

GENERAL NOTES

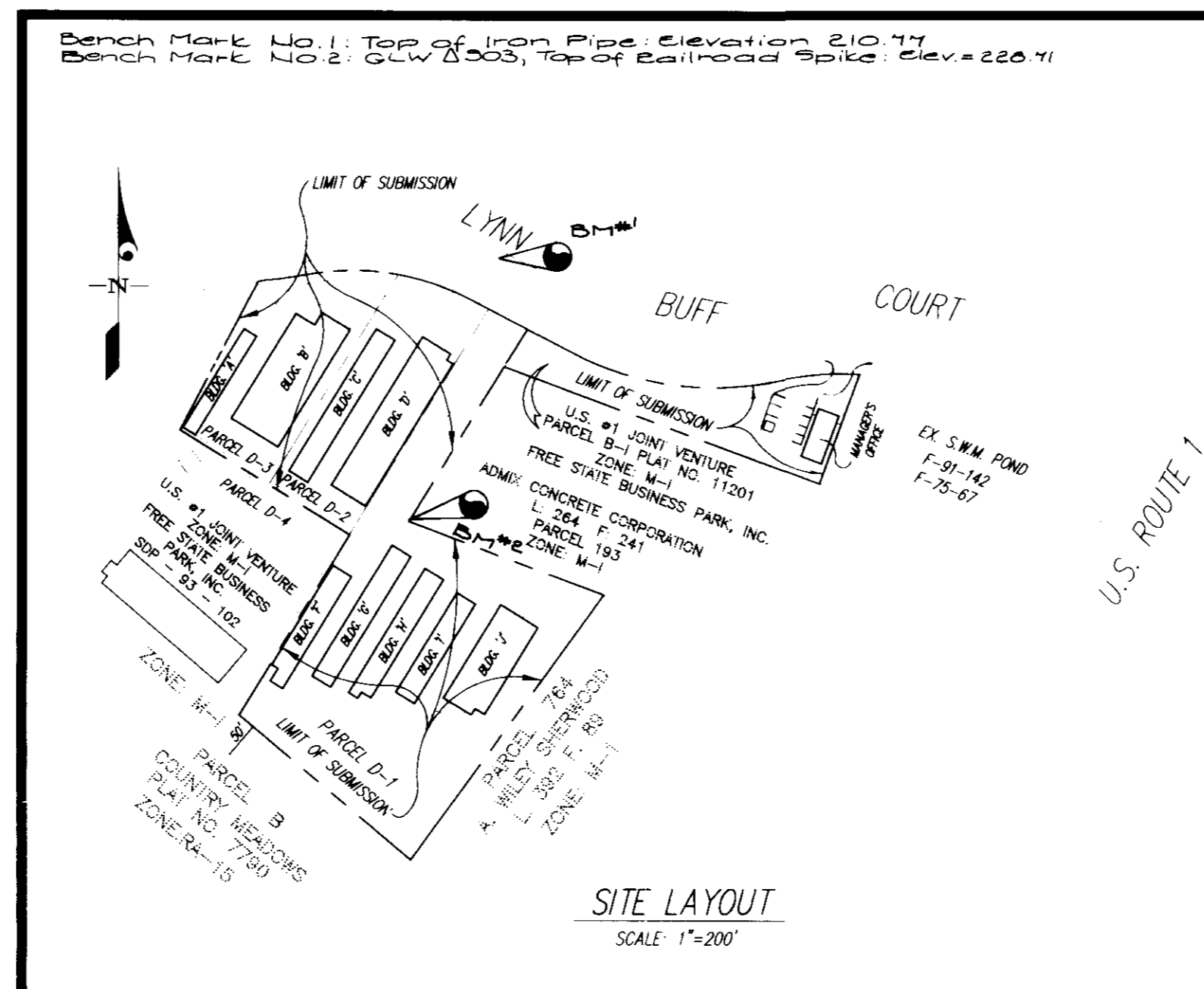
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standard and specifications if applicable.
- The contractor shall notify the Department of Public Works/Construction Inspection Division at (410) 313-1800 at least 24 HOURS PRIOR to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the manual on uniform traffic control devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography reflects field survey.
- Coordinates and bearings are based upon the MD State plan system (NAD '27).
- Water and sewer shown is public.
- Stormwater management for this site was approved under Department of Planning & Zoning File No. F-91-142.
- All existing water and sewer is per Contract 667-D-WBS (LYNN BUFF COURT), 24-1678-D (Parcel D-1).
- All existing public storm drain is per F-91-142 and F-75-67.
- All curb radii is 5' unless noted otherwise.
- Utility information taken from approved final construction plans for development from field survey or from utility company records.
- Sidewalks adjacent to perpendicular parking shall be 6' wide. All other sidewalks shall be 4' wide except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
- Contractor shall utilize PVC pipe for all sewer house connections.
- For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain.
- Use trench bedding class "C" for storm drains.
- Paved areas indicated are private except as noted.
- Recording reference: Plat No. 10285 (Parcels D-1, thru D-3) Plat No. 11201 (Parcels B-1)
- All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent.
- The limits of public maintenance for waterhouse connections shall be 2' from the back of curb.
- All proposed site utilities are to terminate 5' from the building. The building plumber shall connect to and extend these utilities to the inside of the building.
- For Gas, telephone and Electric routing, see plans by others.
- Fire Lanes to be provided in accordance with the direction of the Fire Marshall or local Fire Department.
- There is no floodplain on this site.
- There are wetlands on this site. Grading or removal of vegetative cover is not permitted within the non-tidal wetlands or the 25 foot Wetlands Buffer.

U.S. #1 JOINT VENTURE SITE DEVELOPMENT PLAN

PARCELS : B-1, D-1 THRU D-3 FREE STATE SELF-STORAGE

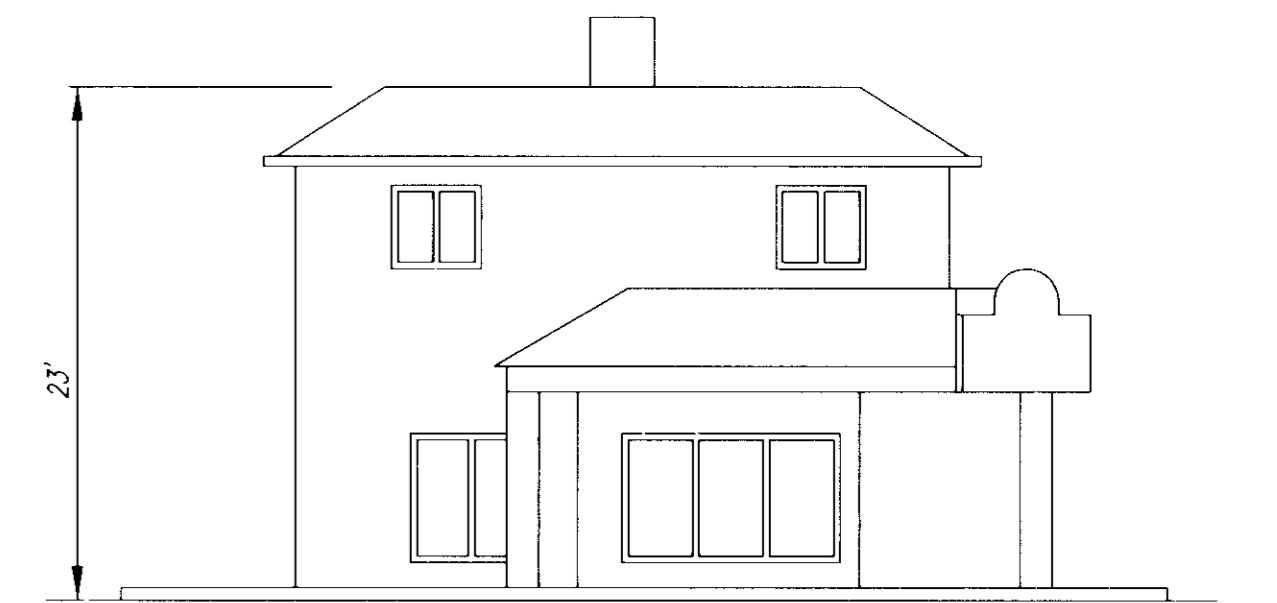
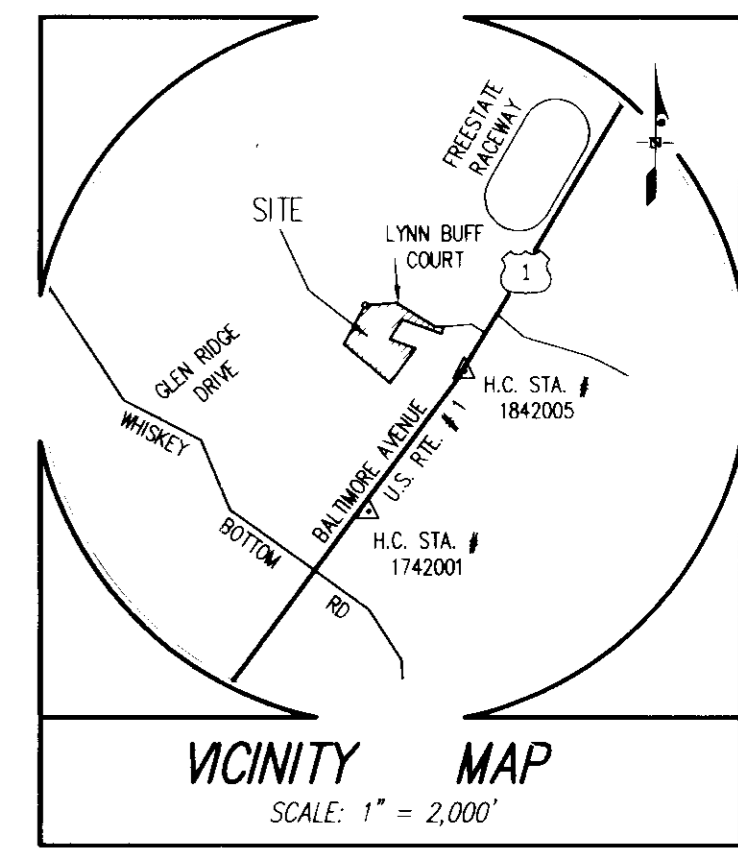
SITE ANALYSIS DATA CHART

- Total Site Area: 6.3 acres or 274,001 sq. ft.
Parcel D-1 : 3.35 acres or 145,815 sq. ft.
Parcel D-2 : 1.07 acres or 46,529 sq. ft.
Parcel D-3 : 1.03 acres or 44,724 sq. ft.
Parcel B-1 : 0.85 acres or 36,933 sq. ft.
- Area of Plan Submission : 6.5 acres
- Limit of Disturbed Area : 190,495 sq. ft. (4.4 AC.)
- Present Zoning : M-1
- Proposed uses for site and structures :
Self Storage Facility
- Floor space on each level of buildings per use
Self Storage:
A. 3,200 sq. ft.
B. 27,300 sq. ft.
C. 6,900 sq. ft.
D. 13,100 sq. ft.
F. 4,800 sq. ft.
G. 6,300 sq. ft.
H. 5,550 sq. ft.
I. 4,800 sq. ft.
J. 8,850 sq. ft.
Total Storage Area = 89,800 sq. ft.
Manager's Office: 2,000 sq. ft.
Total Floor Area = 93,000 sq. ft.
Floor Area RATIO = 30%
- Maximum number of employees, on site per use :
2 employees
- Maximum number of parking spaces required :
4 sp/1,000 s.f. office area
Office area: 2,000 s.f.
Parking required = 3 spaces
- Number of parking spaces provided :
3 spaces (1 H.C. included) on parcel B-1
7 spaces provided on parcel D-1 thru D-3
j. Applicable DPZ file references: F-91-142, F-75-67, F-91-142, F-75-67

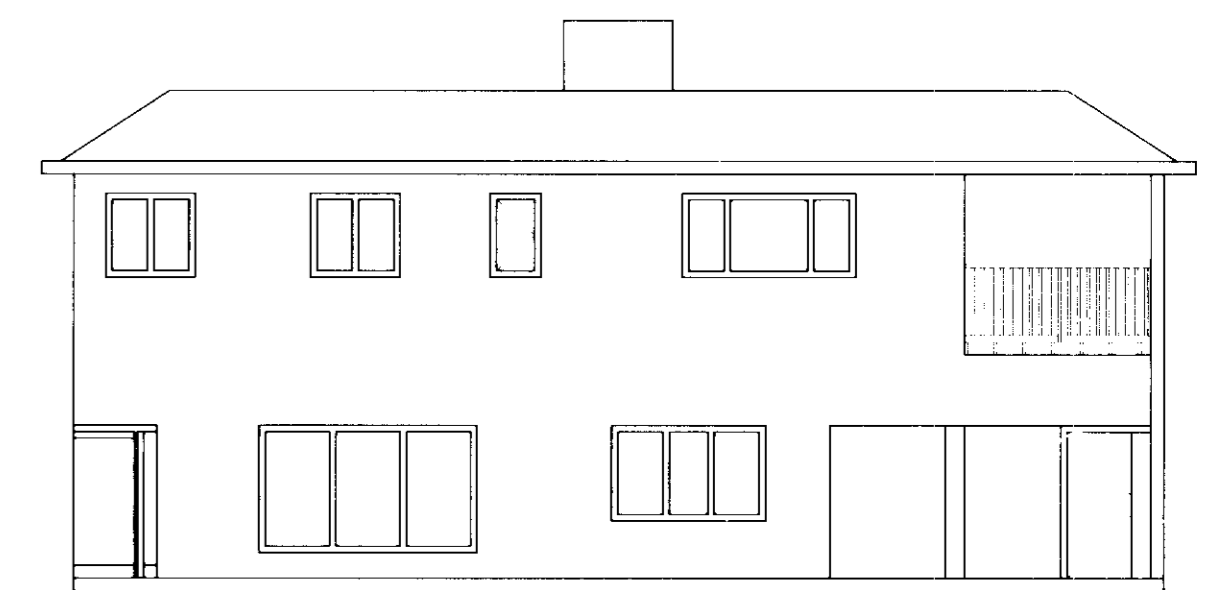


Bench Marks
H.O. Co. Station 1742001: Eboron Monument on West side of U.S. Route 1, 2400' N of Whiskey Bottom Road.
Elev. = 226.005
H.O. Co. Station 1042005: Concrete Monument on West side of U.S. Route 1, 2400' N of Whiskey Bottom Road.
Elev. = 226.005

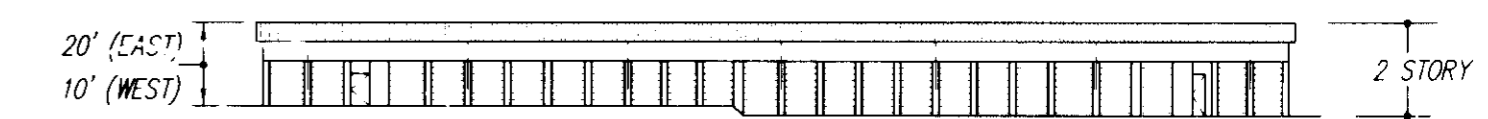
48 Hours
Before You Dig
Call
MISS UTILITY
Service Protection Center
MEMBER
THE CALL SYSTEMS INTERNATIONAL
CALL TOLL FREE
1-800-257-7777



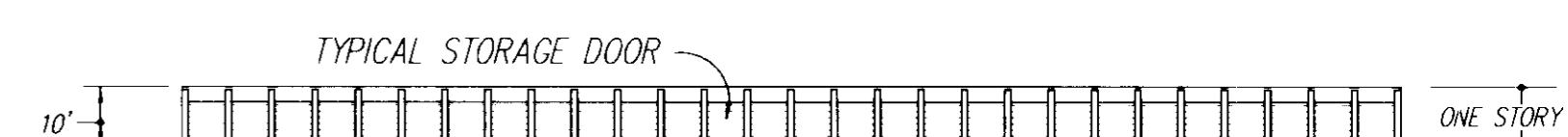
NORTH ELEVATION OF OFFICE



WEST ELEVATION OF OFFICE



EAST ELEVATION OF SPLITLEVEL BLDG. 'B'
SELF STORAGE FACILITY



TYPICAL ELEVATION OF SELF STORAGE FACILITY

SHEET #	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	SITE DETAIL SHEET
5	STORM DRAIN PROFILES
6	SEDIMENT CONTROL PLAN
7	SEDIMENT CONTROL PLAN
8	SEDIMENT CONTROL DETAIL SHEET
9	LANDSCAPE PLAN
10	LANDSCAPE PLAN
11	LANDSCAPE DETAIL SHEET

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 9/22/97
[Signature] 9/18/97
[Signature] 9/16/97

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

DATE	REVISION	BY	APP'R.
7.11.97	BID SET		
8-5-97	ADDRESS HOWARD CO COMMENTS	EVT	
8-3-97	PRELIMINARY PAVING		

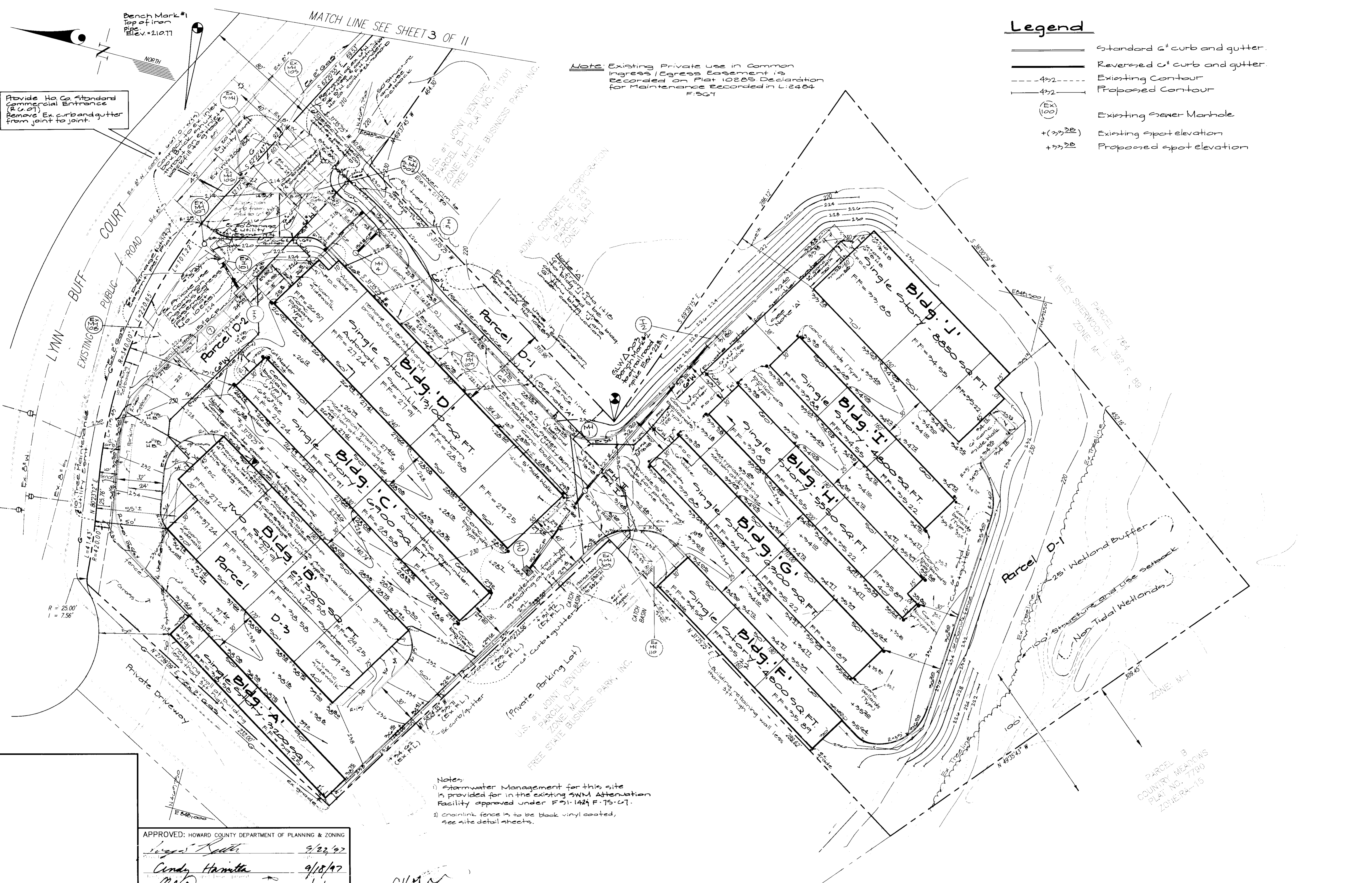
PREPARED FOR:
 OWNER:
 FREESTATE BUSINESS PARK, INC.
 C/O ADLER DEVELOPMENT GROUP
 11350 RANDOLPH HILLS ROAD, SUITE 720
 FAIRFAX, VA. 22030

COVER SHEET
U.S. #1 JOINT VENTURE
 PARCELS : B-1, D-1 THRU D-3
 FREE STATE SELF-STORAGE
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

ADDRESS CHART	
PARCEL NUMBER	STREET ADDRESS
D-1	3525 LYNN BUFF COURT
D-2	3535 LYNN BUFF COURT
D-3	3545 LYNN BUFF COURT
B-1	3515 LYNN BUFF COURT

WATER CODE: Co 4
 SEWER CODE: 722.0000

SUBDIVISION NAME:			SECTION/AREA	PARCEL	
U.S. #1 JOINT VENTURE			N/A	B-1, D-1, D-2, D-3	
PLAT	BLOCK	ZONE	TAX MAP	ELEC. DIST.	CENSUS TRACT
10285 11201	23	M-1	47	6	606302
SCALE	ZONING	G. L. W. FILE No.			
AS SHOWN	M-1	90090			
DATE	TAX MAP No.	SHEET			
APRIL 1997	47	1 OF 11			



- Legend**
- Standard 6" curb and gutter.
 - Reversed 6" curb and gutter.
 - - - - Existing Contour
 - - - - Proposed Contour
 - (E 100)
 - (E 100)
 - + (3) 2.0 Existing spot elevation
 - + (3) 2.0 Proposed spot elevation

Note: Existing Private use in Common Ingress/Egress Easement is Recorded on Plat 10285 Declaration for Maintenance Recorded in L:2484 F:567

Provide Ho Co Standard Commercial Entrance (R.O. 21) Remove Ex curb and gutter from joint to joint.

- Notes**
- 1) Stormwater Management for this site is provided for in the existing SWM Attenuation Facility approved under F 21-1424 F.75-67.
 - 2) chainlink fence is to be black vinyl coated, see site detail sheets.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 9/22/97

[Signature] 9/18/97

[Signature] 9/16/97

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 MO. VA.: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES: MK DRN: MF CHK: CLG

8.18.97	Rev 4" Water to 6" Water.			
7.11.97	BID SET			
6.25.97	ADDRESS HOWARD CO. COMMENTS			EV
6.3.97	PRELIMINARY PRICING			
DATE	REVISION	BY	APP'R	

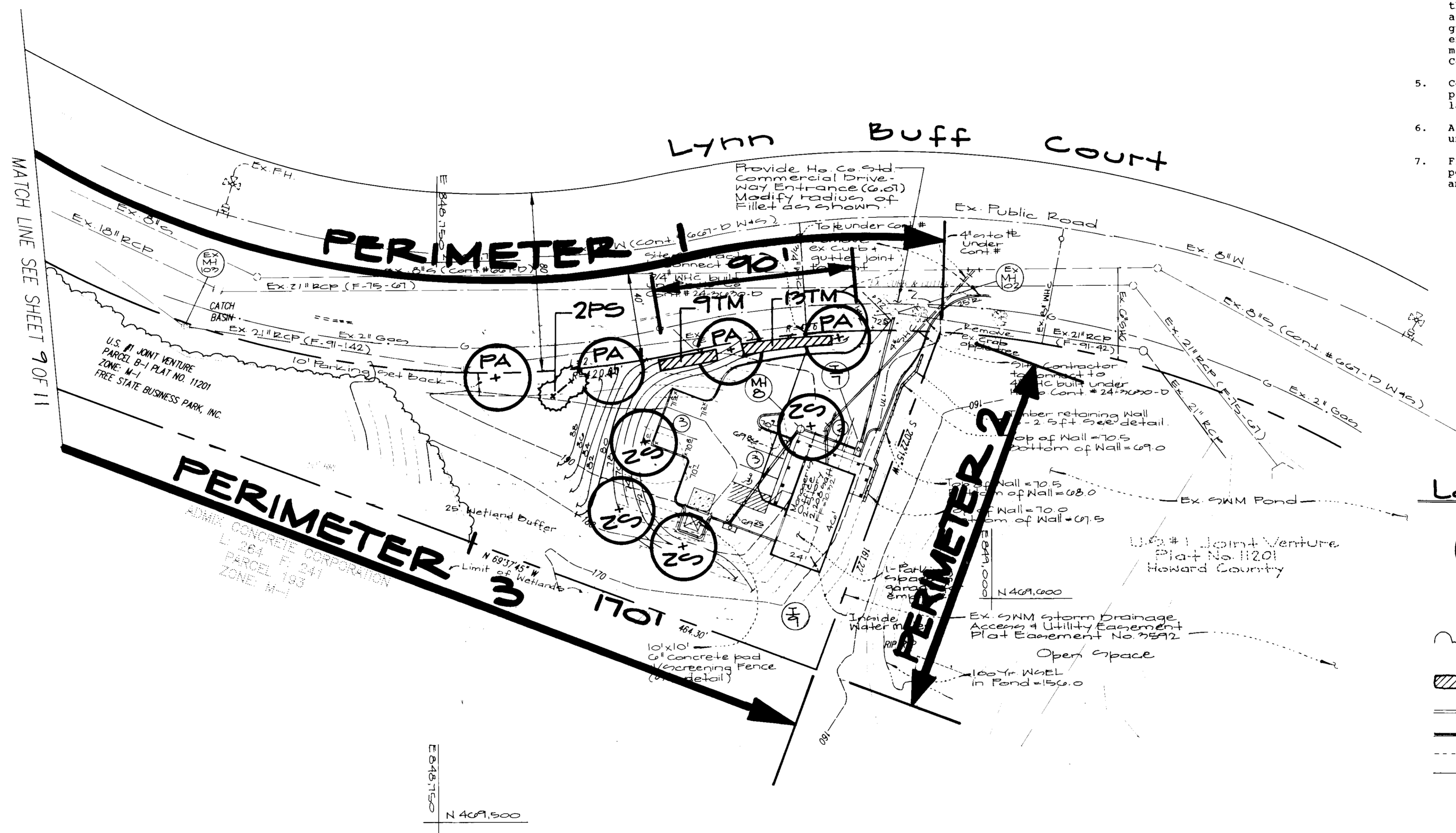
OWNER: FREESTATE BUSINESS PARK, INC.
 C/O ADLER DEVELOPMENT GROUP
 11350 RANDOLPH'S ROAD SUITE 720
 FAIRFAX VA. 22030

PREPARED FOR: SITE DEVELOPMENT PLAN
U.S. #1 JOINT VENTURE
 PARCELS: B-1, D-1 THRU D-3 PLAT N° 10285
 FREE STATE SELF STORAGE FACILITY
 L:1410 F:15
 6 TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	M-1	90090
DATE	TAX MAP No.	SHEET
APRIL 1997	47	2 of 11

QUANT	SYMBOL	NAME (COMMON/BOTANICAL)	SIZE	COMMENTS
10	PA	London Planetree/Platanus x acerfolia	2 1/2-3" Cal.	B&B
23	ZS	Village Green Japanese Zelkova/ Zelkova Serrata "Village Green"	2 1/2-3" Cal.	B&B
11	PS	Eastern White Pine/Pinus strobus	7-8' Ht.	B&B
75	TM	Densiformis Yew/ Taxus x cuspidata "Densiformis"	24-30" Sp.	B&B or #5 container Plant @ 2' o.c.

- LANDSCAPE NOTES**
- This plan has been prepared in accordance with Section 16.124 of the Howard County Code and Landscape Manual.
 - Contractor shall notify all utilities at least (5) five days before starting work. All general notes, especially those regarding utilities, on Sheet 1 shall apply.
 - All plant materials shall be equal to or better than the requirements of "American Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (AAN).
 - Bonding or posting of other surety for required landscaping is mandatory. To obtain a release of surety, a Landscape Architect or a professional qualified to prepare Landscape Plans must submit written certification to the Howard County Department of Planning and Zoning that healthy plants materials were properly installed in accordance with the Landscape Plan and that a 1 year guarantee has been executed. The 1 year guarantee shall ensure that survival or replacement of all required plant material for 1 year from the date on the Landscape Certification.
 - Contact Landscape Architect regarding substitution of plant materials. Improper substitution may affect landscape certification.
 - All areas disturbed during construction shall be seeded unless noted otherwise.
 - Financial surety for the REQUIRED landscaping has been posted as part of the DPW Developer's Agreement in the amount of:
39.8 shade trees equiv. X \$100 = \$3,980.00.



Landscape Legend

- Deciduous Tree
- Evergreen Tree
- Existing Treeline
- Evergreen Shrub
- Standard Curb & Gutter
- Reversed Curb & Gutter
- Existing Contour
- Proposed Contour
- Proposed Spot Elevation

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 9/22/97
Date

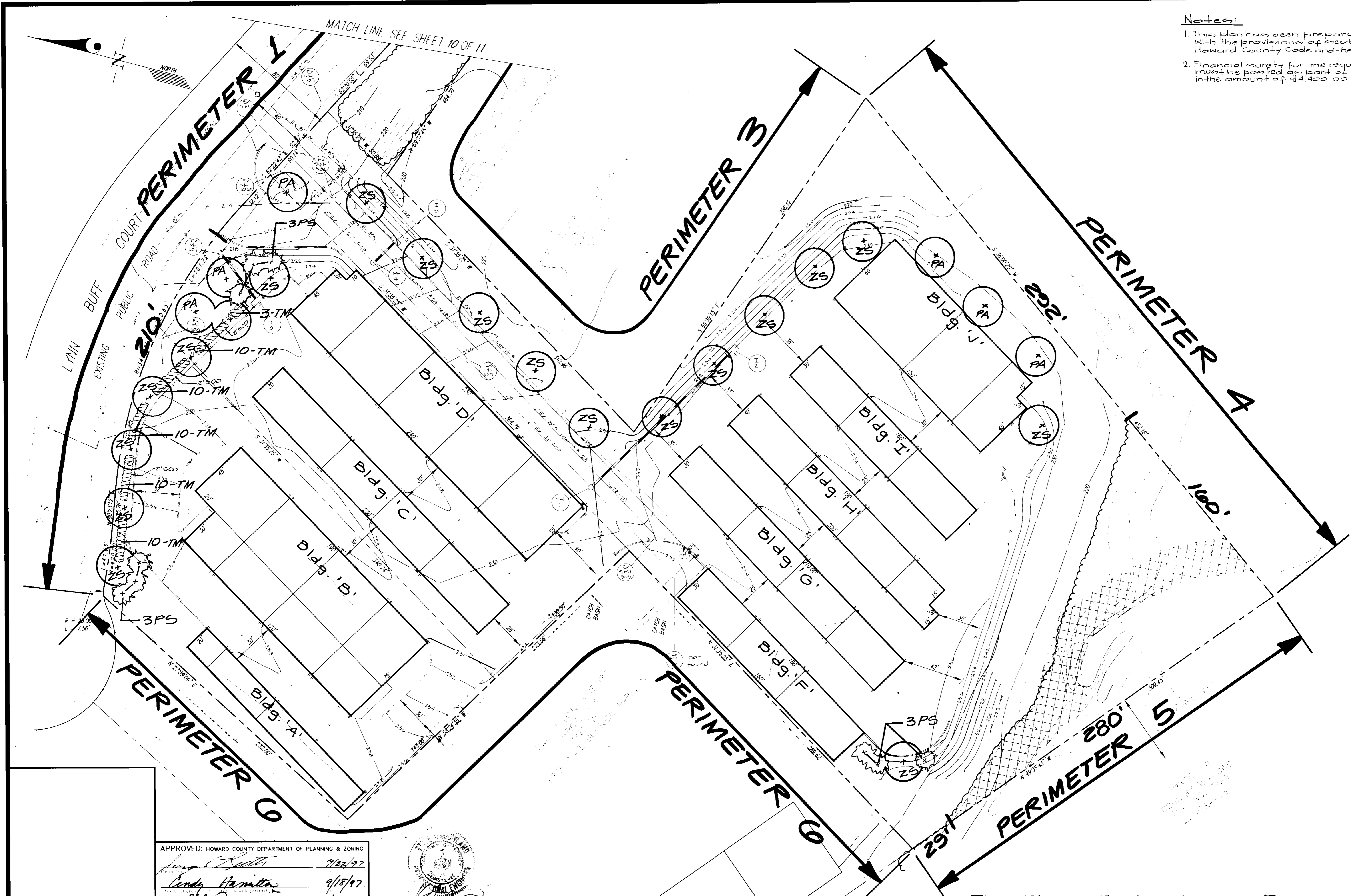
[Signature] 9/18/97
Date

[Signature] 9/16/97
Date

**This Plan is For Landscaping Purposes Only
Do Not use For Other Site Improvements.**

GLW GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866 TEL: (301) 421-4024 MO. VA: (301) 989-2524 BALF: (410) 880-1820 FAX: (301) 421-4186 DES: TMM DRN: GT CHK: CLKG	PREPARED FOR: OWNER: FREESTATE BUSINESS PARK, INC. C/O ADLER DEVELOPMENT GROUP 11350 RANDOM HILLS ROAD, SUITE 720 FAIRFAX, VA. 22030	Landscape Plan U.S. #1 JOINT VENTURE Parcels: D-1, D-1 thru D-3, Platno. 10205, 11201 FREE STATE - Self Storage Facility L.1410 F.12 HOWARD COUNTY, MARYLAND	SCALE 1" = 30'	ZONING M-1	G. L. W. FILE No. 90090
	DATE: 7-11-97 7-7-97 6-3-97 DATE	BY: [] APPR: [] REVISION	DATE: APRIL 1997	TAX MAP No. 47	SHEET 10 OF 11

- Notes:**
1. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the landscape manual.
 2. Financial surety for the required landscaping must be posted as part of the Developer Agreement in the amount of \$4,400.00.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 9/22/97
[Signature] 9/18/97
[Signature] 9/16/97



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

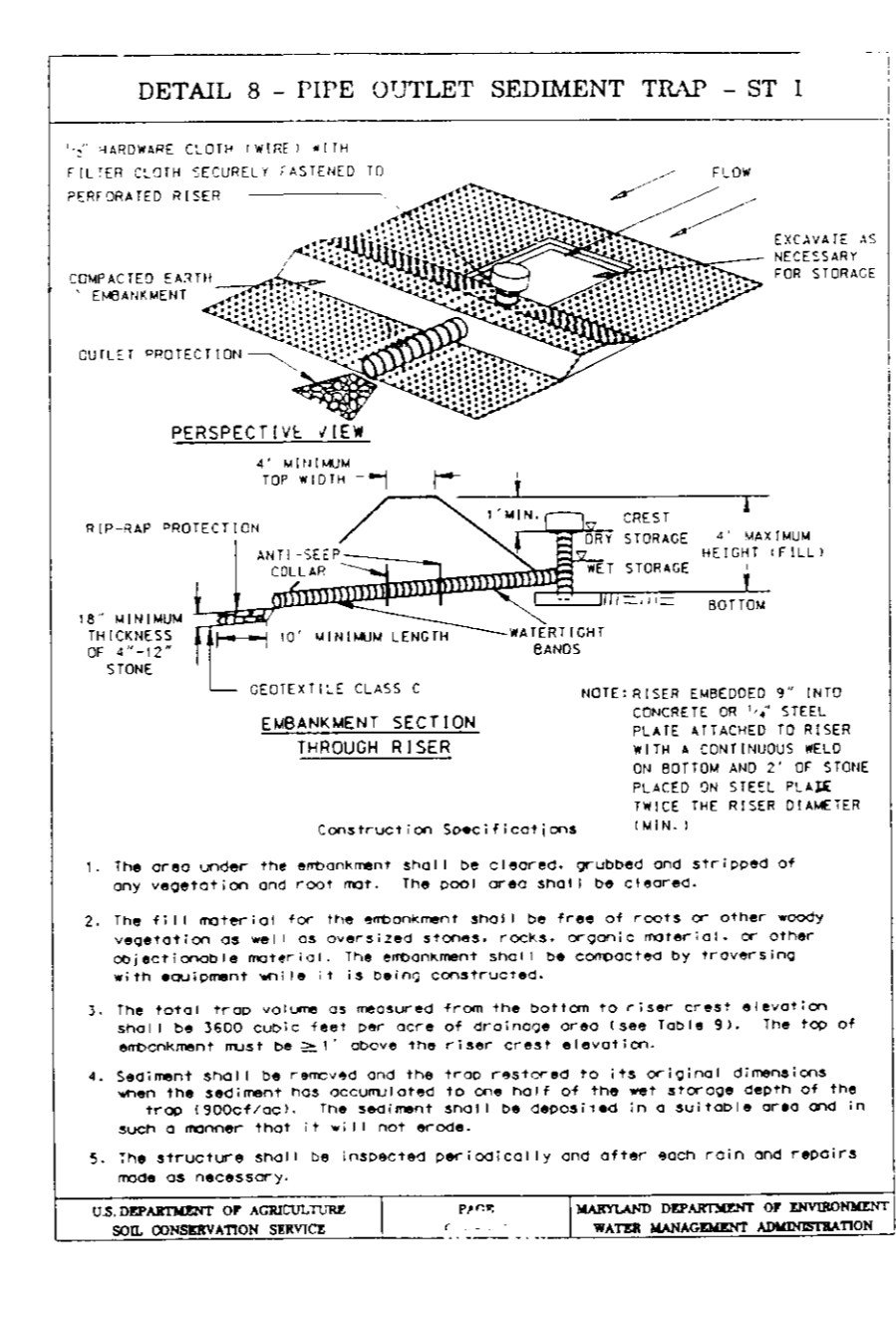
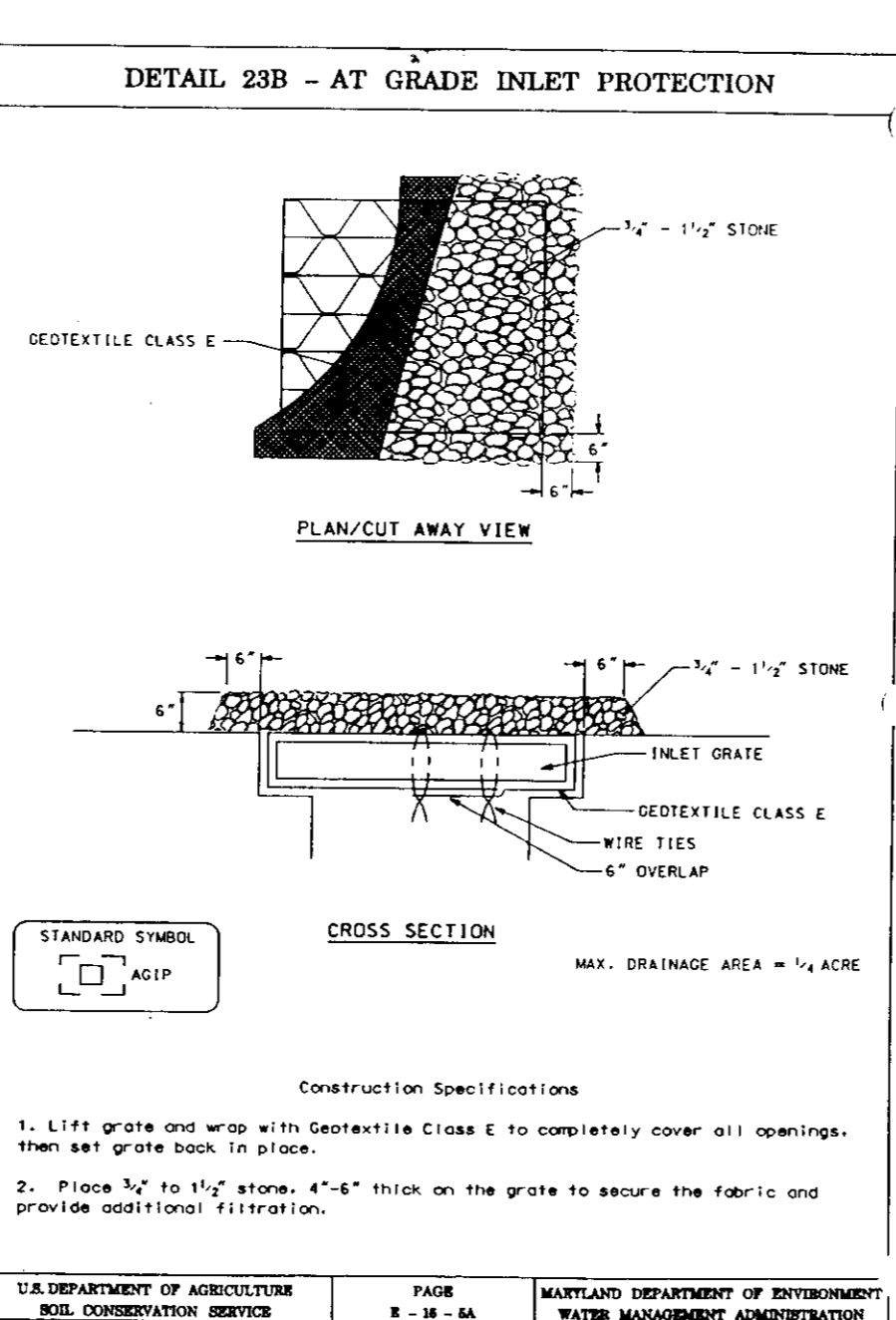
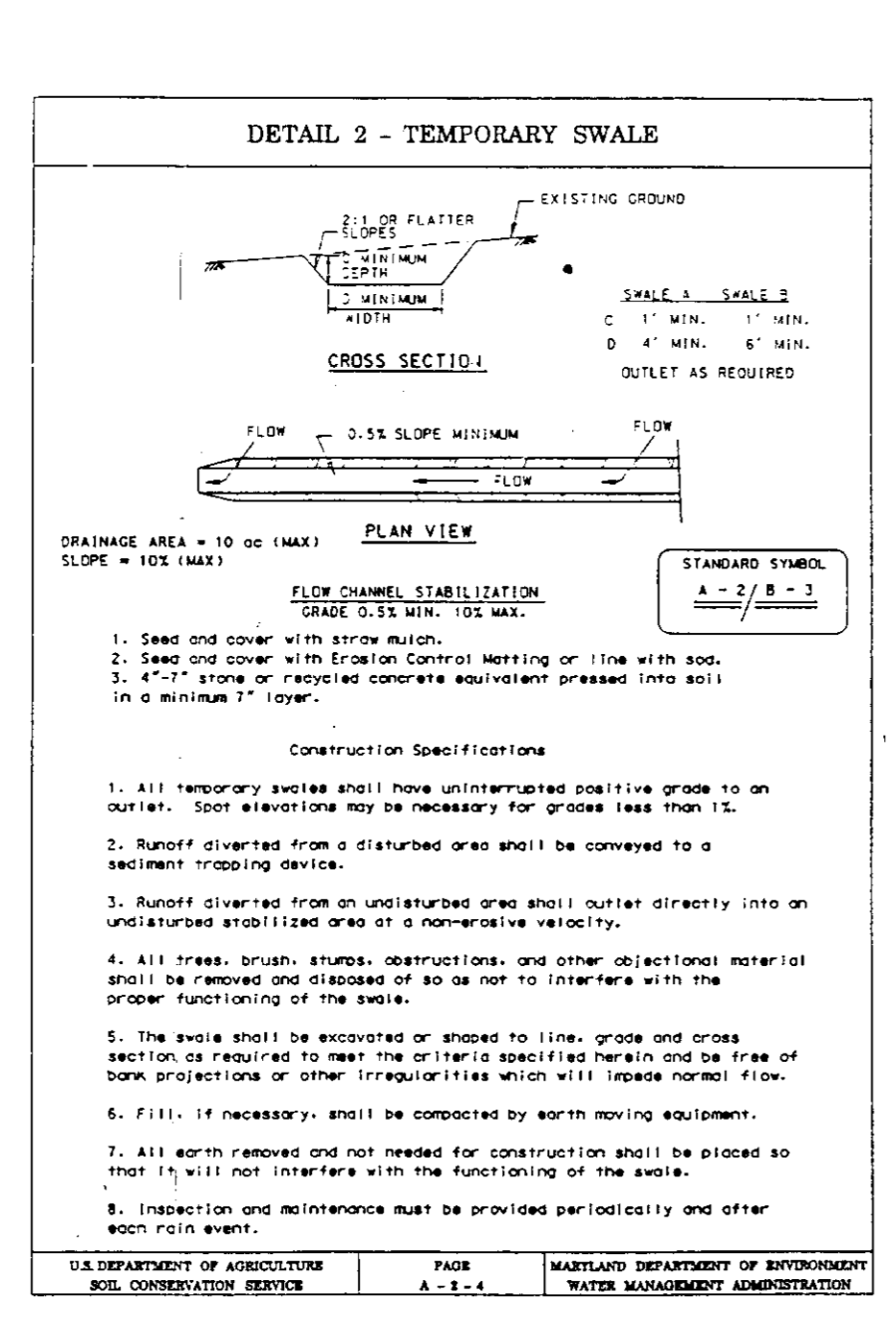
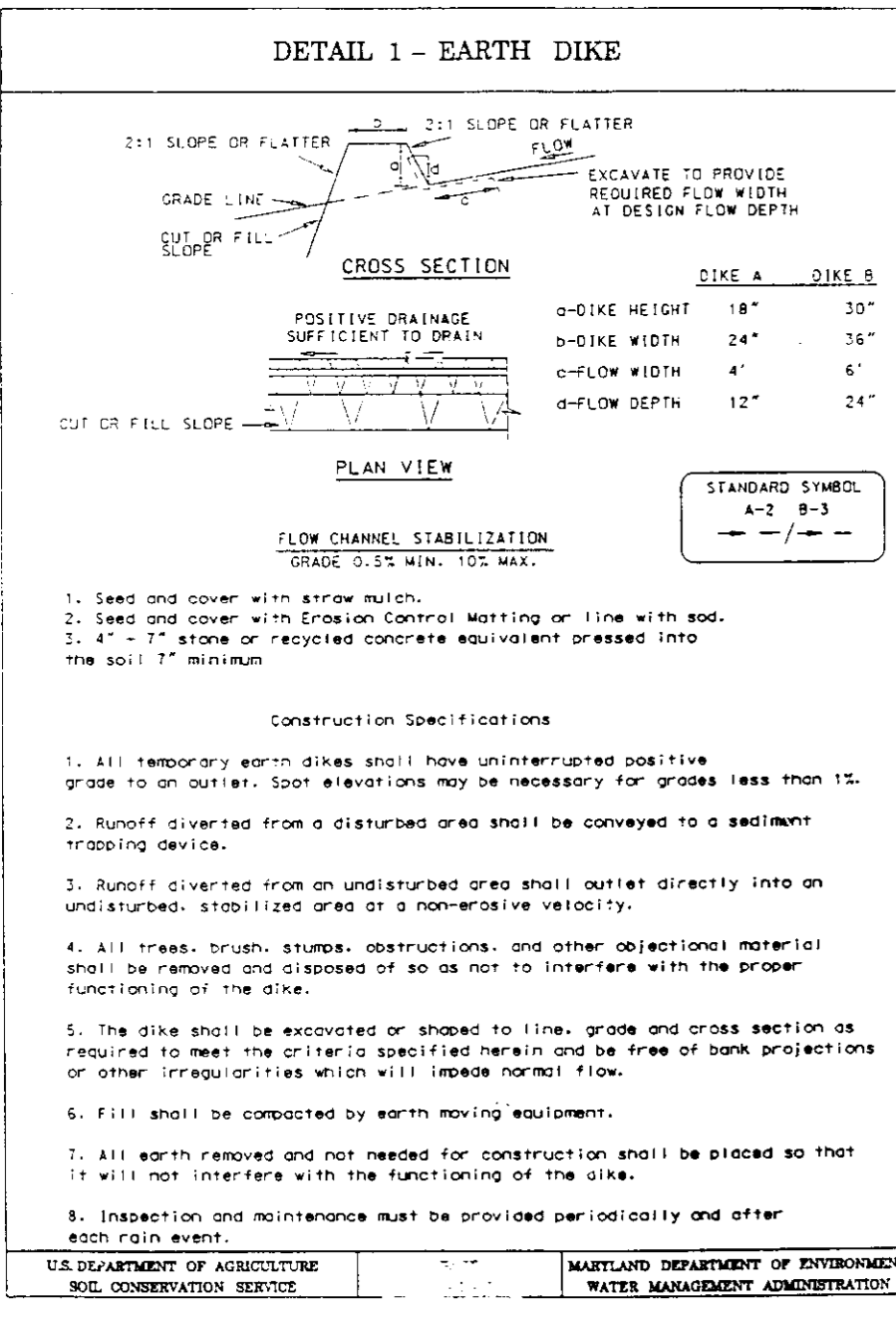
DATE	BY	APP'R.	REVISION
7.11.97	Bldg set		
9.9.97	Preliminary Pricing		

PREPARED FOR:
 FREESTATE BUSINESS PARK, INC.
 C/O ADLER DEVELOPMENT GROUP
 11350 RADOMHILLS ROAD, SUITE 270
 FAIRFAX, VA. 22023

This Plan is For Landscaping Purposes Only.

LANDSCAPE PLAN
 U.S. #1 JOINT VENTURE
 PARCELS : B-1, D-1 THRU D-3
 FREE STATE - SELF STORAGE FACILITY
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	M-1	90090
DATE	TAX MAP No.	SHEET
APRIL 1997		9 OF 11

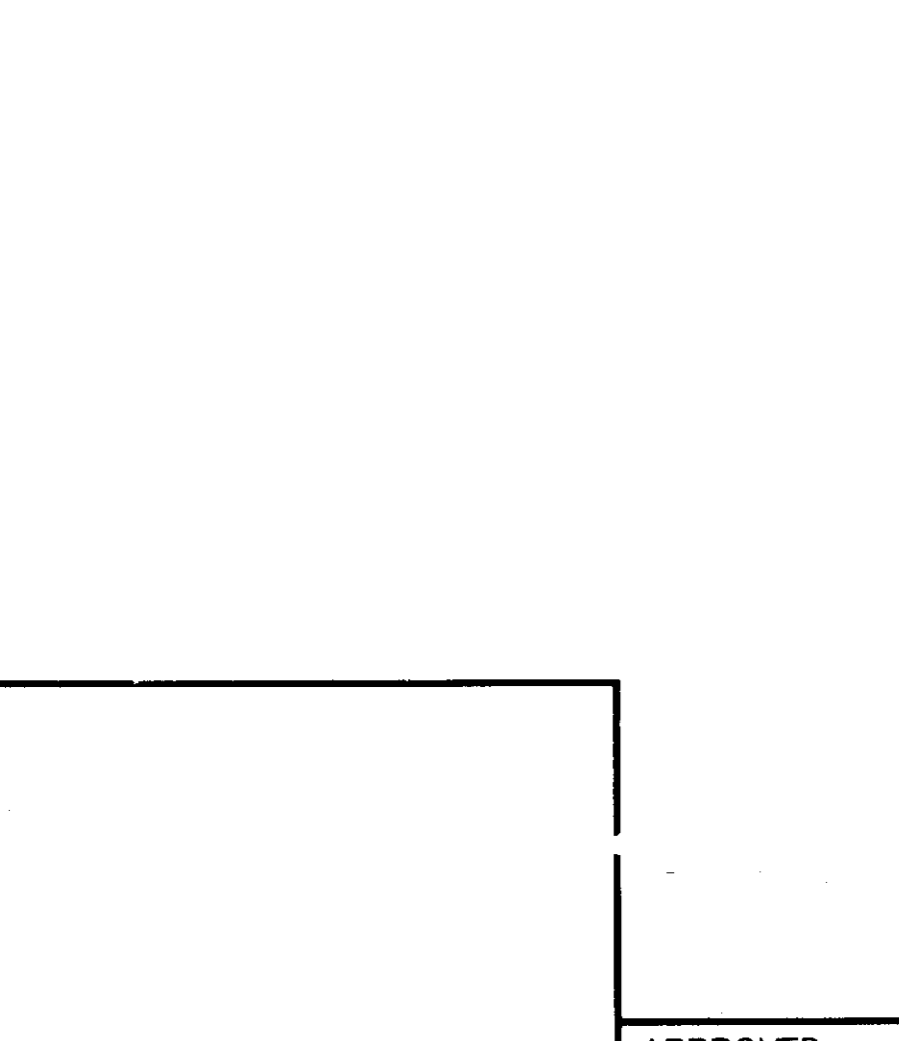
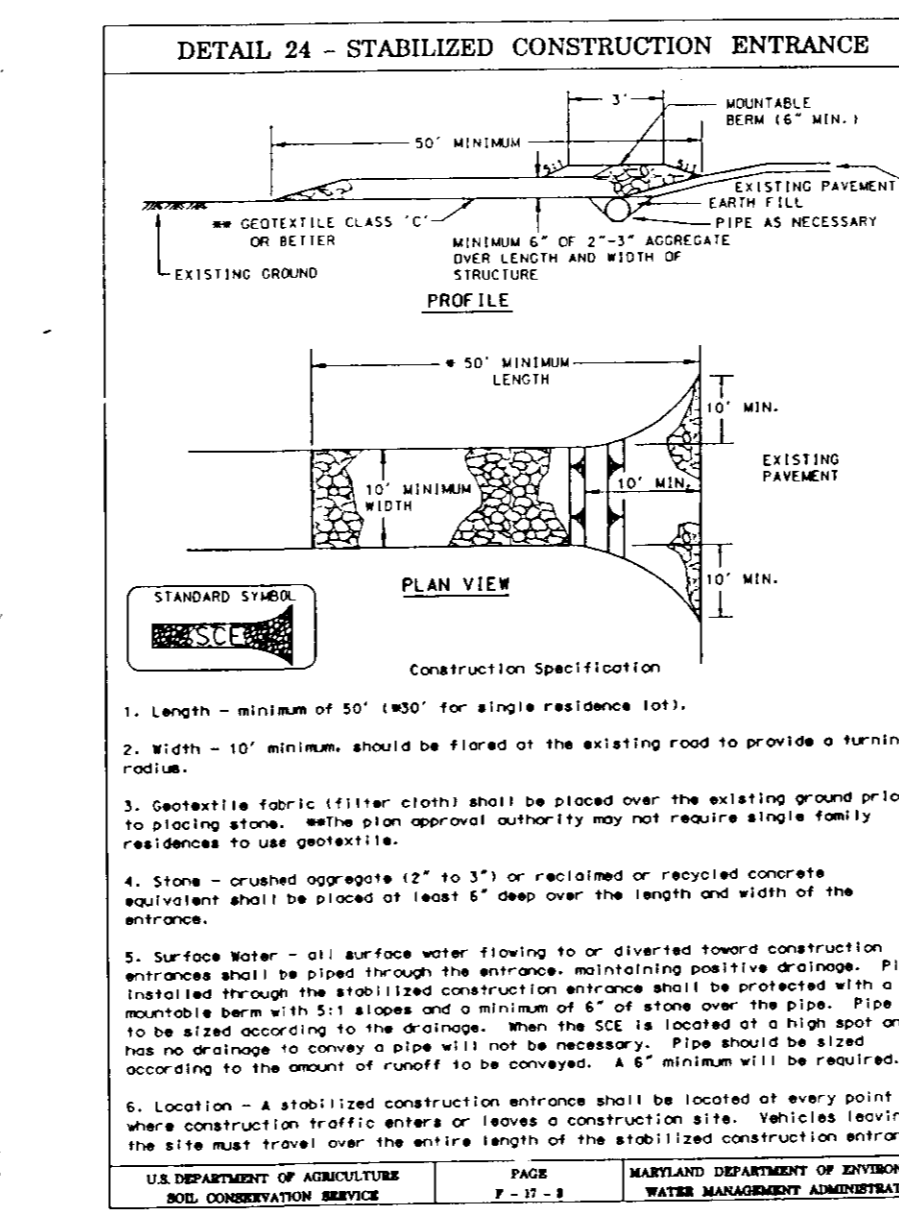
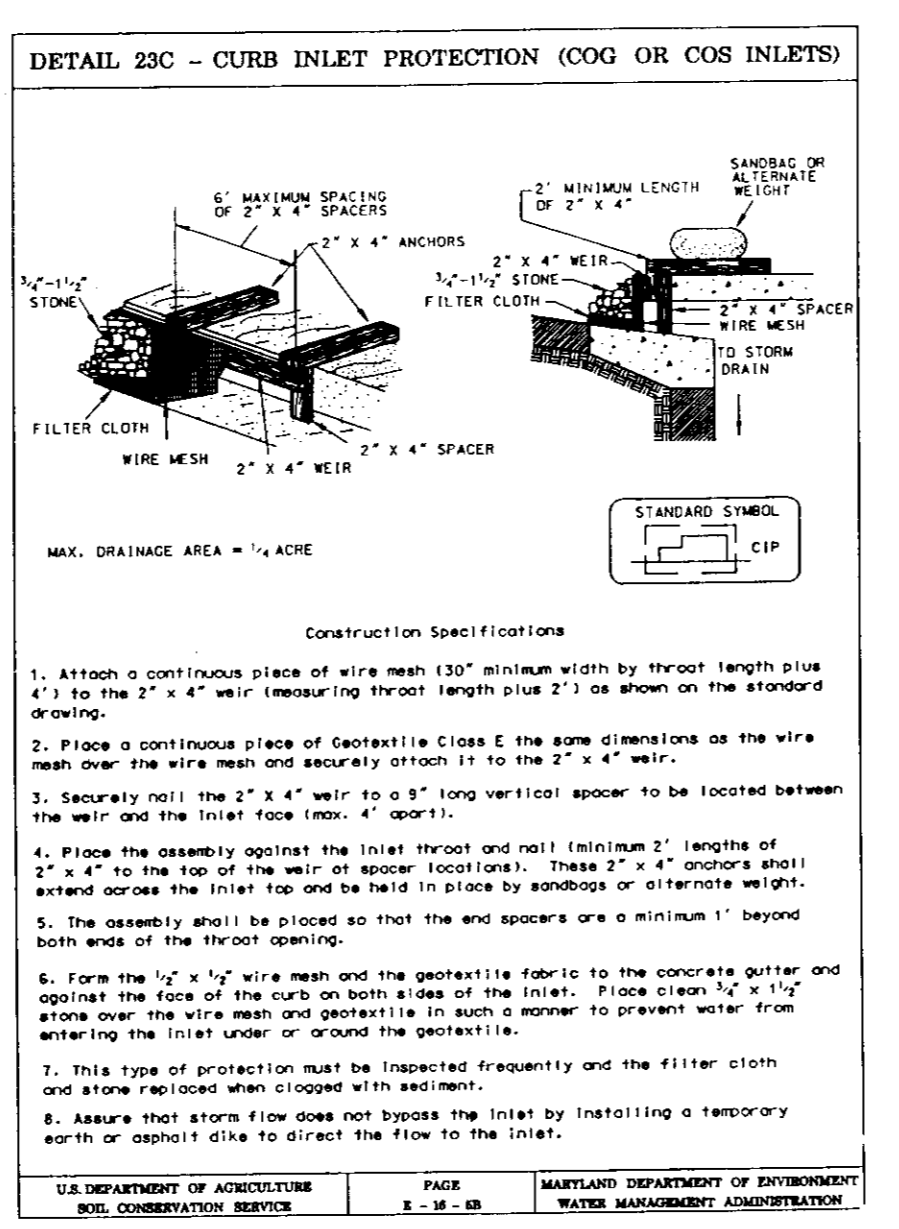
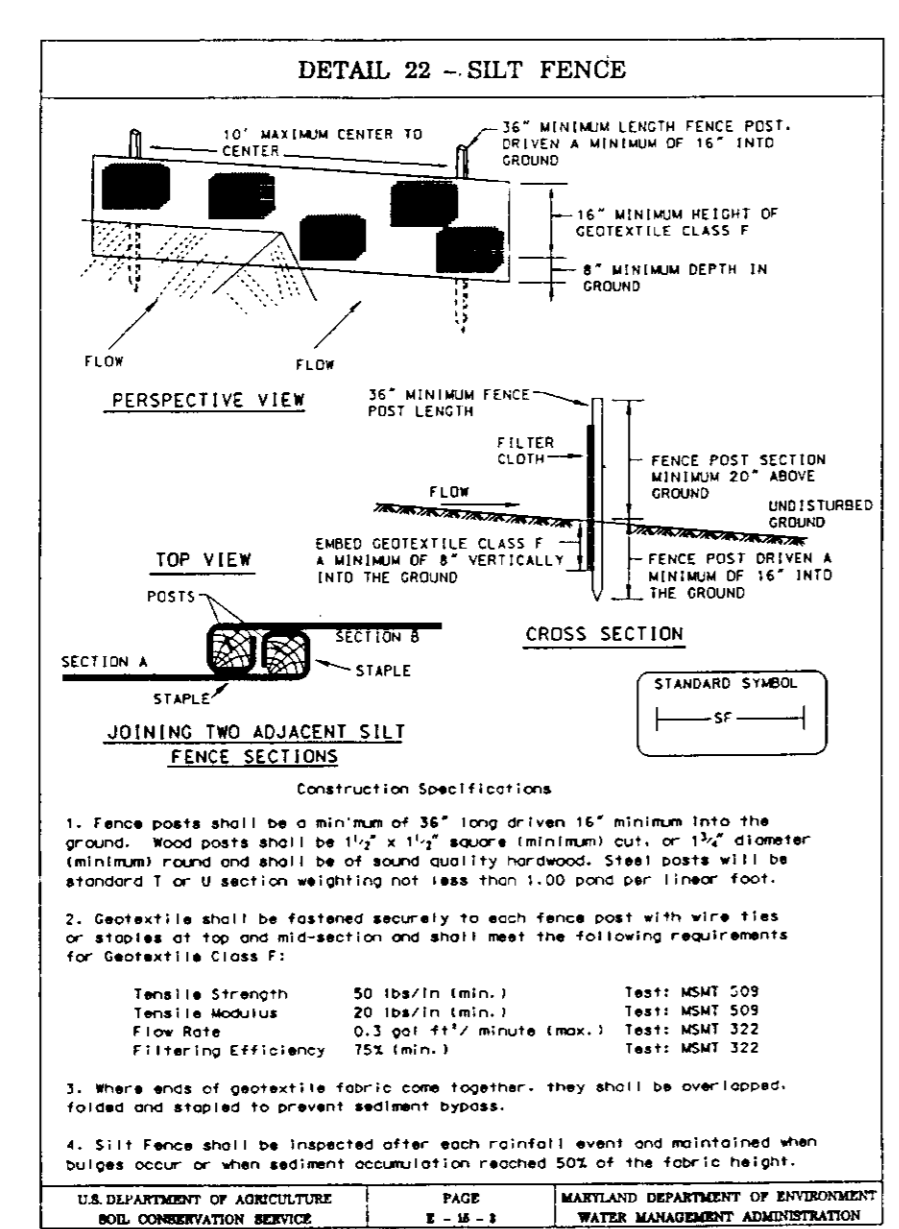
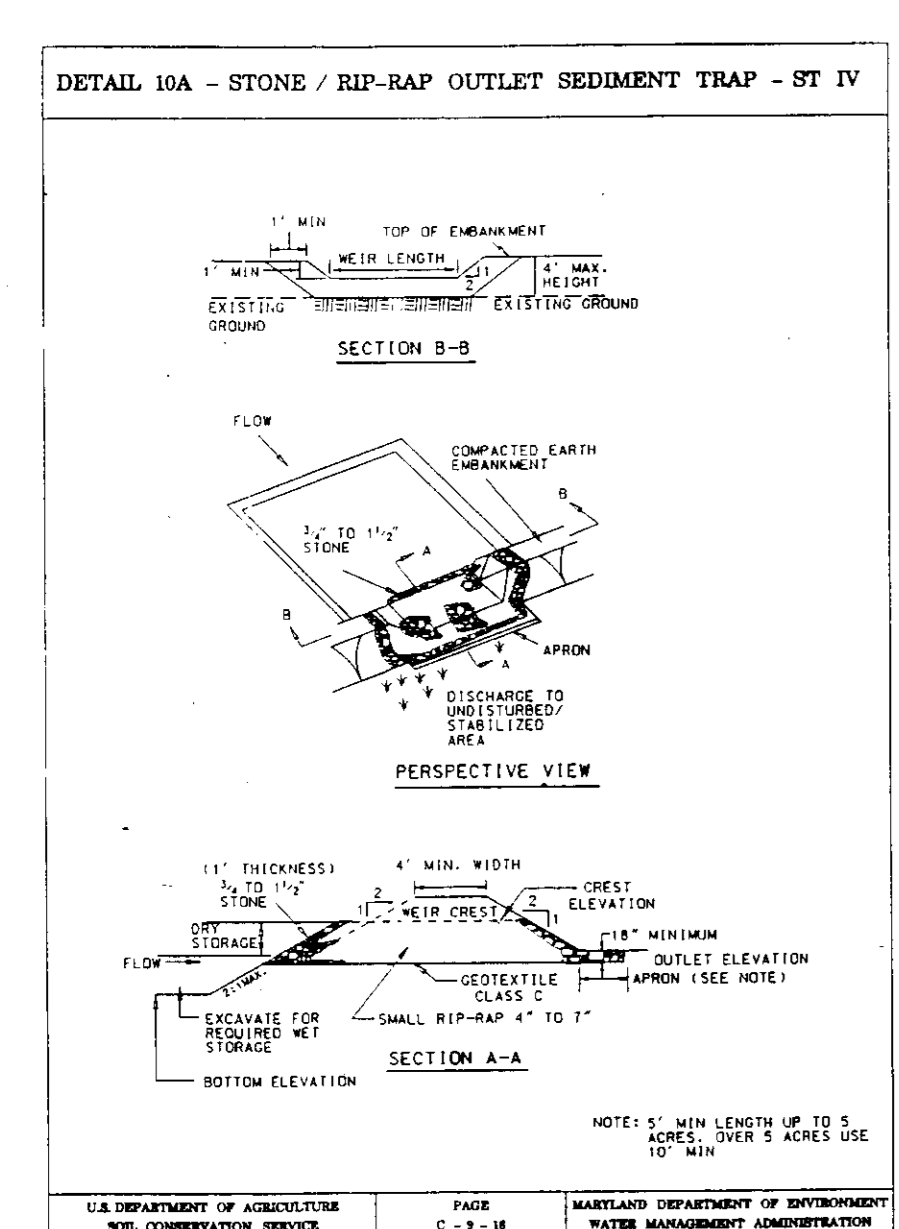


SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (40) 313-1055
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec G.) Temporary stabilization, with mulch alone, shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 - Total Area of Site : 6.5 Acres
 - Area Disturbed : 4.4 Acres
 - Area to be roofed or paved : 3.7 Acres
 - Area to be vegetatively stabilized : 0.7 Acres
 - Total Cut : 8500 Cu. Yds.
 - Total Fill : 6,000 Cu. Yds.
 Off-site waste/borrow area location:
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back filled and stabilized within one working day, whichever is shorter.

PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seedbed Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
- Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseeds.



Blaze Orange Plastic Mesh

Anchor post should be minimum 2" diameter and 2' long

Maximum Spacing

16" MINIMUM
33" MINIMUM
36" MINIMUM
33" MINIMUM

2 1/2" DIAMETER GALVANIZED OR ALUMINUM POSTS
CHAIN LINK FENCING WITH 1" LAYER OF FILTER CLOTH OVER
3" x 3" BRACKER CALICULATED ON ALUMINUM POSTS
33" MINIMUM POSTS AND 2ND LAYER FILTER CLOTH
16" MIN. 1ST LAYER OF FILTER CLOTH
EMBED FILTER CLOTH 8" MINIMUM INTO GROUND

STANDARD SYMBOL
SSP

Construction Specifications

Fencing shall be 42 inches in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6 foot fence shall be used, substituting 42 inch fabric and 4 foot length posts.

- The posts do not need to be set in concrete.
- Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" of the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and fastened.
- Maintenance shall be performed as needed and silt bulges removed when bulges develop in the silt fence.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE | PAGE 10 | MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and suitable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 4/28/97
Date

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Allowance in a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

[Signature] 4/28/97
Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.
Natural Resources Conservation Service Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
Howard S.C.D. Date

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.
- Seedbed Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- Soil Amendments:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
- Seeding:** For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
- Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 3/22/97
Director Date

[Signature] 9/10/97
Chief, Division of Land Development Date

[Signature] 9/16/97
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20886
TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186

DES. DRN. CHK. DATE

REVISION BY APPR.

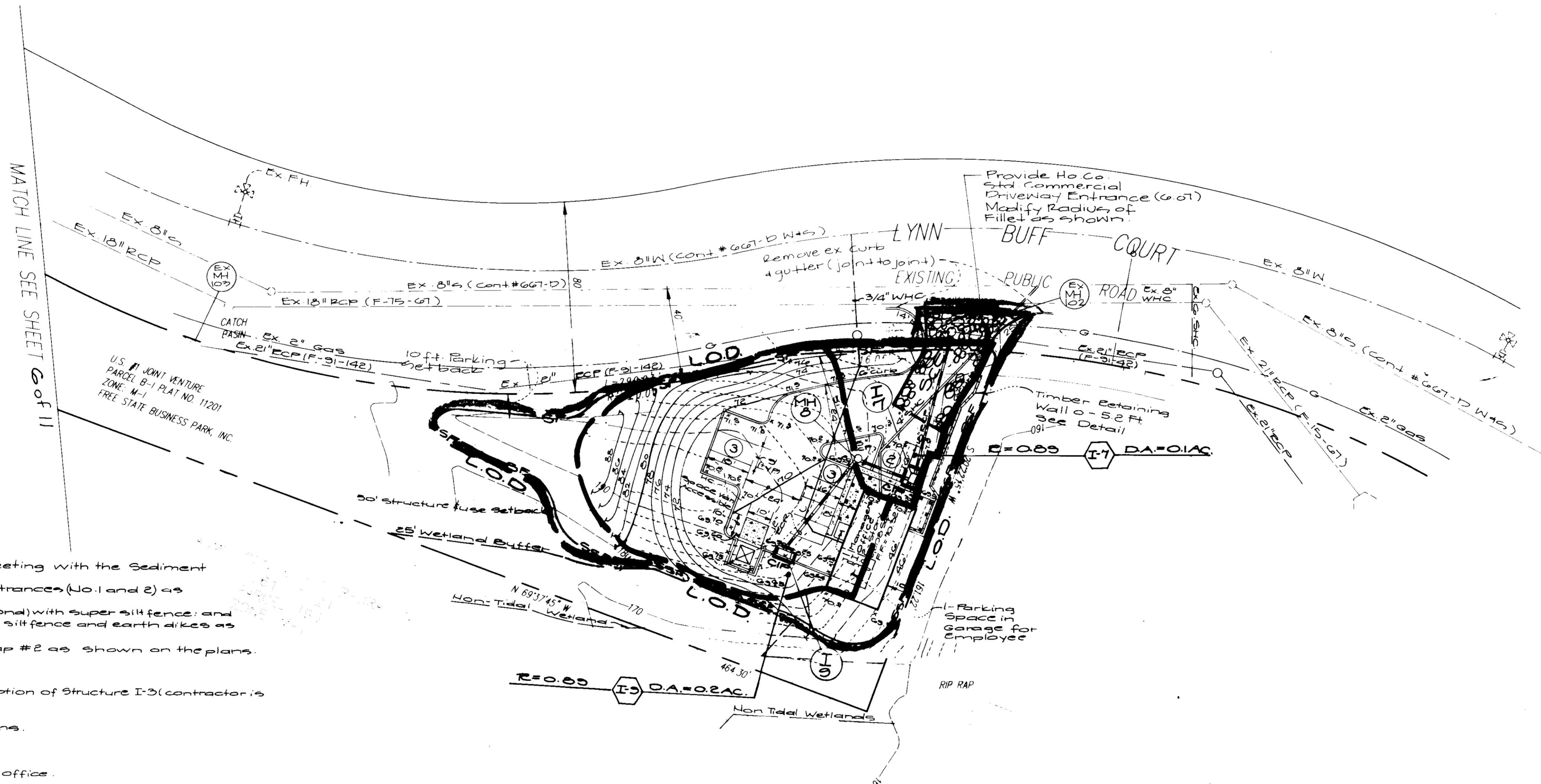
PREPARED FOR:
Freestone Business Park, Inc.
c/o Adler Development Group
11500 Random Hills Road suite 720
Fairfax, Va 22030

Sediment Control Notes and Details

U.S. #1 Joint Venture
Partners: B-1, D-1, thru D-3
Free State Self Storage Facility
Howard County, MD

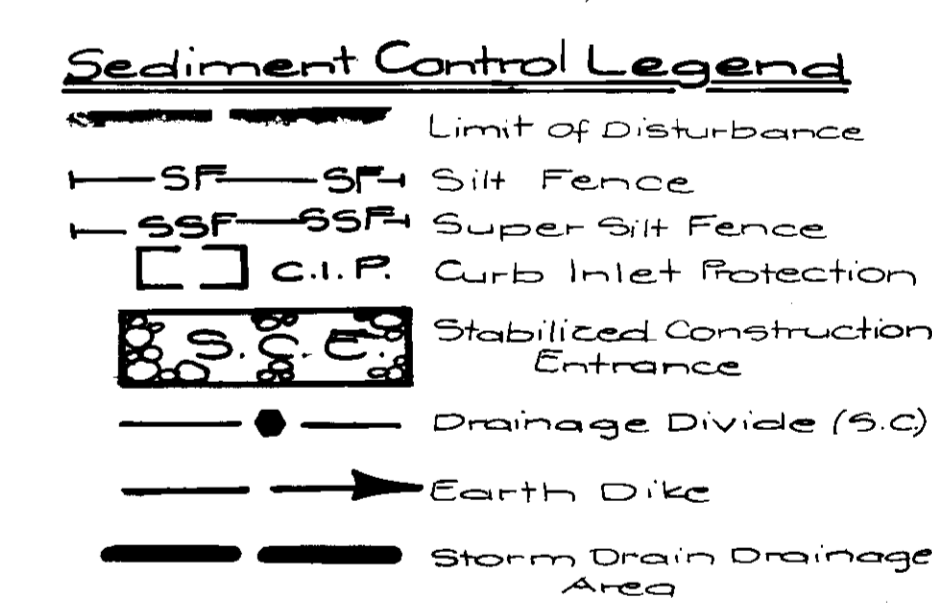
SCALE: 1" = 30'
ZONING: M-1
G. L. W. FILE NO.: 90090
DATE: April 1997
TAX MAP No.: 47
SHEET: 8 of 11

SDP-97-137



Sequence of Construction

1. Obtain grading permit.
 2. Arrange for an on-site pre-construction meeting with the Sediment Inspector.
 3. Install the two (2) stabilized construction entrances (No. 1 and 2) as shown on these plans.
 4. Wrap lower end of site fence B-1 (near the SWMP pond) with super silt fence; and on Parcel D-1 through D-3, install silt fence, super silt fence and earth dikes as shown on plan.
 5. Install Trap #1 with temporary swale, and Trap #2 as shown on the plans.
 6. Rough grade site.
 7. Construct storm drain structures with the exception of Structure I-3 (contractor is to omit I-3 until Trap #1 has been backfilled).
 8. Construct water and sewer as shown on plans.
 9. Fine grade site.
 - * 10. Construct storage buildings and managers office.
 - * 11. Install curb and gutter, sidewalks and base paving. Stabilize remaining areas on Phase I with grass, seed and mulch. After completion of paving on Phase I backfill Trap No. 1 and construct stabilized construction Entrance No. 3 (see plan). Install I-3 and remaining curb and gutter near Building C and D.
 12. After permission has been granted from Inspector, backfill Trap #2.
 13. Install landscaping.
 14. Permanently stabilize all disturbed areas.
 15. Remove all sediment control devices with prior approval of Inspector.
- * Sequence No. 10 and No. 11 may be done concurrently.



All off-site spoil and borrow areas to have approved and active sediment control plan

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *Ch. [unclear]* Date: 4/28/97

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.
 Signature: *David S. [unclear]* Date: 4/28/97

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Signature: *Cindy Hamilton* Date: 9/18/97
 Signature: *John [unclear]* Date: 9/16/97

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 HO. VA. (301) 989-2524 BALT. (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

DATE	REVISION	BY	APPR.
7.11.97	BID SET		
7.9.97	ADDRESSED HO. CO. COMMENTS		
6.3.97	PRELIMINARY PRICING		

PREPARED FOR:
 OWNER:
 FREESTATE BUSINESS PARK, INC.
 C/O ADLER DEVELOPMENT GROUP
 11350 RANDOM HILLS ROAD, SUITE 720
 FAIRFAX, VA. 22030

Sediment Control Plan / D.A.M.
U.S. #1 JOINT VENTURE
 PARCELS: B-1, D-1 THRU D-3 PLAT N° 10265
 FREE STATE - SELF STORAGE FACILITY
 L:1410 P:13 HOWARD COUNTY, MARYLAND
 6TH ELECTION DISTRICT

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	M-1	90090
DATE	TAX MAP No.	SHEET
APRIL 1997	47	7 OF 11

ALL offsite spoil and borrow areas to have approved and active sediment control plan

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Cheryl Simmer 4/29/97
Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Cheryl Simmer 4/29/97
Date

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Disad 4/28/97
Signature of Developer/Builder Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John H. ... 4/28/97
Date

Trap Data	Trap #1 Pipe outlet sediment (using 6" inlet riser)	Trap #2 Stone outlet Sediment Trap 511
Before Dev. DA	2.28 Ac.	1.30 Ac.
After Dev. DA	2.28 Ac.	1.30 Ac.
Storage Req	4104 CF	4890 CF
Storage Provided	5112 CF	4900 CF
Limit of Wet Storage	216.25	214.58
Weir Crest Elev	220.10 (ex. inlet)	216.10
Channel Depth	N/A	1.0'
Top of Dam Elev	221.00	217.16
Bottom Elev	215.00	212.00
Cleanout Elev	217.58	215.00
Weir Length	N/A	0'

Sediment Control Legend

- L.O.D.**
- Limit of Disturbance
- Silt Fence
- Super Silt Fence
- C.I.P.
- Curb Inlet Protection
- Stabilized Construction Entrance
- Drainage Divide (sediment control)
- Earth Dike
- Storm Drain Drainage Area
- Temporary Swale
- T.S. A-1

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Greg S. Smith 9/22/97
Candy Horvath 9/18/97
Cheryl Simmer 9/17/97

Note: Bldg 'B' only can be constructed after D.A. has been stabilized.

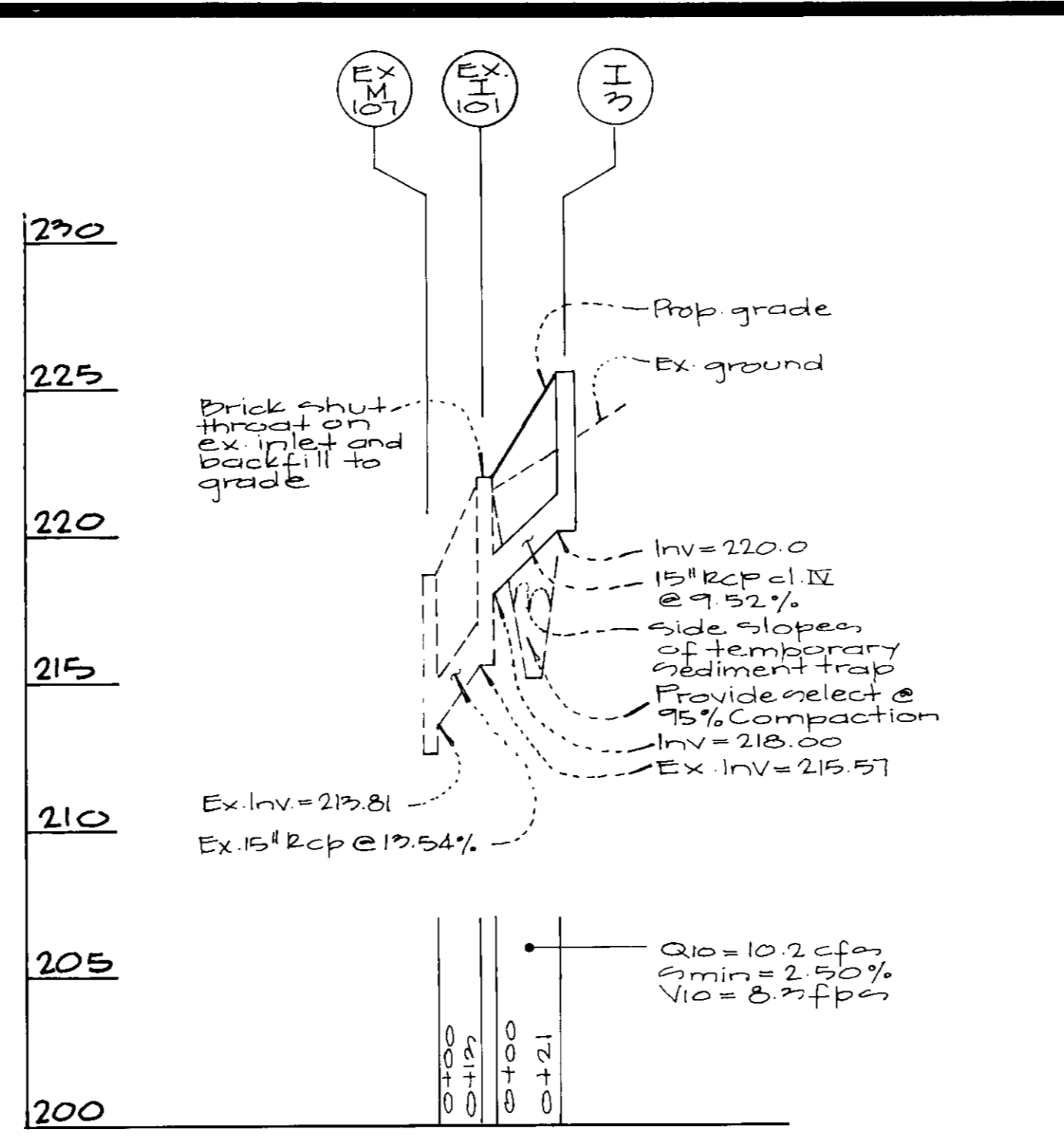
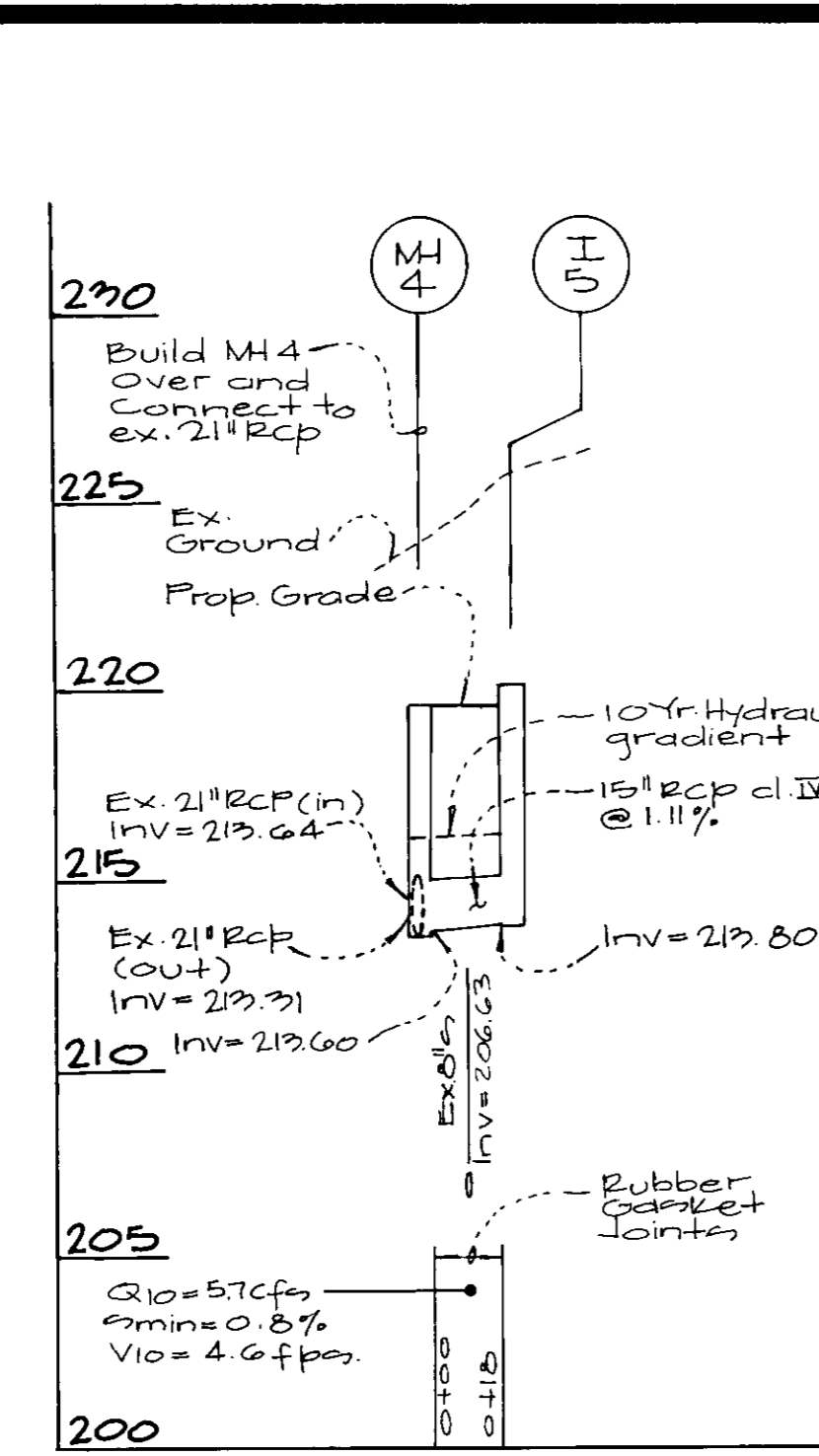
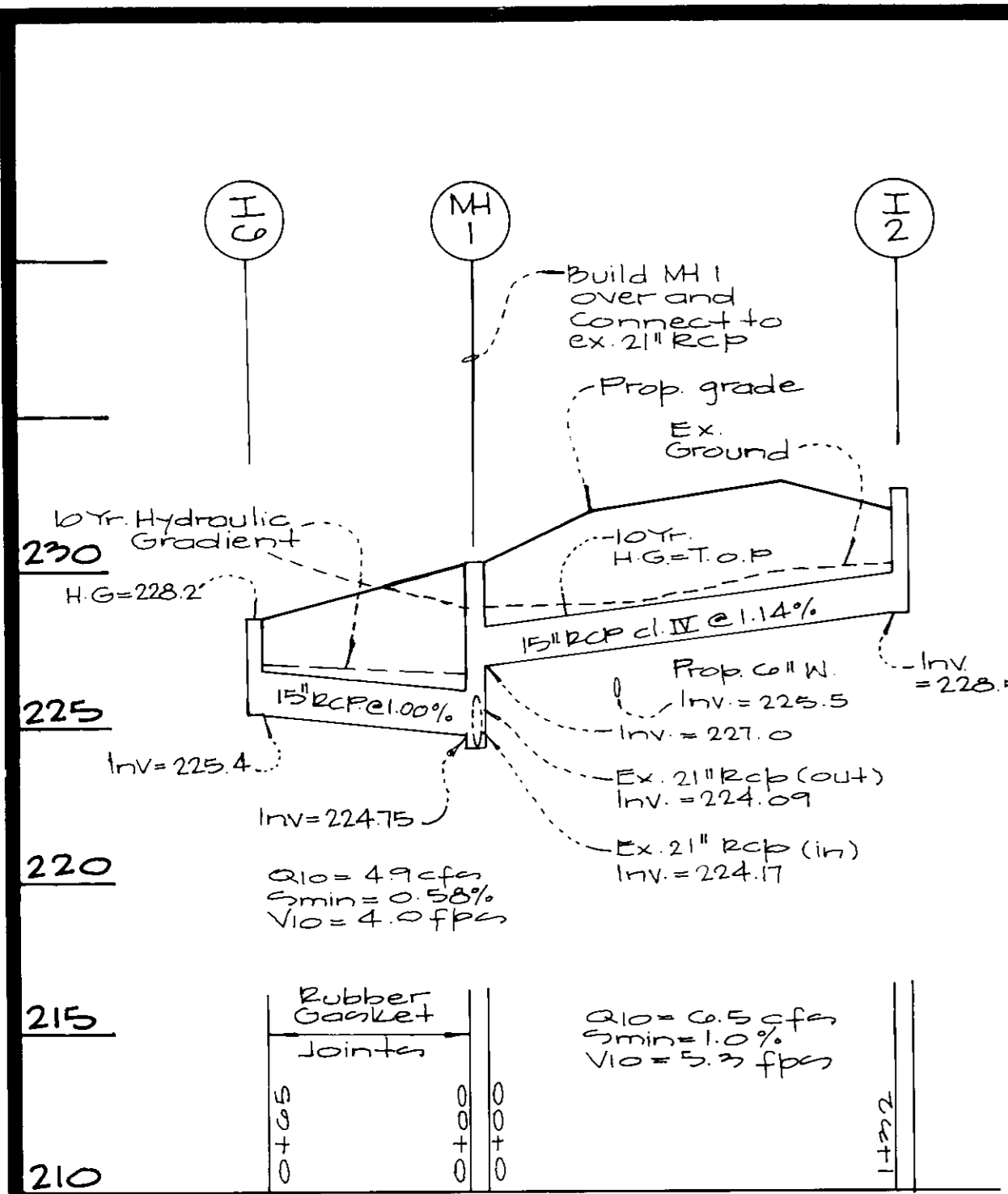
GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 MO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

DATE	REVISION	BY	APPR.
7.11.97	BID SET		

PREPARED FOR:
FREESTATE BUSINESS PARK, INC.
C/O ADLER DEVELOPMENT GROUP
11350 RANDOLPHS ROAD, SUITE 720
FAIRFAX, VA. 22030

Sediment Control Plan / D.A.M.
U.S. #1 JOINT VENTURE
PARCELS: B-1, D-1 THRU D-3
FREE STATE - SELF STORAGE FACILITY
6 TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	M-1	90090
DATE	TAX MAP No.	SHEET
APRIL 1997	47	6 OF 11

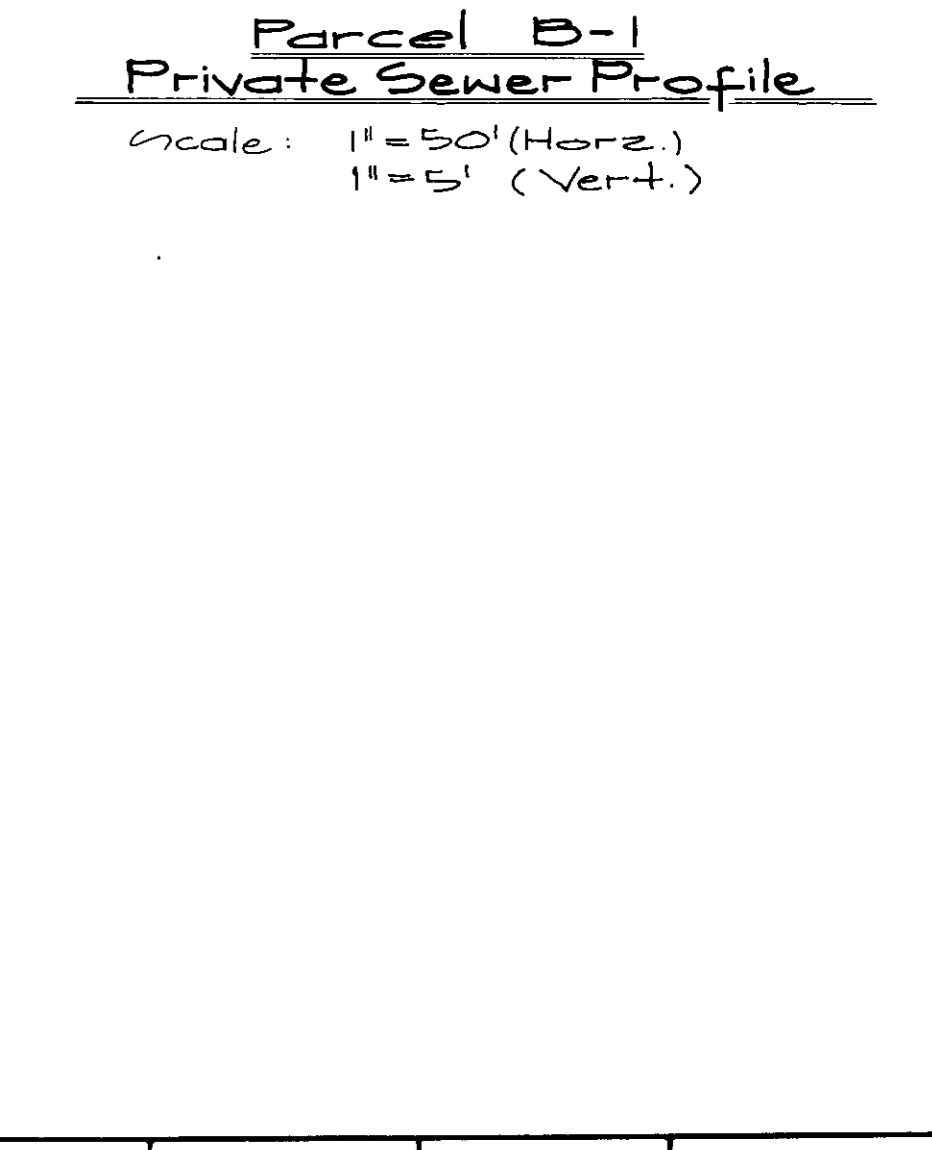
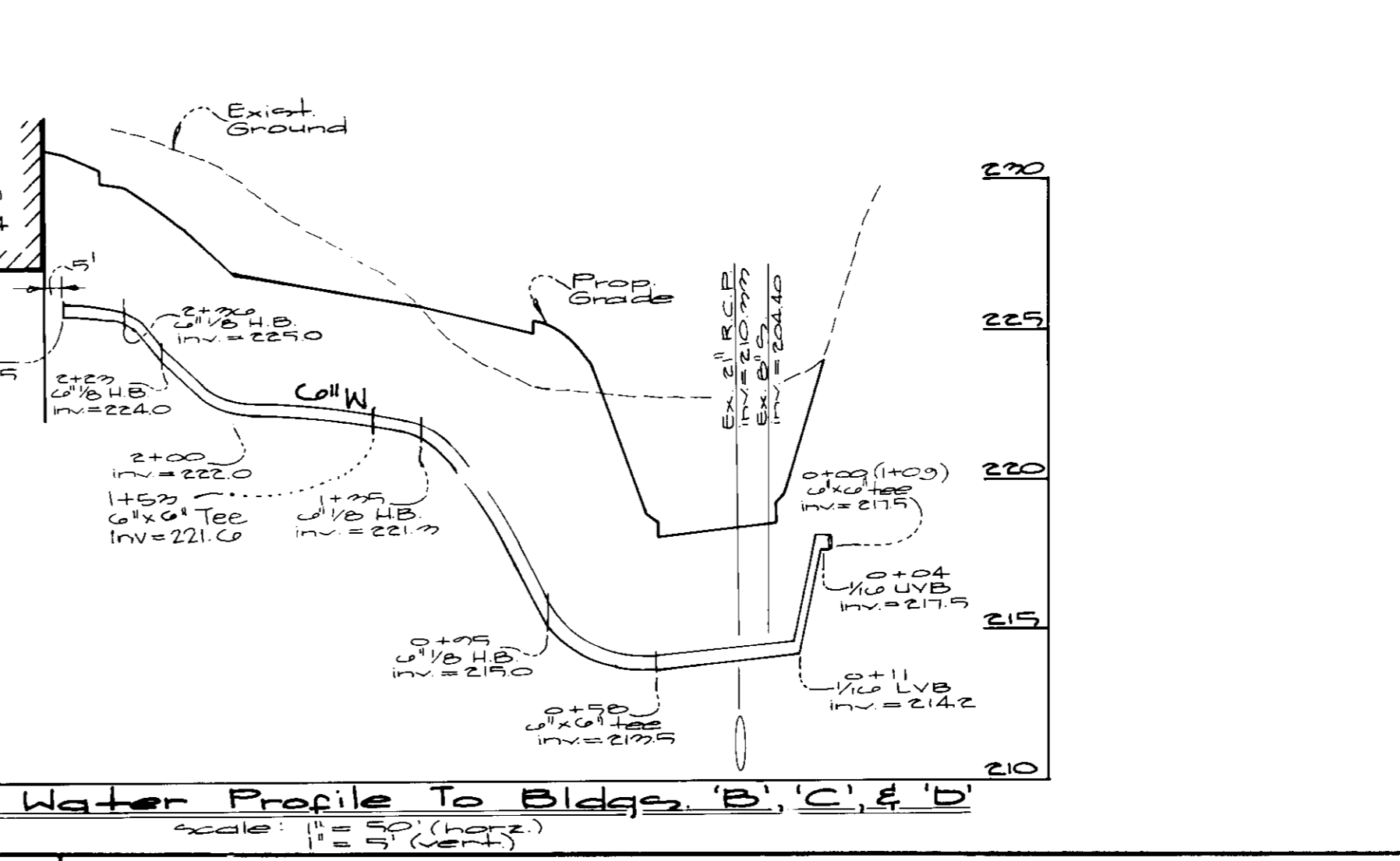
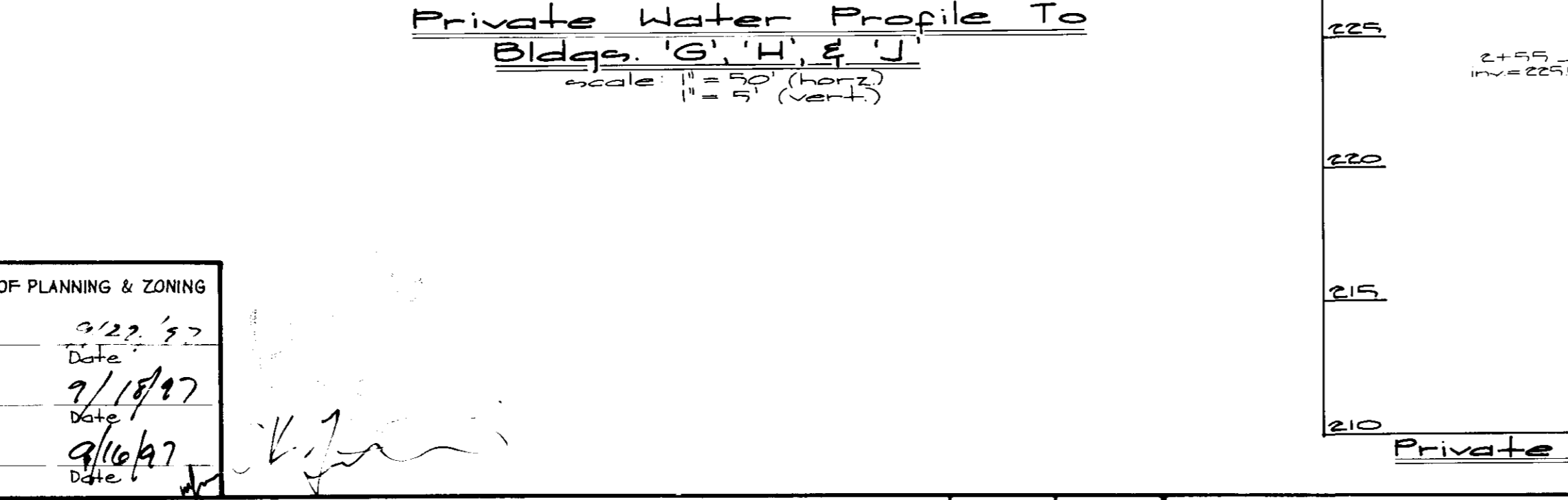
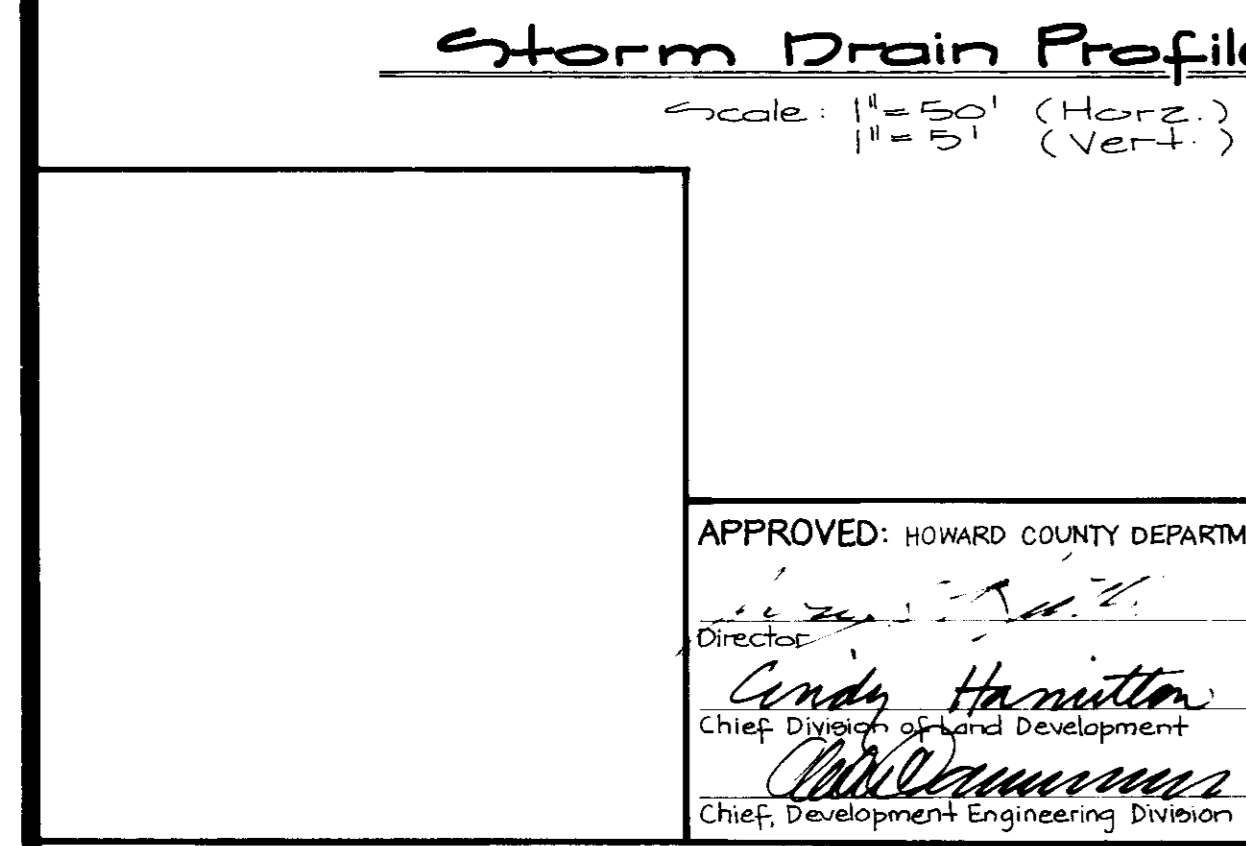
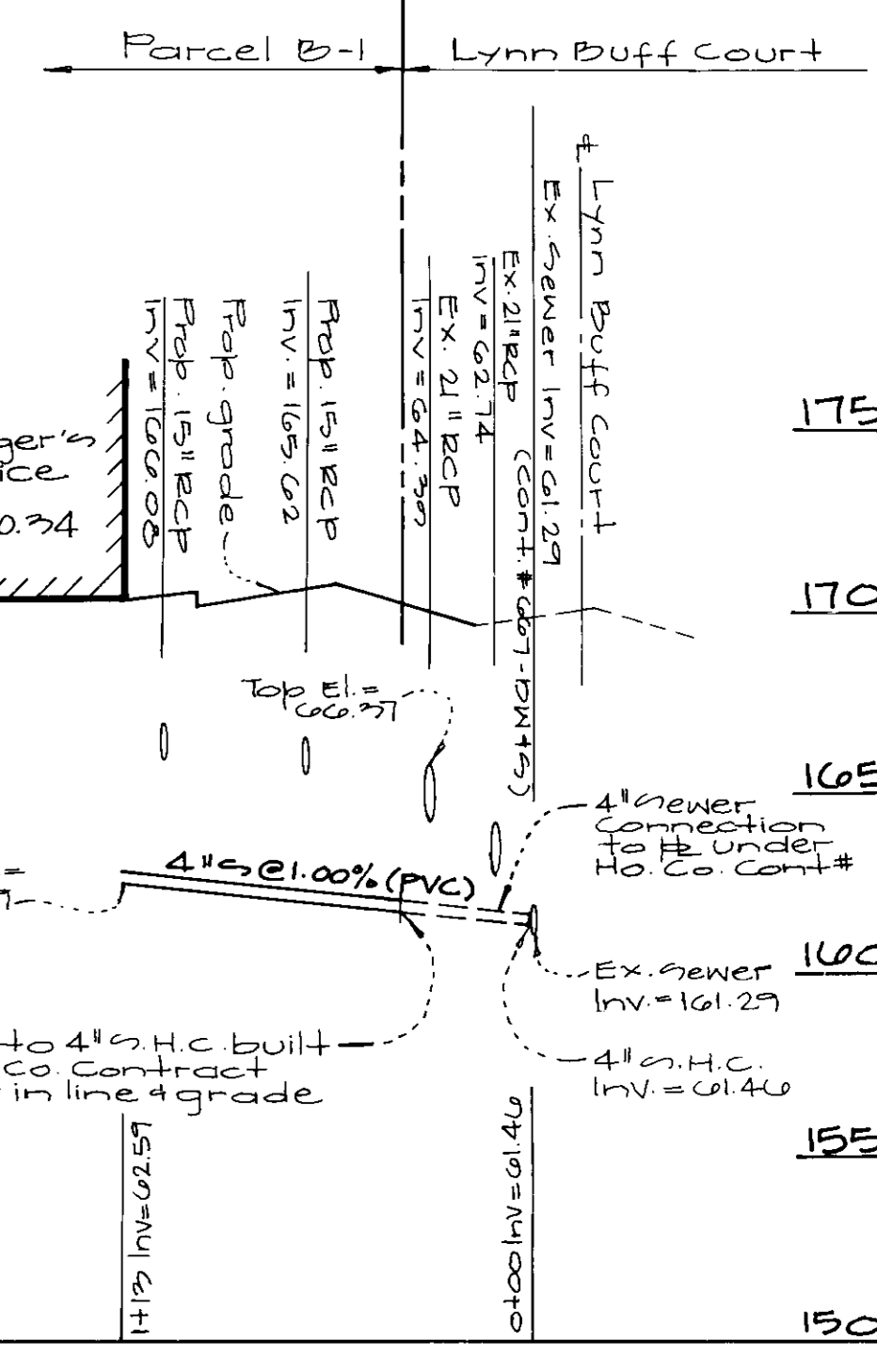
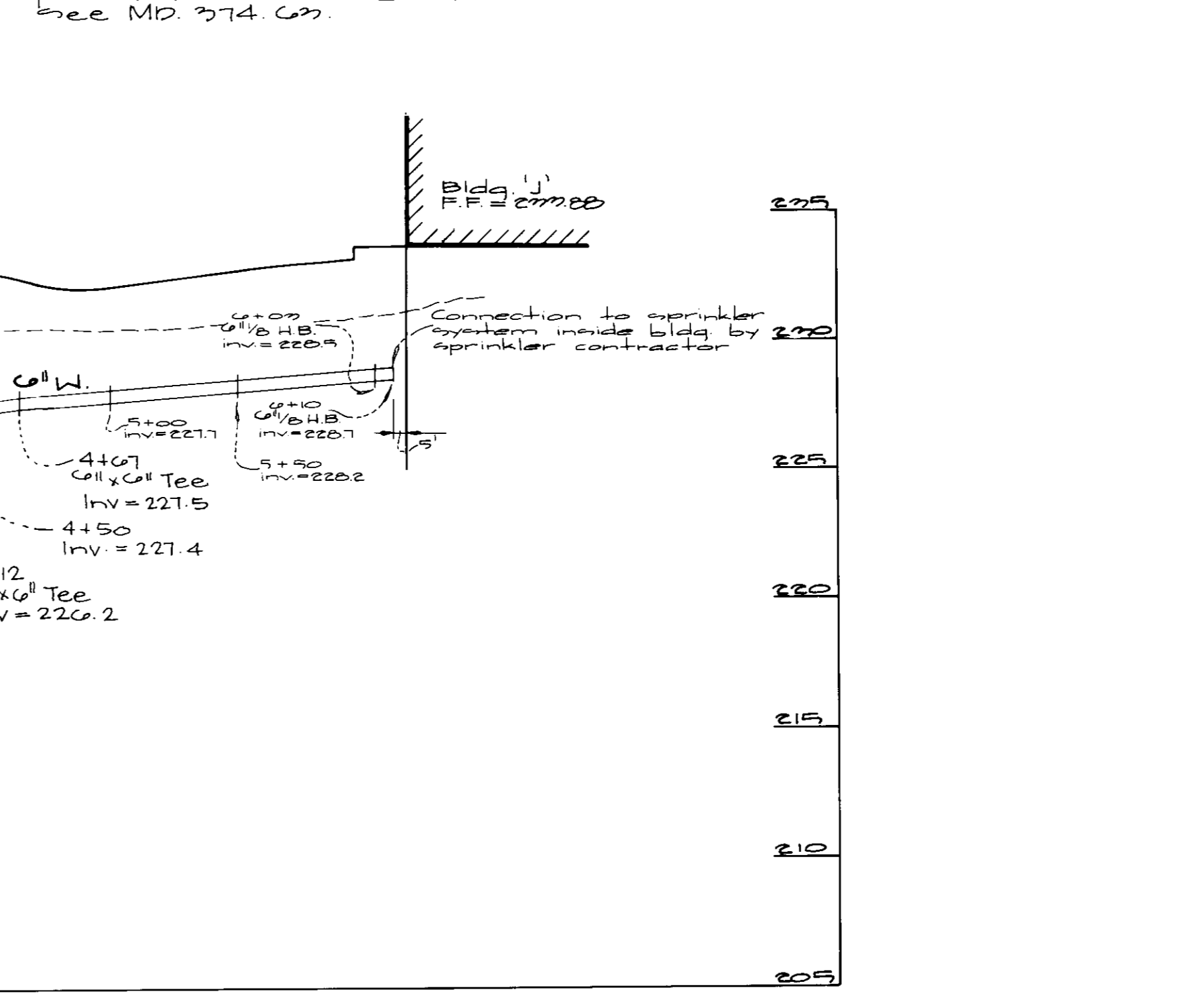
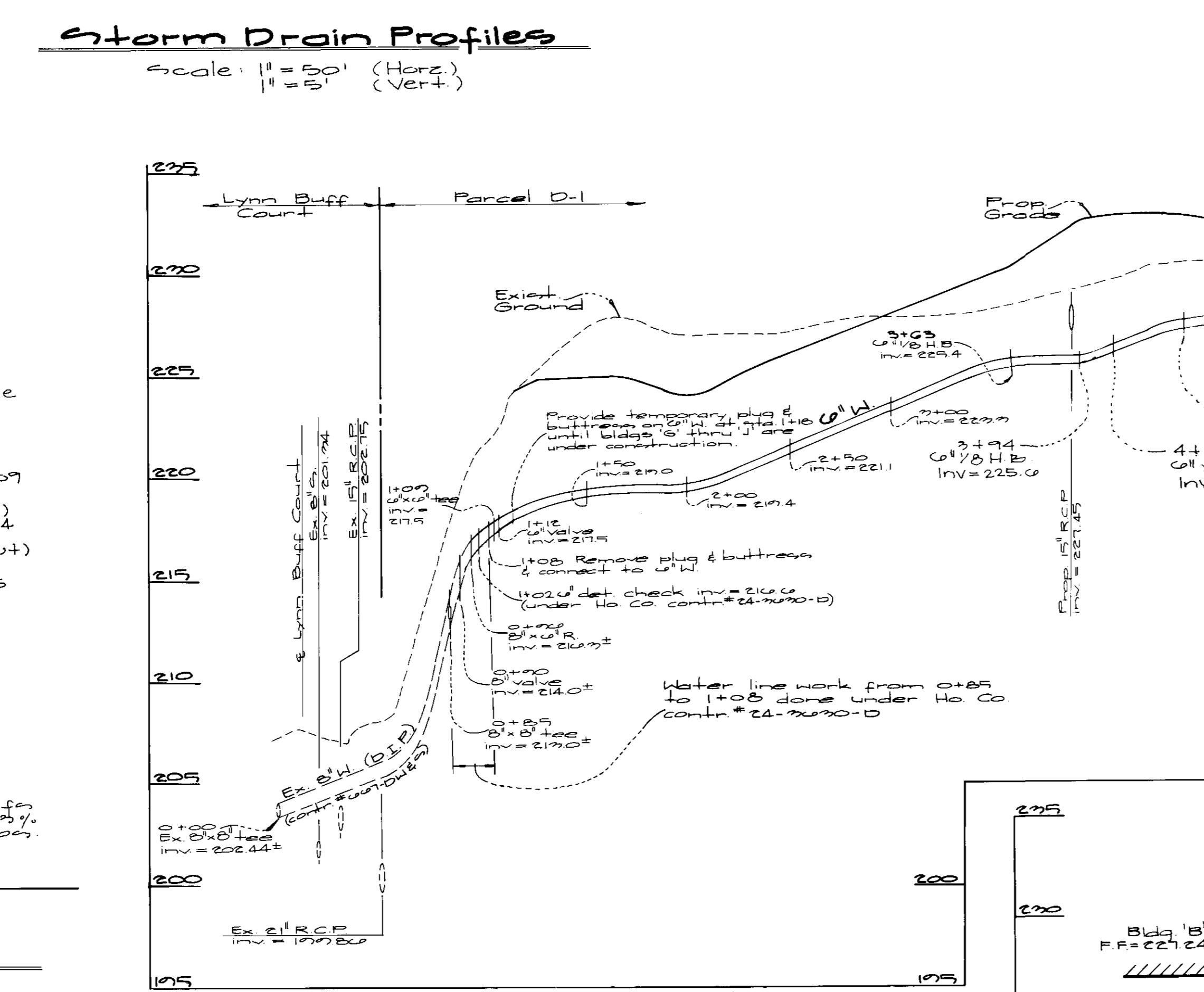
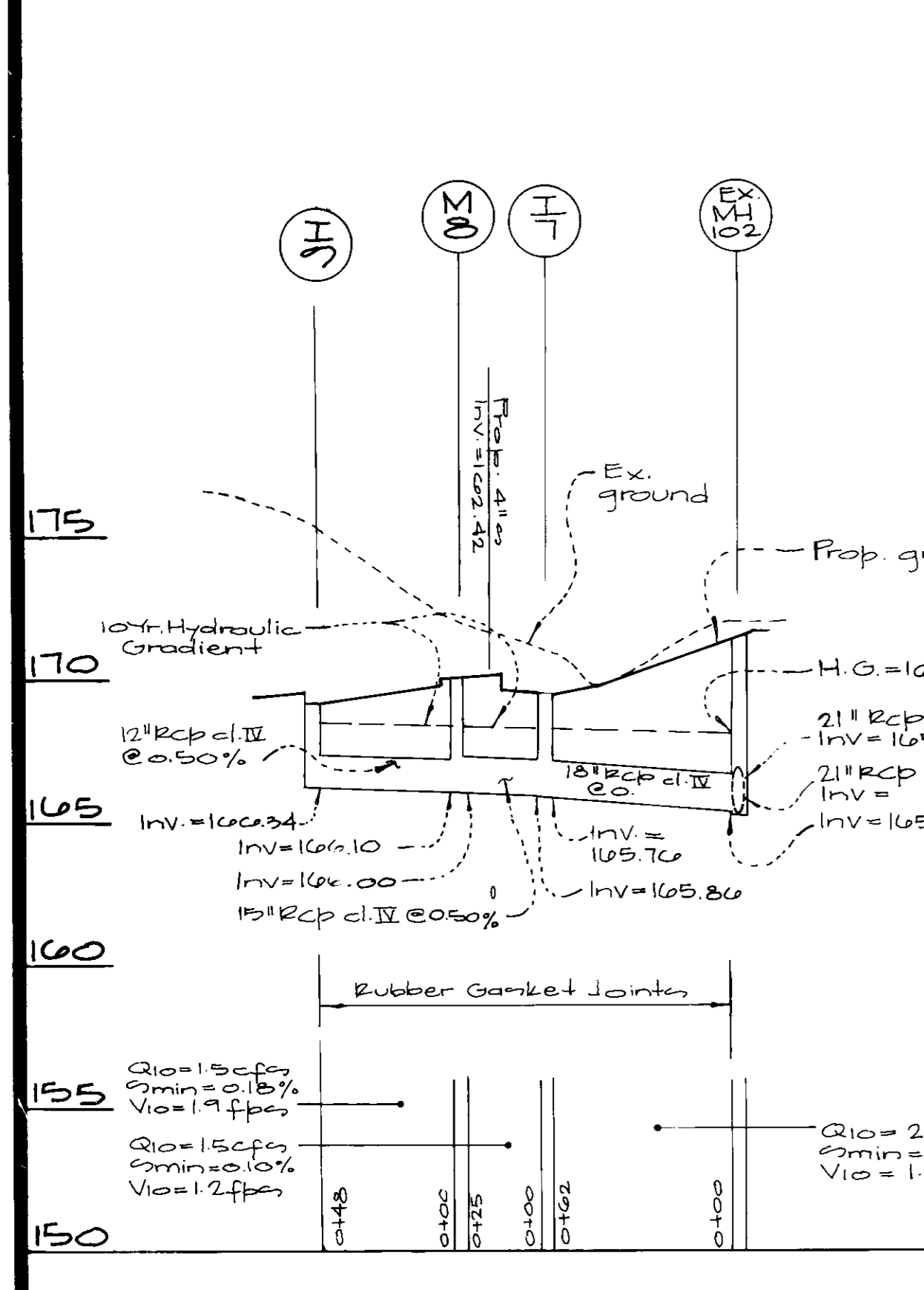


Structure Schedule

No	Type	Invert		Top Elevation		Std. Detail	Location
		in	out	Upper	Lower		
1	Shallow M.H.	227.0	224.09	220.33	220.33	Ho. Co. Std. 5D4.05	
2	A-10 Inlet		228.50	222.30	222.30	Ho. Co. Std. 5D4.02	
3	A-10 Inlet		220.00	225.40	225.40	Ho. Co. Std. 5D4.02	
4	Shallow M.H.	219.60	219.31	219.74	219.74	Ho. Co. Std. 5D4.02	
5	C.O.G. - 15 Inlet		219.80	220.19	219.80	D=48", MD 374.62	
6	Double 'S' Inlet		225.40	228.40	228.40	Ho. Co. Std. 5D4.23	
7	Single 'S' Comb Inlet	165.86	165.76	169.88	169.88	Ho. Co. Std. 5D4.32	
8	Shallow M.H.	166.10	166.00	170.20	170.20	Ho. Co. Std. 5D4.05	
9	Single 'S' Comb Inlet		166.34	169.25	169.25	Ho. Co. Std. 5D4.32	

Pipe Schedule

Size	Type	Length
15"	2" CP cl. IV	153 LF
12"	2" Rubber Gasket	48 LF
15"	2" Rubber Gasket	108 LF
15"	2" Rubber Gasket	62 LF



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Cindy Hamilton* Date: 7/18/97

Chief, Division of Land Development: *William Williams* Date: 9/16/97

Chief, Development Engineering Division: *William Williams* Date: 9/16/97

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20886

TELEPHONE (301)421-4324 NO VA (301)983-2524 BALTO (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.
8.18.97	Rev. 4" Water to Col Water		
7.11.97	Bid SET		
7.1.97	ADDRESSED HO. CO. COMMENTS		
6.3.97	PRELIMINARY PRICING		

Owner: PREPARED FOR:
 Free State Business Park, Inc.
 % Adler Development Group
 11750 Random Hills Road
 Suite # 720
 Fairfax, Va., 22030

Private Water, Sewer and Storm Drain Profiles

U.S. #1 Joint Venture

Parcel: B-1, D-1 thru D-3
 Free State - Self Storage Facility
 6th Election District
 Howard County, Maryland

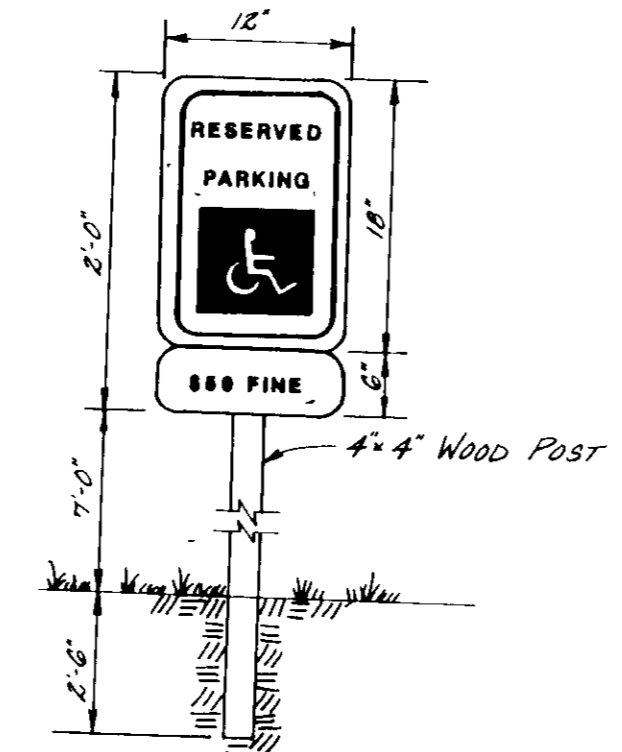
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DRN:	A9 Shown	M-1	90090
CHK:	DATE	TAX MAP NO.	SHEET
	April 1997	47	5 of 11



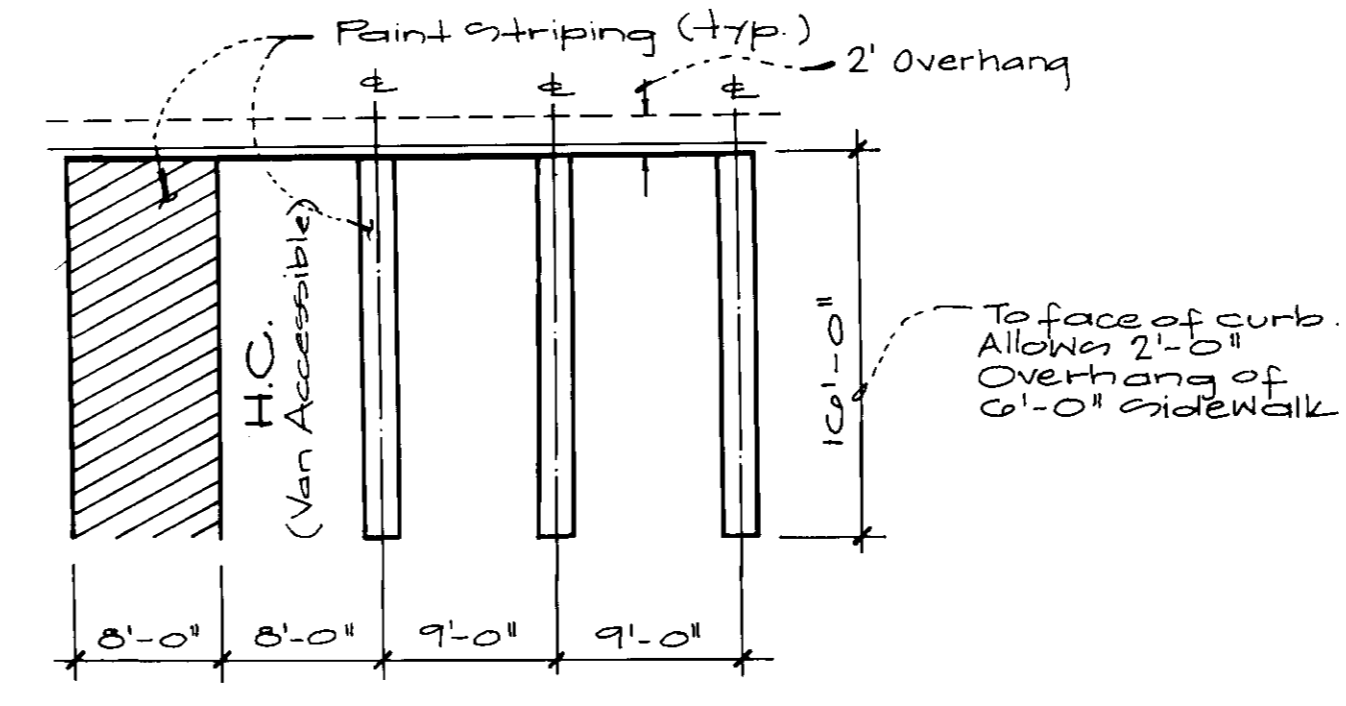
Parking Restriction Sign for Van Handicapped Parking
No Scale



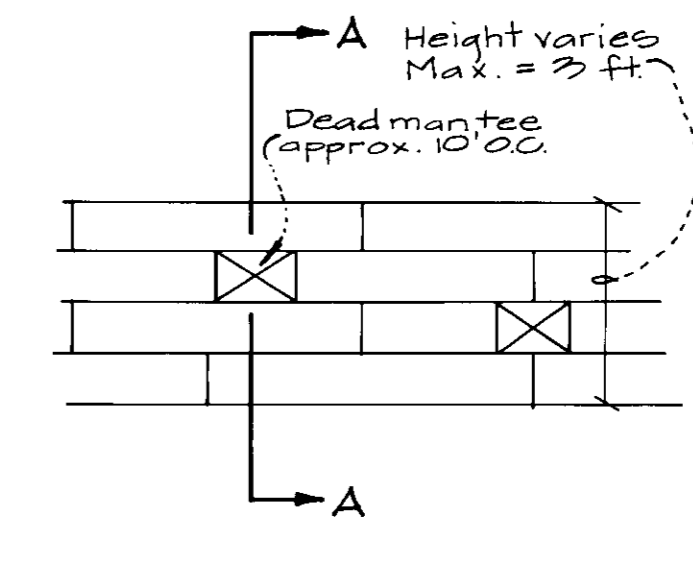
Parking Restriction Sign for Handicapped Parking
No Scale



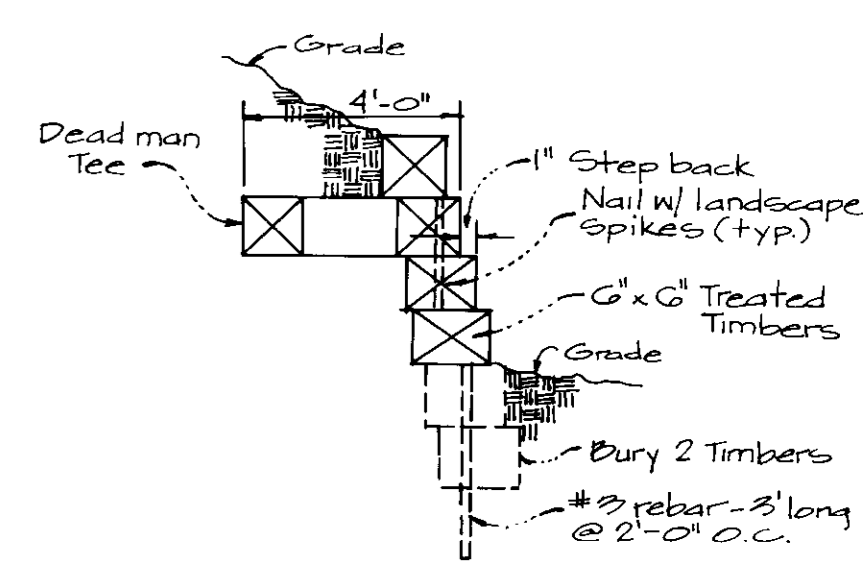
Handicap Parking Sign Detail
N.T.S.



Typical Striping of Parking Lot and Handicap Marking Detail
N.T.S.

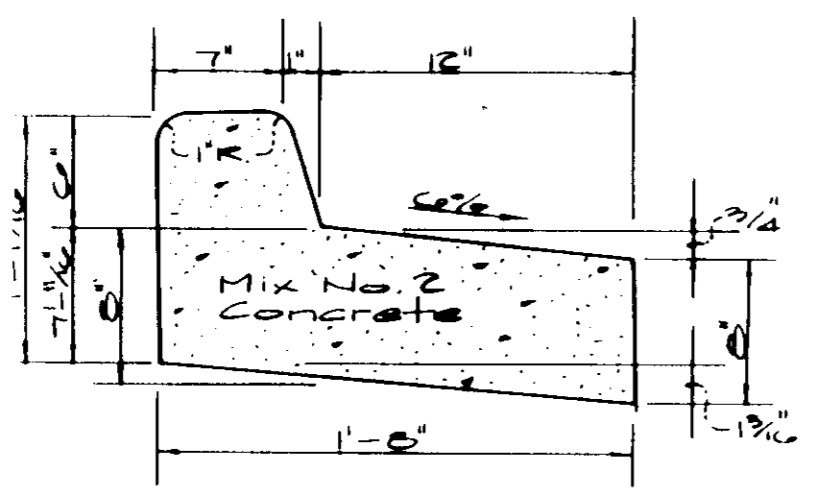


Elevation of Timber Wall
N.T.S.

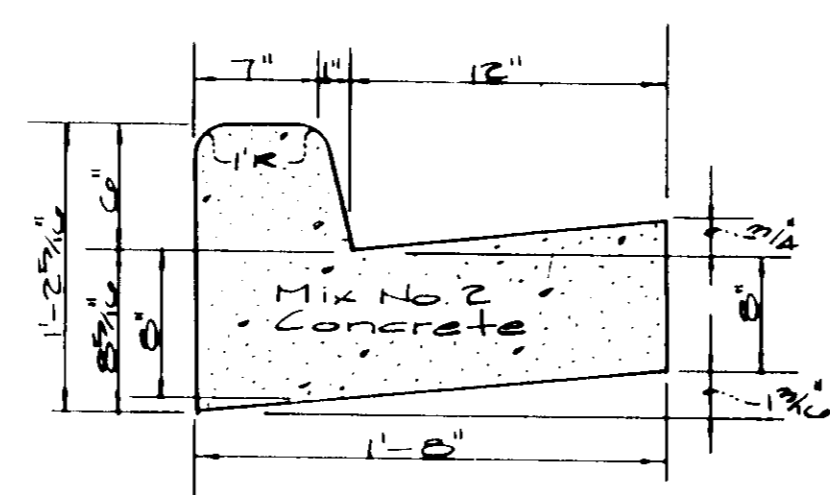


Section A-A
N.T.S.

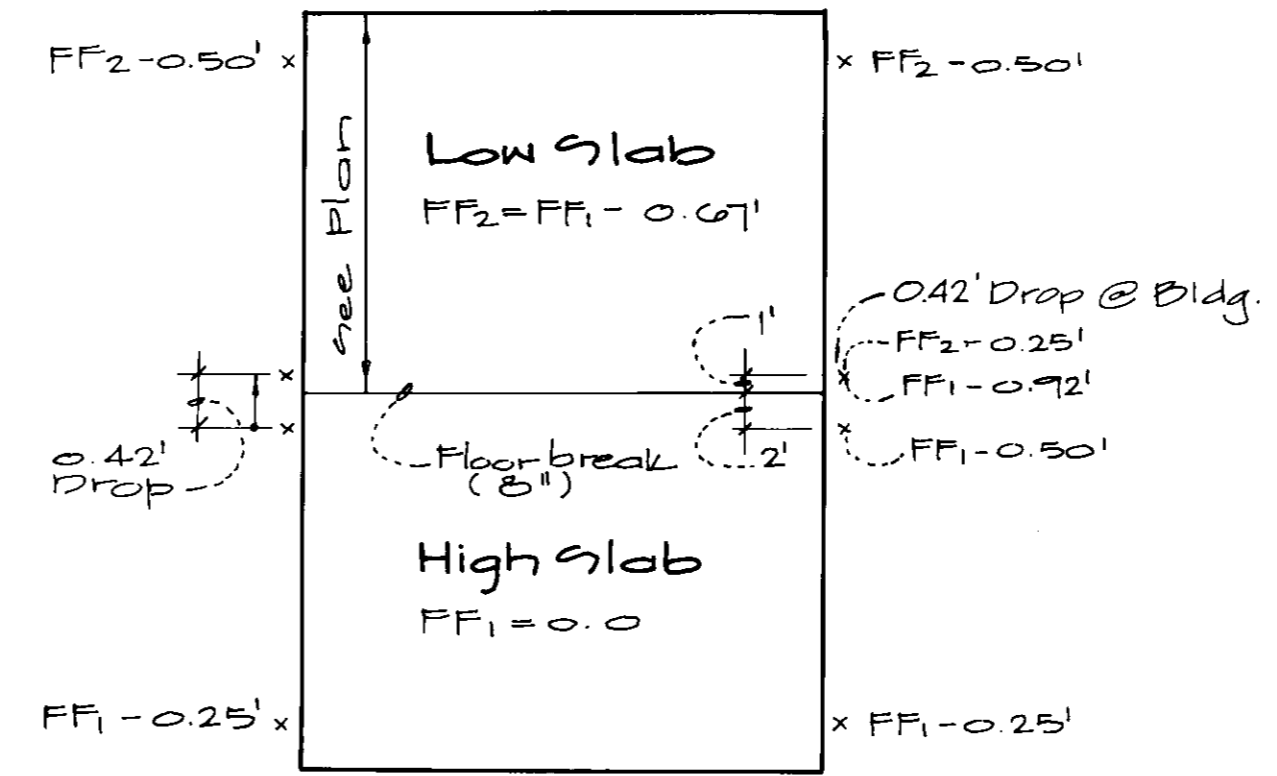
Typical Detail of Timber Retaining Wall



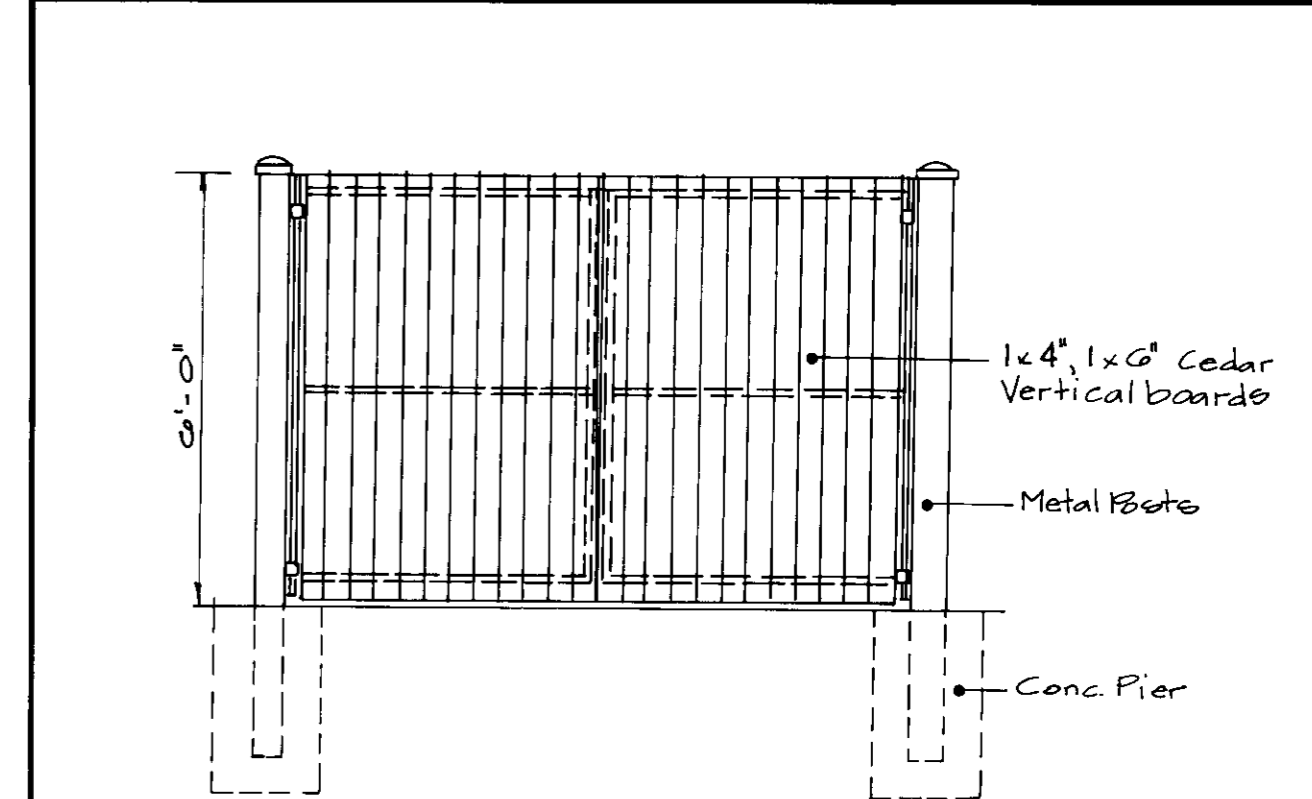
Reverse 6" Combination Curb & Gutter
N.T.S.



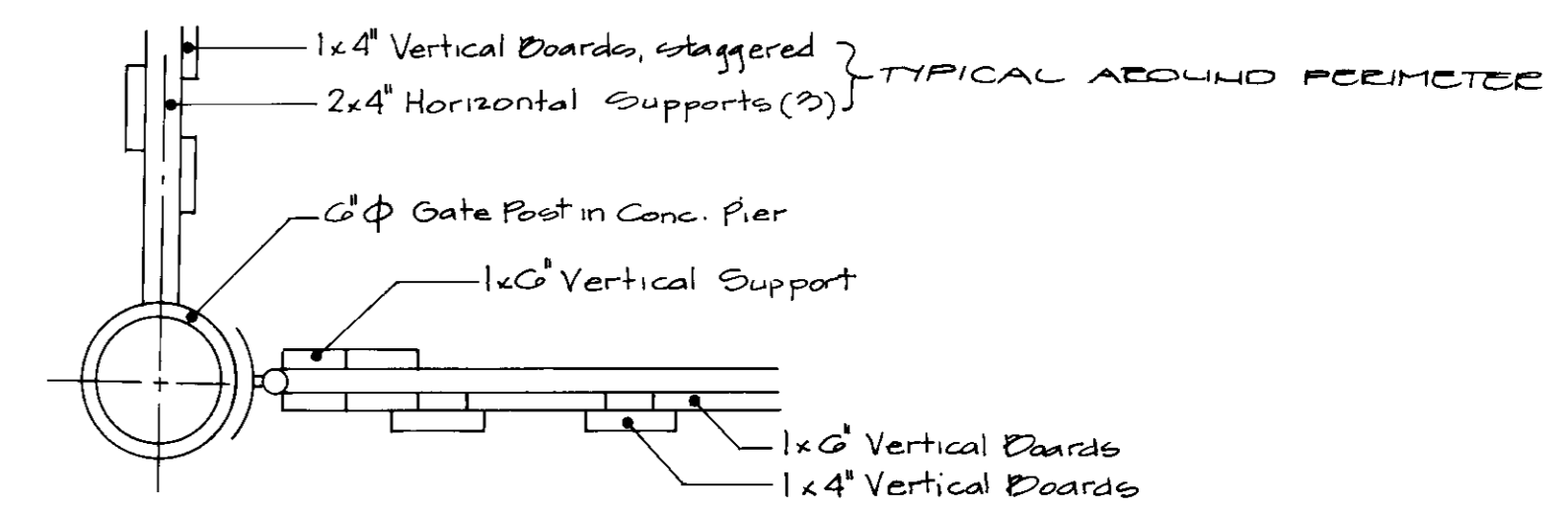
Standard 6" Combination Curb & Gutter
N.T.S.



Typical Grading @ Building Face of Storage Units
N.T.S.

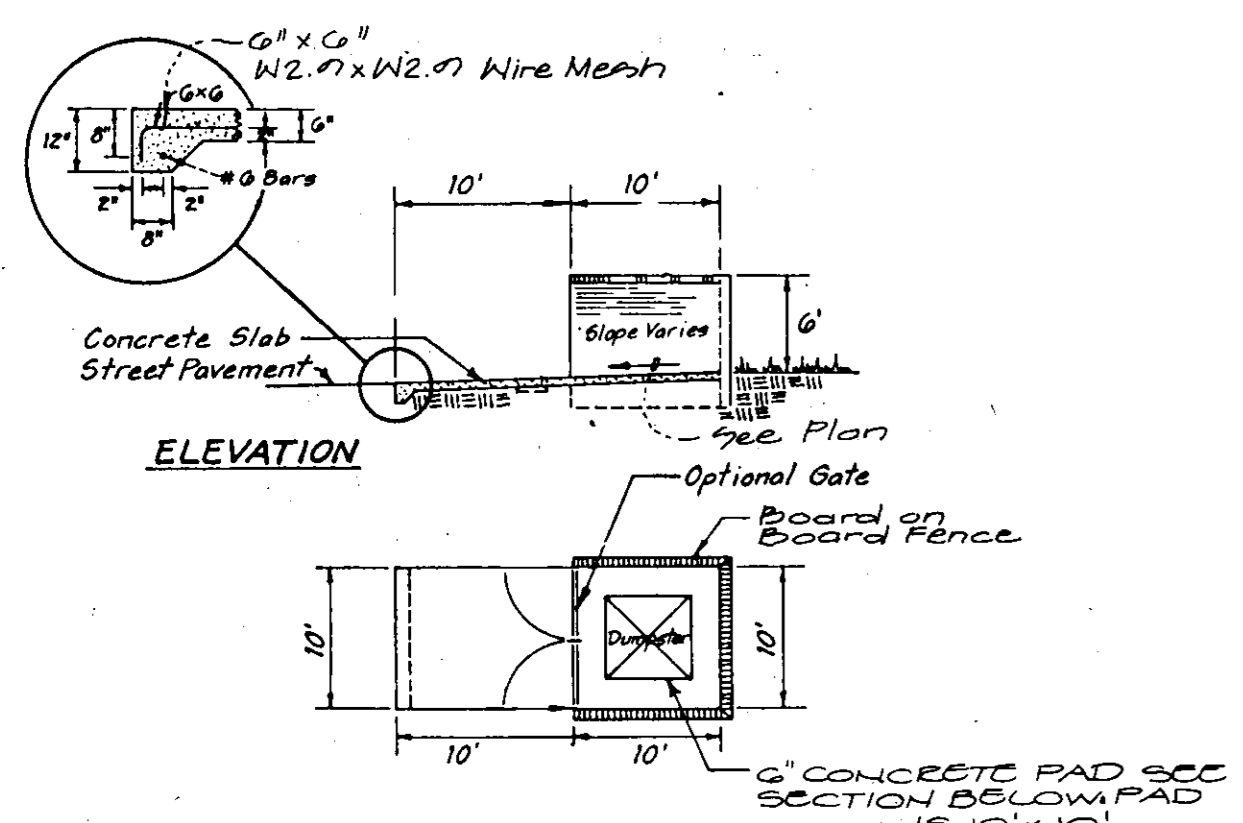


Gate Elevation
N.T.S.



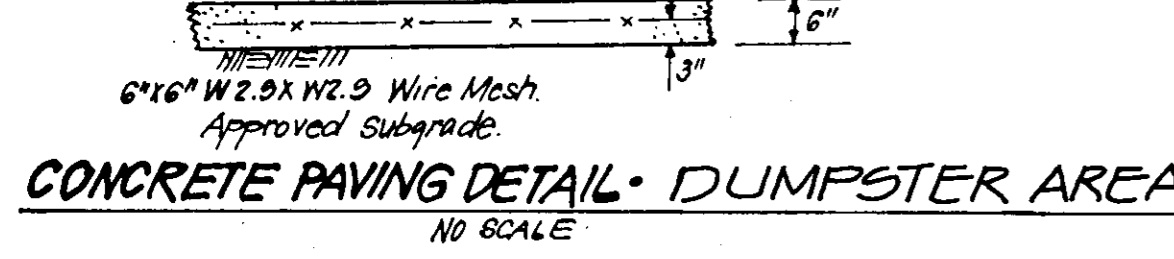
Gate Detail
N.T.S.

DETAILS OF SCREENING FENCE & GATE AT TRASH DUMPSTER ENCLOSURE

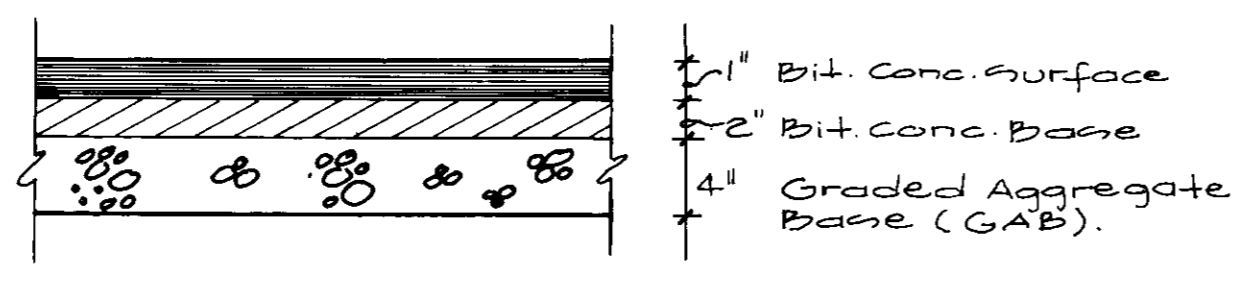


DUMPSTER PAD & ENCLOSURE
No Scale

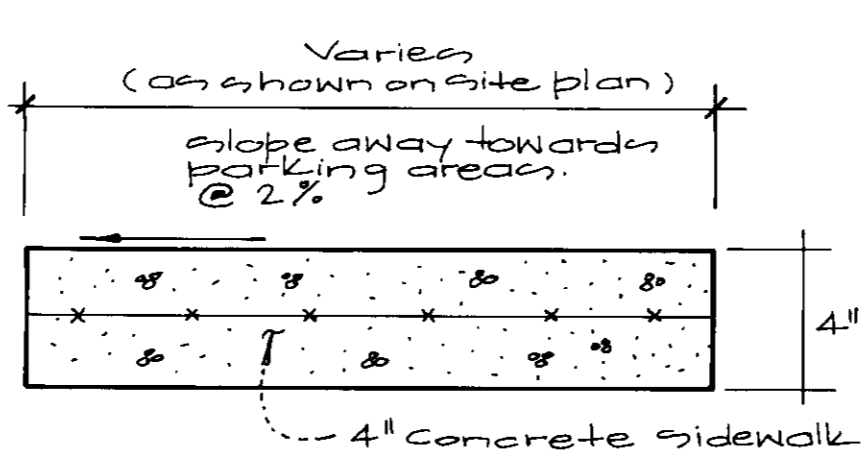
Notes:
1. Materials and Construction to be in accordance with Hb. Co. Specs & Specs.
2. See plan view for limits of conc. paving, shown thus:



CONCRETE PAVING DETAIL - DUMPSTER AREA
NO SCALE

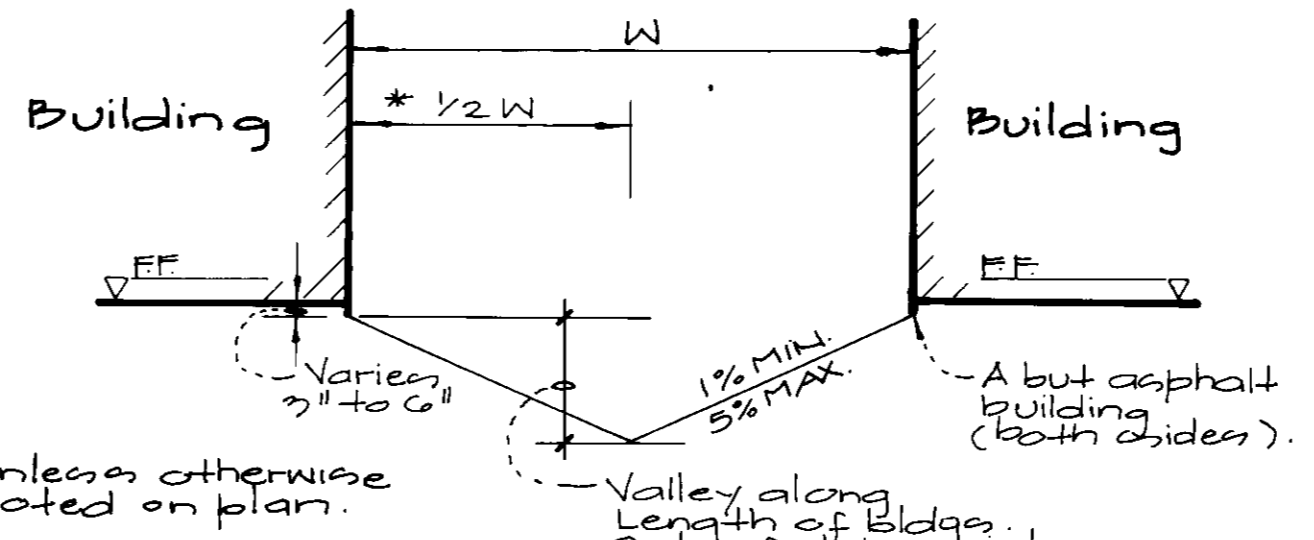


Paving Section: P-2
N.T.S.

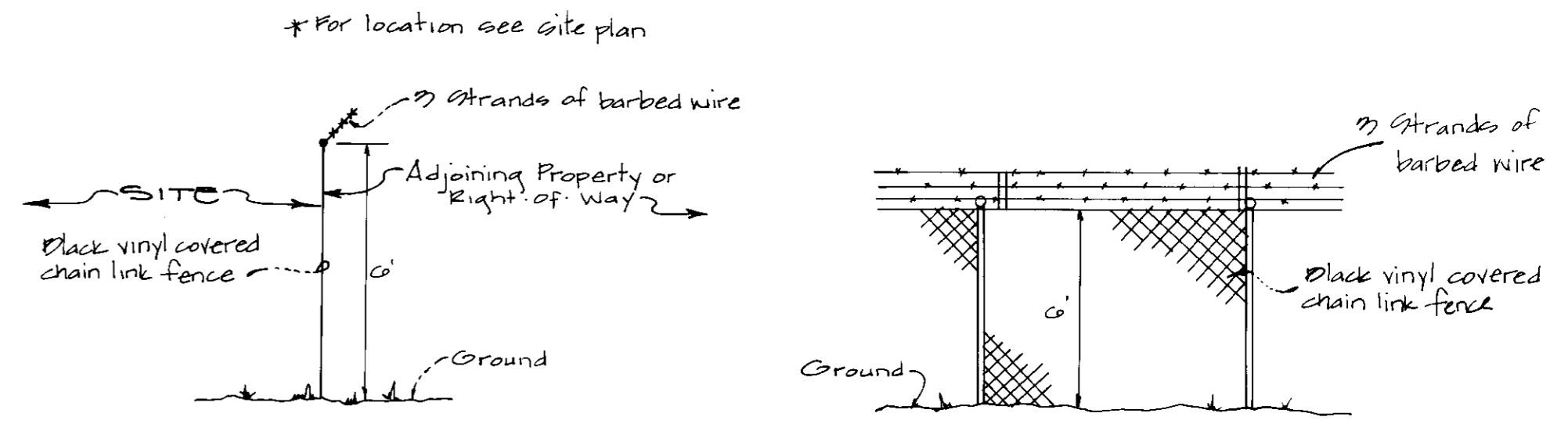


Note:
3000 p.s.i. 28 day strength, air-entrained medium broom finish texture, reinforce with flat sheets of 6" x 6", W1.4 x W1.4 (6" x 6" #10 x 10 WMM).

Typical On-site Sidewalk Detail
N.T.S.

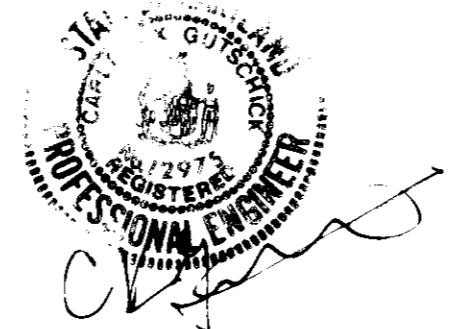


Typical Grading Section of Drive Aisle
N.T.S.



Detail of Chain Link Fence

County Health Officer	Date
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
Director	2/22/97
Cindy Hammit	9/18/97
Chief, Division of Land Development and Research	
Chief, Development Engineering Division	9/16/97



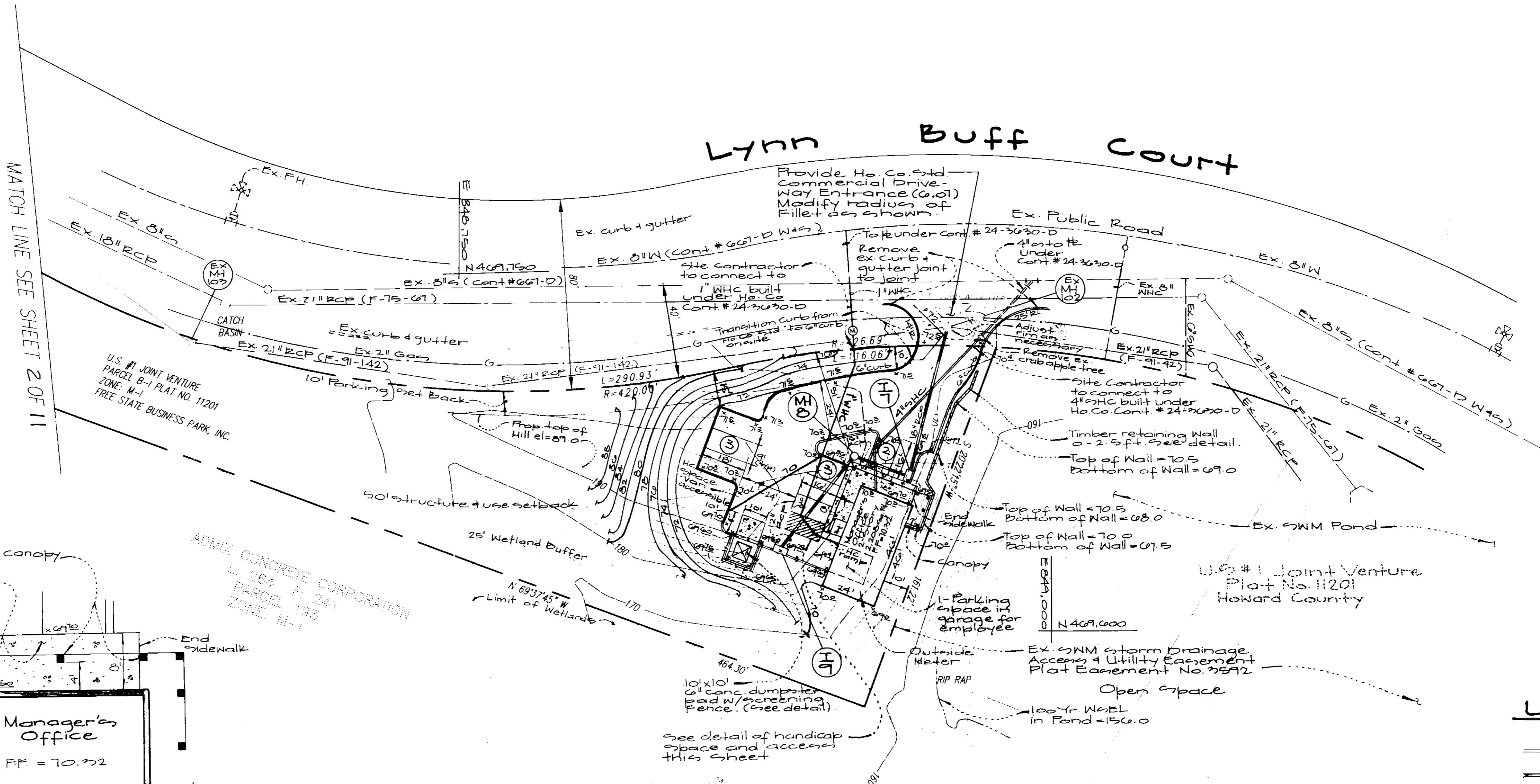
GW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
TELEPHONE (301)421-4024 NO VA (301)989-2524 BALTO (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.
7/11/97	Bid SET		
8-24-97	ADDRESSED HOWARD COUNTY COMMENTS		
8-3-97	PRELIMINARY PAVING		

PREPARED FOR:
Freemate Business Park, Inc.
c/o Adler Development Group
11950 Random Hills Road
Suite # 720
Fairfax, Va. 22030

Site Detail Sheet
U.S. #1 Joint Venture
Parcels: B-1, D-1 thru D-3, Plat no. 10285
Free State - Self Storage Facility
6th. Election District
Howard County, Maryland

DES.	SCALE	ZONING	G.L.W. FILE NO.
DRN.	As Shown	M-1	90090
CHK.	DATE	TAX MAP No.	SHEET
	April 1997	47	4 of 11

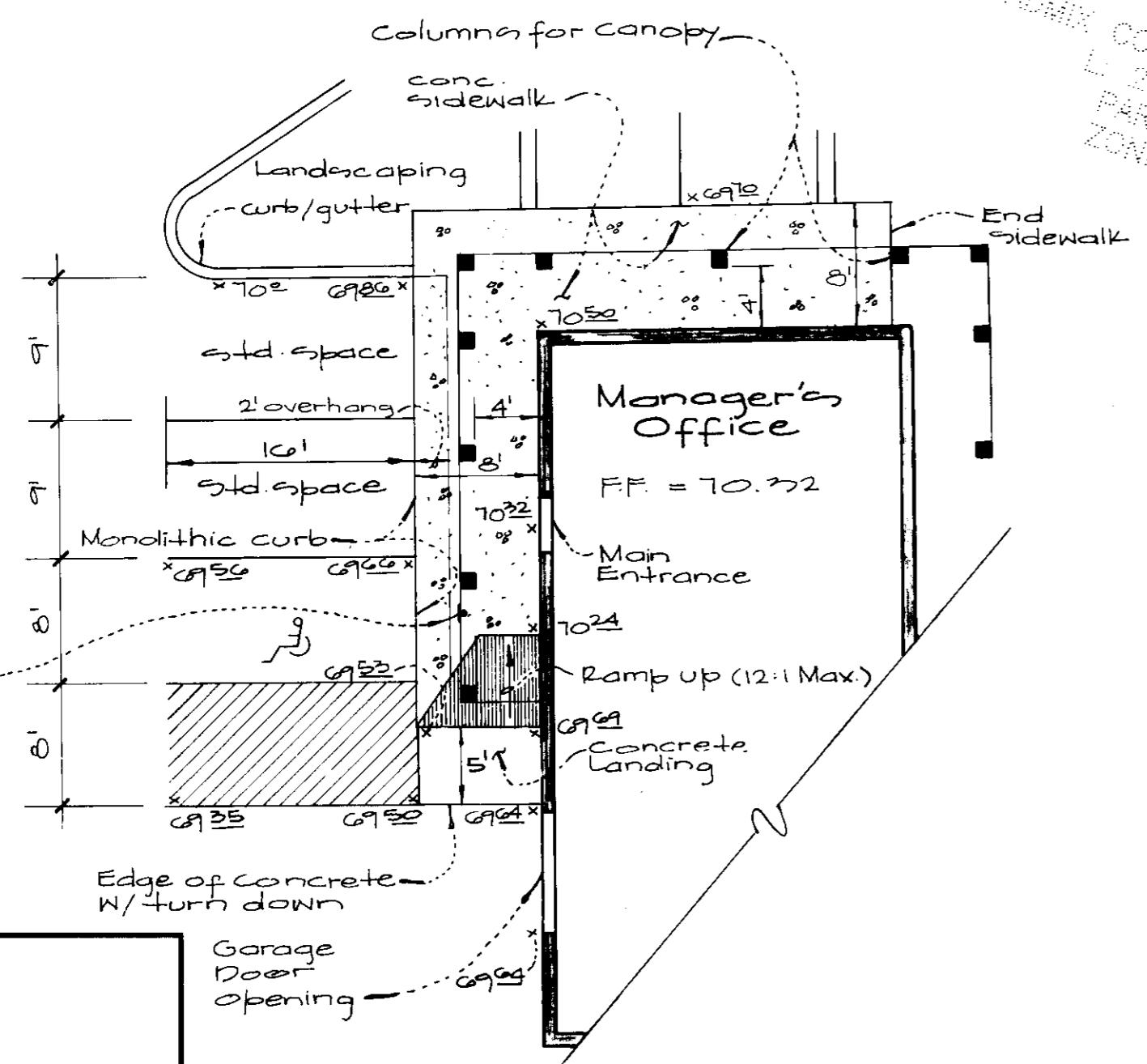


Lynn Buff Court

MATCH LINE SEE SHEET 2 OF 11

Legend

- ==== Standard Curb & Gutter
- ==== Reversed Curb & Gutter
- Existing Contour
- - - Proposed Contour
- + 67.15 Proposed spot Elevation



Detail of Handicap Access to Manager's Office
Scale: 1" = 10'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Logan Smith 9/22/97
Andy Hamilton 9/18/97
John Williams 9/16/97

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES:TMK DRN:GJ CHK:CKG

7.11.97	REVISED W/C TO 1"		
7.11.97	RIP SET		
7.1.97	Addressed Ho.Co. Comments		
6.2.97	Preliminary Pricing		
DATE	REVISION	BY	APP'R.

PREPARED FOR:
 OWNER:
 FREESTATE BUSINESS PARK, INC.
 C/O ADLER DEVELOPMENT GROUP
 11350 RANFORD HILLS ROAD, SUITE 720
 FAIRFAX, VA. 22030

SITE DEVELOPMENT PLAN
U.S. #1 JOINT VENTURE
 Parcels: B-1, D-1 thru D-3, Plat No. 10285, 11201
 FREE STATE - Self Storage Facility
 L.1410 F.12 HOWARD COUNTY, MARYLAND

SCALE 1" = 30'	ZONING M-1	G. L. W. FILE No. 90090
DATE APRIL 1997	TAX MAP No. 47	SHEET 3 OF 11

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule

- a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.
- b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').
- c. Minimum size for planting shade trees shall be 3-3 1/2" caliper, 14'-16' in height.
- d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3"-3 1/2" caliper, 10'-12' in height.
- e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.
- f. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3 1/2"	14'-16'	6'-8'	32" diameter
3 1/2" - 4"	14'-16'	8'-10'	36" diameter
4" - 4 1/2"	16'-18'	8'-10'	40" diameter
4 1/2" - 5"	16'-17'	10'-12'	44" diameter
5" - 5 1/2"	16'-20'	10'-12'	48" diameter
5 1/2" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

The planting of evergreen material shall be from March 1st to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B+B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

- a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.
- b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.
- c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.
- d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3 1/2" cal.	32"	64"	28"
3 1/2" - 4" cal.	36"	72"	32"
4" - 4 1/2" cal.	40"	80"	36"
4 1/2" - 5" cal.	44"	88"	40"
5" - 5 1/2" cal.	48"	96"	44"
5 1/2" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

- a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.
- b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.
- c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.
- d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail". All trees over 3" in caliper are to be planted and guyed in accordance with the attached "Typical Tree Guying Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

- a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.
- b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

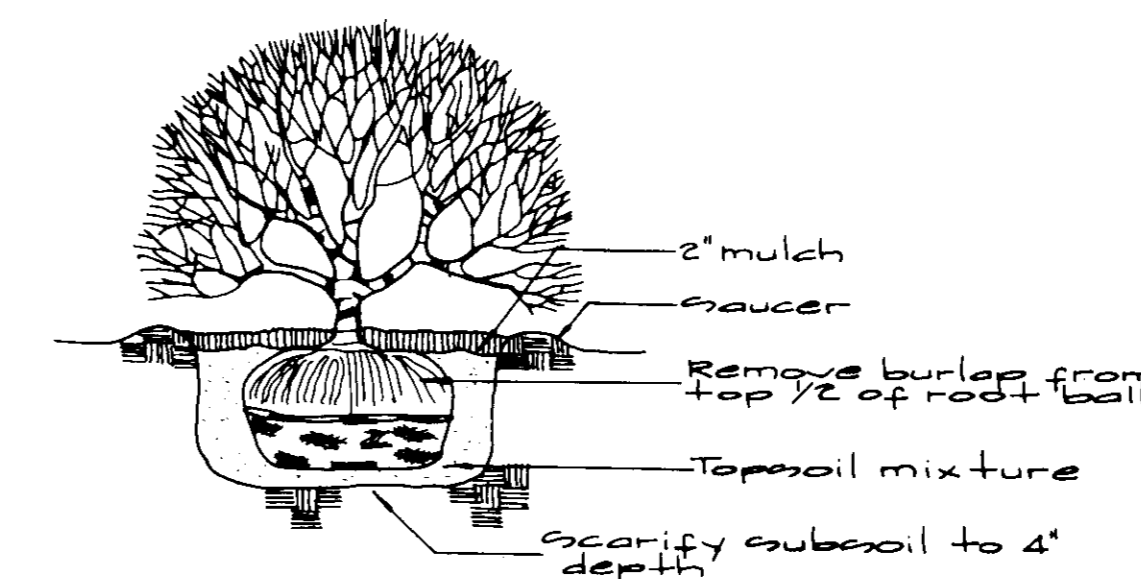
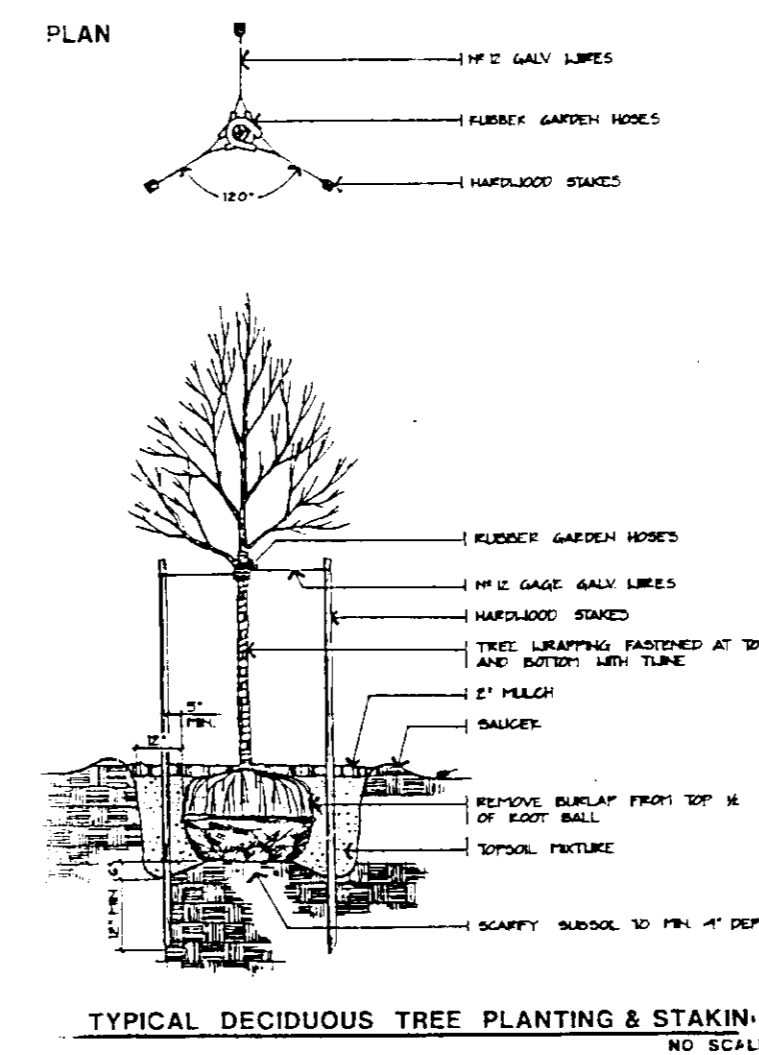
Sodding

All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.

PERIMETER LANDSCAPE EDGE ANALYSIS

PERIMETER NO.	TOTAL L.F.	DESCRIPTION	LANDSCAPE EDGE TYPE REQUIRED
1	857	80' - DRIVEWAY OPENING 300' - PARKING TO RIGHT-OF-WAY 167' - M-1 (SIDE) TO R/W	NONE E B
2	161	270' - EXISTING WOODS TO R/W	NONE
3	1061	761' - M-1 TO M-1 300' - EXISTING WOODS TO M-1	A NONE (100% CREDIT)
4	452	292' - M-1 TO M-1 160' - EXISTING WOODS TO M-1	A NONE (100% CREDIT)
5	309	29' - M-1 TO M-1 280' - EXISTING WOODS TO M-1	A NONE (100% CREDIT)
6	795	INTERNAL PARCEL EDGE.	NONE



SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	B	E A
Linear Feet of Roadway Frontage/Perimeter (EXCLUDE CREDITS)	107	700 1082
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	SEE PERIMETER LANDSCAPE EDGE ANALYSIS	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)		
Number of Plants Required		
Shade Trees	4	18
Evergreen Trees	5	-
Shrubs	-	75
Number of Plants Provided		
Shade Trees	4	18
Evergreen Trees	8	3*
Other Trees (2:1 substitution)	-	-
Shrubs (10:1 substitution)	-	75
(Describe plant substitution credits below if needed)		

TOTAL SHADE TREE EQUIVALENT
22
45 = 38.8
5.3

* AS VOLUNTARY PLANTING OF SOUTH SIDE OF BLDG. 'F'

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	24
Number of Trees Required	1
Number of Trees Provided	1
Shade Trees	
Other Trees (2:1 substitution)	

Approved: Howard County Department of Planning & Zoning
Director
Candy Hammit
Chief of Land Development
Chief Development Engineering

9/22/97
9/18/97
9/16/97



GW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866

TELEPHONE (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-8200 FAX (301)421-4186

DATE	REVISION	BY	APP'R.
7.11.97	BID SET		
7.1.97	ADDRESSED HO. CO. COMMENTS		
6.3.97	PRELIMINARY PRICING		

PREPARED FOR:
FREESTATE BUSINESS PARK, INC.
96 ADLER DEVELOPMENT GROUP
11350 RADOMHILLS ROAD SUITE 200
FAIRFAX, VA. 22023

Planting Notes & Details

U.S. #1 JOINT VENTURE

PARCELS: B-1, D-1 THRU D-3

FREESTATE SELF STORAGE FACILITY
HOWARD COUNTY, MARYLAND

6th ELECTION DISTRICT

DES.:	SCALE	ZONING	G.L.W. FILE NO.
MBT	As Shown	M-1	90-090
DRN.:	DATE	TAX MAP NO.	SHEET
HKJ	APRIL 1997	47	11 of 11
CHK.:			