

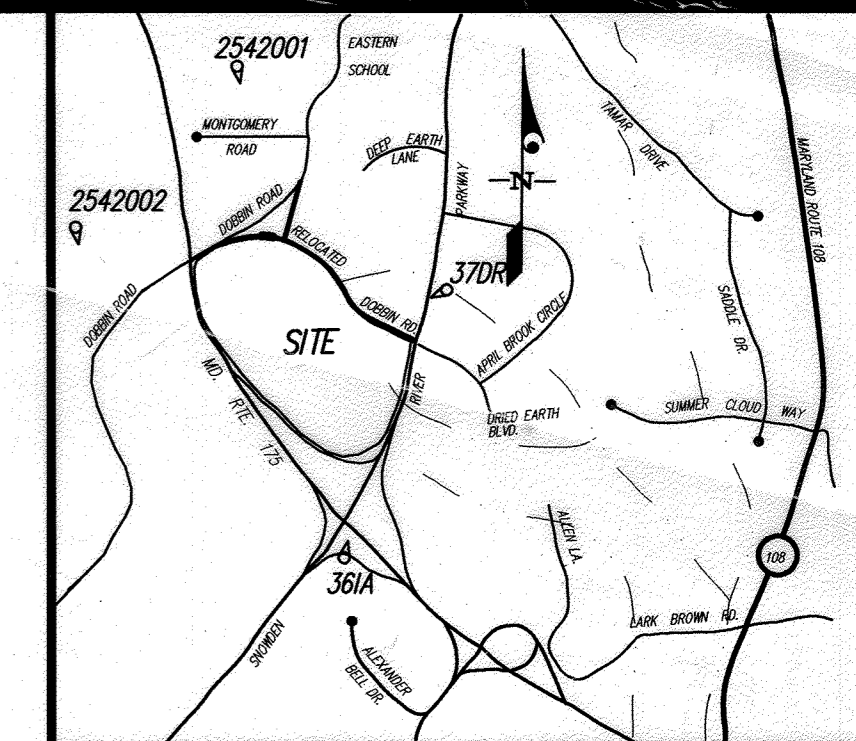
ROUTE 175 COMMERCIAL

GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standard and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Construction Inspection at (301) 792-7272 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
- Site area: 15.82 acres (approved mass grading GP 96-45 & F-96-41).
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography reflects mass grading as shown on GP 96-45 & F-96-41.
- Coordinates and bearings are based upon the MD State plan system (NAD '83).
- Water and sewer shown is public.
- Stormwater management for this site is proposed under GP 96-45 & F-96-41.
- All existing water and sewer is per Contract 24-3463-D & 24-5541-D.
- All existing public storm drain is per F-96-41.
- All curb radii is 5' unless noted otherwise.
- Utility information taken from approved final construction plans for development.
- Sidewalks adjacent to perpendicular parking shall be 6' wide. All other sidewalks shall be 4' wide except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
- Contractor shall utilize PVC pipe for all sewer house connections. Contractor shall utilize D.I.P. (CL 51) for 4" and 6" water house connections.
- For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain the same grade and alignment to the first structure.
- Use trench bedding class "C" for storm drains.
- Paved areas indicated are private except as noted.
- Project background: See Dept. of Planning & Zoning File Numbers: SP 95-08, FDP 95-226, WP 95-94, GP 96-45, F-96-41 & PB 302.
- Recording reference: Plot No. 12865 & 13550.
- All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
- All water meters shall be located inside buildings.
- The limits of public maintenance for waterhouse connections shall be 7' from the back of curb.
- All proposed site utilities are to terminate 5' from the building. The building plumber shall connect to and extend these utilities to the inside of the building.
- For Gas, Telephone and Electric routing, see separate plan.
- There are no lot line building setbacks, except as indicated from the public Right-of-Way. No parking area shall be located within 10' of any lot line except shared parking facilities between two or more lots and except as approved by the Howard County Planning Board.

- HOWARD COUNTY ZONING DIVISION HAS DETERMINED THE VERIZON WIRELESS 60' LIGHT POLE WITH AN ANTENNA AT THE TOP IS NOT CONSIDERED AS A STRUCTURE.
- THE VERIZON WIRELESS TECHNICIAN WILL USE EXISTING PARKING SPACES AND WALK TO THE COMPOUND AREA.

SITE DEVELOPMENT PLAN FOR PARCELS "W," "X" & "A-A" THRU "C-C"



VICINITY MAP
SCALE: 1" = 200'

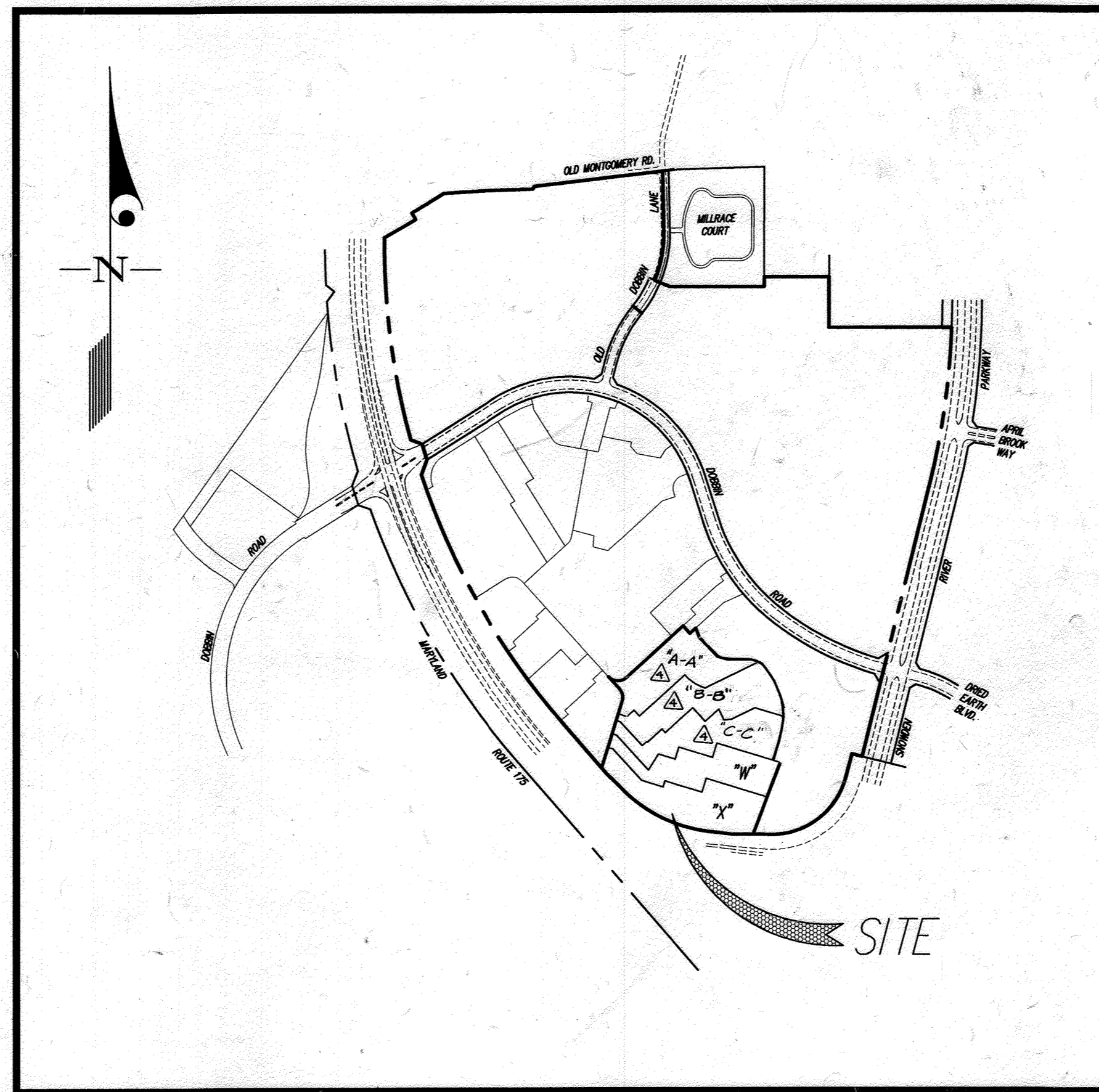
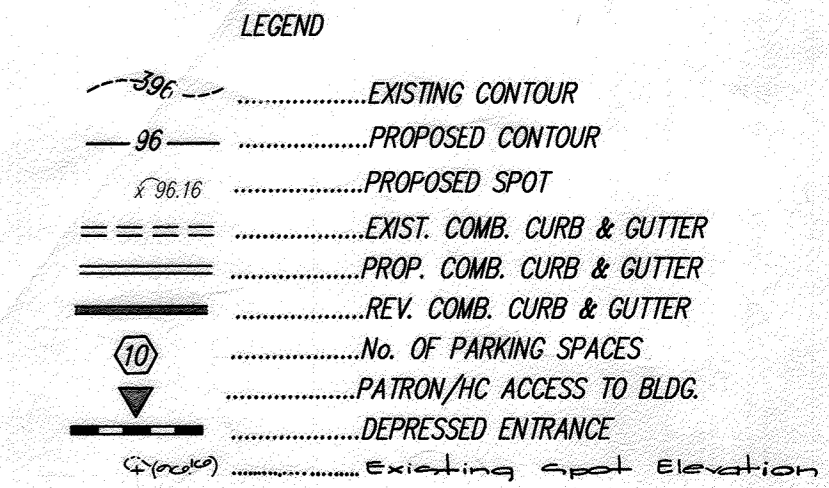
- ### SITE ANALYSIS - PARCEL "A-A"
- AREA OF PARCEL: 194,172 S.F. / 3.002 AC.
 - ZONING: NEW TOWN
 - PROPOSED USE: RETAIL
 - GROSS BUILDING AREA: 24,401 S.F. 4A. OUTDOOR SEATING AREA: 14,918 SF
 - NET LEASABLE AREA: 20,910 S.F.
 - TOTAL PARKING REQUIRED: 22,100 S.F. @ 5 SP./1000 S.F. = 113 SPACES +
 - TOTAL PARKING PROVIDED: 113 SPACES
 - TOTAL NO. OF HANDICAP SPACES REQUIRED: 5
 - NO. OF HANDICAP VAN SPACES REQUIRED: 1
 - TOTAL NO. OF HANDICAP SPACES PROVIDED: 6
 - NO. OF HANDICAP VAN SPACES PROVIDED: 2

- ### SITE ANALYSIS - PARCEL "B-B"
- AREA OF PARCEL: 140,009 S.F. / 3.2156 AC.
 - ZONING: NEW TOWN
 - PROPOSED USE: RETAIL
 - GROSS BUILDING AREA: 40,750 S.F.
 - NET LEASABLE AREA: 36,875 S.F.
 - TOTAL PARKING REQUIRED: 36,875 S.F. @ 5 SP./1000 S.F. = 184 SPACES +
 - TOTAL PARKING PROVIDED: 200 SPACES
 - TOTAL NO. OF HANDICAP SPACES REQUIRED: 6
 - NO. OF HANDICAP VAN SPACES REQUIRED: 1
 - TOTAL NO. OF HANDICAP SPACES PROVIDED: 8
 - NO. OF HANDICAP VAN SPACES PROVIDED: 4

- ### SITE ANALYSIS - PARCEL "C-C"
- AREA OF PARCEL: 110,289 S.F. / 2.608 AC.
 - ZONING: NEW TOWN
 - PROPOSED USE: RETAIL
 - GROSS BUILDING AREA: 27,200 S.F.
 - NET LEASABLE AREA: 25,110 S.F.
 - TOTAL PARKING REQUIRED: 25,110 S.F. @ 5 SP./1000 S.F. = 120 SPACES +
 - TOTAL PARKING PROVIDED: 120 SPACES
 - TOTAL NO. OF HANDICAP SPACES REQUIRED: 5
 - NO. OF HANDICAP VAN SPACES REQUIRED: 1
 - TOTAL NO. OF HANDICAP SPACES PROVIDED: 6
 - NO. OF HANDICAP VAN SPACES PROVIDED: 2

- ### SITE ANALYSIS - PARCEL "W"
- AREA OF PARCEL: 14,000 S.F. / 0.320 AC.
 - ZONING: NEW TOWN
 - PROPOSED USE: RETAIL
 - GROSS BUILDING AREA: 49,117 S.F. main + 1,737 S.F. mezzanine = 50,854 S.F.
 - NET LEASABLE AREA: 47,156 S.F.
 - TOTAL PARKING REQUIRED: 47,156 S.F. @ 5 SP./1000 S.F. = 204 SPACES + 1,737 S.F. @ 2 SP./1000 S.F. = 4 SPACES
 - TOTAL PARKING PROVIDED: 200 SPACES
 - TOTAL NO. OF HANDICAP SPACES REQUIRED: 7
 - NO. OF HANDICAP VAN SPACES REQUIRED: 1
 - TOTAL NO. OF HANDICAP SPACES PROVIDED: 6
 - NO. OF HANDICAP VAN SPACES PROVIDED: 2

- ### SITE ANALYSIS - PARCEL "X"
- AREA OF PARCEL: 152,329 S.F. / 3.50 AC.
 - ZONING: NEW TOWN
 - PROPOSED USE: RETAIL
 - GROSS BUILDING AREA: 28,442 S.F.
 - NET LEASABLE AREA: 25,604 S.F.
 - TOTAL PARKING REQUIRED: 25,604 S.F. @ 5 SP./1000 S.F. = 128 SPACES +
 - TOTAL PARKING PROVIDED: 140 SPACES
 - TOTAL NO. OF HANDICAP SPACES REQUIRED: 5
 - NO. OF HANDICAP VAN SPACES REQUIRED: 1
 - TOTAL NO. OF HANDICAP SPACES PROVIDED: 6
 - NO. OF HANDICAP VAN SPACES PROVIDED: 2

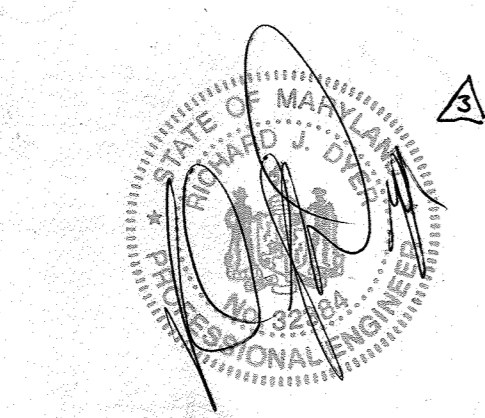


* BASED ON NET LEASABLE AREA AS OUTLINED IN FINAL DEVELOPMENT PLAN PHASE 226-A

HANDICAP TOTALS FOR PARCELS "W" THRU "Z"

TOTAL BUILDING AREA:	154,822 S.F. + 1,737 S.F. Mezzanine
TOTAL PARKING SPACES REQUIRED (5 spaces/1000 ft ²):	751 + 4 (Mezz.) = 755
TOTAL PARKING SPACES PROVIDED:	819
TOTAL NO. OF HANDICAP SPACES REQUIRED:	17 (2% OF TOTAL)
TOTAL NO. OF HANDICAP VAN SPACES REQUIRED:	4 (1 IN 8 PROVIDED)
TOTAL NO. OF HANDICAP SPACES PROVIDED:	32
TOTAL NO. OF HANDICAP VAN SPACES PROVIDED:	12

- ### BENCHMARK DESCRIPTION
- STATION 2542001 (CONCRETE MONUMENT)
ELEV. 426.971 (FOR VERTICAL CONTROL ONLY).
STATION IS LOCATED ON B.G. & E. TRANSMISSION LINES 1060± S.W. OF DOBBIN ROAD
- STATION 2542002 (CONCRETE MONUMENT)
ELEV. 363.639 (FOR VERTICAL CONTROL ONLY).
STATION IS LOCATED 1000± WEST OF RTE. 175 ON TRANSMISSION LINE @ G.E. TOWER 19-E.
- STATION 37DR (1/2 REBAR)
N.169081.1794, E.161566.7155 (FOR HORIZONTAL CONTROL ONLY).
STATION IS LOCATED 0.45± MILES NORTH OF RTE. 175 AND 46± EAST OF THE EAST CURB OF SNOWDEN RIVER PKWY.
- STATION 361A (CONCRETE MONUMENT)
N.169205.9263, E. 416313.5119 (FOR HORIZONTAL CONTROL ONLY).
STATION IS LOCATED @ THE SOUTHEAST CORNER OF THE INTERSECTION OF SNOWDEN RIVER PARKWAY AND RTE. 175 3± FROM CURB AND 5.7± FROM GUARDRAIL END.



REV	DATE	DESCRIPTION	APPROVED
3	12/19/97	VERIZON WIRELESS EQUIPMENT	

KEY MAP

SCALE: 1" = 600'

- ### Sheet Index
- Cover Sheet
 - Site Development Plan
 - Underdrain Plan
 - Landscaping Plan
 - Landscaping Notes and Details
 - Sediment Control Plan and Drainage Area Map
 - Sediment Control Notes, Details, Storm Drain Profiles and Building Elevation
 - Utility and Storm Drain Profiles
 - Handicap Access Details
 - Site Details and Paving Plan

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: JUNE 18, 1997

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Joseph Kutha 8/19/97
Director

Andy Hammit 8/19/97
Chief, Division of Land Development

Chad Lawrence 8/18/97
Chief, Development Engineering Division

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

PREPARED FOR:
THE HOWARD RESEARCH & DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MD. 21044
(410) 992-6027

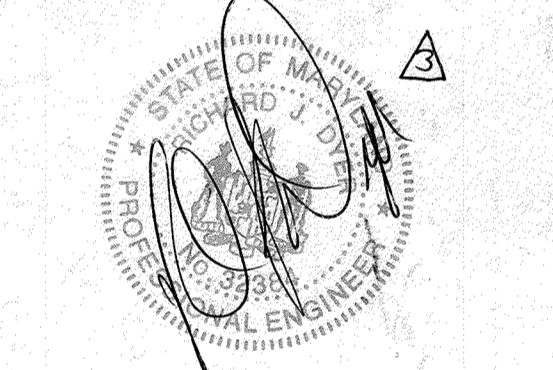
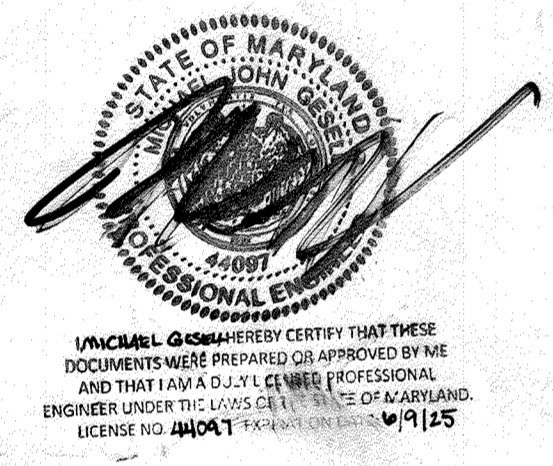
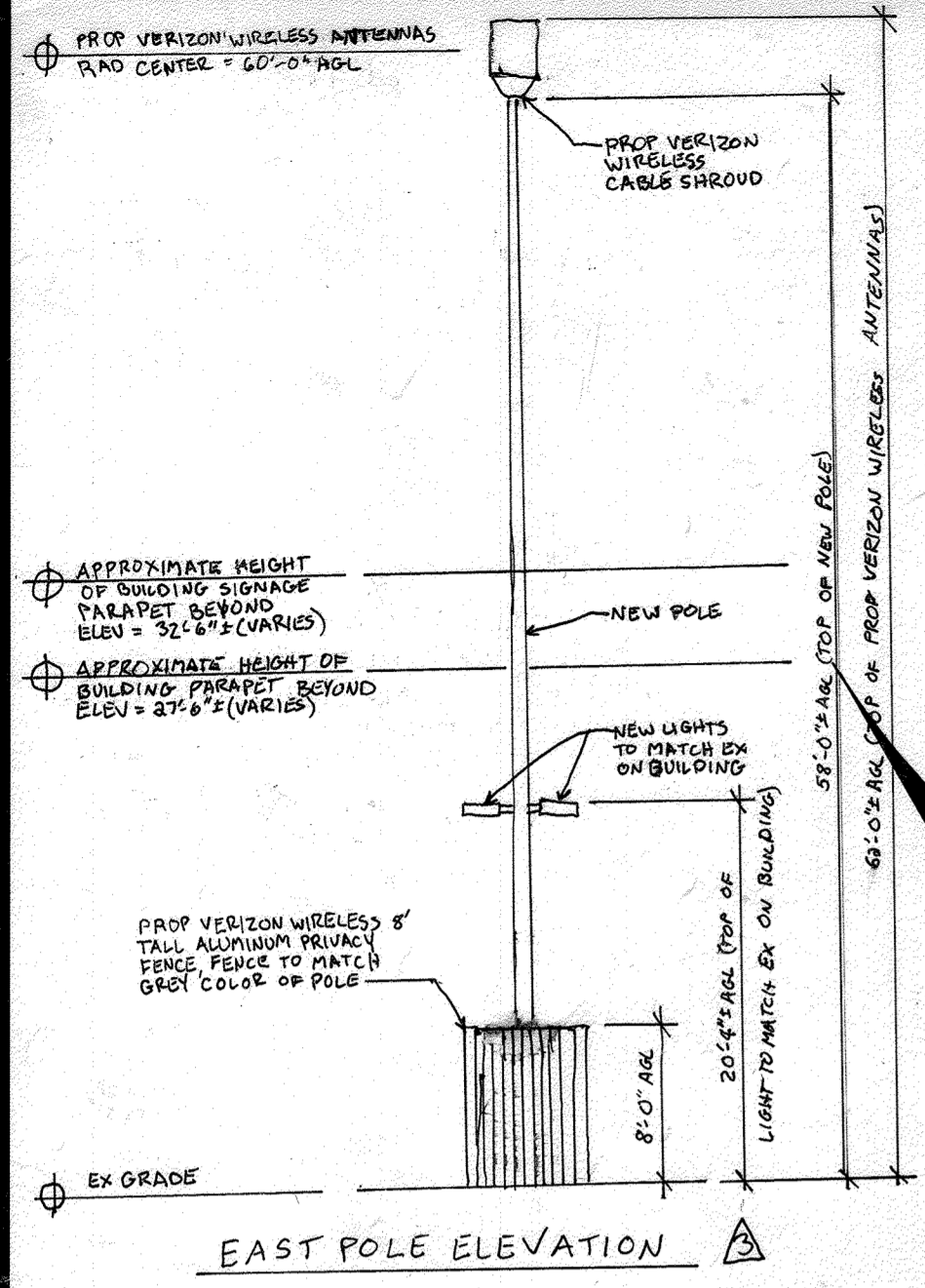
COVER SHEET

ROUTE 175 COMMERCIAL

PARCELS "W," "X" AND "A-A" THRU "C-C"

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	TOWN CENTER	95-003
DATE	TAX MAP No.	SHEET
JULY 11, 1997	36	1 OF 10

HOWARD COUNTY, MARYLAND



R/N	DATE	DESCRIPTION	APPROVED
1	12/04/18	VERIZON WIRELESS EQUIPMENT	

LINE	DIRECTION	DISTANCE	LINE	DIRECTION	DISTANCE
A	S 72°52'23" E	46.06'	R	N 64°02'34" E	66.26'
B	N 47°48'05" E	48.46'	S	S 72°59'37" E	194.71'
C	S 42°11'55" E	41.29'	T	S 72°55'23" E	23.98'
D	N 47°48'05" E	110.60'	U	S 42°11'55" E	102.00'
E	S 66°18'20" E	240.15'	V	N 47°48'05" E	90.00'
F	N 64°02'34" E	109.64'	W	S 42°11'55" E	14.34'
G	S 72°52'23" E	23.98'	X	N 47°48'05" E	54.72'
H	S 42°11'55" E	162.00'	Y	S 72°59'37" E	72.98'
I	N 47°48'05" E	30.00'	Z	N 17°00'23" E	28.92'
J	S 42°11'55" E	5.00'	AA	S 72°59'37" E	336.40'
K	N 47°48'05" E	101.00'	BB	S 72°55'23" E	27.93'
L	S 42°11'55" E	26.29'	CC	S 42°11'55" E	214.50'
M	N 47°48'05" E	188.03'	DD	S 72°59'37" E	113.02'
N	S 42°11'55" E	94.00'	EE	N 17°00'23" E	32.00'
O	N 47°48'05" E	92.66'	FF	S 72°59'37" E	197.00'
P	S 25°59'28" E	46.87'	GG	N 17°00'23" E	72.80'
Q	N 64°02'34" E	42.41'	HH	S 72°59'37" E	322.39'

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
a	65.00'	102.10'	65.00'	91.92'	S 87°11'55" E	90°00'00"
b	728.51'	522.39'	272.99'	511.27'	N 62°39'00" W	41°05'04"
c	65.00'	67.25'	36.98'	64.29'	N 12°33'39" W	59°16'32"
d	215.00'	94.92'	48.25'	94.15'	S 53°39'28" E	25°17'45"
e	95.00'	15.15'	7.64'	15.02'	S 89°27'33" E	0°47'44"

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: JUNE 18, 1997

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Joseph R. Smith 8/19/97
Director

Condy Hananata 8/14/97
Chief, Division of Land Development

M. J. DeMunnis 8/18/97
Chief, Development Engineering Division

Note to Contractor:
For pipe size, class and length, see the Underdrain plan and the Landscape Plan (sheets 34 of 10) and the Storm Drain Profiles (sheets 71 & 8 of 10).

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT. (410) 880-1820 FAX: (301) 421-4186 DES. DRN. SJC CHK.

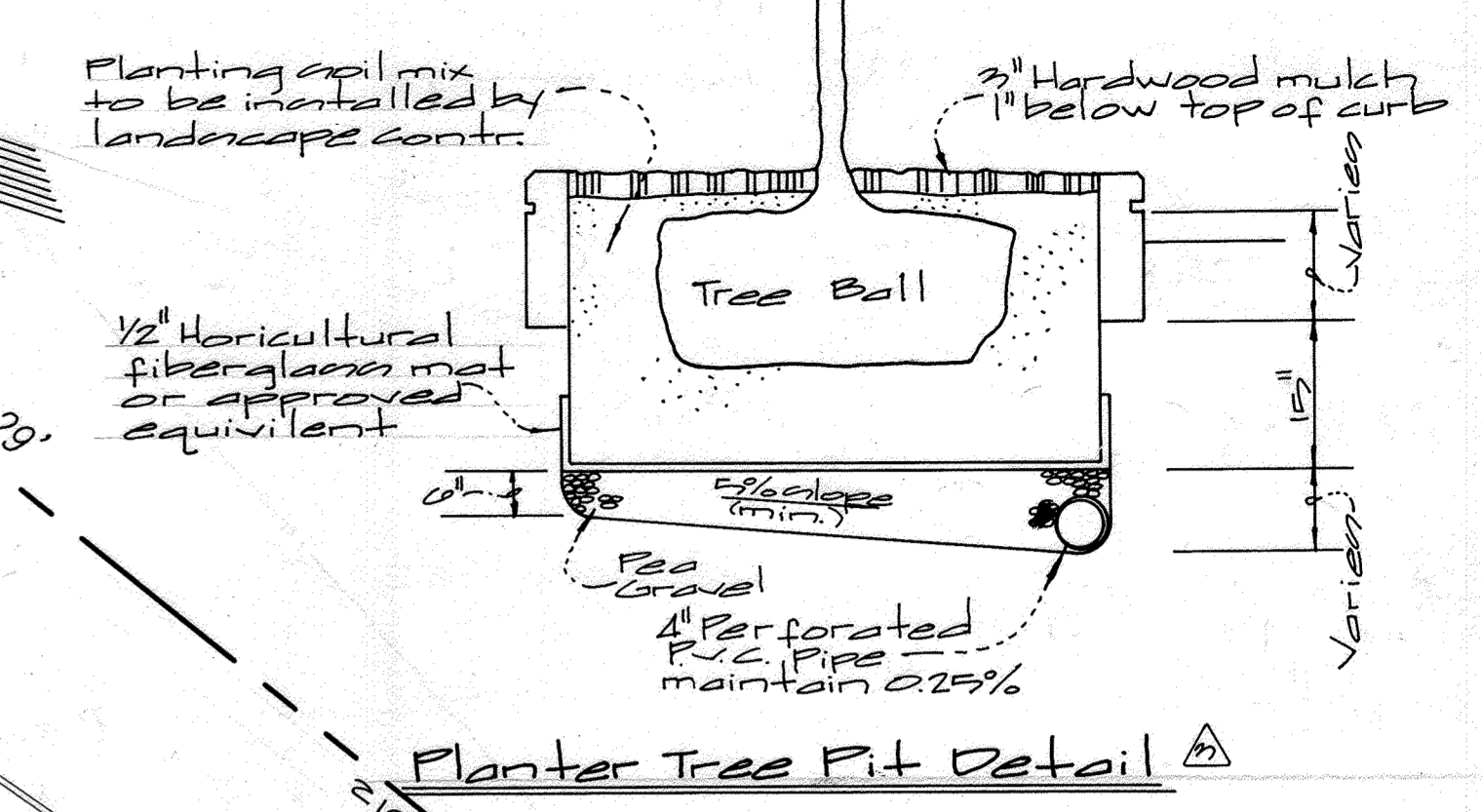
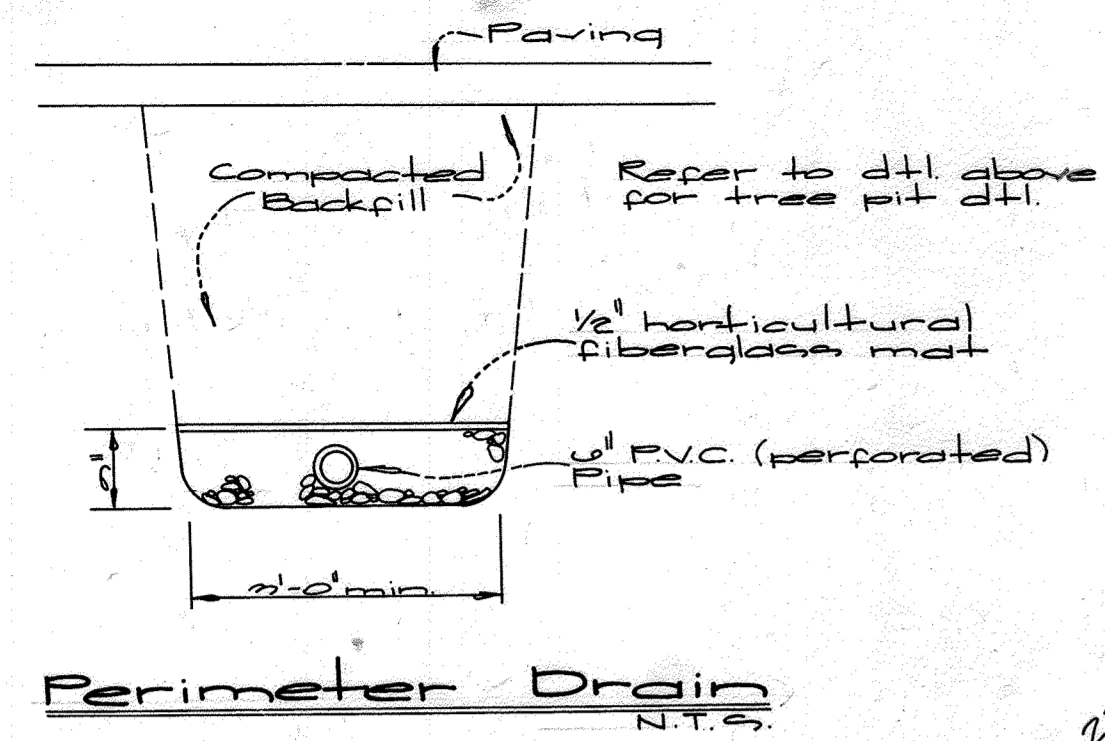
DATE	REVISION	BY	APPR.
4/12/05	REV. PARCELS A FROM OUTSIDE SETBACK AREA SHOWN AS PER STATE OF MARYLAND REGULATIONS AND SETBACKS	PAR	
3-2-04	REV. PAR. BB TO ADD PERMITS REV. PER. FOR PAR. AA THRU CC	WCL	
2-20-03	REV. WDG. PERMITS, ADD ROAD DRAINAGE FOR THE REV. PARCEL DESIGNATIONS	WCL	
10-07-01	REV. BUILDING S.F. FOR PARCEL 'W'	MCF	
10-27-01	REV. PAR. C ON PARCEL 'I', REV. ENTRANCE TO PLOT ON PARCEL 'W' AND REV. LOADING DOCK, PAR. 340 AND DIMENSIONS, REV. LOADING DOCK ON PARCEL 'X', ADD CONC. PADS TO PARCELS 'I' THRU 'X'	MCF	

OWNER / PREPARED FOR:
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATENT PARKWAY
COLUMBIA, MARYLAND 21044
PHONE: (410) 992-6027

SITE DEVELOPMENT PLAN
ROUTE 175 COMMERCIAL
Parcels "W", "X" and "A-A" thru "C-C"

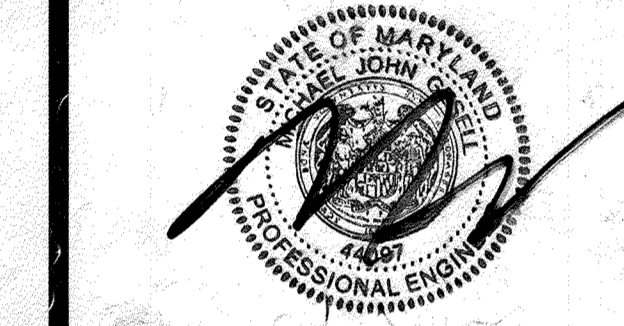
GULFORD ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT - COMMERCIAL	95003
DATE	TAX MAP No.	SHEET
July 11, 1997	36	2 OF 10



Point	Invert	Description
207.80	5' Main s/s	
208.00	5' Outside Bldg.	
208.17	10' Main s/s	
208.30	5' Outside Bldg.	
207.50	10' Main s/s	
207.70	12' Main s/s	
207.90	12' Main s/s	
207.10	5' Outside Bldg.	
207.40	10' Main s/s	
208.07	5' Outside Bldg.	
208.20	5' Main s/s	
208.00	5' Outside Bldg.	

Point	Invert	Description
208.00	0' Hope wye 4" x 4" s/s	
207.70	c.o. 2' Outside Bldg.	
207.24	2' x 0" Hope wye, 2" x 2" s/s	
207.02	c.o. 2' Outside Bldg.	
206.82	12" x 12" wye 12" x 12" s/s	
207.25	12" wye 4" s/s 12" x 12" s/s	
207.70	c.o. 2' Outside Bldg.	
208.21	2" wye 4" s/s 12" x 12" s/s	
208.20	c.o. 2' Outside Bldg.	
208.70	12" x 12" wye 12" x 12" s/s	



PROF. SEAL OF JOHN W. GUTSCHICK
 PROFESSIONAL ENGINEER
 LICENSE NO. 14041 EXPIRES 04/15

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: JUNE 18, 1997

REV	DATE	DESCRIPTION	APPROVED
3	12/04/95	VERSION WIRELESS EQUIPMENT	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *John S. Kauter* 8/19/97
 Chief, Division of Land Development: *Candy Hanitta* 8/19/97
 Chief, Development Engineering Division: *Chris Demunier* 8/16/97

- Notes**
- Existing storm drains constructed under F 90-41. All underdrain shown is Group IV work, unless noted otherwise.
 - For information not shown, see site plan.
 - Vertical grade not indicated for sidewalk, underdrain, location and quantity to be determined in the field.
 - 4" P.V.C. and 6" C.P.P. under sidewalk have a minimum slope of 0.50%.
 - Contractor is to remove existing grate at I-37 and install a manhole frame and cover. At the same time, contractor is to remove existing frame and cover at M-15 and install a grated inlet top.

- Legend**
- Perforated P.V.C. Pipe
 - C.P.P. Corrugated Plastic Perforated Pipe (Turf Flow by Hancor or equal)
 - Cleanout
 - Pedestrian Light
 - Flie Mounted Light
 - Corrugated Plastic Pipe (4" by Hancor or N-12 by A.D.s.)

Utility Construction Responsibilities Legend

Group III Work.....The site development contractor.
 Group IV Work.....The Building Contractor.

Note: Group IV Work includes cleanout.

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20886
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. S.G. CHK.

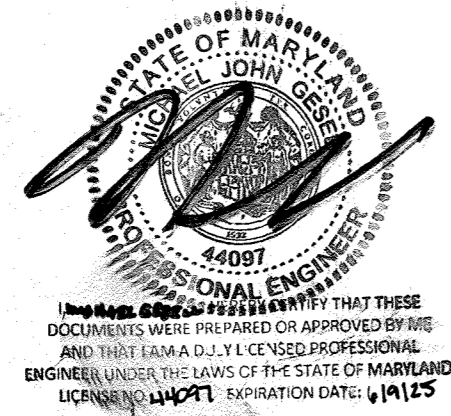
DATE	REVISION	BY	APPR.
4/12/96	REV. PARCEL A-A PROP. OUTSIDE SEATING AREA, SANITARY DRAIN AND PROP. TRUNK W/PIPE/CRA	PAK	
3/12/96	REV. BLDG B-B ADD W/PROP. DRAIN SYSTEM	WEL	
2/20/96	REV. BLDG ADD W/PROP. DRAIN SYSTEM ADD TREE PIT DTD.	WEL	
10-5-95	REV. BUILDING ENTRANCE ON PARCEL W	WCF	

OWNER / PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 10275 LITTLE PATENT PARKWAY
 COLUMBIA, MARYLAND 21044
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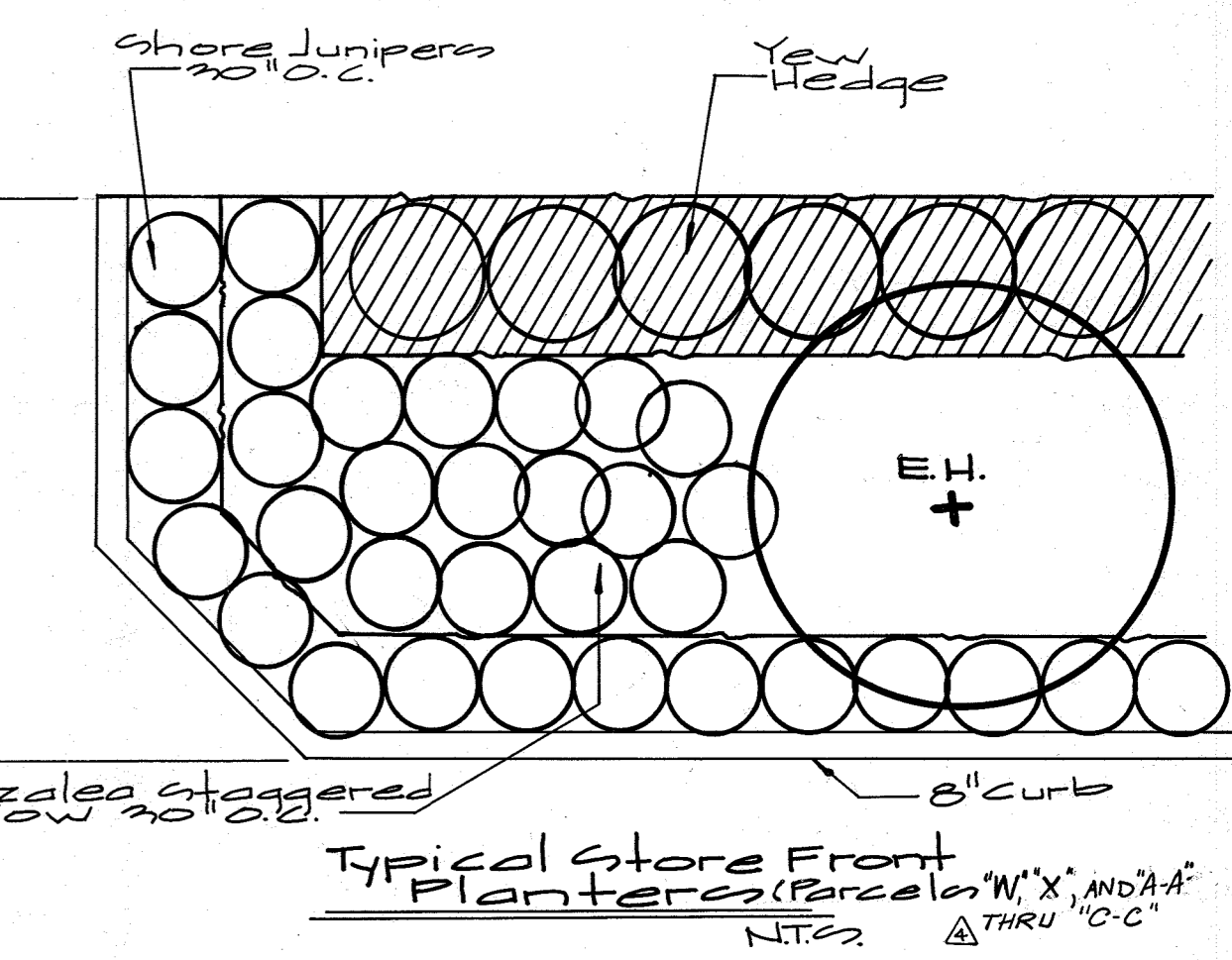
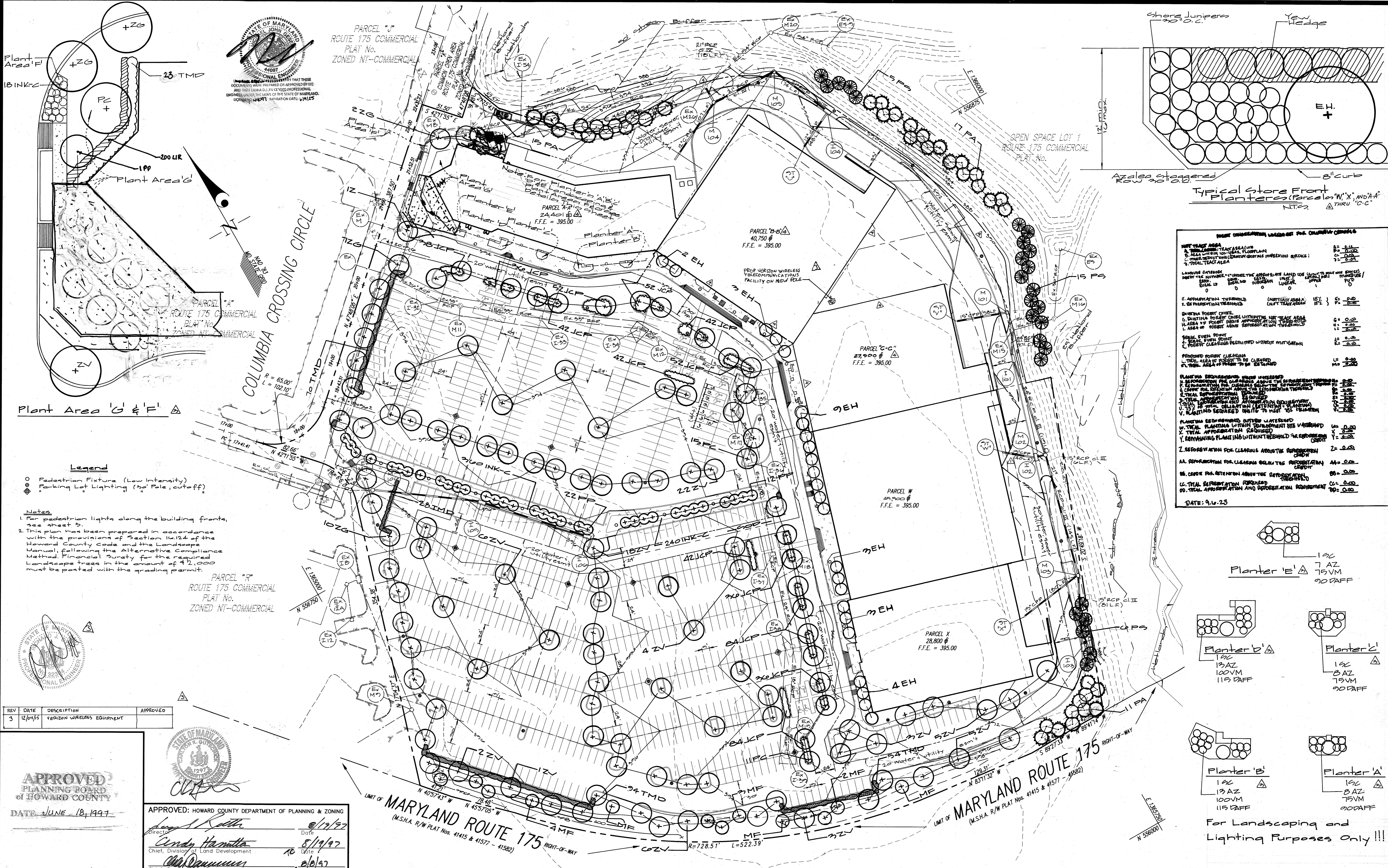
Underdrain Plan
ROUTE 175 COMMERCIAL
 PARCELS "W", "K" & "A-A" thru "C-C"

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT - COMMERCIAL	95003
DATE	TAX MAP No.	SHEET
July 11, 1997	36	3 OF 10

SDP 97-142



PARCEL "J"
ROUTE 175 COMMERCIAL
PLAT No.
ZONED NT-COMMERCIAL



PLANTING REQUIREMENTS FOR COLUMBIA CROSSING

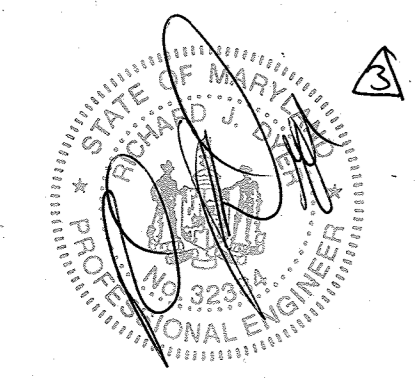
PLANTING CATEGORY	DESCRIPTION	QUANTITY	REMARKS
1	NET TRACT AREA	85	± 0.00
2	AREA WITHIN 100-FOOT BUFFER	0	± 0.00
3	TOTAL TRACT AREA	85	± 0.00
4	LANDSCAPE CATEGORY		
5	APPROPRIATION - TREES	157	± 0.00
6	SUSTAIN TREES WITHIN THE NET TRACT AREA	0	± 0.00
7	AREA OF TREES TO BE REPLANTED	157	± 0.00
8	TOTAL TREES TO BE REPLANTED	157	± 0.00
9	PLANTING REQUIREMENTS OTHER THAN TREES		
10	TOTAL PLANTING WITHIN DEVELOPMENT SITE	157	± 0.00
11	TOTAL APPROPRIATION REQUIRED	157	± 0.00
12	REMAINING PLANTING WITHIN THE TRACT	0	± 0.00
13	REPLANTATION FOR CLEARING	157	± 0.00
14	REPLANTATION FOR CLEARING	157	± 0.00
15	REPLANTATION FOR CLEARING	157	± 0.00
16	TOTAL APPROPRIATION FOR PLANTING	157	± 0.00

DATE: 9.1.23

- Legend**
- Pedestrian Fixture (Low Intensity)
 - Parking Lot Lighting (20' Pole, cutoff)

- Notes**
- For pedestrian lights along the building fronts, see sheet 3.
 - This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual following the Alternative Compliance Method. Financial Surety for the required Landscape trees in the amount of \$2,000 must be posted with the grading permit.

PARCEL "W"
ROUTE 175 COMMERCIAL
PLAT No.
ZONED NT-COMMERCIAL



REV	DATE	DESCRIPTION	APPROVED
3	12/04/15	VERIZON WIRELESS EQUIPMENT	

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: JUNE 18, 1997

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *John J. Gutschick* 8/19/97
 Date: 8/19/97
 Chief, Division of Land Development: *Candy Hammett* 8/19/97
 Chief, Development Engineering Division: *John J. Gutschick* 8/19/97

GW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. S&C CHK.

DATE	REVISION	BY	APP'R.
11/18/93	REV. PARCEL A-A BUILDING MODIFICATIONS AND OUTSIDE SEATING AREA ADDITION	BAK	
3-2-99	REV. BLDG. SIDEWALKS & PARCEL INFO PAR. A-A THRU C-C	TKJ	
2-22-00	REV. BLDG. SIDEWALKS & PARCEL INFO. Add Plantings & Landscaping	WAL/PA	
12-3-07	REV. S&C-W	MCJ	

OWNER / PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 10275 LITTLE PATENT PARKWAY
 COLUMBIA, MARYLAND 21044
 PHONE: (410) 992-6027

Landscape Plan
ROUTE 175 COMMERCIAL
 PARCELS "W", "X" AND "A-A" THRU "C-C"

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT-COMMERCIAL	95003
DATE	TAX MAP No.	SHEET
July 11, 1997	36	4 OF 10

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

- a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.
- b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').
- c. Minimum size for planting shade trees shall be 3-3 1/2" caliper, 14'-16' in height.
- d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3"-3 1/2" caliper, 10'-12' in height.
- e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.
- f. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3 1/2"	14'-16'	6'-8'	32" diameter
3 1/2" - 4"	14'-16'	8'-10'	36" diameter
4" - 4 1/2"	16'-18'	8'-10'	40" diameter
4 1/2" - 5"	16'-17'	10'-12'	44" diameter
5" - 5 1/2"	16'-20'	10'-12'	48" diameter
5 1/2" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 1st to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B+B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

- a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.
- b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.
- c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.
- d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3 1/2" cal.	32"	64"	28"
3 1/2" - 4" cal.	36"	72"	32"
4" - 4 1/2" cal.	40"	80"	36"
4 1/2" - 5" cal.	44"	88"	40"
5" - 5 1/2" cal.	48"	96"	44"
5 1/2" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

- a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.
- b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.
- c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.
- d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail". All trees over 3" in caliper are to be planted and guyed in accordance with the attached "Typical Tree Guying Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

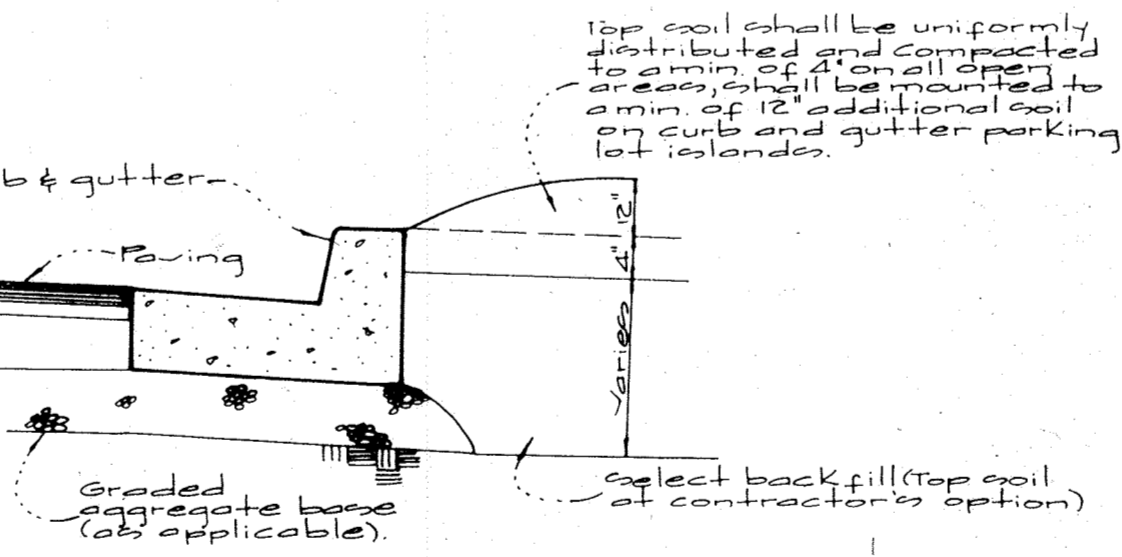
All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

- a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.
- b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

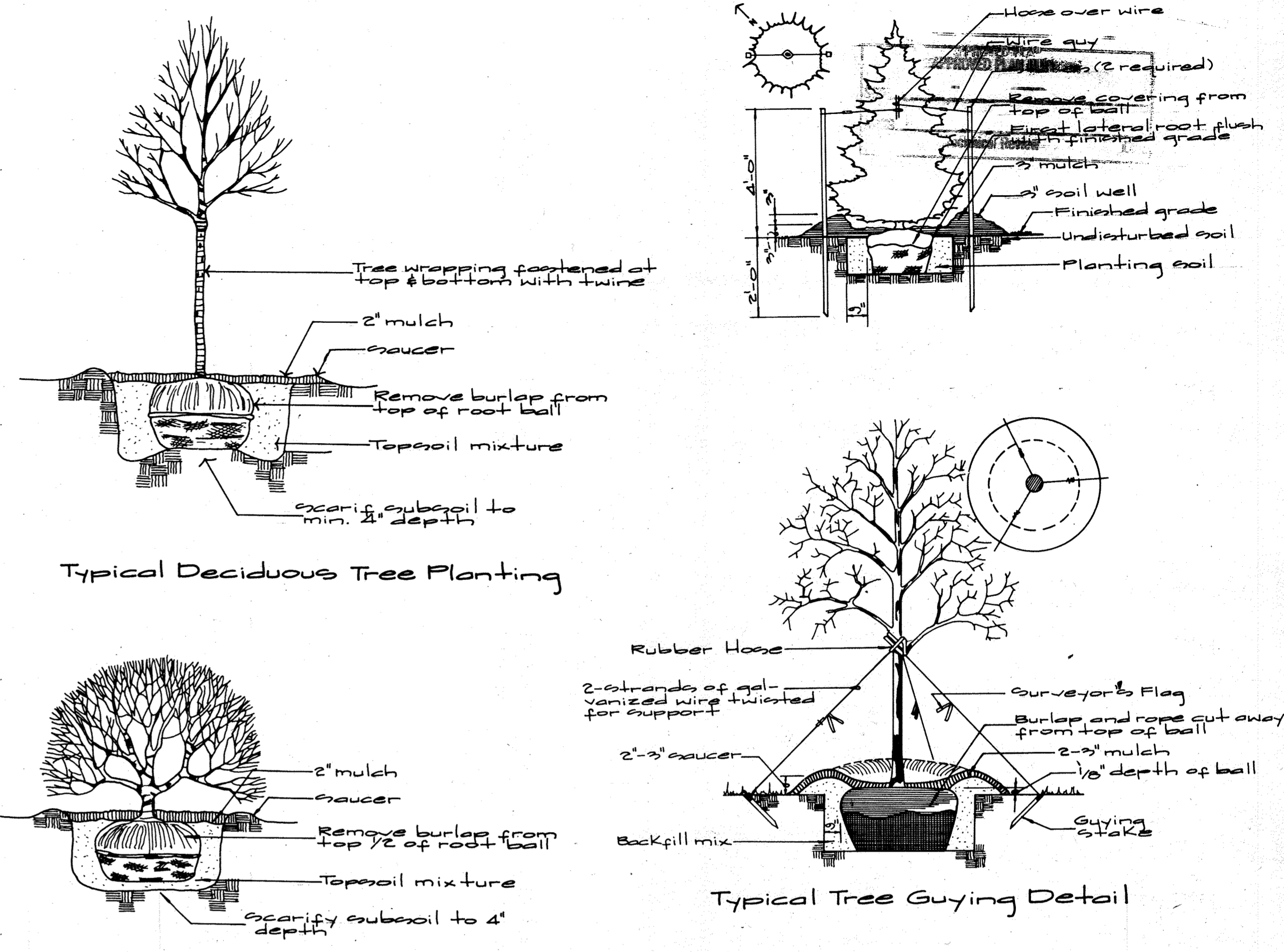
Sodding

All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area"- latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or ZG Escort.



Materials:
Top soil shall be a loam, sandy loam, clay loam, silt loam, sandy clay, AZ loam, loamy sand or other soil as approved by an Agronomist or soil scientist. It shall not have a mixture of contrasting textures and contain no more than 5% volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash or other extraneous materials larger than 1/2" in dia. Top soil must be free of plants or plant parts, Bermuda grass, duck grass, john grass, nutgrass, poison ivy, thistles, or others as specified. All top soil shall be tested by a recognized laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 15 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the top soil to adjust the pH to 6.5 or higher. Top soil containing soluble salts greater than 500 per million shall not be used.



Plant List

Key	Location	Quantity	Name (Botanical/Common)	Size	Condition
20	Buffer	20	Pinus strobus/White Pine	6' Ht.	B & B
8	Buffer	8	Picea abies/Norway Spruce	6' Ht.	B & B
15		15	Zelkova serrata 'Village Green' / Village Green Zelkova	3'-3 1/2" cal. / 14'-16' Ht.	B & B
17		17	Zelkova serrata 'Green Vase' / Green Vase Zelkova	2 1/2"-3" cal.	B & B
225	Shore Front Planters	225	Juniperus Conferta Shore Juniper	15-18"	20" O.C.
698	Islands	698	Juniperus chinensis 'Parsoni' 'Parsoni' Juniper	24"-30" spread	#3 Cont. 20" O.C.
37		37	Prunus cerasifera 'Thundercloud' / Purpleleaf Flowering Plum	2 1/2"-3" cal. / 10-12 Ht.	B & B
24A	Shore Front Planters	24A	Carpinus betulus 'Fastigata' / Fr. European Hornbeam	2 1/2"-3" cal. / 12-14' Ht.	B & B (treeform)
12		12	Malus floribunda / Japanese Flowering Crabapple	2-2 1/2" cal. / 8-10 Ht.	B & B
223		223	Taxus media densiformis Densiformis Yew	24-30"	
515	PK Pedestrian Corridor	515	Ilex glabra 'Compacta' / Compact Inkberry	24-30" Ht.	B & B
27		27	Rhus corymbosa 'Cleveland' / Cleveland Pear	2 1/2"-3" cal.	B & B
450	Shore Front Planters	450	Rhododendron Kurume x traditional / Tradition Azalea	24"-30" spread	20" O.C.

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: JUNE 18, 1997
DATE:

Approved: Howard County Department of Planning & Zoning
Director: [Signature] 8/19/97
Chief of Land Development: [Signature] 8/19/97
Chief Development Engineering: [Signature] 8/18/97

GW GUTSCHICK LITTLE & WEBER, P.A.
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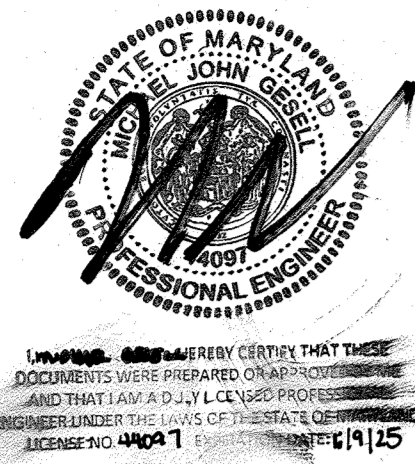
DATE	REVISION	BY	APPR.
8/19/97	REV. PLANT LIST TO REFLECT ARCH CHANGES PAR. "B-B" & "C-C"	PAK	HWJ
8/20/97	REV. Plant list to reflect changes per Landscape Arch.	HWJ	HWJ

PREPARED FOR:
The Howard Research & Development Corporation
10215 Little Patuxent Pkwy.
Columbia, Maryland 21044
Phone: (410)992-6027

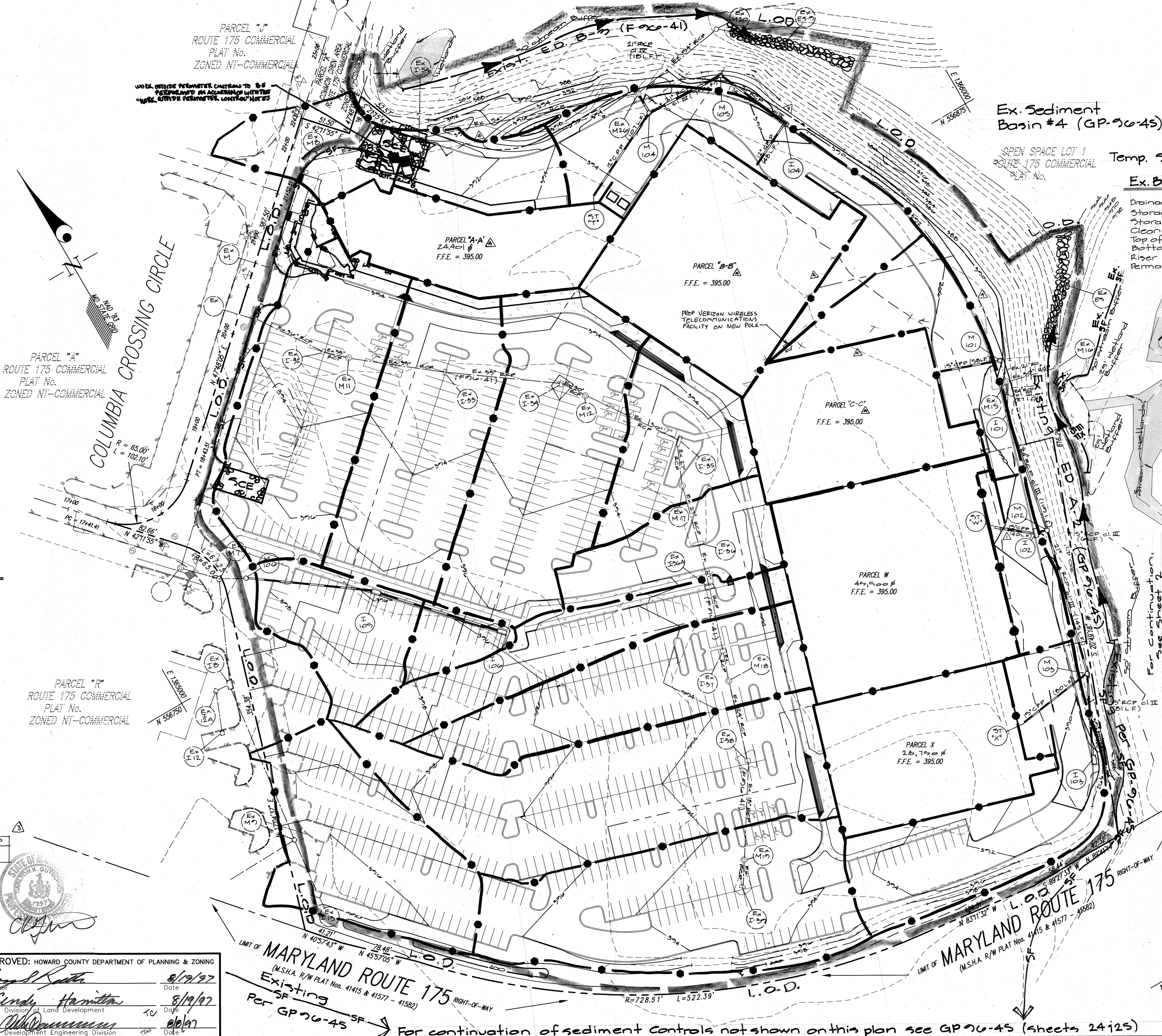
Planting Notes & Details
Route 175 Commercial
PARCELS "W", "X" AND "A-A" THRU "C-C"

Gulford Election District No. 6
Howard County, Maryland

DES.	SCALE	ZONING	G.L.W. FILE NO.
DES.	As Shown	NT-Commercial	05-003
DRN.	DATE	TAX MAP No.	SHEET
DRN. W.C.J.	July 11, 1997	20	5 of 10
CHK.			



APPROVED PLAN
 SCD John R. Blanton 7/31/97
 NRCS Cheryl Simmons 7/31/97
 Mechanical Engineer: JLR Date



Ex. Sediment Basin #4 (GP-96-45)

Temp. SWM is being provided by Basin #4

Ex. Basin #4 Data

Drainage Area	= 28.48 Ac
Storage Req.	= 102,528 cu ft
Storage Prov.	= 246,034 cu ft
Clear out Elev.	= 358.38
Top of Dam	= 372.12
Bottom Elev.	= 350.00
Riser Crest Elev.	= 367.30
Permanent Pool Elev.	= 360.22

Drainage Area Tabulations

Structure Number	Area	A _{grass}	A _{paving}	C Factor
I-32	0.92	0.14	0.78	0.80
I-33	0.80	0.05	0.81	0.80
I-34	1.04	0.05	0.99	0.80
I-35	0.46	0.05	0.70	0.75
I-36	0.42	0.11	0.31	0.75
I-36A	0.92	0.04	0.48	0.85
I-37	0.71	0.07	0.64	0.84
I-38	1.23	0.07	1.16	0.86
I-39	1.08	0.21	0.77	0.71
I-13	0.73	0.17	0.60	0.75
I-14	0.95	0.06	0.52	0.83
I-101	0.40	-	0.40	0.90 *
I-102	0.24	-	0.24	0.90 *
I-103	0.70	-	0.70	0.90 *
I-104	0.70	-	0.70	0.90 *
I-105	0.41	-	0.41	0.90 *
I-106	0.13	-	0.13	0.90 *
Stub W	1.04	-	1.04	0.90 *
Stub X	0.66	-	0.66	0.90 *

* 0.90 was used for these areas due to the large percentage of paving

Note: 1. 'c' soils were used for storm drain calculations due to mass grading under F 96-41 and GP 96-45.

For Sediment Control and Drainage Area Information only!!!

- Legend
- Existing Contour
 - - - Proposed Contour
 - - - Silt Fence
 - - - Drainage Divide
 - E.D. Earth Dike
 - L.O.D. Limit of Disturbance
 - S.C.E. Stone Construction Entrance

REV	DATE	DESCRIPTION	APPROVED
3	12/04/15	VERIZON WIRELESS EQUIPMENT	

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE JUNE 18, 1997

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] 8/19/97
 Chief, Division of Land Development: Cindy Hammit 8/19/97
 Chief, Development Engineering Division: [Signature] 8/19/97

LIMIT OF MARYLAND ROUTE 175 (M.S.H.A. R/W PLAT Nos. 41415 & 41577 - 41582)
 Existing SF
 Per GP 96-45

For continuation of sediment controls not shown on this plan see GP 96-45 (sheets 24125)

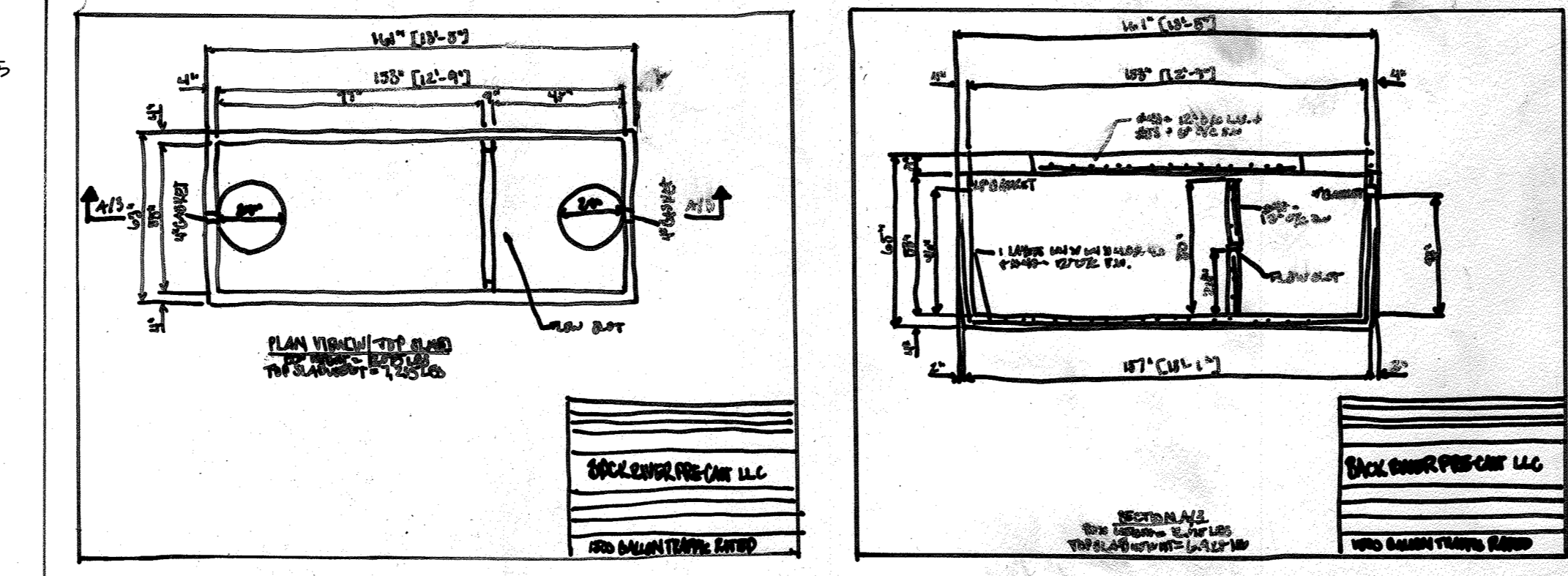
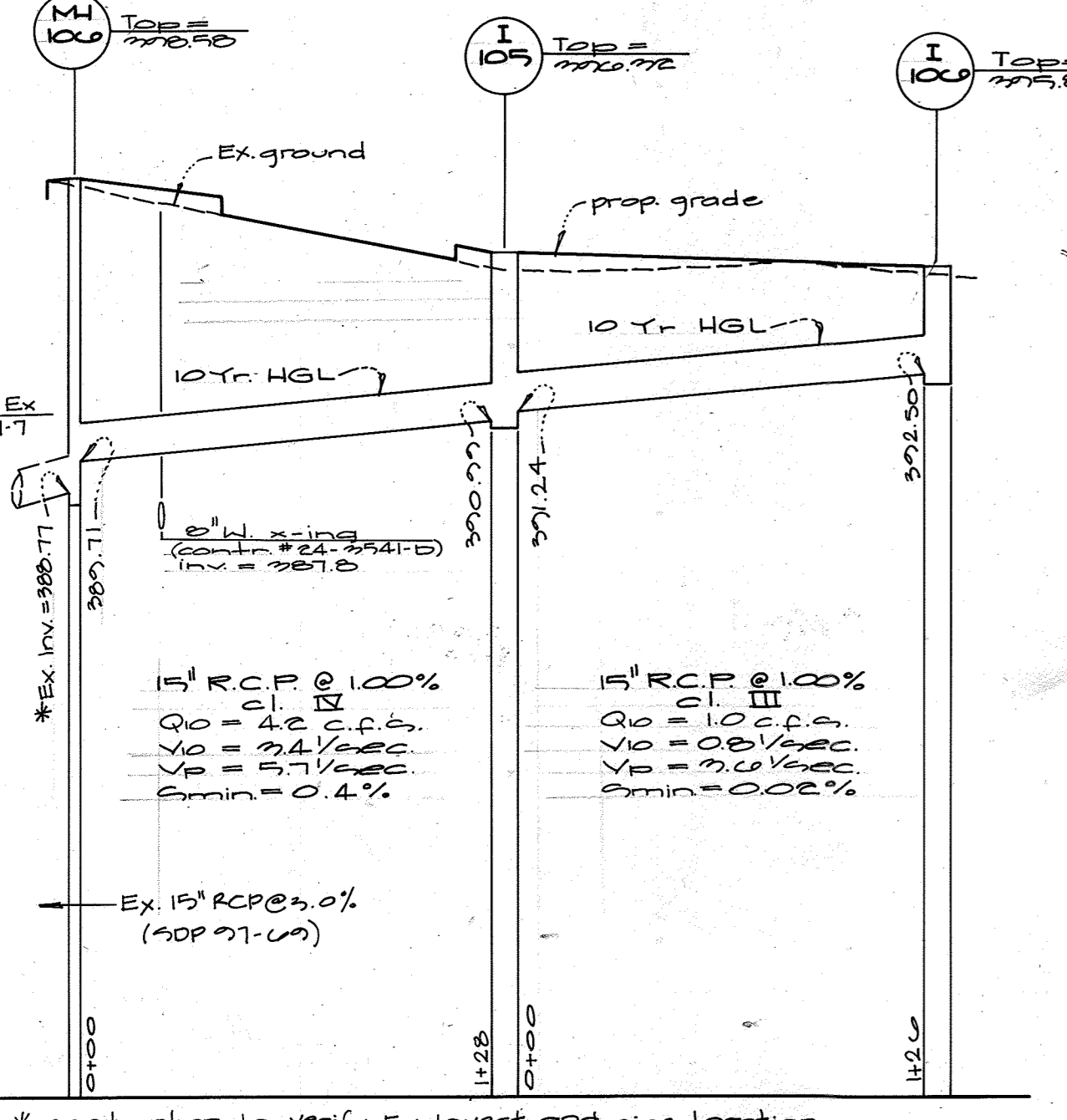
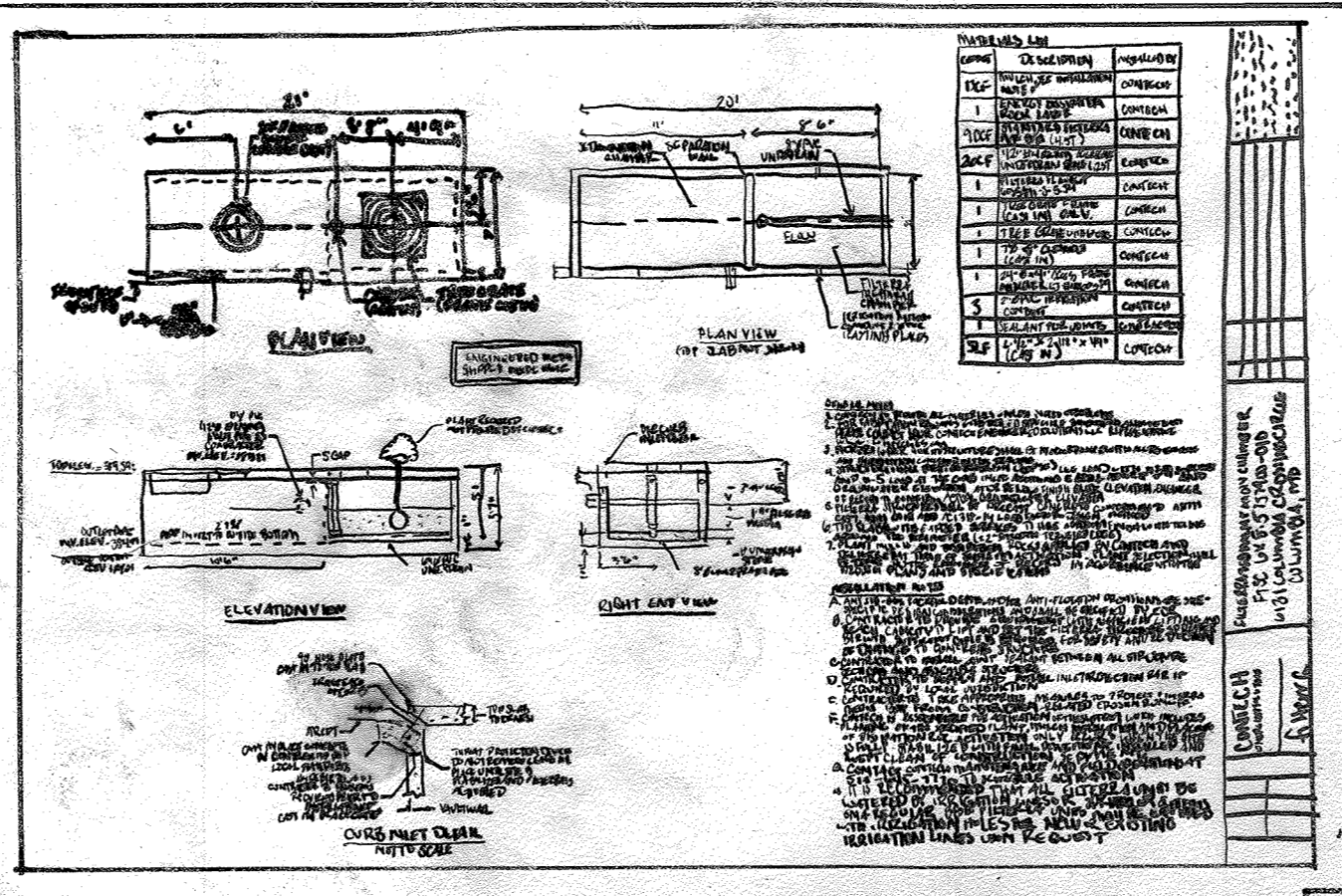
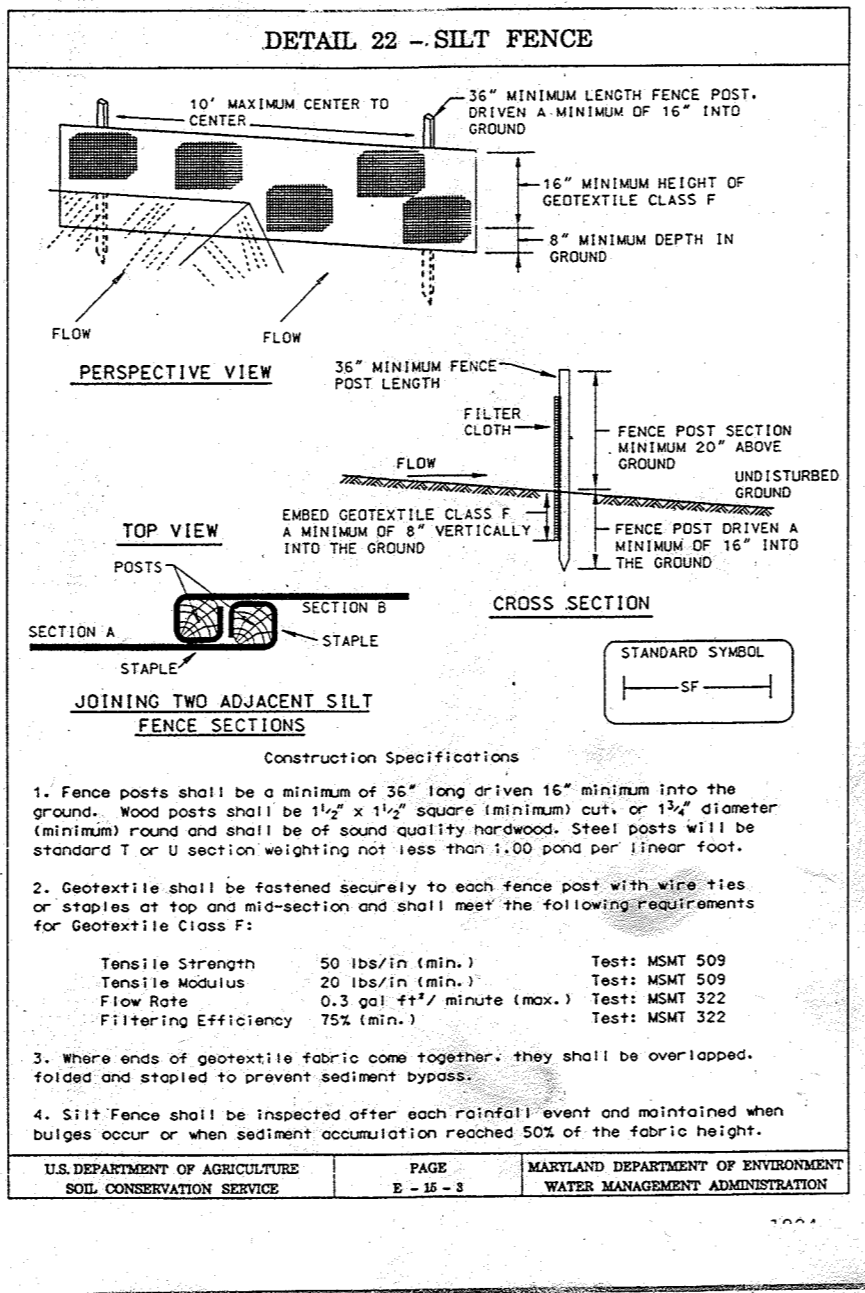
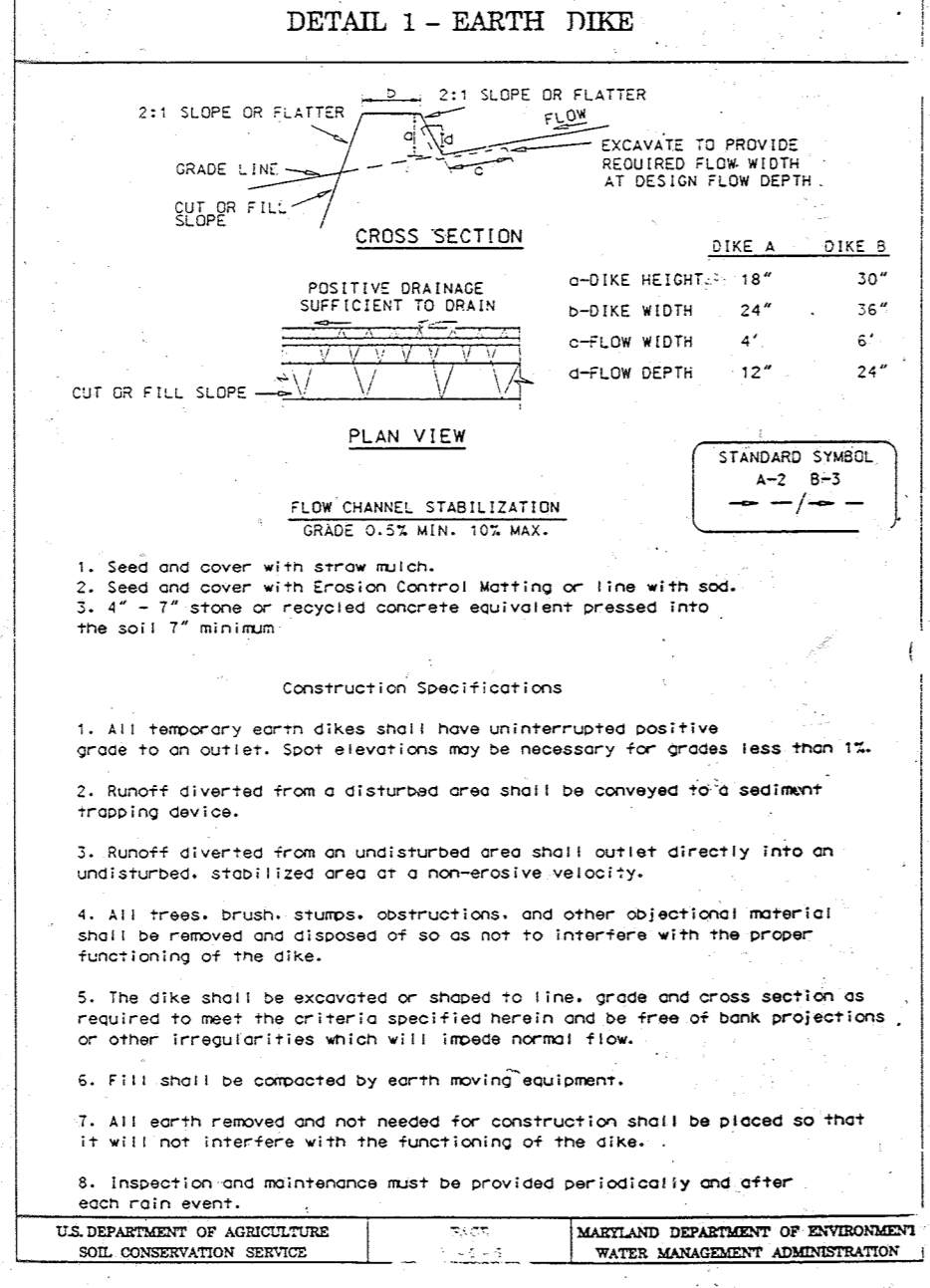
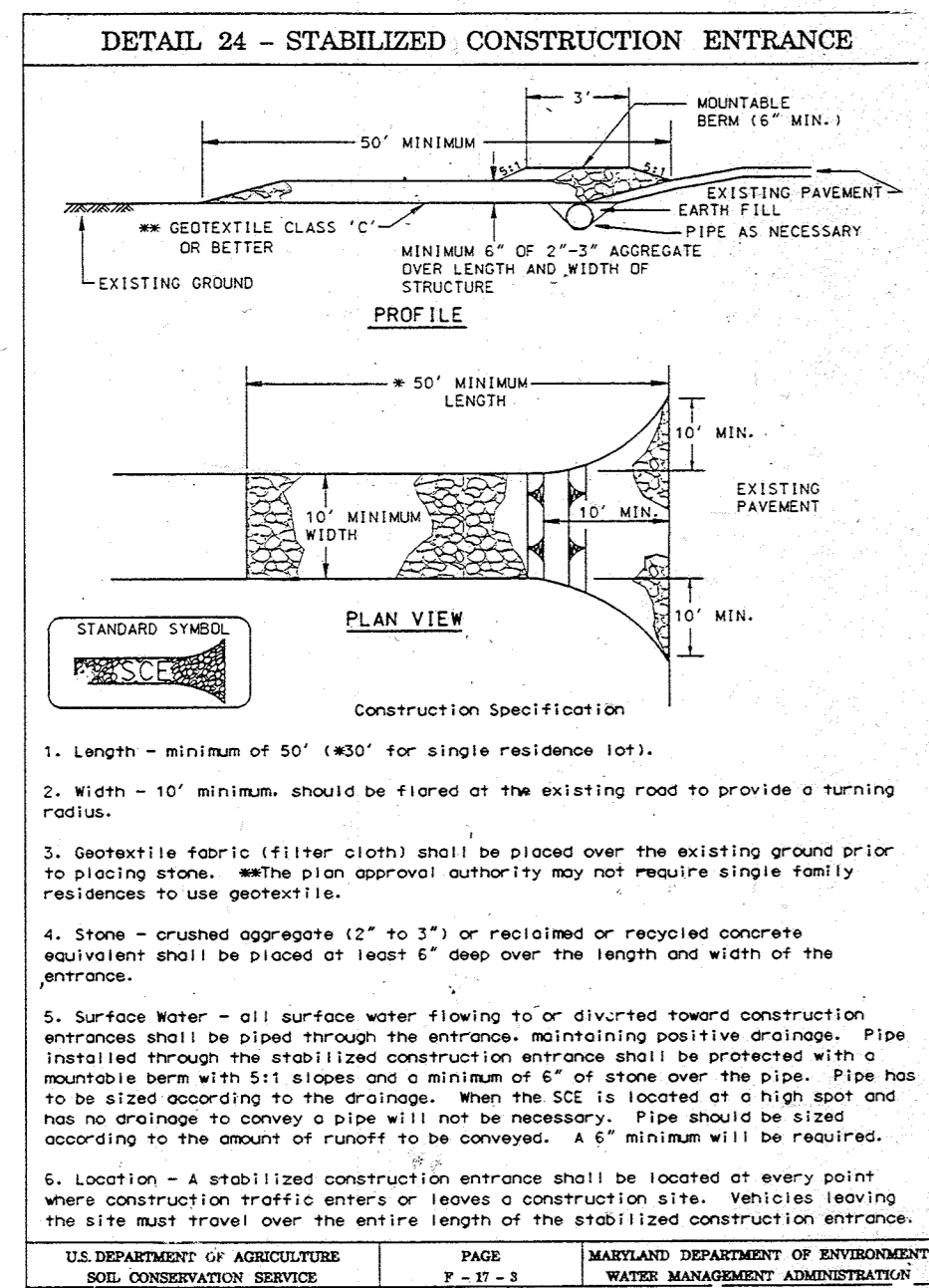
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 TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. SJC CHK.

DATE	REVISION	BY	APPR.
4/12/97	REV. PARCEL A-A BUILDING MODIFICATIONS AND OUTDOOR SEATING AREA GRASS AND ASPHALT DRIVE	JKW	
3-2-97	REV. PARCEL DESIGNATIONS COORD. BLDGS. "B-B" & "C-C"	WJW	
4-20-97	REV. PARCEL DESIGNATIONS	MCF	
10-5-97	REV. STUB W		

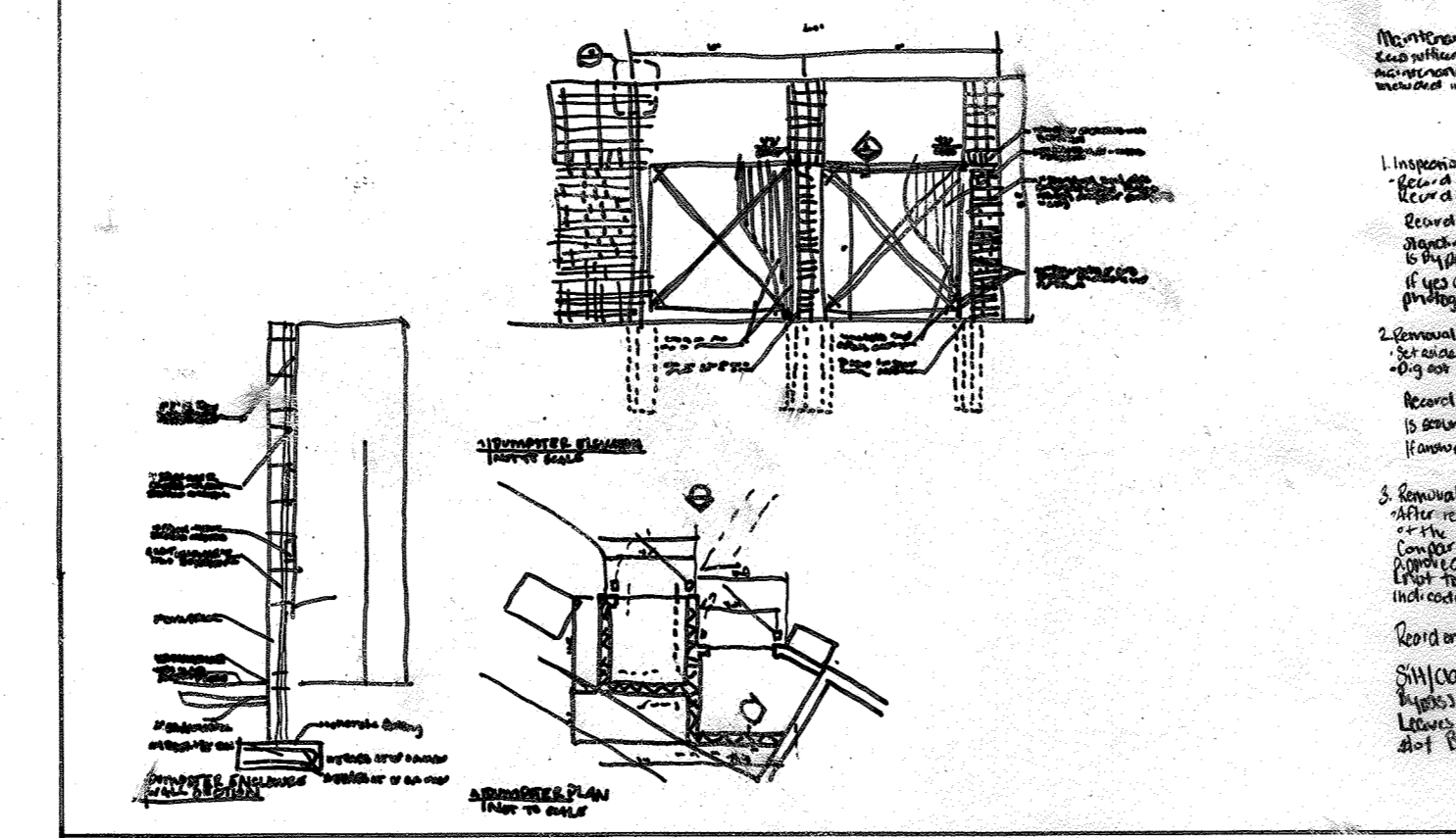
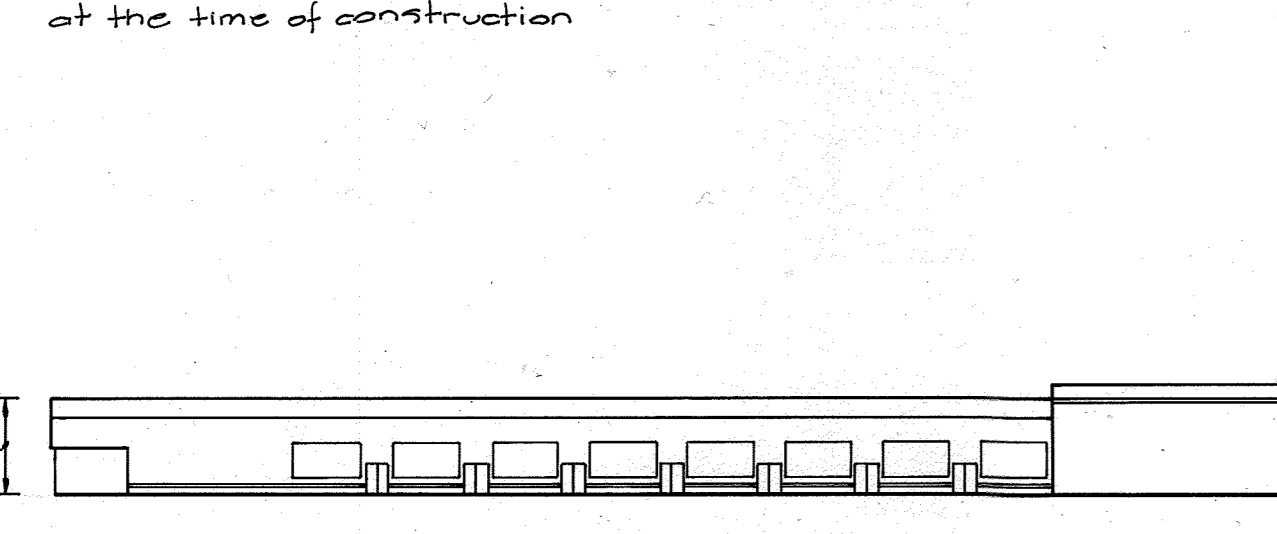
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 THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 10275 LITTLE PATENT PARKWAY
 COLUMBIA, MARYLAND 21044
 PHONE: (410) 992-6027

Sediment Control Plan / Drainage Area Map
ROUTE 175 COMMERCIAL
 PARCELS "W", "X" AND "A-A" THRU "C-C"

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT - COMMERCIAL	95003
DATE	TAX MAP No.	SHEET
July 11, 1997	36	6 OF 10



Category	Item	Quantity	Unit
Materials	Gravel	100	cu. yd.
	Crushed Stone	50	cu. yd.
	Concrete	100	cu. yd.
	Rebar	100	lb.
	Brick	100	sq. ft.
	Insulation	100	sq. ft.
	Roofing	100	sq. ft.
	Paint	100	gal.
	Sealant	100	lb.
	Other	100	lb.



Maintenance Checklist

Item	Frequency	Status
Check for leaks	Weekly	OK
Inspect roof	Monthly	OK
Clear gutters	Quarterly	OK
Check foundation	Annually	OK

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE JUNE 18, 1997

Approved: [Signature] Director
[Signature] Chief of Land Development
[Signature] Chief of Development Engineering

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

[Signature] Signature of Developer/Builder
5-6-97 Date

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] Signature of Engineer
5-6-97 Date

SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (4/0) 3/13-1955
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching. (Sec. G.) Temporary stabilization, with mulch alone, shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 Total Area of Site : 16.64 Acres
 Area Disturbed : 17.00 Acres
 Area to be roofed or paved : 11.78 Acres
 Area to be vegetatively stabilized : 5.22 Acres
 *Total Cut : 6200 Cu. Yds.
 *Total Fill : 14700 Cu. Yds.
 Off-site waste/borrow area location: GDF 97-107 G#00004800
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- All sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back filled and stabilized within one working day, whichever is shorter.

Sequence of Construction

- Obtain grading permit & arrange for pre-construction meeting with sediment control inspector. (1 day)
- Inspect & maintain sediment basin & all required devices, indicated on the plans & maintain as required. (1 week)
- Install stabilized construction entrances & silt fence. (1 week)
- Final grade site. (1 month)
- Construct building, utilities, curb & gutter & base pave. (1 month)
- Install landscaping & stabilize remaining areas with sod or grass seed & mulch. (2 weeks)
- When area draining to sediment control have been stabilized & permission has been granted by the sediment control inspector, remove backfill or grade & stabilize as directed. (1 month)
- Install surface course paving.
- End construction.

PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- Soil Amendments: In lieu of soil test recommendations, use one of the following schedules
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaformal fertilizer (9 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
- Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and August 15 thru October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

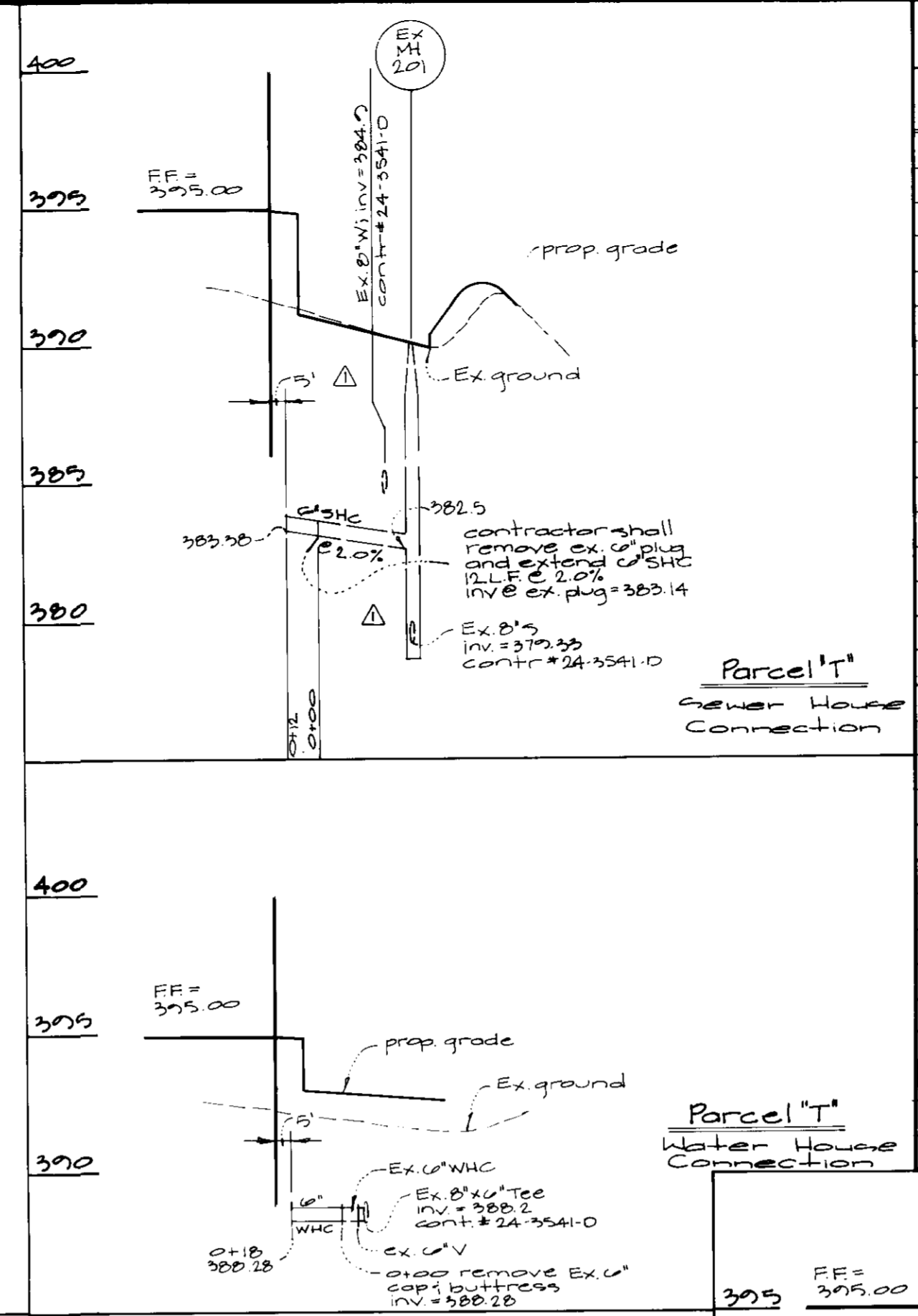
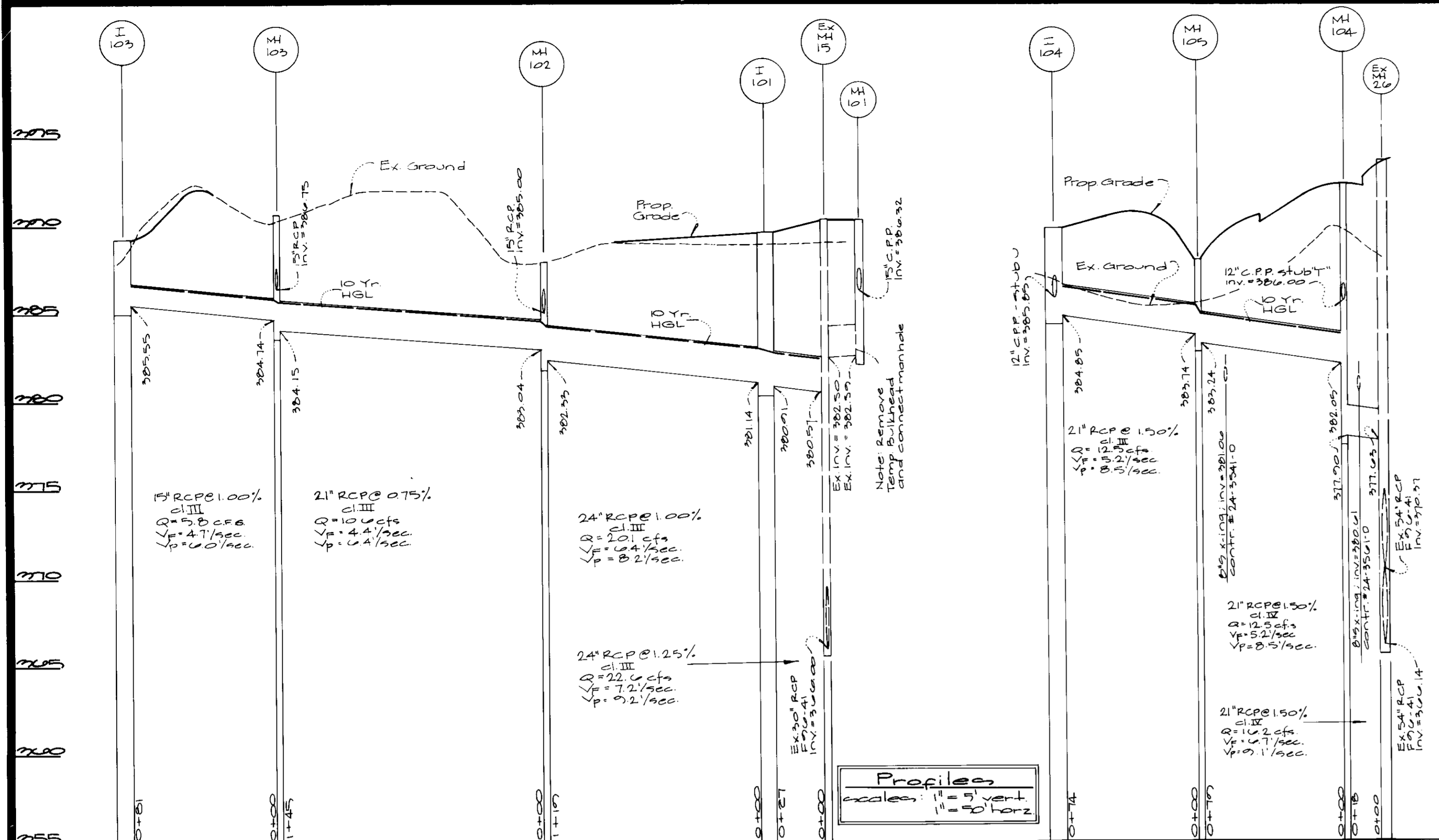
GW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20886
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.
4/1/97	REV. PARCEL DESIGNATIONS	BAK	
3-2-97	REV. PARCEL DESIGNATIONS	HKS	
4-2-97	REV. Parcel Designations	WJG	

PREPARED FOR:
 The Howard Research & Development Corporation
 10216 Little Patuxent Pkwy.
 Columbia, Maryland 21044
 Phone: (410)992-0021

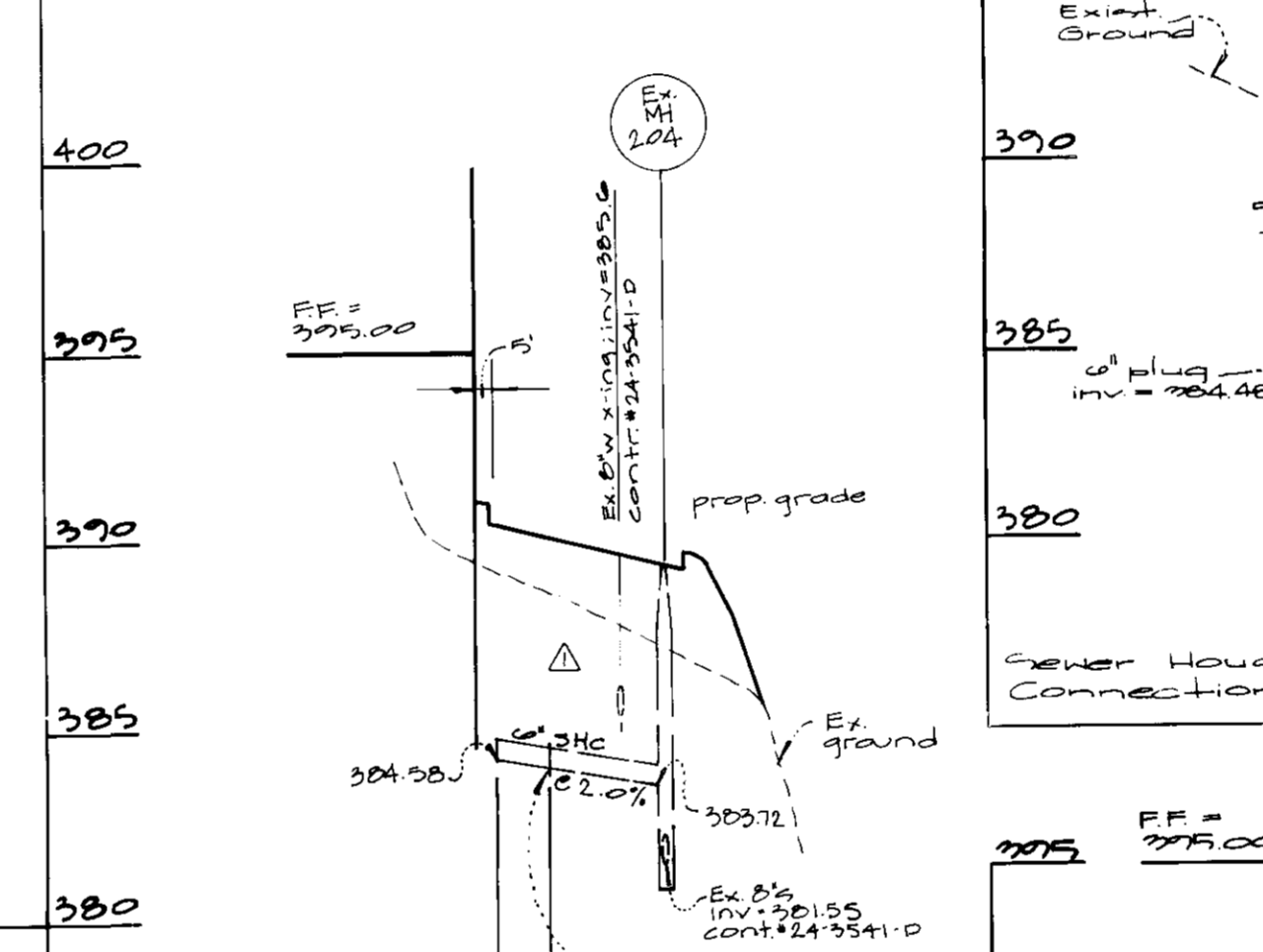
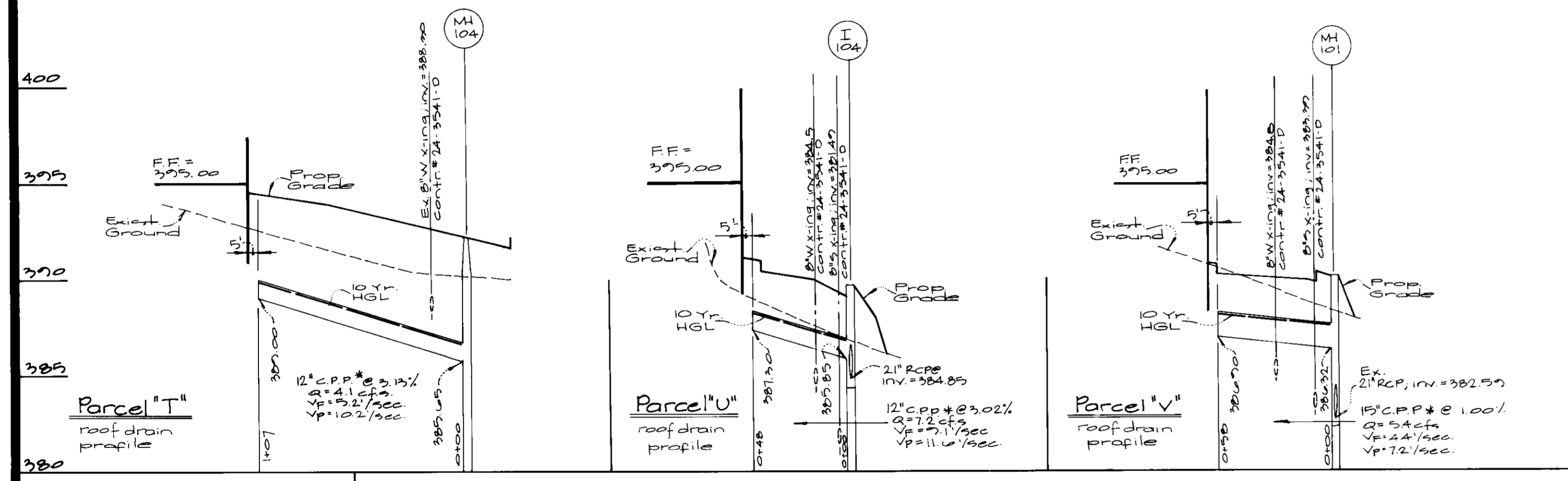
Sediment Control Notes, Details, Storm Drain Profiles & Building Elevation
Route 175 Commercial
 PARCELS "W", "X" AND "A-A" THRU "C-C"

DES.	SCALE	ZONING	G.L.W. FILE No.
AS SHOWN	Commercial	NT	975-003
DRN.	DATE	TAX MAP No.	SHEET
	July 11, 1997	70	7 of 10



Structure Schedule

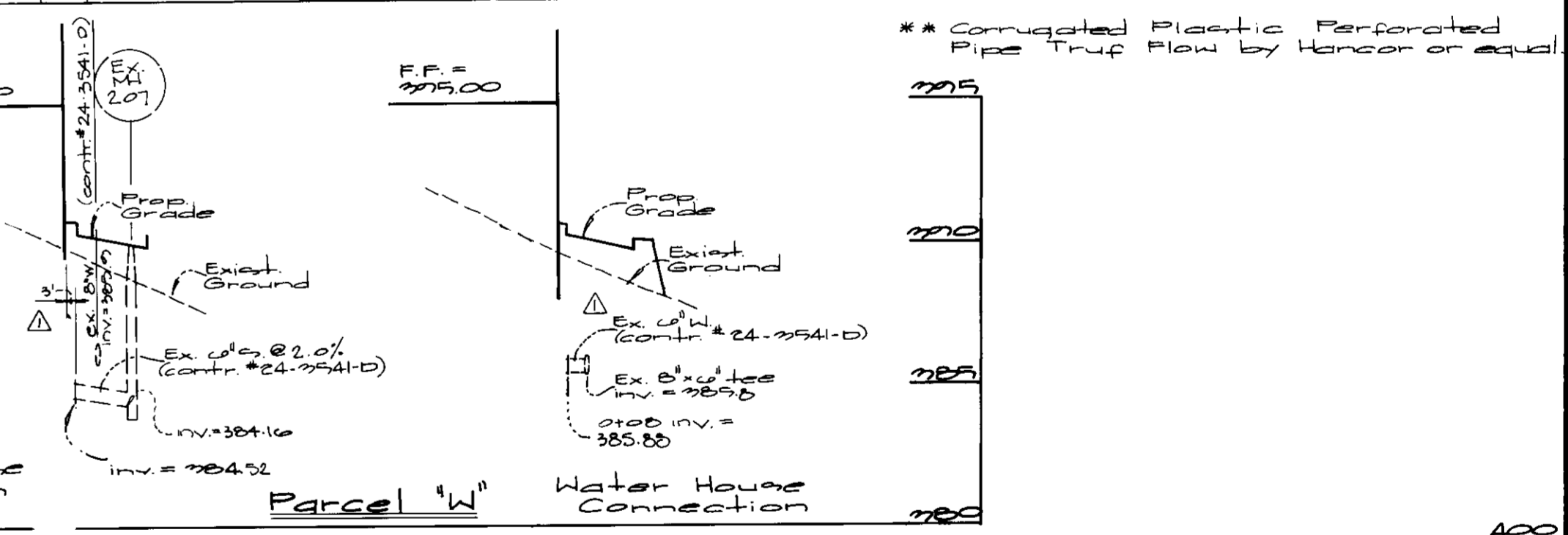
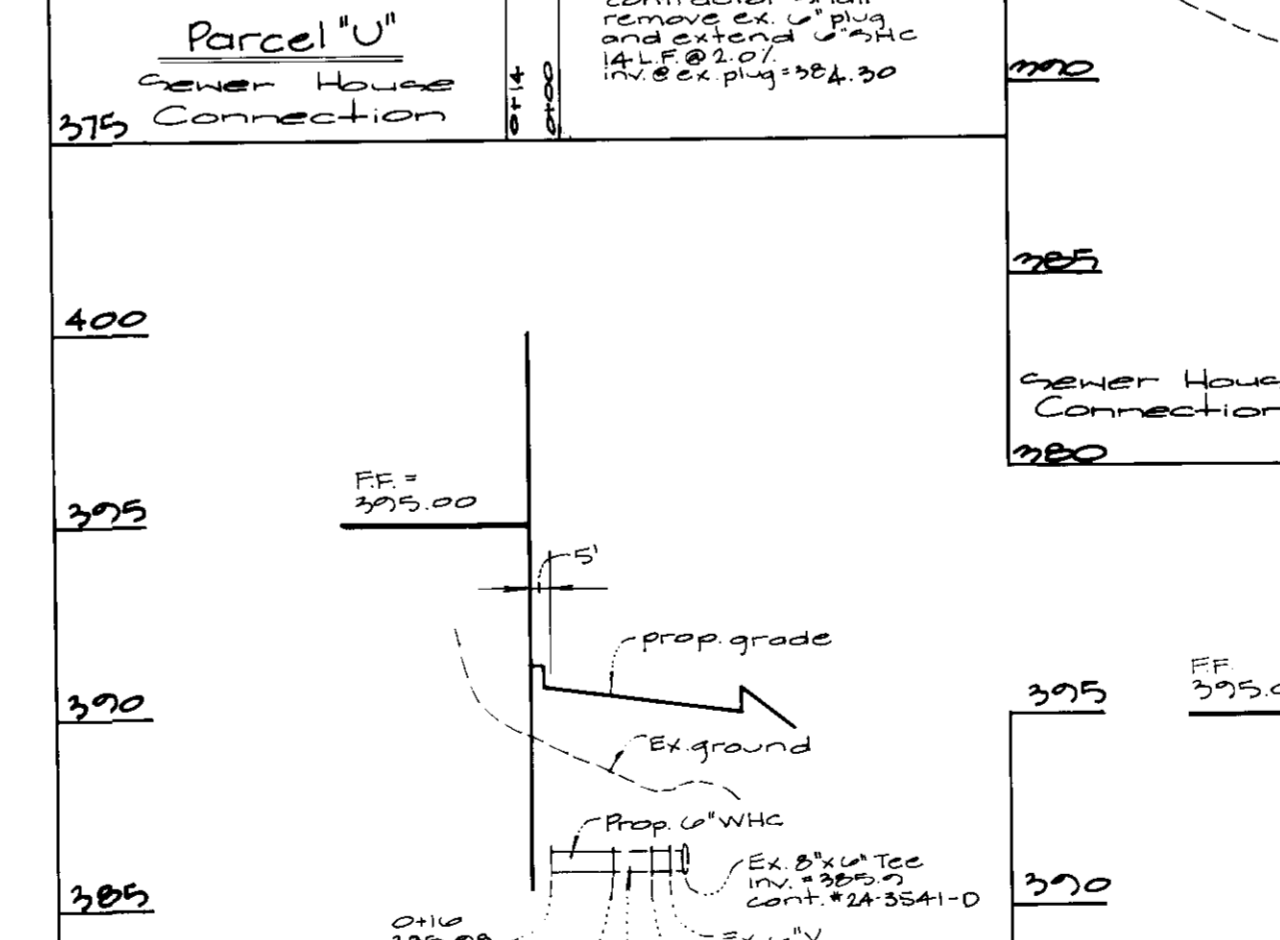
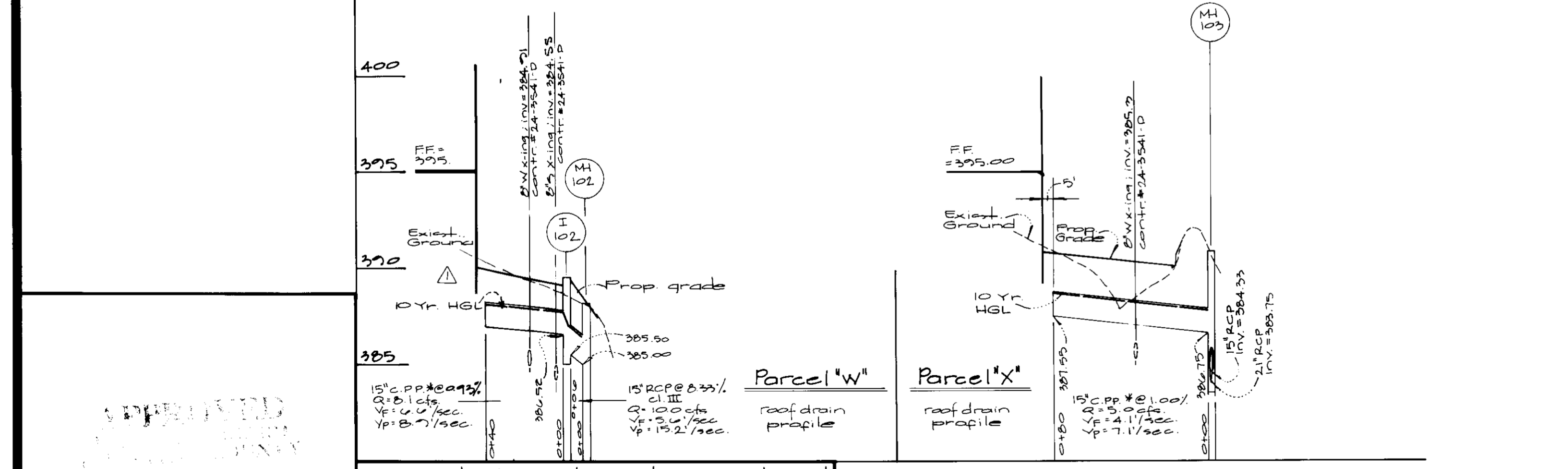
No	Type	Width	Top Elevation (Inside)	Top Elevation (Lower)	Invert Elevation (Upper)	Invert Elevation (Lower)	Ext'd Detail	Locations	Remarks
I-101	A-10	2'-6"	389.58	---	381.14	380.91	5.0 4.41	see plan	
I-102	A-10	2'-6"	389.55	---	380.92	380.50	5.0 4.41	see plan	
I-103	A-10	2'-6"	389.30	---	---	385.55	5.0 4.41	see plan	
I-104	A-10	2'-6"	389.80	---	385.85	384.85	5.0 4.41	see plan	
I-105	A-10	2'-6"	390.32	---	391.24	390.97	5.0 4.41	see plan	
I-106	A-10	2'-6"	395.89	---	---	392.5	5.0 4.41	see plan	
M-101	std manhole	4'-0"	390.15	---	380.32	382.97	G 5.01	see plan	
M-102	std manhole	4'-0"	388.00	---	385.00	382.35	G 5.01	see plan	
M-103	std manhole	4'-0"	391.00	---	380.75	384.15	G 5.01	see plan	
M-104	std manhole	4'-0"	392.25	---	380.00	381.20	G 5.01	see plan	
M-105	std manhole	4'-0"	388.00	---	385.74	385.24	G 5.01	see plan	
M-106	std manhole	4'-0"	398.58	---	389.71	388.77	G 5.01	see plan	
ST-1	stub	---	---	---	---	389.00	---		
ST-U	stub	---	---	---	---	381.30	---		
ST-V	stub	---	---	---	---	386.90	---		
ST-W	stub	---	---	---	---	380.35	---		
ST-X	stub	---	---	---	---	381.55	---		



Pipe Schedule

size	type	quantity (l.f.)	Remarks
15"	RCP, cl. III	215	
21"	RCP, cl. III	210	
21"	RCP, cl. IV	140	
24"	RCP, cl. III	97	
12"	CPP	155	*
15"	CPP	104	*
18"	CPP	320	*
6"	Perf. CPP	150	**
6"	Perf. PVC	780	**
15"	RCP, cl. IIX	125	
6"	WHC	64	Δ
6"	WHC	44	Δ

* CPP = Corrugated Plastic Pipe 41-Q by Hancox or N-12 by ABA
 ** Corrugated Plastic Perforated Pipe Trunk Flow by Hancox or equal



Approved: Howard County Department of Planning & Zoning
 Director: [Signature] 8/19/97
 Chief of Land Development: [Signature] 8/19/97
 Chief of Engineering: [Signature] 8/19/97

Profiles
 scales: 1" = 5' vert
 1" = 50' horiz

GW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE, SUITE 250, BURTONSVILLE OFFICE PARK, BURTONSVILLE, MD 20866

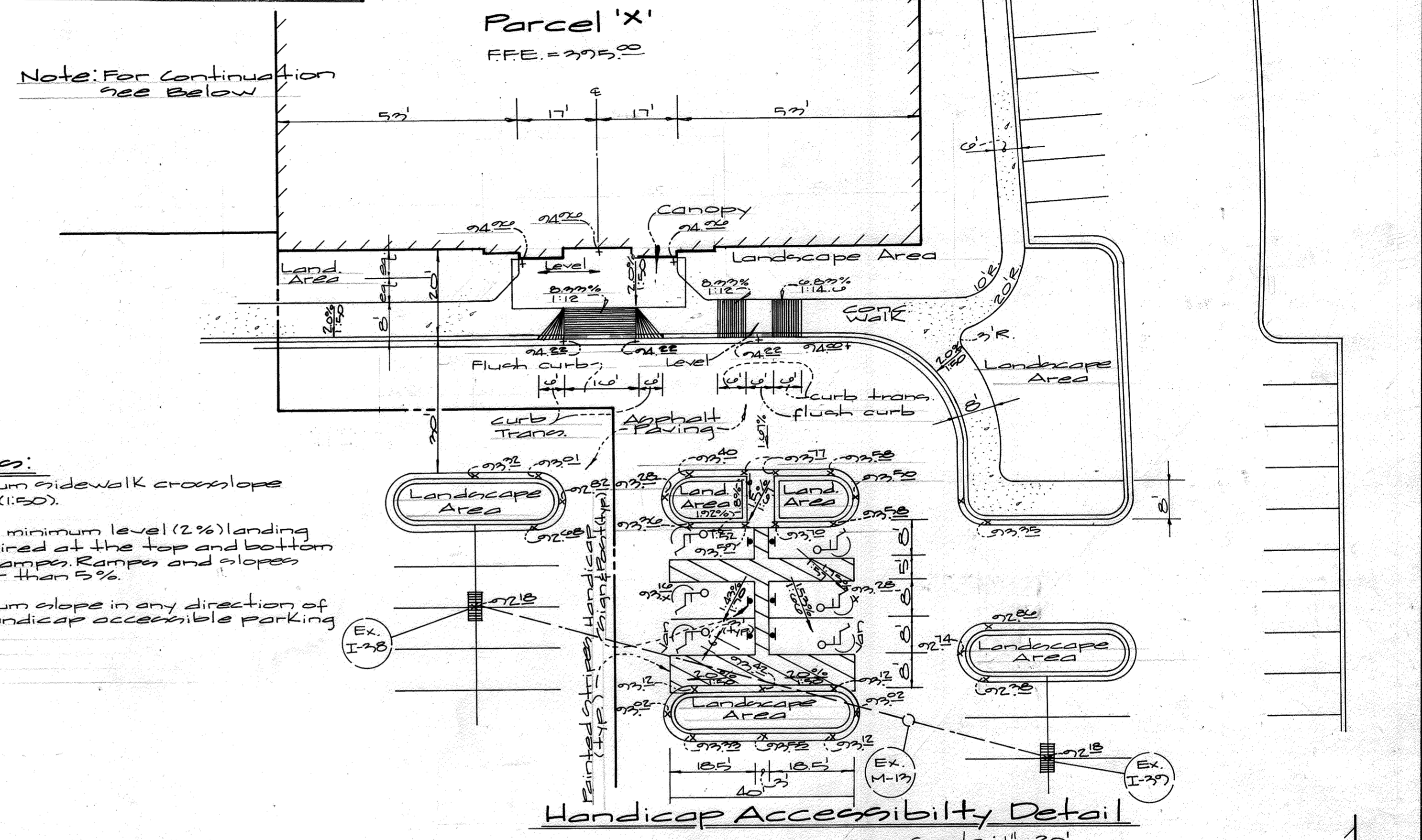
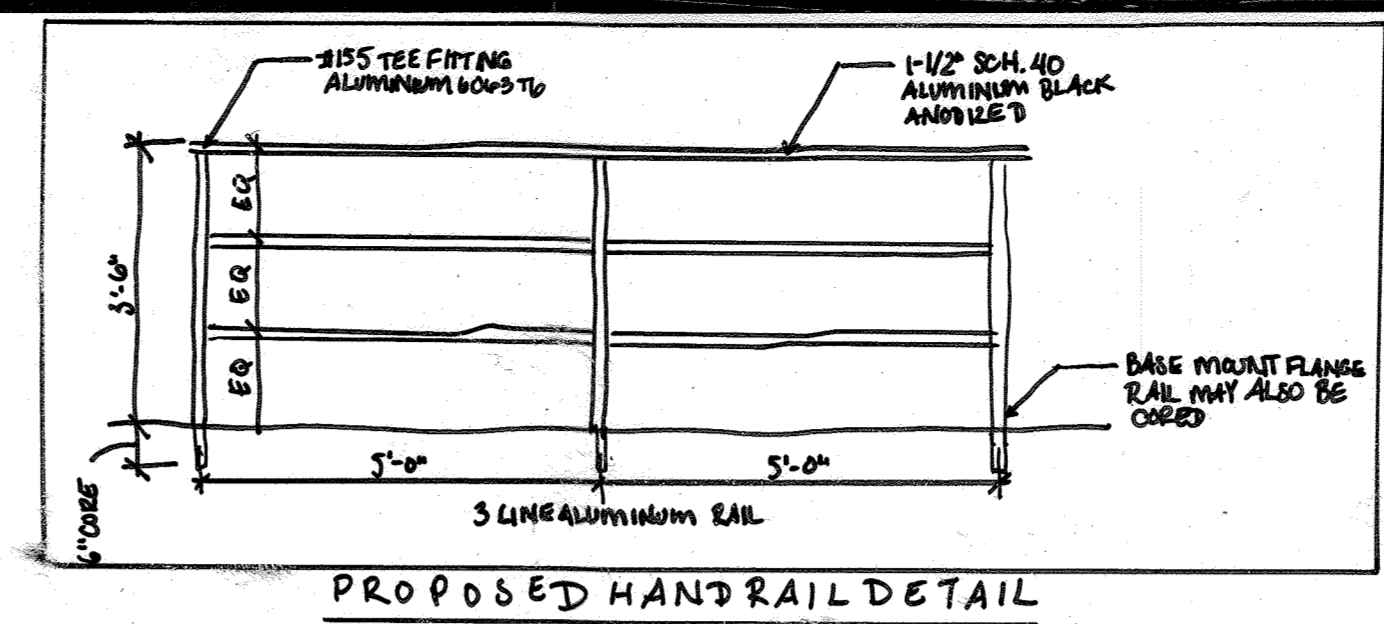
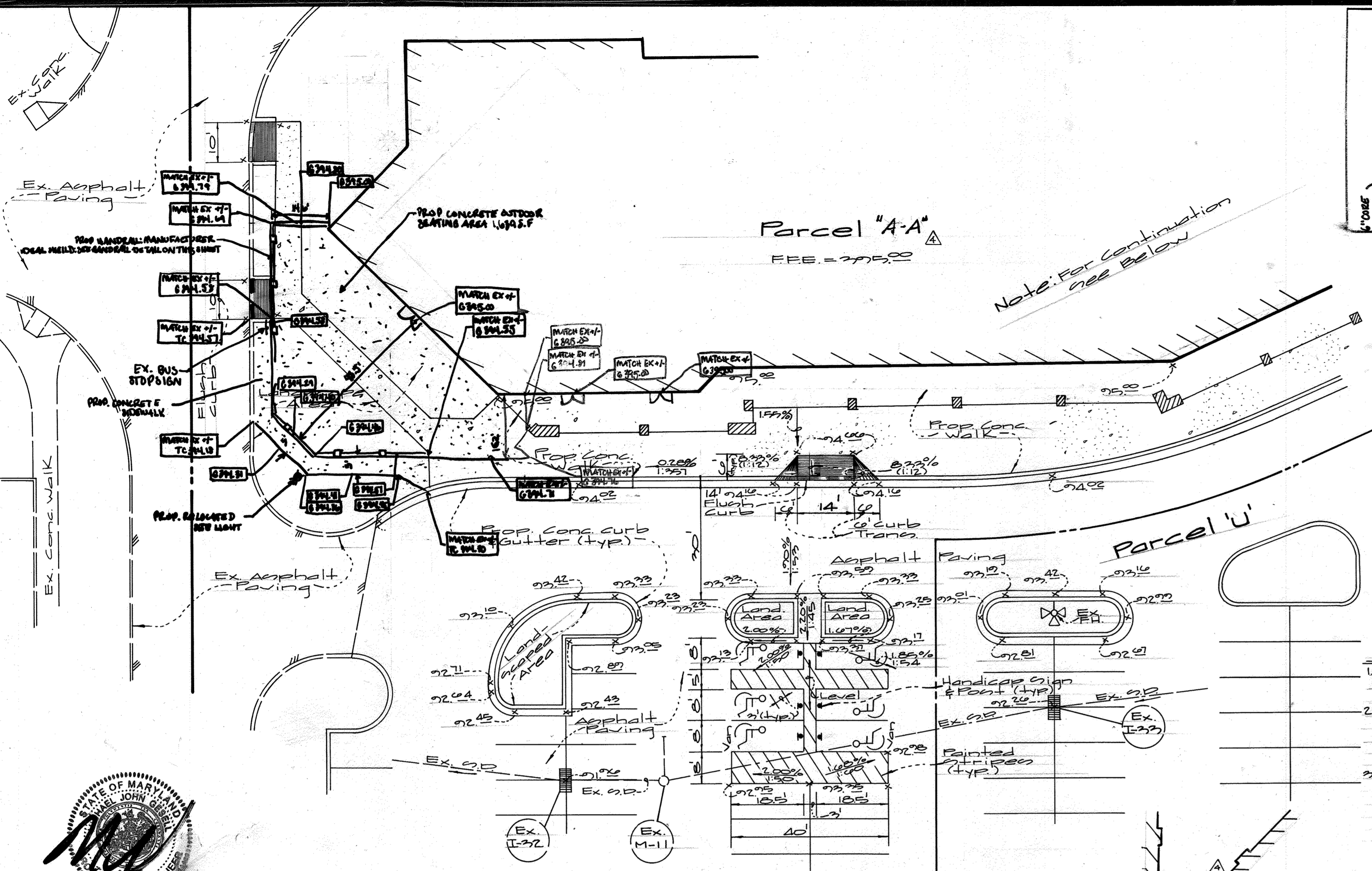
PREPARED FOR:
 The Howard Research & Development Corporation
 10215 Little Patuxent Pkwy
 Columbia, Maryland 21044
 Phone: (410) 992-4027

Utility & Storm Drain Profiles
Route 175 Commercial
 Parcels "T" thru "X"

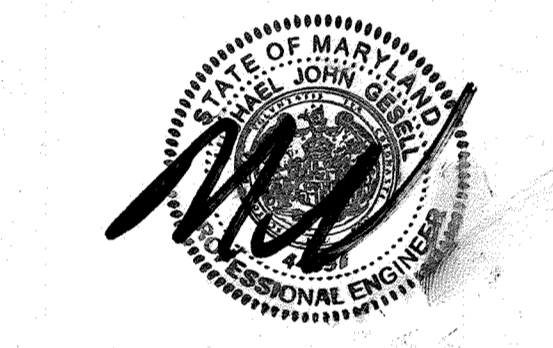
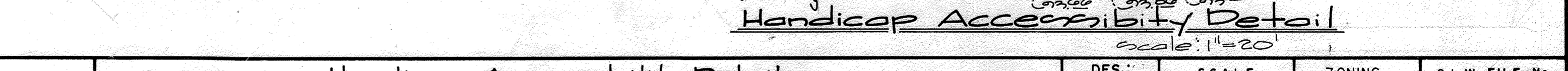
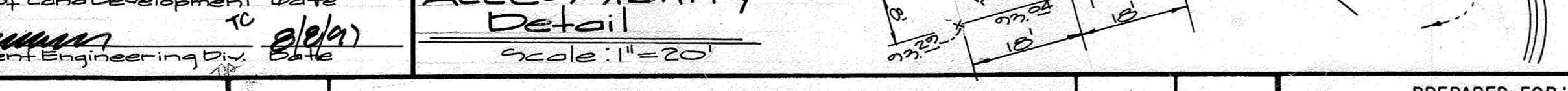
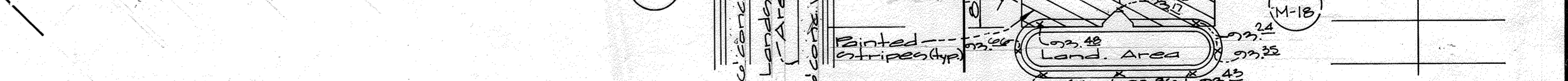
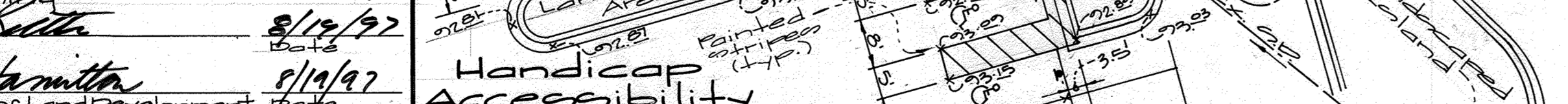
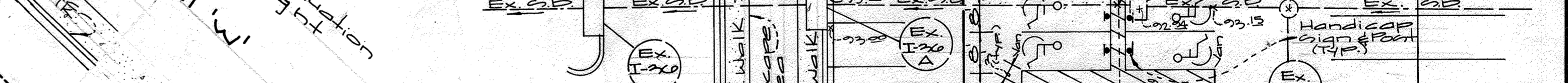
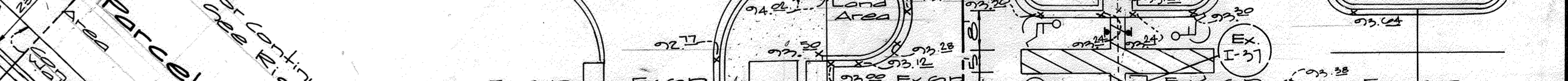
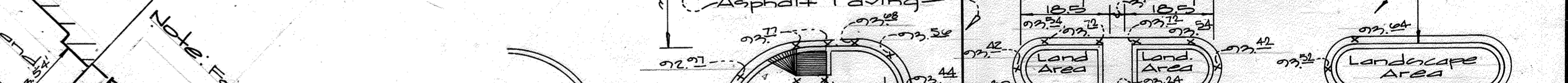
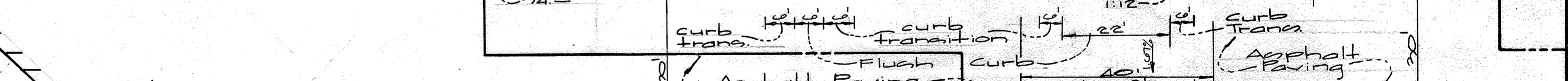
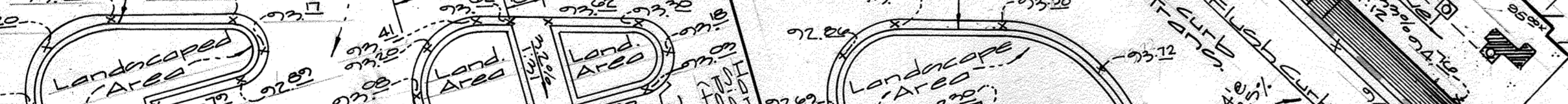
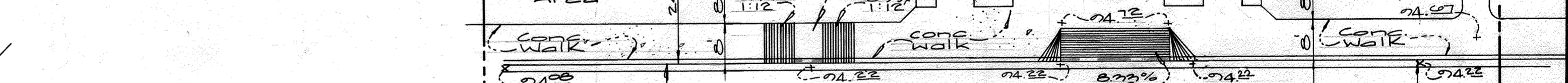
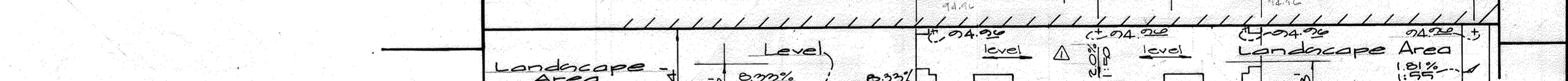
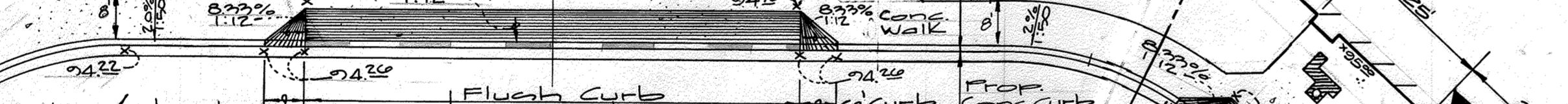
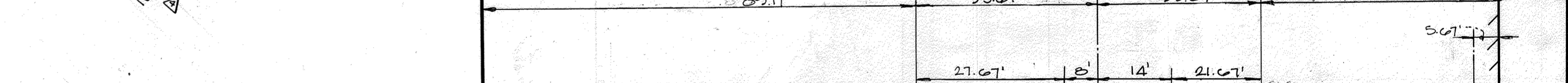
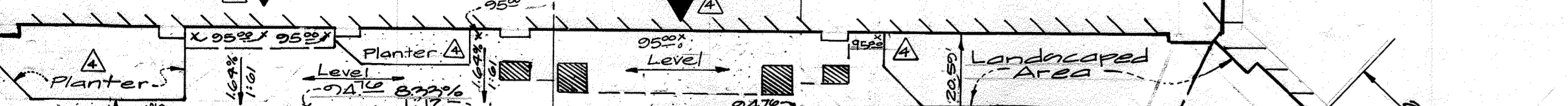
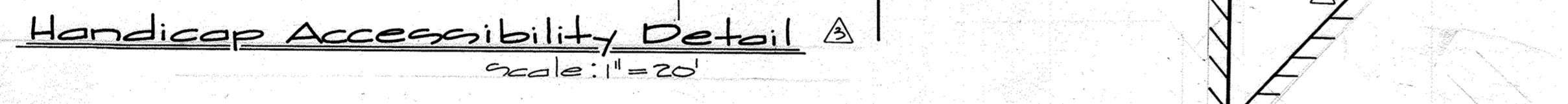
DES: [Signature] SCALE: as shown ZONING: NT-Commercial G.L.W. FILE NO.: 95-009
 DRN: MCF/KLP DATE: July 11, 1997 TAX MAP NO.: 70 SHEET: 8 of 10
 CHK: [Signature]

Guilford Election District No. 6
 Howard County, Maryland

GDP 97-142



- Notes:**
1. Maximum sidewalk cross slope is 2% (1:50).
 2. A 6x6 minimum level (2%) landing is required at the top and bottom of all ramps. Ramps and slopes greater than 5%.
 3. Maximum slope in any direction of the handicap accessible parking is 2%.



UNLESS OTHERWISE SPECIFIED, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14191 EXPIRES ON 04/15



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE JUNE 18, 1997

Approved: Howard County Dept. of Planning & Zoning
Laura R. Batta 8/12/97
 Director
Vandy Hammit 9/14/97
 Chief, Division of Land Development & Surveying
Mike DeMunn 9/16/97
 Chief, Development Engineering Div.

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

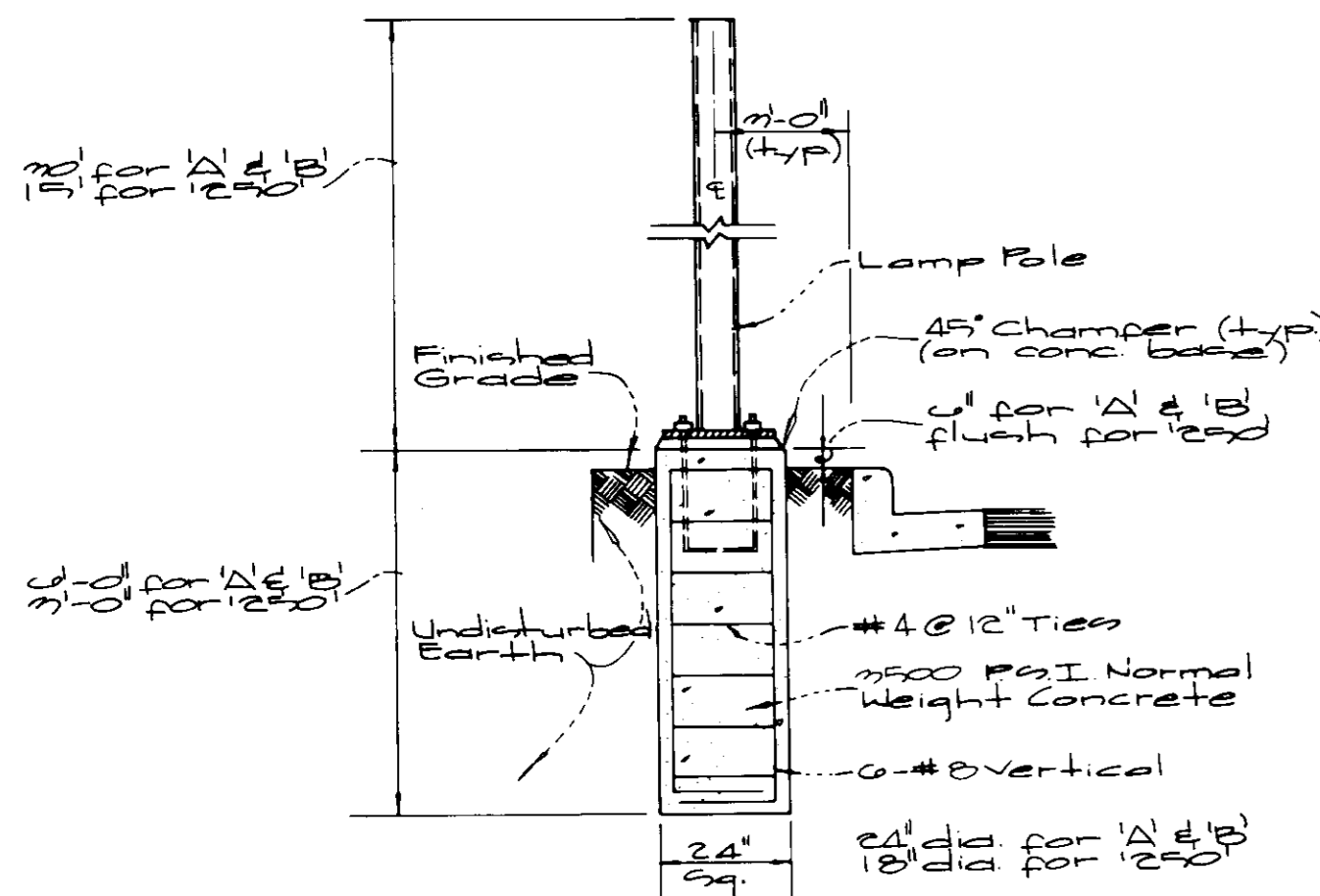
DATE	REVISION	BY	APP'R.
4/10/93	REV. PARCEL A-A STORE SEATING AREA GRADING AND ACCESSIBILITY	PAK	
3-2-95	REV. BLDG. BB & CC PER ARC. & PARCEL DESIGNATIONS	HU	
4-20-95	REV. BLDG. PER ARCH. & REV. PARCEL DESIGNATIONS & THE RAMP	WEL	
10-3-97	REV. BUILDING ENTRANCE ON PARCEL 'W'		

PREPARED FOR:
 The Howard Research & Development Corporation
 10215 Little Patuxent Pkwy.
 Columbia, Maryland 21044
 Phone: (410)992-6027

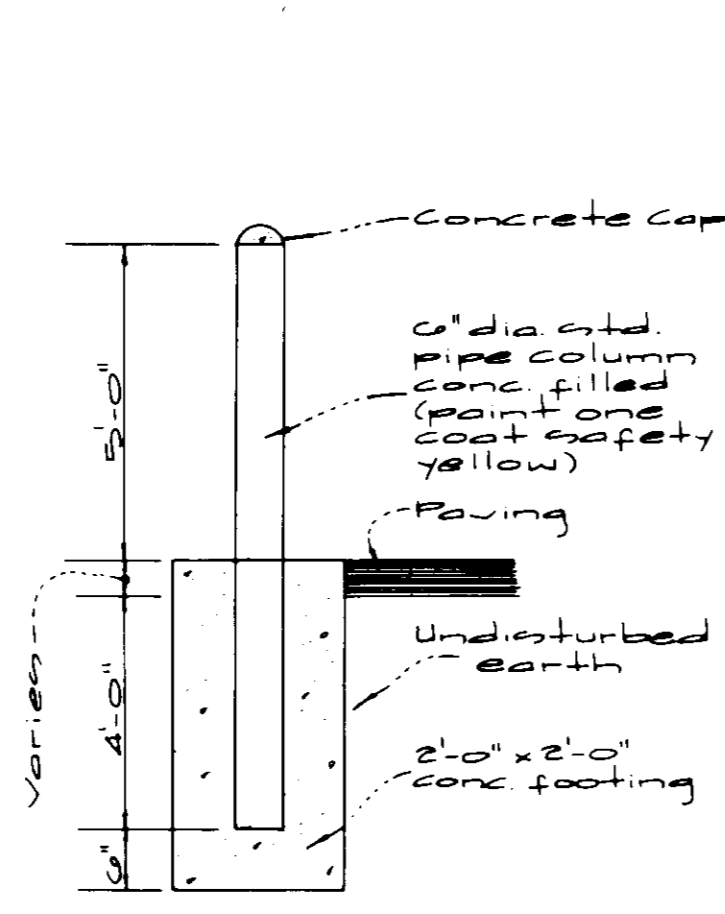
Handicap Accessibility Details
Route 175 Commercial
 Parcels "W", "X" and "A-A" thru "C-C"
 Guilford Election District No. 6
 Howard County, Maryland

DES.:	SCALE	ZONING	G.L.W. FILE No.
AS SHOWN	AS SHOWN	COMMERCIAL	95-003
DRN.:	DATE	TAX MAP No.	SHEET
W.S.J.	JULY 11, 1997	90	7 OF 10
CHK.:			

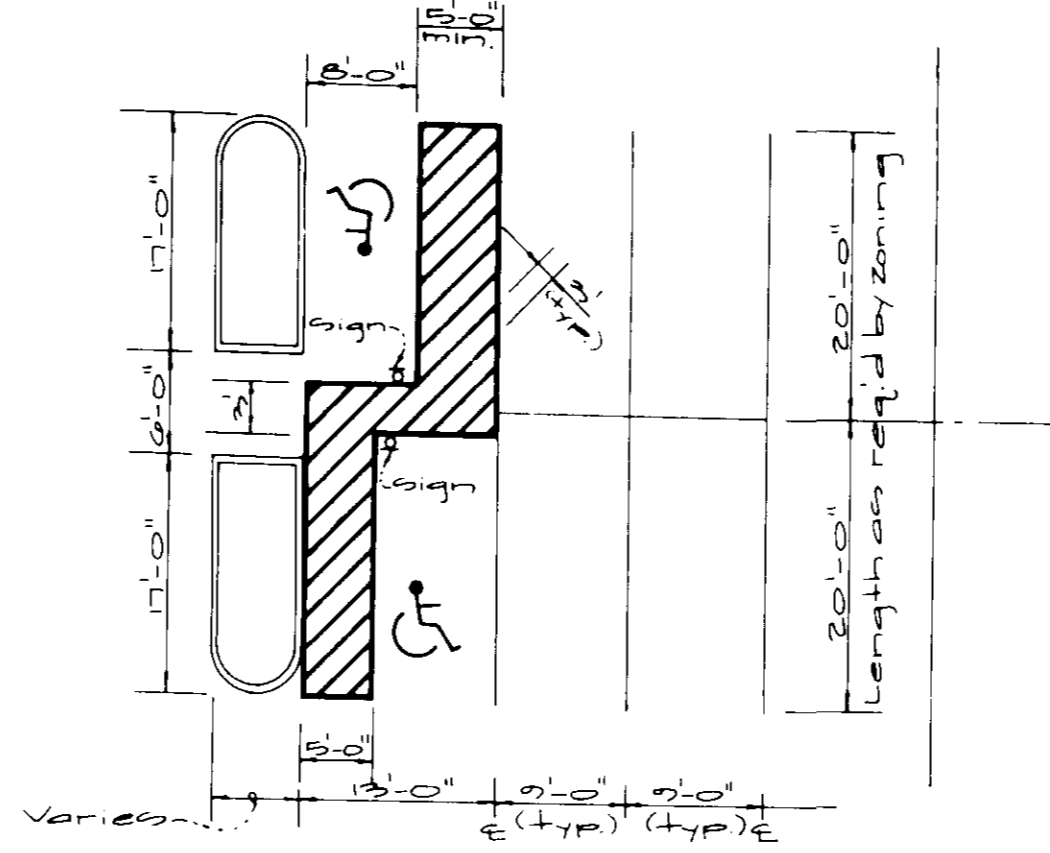
Note: Information not shown by lamp pole manufacturer



Lamp Pole Base Detail
(Behind curb & gutter) N.T.S.

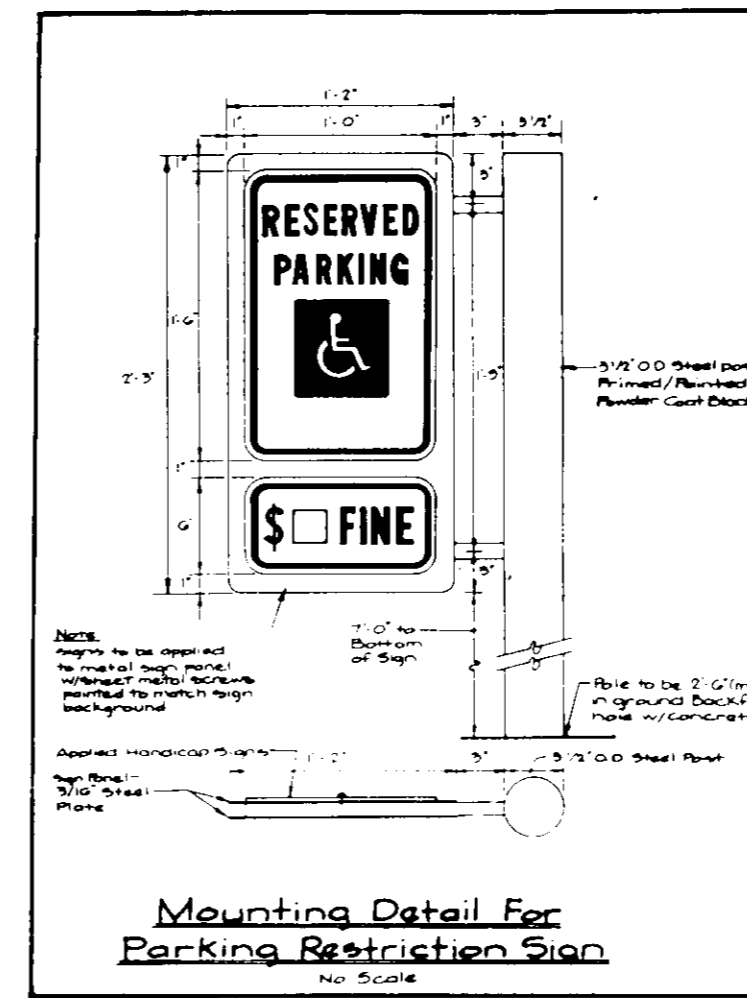


Bollard Detail
N.T.S.

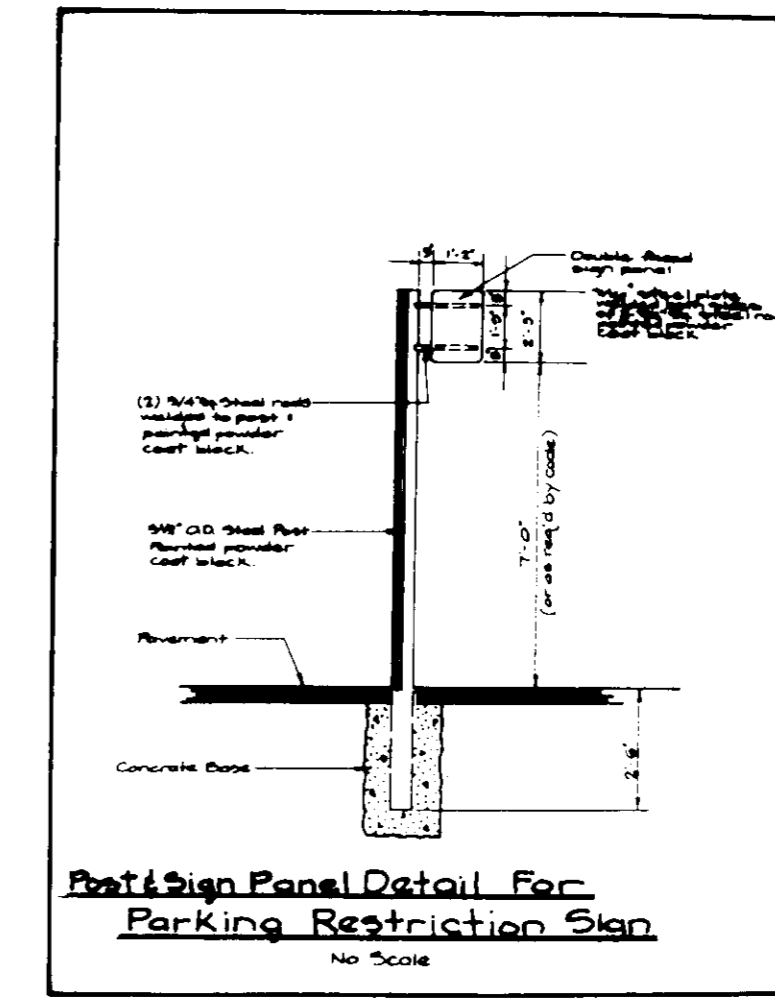


Typical Striping of Parking Lot and Handicap Parking Detail
N.T.S.

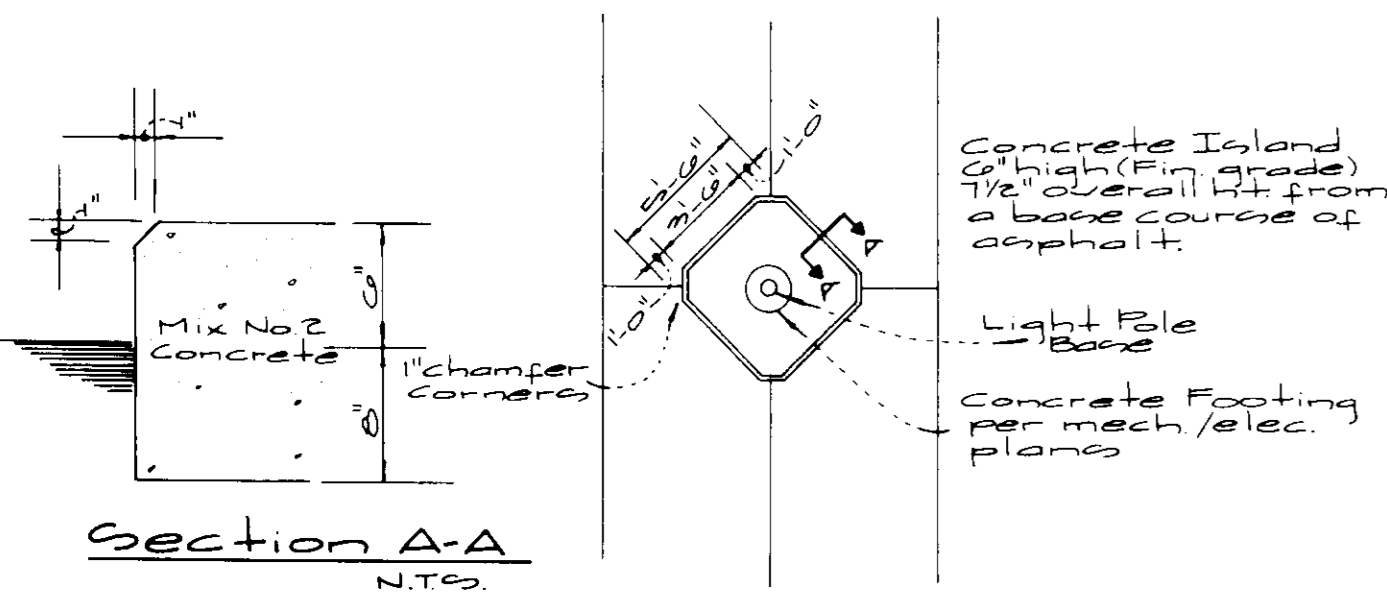
Note: 4" wide white stripes typical (unless noted otherwise)



Mounting Detail For
Parking Restriction Sign
No Scale

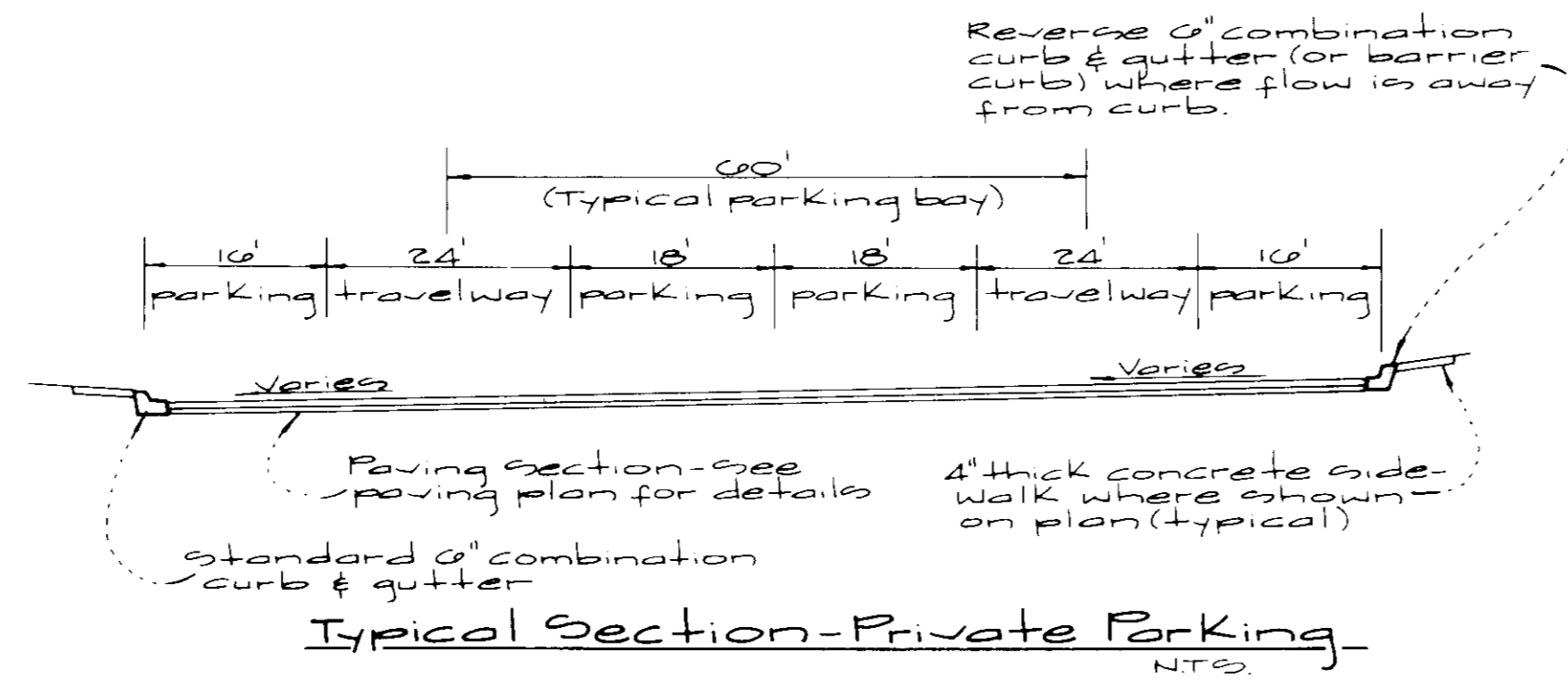


Post & Sign Panel Detail For
Parking Restriction Sign
No Scale

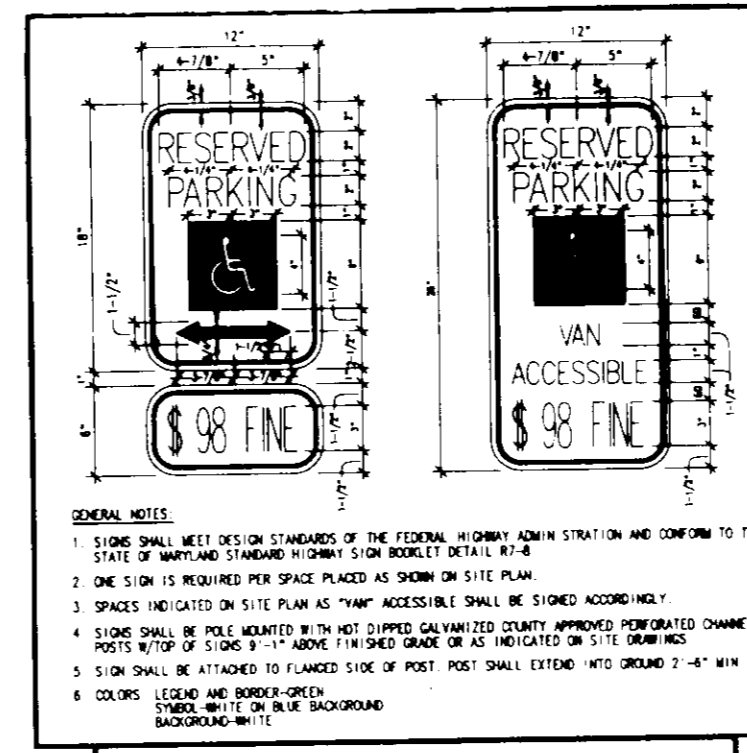


Section A-A
N.T.S.

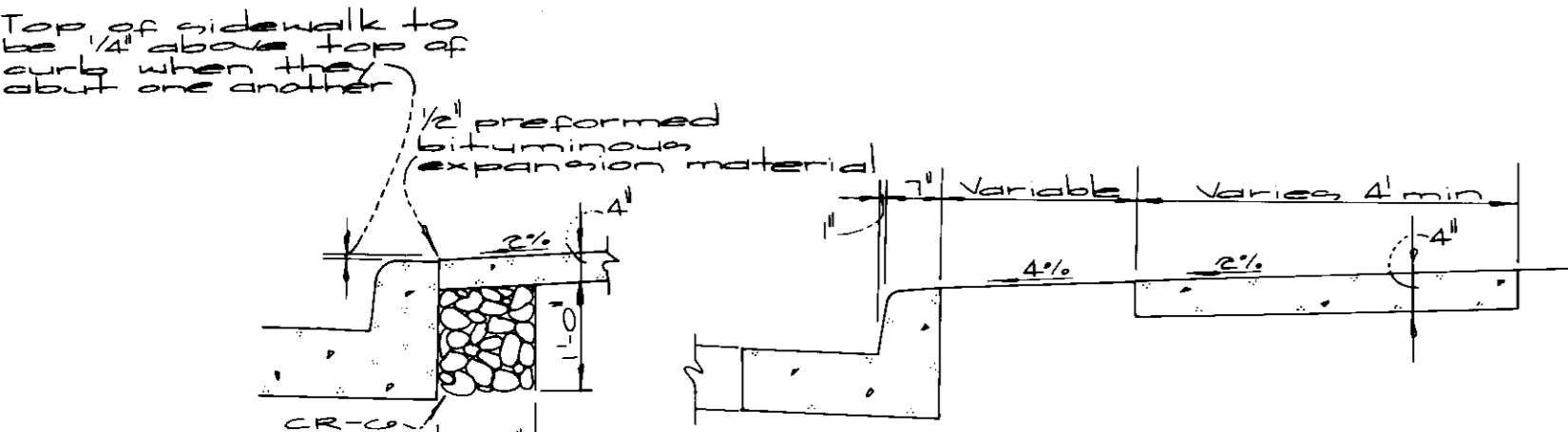
Concrete Light Pole Island



Typical Section - Private Parking
N.T.S.

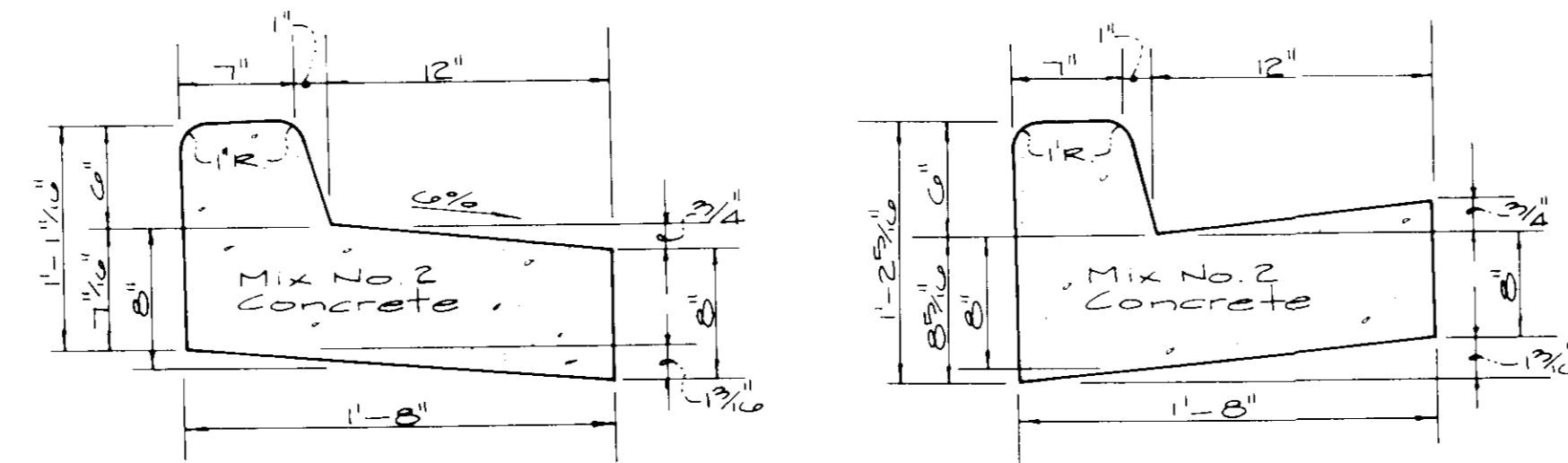


HANDICAP PARKING SIGNS DETAIL

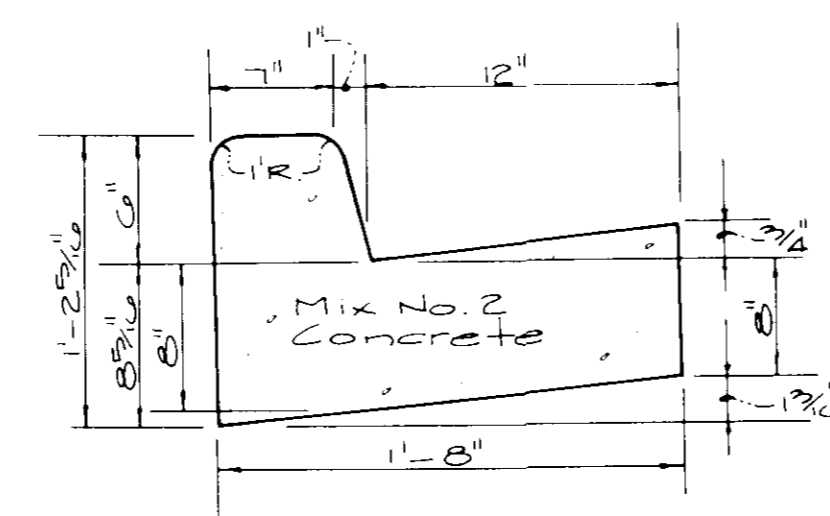


Sidewalk Notes & Details
N.T.S.

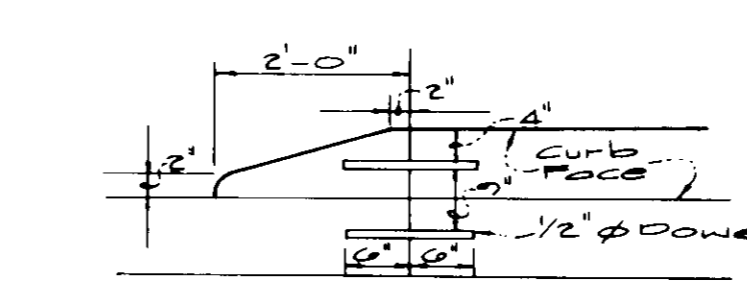
- Notes
1. Sidewalk to be scribed in 5' maximum squares.
 2. Expansion joints across the sidewalk not to be more than 15' apart.
 3. 1/2" preformed bituminous expansion material in expansion joints to be kept 1/4" below surface of sidewalk.
 4. Concrete to be mix no. 2.
 5. When sidewalk abuts curb, walk shall be 1/4" above curb w/ preformed bituminous expansion material between sidewalk & curb & resting on a compacted crushed stone base. See detail this sheet.
 6. On longitudinal sidewalk grades of 5% or greater, a concrete header, 6" thick & 6" deep below the normal 4" sidewalk thickness shall be constructed for the full width of the sidewalk at intervals of 40 feet. The headers shall be placed at expansion joint locations & shall be monolithic with the sidewalk.



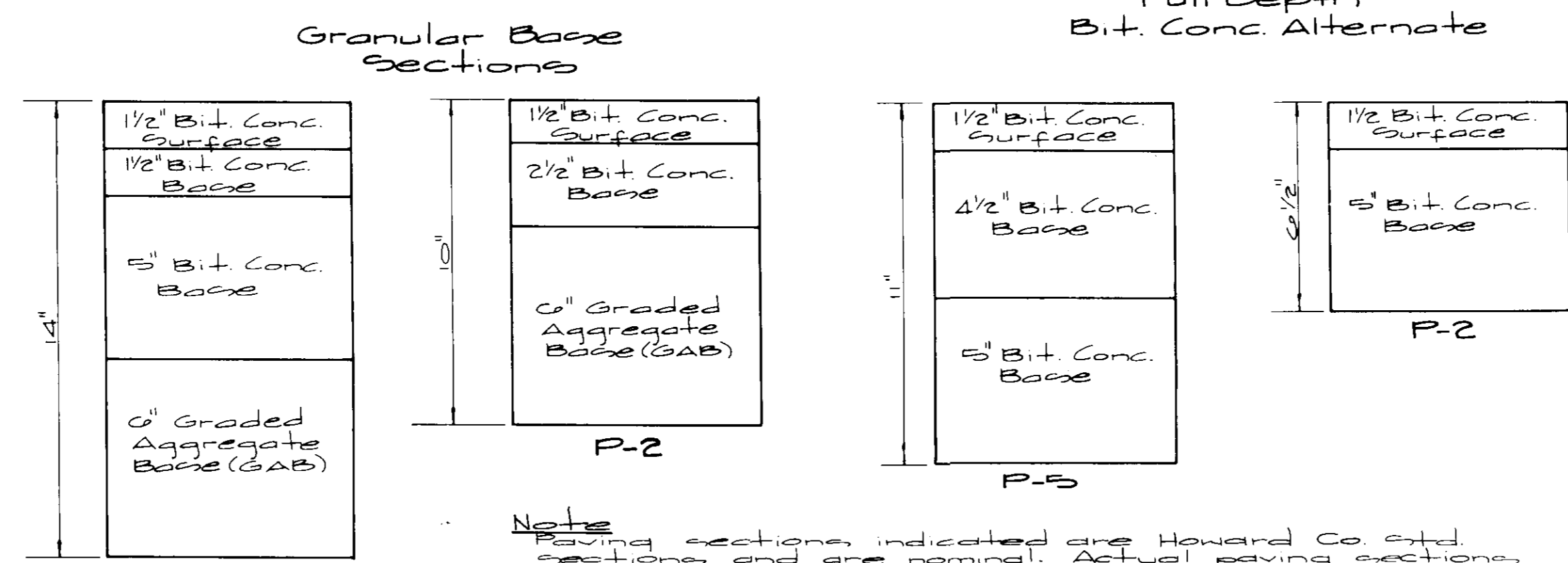
Reverse 6" Combination
Curb & Gutter
N.T.S.



Standard 6" Combination
Curb & Gutter
N.T.S.



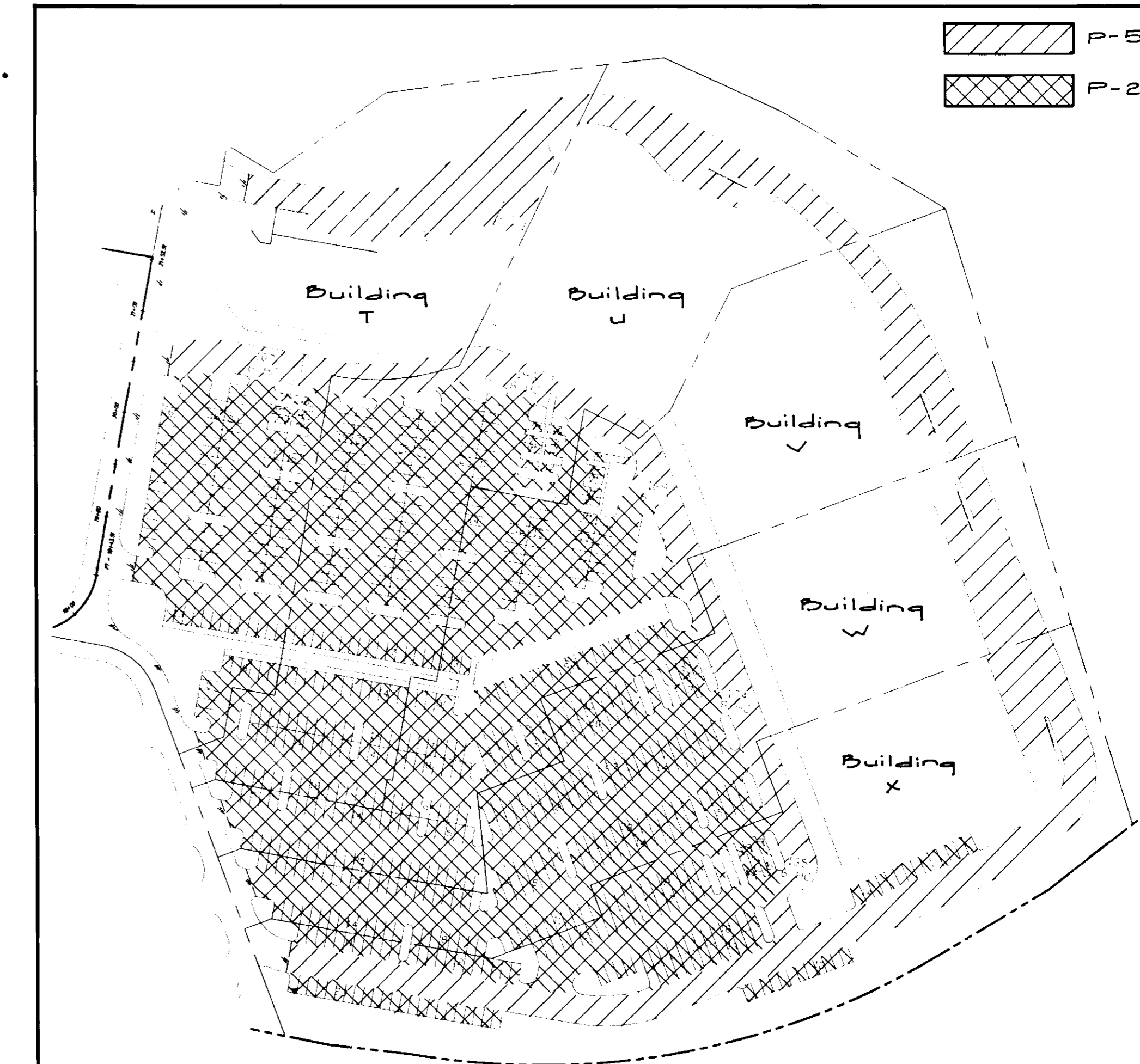
Nose Down Curb Detail
N.T.S.



Granular Base Sections

Note: Paving sections indicated are Howard Co. std. sections and are nominal. Actual paving sections may vary due to subgrade conditions.

Paving Sections
N.T.S.



Paving Plan
scale: 1"=100'

JUNE 18, 1997

Approved: Howard County Dept. of Planning & Development
 Director: *[Signature]* 8/15/97
 Chief of Planning: *[Signature]* 8/10/97
 Chief Development Engineering Div: *[Signature]* 8/10/97

GW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
 TELEPHONE (301)421-4024 NO VA (301)989-2524 BALTO (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 The Howard Research & Development Corporation
 10275 Little Patuxent Pkwy
 Columbia, Maryland 21044
 Phone: (410) 992-0021

Site Details
Route 175 Commercial
 Parcels 'T' thru 'X'
 Guilford Election District No. 6
 Howard County, Maryland

DES.	SCALE	ZONING	G.L.W. FILE No.
	As Shown	NT-Commercial	95-009
DRN.	DATE	TAX MAP No.	SHEET
k.l.p.	July 11, 1997	20	10 of 10

90P 97-142