

GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standard and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Construction Inspection at (301) 792-7272 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
- Site area: 5.7259 acres
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography reflects mass grading as shown on as-built, November 1996.
- Coordinates and bearings are based upon the MD State plan system (NAD 83).
- All existing water and sewer shown is public, per contract 24-3463-D.
- Stormwater management for this site is proposed under GP 96-45 & F-96-41.
- All existing public storm drain is per F-96-41.
- All curb radii is 5' unless noted otherwise.
- Utility information taken from approved final construction plans for development.
- Sidewalks adjacent to perpendicular parking shall be 6' wide, unless dimensioned otherwise. All other sidewalks shall be 4' wide, except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
- Contractor shall utilize PVC pipe for the sewer house connection. Contractor shall utilize D.I.P. (CL 51) for the water house connection.
- For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain the same grade and alignment to the first structure.
- Use trench bedding class "C" for storm drains.
- Paved areas indicated are private.
- Project background: See Dept. of Planning & Zoning File Numbers: SP 95-08, FDP 2-226, WP 95-94, GP 96-45, F-96-41, PB 302 SDP 96-79, SDP 96-114, SDP 97-37, F-96-114.
- Recording reference: Plat No. 12177
- All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
- The water meter shall be located inside the building.
- The limits of public maintenance for the water house connection shall be to the limits of the existing public right of way.
- All proposed site utilities are to terminate 5' from the building. The building plumber shall connect to and extend these utilities to the inside of the building.
- For Gas, Telephone and Electric routing, see separate plan.
- There are no lot line building setbacks, except as indicated from the public Right-of-Way. No parking area shall be located within 10' of any lot line except shared parking facilities between two or more lots and except as approved by the Howard County Planning Board (FDP 226).
- BENCHMARK DESCRIPTIONS**
 Station 2542001 (concrete monument)
 Elevation: 426.971 (for vertical control only)
 Station is located on B.G. & E. transmission lines 1080'± S.W. of Dobbin Road.
 Station 2542002 (concrete monument)
 Elevation: 363.638' (for vertical control only)
 Station is located 1000'± west of Rte. 175 on transmission line @ B.G. & E. tower 19-E.
 Station 37DR (1/2" rebar)
 N 69881.1794, E 416566.7155 (for horizontal control only)
 Station is located 0.45± miles North of Rte. 175 and 46'± East of the curb of Snowden River Pkwy.
 Station 367A (concrete monument)
 N 69205.9263, E 416313.5119 (for horizontal control only)
 Station is located at the Southeast corner of the intersection of Snowden River Pkwy. and Rte. 175 3'± from curb and 5.7'± from guard rail.

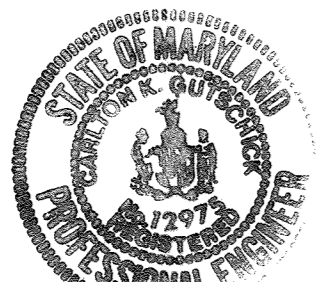
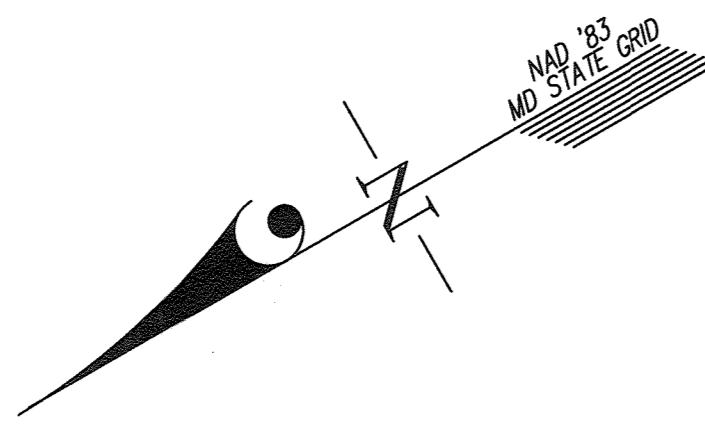
Sheet Index

- Site Plan
- Site Details / Paving Plan
- Handicap Accessibility Details
- Landscape Plan
- Landscape Details & Notes
- Sediment Control Plan
- Sediment Control Details & Notes
- Utility Profiles
- Perimeter, Canopy & Roof Drain Plan.

Legend

- Prop. Curb
- Exist. Curb
- Prop. Contour
- Exist. Contour
- Prop. Spot Elev.
- Exist. Spot Elev.
- Exist. Sewer
- Exist. Water
- Exist. Storm Drain
- Prop. Spill Gutter
- Prop. Temp. Asphalt Curb
- Prop. Access
- Exist. Paving
- Exist. Paving or sidewalk (to be removed)
- Prop. Water Connection
- Prop. Sewer Connection
- Prop. Storm Drain

THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 L 1535 F 183
 ZONED NT



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] 4/21/97
 [Signature] 4/21/97
 Chief, Development Engineering Division MK 4/17/97

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY

DATE: 3/26/97

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT. (410) 880-1820 FAX: (301) 421-4186 DES. DRN. S/G CHK.

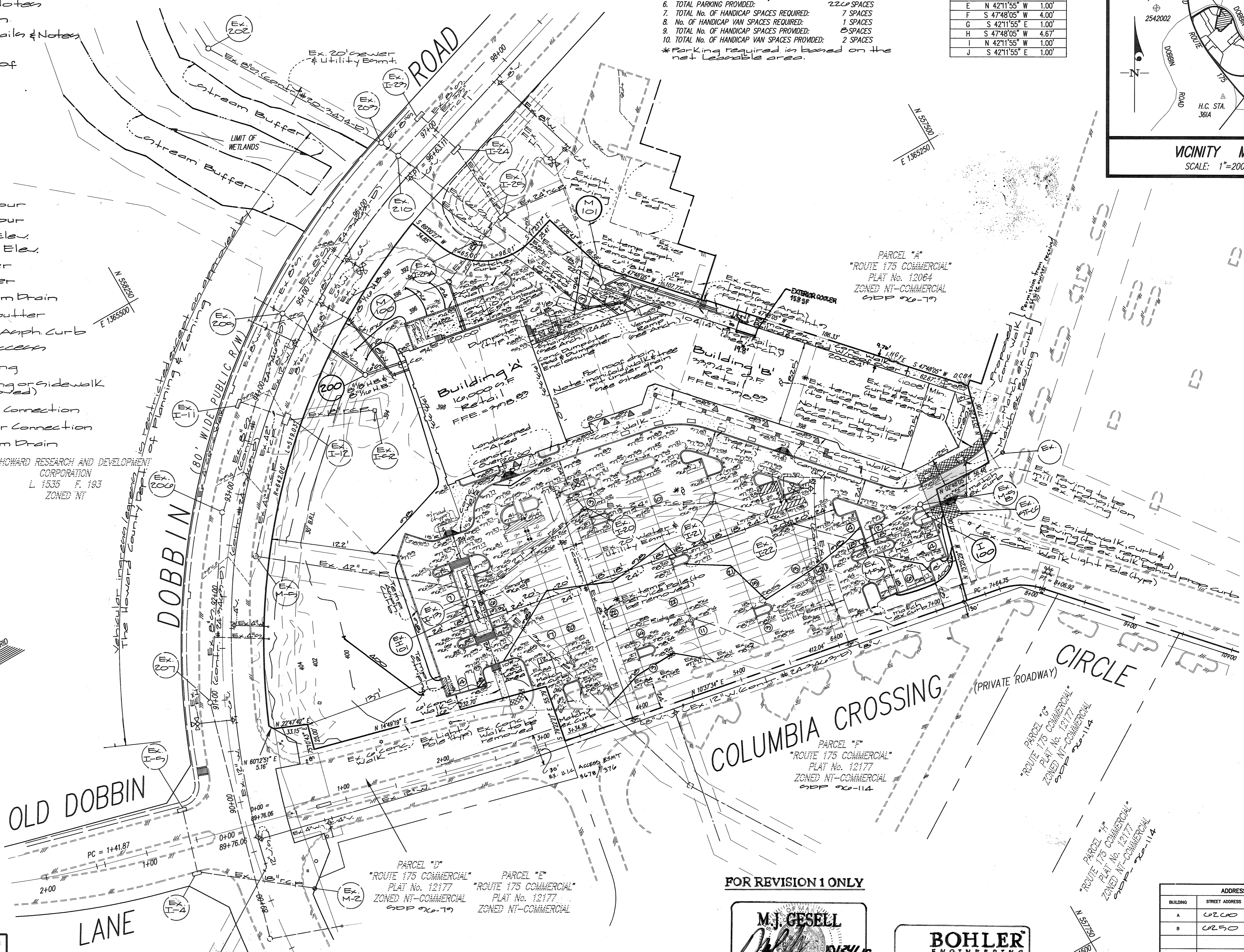
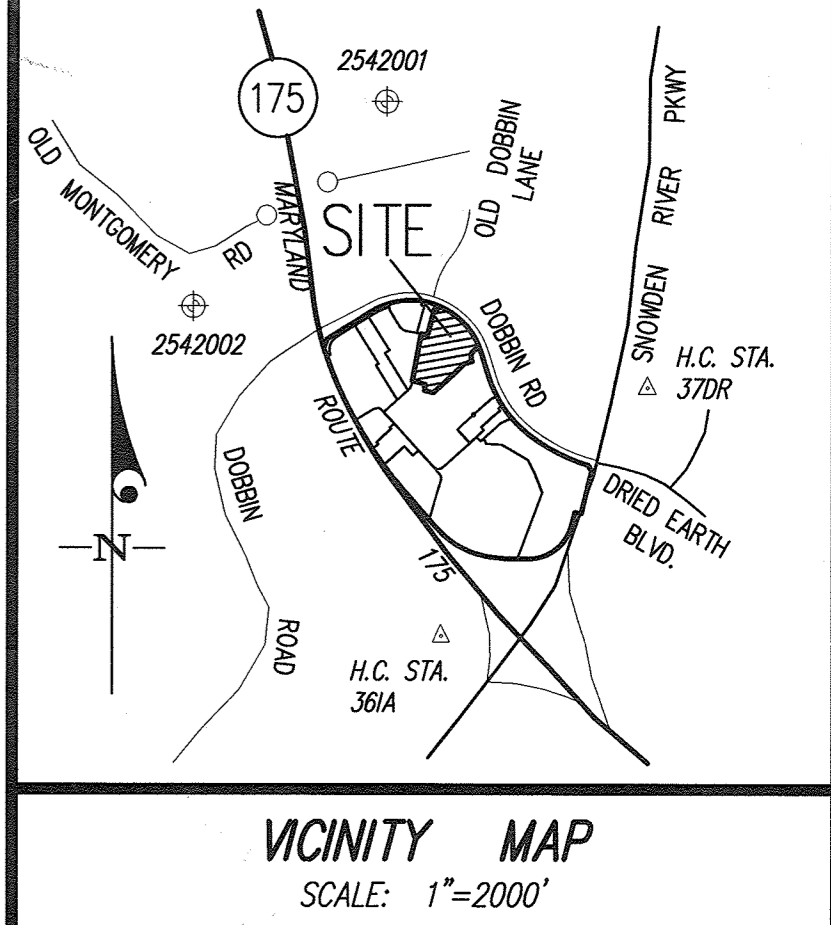
DATE	REVISION	BY	APPR.
9/19/97	ADD EXTERIOR COOLER		BOHLER

OWNER/PREPARED FOR:
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21044
 PHONE (410) 992-6027

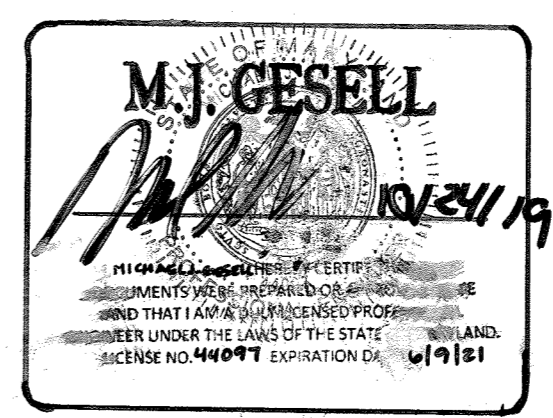
SITE ANALYSIS - PARCEL "C"

- AREA OF PARCEL: 249,420 S.F./5.7259 AC.
 - ZONING: NEW TOWN (COMMERCIAL)
 - PROPOSED USE: RETAIL
 - BUILDING AREA: GROSS: 50,100 S.F.; NET LEASABLE AREA: 45,090 S.F.
 - TOTAL PARKING REQUIRED: 45,090 S.F. @ 5 SP/1000 S.F. = 225.45 SPACES*
 - TOTAL PARKING PROVIDED: 224 SPACES
 - TOTAL NO. OF HANDICAP SPACES REQUIRED: 7 SPACES
 - NO. OF HANDICAP VAN SPACES REQUIRED: 1 SPACES
 - TOTAL NO. OF HANDICAP SPACES PROVIDED: 8 SPACES
 - TOTAL NO. OF HANDICAP VAN SPACES PROVIDED: 2 SPACES
- *Parking required is based on the net leasable area.

LINE	DIRECTION	DISTANCE
A	S 47°48'05" W	4.67
B	N 42°11'55" W	1.00
C	S 47°48'05" W	4.00
D	S 42°11'55" E	1.00
E	N 42°11'55" W	1.00
F	S 47°48'05" W	4.00
G	S 42°11'55" E	1.00
H	S 47°48'05" W	4.67
I	N 42°11'55" W	1.00
J	S 42°11'55" E	1.00



FOR REVISION 1 ONLY



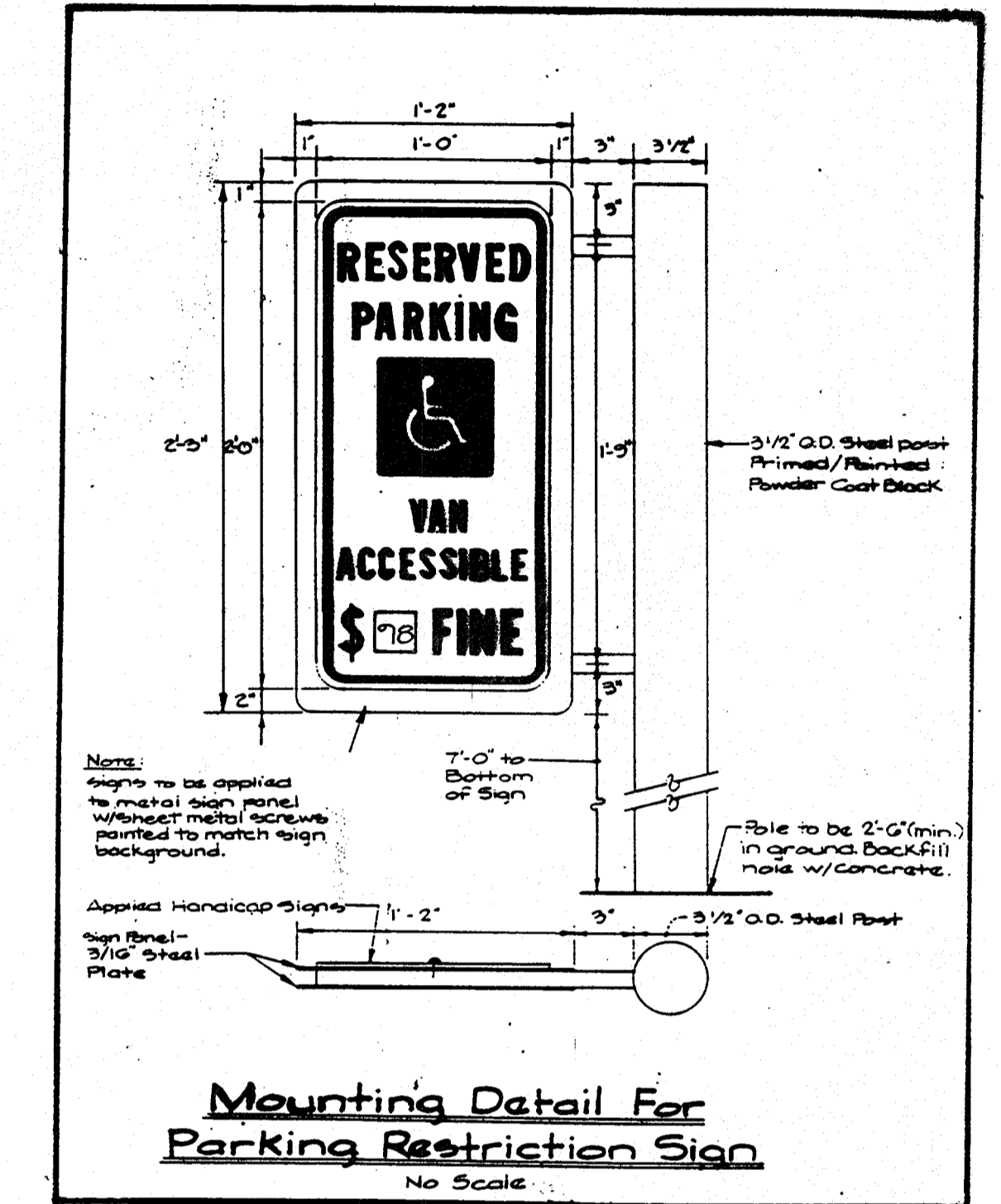
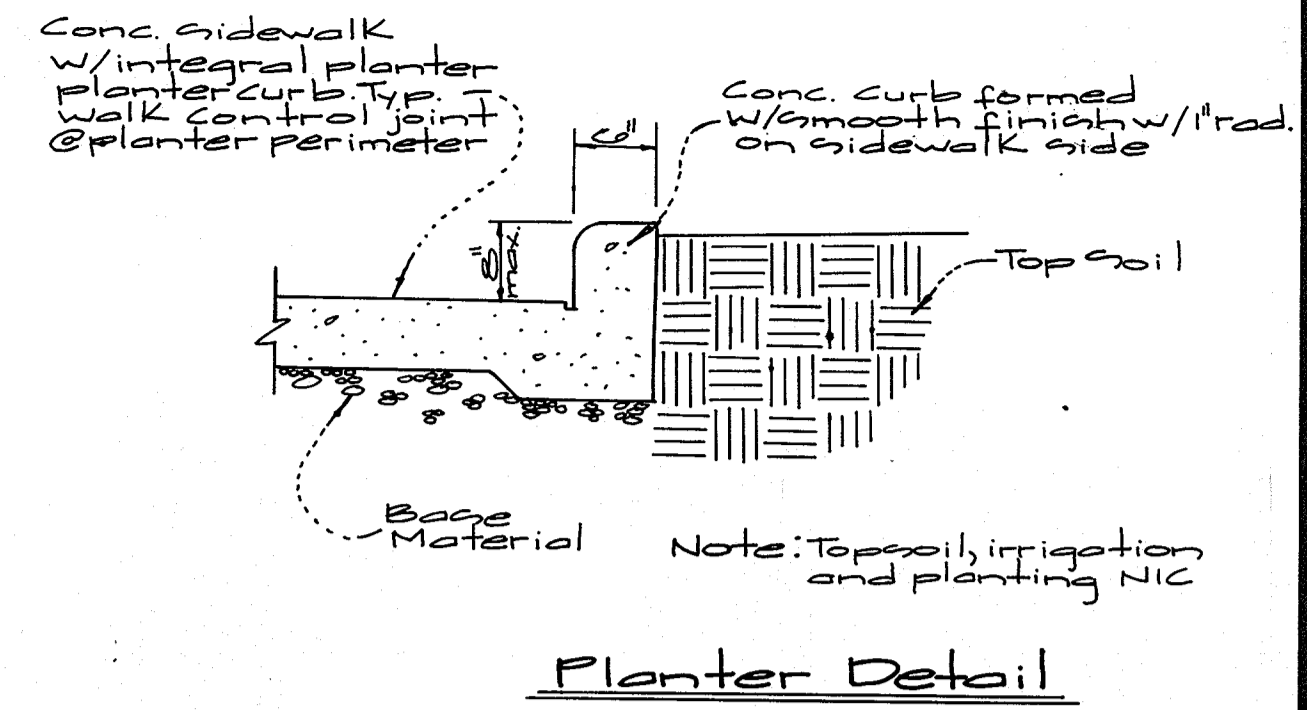
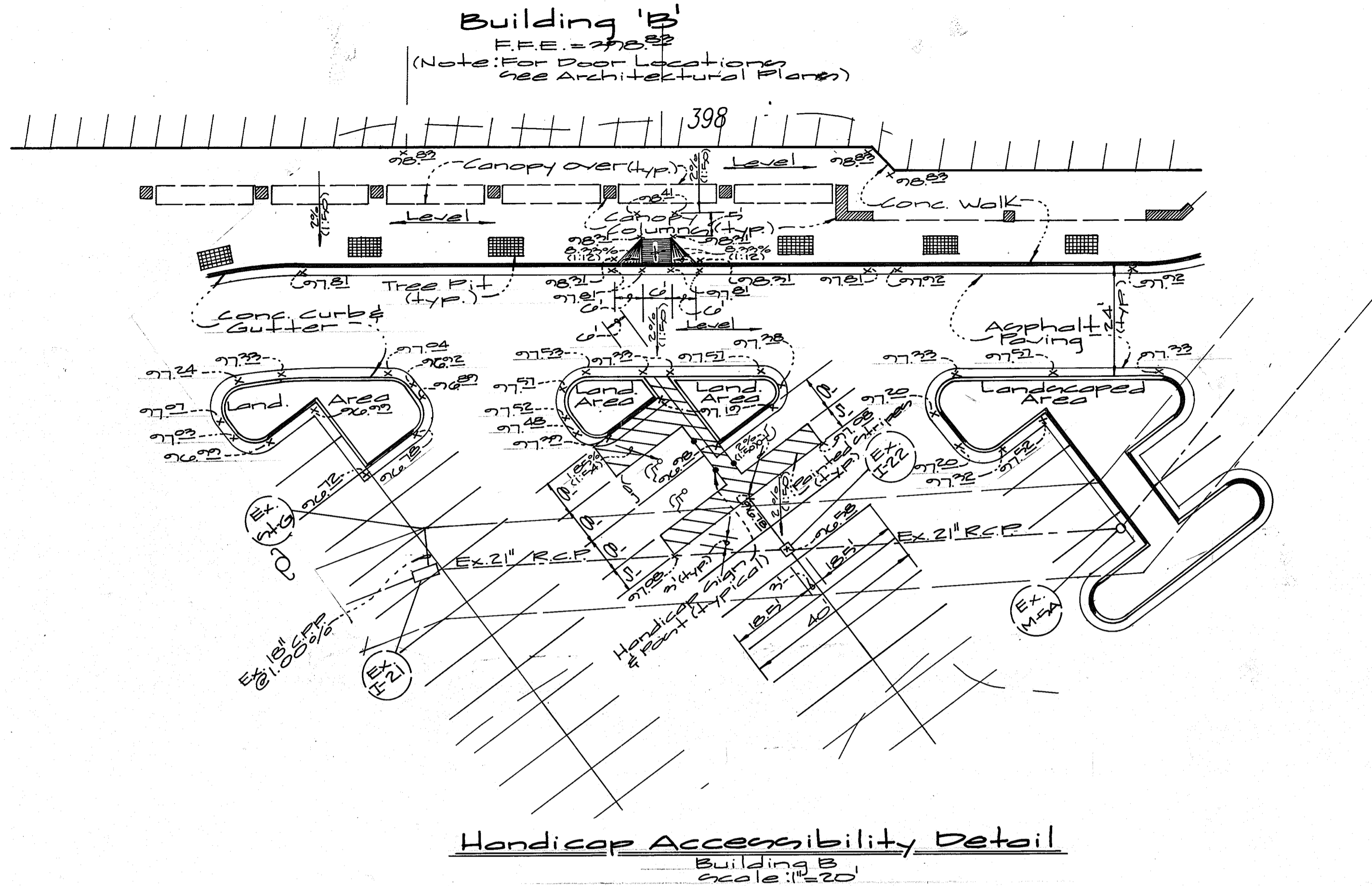
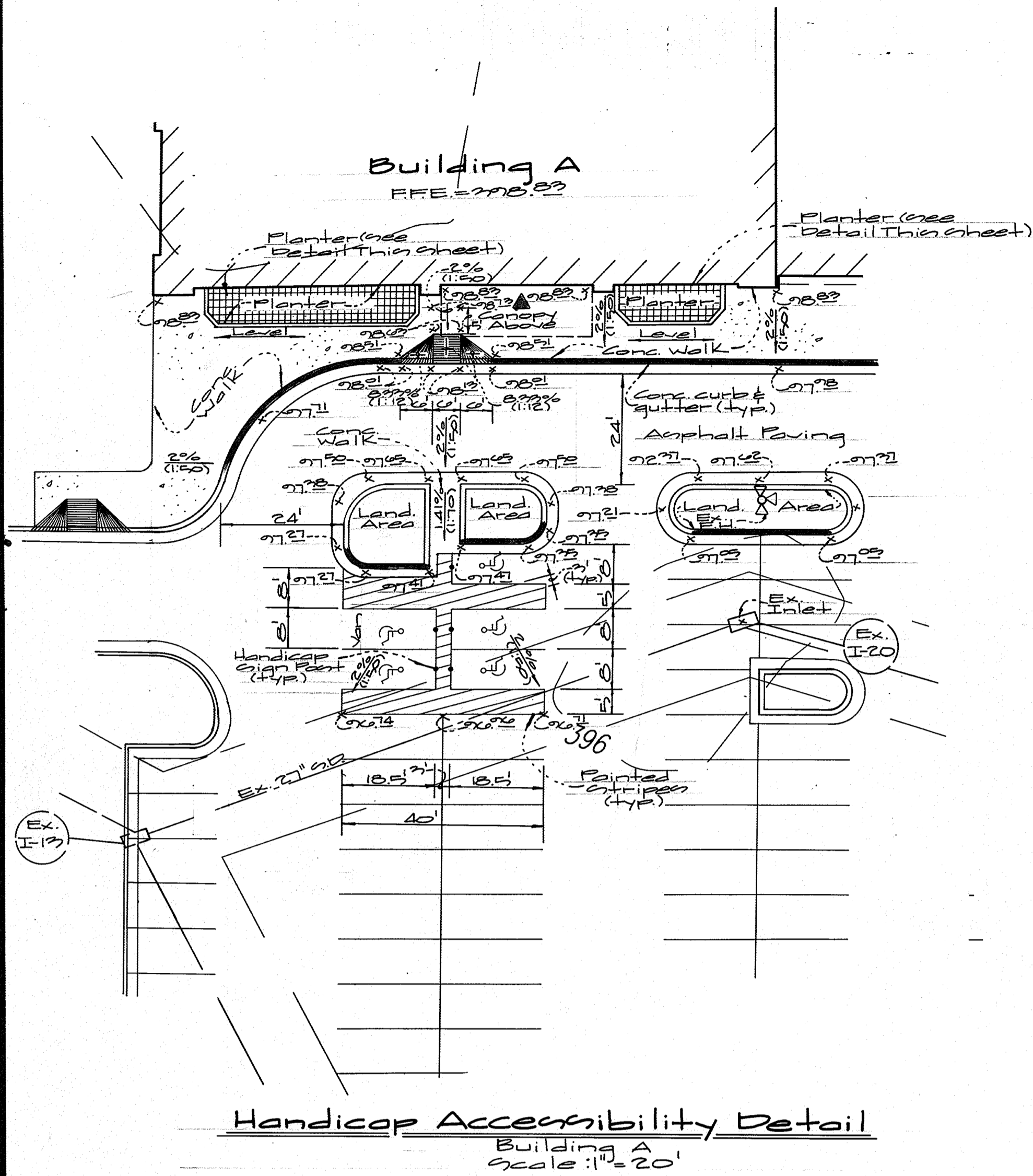
BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 MD@BohlerEng.com

ADDRESS CHART	
BUILDING	STREET ADDRESS
A	0200 COLUMBIA CROSSING CIRCLE
B	0250 COLUMBIA CROSSING CIRCLE

WATER CODE:	SEWER CODE:	SUBDIVISION NAME:	SECTION/AREA:	PARCEL:
000	490000	ROUTE 175 COMMERCIAL	1/1	6
PLAT:	ZONE:	TAX MAP:	BLOCK:	ELEC. DIST.:
12177	NEW TOWN COMMERCIAL	36	12	6

SITE DEVELOPMENT PLAN
 ROUTE 175 COMMERCIAL
 PARCEL "C"

SCALE:	ZONING:	G. L. W. FILE NO.:
1" = 50'	NT COMMERCIAL	95003
DATE:	TAX MAP No.:	SHEET:
February, 1997	36	1 of 9



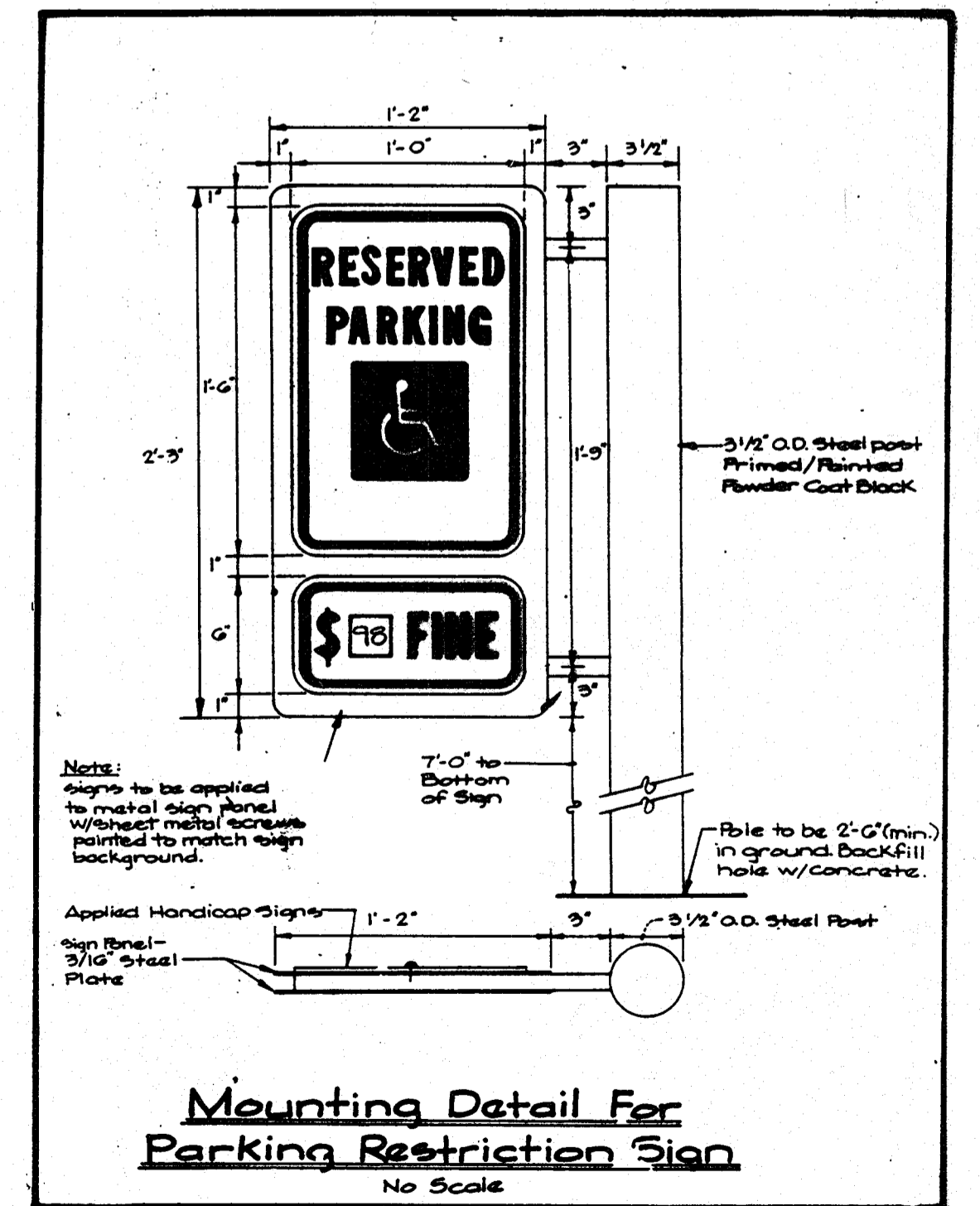
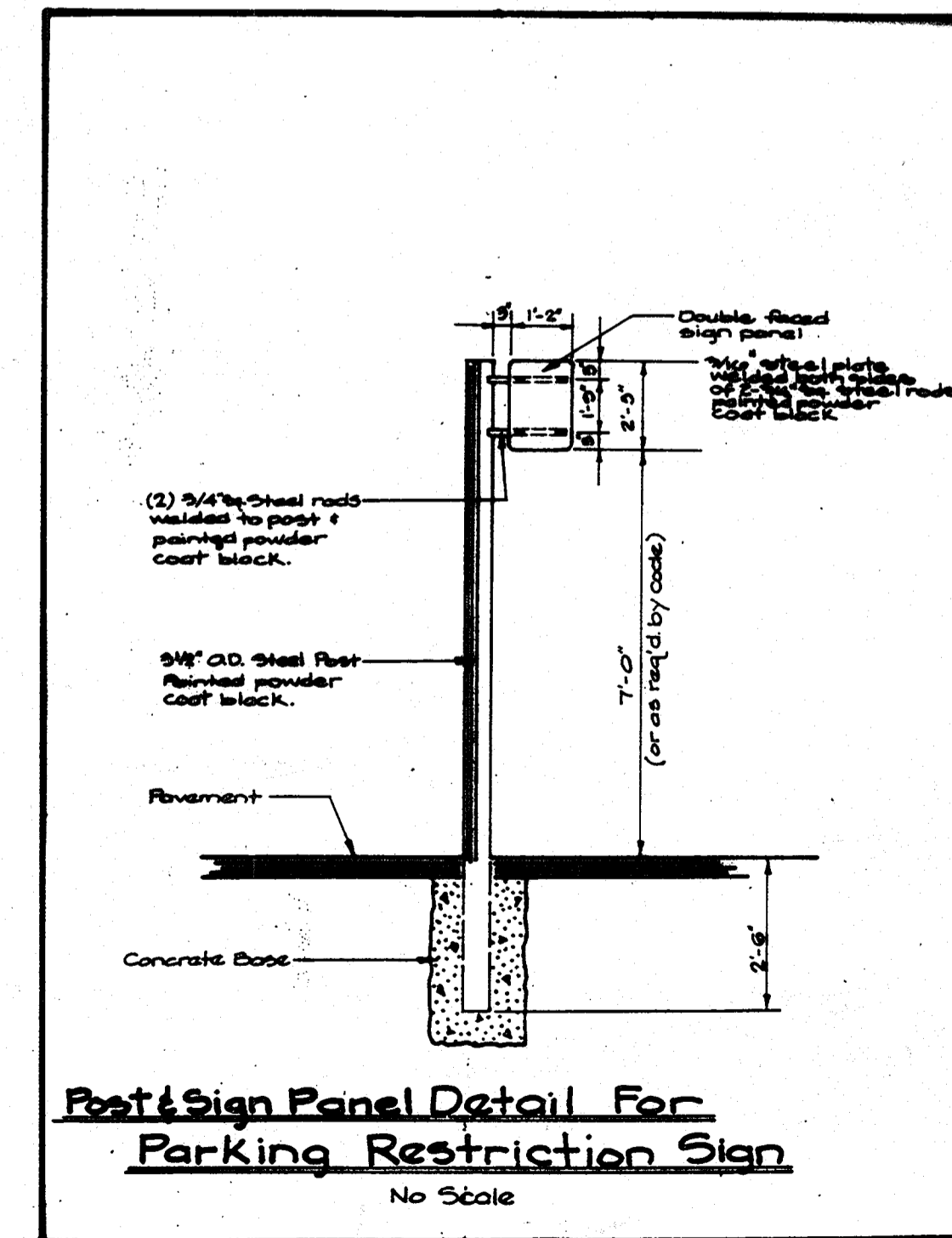
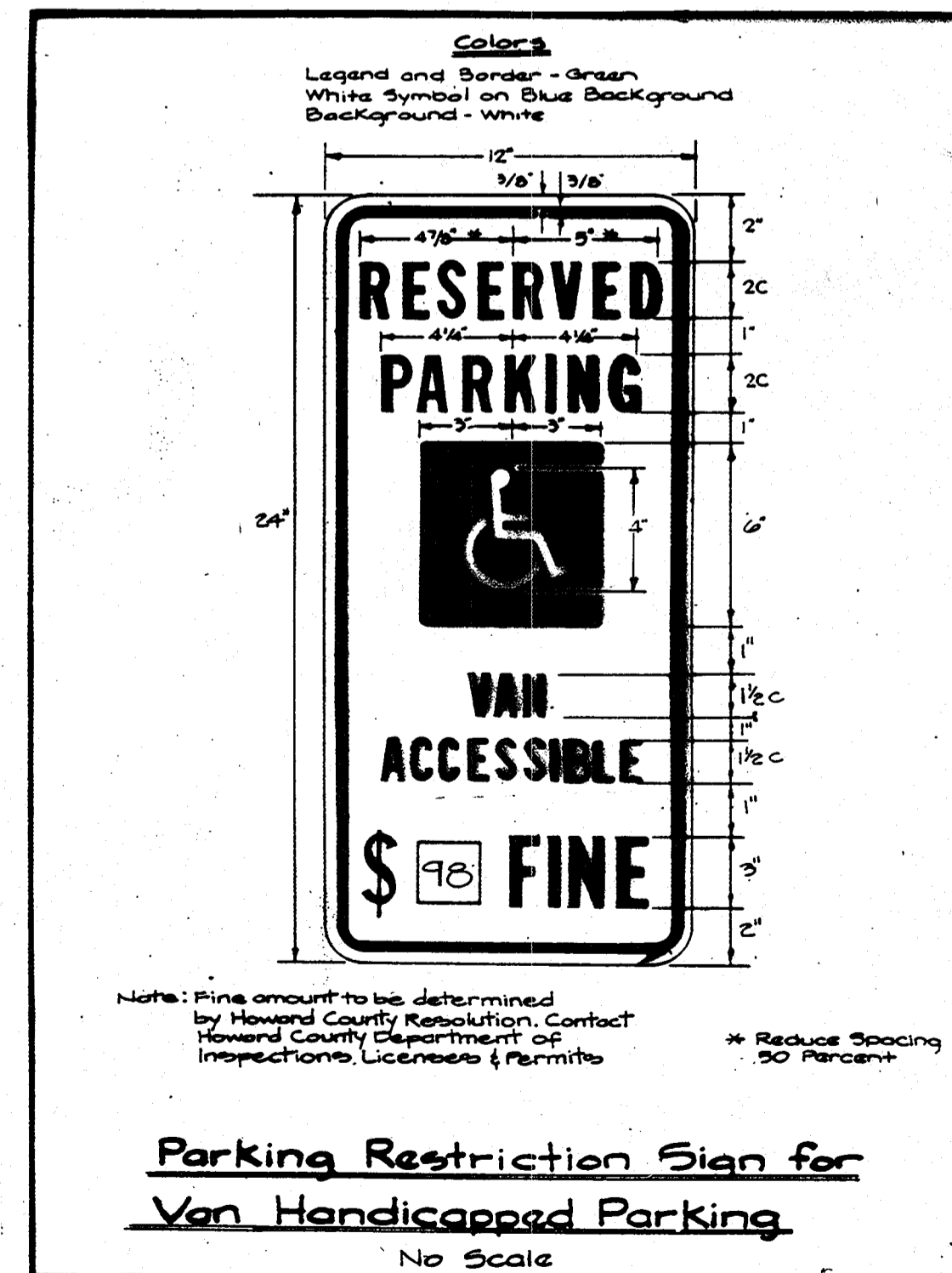
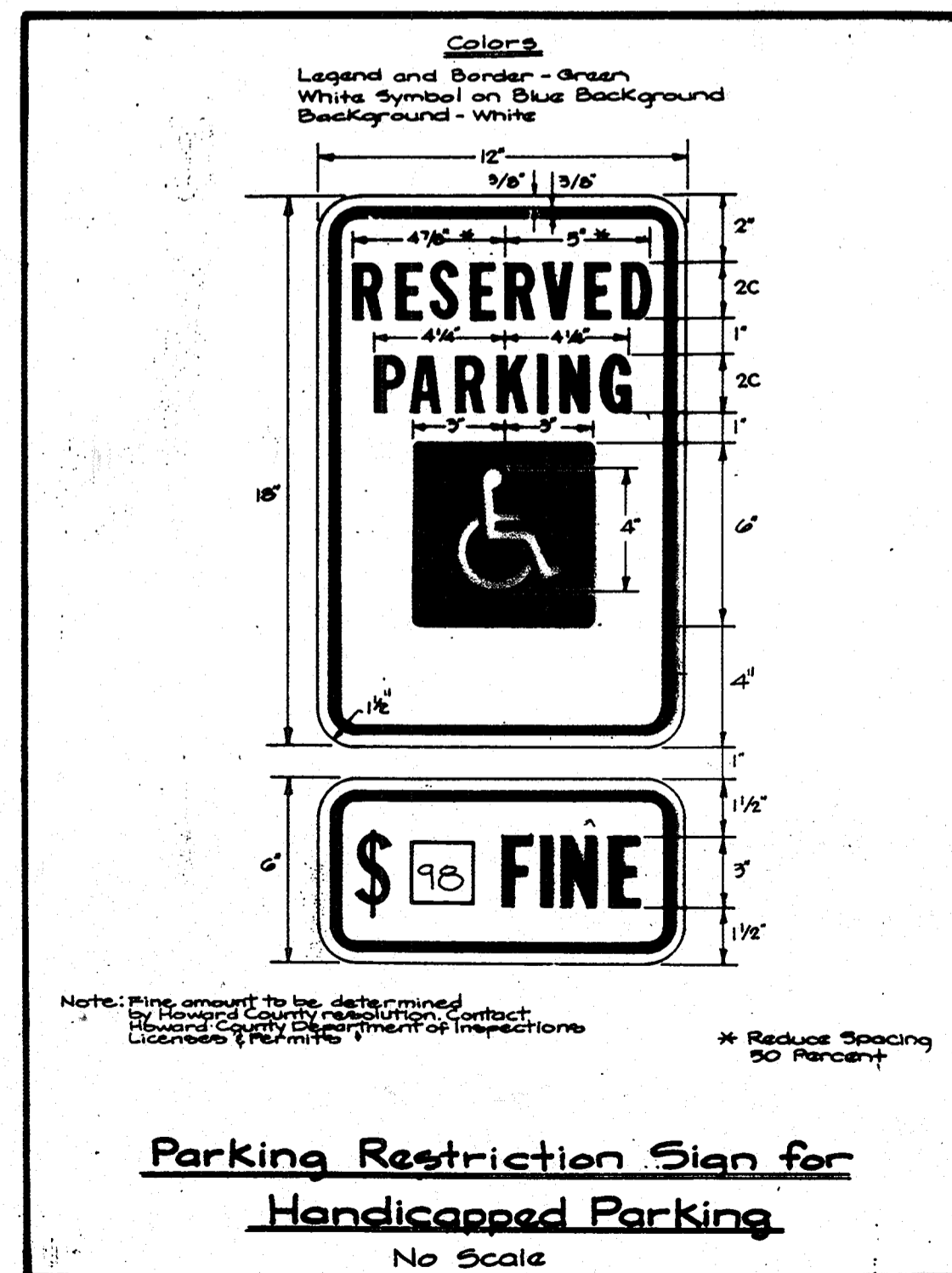
- Notes**
1. Maximum sidewalk cross slope is 2% (1:50).
 2. A 5'x5' minimum level (2%) landing is required at the top and bottom of all ramps. Ramps and slopes greater than 2%.
 3. Maximum slope in any direction of the handicap accessible parking is 2%.



APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: 3/26/97

Approved: Howard County Dept. of Planning & Design
Director: *Joseph K. Rutter* 4/21/97
Chief Development Engineer: *Chris Hamilton* 4/6/97
Chief Development Engineer: *Mike* 4/17/97



GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866

TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP.

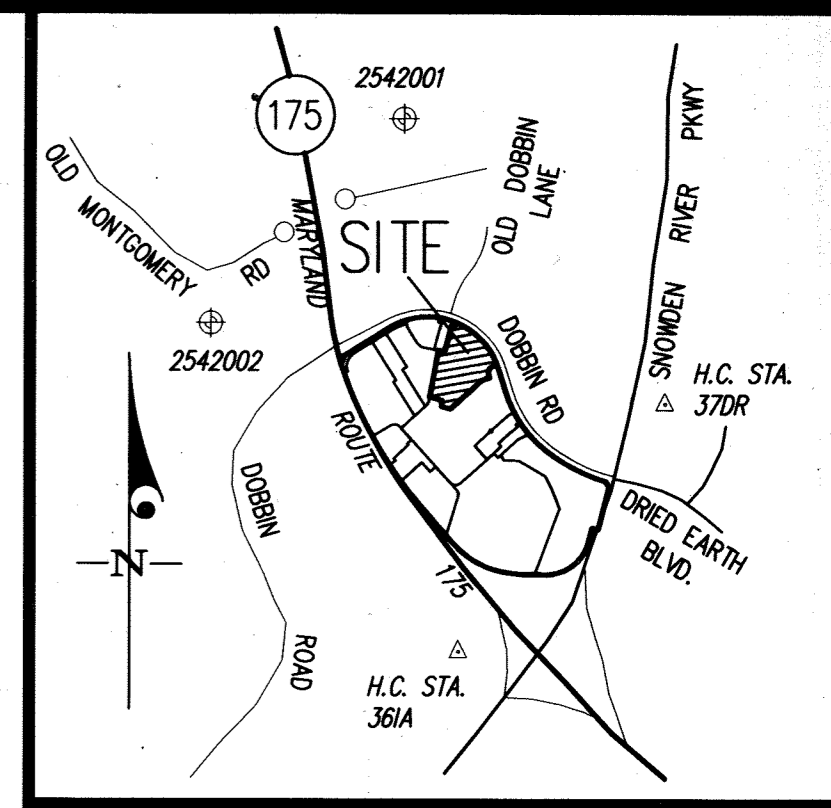
PREPARED FOR:
The Howard Research & Development Corporation
10275 Little Patuxent Pkwy.
Columbia, Maryland 21044
Phone: (410)992-0027

Handicap Accessibility Details
Route 175 Commercial
Parcel "C"
Guilford Election District No. 6
Howard County, Maryland

DES.	SCALE	ZONING	G.L.W. FILE NO.
	As Shown	Commercial	95-003
DRN.	DATE	TAX MAP NO.	SHEET
W.S.J.	February 1997	90	7 of 9
CHK.			

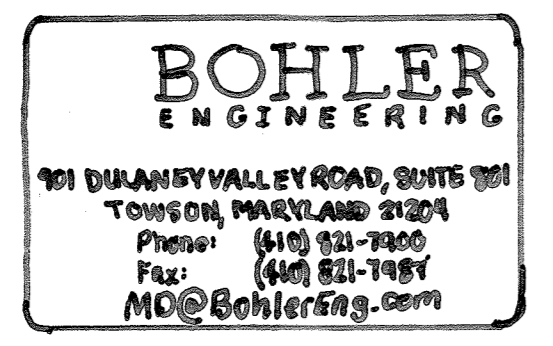
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LINE	DIRECTION	DISTANCE
A	S 47°48'05" W	4.67'
B	N 42°11'55" W	1.00'
C	S 47°48'05" W	4.00'
D	S 42°11'55" E	1.00'
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H	N 42°11'55" W	1.00'
I	S 47°48'05" W	4.67'
J	S 42°11'55" E	1.00'



VICINITY MAP
SCALE: 1"=2000'

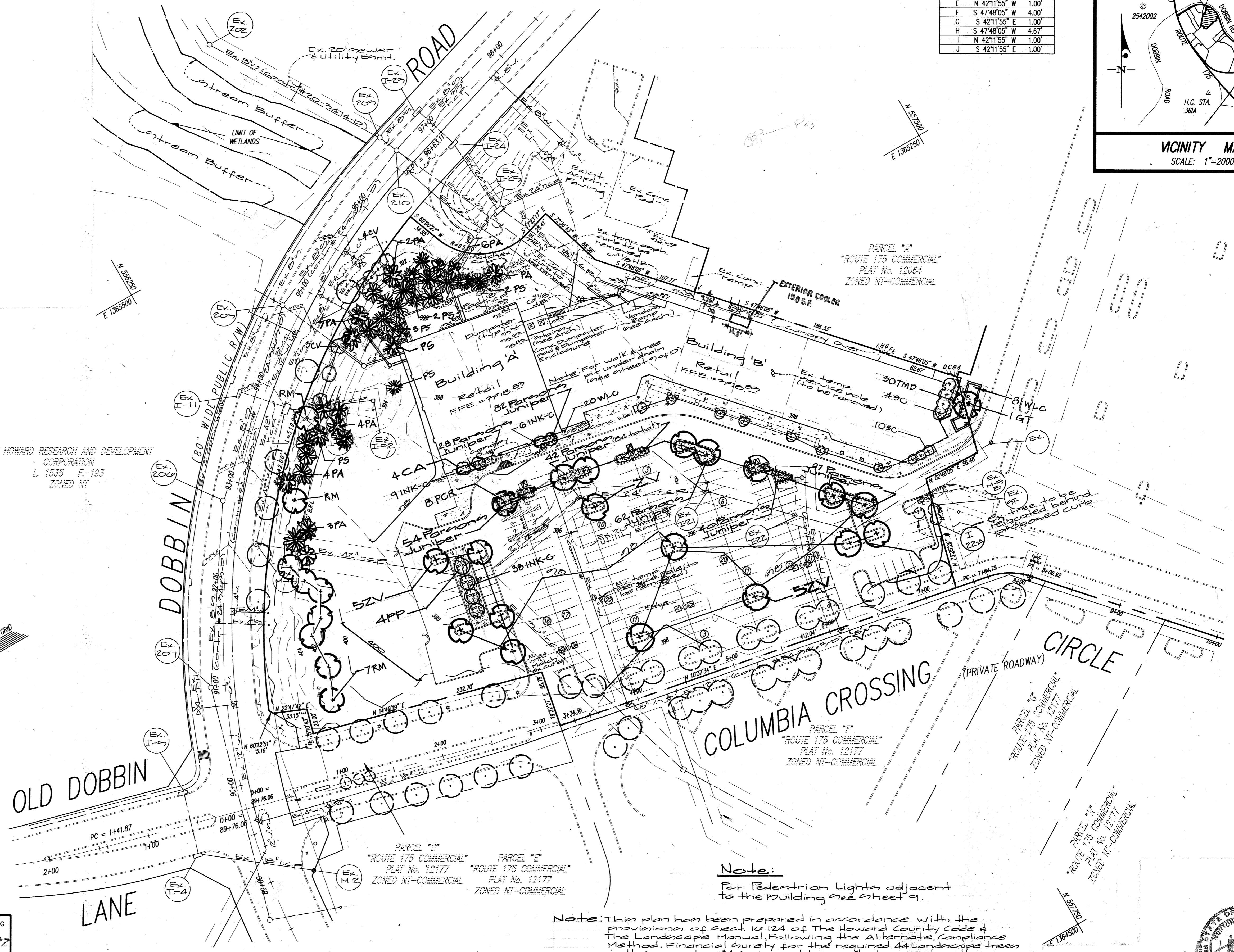
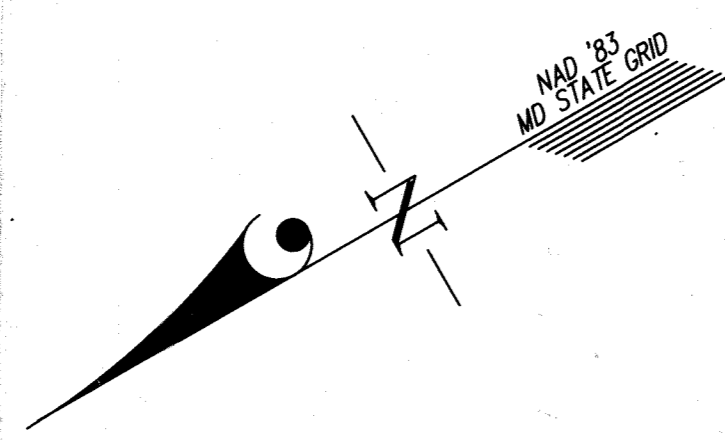
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THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
L 1535 F 183
ZONED NT

Legend

- * Pedestrian Fixture (Low Intensity)
- Parking Lot Lighting (70' Pole/Cutoff)
- Ex. trees (by others)



Note:
For Pedestrian Lights adjacent to the Building see sheet 9.

Note: This plan has been prepared in accordance with the provisions of Section 10.124 of The Howard County Code & The Landscape Manual. Following the Alternate Compliance Method Financial Surety for the required 44 landscape trees in the amount of \$4,400 must be posted as part of the Developer's Agreement.

For Landscape + Lighting Purposes Only!!!

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 3/26/97

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] 4/21/97
Chief, Development Engineering Division: [Signature] 4/17/97

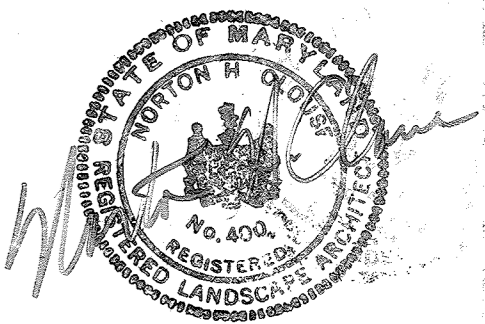
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DATE	REVISION	BY	APP'R.
9/19/93	AS BUILT PLANTING PLAN	BY	NO
9/19/93	ADD EXTERIOR COOLER	BOHLER	

OWNER/PREPARED FOR:
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21044
PHONE (410) 992-6027

Landscape + Lighting Plan
ROUTE 175 COMMERCIAL
PARCEL "C"
GULFORD ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	NT COMMERCIAL	95003
DATE	TAX MAP No.	SHEET
February 1997	36	4 of 9



PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').

c. Minimum size for planting shade trees shall be 3-3 1/2" caliper, 14'-16' in height.

d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3"-3 1/2" caliper, 10'-12' in height.

e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.

f. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3 1/2"	14'-16'	6'-8'	32" diameter
3 1/2" - 4"	14'-16'	8'-10'	36" diameter
4" - 4 1/2"	16'-18'	8'-10'	40" diameter
4 1/2" - 5"	16'-17'	10'-12'	44" diameter
5" - 5 1/2"	16'-20'	10'-12'	48" diameter
5 1/2" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B+B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	DIAMETER	DEPTH
3" - 3 1/2" cal.	32"	64"	28"
3 1/2" - 4" cal.	36"	72"	32"
4" - 4 1/2" cal.	40"	80"	36"
4 1/2" - 5" cal.	44"	88"	40"
5" - 5 1/2" cal.	48"	96"	44"
5 1/2" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16" 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail". All trees over 3" in caliper are to be planted and guyed in accordance with the attached "Typical Tree Guying Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

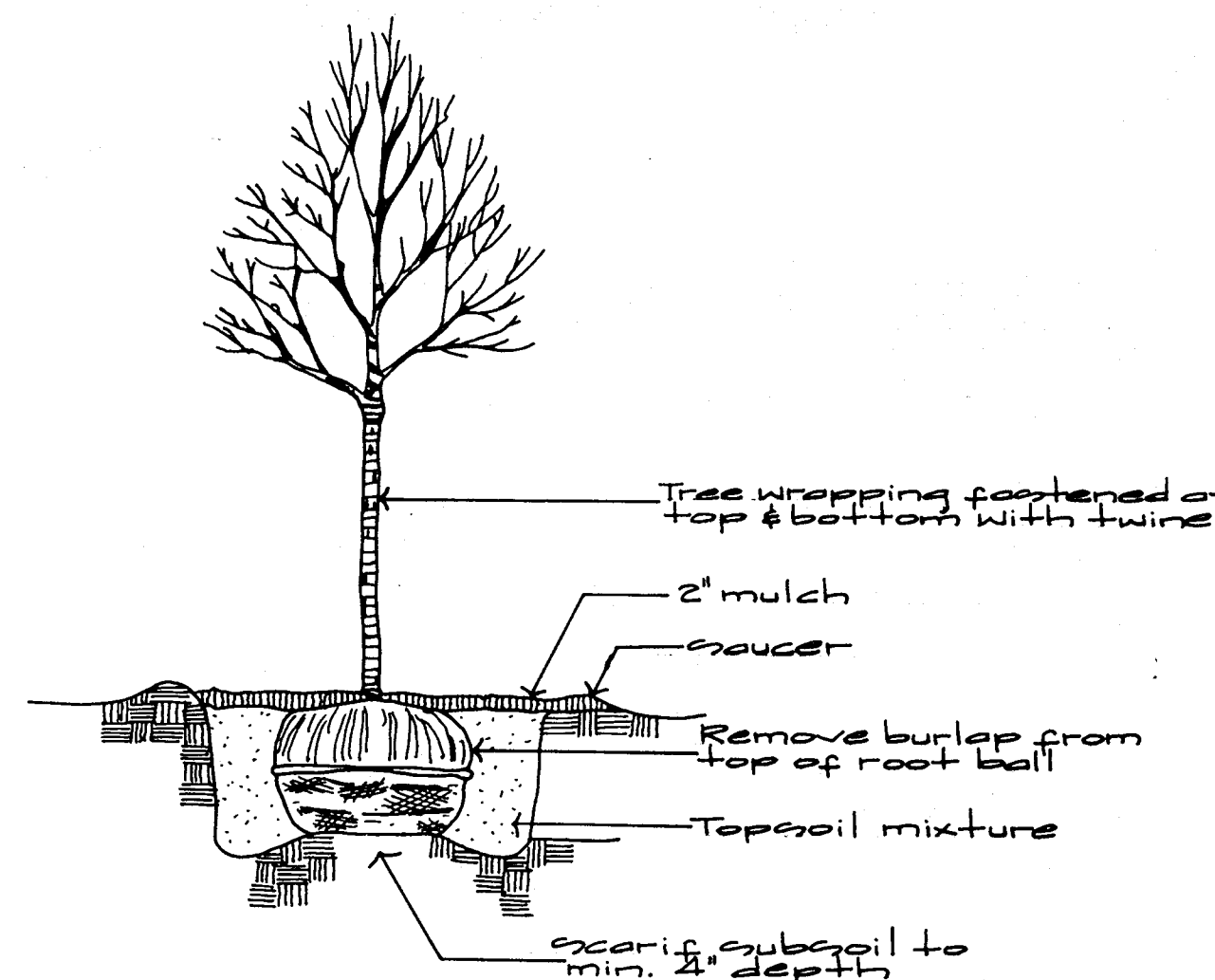
a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

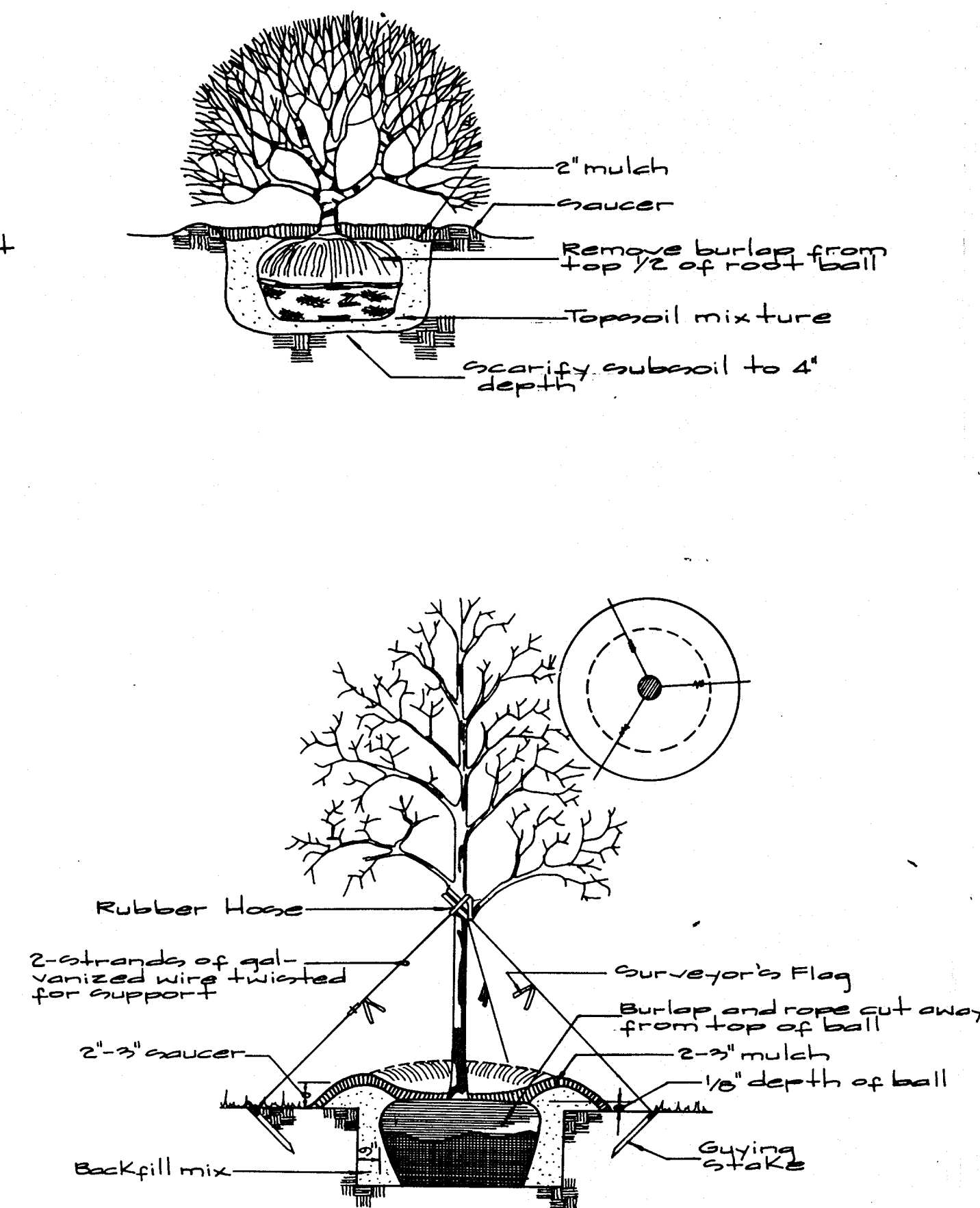
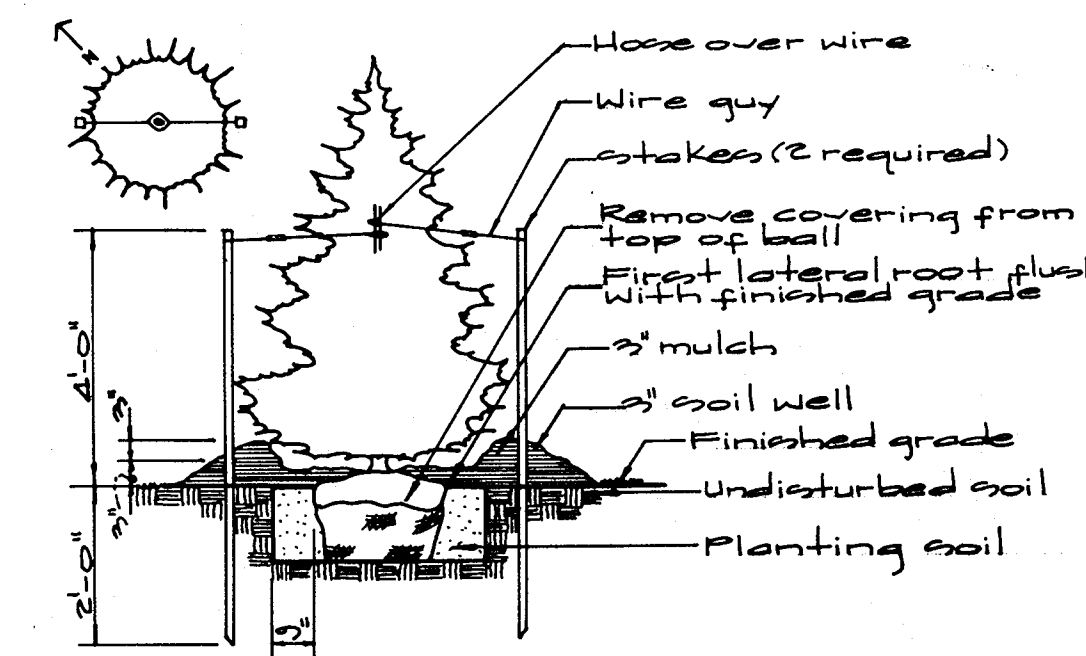
Sodding

All sodding shall be in accordance with the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.



Typical Deciduous Tree Planting



Typical Tree Guying Detail

Plant List

Key	Quantity	Name (Botanical/Common)	Size	Condition
PS	11	Pinus strobus / White Pine	8' Ht.	B & B
PA	26	Picea abies / Norway Spruce	8' Ht.	B & B
ZV	11	Zelkova serrata "Village Green" / "Village Green" Zelkova	2 1/2" cal. / 12'-14' Ht.	B & B
GT	1	Glennitis Triacanthos "PNI 2095" / Shademaster Honeylocust	2 1/2" cal. / 12'-14' Ht.	B & B (FF PIS)
CA	4	Carpinus Caroliniana / American Hornbeam	2 1/2" cal. / 8'-10' Ht.	B & B (Tree Form)
	448	Juniperus chinensis "Parsonii" / "Parsons Juniper"	24" spread	Cont. (Plant @ 24" OC)
PP	4	Prunus cerasifera "Thundcloud" / Purpleleaf Flowering Plum	2-2 1/2" cal. / 8-10' Ht.	B & B
OV	7	Crataegus viridis "Winter King" / Winter King Hawthorn	2-2 1/2" cal. / 8-10' Ht.	B & B
FM	9	Acer rubrum / Red Maple	3-3 1/2" cal. / 18-17' Ht.	B & B
SC	14	Malus sargentii / Sargent Crabapple	1-1 1/2" cal. / 3-4' Ht.	B & B
PRC	8	Pyrus calleryana "Cleveland Select" / Cleveland Select Pear	2 1/2" cal. / 11-13' Ht.	B & B
WLC	101	Cotoneaster salicifolia Bspandens / Willowleaf Cotoneaster	18-24" sprd.	1 gal. cont.
INK-G	53	ILBX glabra 'Com Pacta' / Compact Inkberry	18-24" sprd + Ht	1 gal.
TMD	30	Taxus media 'densiformis' / Dense Spreading Yew	18-24" sprd + Ht	B & B

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 3/26/97

Approved: Howard County Department of Planning & Zoning

Director: [Signature] 4/21/97

Chief Development Engineer: [Signature] 4/15/97

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20866

TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.
0-18-01	AS-BUILT PLANTING PLAN (PLANT LIST)	DY	NO

PREPARED FOR:

The Howard Research & Development Corporation
10215 Little Patuxent Pkwy.
Columbia, Maryland 21044
Phone: (410)992-0027

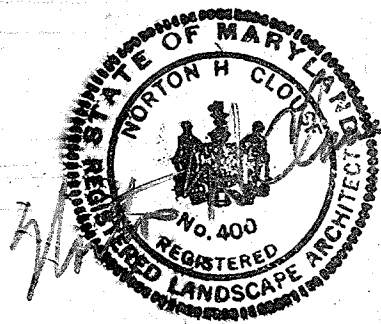
Planting Notes & Details

Route 175 Commercial Parcel "C"

Gulford Election District No. 6

Howard County, Maryland

DES.:	SCALE	ZONING	G.L.W. FILE NO.
DRN.:	As Shown	NT-Commercial	95-009
CHK.:	DATE February 1997	TAX MAP NO. 70	SHEET 5 of 9



Legend

- Limit of Disturbance
- Basin Drainage Divide
- Prop. Silt Fence
- Storm Drain Drainage Divide
- Stabilized Constr. Entrance

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

[Signature] 2-11-97
 Signature of Developer/Builder Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

[Signature] 4/14/97
 Natural Resources Conservation Service Date

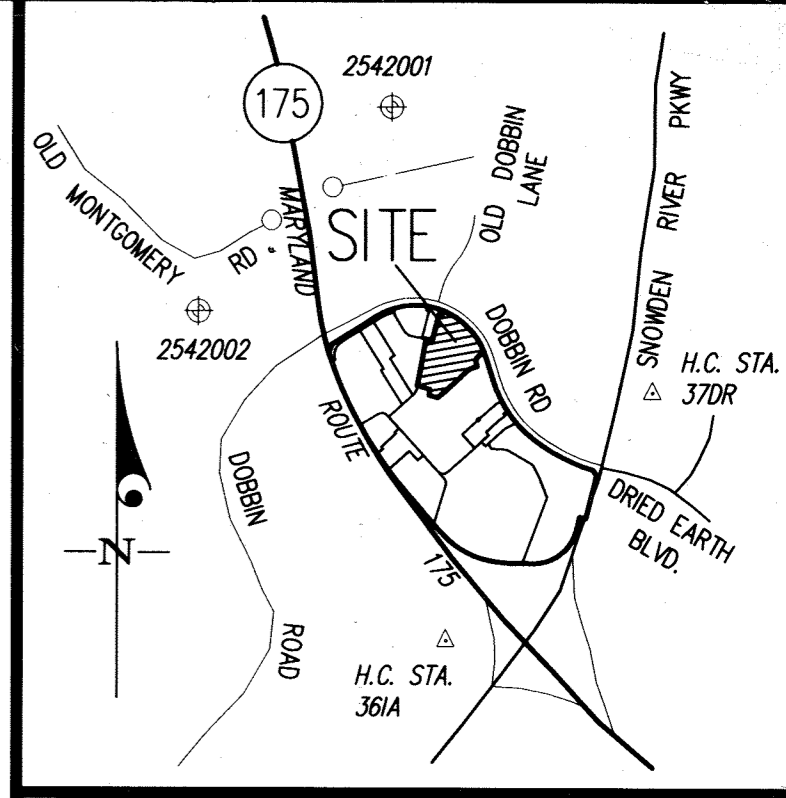
ENGINEER'S CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 2-11-97
 Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

[Signature] 4/14/97
 Howard S.C.D. Date

LINE	DIRECTION	DISTANCE
A	S 47°48'05" W	4.67'
B	N 42°11'05" W	1.00'
C	S 47°48'05" W	4.00'
D	S 42°11'55" E	1.00'
E	N 42°11'55" W	1.00'
F	S 47°48'05" W	4.00'
G	S 42°11'55" E	1.00'
H	S 47°48'05" W	4.67'
I	N 42°11'55" W	1.00'
J	S 42°11'55" E	1.00'



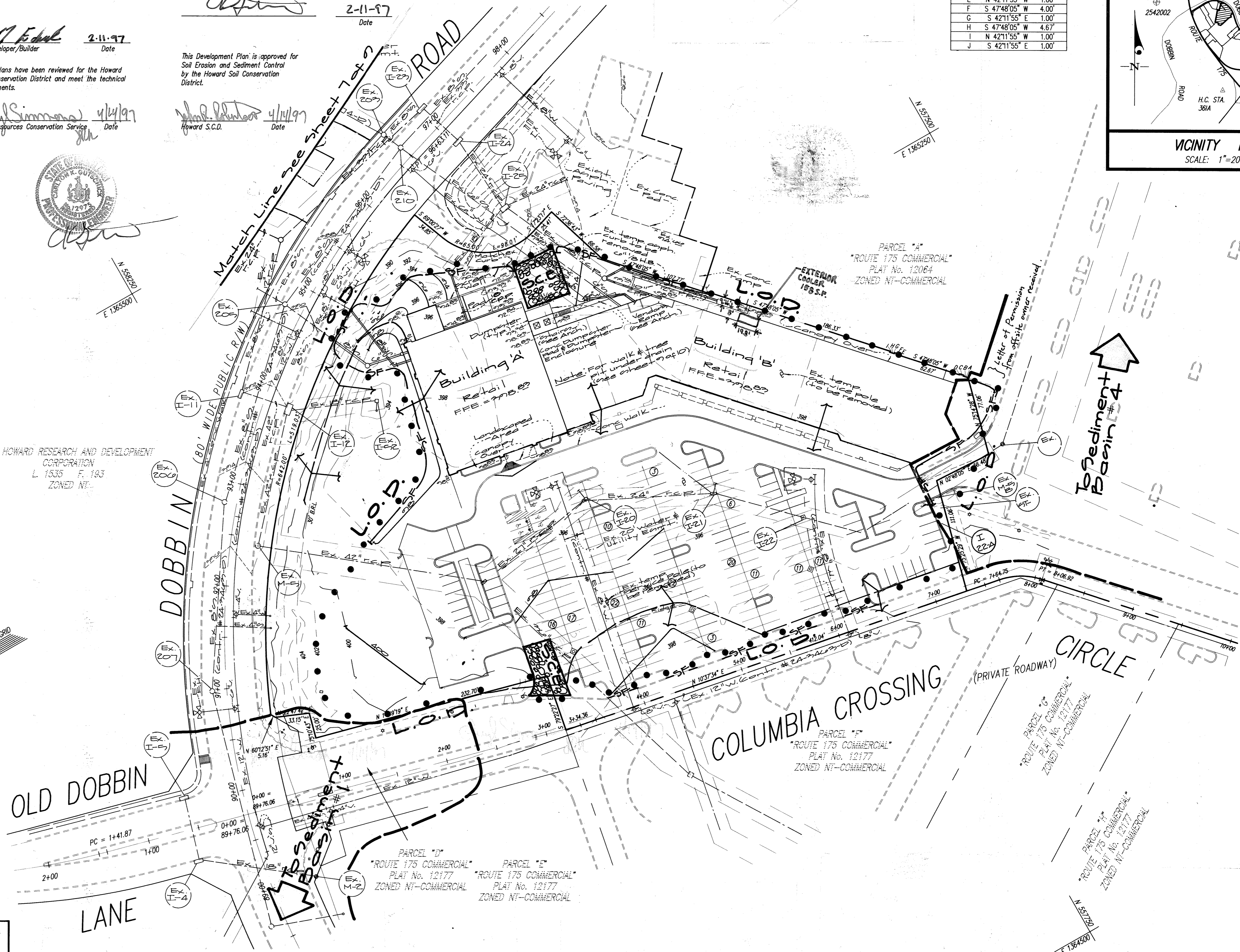
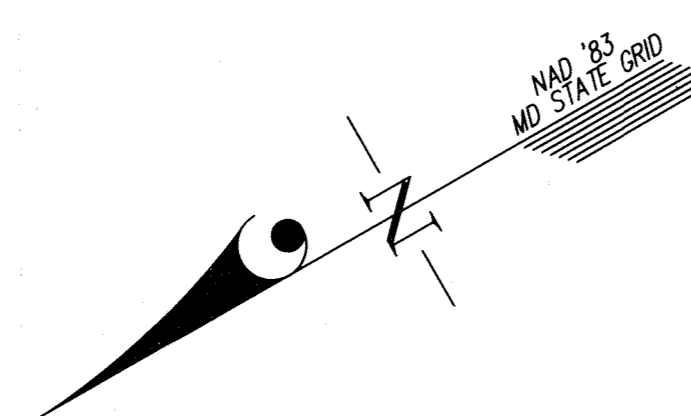
FOR REVISION 1 ONLY

M.J. GESELL
 ENGINEERING
 10124 1st
 410-821-7900
 MD@bhalco.com

BOHLER ENGINEERING
 901 DULANSY VALLEY ROAD SUITE 201
 TOMSON, MARYLAND, 21204
 PHONE: (410) 821-7900
 FAX: (410) 821-7987
 MD@bhalco.com



THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 L 1535 F 183
 ZONED NT



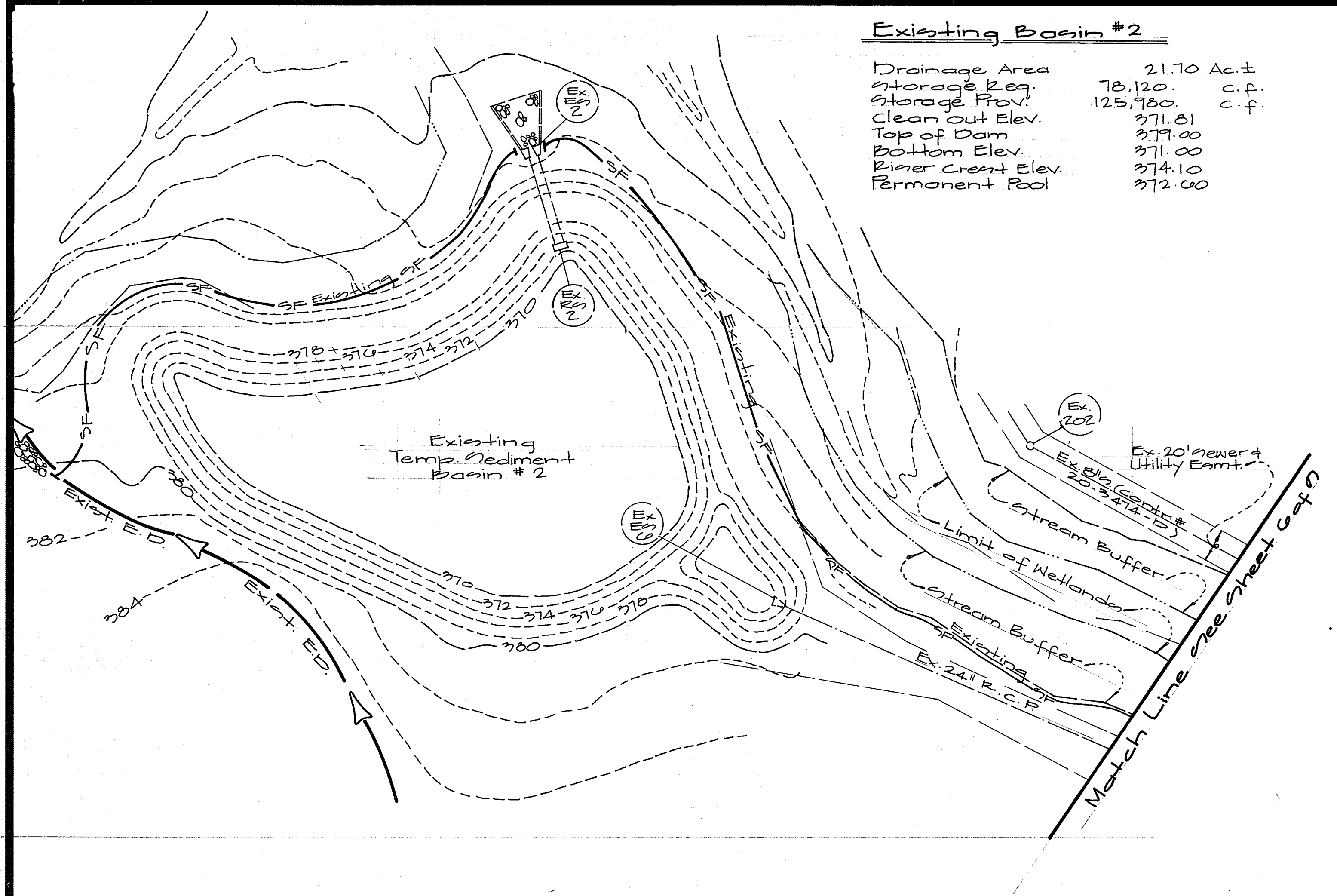
APPROVED
 PLANNING BOARD
 of HOWARD COUNTY

DATE: 3/26/97

Approved: Howard County Department of Planning & Zoning
 Director: *[Signature]* 4/21/97
 Chief Development Engineer: *[Signature]* 4/17/97

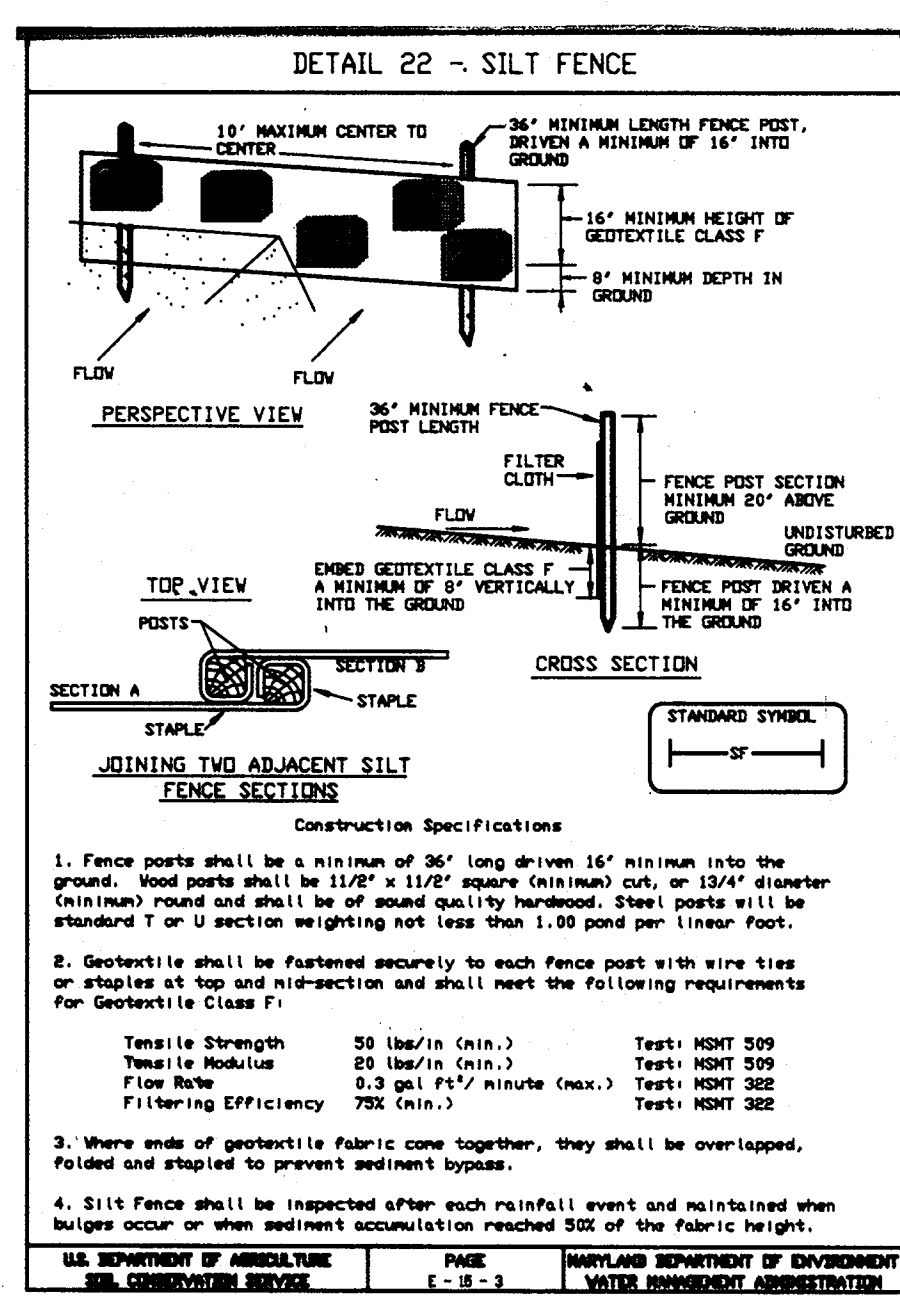
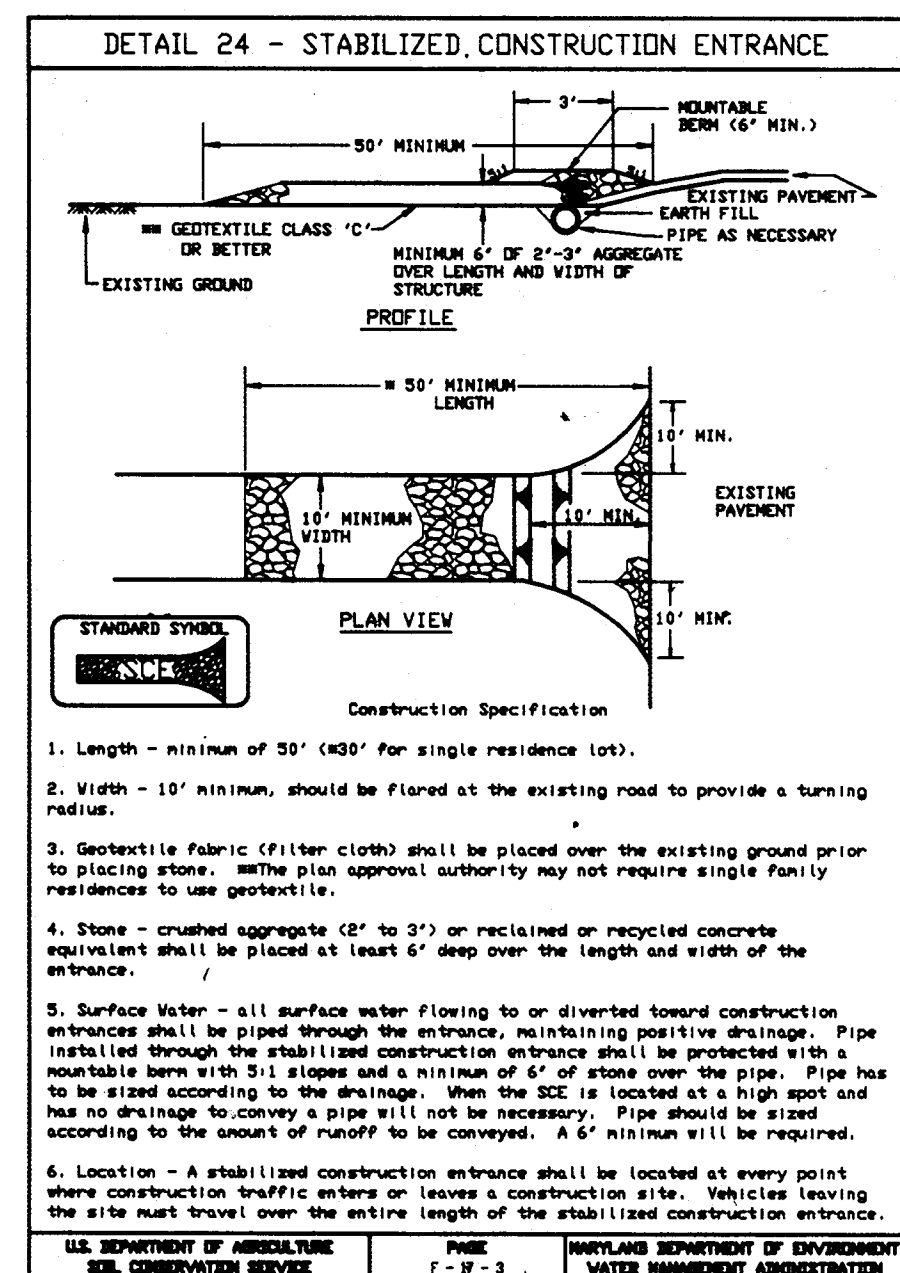
For Sediment Control Purposes Only!

GLW GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. S.G. CHK.	919119	ADD EXTERIOR COOLER	OWNER	OWNER/PREPARED FOR:	Sediment Control Plan ROUTE 175 COMMERCIAL PARCEL "C"	SCALE	ZONING	G. L. W. FILE No.
	DATE	REVISION	BY	APP'R.		1" = 50'	NT COMMERCIAL	95003
				THE HOWARD RESEARCH AND DEVELOPMENT CORP. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MD 21044 PHONE (410) 992-6027		DATE	TAX MAP No.	SHEET
						February, 1997	36	6 of 9



Existing Basin #2

Drainage Area	21.70	Ac.±
Storage Req.	78,120	c. f.
Storage Fav.	125,980	c. f.
Clean out Elev.	371.81	
Top of Dam	377.00	
Bottom Elev.	371.00	
River Crest Elev.	374.10	
Permanent Pool	372.00	



SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 131-1880
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	5.79	Acres
Area Disturbed	4.78	Acres
Area to be roofed or paved	2.91	Acres
Area to be vegetatively stabilized	1.47	Acres
Total Cut	4,000	Cu. Yds.
Total Fill	4,000	Cu. Yds.
Off-site waste/borrow area location:	N/A	
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: In lieu of soil test recommendations, use one of the following schedules
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of rotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
- Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
- Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sq ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of rotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
- Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

Sequence of Construction

- Obtain grading permit and arrange for pre-construction meeting with sediment control inspector. (12 days)
- Inspect and maintain sediment basin 2 as required. Inspect other existing sediment controls and conveyance devices indicated on the plans and maintain as required. (1 week)
- Install stabilized construction entrances and silt fence. (1 week)
- Fine grade site. (1 month)
- Construct building, utilities, curb and gutter and sidewalks. (1 year)
- Base Pave. (1 month)
- Install Landscaping & stabilize remaining areas with sod or grass, seed and mulch. (2 weeks)
- When area draining to sediment control has been stabilized and permission has been granted by the sediment control inspector, remove backfill or grade and stabilize as directed. (1 month)
- Install Surface Course Paving.
- End Construction.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/we certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

Signature of Developer/Builder: *[Signature]*
Date: 2/11/97

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature: *[Signature]*
Date: 2-11-97

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Signature: *[Signature]*
Date: 4/14/97

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Signature: *[Signature]*
Date: 4/14/97



APPROVED PLANNING BOARD of HOWARD COUNTY

DATE: 3/26/97

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Signature: *[Signature]* Date: 4/21/97
Signature: *[Signature]* Date: 4/21/97
Signature: *[Signature]* Date: 4/17/97

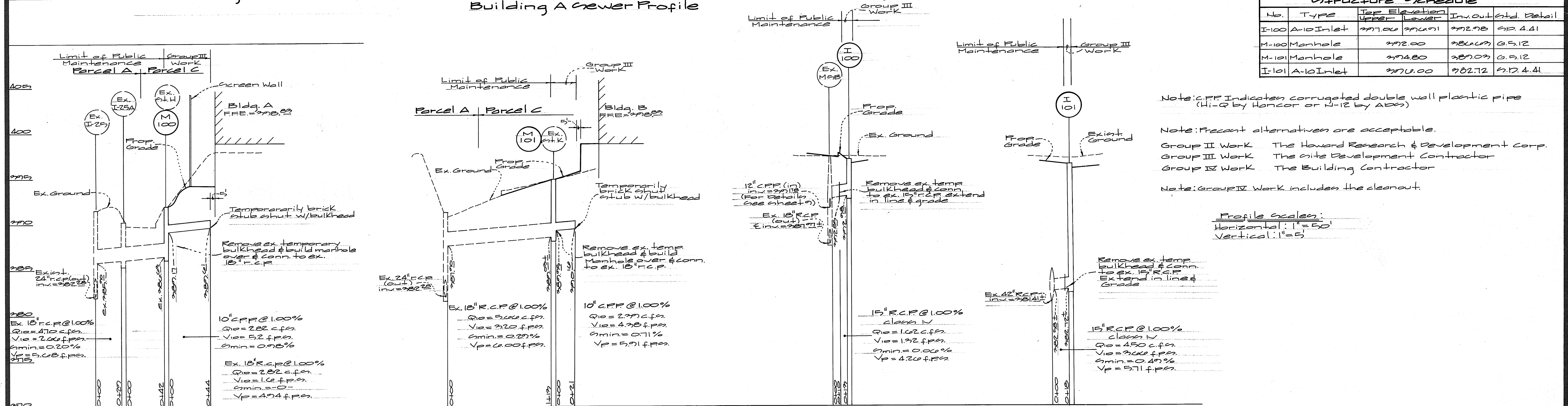
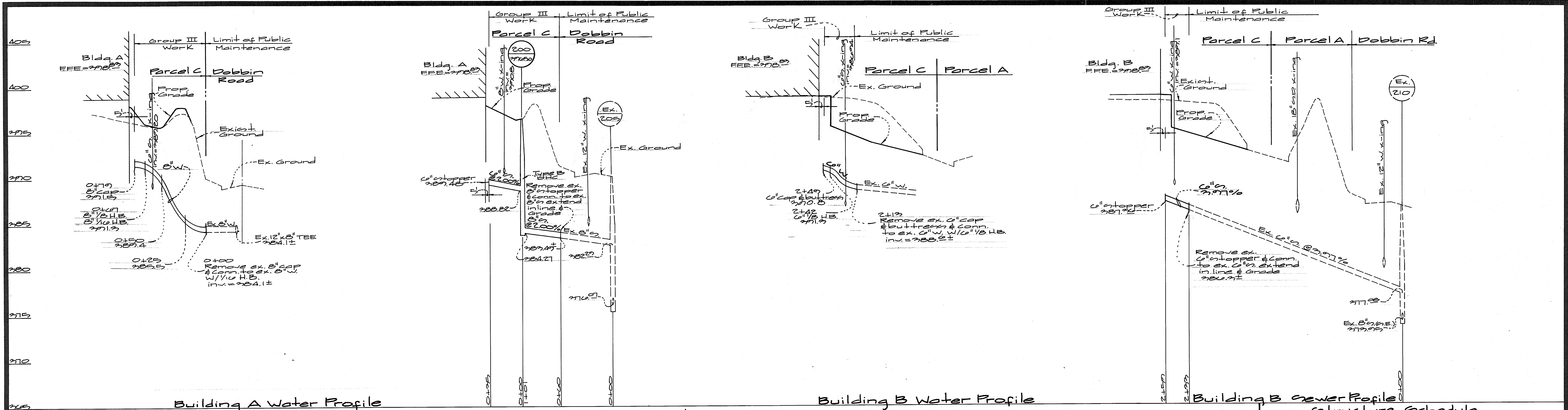
GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
The Howard Research & Development Corporation
10275 Little Patuxent Pkwy.
Columbia, Maryland 21044
Phone: (410) 992-0027

Sediment Control Details & Notes
Route 175 Commercial Parcel "C"
Guilford Election District No. 6
Howard County, Maryland

SCALE	ZONING	G. L. W. FILE No.
---	NT-Commercial	95-009
DATE	TAX MAP No.	SHEET
February 1997	26	7 of 9



Structure Schedule				
No.	Type	Top Elevation	Inv. out	Std. Detail
I-100	A-10 Inlet	277.00	276.01	S.D. 4.41
M-100	Manhole	272.00	282.07	G.S. 12
M-101	Manhole	274.80	287.07	G.S. 12
I-101	A-10 Inlet	270.00	282.72	S.D. 4.41

Note: C.P.P. Indicates corrugated double wall plastic pipe (H-9 by Hancon or N-12 by ABS)

Note: Precast alternatives are acceptable.

Group II Work The Howard Research & Development Corp.
 Group III Work The Site Development Contractor
 Group IV Work The Building Contractor

Note: Group IV Work includes the cleanout.

Profile Scales:
 Horizontal: 1" = 50'
 Vertical: 1" = 5'

Storm Drain Profiles

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE: 3/26/97

Approved: Howard County Dept of Planning & Zoning

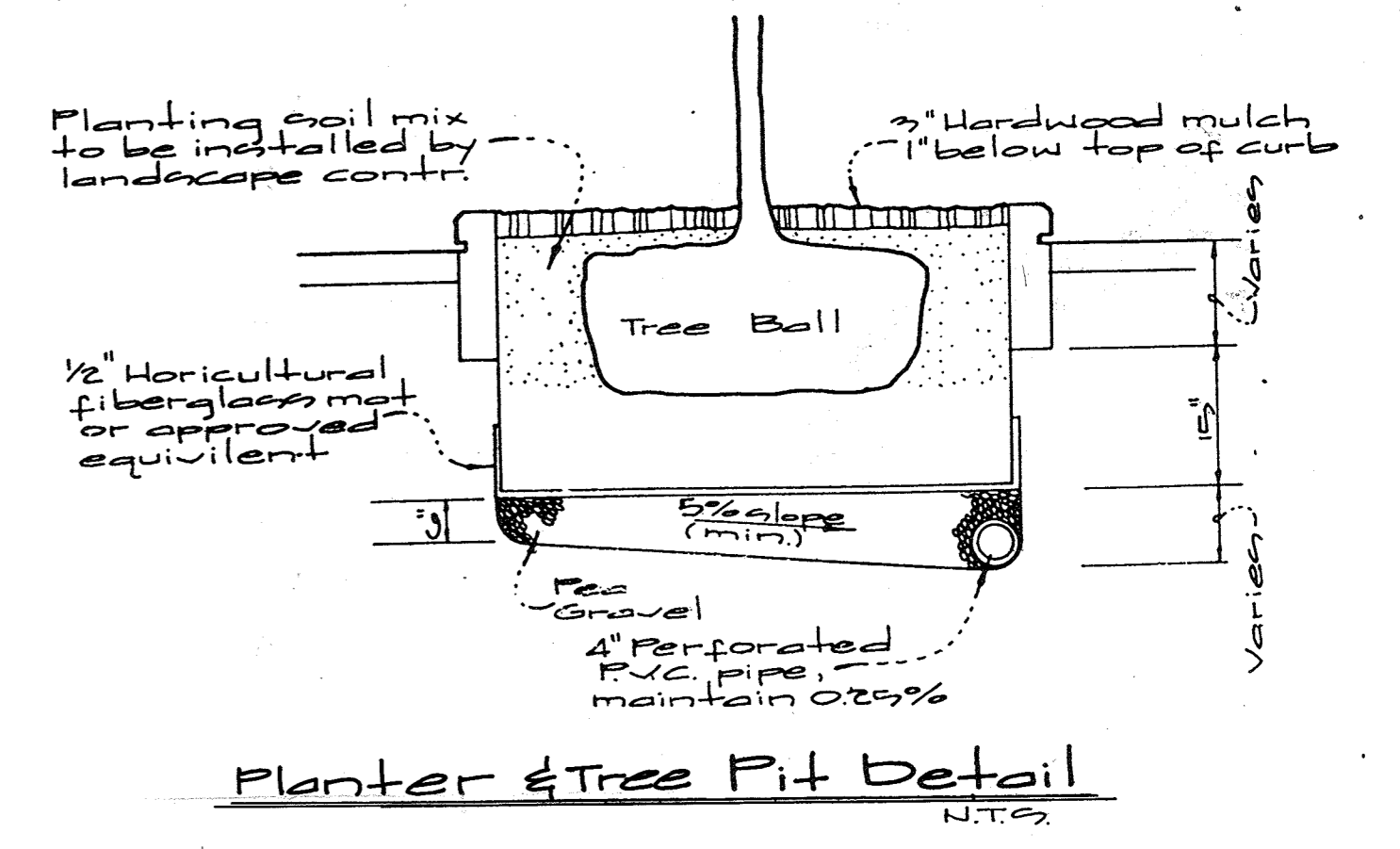
John J. Butler
Director 4/21/97

Cinda Hammit
Chief, Division of Land Development 4/21/97

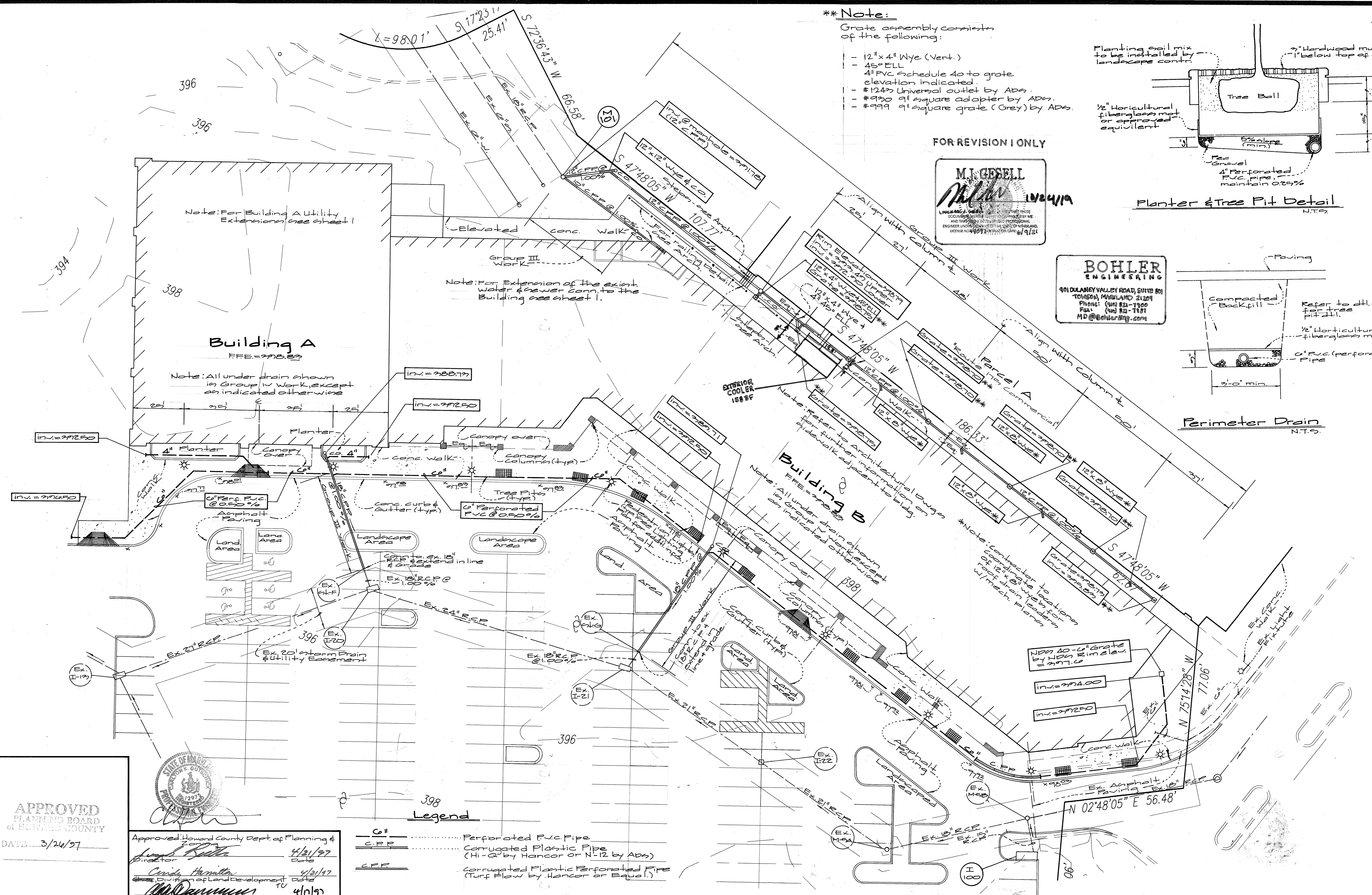
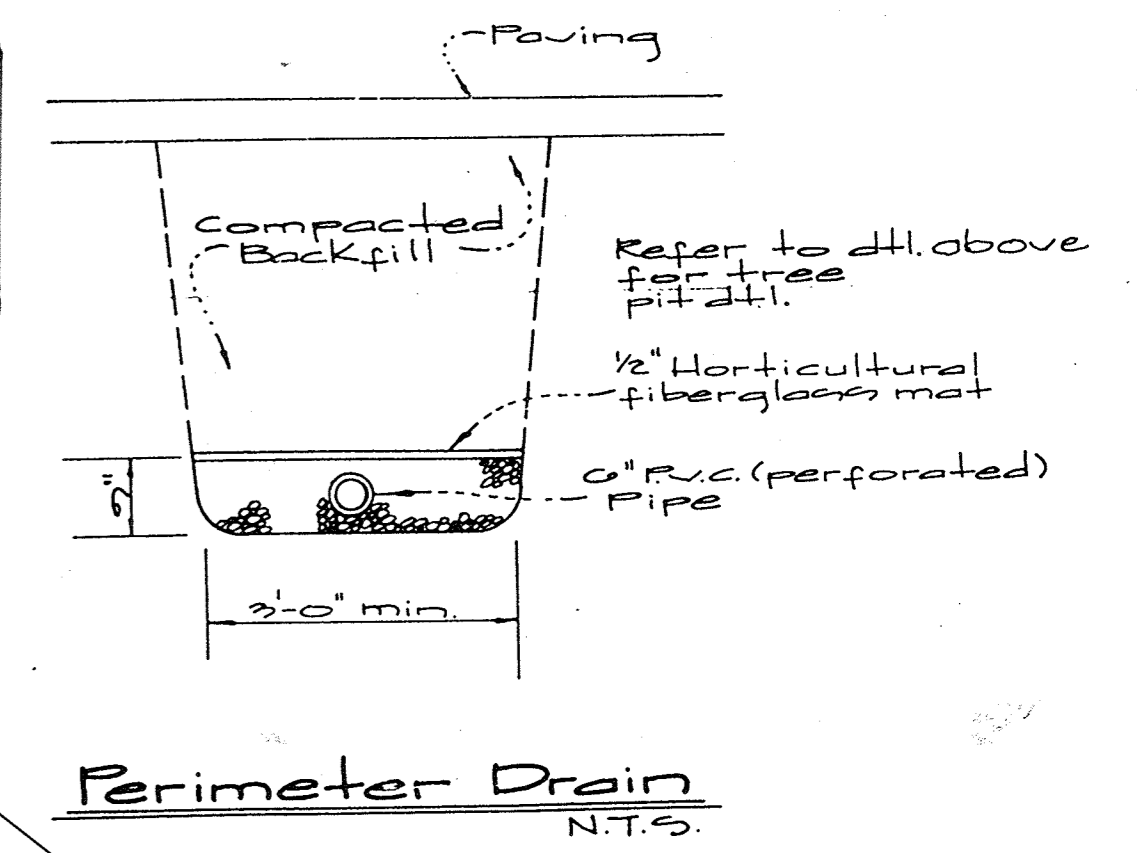
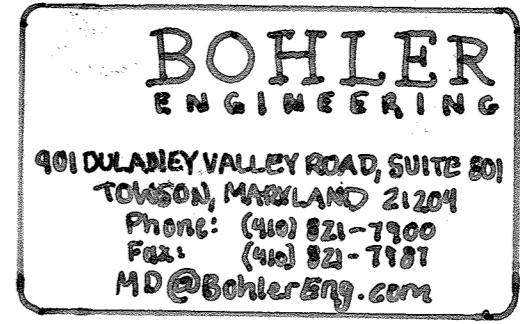
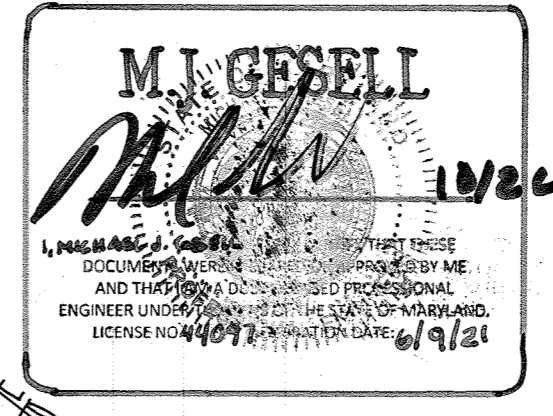
Bill Dammus
Chief, Development Engineering Div. 4/17/97

<p>GLW GUTSCHICK LITTLE & WEBER, P.A.</p> <p>CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS</p> <p>3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866</p> <p>TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186</p>	<p>PREPARED FOR:</p> <p>The Howard Research & Development Corporation 10275 Little Patuxent Pkwy. Columbia, Maryland 21044 Phone: (410)992-6027</p>	<p>Utility Profiles</p> <p>Route 75 Commercial Parcel "C"</p> <p>Gulford Election District No. 0</p>	<p>DES: AS SHOWN</p> <p>DRN: W.G.J.</p> <p>CHK: February, 1997</p>	<p>SCALE: AS SHOWN</p> <p>DATE: February, 1997</p>	<p>ZONING: NT-Commercial</p> <p>TAX MAP No. 70</p>	<p>G.L.W. FILE No. 95-009</p> <p>SHEET 8 of 9</p>	
	<p>REVISION</p>		<p>DATE</p>		<p>BY</p>		<p>APP'R.</p>

- **Note:**
Grate assembly consists of the following:
- 12" x 4" Wye (Vent.)
 - 45° ELL
 - 4" PVC Schedule 40 to grate elevation indicated.
 - #1243 Universal outlet by ADS.
 - #930 9" square adapter by ADS.
 - #999 9" square grate (Grey) by ADS.



FOR REVISION I ONLY



APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: 3/26/97

Approved: Howard County Dept. of Planning & Zoning
Director: *[Signature]* Date: 4/21/97
Chief Development Engineer: *[Signature]* Date: 4/10/97

Legend

	Perforated PVC Pipe
	Corrugated Plastic Pipe (Hi-Q by Hancor or N-12 by Abs)
	Corrugated Plastic Perforated Pipe (Turf Flow by Hancor or Equa.)

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TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.
9/19/19	ADD EXTERIOR COOLER	BOHLER	

PREPARED FOR:
The Howard Research & Development Corporation
10275 Little Patuxent Pkwy.
Columbia, Maryland 21044
Phone: (410)992-0027

Perimeter, Canopy & Roof Drain Plan
Route 175 Commercial Parcel "C"
Guilford Election District No. 6
Howard County, Maryland

DES:	SCALE	ZONING	G.L.W. FILE NO.
DRN:	1"=20'	NT-Commercial	95-009
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