SITE DEVELOPMENT PLAN
DORSEY HALL
SECTION 2 AREA 5 PARCEL 0-7
ASSISTED LIVING FACILITY
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
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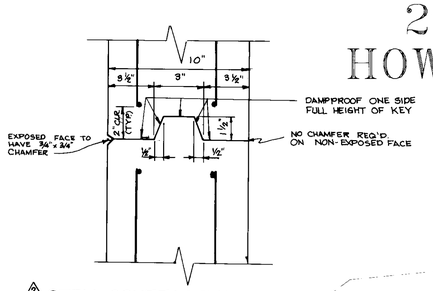
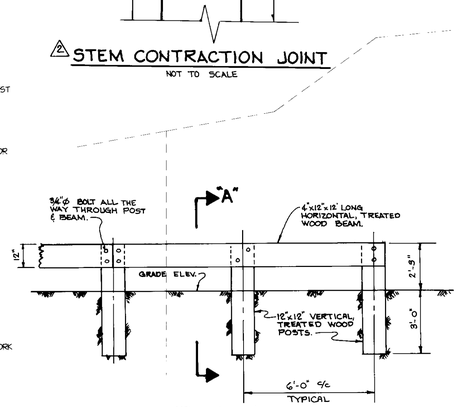
GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
6. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOC. DATED JANUARY, 1997.
7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
8. WATER SERVICE IS PUBLIC, CONTRACT NO. 24-1727-D.
9. SEWER SERVICE IS PUBLIC. SEWER DRAINAGE AREA: 10BPS. TREATMENT PLANT: LITTLE PATUXENT CONTRACT NO. 24-1727-D.
10. THE STORMWATER MANAGEMENT QUANTITY FACILITY IS OFF-SITE UNDER F-85-16. WATER QUALITY IS PROVIDED BY AN ON-SITE, PRIVATELY MAINTAINED STORMCEPTOR MANHOLE.
11. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
12. A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT. FLOODPLAIN IS SHOWN AT PROPERTY LINE PER PLAT #8886.
13. A APFO TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT AS NO ALLOCATIONS ARE ISSUED FOR THIS DEVELOPMENT.
14. A NOISE STUDY HAS BEEN PREPARED BY RIEMER MUEGGE & ASSOC. DATED MARCH 1997.
15. NO GEOTECHNICAL STUDY FOR SWM IS REQUIRED FOR THIS PROJECT AS THIS SITE HAS BEEN MASS GRADED.
16. THE BOUNDARY FOR THIS PROJECT IS BASED ON PREVIOUSLY RECORDED PLAT NO. 12690.
17. SUBJECT PROPERTY ZONED POR PER 10-18-93 COMPREHENSIVE ZONING PLAN.
18. ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
19. SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S S-78-20, P-84-27, P-86-26, F-85-16, F-85-56, VP-87-97, F-88-37, F-89-247 & PB-184, F-91-06, F-97-139.
20. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
21. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
22. PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
23. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
24. ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN F16. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
25. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
26. ALL PIPE ELEVATIONS SHOWN ARE INVERT ⌀ ELEVATIONS.
27. STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.e., S ANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
28. PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
29. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
30. REINFORCED CONCRETE CIRCULAR PIPE (RCCP) MAY BE USED AS AN ALTERNATE TO ADS N-12 PIPING FOR THE STORM DRAIN SYSTEM ONLY. ALL STORM DRAIN PIPE TO BE INSTALLED PER SECTION 908 OF HO. CO. DESIGN MANUAL VOL IV.
31. THE PAVEMENT DETAILS SHOWN ON THESE PLANS REFLECT THE HOWARD COUNTY MINIMUM STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITU TESTING OF THE FINISHED SUBGRADE. THE TESTING AND GEOTECHNICAL ENGINEER SHALL BE FURNISHED BY THE OWNER. IF THE PAVING SECTION REQUIRED IS LESS THAN THE COUNTY MINIMUM, APPROVAL FROM THE COUNTY WILL BE NECESSARY.
32. THE 65 dBA NOISE CONTOUR LINE REPRESENTS THE APPROXIMATE LOCATION OF THE 65 dBA (DECIBEL) NOISE EXPOSURE GENERATED BY ROUTE 29 TRAFFIC IN THE YEAR 2015 BASED UPON ASSUMPTIONS ABOUT ACTUAL CONDITIONS AT THAT TIME. THIS VALUE REPRESENTS THE AVERAGE SOUND LEVEL DURING THE SINGLE NOISIEST ONE-HOUR PERIOD OF VEHICULAR TRAFFIC DURING A TYPICAL DAY. THIS CALCULATION IS BASED ON THE SHA ESTIMATE OF THE YEAR 2015 HIGHWAY TRAFFIC VOLUME. THE CONTOUR LINE DRAWN ON THIS PLAN IS ADVISORY AS REQUIRED BY THE HO. CO. DESIGN MANUAL, CHAPTER 5 REVISED FEB. 1992 AND CANNOT BE CONSIDERED TO LOCATE EXACTLY THE 65 dBA EXPOSURE. THE 65 dBA THRESHOLD WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. THE PROPOSED BUILDING'S ARCHITECTURAL DESIGN WILL REDUCE THE EXTERIOR NOISE LEVEL TO A MAX. OF 45 dBA WITHIN THE DWELLING UNITS.
33. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS OR STREAM BUFFERS EXCEPT AS DETERMINED ESSENTIAL BY THE DEPARMENT OF PLANNING AND ZONING IN ACCORDANCE WITH SECTION 16.116 (c) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

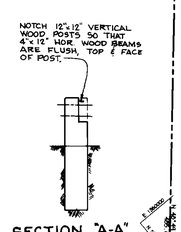


⚠ STEM CONTRACTION JOINT
NOT TO SCALE



NOTE: POSTS & BEAMS TO BE STAINED DARK BROWN. I.E. OXFORD BROWN OLYMPIC STAIN.

⚠ WOOD GUARDRAIL DETAIL
NOT TO SCALE



SECTION "A-A"
NO SCALE

PLAN
SCALE: 1"=50'

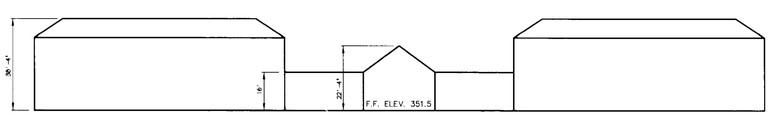
⚠ GENERAL NOTES ; RETAINING WALL SPECIFICATIONS

DESIGN PARAMETERS:

ALLOWABLE BEARING PRESSURE	2500 Lbs/Ft²
SOIL WEIGHT	120 Lbs/Ft²
REINFORCING STEEL DESIGN	f_c = 12.00 PSI f_s = 2400 PSI
CONCRETE DESIGN	SERVICE LOAD DESIGN METHOD

CHAMFER
ALL EXPOSED CORNERS OF CONCRETE SHALL BE CHAMFERED WITH ¾" x ¾" MILLED CHAMFER STRIPS, EXCEPT ON UNEXPOSED FOOTINGS OR WHERE INDICATED BY THE FOLLOWING NOTATION ON THE PLANS, "DO NOT CHAMFER."

REINFORCING STEEL
REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60. ALL SPLICES NOT SHOWN SHALL BE LAPPED AS PER BAR LAP CHARTS. MINIMUM COVER FOR ANY BAR SHALL BE 2" UNLESS OTHERWISE NOTED WITH THE EXCEPTION OF BARS AT THE BOTTOM OF ALL FOOTINGS WHICH SHALL HAVE A 3" MINIMUM COVER.



NOTE: SEE ARCHITECTURAL DRAWINGS FOR COMPLETE BUILDING DETAILS AND ELEVATIONS.

FRONT BUILDING ELEVATION
NO SCALE

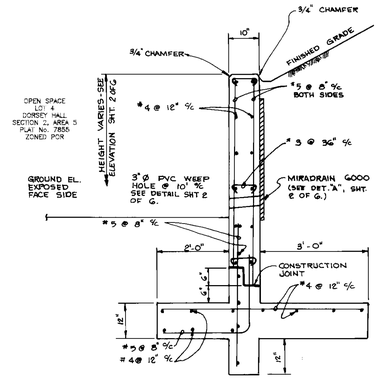
⚠ KEYS
ALL KEYS ARE NOMINAL SIZE.

JOINTS
1. JOINT LOCATIONS AS SHOWN ON DRAWING.
2. STOP KEY 9' BELOW TOP OF WALL.
3. REINFORCING STEEL SHALL NOT PASS THROUGH VERTICAL CONTRACTION OR EXPANSION JOINT.
4. CONTRACTION & EXPANSION JOINTS TO BE IN STEM ONLY. (NOT IN FOOTINGS).

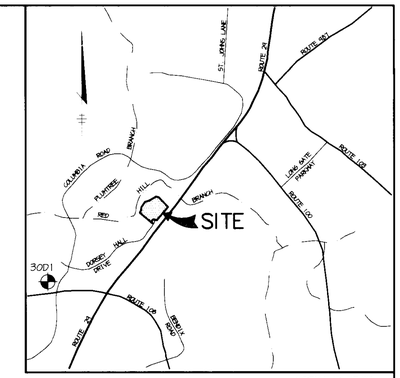
CONCRETE
CONCRETE FOR RETAINING WALLS TO BE MIX NO. 3 (3500 PSI)

FENCE
MATERIALS TO MEET REQUIREMENTS OF AASHTO M-181. MESH TO BE FIXED TO FRAME WITH 9 GALVANIZED STEEL WIRE.

COMPACTION
1. BACKFILL TO BE PLACED IN 6" LAYERS & COMPACTED TO 95% MOD-AASHTO.
2. BACKFILL TO BE BROUGHT UP EVENLY ON BOTH SIDES OF WALL TO AVOID OVERLOADING WALL BY BACKFILLING ONE ONE SIDE ONLY.



△ SECTION "B-B"
CONCRETE RETAINING WALL
NO SCALE



VICINITY MAP
SCALE: 1" = 2000'

BENCHMARKS

SURVEY CONTROL STATION 30BA
N 573,149.04 E 1,357,083.22
ELEVATION 397.91

SURVEY CONTROL STATION 30D1
N 572,311.62 E 1,353,139.10
ELEVATION 409.97

SITE ANALYSIS

AREA OF PARCEL	4.078 ACRES (177,638 SF)
DISTURBED AREA	3.53 ACRES
PRESENT ZONING	POR
PROPOSED USE	ASSISTED LIVING FACILITY (110 UNITS, 119 BEDS) ⚠1
BUILDING COVERAGE	86,390 SF (48.6% OF SITE)
FIRST FLOOR	36,910 SF
SECOND FLOOR	24,740 SF
THIRD FLOOR	24,740 SF
# OF PARKING SPACES REQUIRED @ 1 SP./2 BEDS*	⚠1 60 SPACES
# OF PARKING SPACES PROVIDED	⚠ 55 SPACES (INCL. 3 HC)

* PER HOWARD COUNTY ZONING REGULATIONS SECT. 133 D.7(f) ⚠1 HOWEVER, PER LETTER FROM DEVELOPER DATED SEPT. 2, 1997 THE ACTUAL PARKING REQUIRED FOR THIS DEVELOPMENT IS 44 SPACES. THE DIVISION OF LAND DEVELOPMENT APPROVED THE USE OF 55 PARKING SPACES TO SERVE 119 BEDS BASED UPON INFORMATION SUBMITTED BY THE DEVELOPER ON SEPT. 8, 1997.

ADDRESS CHART

PARCEL	STREET ADDRESS
0-7	5330 DORSEY HALL DRIVE

SUBDIVISION NAME - DORSEY HALL			SECT/AREA - 2/5		PARCEL - 0-7
PLAT # - 12690	BLOCK # - 4	ZONING - POR	TAX MAP NO. - 30	ELECT. DIST. - 2nd	CENSUS TRACT - 6023.01
WATER CODE - F 08			SEWER CODE - 5'150600		

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR — DATE 7/18/97

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 7/17/97

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 7/18/97

DATE	NO.	REVISION
8-9-98	⚠	REVISED PLAN VIEW, ADDED DETAILS & SECTIONS; ADDED GENERAL NOTES & RETAIN. WALL SPECS.
9/18/97	⚠	UPDATED NUMBER OF PROPOSED BEDS, ADDED NOTE PERTAINING TO PARKING.

OWNER: THE HOWARD RESEARCH & DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
(410) 992-6000

DEVELOPER: CAREMATRIX CORPORATION
197 FIRST AVENUE
NEEDHAM, MA. 02194
(617) 433-1000

PROJECT
DORSEY HALL
ASSISTED LIVING FACILITY

AREA DORSEY HALL SECT 2 AREA 5 PARCEL 0-7
ZONED POR TAX MAP 30 BLOCK 4
2nd ELECTION DISTRICT HOWARD COUNTY, MD.

TITLE
TITLE SHEET

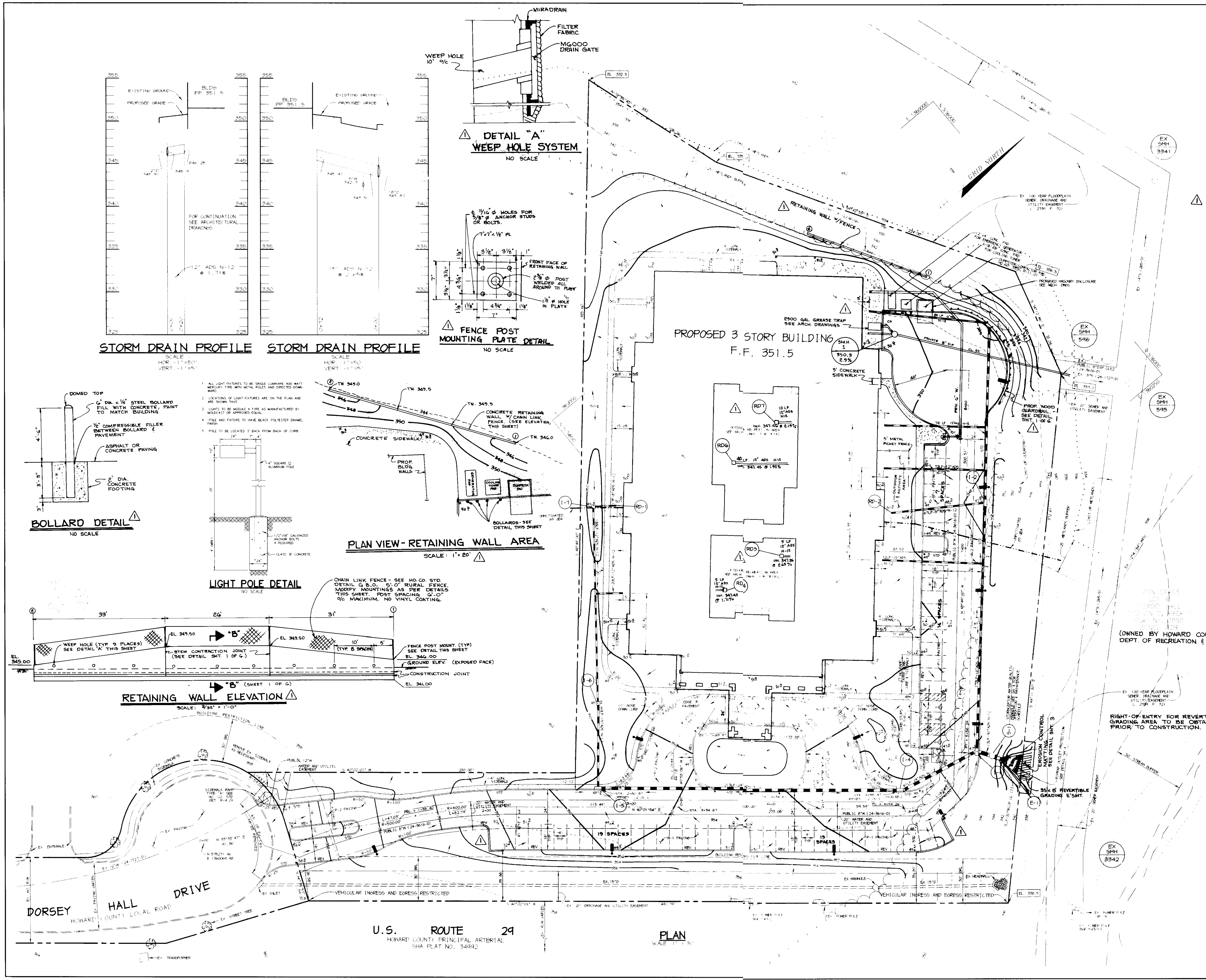
RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING ● ENVIRONMENTAL SERVICES ● PLANNING ● SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

6.27.97
DATE

J. Parekh
JAYKANT D. PAREKH #19148

DESIGNED BY : C.J.R.	
DRAWN BY: DAM	
PROJECT NO : 96084 SDP1.DWG	
DATE : JUNE 27, 1997	
SCALE : AS SHOWN	
DRAWING NO. 1 OF 6	

SDP-97-102



NOTES

1. ALL CURB RADII ARE 5' UNLESS OTHERWISE LABELED.
2. ALL SITE LIGHTING TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT RESIDENTIALLY ZONED PROPERTIES AND PUBLIC ROADS AND TO BE IN ACCORDANCE WITH BILL #' - 1997 (ZRA-8)
3. ALL ON-SITE ROADS ARE PRIVATE.
4. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
5. THIS BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
6. THE STORM DRAIN SYSTEM SHALL BE BUILT ACCORDING TO THE CRITERIA IN SECTION 908 OF THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, "NONMETALLIC PIPES AND DRAINAGE TILES"
7. SEE SHEET 1 FOR BUILDING DIMENSIONS AND TIE-DOWNS.

RETAINING WALL - CORNER COORDINATES

①	N. 575917.18	E. 1360090.57
②	N. 575872.69	E. 1360012.34

LEGEND

STD / REV	STANDARD/REVERSE CURB AND GUTTER TRANSITION
	P-1 PAVING
	P-2 PAVING
ELEV.	100 YEAR FLOODPLAIN ELEVATION L. 2793 F. 321
	CONCRETE SIDEWALK
	25% OR GREATER SLOPES
	15% - 24.9% SLOPES
—·—·—·—	UNMITIGATED 65 dBA
	25' HIGH LIGHT POST WITH 250 WATT LAMP

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR — 7/18/97 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION — 7/17/97 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT — 7/18/97 DATE

DATE	NO.	REVISION
3-9-98	1	REV. LAYOUT OF LOADING AREA & PAD LOCATIONS: ADDED RETAIN. WALL, GUARDRAIL & DETAILS.

OWNER: THE HOWARD RESEARCH & DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
(410) 992-6000

DEVELOPER: CAREMATRIX CORPORATION
197 FIRST AVENUE
NEEDHAM, MA. 02194
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PROJECT
DORSEY HALL
ASSISTED LIVING FACILITY

AREA DORSEY HALL SECT 2 AREA 5 PARCEL O-7
ZONED POR TAX MAP 30 BLOCK 4
2nd ELECTION DISTRICT HOWARD COUNTY, MD.

TITLE
SITE DEVELOPMENT PLAN

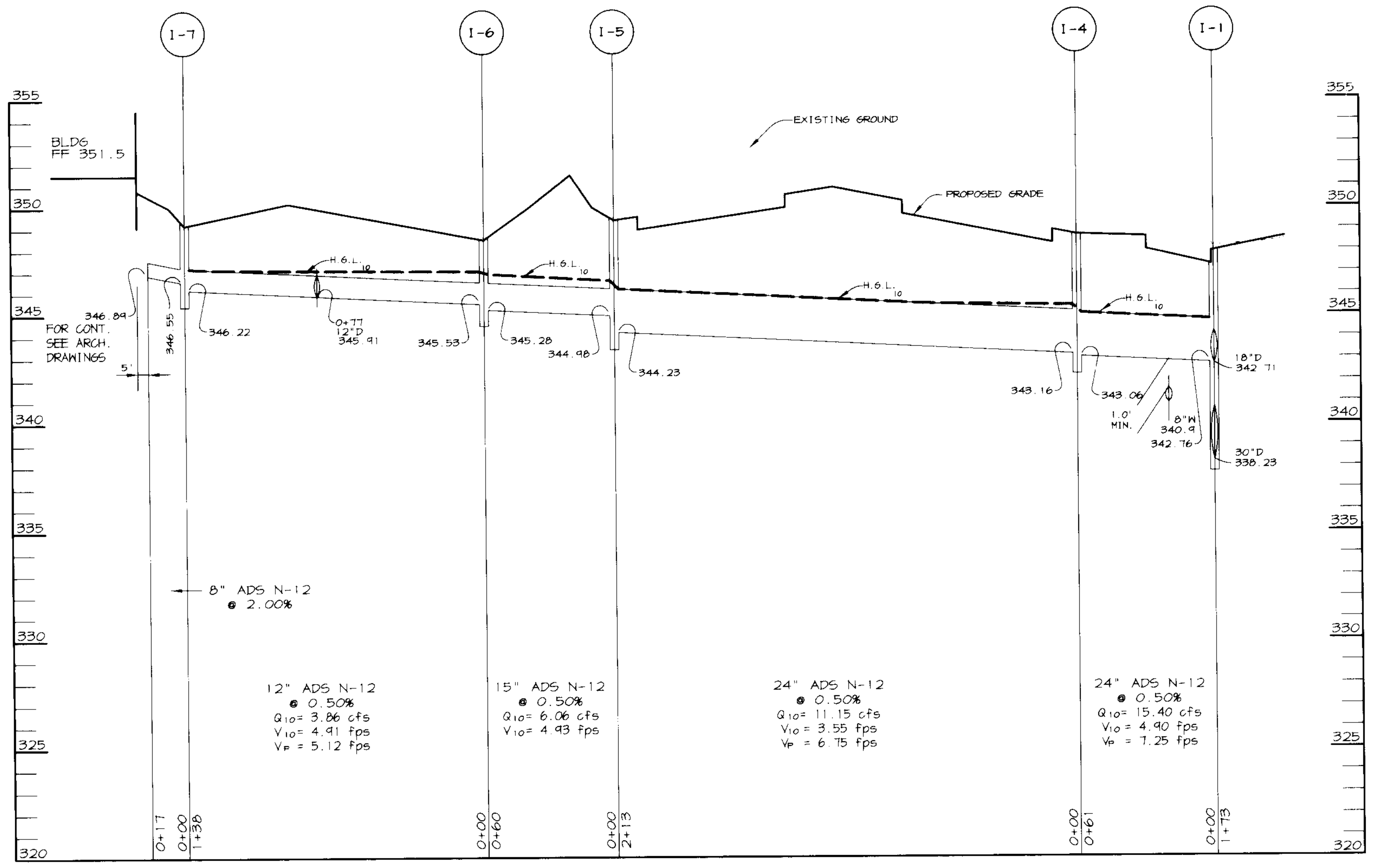
RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

6.27.97
DATE

JAYKANT D. PAREKH #19148

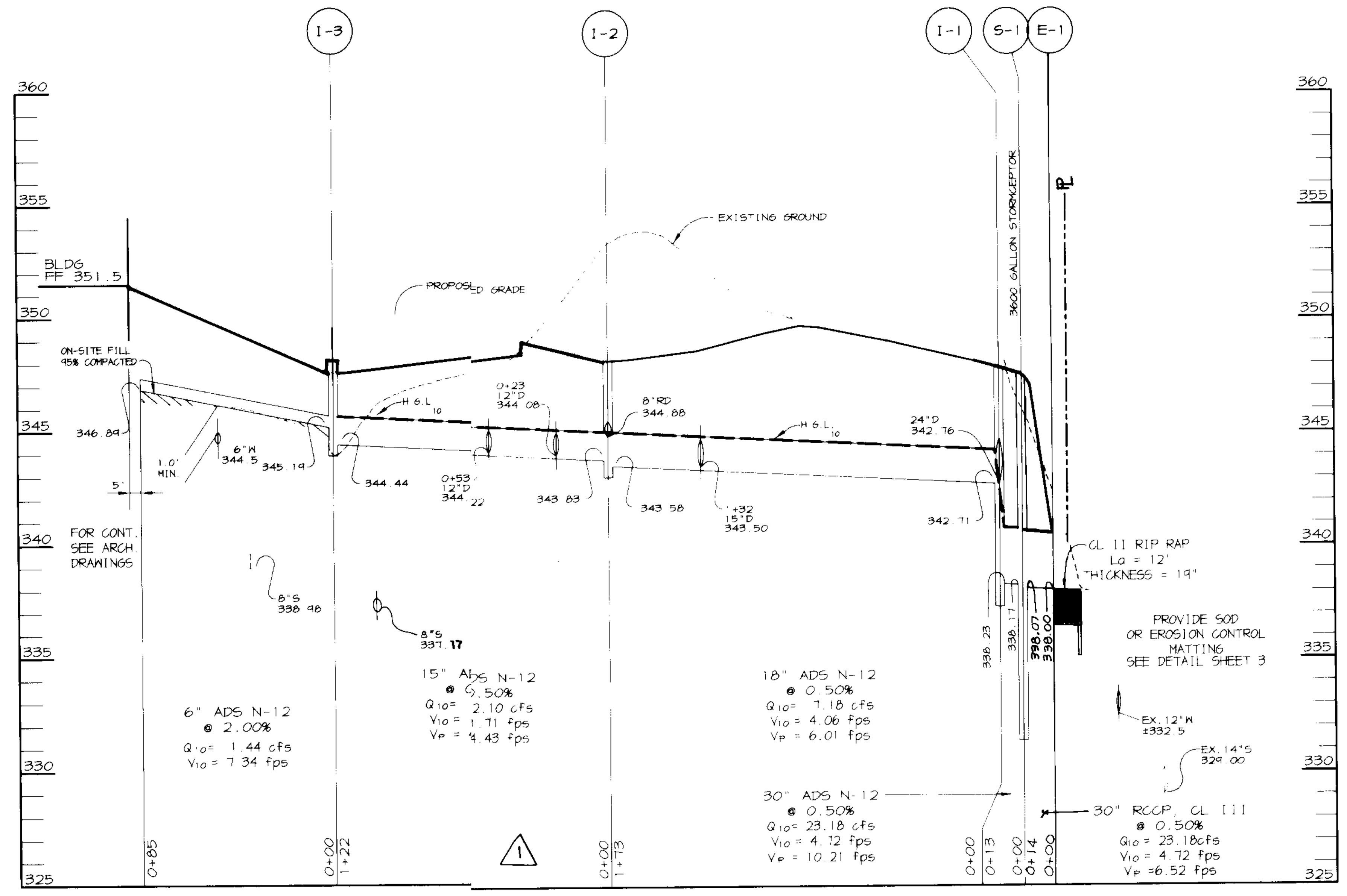
DESIGNED BY : C.J.R.	
DRAWN BY: DAM	
PROJECT NO : 96084 SDP2.DWG	
DATE : JUNE 27, 1997	
SCALE : AS SHOWN	
DRAWING NO. 2 OF 6	

SDP-97-102



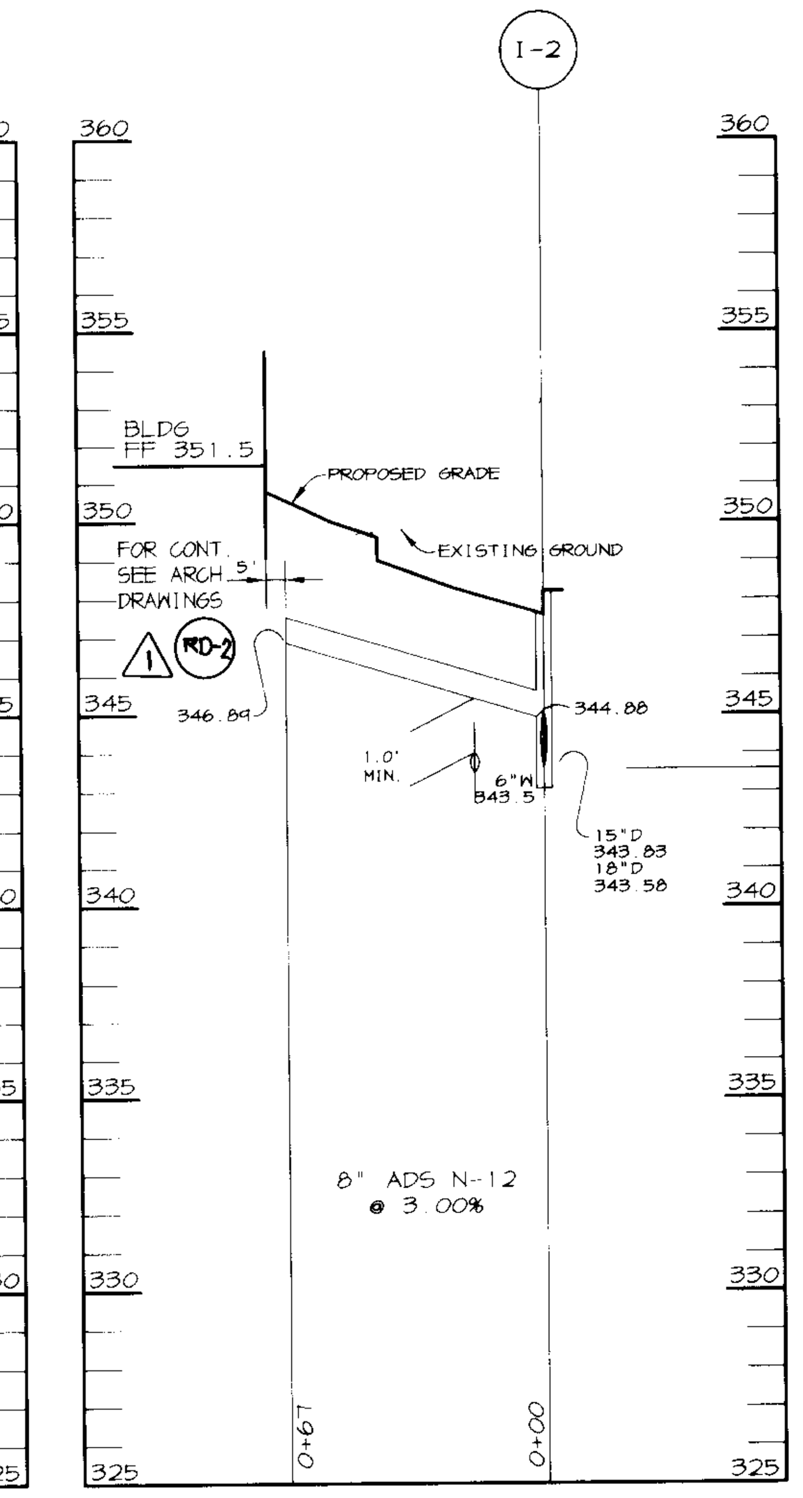
STORM DRAIN PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5'



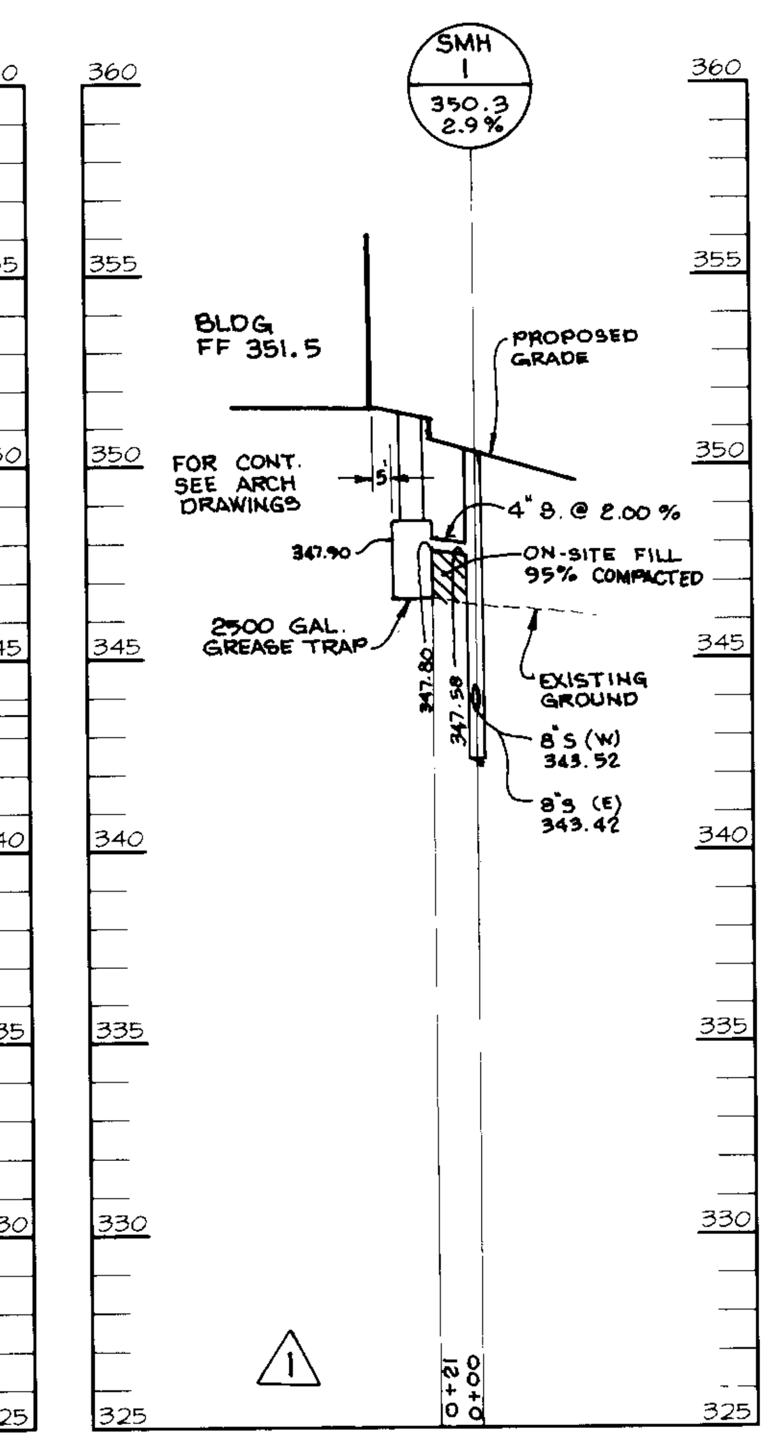
STORM DRAIN PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5



STORM DRAIN PROFILE

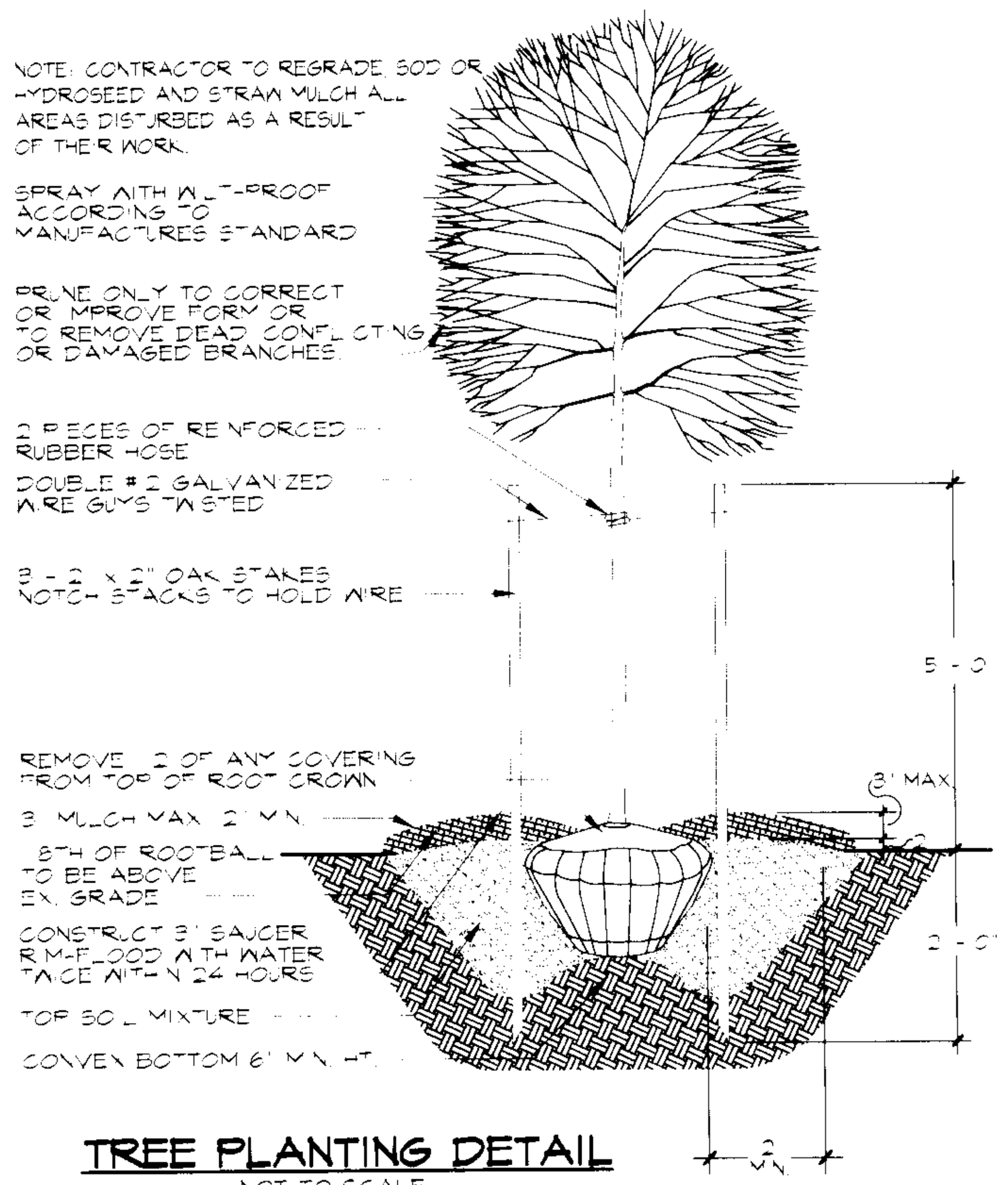
SCALE :
HOR. -1"=50'
VERT. -1"=5'



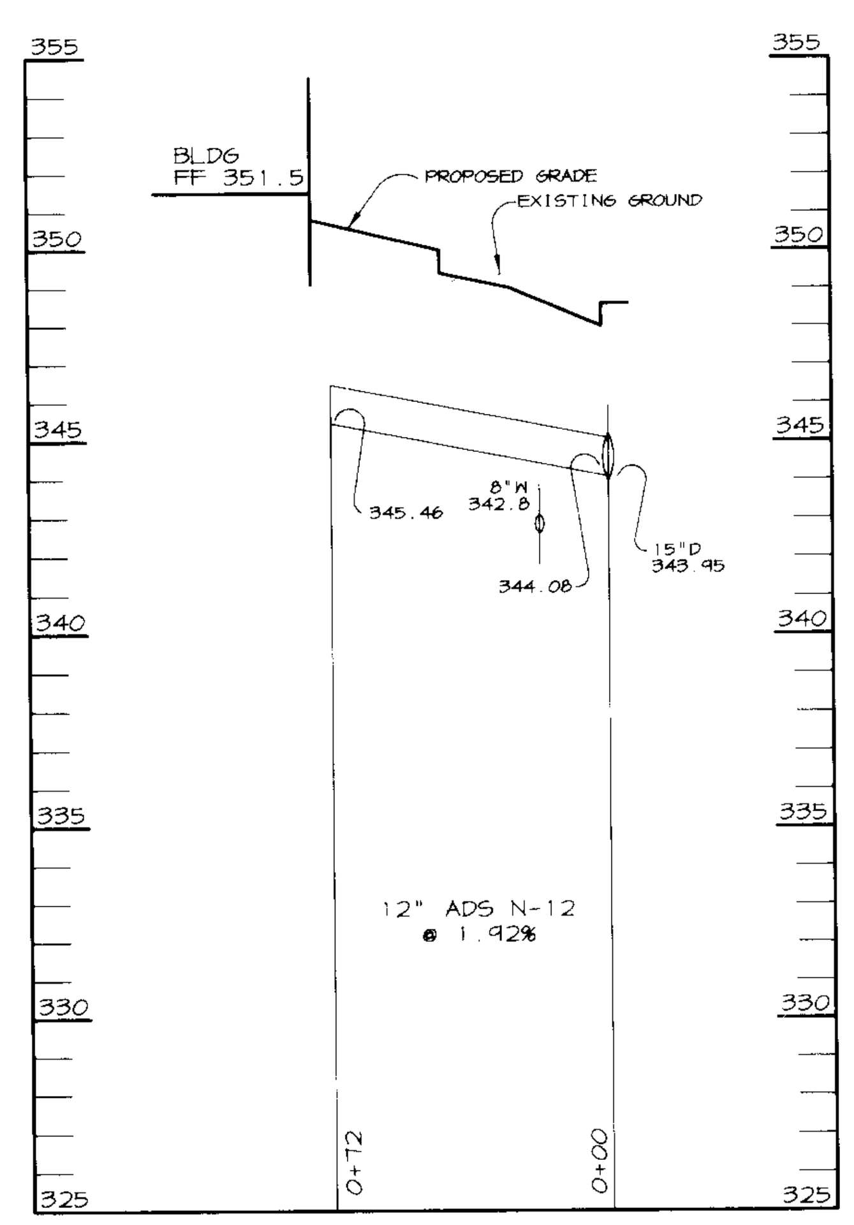
SEWER PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5'

PLANTING DETAILS

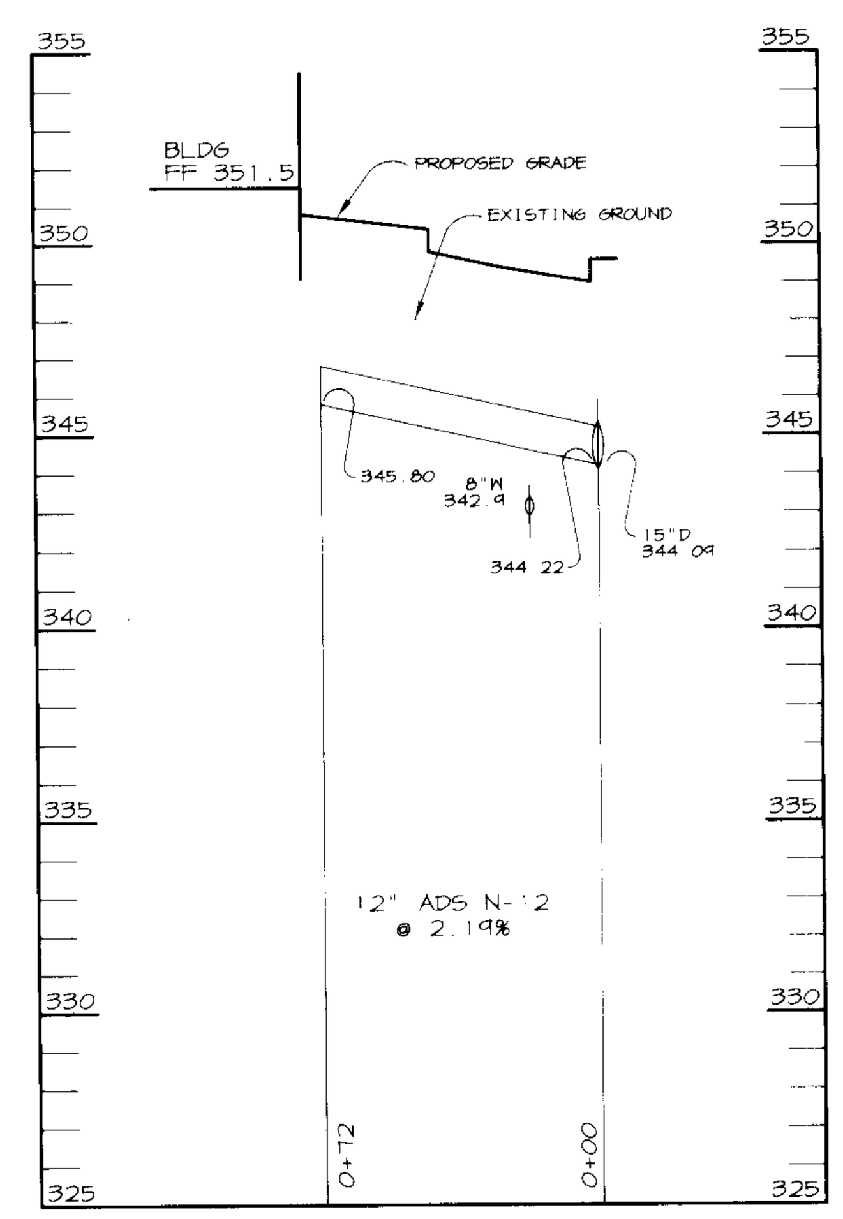


TREE PLANTING DETAIL
NOT TO SCALE



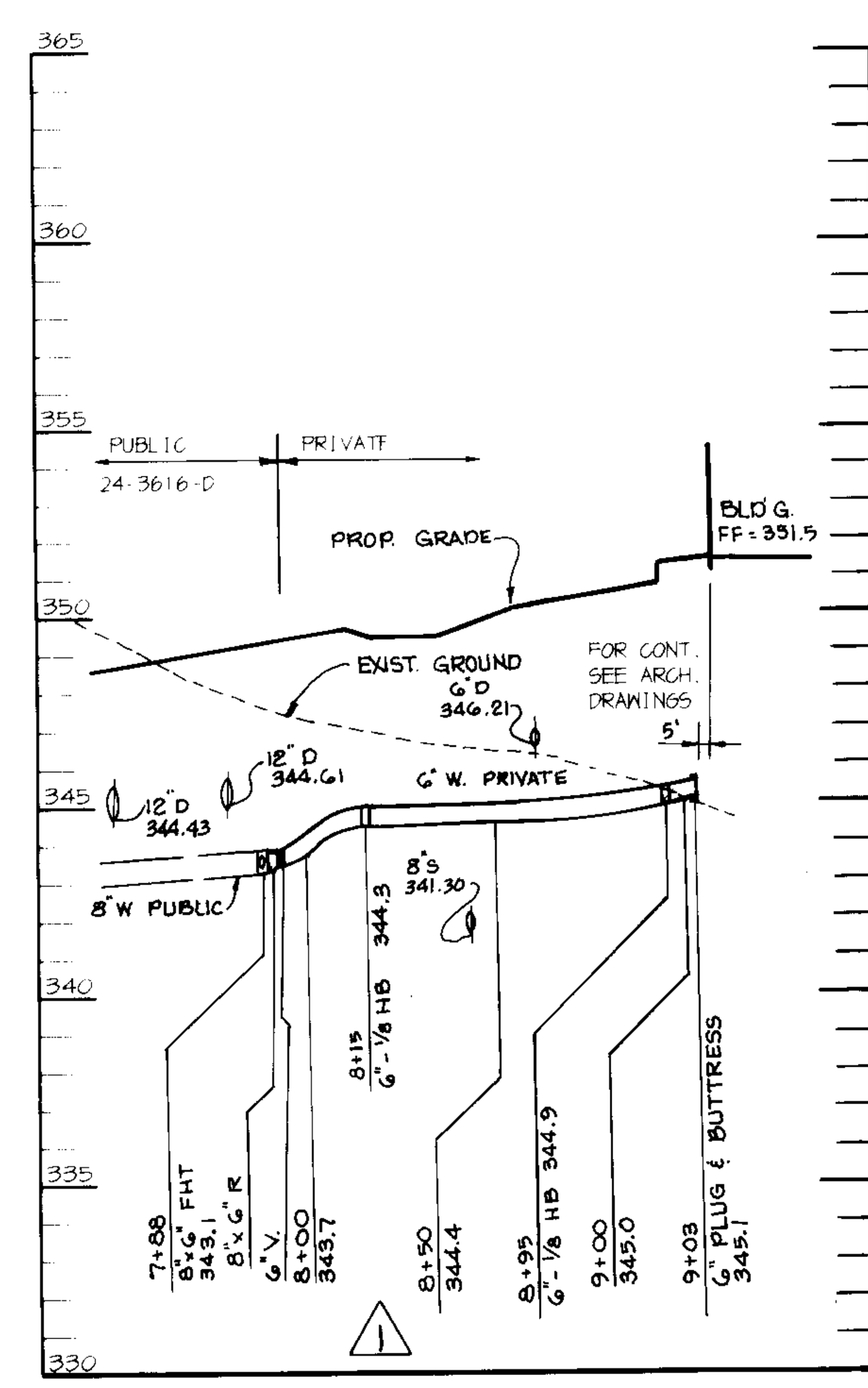
STORM DRAIN PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5'



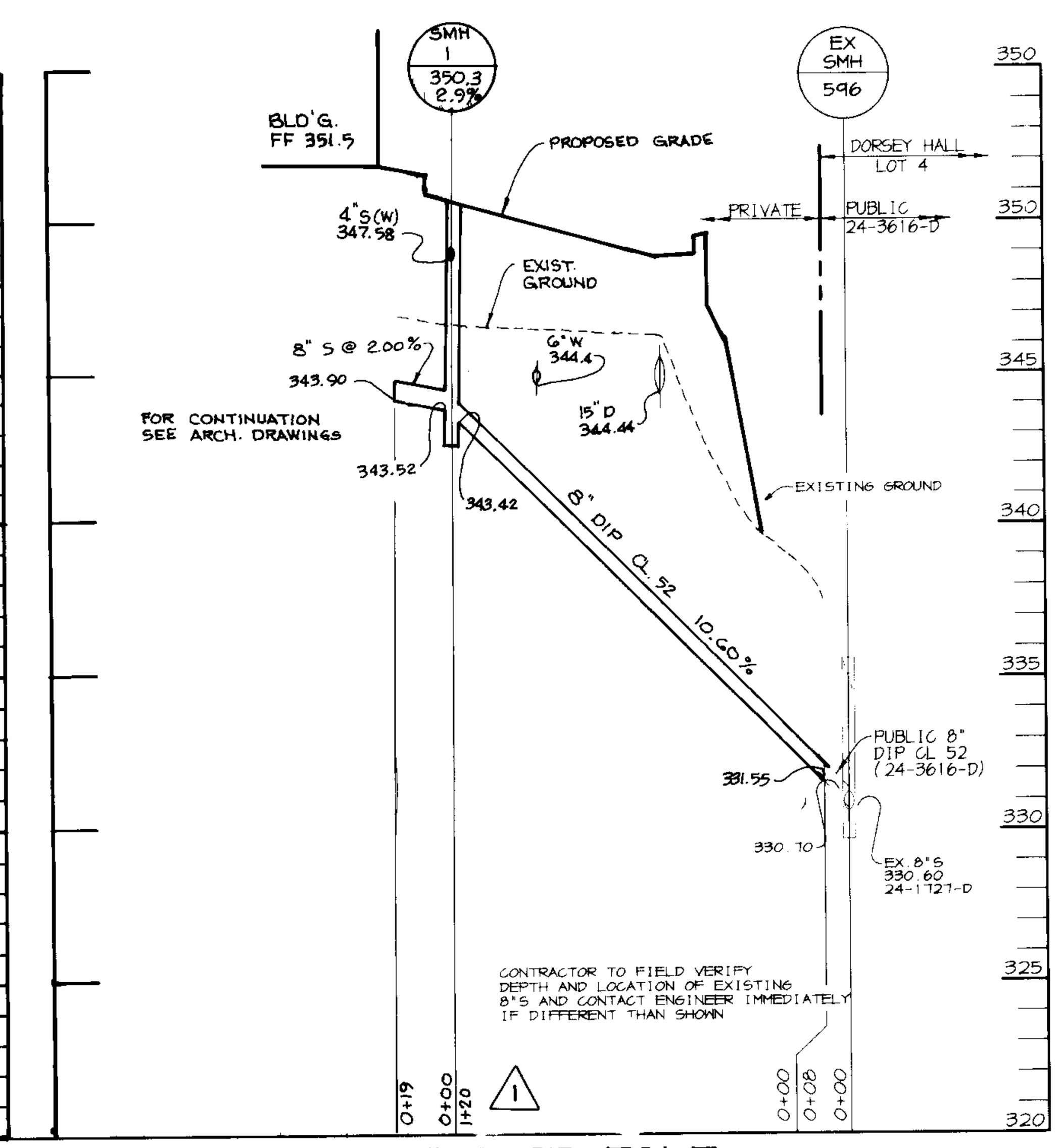
STORM DRAIN PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5'



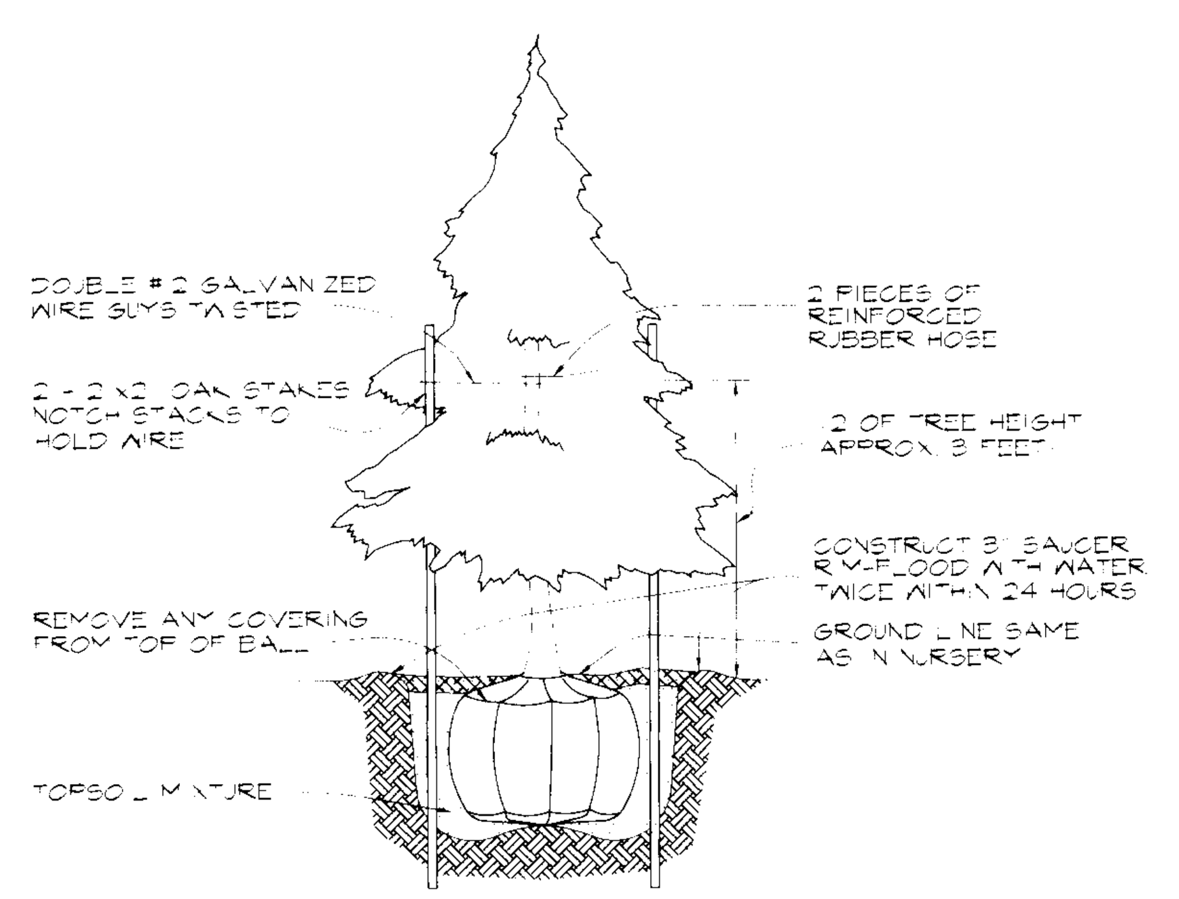
WATER PROFILE

SCALE :
HOR. -1"=50
VERT. -1"=5

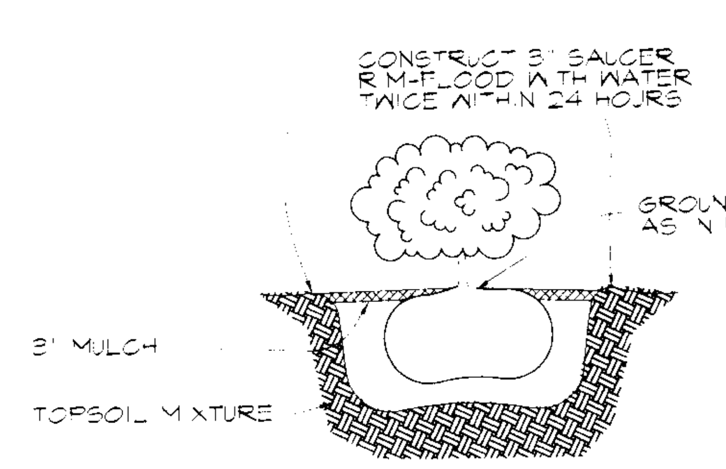


SEWER PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5'



EVERGREEN PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE AND SILT FENCE. (2 DAYS)
3. ROUGH GRADE SITE AND BEGIN BUILDING CONSTRUCTION.
4. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL STORM DRAINS WITH INLET PROTECTION AND INLET TRAPS AS NECESSARY, WATER AND SEWER. DELAY CONSTRUCTION OF DRAIN FROM I-5 TO I-7 UNTIL TRAP #2 IS FILLED. (3 WEEKS)
5. INSTALL CURB AND GUTTER AND PAVE ROADWAYS. REMOVE INLET TRAPS UPON APPROVAL OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR. (2 WEEKS)
6. FINE GRADE SITE. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES AS NECESSARY. (10 DAYS)
7. INSTALL LIGHTS, LANDSCAPING, WALKS, AND SIGNS AS REQUIRED. (10 DAYS)
8. COMPLETE REMAINING CONSTRUCTION. (16 WEEKS)
9. UPON APPROVAL OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 DAYS)

STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION*	INV. IN	INV. OUT	TOP RIM/ CURB	STANDARD DETAIL
I-1	S-COMB W/RET GRATE	N 575,730.99 E 1,360,369.45	342.71(18") 342.76(24")	338.23	347.9	HOCO SD-4.93
I-2	A-5	N 575,846.07 E 1,360,237.92	343.83(15") 344.88(8")	343.58	348.2	HOCO SD-4.40
⚠ I-3	A-5	N.575929.01 E 1360146.15	345.19	344.44	348.9	HOCO SD-4.40
I-4	MOD. A-5 ⁑	N 575,670.66 E 1,360,355.29	343.16	343.06	348.7	HOCO SD-4.40
I-5	A-5	N 575,507.87 E 1,360,218.54	344.98	344.23	349.4	HOCO SD-4.40
I-6	D	N 575,546.84 E 1,360,172.09	345.53	345.28	348.5 ⁑	HOCO SD-4.39
I-7	D	N 575,633.23 E 1,360,064.32	346.55	346.22	349.2 ⁑	HOCO SD-4.39
E-1	30" HW	N 575,740.08 E 1,360,383.45	-	338.04	-	HOCO SD-5.11
S-1	3600 GAL.	N 575,736.40 E 1,360,377.81	338.17	338.07	346.6	SEE SHEET 4
⚠ SMH-1	4'-0"	N.575874.56 E 1360108.59	343.52	343.42	350.3 2.9%	HOCO G-5.12

*LOCATIONS - INLETS: CENTER OF CURB OPENING, FACE OF CURB; OTHERS: CENTER OF STRUCTURE
⁑ELEVATION AT THROAT OPENING
⁑INLET TO HAVE 3.5' INNER WIDTH

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[signature] 7/18/97
DIRECTOR DATE

[signature] 7/17/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[signature] TC 7/18/97
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION
3-9-98	⚠	REVISED STORM DRAIN, SEWER & WATER PROFILES. MODIFIED STRUCTURE SCHEDULE.

OWNER: THE HOWARD RESEARCH & DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
(410) 992-6000

DEVELOPER: CAREMATRIX CORPORATION
197 FIRST AVENUE
NEEDHAM, MA. 02194
(617) 433-1000

PROJECT
DORSEY HALL
ASSISTED LIVING FACILITY

AREA DORSEY HALL SECT 2 AREA 5 PARCEL 0-7
ZONED POR TAX MAP 30 BLOCK 4
2nd ELECTION DISTRICT HOWARD COUNTY, MD.

TITLE
PROFILES AND STRUCTURE SCHEDULE

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING ● ENVIRONMENTAL SERVICES ● PLANNING ● SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

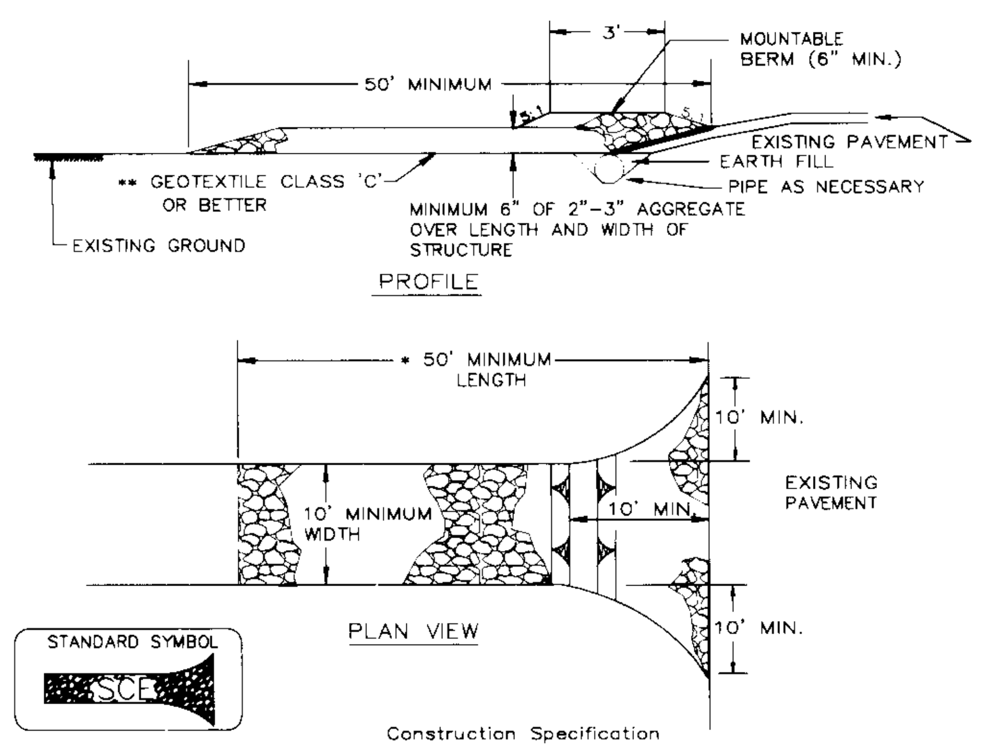
DATE

[signature]
JAYKANT D. PAREKH #19148

DESIGNED BY : C.J.R.
DRAWN BY: DAM
PROJECT NO : 96084 SDP5.DWG
DATE : JUNE 27, 1997
SCALE : AS SHOWN
DRAWING NO. 5 OF 6

SDP-97-102

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



Construction Specification

1. Length — minimum of 50' (*30' for single residence lot).

2. Width — 10' minimum, should be flared at the existing road to provide a turning radius.

3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.

4. Stone — crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.

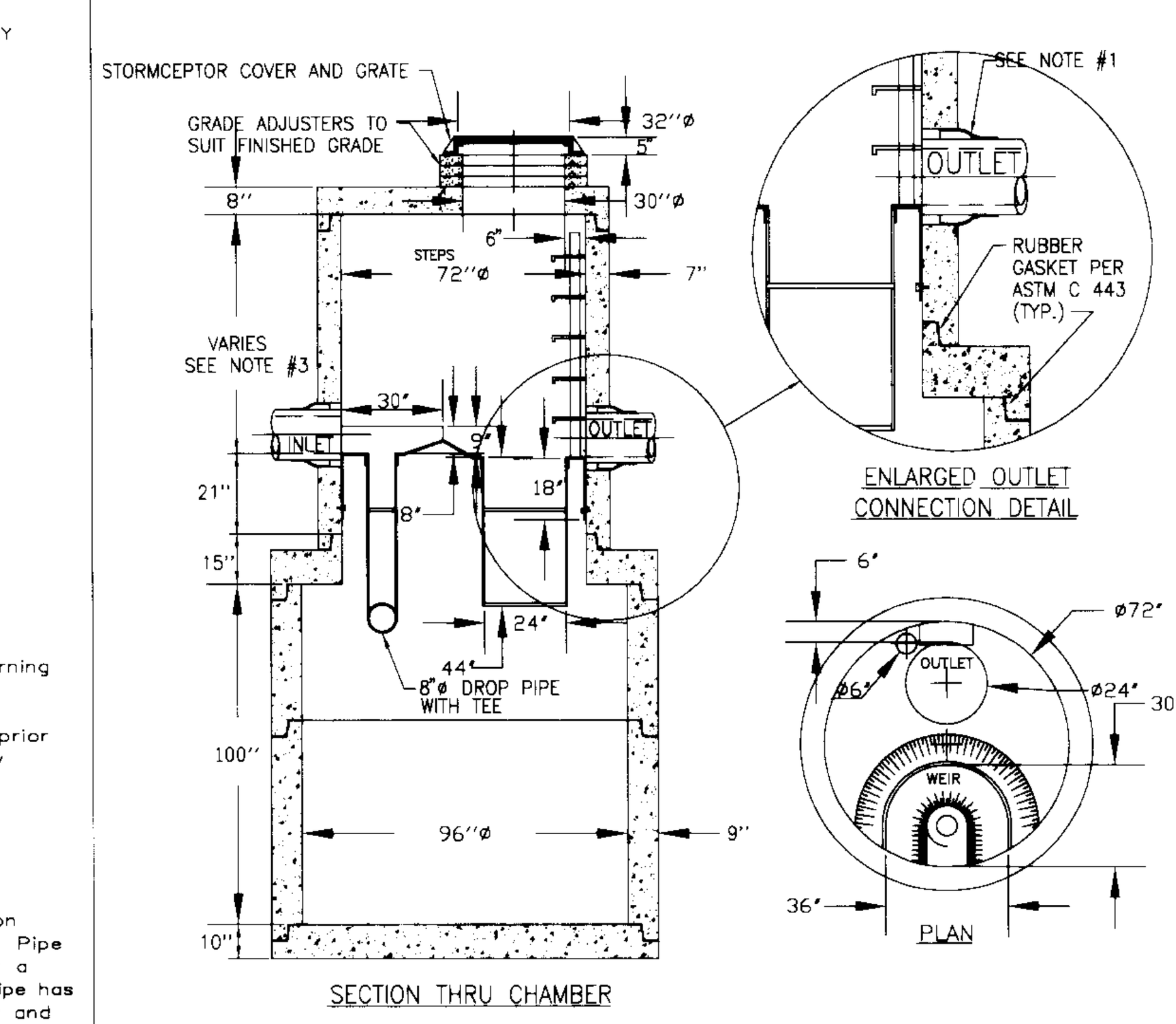
5. Surface Water — all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.

6. Location — A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

STC 3600 Precast Concrete Stormceptor®

(3600 US Gallon Capacity)
(Disc Design)

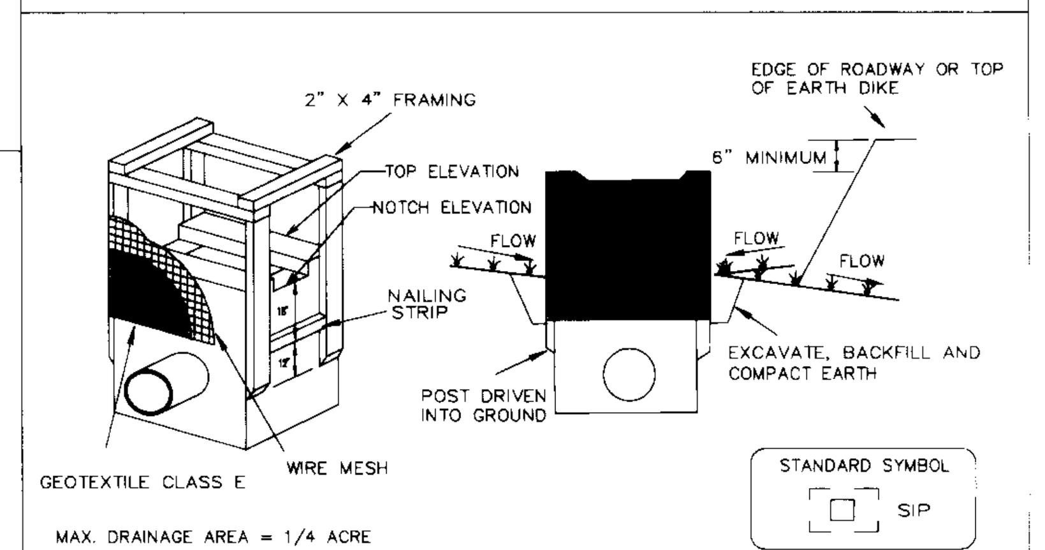


NOTE :
1. FLEXIBLE CONNECTIONS ARE RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. COVER TO BE POSITIONED OVER OUTLET AND VENT PIPE
3. THIS IS A GENERAL ARRANGEMENT DRAWING. CONSULT LOCAL REPRESENTATIVE FOR SPECIAL CONDITIONS.
4. INLET DROP PIPE WILL BE EITHER 8"Ø OR 12"Ø WITH A 6"Ø ORIFICE PLATE
5. ALL CONCRETE JOINTS HAVE RUBBER GASKETS THAT CONFORM TO ASTM C 443
6. U.S. PATENT NO. 4,985,148

DESIGN SPECIFICATIONS
1. ASTM C 478
2. BASE WEIGHT = 11.28 TONS

STC-3600
REVISED 10/96

DETAIL 23A - STANDARD INLET PROTECTION



MAX. DRAINAGE AREA = 1/4 ACRE

Construction Specifications

1. Excavate completely around the inlet to a depth of 18" below the notch elevation.

2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.

3. Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.

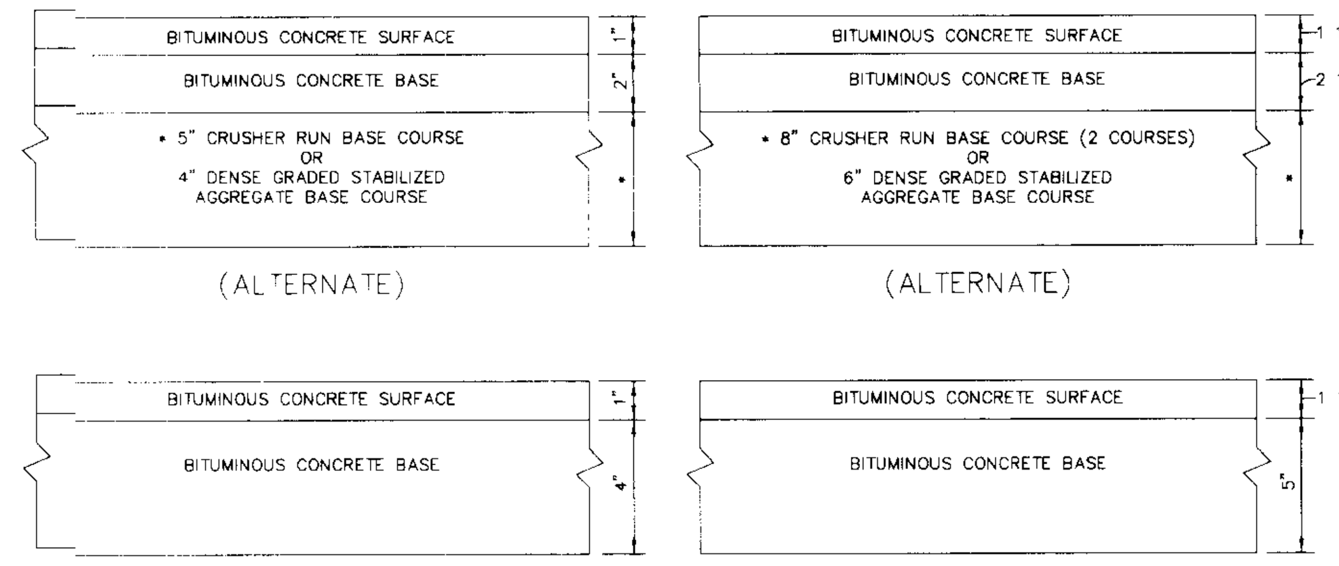
4. Stretch the Geotextile Class E tightly over the wire mesh with the geotixtile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.

5. Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.

6. If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.

7. The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 5	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



HOWARD COUNTY DESIGN MANUAL VOLUME IV- STANDARD SPECIFICATIONS AND DETAILS FOR CONSTUCTION (DRAWING R-2.01)

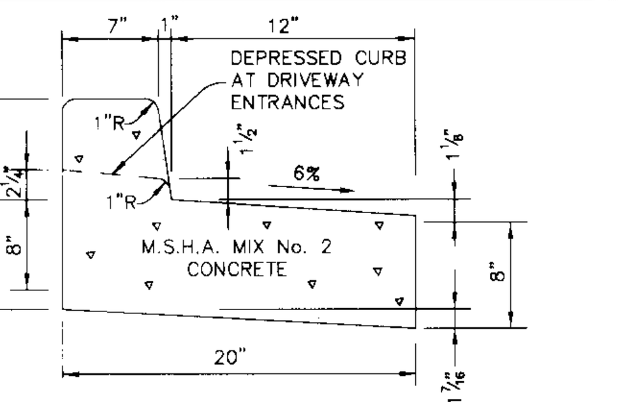
P-1 PAVING

NO SCALE

HOWARD COUNTY DESIGN MANUAL VOLUME IV- STANDARD SPECIFICATIONS AND DETAILS FOR CONSTUCTION (DRAWING R-2.01)

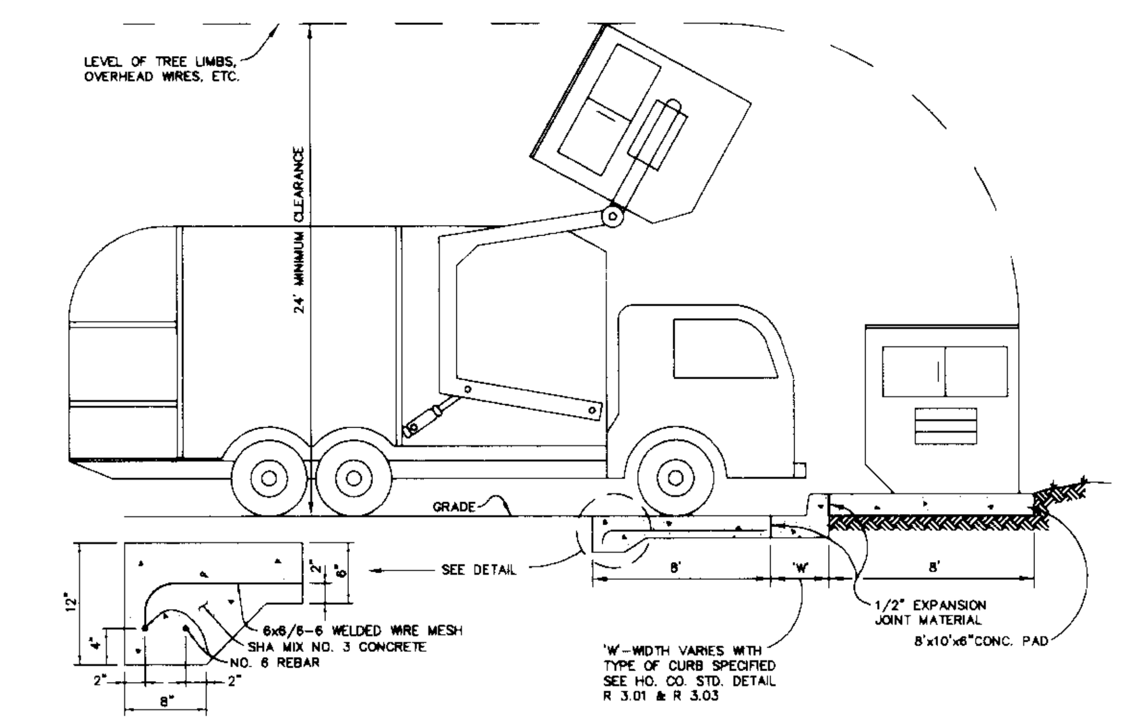
P-2 PAVING

NO SCALE



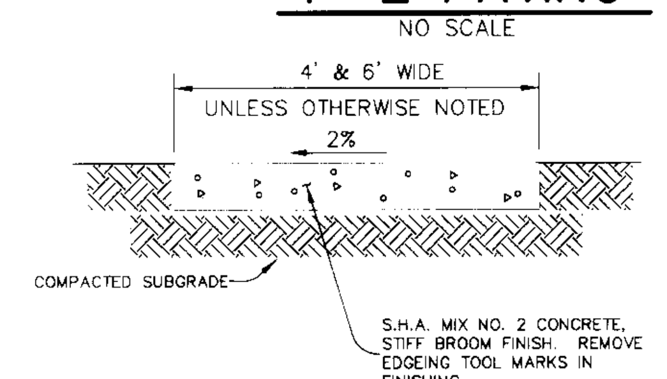
REVERSE 7" COMBINATION CURB AND GUTTER

NO SCALE



DUMPSTER PAD

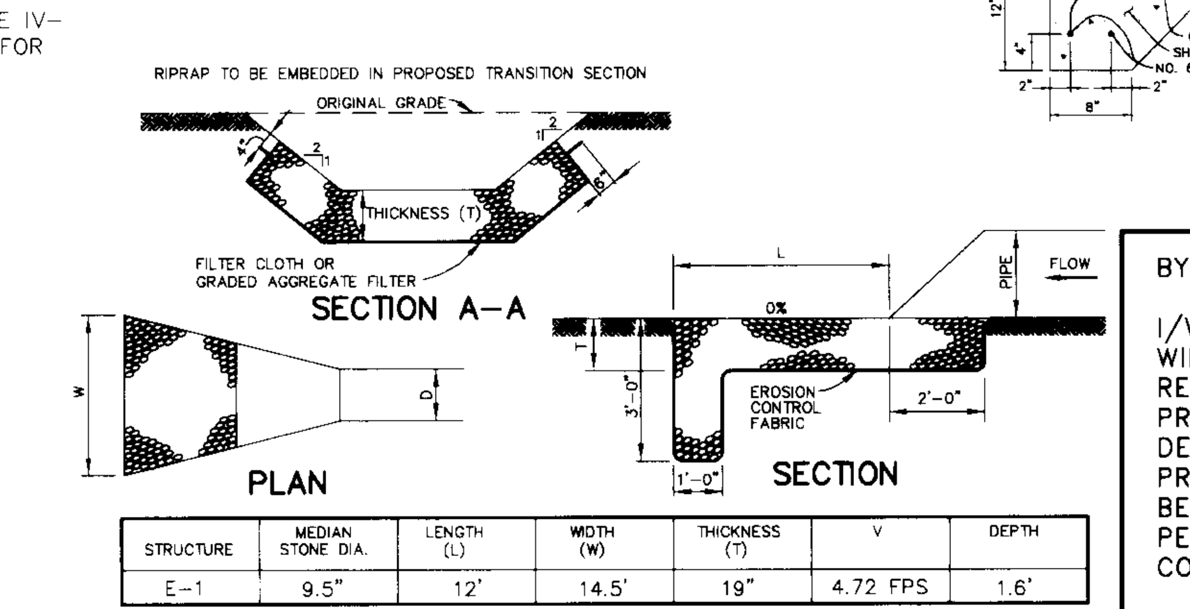
NO SCALE



NOTES :
PROVIDE LATITUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.)
PROVIDE CONTRACTION (DUMMY) JOINT AT 5' O.C. INTERVALS BETWEEN EXPANSION JOINTS. SIDEWALK TO BE SCRIBED IN 5' MAX. SQUARES.

SIDEWALK DETAIL

NO SCALE



STRUCTURE	MEDIAN STONE DIA.	LENGTH (L)	WIDTH (W)	THICKNESS (T)	V	DEPTH
E-1	9.5"	12'	14.5'	19"	4.72 FPS	1.6'

RIPRAP OUTLET PROTECTION DETAIL

NO SCALE

Construction Specifications

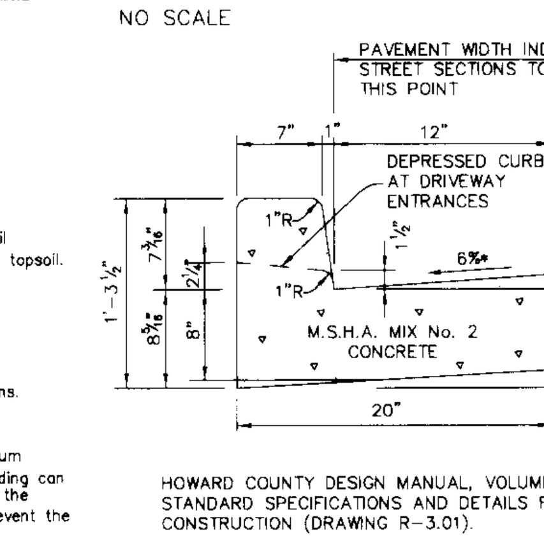
1. The subgrade for the filter, rip-rap, or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.

2. The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.

3. Geotextile shall be protected from punching, cutting, or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of geotextile over the damaged part or by completely replacing the geotextile. All overlaps whether for repairs or for joining two pieces of geotextile shall be a minimum of one foot.

4. Stone for the rip-rap or gabion outlets may be placed by equipment. They shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent works.

5. The stone shall be placed so that it blends in with the existing ground. If the stone is placed too high then the flow will be forced out of the channel and scour adjacent to the stone will occur.



HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-3.01).

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT.

STANDARD 7" COMBINATION CURB AND GUTTER

NO SCALE

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

[signature] 6.27.97
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

J. Parekh 6.27.97
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

[signature] /GS 7/10/97
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[signature] 7/10/97
HOWARD SOIL CONSERVATION DISTRICT DATE

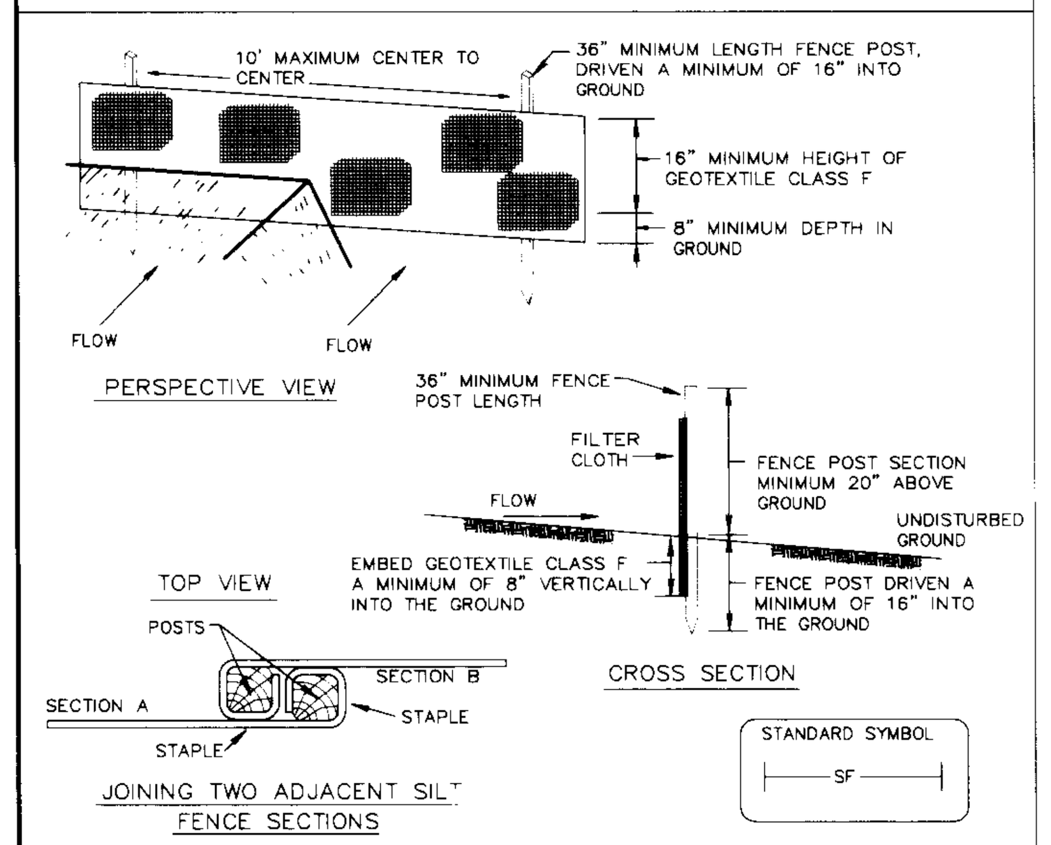
APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[signature] 7/18/97
DIRECTOR DATE

[signature] 7/17/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 7/18/97
CHIEF, DIVISION OF LAND DEVELOPMENT TC DATE

DETAIL 22 - SILT FENCE



Construction Specifications

1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 11/2" x 11/2" square (minimum) cut, or 13/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot.

2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal ft ²/ minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.

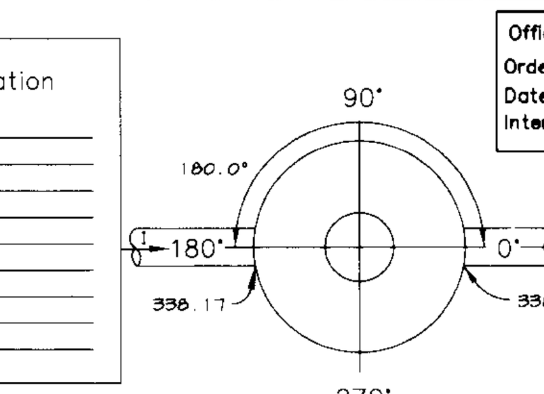
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Concrete Stormceptor Order Request Form

Office Use Only
Order# ______
Date ______
Internal Sale ______

Contractor Information
Name
Address
City
State
Zip Code
Contact
Phone
Fax



Owner Information
Name CAREMATRIX CORP.
Phone (617) 433-1000
Fax (617) 433-1092

Please draw orientation of inlet and outlet pipes on diagram along with pipe inside diameter (in.) and invert elevation (ft). Clearly mark inlet pipes with in I and outlet pipes with and O and provide the inlet/outlet pipe angle in degrees.

Stormceptor Model			
900 ☐	3600 ☒		
1200 ☐	4800 ☐		
1800 ☐	6000 ☐		
2400 ☐	7200 ☐		
IMPERV. D. AREA:			

Insert Size	
DISC	☒
22"	☐
32"	☐
44"	☐
Custom	____

Manhole Number	S-1
Top Elevation (ft)	346.6
Inlet Pipe Invert (ft)	338.17
Outlet Pipe Invert (ft)	338.07
Pipe Type:	IN-ADS OUT-RCCP
Pipe Inside Diameter (in) [ID]	30
Pipe Outside Diameter (in) [OD]	37

Project Name CAREMATRIX - DORSEY HALL
Approximate time frame until required delivery (weeks)
Delivery Address: Street
City State Zip Code
Designer Company RIEMER MUEGGE & ASSOCIATES, INC.
Designer Contact CHRIS REID Phone (410) 997-8900 Fax (410) 997-9282

Please fax this sheet back to Hydro Conduit/Virginia Precast at (804)798-3426
Attn:Dave Brinser/Ed O'Malley (Phone:1-800-999-2278)

For credit information/applications contact Carole Broadus at (804)798-6068

For Technical Assistance Please Call Stormceptor Corporation at (301)762-8361 or toll free at 1(800)762-4703

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

I. This practice is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimentation Station.

II. Topsoil Specifications — Soil to be used as topsoil must meet the following:
i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1?" in diameter.
ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
iii. Where subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

For sites having disturbed areas under 5 acres:

i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization — Section I — Vegetative Stabilization Methods and Materials.

III. For sites having disturbed areas over 5 acres:
i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
b. Organic content of topsoil shall be not less than 1.5 percent by weight.
c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

Note: Topsoil substitutes to amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization — Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application
i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for site having disturbed areas under 5 acres shall conform to the following requirements:
a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
d. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections and Permits prior to the start of any construction (313-1855).

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, and revisions thereto.

3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within : a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to other disturbed or graded areas on the project site.

4. All sediment traps/basins shown must be fenced and warning signs posted around the perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis

Total Area of Site	4.078 acres
Area Disturbed	3.53 acres
Area to be roofed or paved	2.17 acres
Area to be vegetatively stabilized	1.36 acres
Total Cut	7000 cu.yds.
Total Fill	7000 cu.yds

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.

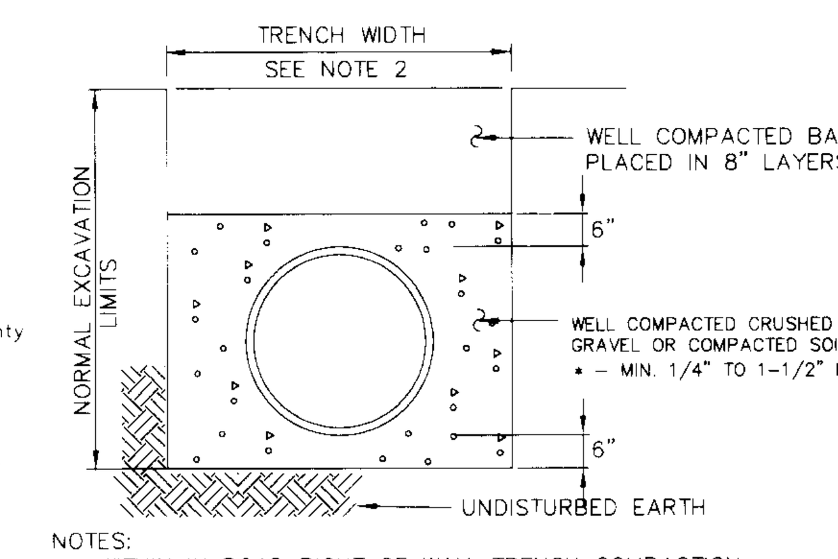
10. Site grading will begin only after all perimeter sediment control measures have been installed and are in a functioning condition.

11. Sediment will be removed from traps when its depth reaches clean out elevation shown on the plans.

12. Cut and fill quantities provided under site analysis do not represent bid quantities. These quantities do not distinguish between topsoil, structural fill or embankment material, nor do they reflect consideration of undercutting or removal of unsuitable material. The contractor shall familiarize himself with site conditions which may affect the work.

13. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

14. Trenches for the construction of utilities is limited to three pipe lengths or that which can be backfilled and stabilized within one working day, whichever is shorter.



NOTES:
1. WITHIN IN ROAD RIGHT OF WAY, TRENCH COMPACTION DENSITY SHALL BE 95% AS DETERMINED BY A.A.S.H.T.O.
2. FOR PAY WIDTHS SEE DETAIL G 2.02-A. T-180-A.

TRENCH FOR ADS N-12 PIPE

NO SCALE

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation : Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, If not previously loosened.

Soil Amendments : In lieu of soil test recommendations, use one of the following schedules :

1) Preferred — Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq.ft.).

2) Acceptable — Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding : For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options :

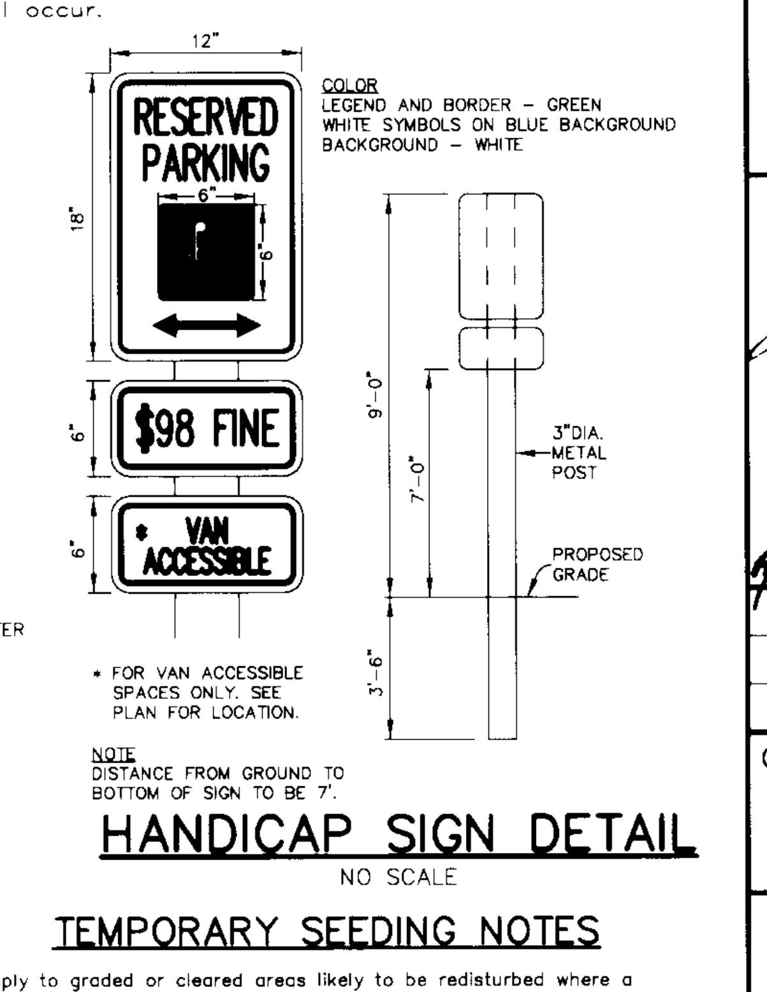
1) 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.

2) Use sod.

3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

Mulching : Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Maintenance : Inspect all seeded areas and make needed repairs, replacements and reseedings.



COLOR
LEGEND AND BORDER — GREEN
WHITE SYMBOLS ON BLUE BACKGROUND
BACKGROUND — WHITE

* FOR VAN ACCESSIBLE SPACES ONLY. SEE PLAN FOR LOCATION.

NOTE
DISTANCE FROM GROUND TO BOTTOM OF SIGN TO BE 7'.

HANDICAP SIGN DETAIL

NO SCALE

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation : Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments : Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.).

Seeding : For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching : Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

1. Stormceptor water quality structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Stormceptor unit inspected yearly or as required by Howard County, utilizing the Stormceptor Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed the specified level (Table 6 of Technical Manual) then cleaning of the unit is required.

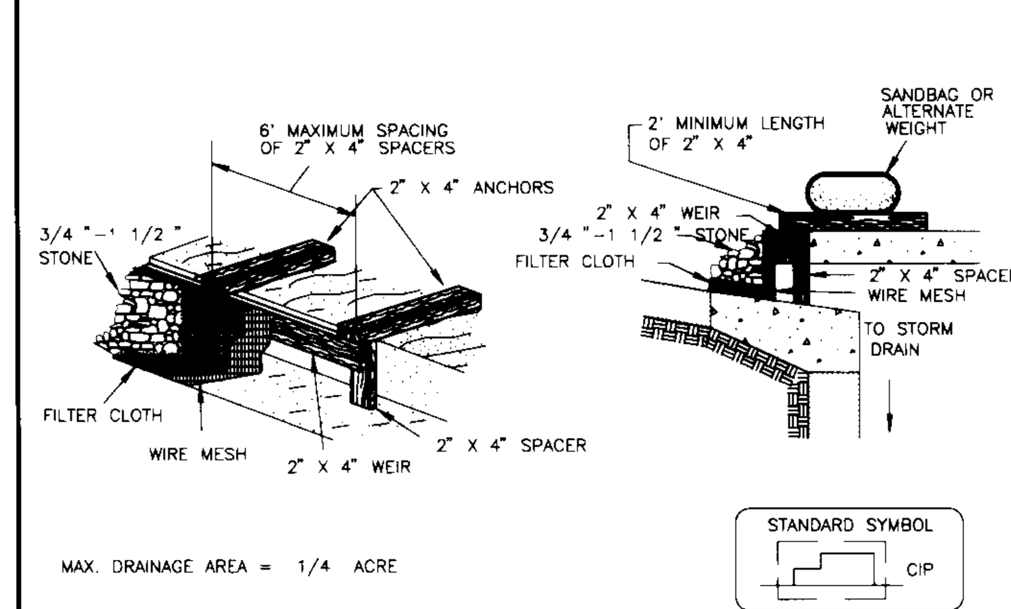
2. Stormceptor water quality structures must be checked and cleaned immediately after petroleum spills. Contact appropriate regulatory agencies.

3. Maintenance of Stormceptor units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons, and other materials in the unit. The proper cleaning and disposal of the removed materials and liquid must be followed.

4. Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the Stormceptor will be repaired as needed.

5. Owner shall retain and make Stormceptor Inspection/Monitoring Forms available to Howard County officials upon their request.

DETAIL 23C - CURB INLET PROTECTION



MAX. DRAINAGE AREA = 1/4 ACRE

Construction Specifications

1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4') to the 2" x 4" weir (measuring throat length plus 2') as shown on the standard drawing.

2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.

3. Securely nail the 2" X 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4' apart).

4. Place the assembly against the inlet throat and nail (minimum 2' lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.

5. The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.

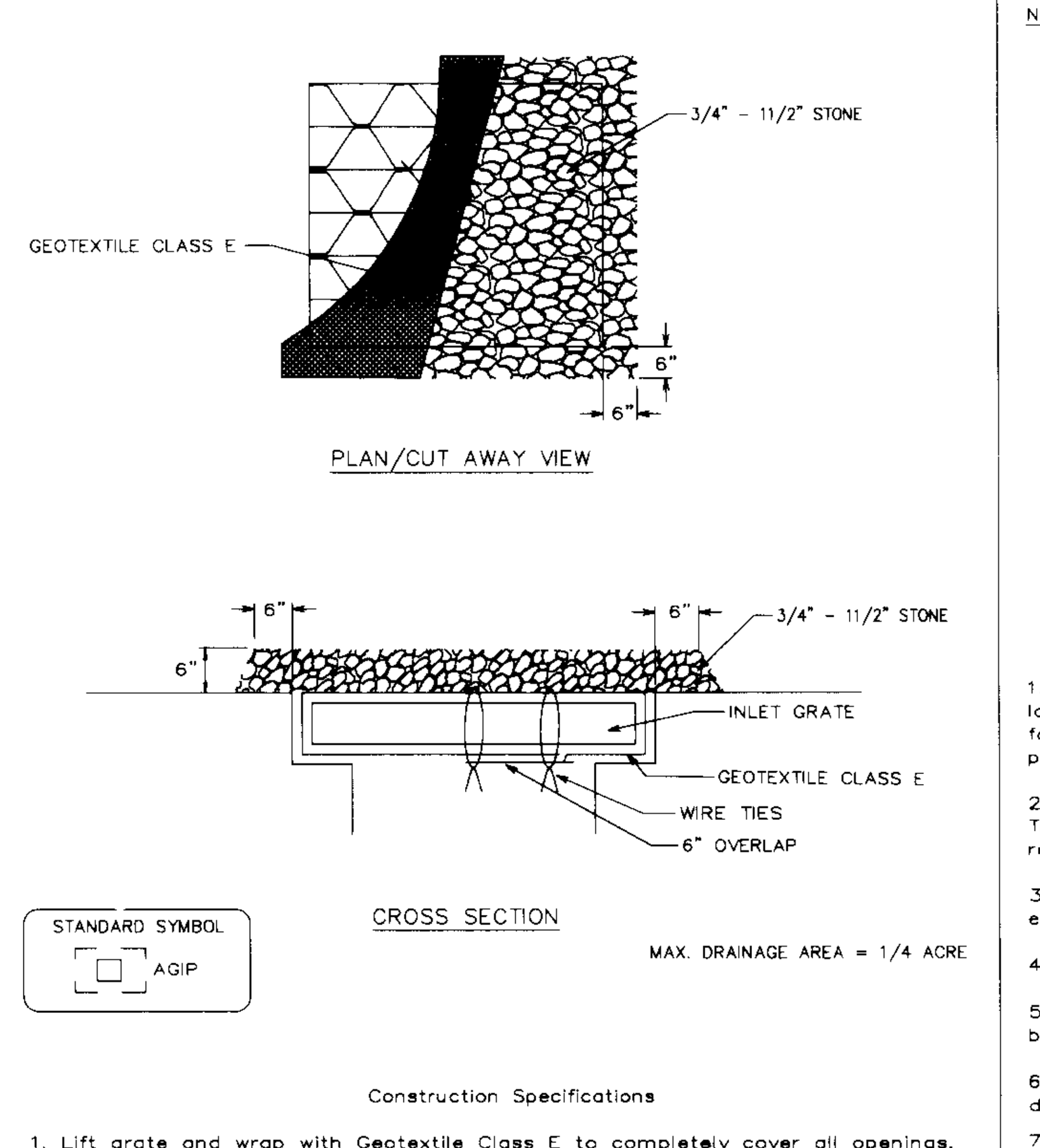
6. Form the 1/2 " x 1/2 " wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4 " x 1 1/2 " stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.

7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.

8. Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 5B	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23B - AT GRADE INLET PROTECTION



MAX. DRAINAGE AREA = 1/4 ACRE

Construction Specifications

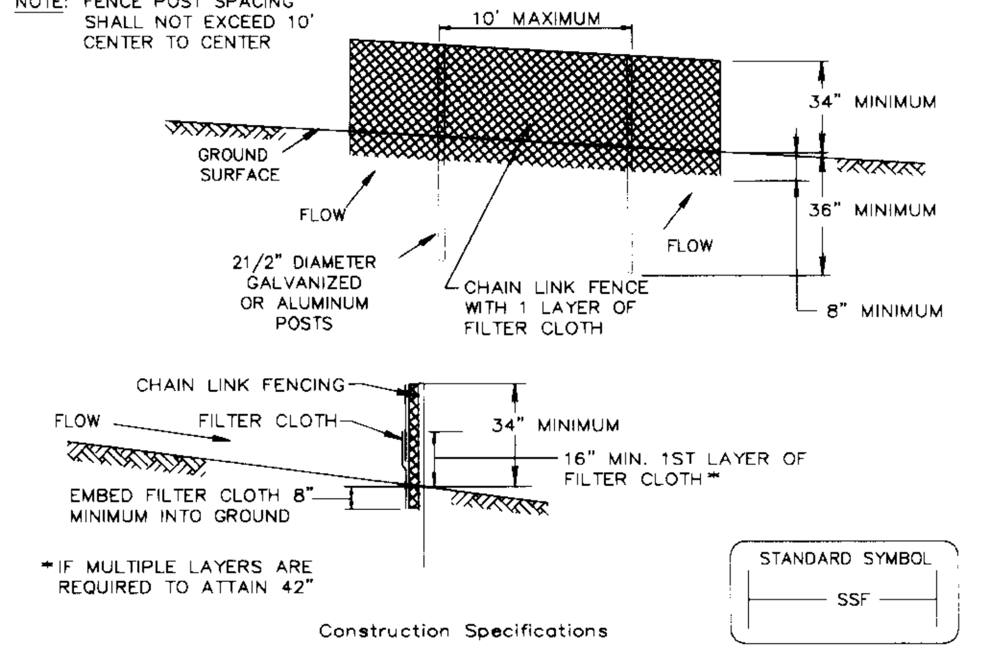
1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.

2. Place 3/4" to 11/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 5A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE

NOTE: FENCE POST SPACING SHALL NOT EXCEED 10' CENTER TO CENTER



Construction Specifications

1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.

2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.

3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.

4. Filter cloth shall be embedded a minimum of 8" into the ground.

5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.

6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height

7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ²/minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE H - 26 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DATE	NO.	REVISION

OWNER: THE HOWARD RESEARCH & DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
(410) 992-6000

DEVELOPER: CAREMATRIX CORPORATION
197 FIRST AVENUE
NEEDHAM, MA. 02194
(617) 433-1000

PROJECT
DORSEY HALL
ASSISTED LIVING FACILITY

AREA DORSEY HALL SECT 2 AREA 5 PARCEL 0-7
ZONED POR TAX MAP 30 BLOCK 4
2nd ELECTION DISTRICT HOWARD COUNTY, MD.

TITLE
NOTES AND DETAILS

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

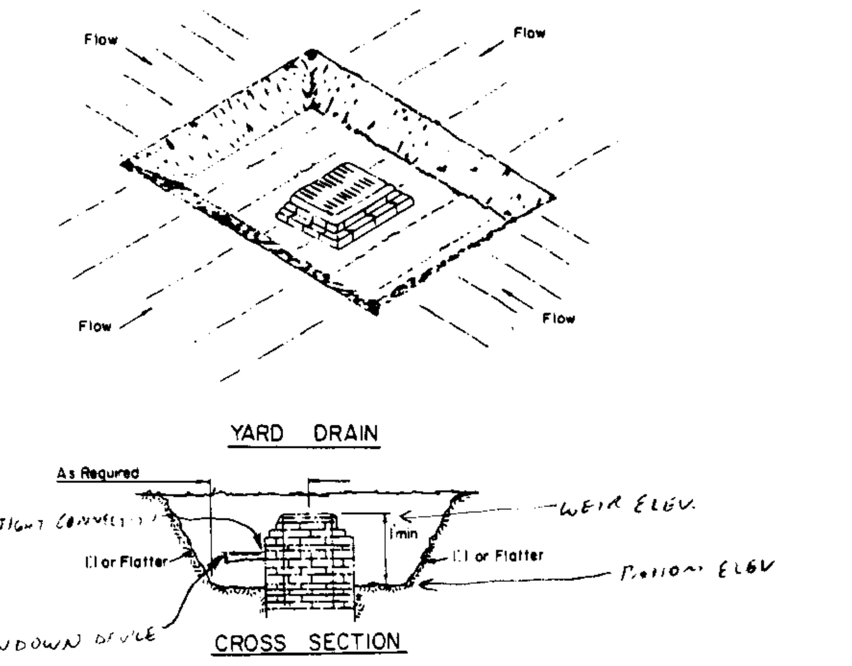
6.27.97
DATE

J. Parekh
JAYKANT D. PAREKH #19148

DESIGNED BY : C.J.R.	
DRAWN BY: DAM	
PROJECT NO : 96084 SDP4.DWG	
DATE : JUNE 27, 1997	
SCALE : AS SHOWN	
DRAWING NO. 4 OF 6	

SDP-97-102

STORM INLET SEDIMENT TRAP ST-III



CONSTRUCTION SPECIFICATION FOR ST-III

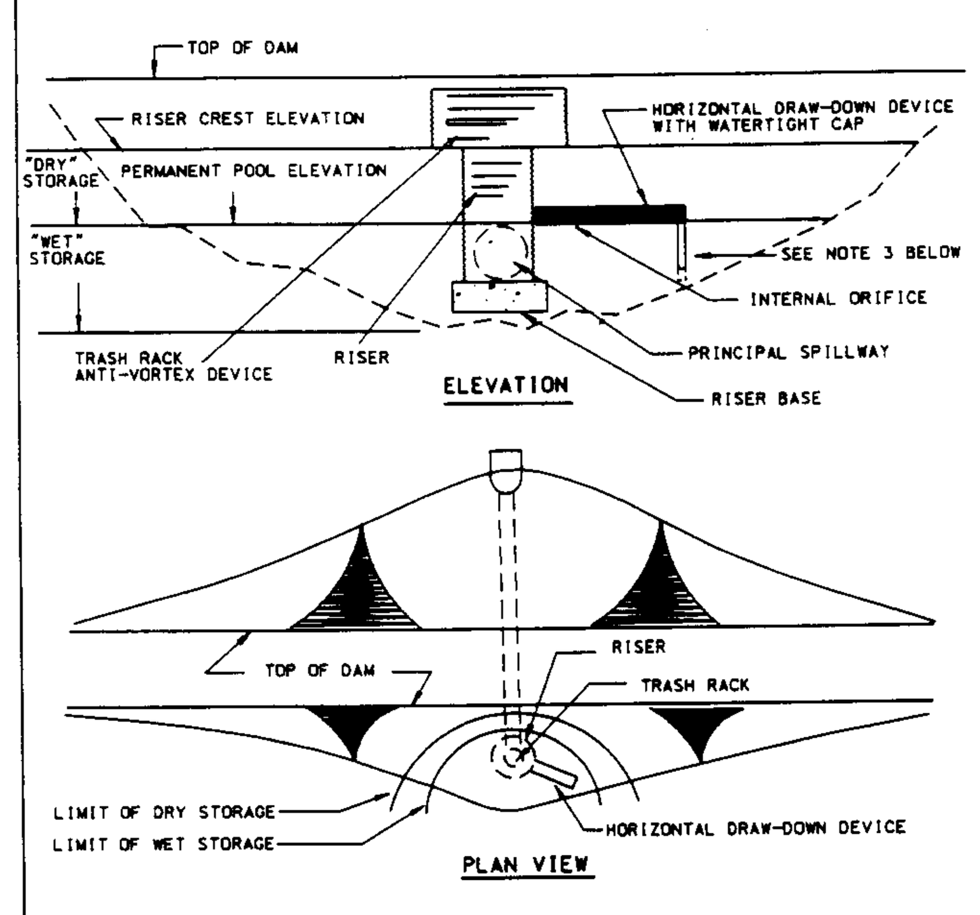
1. Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to ½ the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
2. The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.
3. The structure shall be inspected after each rain and repairs made as needed.
4. Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
5. The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
6. All cut slopes shall be 1:1 or flatter.

A - ADDED KEY ELEVS PER PREV REVIEWS - GWS 7/10/97

Maximum Drainage Area: 3 Acres

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MARYLAND	STORM INLET SEDIMENT TRAP	STANDARD DRAWING ST - III

SEDIMENT TRAP + BASIN DRAWDOWN SCHEMATIC
HORIZONTAL DRAW-DOWN DEVICE



Construction Specifications

1. The total area of the perforations must be greater than 2 times the area of the internal orifice.
2. The perforated portion of the draw-down device shall be wrapped with ½" hardware cloth and geotextile fabric. The geotextile fabric shall meet the specifications for Geotextile Class E.
3. Provide support of draw-down device to prevent sagging and floatation. An acceptable preventative measure is to stake both sides of draw-down device with 1" steel angle, or 1' by 4" square or 2" round wooden posts set 3' minimum into the ground then joining them to the device by wrapping with 12 gauge minimum wire.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE C - 19 - 29	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DRAINAGE DATA

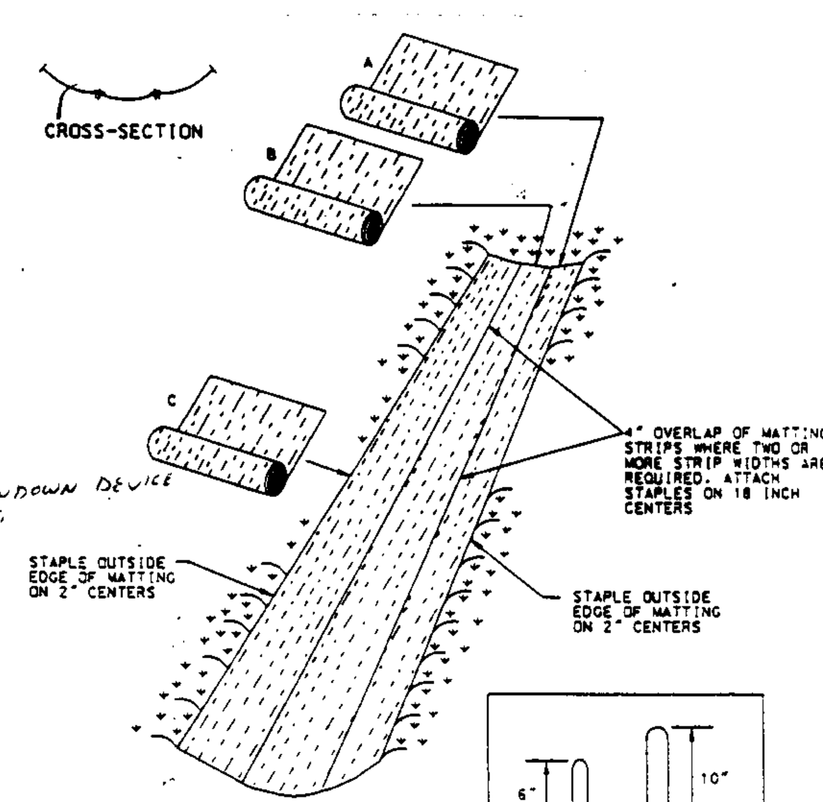
INLET NOS.	AREA IN ACRES	'C' FACTOR	PERCENT IMPERVIOUS
1	0.1	0.68	70%
2	0.3	0.66	66%
3	0.2	0.55	50%
4	0.4	0.55	50%
5	0.8	0.55	50%
6	0.6	0.24	0%
7	0.1	0.24	0%

STORM INLET SEDIMENT TRAP #1

DRAINAGE AREA	0.4 Ac.
STORAGE VOLUME REQUIRED	720 C.F. (WET/DRY)
STORAGE VOLUME PROVIDED	787 C.F. ● 346.10 (WET) = DRAWDOWN DEVICE ELEV.
STORAGE VOLUME PROVIDED	787 C.F. ● 348.10 (DRY)
WEIR ELEV.	348.10
BOTTOM ELEV.	344.00
CLEANOUT ELEV.	345.00
SIDE SLOPES	2:1
CREST WIDTH	5.0'
BOTTOM DIMENSIONS	9'X14'
DEPTH	4.1'

STORM INLET SEDIMENT TRAP #2

DRAINAGE AREA	1.4 Ac.
STORAGE VOLUME REQUIRED	2520 C.F. (WET/DRY)
STORAGE VOLUME PROVIDED	2634 C.F. ● 346.75 (WET) = DRAW DOWN DEVICE ELEV.
STORAGE VOLUME PROVIDED	2634 C.F. ● 348.80 (DRY)
WEIR ELEV.	348.80
BOTTOM ELEV.	345.00
CLEANOUT ELEV.	345.90
SIDE SLOPES	2:1
CREST WIDTH	2.5'
BOTTOM DIMENSIONS	10'X70'
DEPTH	3.5'

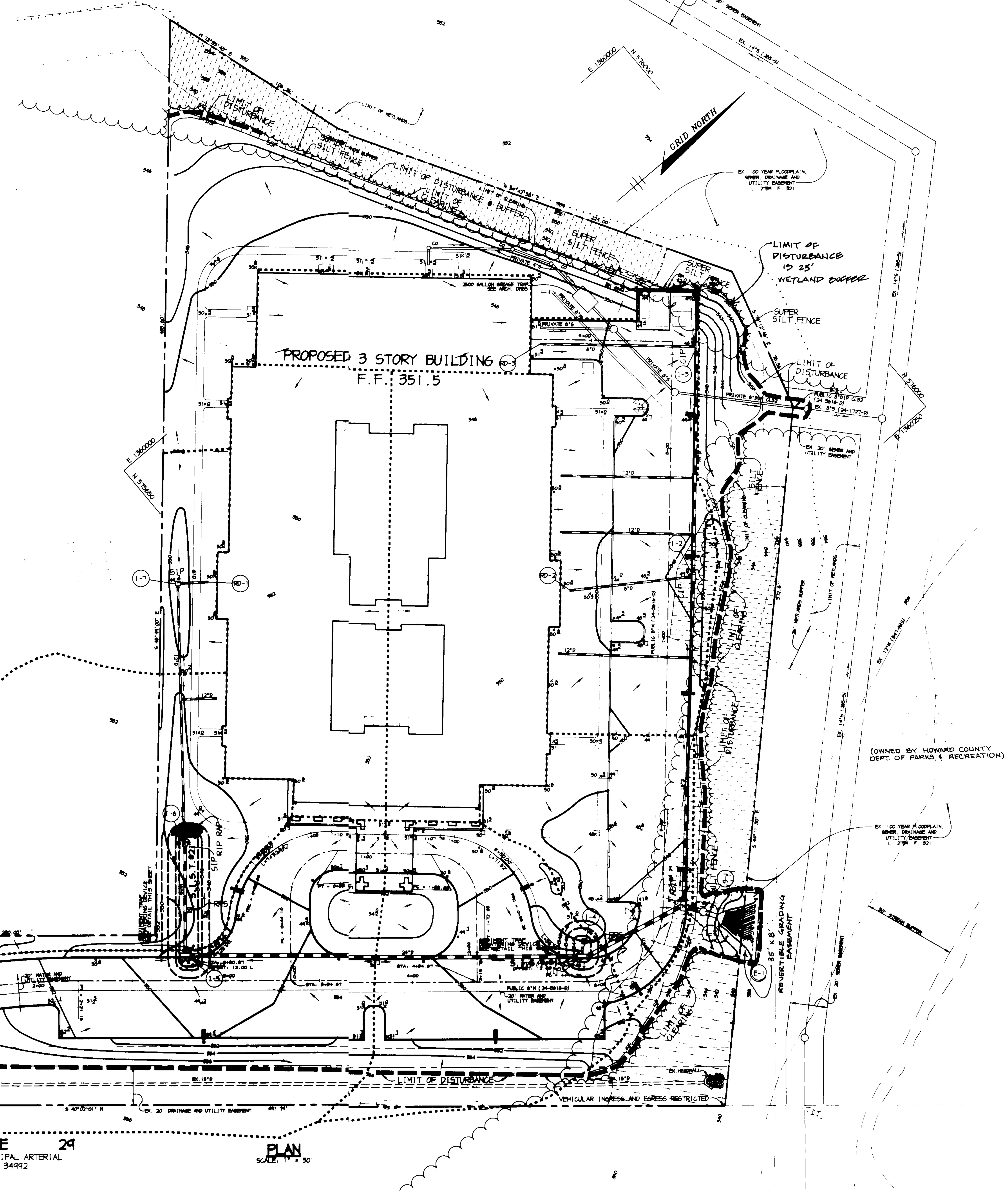


Construction Specifications

1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
2. Staple the 4" overlap in the channel center using an 18" spacing between staples.
3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
4. Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.

EROSION CONTROL
MATTING DETAIL



LEGEND

▪▪▪▪▪▪▪▪▪▪	DRAINAGE DIVIDE
▬ ▬ ▬	LIMIT OF DISTURBANCE
—— SSF ——	SUPER SILT FENCE
—— SF ——	SILT FENCE
CIP	CURB INLET PROTECTION
AGIP	AT GRADE INLET PROTECTION
SCE	STABILIZED CONSTRUCTION ENTRANCE

NOTE: LIMIT OF DISTURBANCE IS AT PROPERTY LINE UNLESS OTHERWISE NOTED.

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

[illegible] 6.27.97
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

J. Parekh 6.27.97
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

[illegible] /GS. 7/10/97
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[illegible] 7/10/97
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[illegible] 7/18/97
DIRECTOR DATE

[illegible] 7/17/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 7/18/97
CHIEF, DIVISION OF LAND DEVELOPMENT TC DATE

DATE	NO.	REVISION

OWNER: THE HOWARD RESEARCH & DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
(410) 992-6000

DEVELOPER: CAREMATRIX CORPORATION
197 FIRST AVENUE
NEEDHAM, MA. 02194
(617) 433-1000

PROJECT
DORSEY HALL
ASSISTED LIVING FACILITY

AREA DORSEY HALL SECT 2 AREA 5 PARCEL 0-7
ZONED POR TAX MAP 30 BLOCK 4
2nd ELECTION DISTRICT HOWARD COUNTY, MD.

TITLE
DRAINAGE AREA MAP AND SEDIMENT CONTROL PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING ● ENVIRONMENTAL SERVICES ● PLANNING ● SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

6.27.97
DATE

J. Parekh
JAYKANT D. PAREKH #19148

DESIGNED BY :	C.J.R.
DRAWN BY:	DAM
PROJECT NO :	96084 SDP3.DWG
DATE :	JUNE 27, 1997
SCALE :	AS SHOWN
DRAWING NO.	3 OF 6

SDP-97-102

NOTE: THIS PLAN FOR LANDSCAPE PURPOSES ONLY.

LANDSCAPE SCHEDULES

ALTERNATIVE COMPLIANCE REQUIRED
HRD SHADE TREE EQUIVALENT (S.T.E.) REQUIREMENTS

COMMERCIAL ZONING - ±4 ACRES

UNWOODED (3 AC. @ 28 S.T.E./AC)	84 S.T.E.
SEMI-WOODED (1 AC. @ 24 S.T.E./AC.)	24 S.T.E.
TOTAL S.T.E. REQUIRED	108 S.T.E.

PROVIDED:	PLANTED	S.T.E.
Each Shade Tree = 1 S.T.E.	(35)	35.0
Each Evergreen Tree = 0.5 S.T.E.	(72)	36.0
Each Flowering Tree = 0.5 S.T.E.	(33)	16.5
Each Shrub = 0.1 S.T.E.	(309)	30.9
SUBTOTAL S.T.E.		118.1
SPECIMEN TREES = 2 S.T.E.	(2)	4
TOTAL		122.5

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	55
NUMBER OF SHADE TREES REQUIRED @ 1 S.T./20 SPACES	2.75
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	 3+ 3+
NUMBER OF ISLANDS REQUIRED (1 ISLAND/ 20 SPACES)	2.75
NUMBER OF ISLANDS PROVIDED	3+

⚠1

NOTES: "THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL."

"FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF $ 3,930

SCHEDULE A
PERIMETER LANDSCAPE EDGE

	ADJACENT TO ROADWAYS				ADJACENT TO PERIMETER PROPERTIES			
PERIMETER	A-1 & A-2	F-1	F-2	F-3	B	C	D	E
LANDSCAPE TYPE	B	B	E	B	A	A	A	A
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 46'	± 136	± 292'	± 64'	± 230'	± 485'	± 330'	± 451
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO -	NO -	NO -	NO -	NO -	YES ± 65'	YES ± 265	YES ± 330'
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO -	N/A -	NO -	N/A -	NO -	NO -	NO -	NO -
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	 @ 1/50' = 0.9 @ 1/40' = 1.1 0	 @ 1/50 = 2.7 @ 1/40' = 3.4 0	 @ 1/40' = 7.3 0 @ 1/4' = 73	 @ 1/50 = 1.3 @ 1/40' = 1.6 0	 @ 1/60 = 3.8 0 0	 @ 1/60 = 7.0 0 0	 @ 1/60' = 0 0	 @ 1/60' = 2.0 0 0
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES SMALL FLOWERING TREES SHRUBS	 0 3 3 8	 3 4 0 0	 0 2 0 0	 1 2 0 0	 5 0 0 0	 11 12 3 0	 2 3 0 0	 1 5 0 0

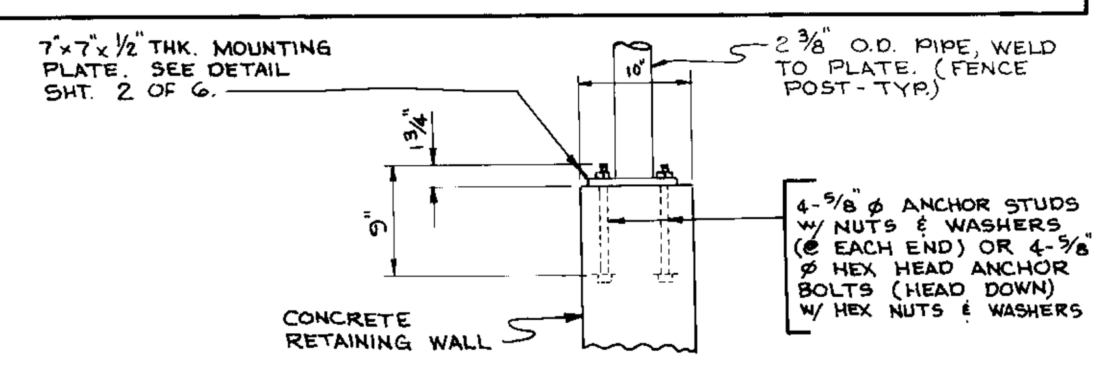
SUBSTITUTION NOTES:

PERIMETER LANDSCAPE EDGE: SCHEDULE A

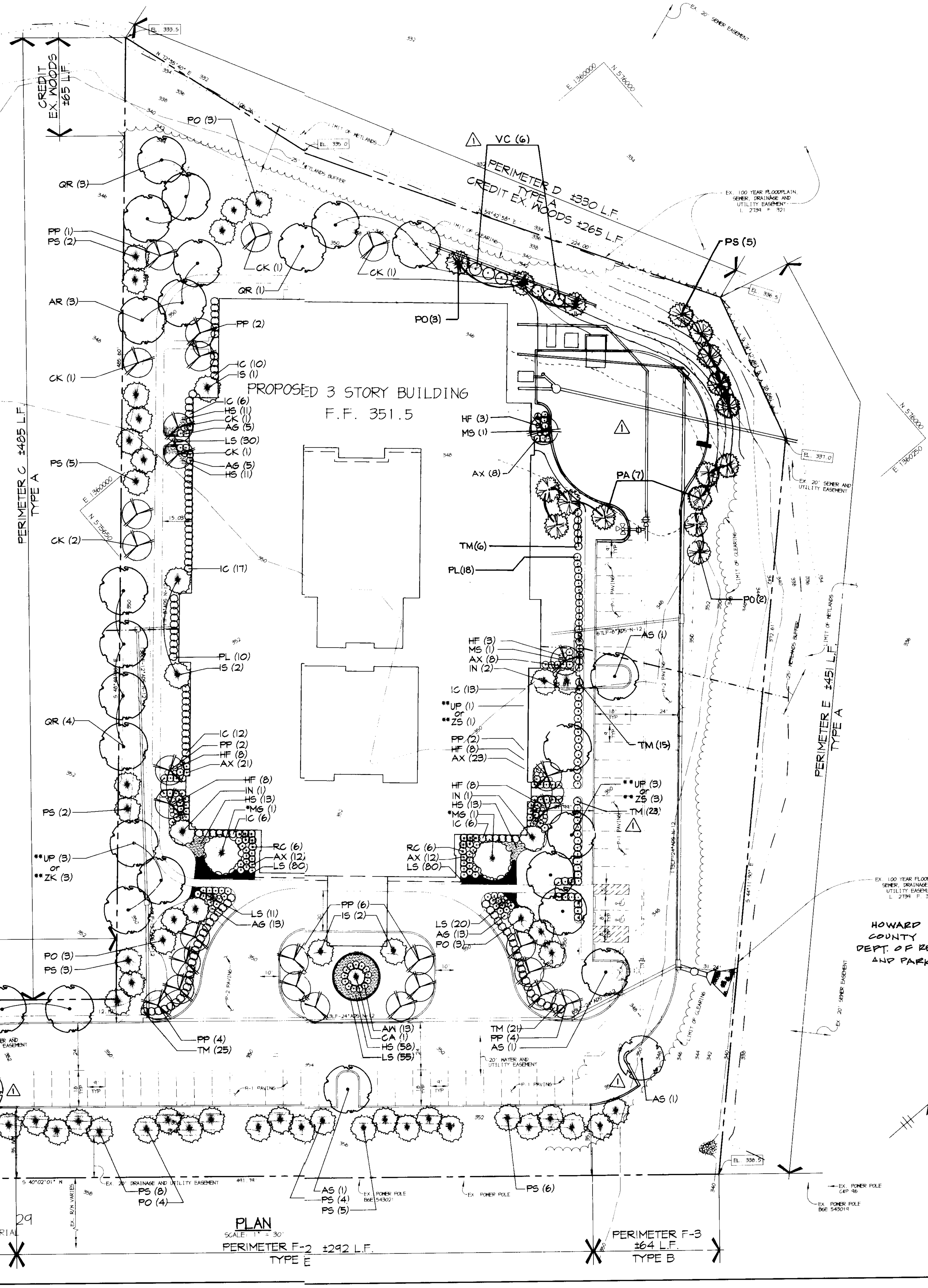
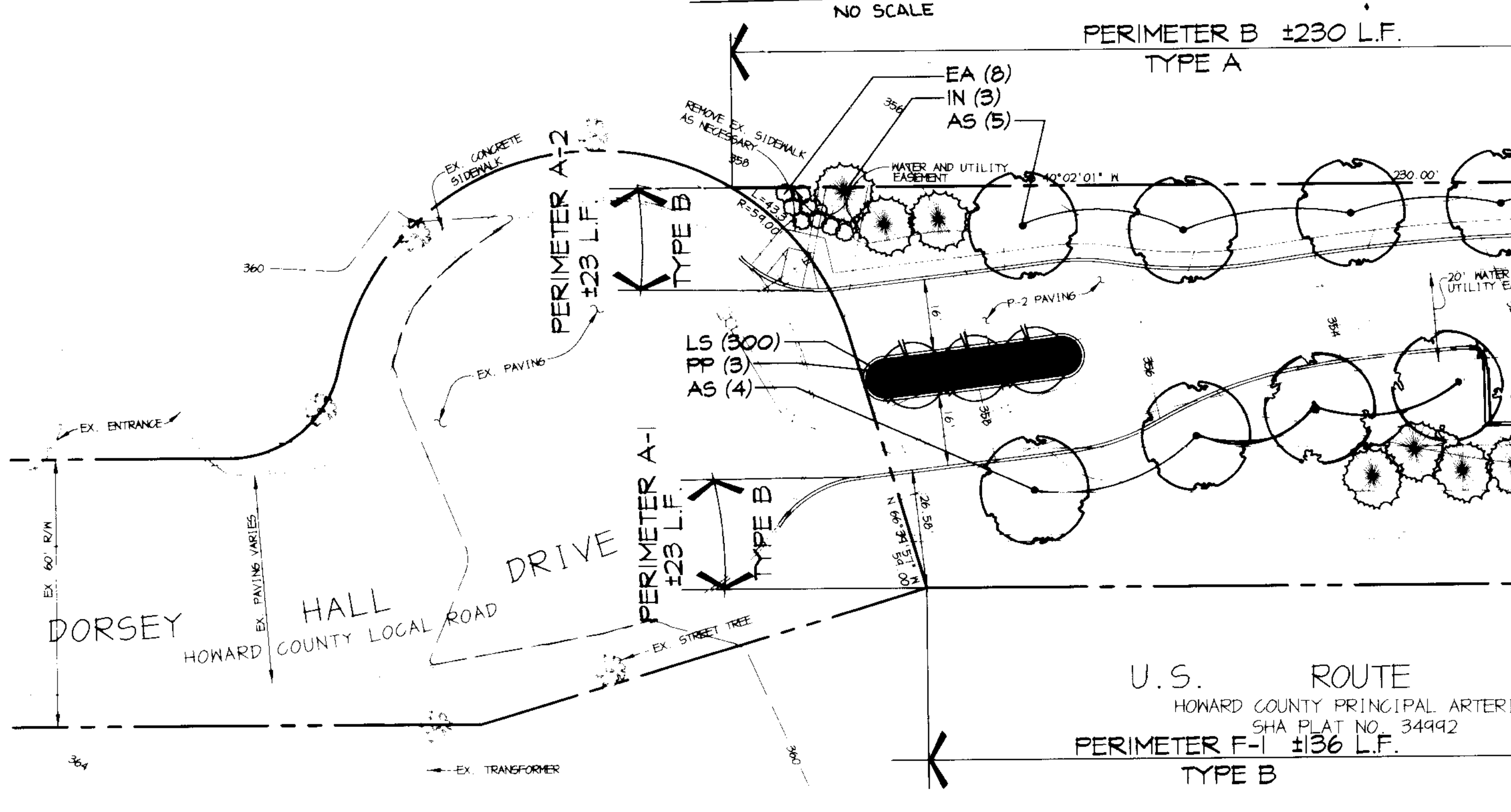
PERIMETER F-2:
(15) EVERGREEN TREES HAVE BEEN SUBSTITUTED FOR THE (75) REQUIRED SHRUBS AT A SUBSTITUTION RATE OF (1) EVERGREEN TREE FOR (5) SHRUBS.

PLANT NOTES & SPECIFICATIONS

1. Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.
2. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
3. Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all agenda.
4. Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
5. Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
6. Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence at the drip line.
7. Contractor is responsible for installing all material in the proper planting season for each plant type. Al planting is to be completed within growing season of completion of site construction.
8. Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.
9. Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.
10. All shrubs and groundcover areas shall be planted in continuous prepared planting beds mulched with composted hardwood mulch as detailed and specified except where noted on plans.
11. Positive drainage shall be maintained in planting beds (minimum 2 percent slope).
12. Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.
13. Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability ?to the specific groundcover to be treated.
14. Mulch: Groundcover beds should be mulched with minimum 2 inches of shredded composted hardwood, or as specified on the details, whichever is greater.
15. All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded.
16. This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.



⚠1 FENCE POST, MOUNTING PLATE ON RETAINING WALL DETAIL
NO SCALE

PLAN
SCALE: 1" = 30'

PLANT MATERIAL LIST

KEY	QTY	BOTANICAL + COMMON NAME	SIZE	ROOT	REMARKS
		SHADE TREES			
AR	3	Acer rubrum 'October Glory' October Glory Red Maple	2½" - 3" Cal	B & B	Full Crown Central Leader
AS	15	Acer platanoides 'Emerald Queen' Emerald Queen Norway Maple	2½" - 3" Cal	B & B	Full Crown Central Leader
QR	10	Quercus rubra (borealis) Northern Red Oak	2½" - 3" Cal	B & B	Full Crown Central Leader
UP **	7	Ulmus parvifolia 'Allee' Chinese Elm or	2½" - 3" Cal	B & B	Full Crown Central Leader
ZK **	7	Zelkova serrata 'Green Vase' Green Vase Zelkova	2½" - 3" Cal	B & B	Full Crown Central Leader
		EVERGREEN TREES			
CA		Cedrus atlantica 'Glauca Pendula' Weeping Blue Atlas Cedar	6' - 8' Ht.	B & B	Specimen
IS	5	Ilex X 'San Jose' San Jose Holly	5' - 6' Ht.	B & B	Full Form
IN	7	Ilex X 'Nellie R. Stevens' Nellie R. Stevens Holly	8' - 10' Ht.	B & B	Full Form Central Leader
MG *	2	Magnolia grandiflora 'Majestic Beauty' Majestic Beauty Southern Magnolia	14' - 16' Ht.	B & B	Specimen
PO	18	Picea omorika Serbian Spruce	6' - 8' Ht.	B & B	Full Form Central Leader
PS	40	Pinus strobus White Pine	6' - 8' Ht.	B & B	Sheared Full Form
PA ⚠1	7	Picea Abies Norway Spruce	6' - 8' Ht.	B & B	Full Form Central Leader
		FLOWERING TREES			
CK	7	Cornus kousa Chinese Dogwood	2' - 2½' Cal	B & B	Specimen
MS	2	Magnolia stellata 'Royal Star' Royal Star Magnolia	6' - 8' Ht	B & B	Multistemmed Specimen
PP	24	Prunus sargentii Sargents Flowering Cherry	2' - 2½' Cal	B & B	Specimen
		SHRUBS			
AG	36	Azalea X 'Gumpo White' Dwarf White Azalea	18" - 24" Sp.	B & B	Full
AW	13	Azalea X 'Pleasant Valley White' Pleasant Valley White Azalea	18" - 24" Sp.	B & B	Full
AX	84	Azalea X 'Robin Hill' Robin Hill Azalea	24" - 30" Sp.	B & B	Full
EA	8	Euonymus alatus 'compactus' Dwarf Burning Bush	30" - 36" Ht.	B & B	Full
IC ⚠1	57	Ilex crenata 'Rotundifolia' Roundleaf Japanese Holly	30" - 36" Ht.	B & B	Full
PL	28	Prunus laurocerasus 'Schipkaensis' Shipka Cherry Laure	30" - 36" Ht.	B & B	Full
RC	12	Rhododendron cata. 'Roseum Elegans' Chinoides Rhododendron	30" - 36" Ht.	B & B	Full
TM	90	Taxus X media 'Densiformis' Spreading Yew	30" - 36" Ht.	B & B	Full
VC ⚠1	6	Viburnum Carlesii "Cayuga" Dwarf Korean Spice Viburnum	4'-5' Ht.	B & B	Full
		GROUNDCOVER & PERENNIALS			
HS	106	Hemerocallis 'Stella D'Oro' Stella D'Oro Daylily	#1	Cont.	24" O.C.
HF	38	Hosta sieb. 'Frances Williams' Frances Williams Hosta	#1	Cont.	24" O.C.
LS	576	Liriope spicata 'Majestic' Majestic Liriope	4" pots	Flat	18" O.C.

* DESIGNATED SPECIMEN TREES

** Zelkova serrata may be substituted for Ulmus parvifolia based upon availability

SEE PLANT DETAILS ON SHEET 5 OF 6 .

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[illegible] 7/18/97
DIRECTOR DATE

[illegible] 7/17/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 7/18/97
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION
3.9.98	⚠1	REVISED LANDSCAPING PLAN TO MEET CHANGES IN LOADING AREA. REVISED SCH. 'B' & PLANT MATERIAL LIST. ADDED MNT'G. DET.

OWNER: THE HOWARD RESEARCH & DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
(410) 992-6000

DEVELOPER: CAREMATRIX CORPORATION
197 FIRST AVENUE
NEEDHAM, MA. 02194
(617) 433-1000

PROJECT: DORSEY HALL
ASSISTED LIVING FACILITY

AREA DORSEY HALL SECT 2 AREA 5 PARCEL O-1
ZONED POR TAX MAP 30 BLOCK 4
2nd ELECTION DISTRICT HOWARD COUNTY, MD.

TITLE: LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

6.27.97
DATE

STATE OF MARYLAND
MICHAEL G. RIEMER
REGISTERED LANDSCAPE ARCHITECT
NO. 201

MICHAEL G. RIEMER # 201

DESIGNED BY :	L.O.H., C.A.K.
DRAWN BY:	C.A.K.
PROJECT NO :	96084 LSCP.DWG
DATE :	JUNE 27, 1997
SCALE :	1" = 30'
DRAWING NO.	6 OF 6

SDP-97-102