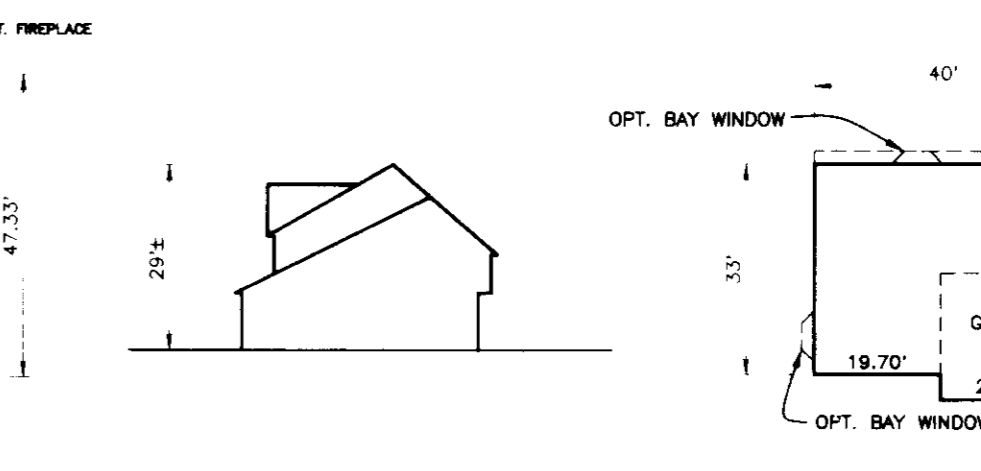
MODEL "D" - BENJAMIN FRANKLIN
SCALE: 1" = 30'



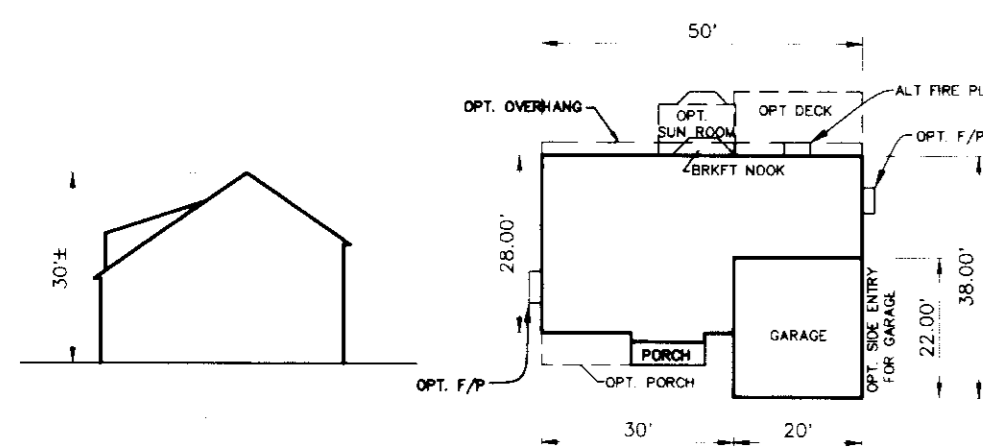
MODEL "O" - FRANCIS SCOTT KEY
SCALE: 1" = 30'



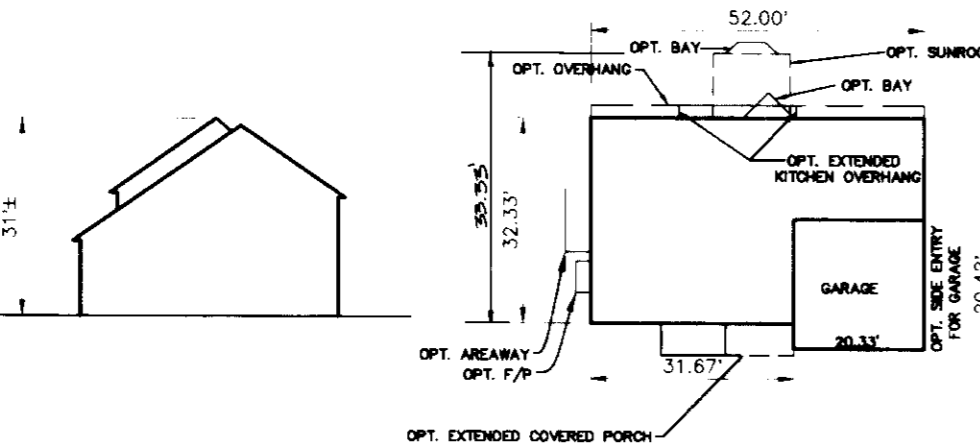
MODEL "Q" - THE PATRIOT
SCALE: 1" = 30'



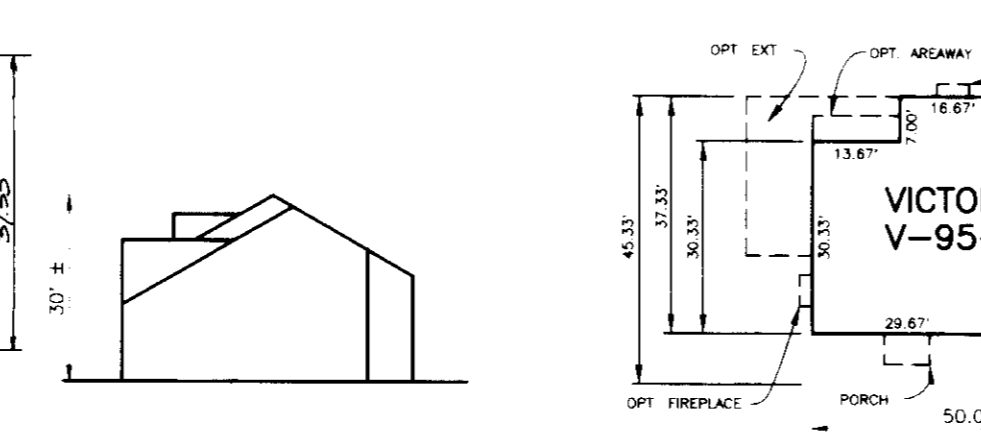
MODEL "C-2" - THOMAS JEFFERSON II
SCALE: 1" = 30'



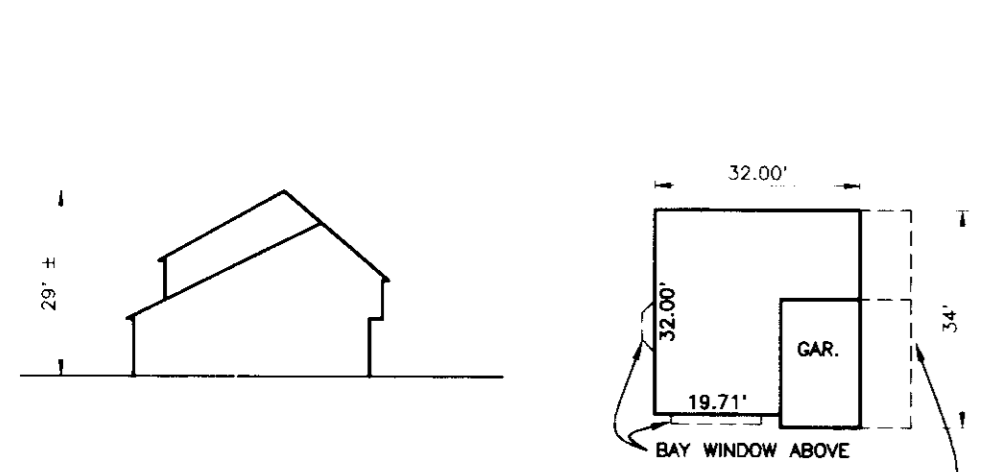
MODEL "H" - JOHN HANCOCK
SCALE: 1" = 30'



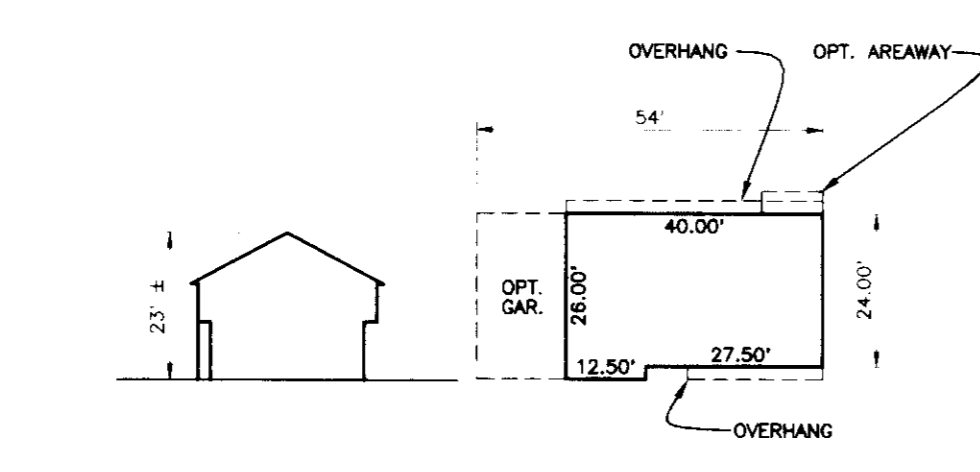
MODEL "S" - MOLLY PITCHER
SCALE: 1" = 30'



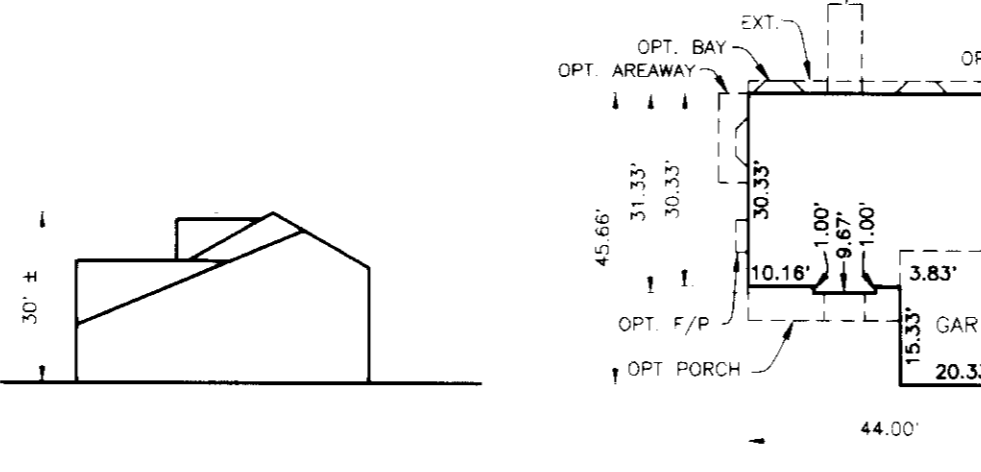
MODEL "V" - VICTORY HOUSE
SCALE: 1" = 30'



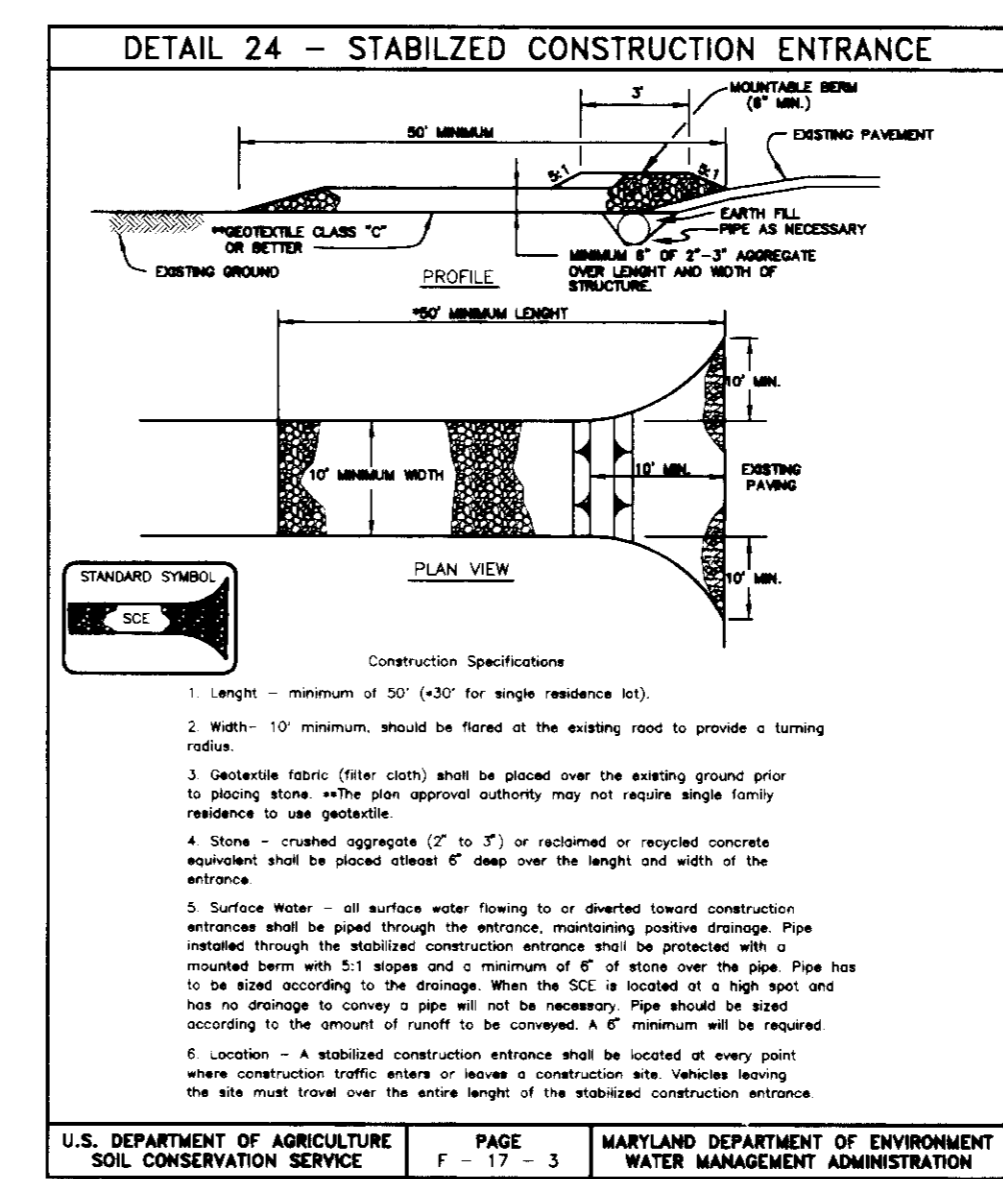
BRADFORD II
SCALE: 1" = 30'



WESTPORT
SCALE: 1" = 30'



MODEL "T2-96" - ABRAHAM CLARKE
SCALE: 1" = 30'



CONSTRUCTION SPECIFICATIONS:
 1. Length - minimum of 50' (+30' for single residence lots)
 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The geotextile fabric shall be placed over the existing ground prior to placing stone. The geotextile fabric shall be placed over the existing ground prior to placing stone.
 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equipment shall be placed at least 6" deep over the length and width of the entrance.
 5. Surface water - all surface water flowing to or through the stabilized construction entrance shall be passed through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a minimum of 2" slope and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage when the SCS is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *James J. Connelly* DATE: 8/16/97

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *Ronald Mason* DATE: 8/13/97

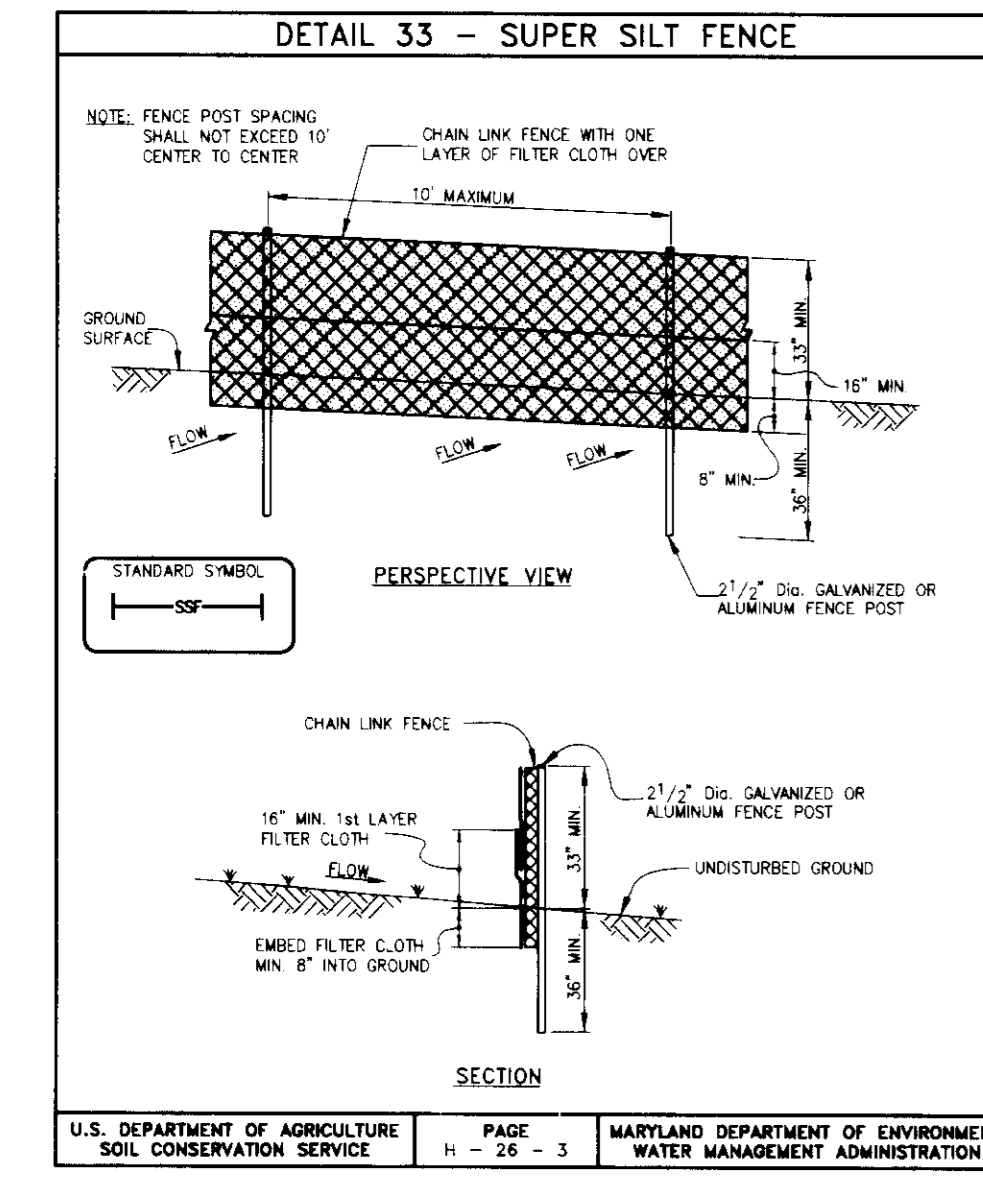
Signature: *David Simon* DATE: 8/20/97

NATURAL RESOURCES CONSERVATION SERVICE
 REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
 Signature: *Phil Hill* DATE: 8/25/97

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Signature: *William Deane* DATE: 8/26/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Signature: *Cindy Hamilton* DATE: 9/2/97
 CHIEF, DIVISION OF LAND DEVELOPMENT

Signature: *David Rutter* DATE: 9/16/97
 DIRECTOR

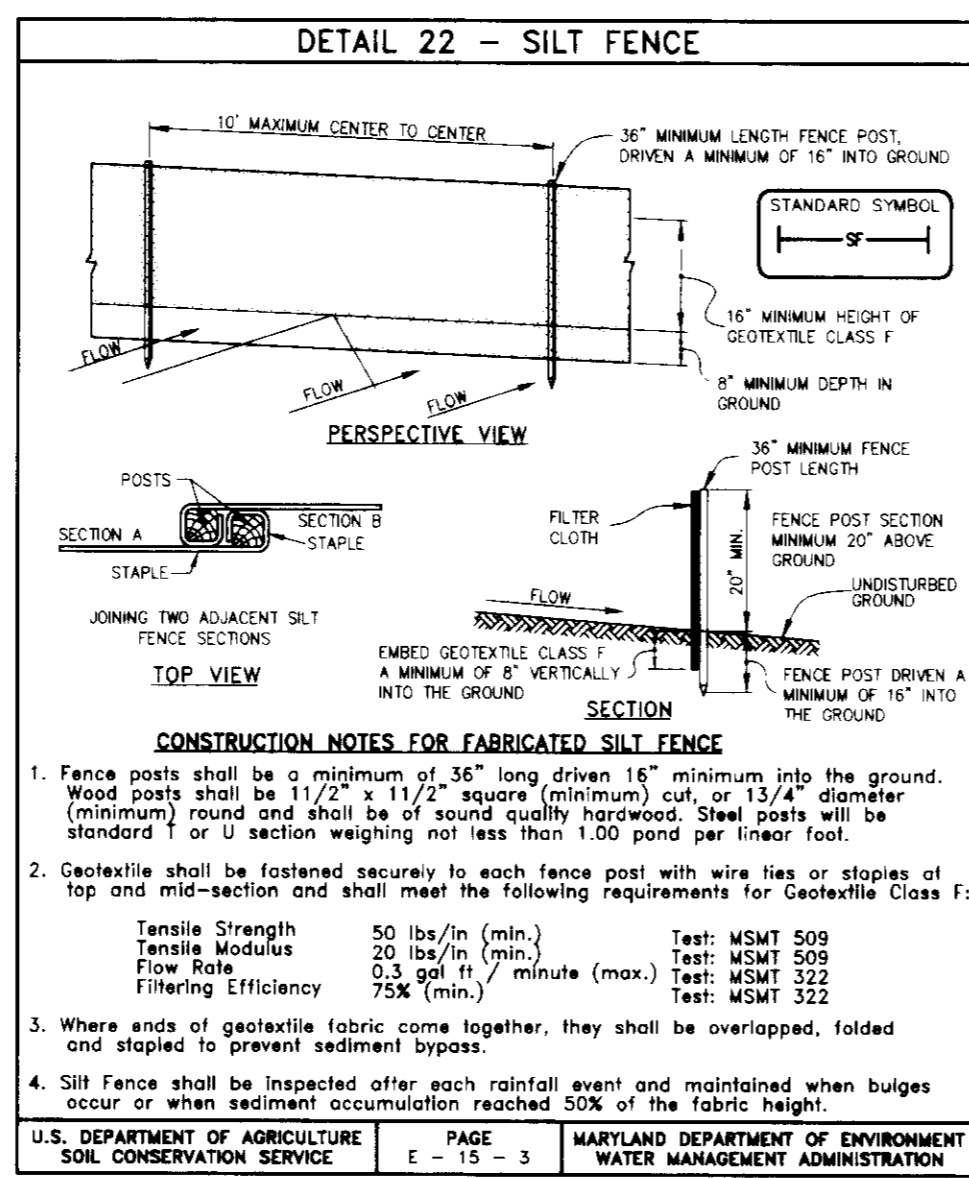


CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 Tensile Strength: 50 lbs/in (min.) Test: MSM 509
 Tensile Modulus: 20 lbs/in (min.) Test: MSM 509
 Flow Rate: 0.3 gal/ft²/minute (max.) Test: MSM 322
 Filtering Efficiency: 75% (min.) Test: MSM 322

SUPER SILT FENCE DESIGN CRITERIA

Slope	Slopes	Slope Length (Maximum)	Silt Fence Length (Maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet



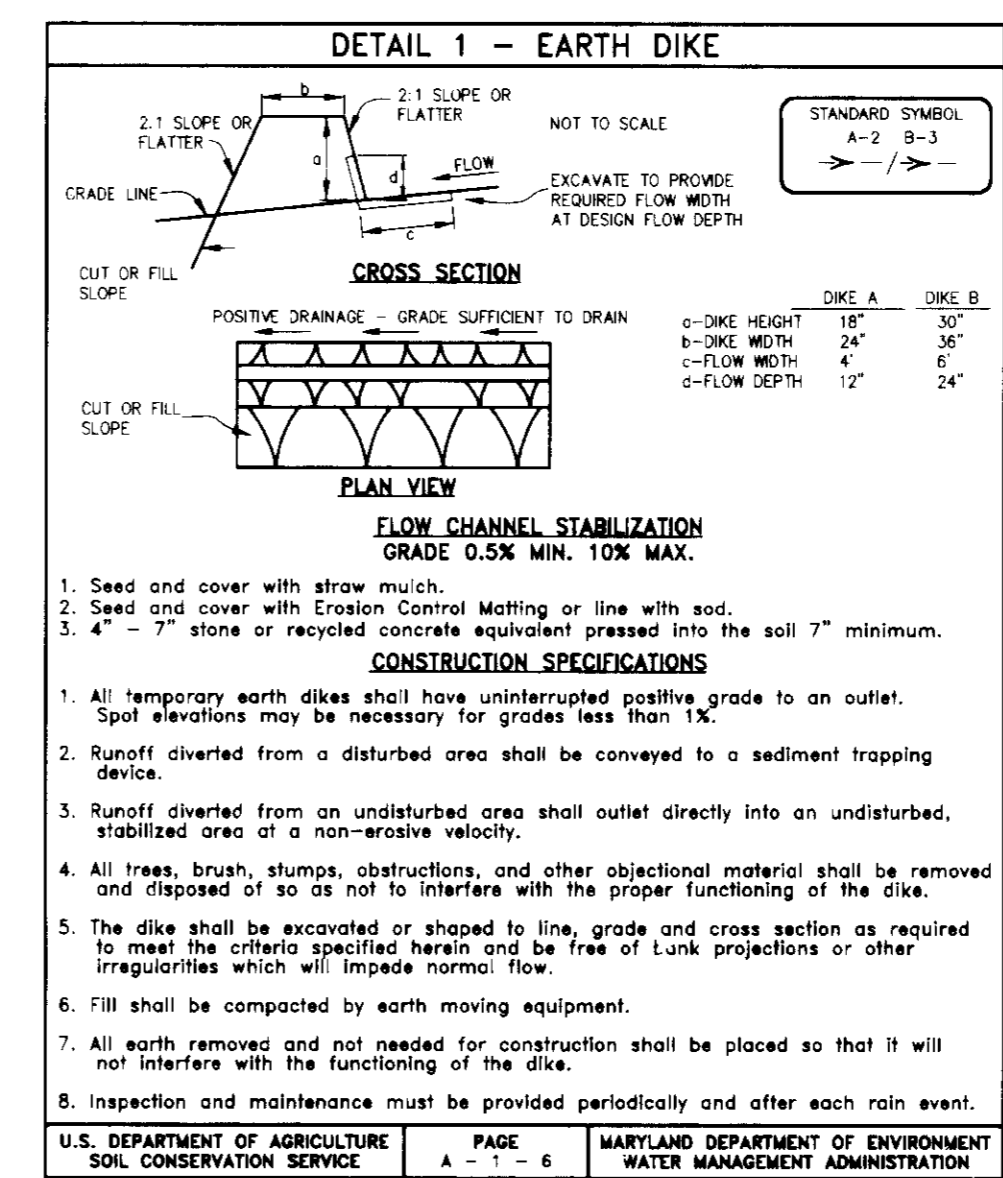
SILT FENCE DESIGN CRITERIA

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 Tensile Strength: 50 lbs/in (min.) Test: MSM 509
 Tensile Modulus: 20 lbs/in (min.) Test: MSM 509
 Flow Rate: 0.3 gal/ft²/minute (max.) Test: MSM 322
 Filtering Efficiency: 75% (min.) Test: MSM 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.



CONSTRUCTION SPECIFICATIONS

- All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposed of 50 feet to interfere with the functioning of the dike.
- The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of Lunk projections or other irregularities which will impede normal flow.
- Fill shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

NO.	DATE	REVISION
2	3-23-98	REV. H.D.E. & GRD LOT 48 & ADD PATRICK HENRY HOUSE TYP TO "C BOX"
1	2-23-98	ADD OVERALL DIMENSION TO INCLUDE SUNROOM ON "MOLLY PITCHER"

TSA GROUP, INC.
 planning • architecture • engineering • surveying
 5480 Baltimore National Pike • Ellicott City, Maryland 21045 • (410) 466-8106

BUILDER: PATRIOT HOMES
 P.O. BOX 1018
 COLUMBIA, MARYLAND 21044
 (410) 997-5522

DEVELOPER: SDC GROUP, INC.
 P.O. BOX 417
 ELLICOTT CITY, MARYLAND 21041
 (410) 465-4244

PROJECT: DUBIN PROPERTY
 LOTS 1 - 58

LOCATION: TAX MAP 38 BLOCKS 7 & 8 PARCELS 100 & 408
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: DETAILS

DATE: JULY 24, 1997
 AUGUST 14, 1997

DESIGN: EGG

SCALE: AS SHOWN

PROJECT NO.: 0995

DRAWING: 8 OF 8

