

GENERAL NOTES

- All areas not being paved or receiving building coverage shall be stabilized in accordance with the Plans approved by the Howard Soil Conservation District.
- Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the Contractor's expense.
- The Contractor shall maintain at least a 2' level bench behind all curb and gutter in fill areas.
- The Contractor shall verify all existing utilities to his own satisfaction before starting construction.
- All slopes shall be 2:1 or flatter.
- All construction shall be in accordance with the latest standards and specifications of Howard County.
- The Contractor shall notify the Department of Public Works Construction Inspection Division at (410) 313-1880 at least 5 working days prior to start of work.
- For details of ramps and signs for the handicapped and the aged and as shown hereon, see Sheet 3 of 7.
- The Contractor shall maintain a minimum of 4' cover over all proposed water lines.
- All rip-rap shall be placed on filter cloth.
- The Contractor shall notify "Miss Utility" at (800) 257-7777 at least 48 hours prior to any excavation.

- The Contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
- All utilities installed shall receive full trench compaction.
- All water main lines, bends, caps, etc. shall be buttressed in accordance with Howard County design requirements.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the *Manual on Uniform Traffic Control Devices (MUTCD)*. All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to the face of curb unless otherwise noted.
- See architectural plans for exact building dimensions.
- Building will not have an automatic fire protection sprinkler system.
- Stormwater management is provided onsite and is private.
- Topography survey by G. W. Stephens, Jr. & Associates, Inc. in March, 1996.
- All lighting is to be in compliance with Zoning Section 131.N(25)(4)(8).
- Conditions of Order BA-96-04E dated 7/16/96:
 - The special exception shall apply only to the proposed gasoline service station with a convenience store as shown on the Special Exception Plan submitted on January 31, 1996, and described in the petition.
 - The Petitioner shall amend the Special Exception Plan to remove the southernmost driveway access on Ten Oaks Road.
 - The Petitioner shall comply with the requirements of the Bureau of Environmental Health regarding sewage disposal, stormwater management, water supply, and gasoline tank location.
 - All lighting as proposed by the Petitioner shall be directed inward and downward onto the site, so that the lighting will not shine onto any adjacent properties, nor produce glare which would cause a hazard for motor vehicle operators in the vicinity of the site.
 - The hours of operation shall be from 5:00 a.m. to 12:00 a.m., seven days a week.
 - The Petitioner shall comply with all applicable Federal, State, and County laws and regulations, specifically, the Zoning Regulations governing the operation of a gasoline service station.
- Road construction waiver letter W9-97-53 dated 11/22/96:
 - The Planning Director approved your request to waive Section 16.132(a)(3)(ii)(c) requiring road construction on one side of the road up to one-half of the minimum usable pavement width.
 - Approval is subject to the following:
 - Submit an SDP for review and approval showing road improvements up to the proposed lease line. See the attached comments from the Development Engineering Division.
 - Comply with conditions of BA 96-04E.
- Conditions of Order BA 96-04E dated 10/29/96:
 - The amended petition of Cloverland Farms Dairy 1/4 Royal Farm Stores, Petitioner, for variances to allow a 50.5 s.f. commercial identification sign, 20 ft. in height to be located 3 ft. from the Ten Oaks Road right-of-way, rather than the required setbacks of 50.5 ft. in relation to the sign area and 40 ft. in relation to the sign ht., and further to allow a 50 s.f. gas price sign rather than the 32 s.f. allowed on the Property known as 3901 Ten Oaks Road, Howard County, Maryland, be, and the same is hereby DENIED; and
 - That variances to allow a 42.5 s.f. commercial identification sign, 15 ft. in height to be located 3 ft. from the Ten Oaks Road right-of-way, rather than the required setbacks of 42.5 ft. in relation to the sign area and 30 ft. in relation to the sign height, and further to allow a 42.5 s.f. gas price sign rather than the 32 s.f. allowed on the Property known as 3901 Ten Oaks Road, Howard County, Maryland, be, and the same is hereby GRANTED subject to the following conditions:
 - The variances shall apply only to the proposed sign described in the petition and plan submitted and as approved by the Board herein, and not to any other activities, uses, or structures on the subject property.
 - The Petitioner shall comply with all applicable federal, state, and County laws and regulations.
- The forest conservation obligations incurred by this site development plan (0.7 acres of reforestation) have been met by payment of \$9,147.60 to the Howard County Forest Conservation Fund. With any further development of the remainder of the site, additional forest conservation obligations must be met.

SITE DATA

Gross Site Area	3,7717 Ac.±
Area of Submittal	54,100 S.F. (1.24 Ac.±)
Existing Zoning	B-2
Existing Use	Wooded/Vacant
Proposed Use	Convenience Store w/Fuel Pumps
Deed Reference	142/137
Tax Account Number	03-0000-317838
Councilmanic District	3
Proposed Floor Area	2925 S.F.
Proposed Building Coverage	0.067 Ac.±
% Building Coverage	1.8%
Floor Area Ratio	0.02
Proposed Building Height	14'
Total Prop. Impervious Area	23,490 S.F. (0.54 Ac.±)
Total Parking Lot Area	18,788 S.F. (0.43 Ac.±)
% Parking Lot Coverage	35%
Area of Disturbance	1.71 Ac.±
Area to be Veg. Stabilized	0.99 Ac.±

MINIMUM LOT AREA REQUIRED

Base Maximum	20,000 S.F.
Gross Floor Area	2925 S.F.
Convenience Store Parking	2888 S.F.
Total	25,913 S.F.

LOT AREA PROVIDED
164,300 S.F.

PARKING REQUIRED

Fuel Station	3 P.S.
Convenience Store Ancillary to Gas Service Station	8 P.S.
2 x (2925 S.F. / 1000)	9 P.S.
Total	17 P.S.

PARKING PROVIDED
17 P.S.

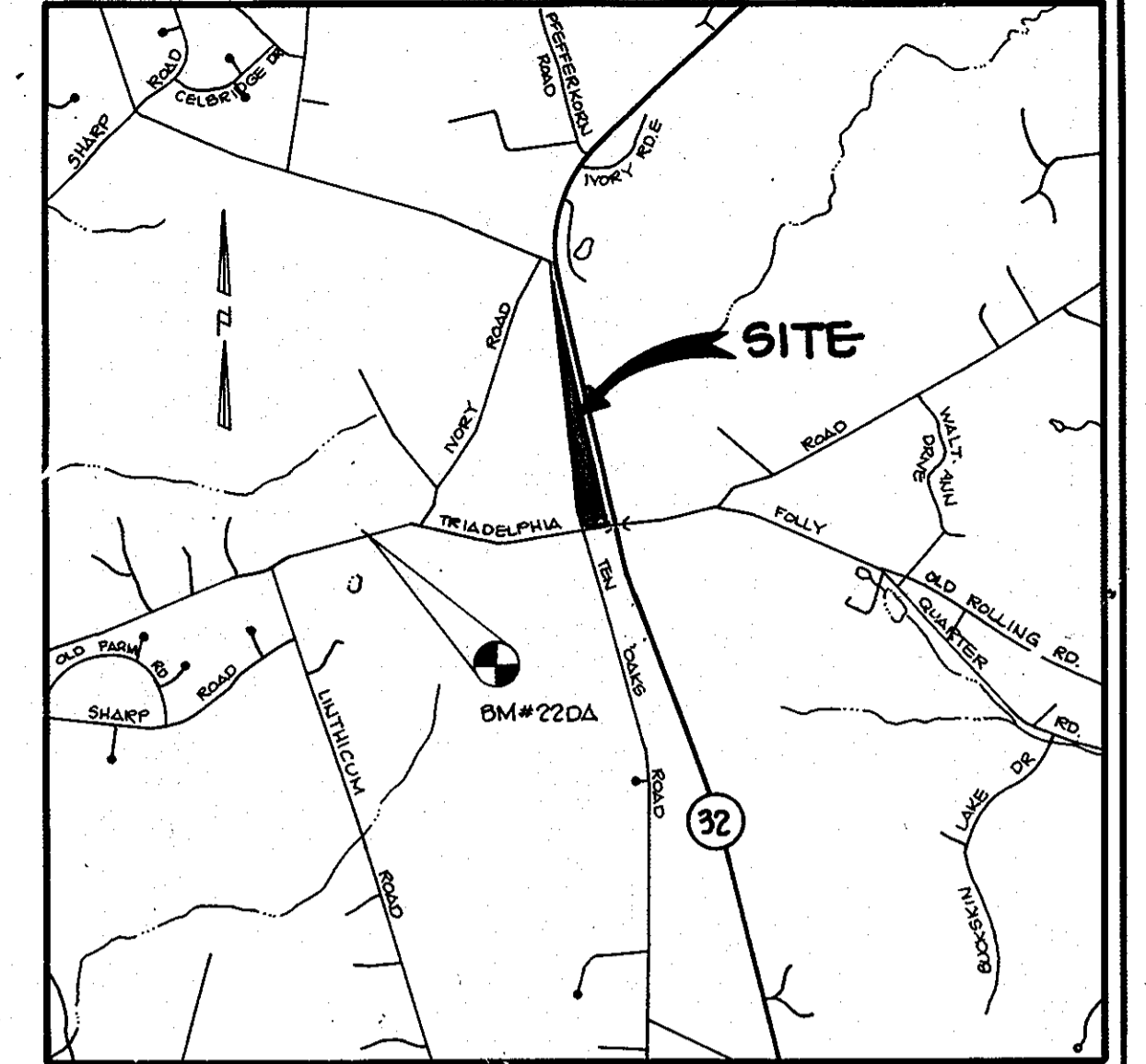
PARKING SPACE DIMENSIONS

Typical Space	9' x 18'
Handicap Space	8' x 18' (w/ 8' Access Aisle)
All spaces to be permanently striped	

EMPLOYEE TABULATION:

HOURS OF OPERATION	24 HOURS/7 DAYS PER WEEK
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SEE BOARD OF APPEALS CASE (B.A. CASE) NO. 96-04E FOR SPECIAL EXCEPTION TO OPERATE A GASOLINE SERVICE STATION AND CONVENIENCE STORE IN A B-2 ZONING DISTRICT.

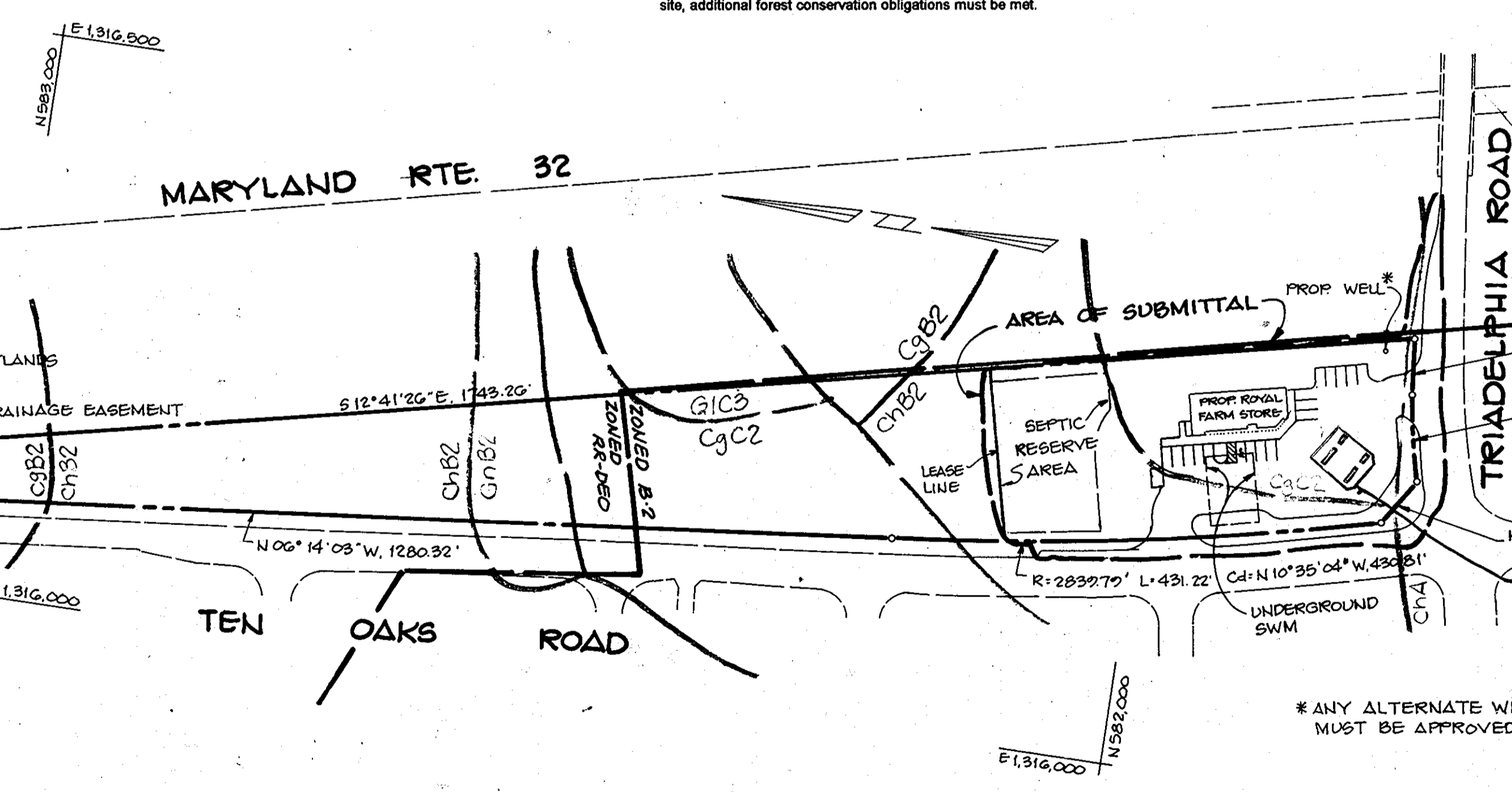
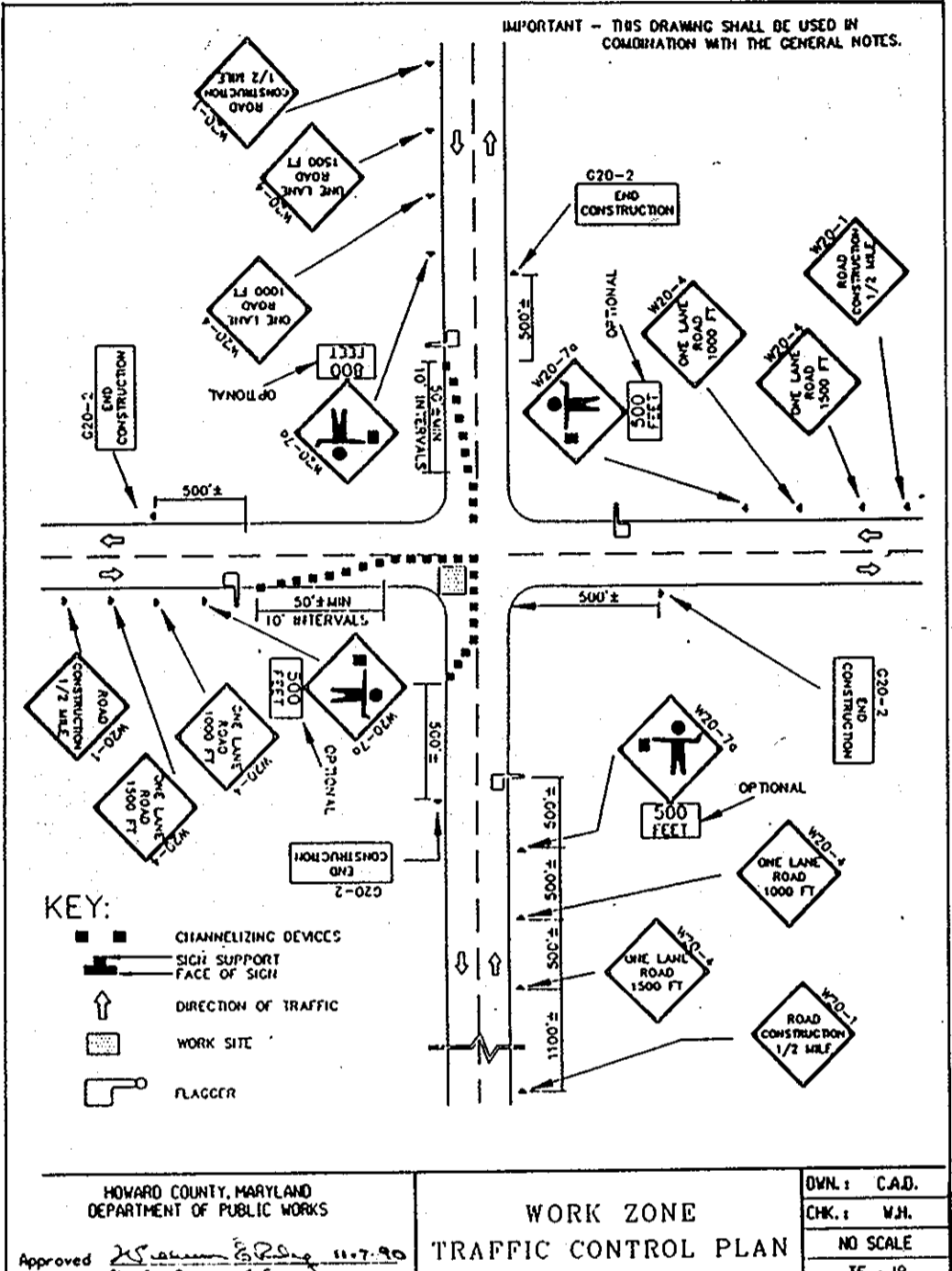
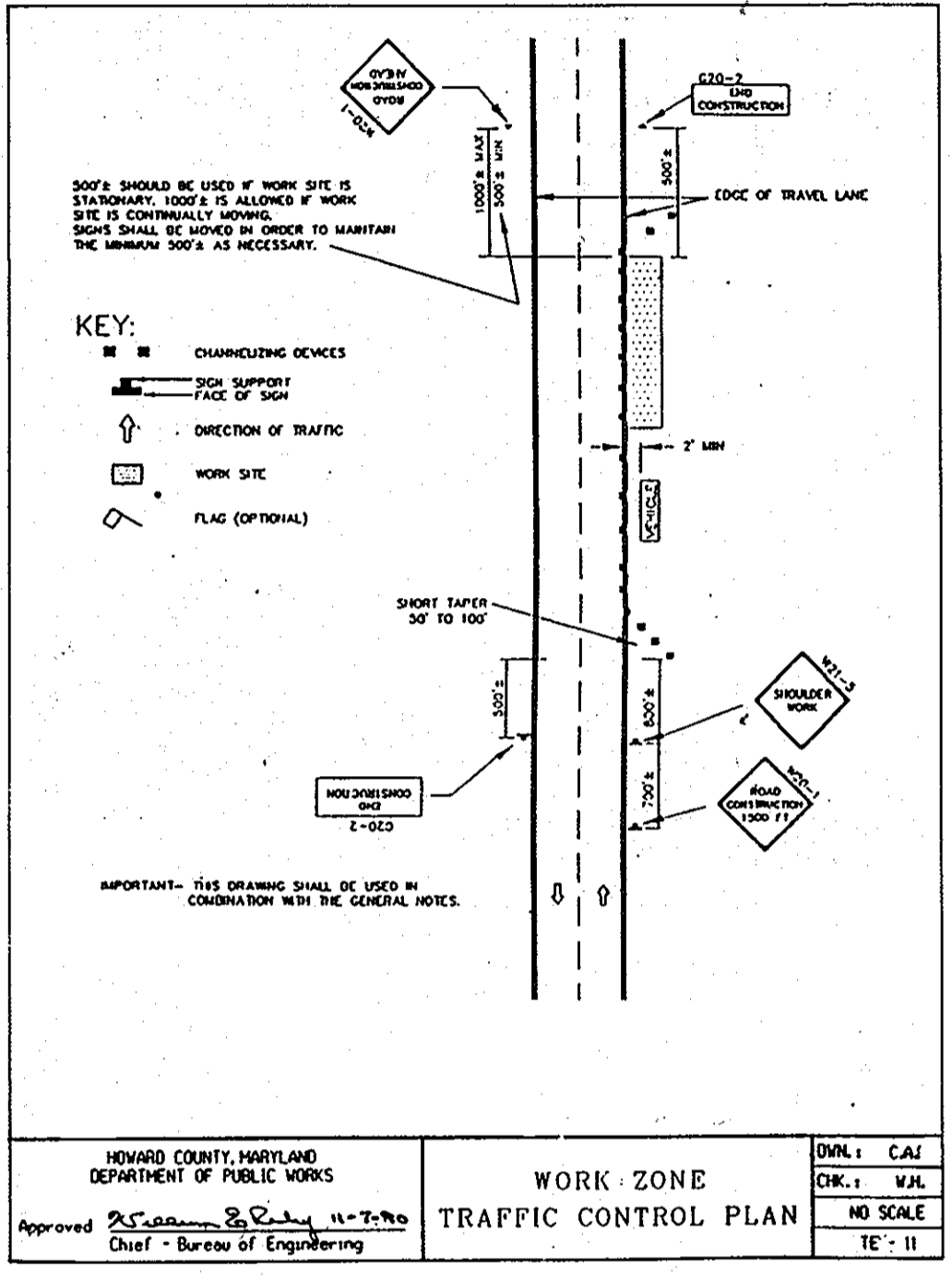


BENCHMARK #22DA Elev. 614.952
Standard Ho. Co. aluminum disc on concrete monument set 21' northwest of the centerline of Triadelphia Road off the intersection of Kennard Drive.

SHEET INDEX

- Gross Site Area & Details
- Site Plan
- Cross Sections & Profiles
- Drainage Area Maps & Profiles
- Sediment Control Plan
- Sediment Control Notes & Details
- Landscape Plan

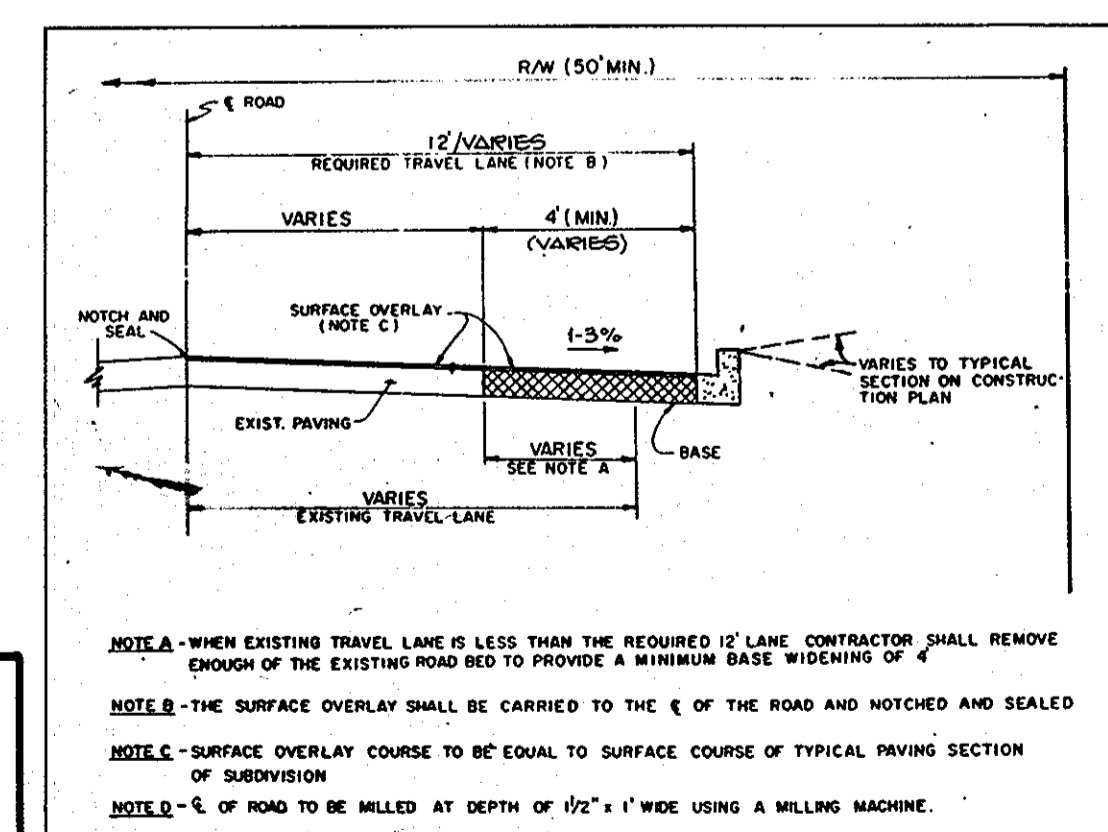
Rev	Date	Description	By
1	8/2/97	ADD PUMP ISLANDS AND ENLARGE CANOPY	Bowler



SOILS LEGEND

CgB2	Chester Gravelly Silt Loam	3-8% Slopes	moderately eroded
CgC2	Chester Gravelly Silt Loam	8-15% Slopes	moderately eroded
ChA	Chester Silt Loam	0-3% Slopes	moderately eroded
ChB2	Chester Silt Loam	3-8% Slopes	moderately eroded
GIC3	Glenelg Loam	8-15% Slopes	severely eroded
GnB2	Glenville Silt Loam	3-8% Slopes	moderately eroded

FROM HOWARD COUNTY SOIL SURVEY, PAGE 19.



DEVELOPER CERTIFICATION:

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: John S. Kemp V.P. Date: 11-5-96

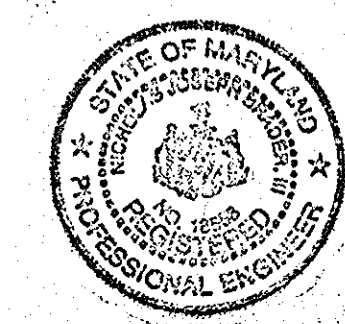
DEVELOPER

Cloverland Farms Dairy, Inc.
2200 North Monroe Street
Baltimore, Maryland 21217
(410) 669-2222

ENGINEER'S CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: Michael J. ... Date: 11/6/96
Name: NICHOLAS T. ... PE # 18558



THESE PLANS FOR PRIVATE WELL & PRIVATE SEPTIC SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: Joseph ... 5-7-97
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED: John R. ...
HOWARD SOIL CONSERVATION DISTRICT DATE: 4/14/97

PLAN NUMBER: _____ DATE: _____

Reviewed for the Howard Conservation District and meets technical requirements.

APPROVED: Carol ... 4/14/97
NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED: Richard ... 4/14/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: Richard ... 5/1/97
ENGINEER, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: James ... 5/12/97
DIRECTOR DATE

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
#6 PARCEL 55	3901 TEN OAKS ROAD

SUBDIVISION NAME: N/A SECTION NAME: N/A PARCEL #: #6 PARCEL 55

PLAT: N/A BLOCK: 14 ZONE: B-2 TAX MAP: 22 ELECT. DIST.: 3 CENSUS TRACT: 6030

WATER CODE: N/A SEWER CODE: N/A

Gross Area Site Plan and Details

ROYAL FARM STORE
Triadelphia Road at Ten Oaks Road - Glenelg
Store #76

Election District 3
Tax Map 22
Scale: As Shown

Howard County, Maryland
October 22, 1996
Sheet 1 of 7

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21204
(410) 825-8120

Concrete Stormceptor® Order Request Form *

Contractor Information

Name: _____
 Address: _____
 City: _____
 State: _____
 Zip Code: _____
 Contact: _____
 Phone: _____
 Fax: _____

Owner Information

Name: Cloverland Farms Dairy
 Phone: (410) 669-2222
 Fax: (410) 669-7999

Stormceptor Model

900 3600
 1200 4800
 1800 6000
 2400 7200

Insert Size

22" 30"
 32" 44"
 Custom

Machete Number

Top Elevation (ft) 522.15
 Inlet Pipe Invert (ft) 522.07
 Outlet Pipe Invert (ft) 521.97
 Pipe Type: RCCP
 Pipe Inside Diameter (in) (ID) 18
 Pipe Outside Diameter (in) (OD) 18

Project Name ROYAL FARM STORE - GLENEL

Approximate time frame until required delivery (weeks) _____
 Delivery Address: Street _____ City _____ State _____ Zip Code _____
 Designer Company _____ Phone _____ Fax _____
 Designer Contact _____

Please fax this order to Stormceptor at (301) 762-4190
 For Technical Assistance Please Call Stormceptor Corporation at
 (301) 762-8361 or toll free at 1 (800) 762-4703

ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR.

OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES

TASK	1 MONTH	3 MONTHS	6 MONTHS	1 YEAR
1. Inspect Inlets for Clogging	✓			
2. Check that Vent Pipes are clear *			✓	
3. Clean Inlets & Pipes			✓	
4. Inspect Perforated Pipe & clean if necessary				✓
5. Observe Water Surface in S-1 & S-2 after 5 Days of Dry Weather **				✓

*Clean ahead of schedule if necessary
 **Contact Engineer if water is deeper than any of the openings after 5 days without rain

BENCHMARK #22DA Elev. 614.952
 Standard Mo. Co. aluminum disc on concrete monument set 21' northwest of the centerline of Triadelphia Road off the intersection of Kennard Drive.

LEGEND

EXISTING CONTOUR
 PROPOSED CONTOUR
 EX. CURB & GUTTER
 PROP. CURB & GUTTER
 EX. STORM DRAIN
 EX. 80' E POLE
 EX. 80' E POLE W/ LIGHT
 EX. ROAD RIGHT-OF-WAY
 SOIL BORINGS
 PROP. WATER
 PROP. SEWER
 PROP. STORM DRAIN
 EX. TREE LINE
 PROP. TREE LINE
 EX. OVERHEAD LINES
 80' POLE W/ 1000 WATT METAL HALIDE LIGHT

TELEPHONE CONDUIT

THE MOST IMPORTANT AND INEXPENSIVE MAINTENANCE IS TO KEEP ALL SURFACES CLEAN AND FREE FROM DEBRIS

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 357192, EXP. DATE: 08/16/2022 FOR KCI REVISIONS ONLY

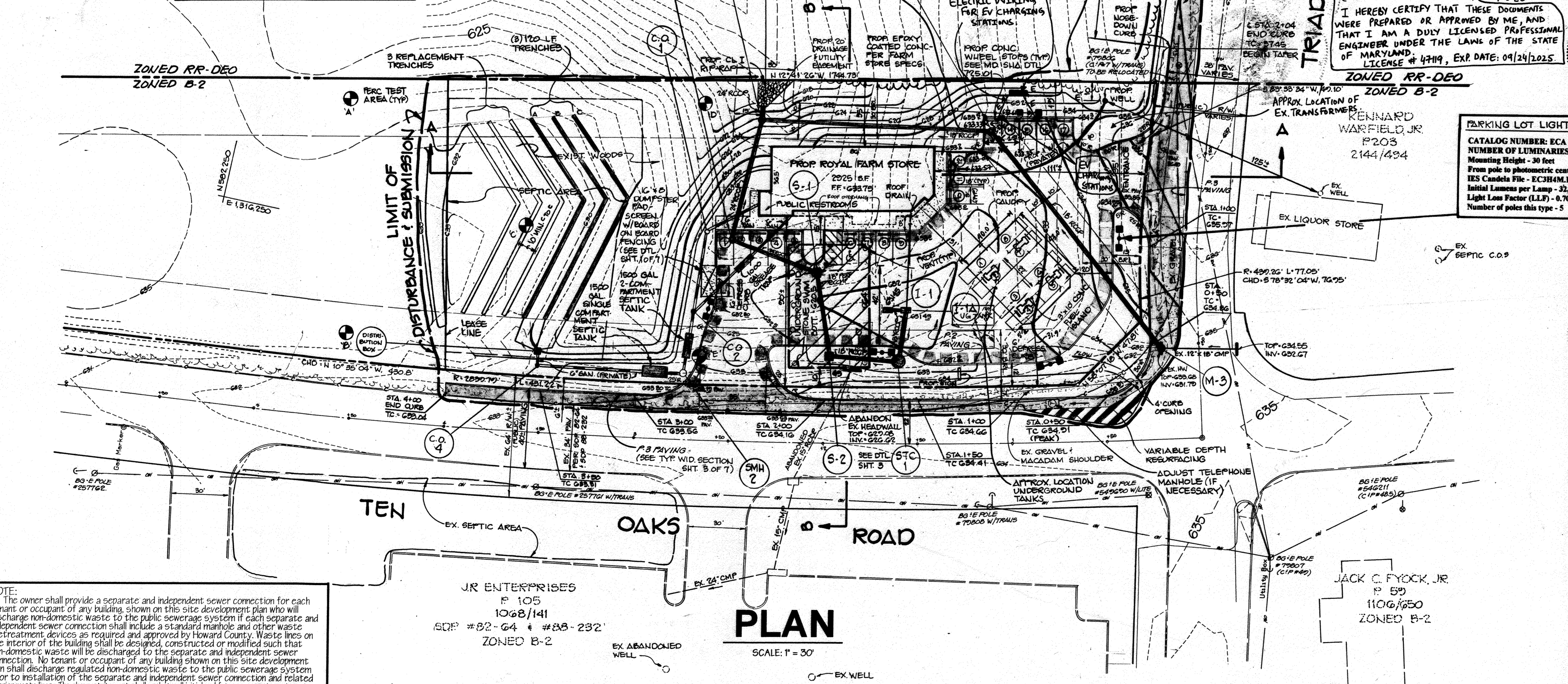
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ROYAL FARM STORE ELEVATION VIEWS

REVISIONS:

REV	DATE	DESCRIPTION	BY
1	08/24/99	Add Pump Islands and enlarge canopy	BONER
2	1/29/10	REVISE FRONT OF BUILDING TO REFLECT NEW SERVICE PLATES AND ELEVATION VIEWS	BEI
3	9/1/20	REVISE TO ADD NEW 20' PERMANENT DRIVE	KCI
4	07/24/24	REVISE TO ADD NEW EV CHARGING STATIONS AT PARKING LOT	KCI

NOTE: FOR GRADING IN THE AREA OF THE HANDICAP PARKING SEE DETAIL SHEET 3 OF 7



PARKING LOT LIGHT SHOWN THIS:

CATALOG NUMBER: ECA 182-3H-400MH-QUAD-BRP
 NUMBER OF LUMINAIRES: 10
 Mounting Height - 30 feet
 From pole to photometric center - 1 Foot
 IES Candela File - EC3H4MIES
 Initial Lumens per Lamp - 32,000
 Light Loss Factor (LLF) - 0.70
 Number of poles this type - 5

For revisions by BEI only.

THESE PLANS FOR PRIVATE WELL & PRIVATE SEPTIC SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY HEALTH OFFICER DATE 5-7-97

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE 4/14/97

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DATE 4/12/97

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 5/8/97

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 5/12/97

NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

JR ENTERPRISES
 # 105
 1068/141
 SDC #82-64 & #88-232
 ZONED B-2

EX ABANDONED WELL

PLAN
 SCALE: 1" = 30'

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 658 KENILWORTH DRIVE, SUITE 100
 TOWSON, MARYLAND 21204
 (410) 825-8120

DEVELOPER CERTIFICATION:

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

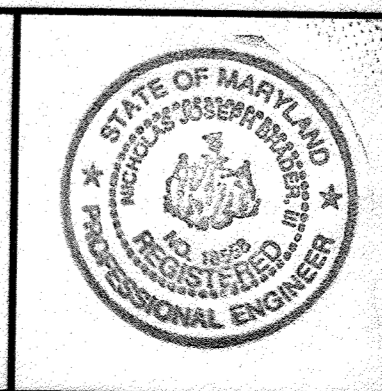
Developer Name: John M. Kemp V.P. Date: 11-5-96

OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
 2200 North Monroe Street
 Baltimore, Maryland 21217
 (410) 669-2222

ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: Nicholas J. Bender Date: 11/5/96
 Name: Nicholas J. Bender PE # 18558



Site Plan
ROYAL FARM STORE
 Triadelphia Road at Ten Oaks Road - Glenel
 Store #76

Election District 3
 Tax Map 22
 Scale: As Shown

Howard County, Maryland
 October 22, 1996
 Sheet 2 of 7

Concrete Stormceptor® Order Request Form

Contractor Information
 Name _____
 Address _____
 City _____
 State _____
 Zip Code _____
 Contact _____
 Phone _____
 Fax _____

Owner Information
 Name CLOVERLAND FARMS DAIRY
 Phone (410) 669-2222
 Fax (410) 669-7822

Stormceptor Model
 900 3600
 1200 4800
 1800 6000
 2400 7200

Insert Size
 22"
 32"
 44"
 Custom

Mandrel Number
 Top Elevation (ft) _____
 Inlet Pipe Invert (ft) _____
 Outlet Pipe Invert (ft) _____
 Pipe Type _____
 Pipe Inside Diameter (in) (ID) _____
 Pipe Outside Diameter (in) (OD) _____

Project Name ROYAL FARM STORE - GLENELG
 Approximate time frame until required delivery (weeks) _____
 Delivery Address: Street _____ State _____ Zip Code _____
 City _____
 Designer Company _____
 Designer Contact _____ Phone _____ Fax _____

Please fax this order to Stormceptor at (301) 762-4199
 For Technical Assistance Please Call Stormceptor Corporation at
 (301) 762-8361 or toll free at 1 (800) 762-4703

ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR

OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES

TASK	1 MONTH	3 MONTHS	6 MONTHS	1 YEAR
1. Inspect Inlets for Clogging	✓			
2. Check that Vent Pipes are clear**			✓	
3. Clean Inlets & Pipes		✓		
4. Inspect Perforated Pipe & clean if necessary				✓
5. Observe Water Surface in S-1 & S-2 after 5 Days of Dry Weather**				✓

BENCHMARK #22DA Elev. 614.952
 Standard Ho. Co. aluminum disc on concrete monument set 21' northwest of the centerline of Triadelphia Road off the intersection of Kennard Drive.

LEGEND

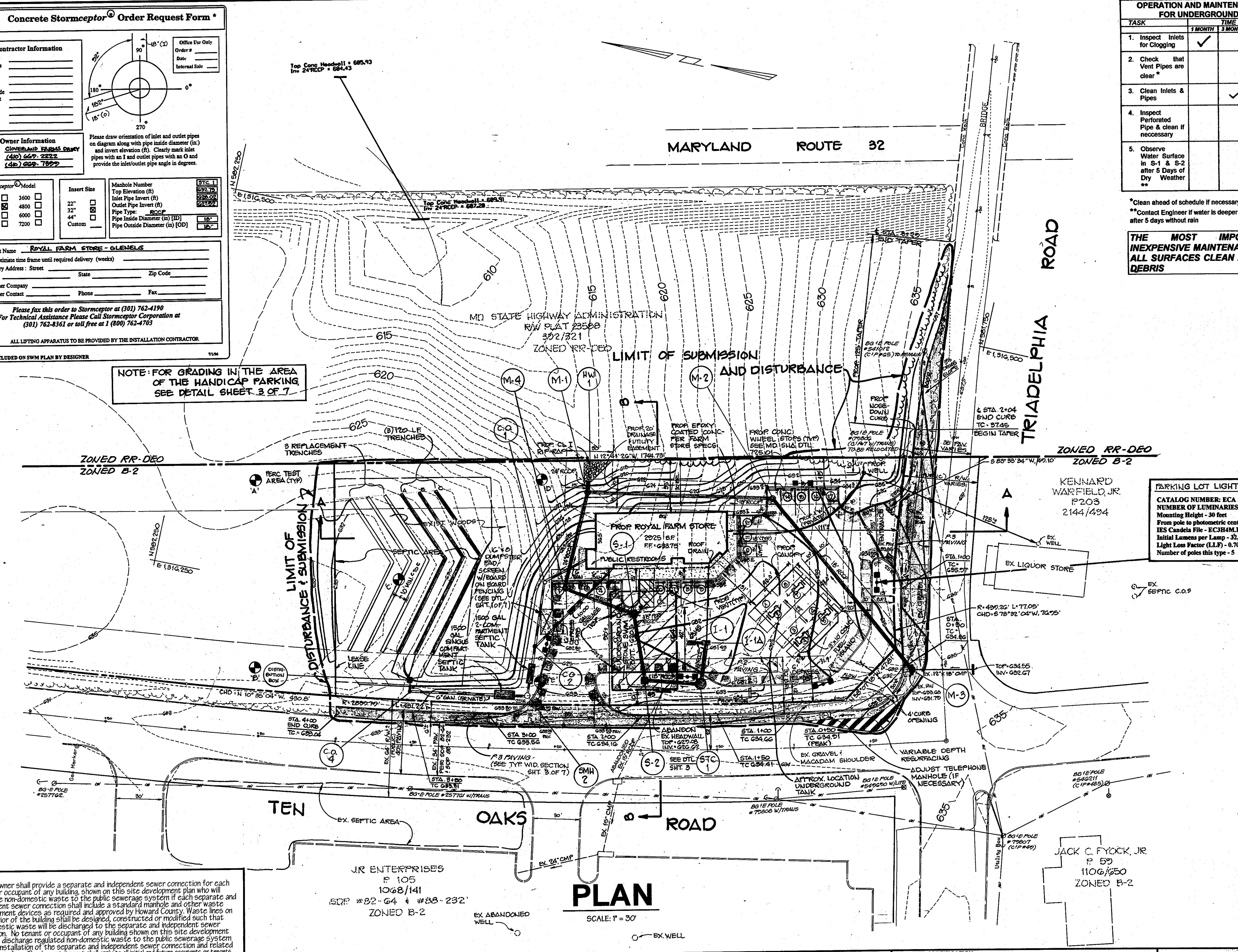
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPERTY LINE
- EX. CURB & GUTTER
- PROP. CURB & GUTTER
- EX. STORM DRAIN
- EX. BG & E POLE
- EX. BG & E POLE W/LIGHT
- EX. ROAD RIGHT-OF-WAY
- SOIL BORDERS
- PROP. WATER
- PROP. SEWER
- PROP. STORM DRAIN
- EX. TRENCH
- PROP. TRENCH
- EX. OVERHEAD LINES
- EX. POLE W/1000 WATT
- METAL HALIDE LIGHT
- TELEPHONE CONDUIT

*Clean ahead of schedule if necessary
 **Contact Engineer if water is deeper than any of the openings after 5 days without rain

THE MOST IMPORTANT AND INEXPENSIVE MAINTENANCE IS TO KEEP ALL SURFACES CLEAN AND FREE FROM DEBRIS

REV	DATE	DESCRIPTION	BY
1	09/24/99	Add Pump Islands and enlarge canopy	BOWEN

NOTE: FOR GRADING IN THE AREA OF THE HANDICAP PARKING SEE DETAIL SHEET 3 OF 7



PARKING LOT LIGHT SHOWN THUS

CATALOG NUMBER: ECA 182-3H-400MH-QUAD-BRP
 NUMBER OF LUMINAIRES: 10
 Mounting Height - 30 feet
 From pole to photometric center - 1 Foot
 IES Candela File - ECH341.MIES
 Initial Lumens per Lamp - 32,000
 Light Loss Factor (LLF) - 0.70
 Number of poles this type - 5

THESE PLANS FOR PRIVATE WELL & PRIVATE SEPTIC SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.

Joseph B. ... 5-7-97
 APPROVED: HOWARD COUNTY HEALTH OFFICER DATE

John R. Roberts
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE 4/14/97

PLAN NUMBER _____
 Reviewed For the Howard Conservation District and meets technical requirements.

Cheryl Simmons
 NATURAL RESOURCES CONSERVATION SERVICE DATE 4/14/97

APPROVED: Howard County Department of Planning and Zoning

John ... 4/17/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard ... 5/03/97
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David ... 5/12/97
 DIRECTOR DATE

ADDRESS CHART
 PARCEL NO. _____ STREET ADDRESS _____
 7% PARCEL 55 3001 TEN OAKS ROAD

SUBDIVISION NAME	SECTION NAME	PARCEL #
N/A	N/A	7% PARCEL 55

PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
N/A	14	B-2	22	3	6030

WATER CODE: _____ SEWER CODE: _____

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GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
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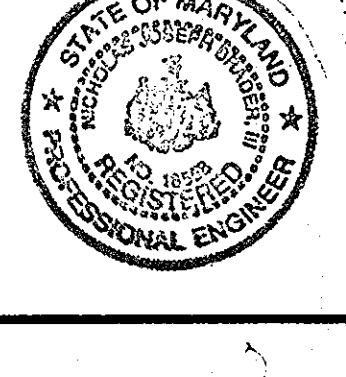
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Developer Name: *John M. Kemp* VP Date: 11-5-96
 JOHN M. KEMP

OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
 2200 North Monroe Street
 Baltimore, Maryland 21217
 (410) 669-2222

ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

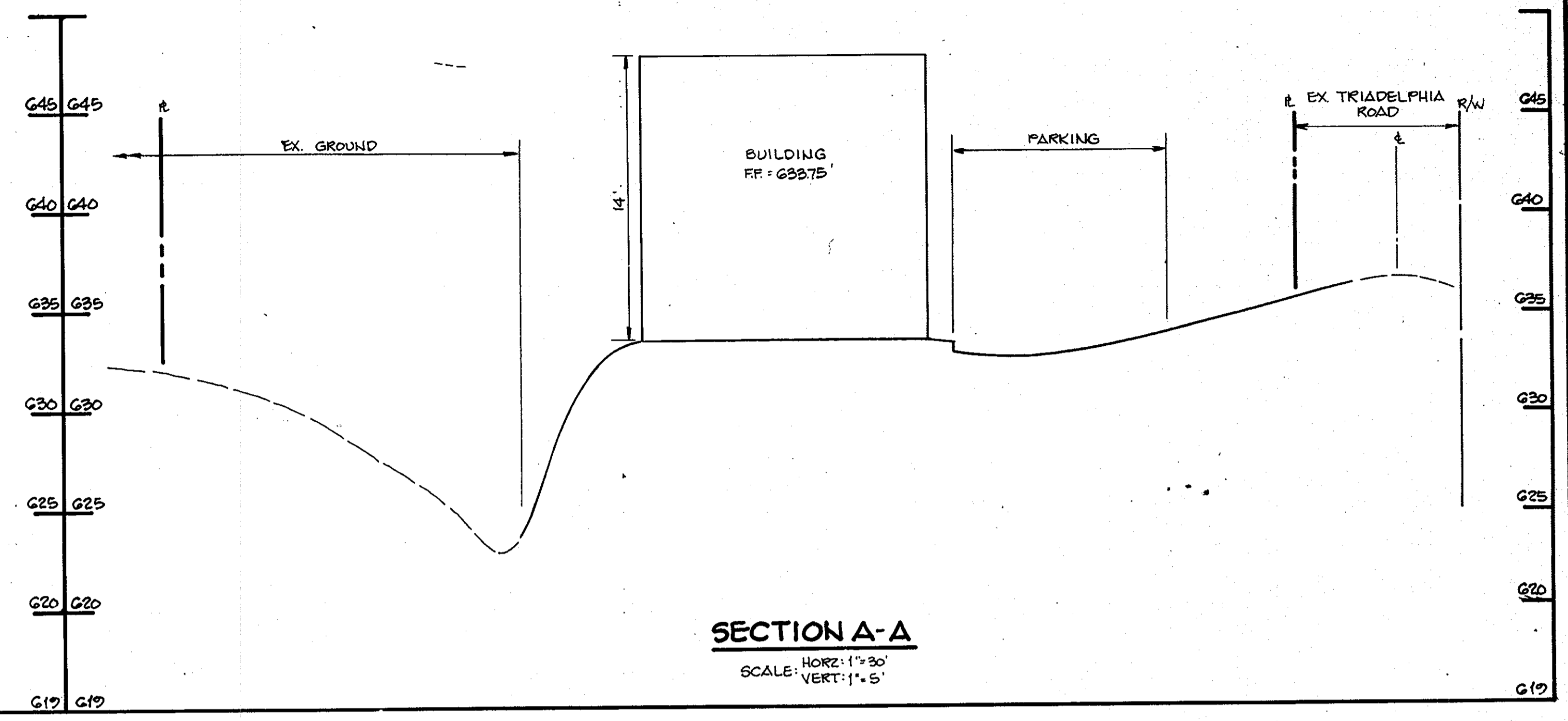
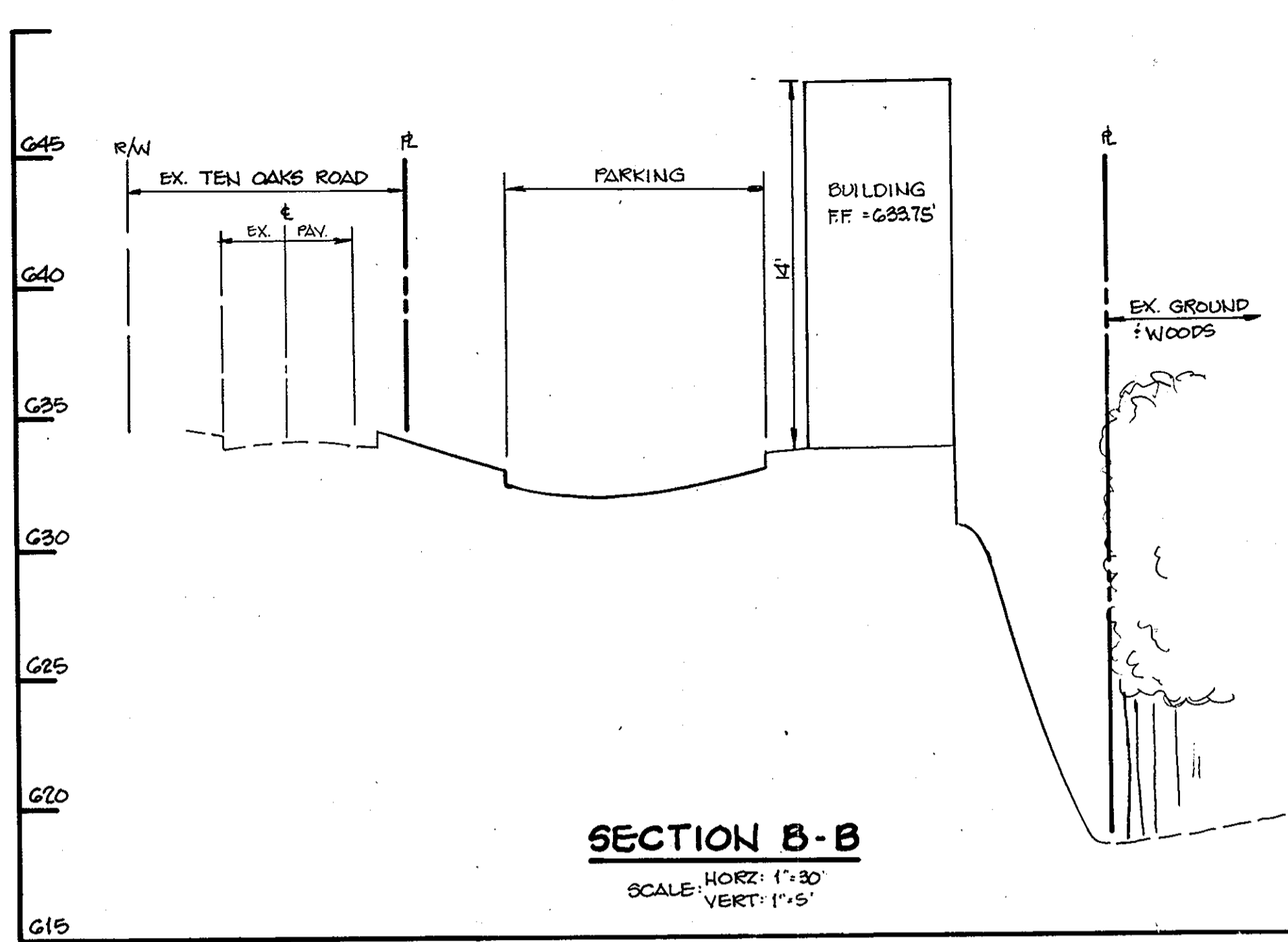
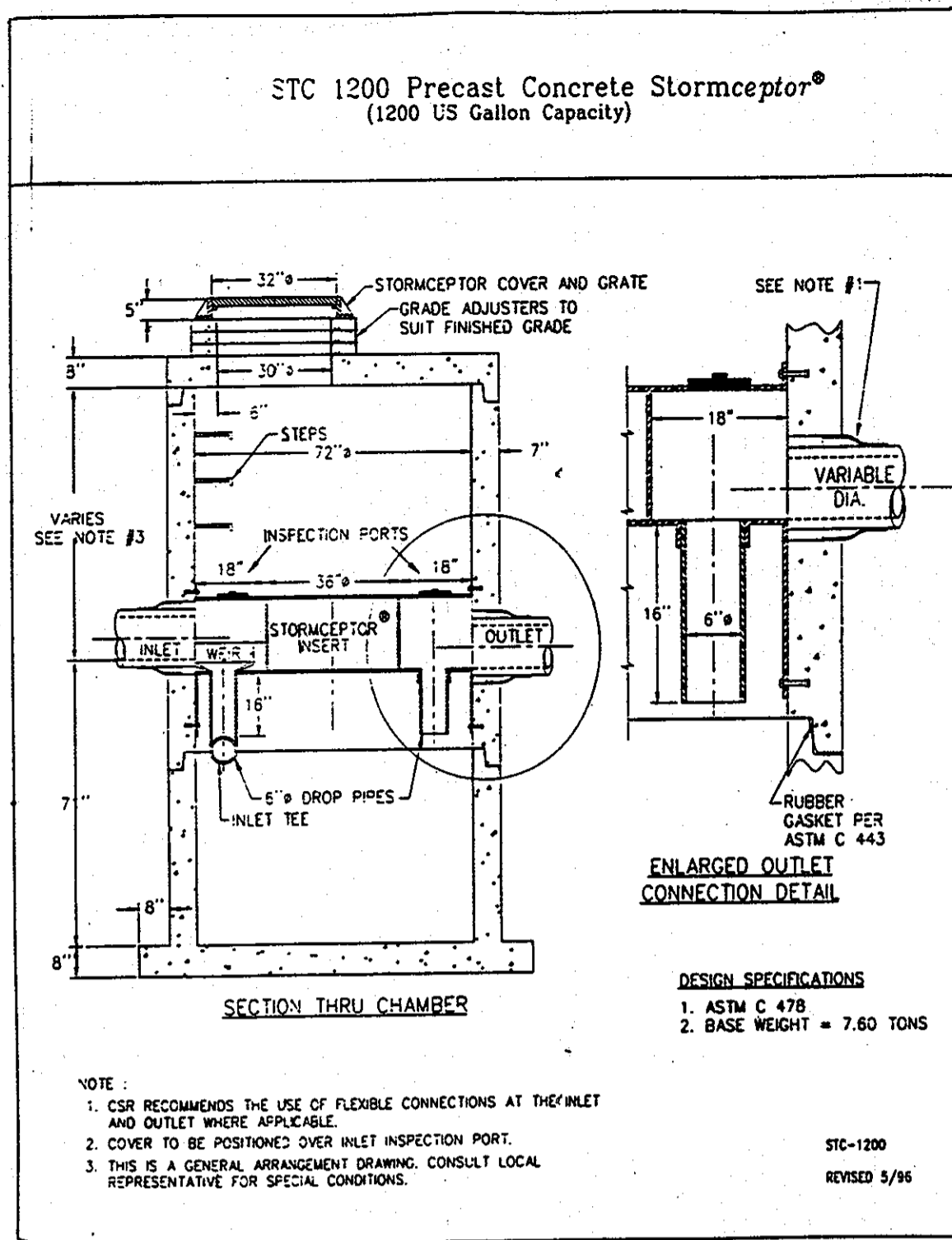
Engineer: *Nicholas J. Benoit* Date: 11/5/96
 Name: NICHOLAS J. BENOIT PE # 18558



Site Plan
ROYAL FARM STORE
 Triadelphia Road at Ten Oaks Road - Glenelg
 Store #76

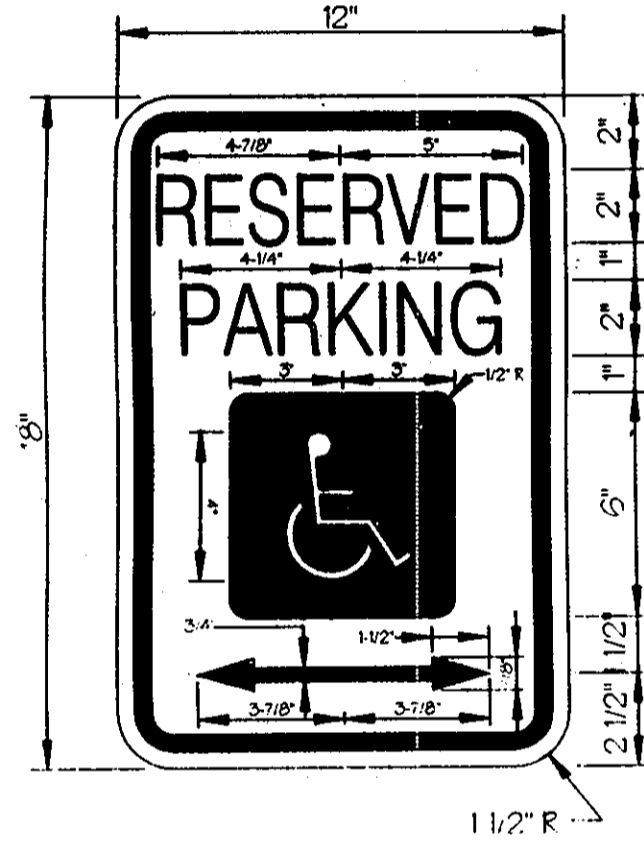
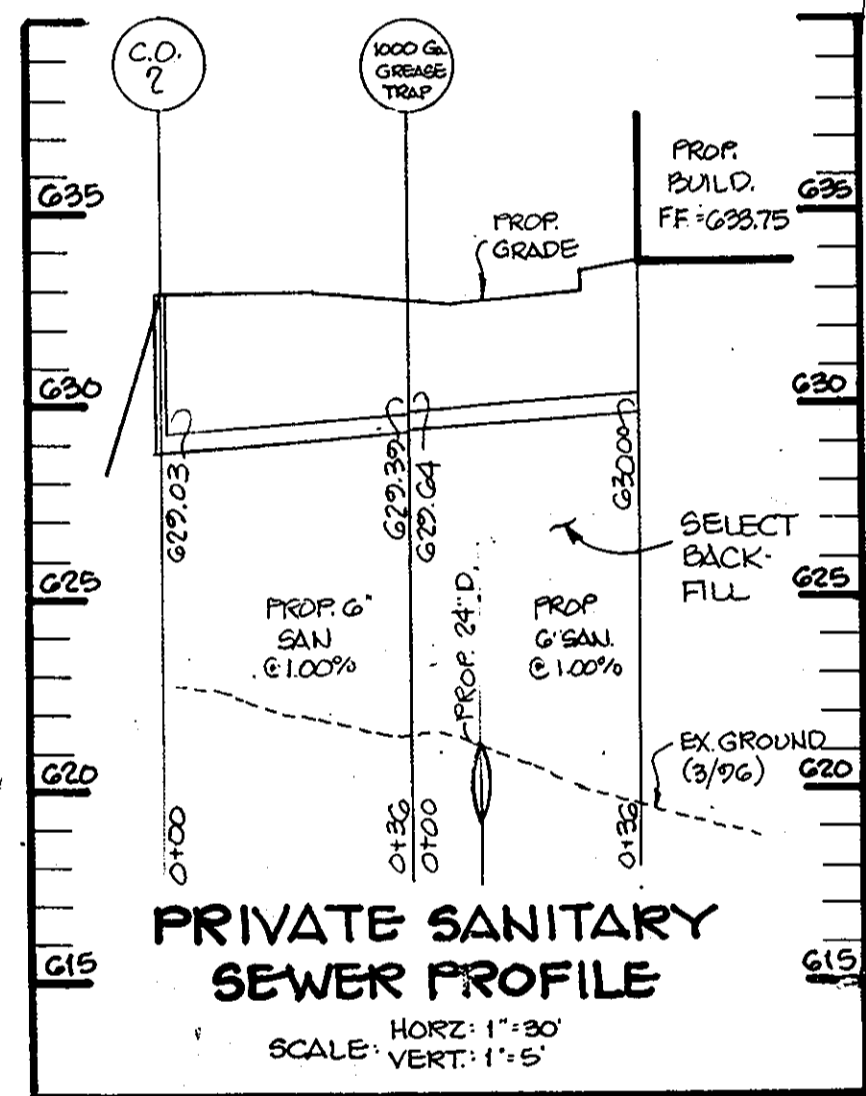
Election District 3
 Tax Map 22
 Scale: As Shown

Howard County, Maryland
 October 22, 1996
 Sheet 2 of 7



OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

- The stormceptor water quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the Stormceptor unit yearly at a minimum, utilizing the Stormceptor Inspection/Monitoring Form. Inspections shall be done by using a clear Plexiglass tube ("sludge judge") to extract a water column sample. When the sediment depths exceed the level specified in Table 6 of the Stormceptor Technical Manual, the unit must be cleaned.
- The stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
- The maintenance of the stormceptor unit shall be done using a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in the unit. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
- The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found the owner shall have them removed. Structural parts of the stormceptor unit shall be repaired as needed.
- The owner shall retain and make the Stormceptor Inspection/Monitoring Forms available the Howard County officials upon their request.



COLORS
GREEN - LEGEND AND BORDER
WHITE - SYMBOL ON BLUE BACKGROUND
WHITE - BACKGROUND



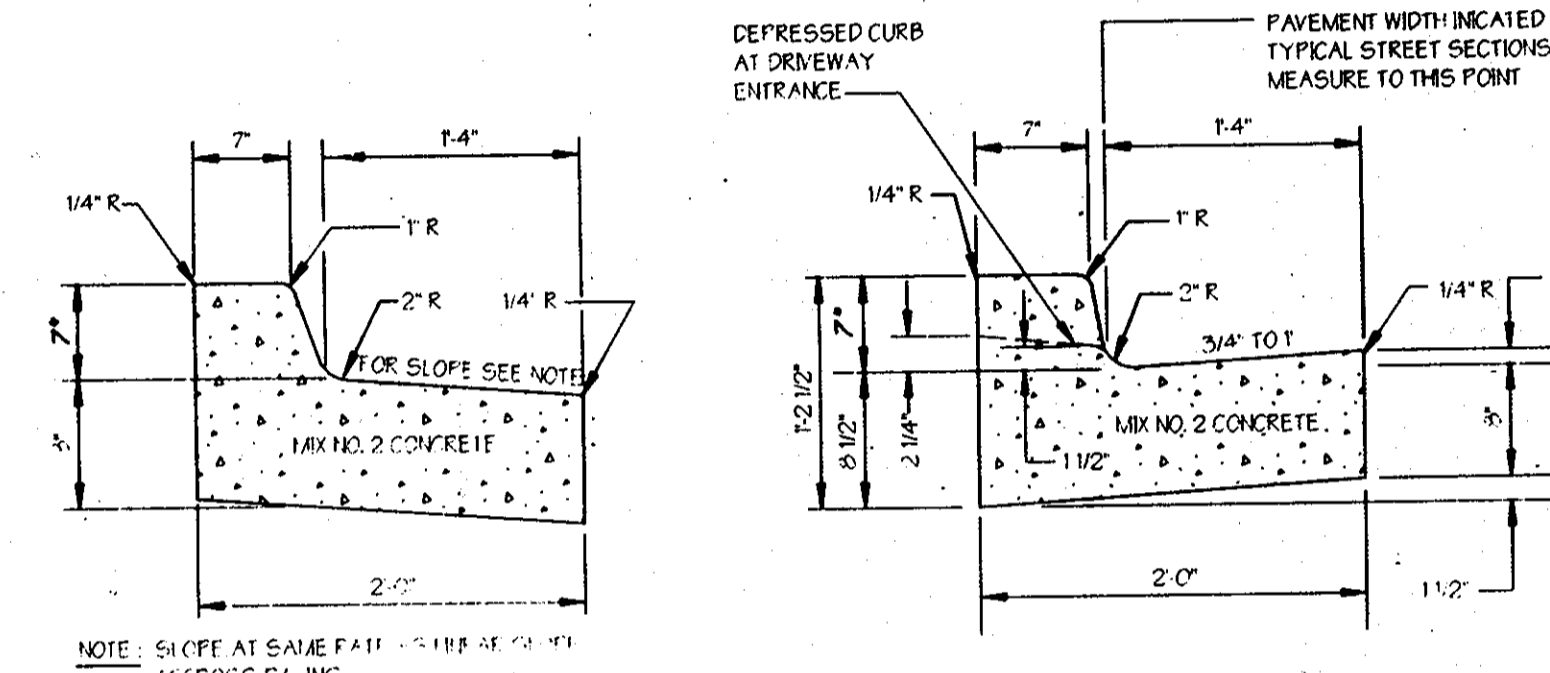
\$98 FINE SIGN
SIGN TO UTILIZE AN ALUMINUM BLANK 6" X 12" X 0.090" THICK WITH TWO SINGLE POST MOUNTING HOLES.

THE TEXT AND BORDER SHALL BE STANDARD GREEN TO MATCH THAT OF R7-8 AND THE BACKGROUND SHALL BE REFLECTIVE WHITE. IF 1" CHARACTERS BE IN 3" CHARACTERS

SIGN SHALL BE MOUNTED DIRECTLY BELOW THE STANDARD 7' X 7' FEET 11" PARKING FOR HANDICAPPED SIGN. ITS BOTTOM EDGE SHALL BE NO LESS THAN 7 FEET ABOVE GROUND. IF THE SIGN IS PLACED AGAINST A BUILDING STRUCTURE OR OTHER LOCATION WHERE VEHICLE OR PEDESTRIAN TRAFFIC IS NOT OBSTRUCTED THE BOTTOM EDGE OF THE SIGN SHALL BE AT LEAST 6 FEET BUT NOT MORE THAN 10 FEET ABOVE GROUND.

HANDICAPPED SIGN DETAIL

NOT TO SCALE

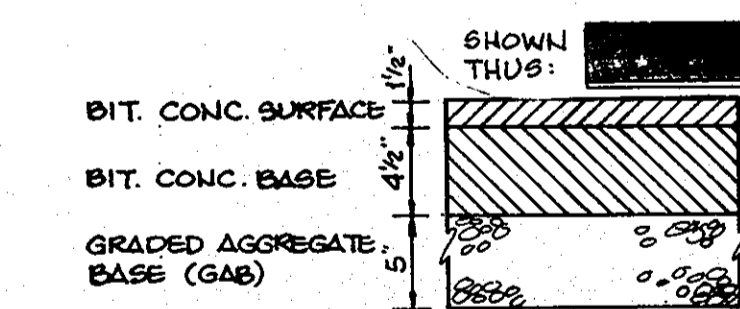


CURB AND GUTTER DETAIL

NOT TO SCALE

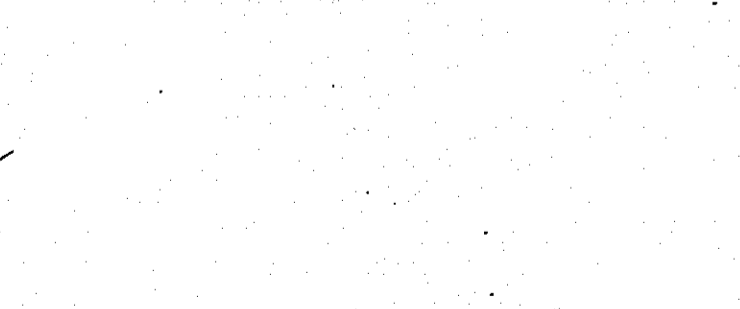
P-2 PAVING SECTION

(SEE HO. CO. DETAIL R-2.01)
NO SCALE



P-3 PAVING SECTION

(SEE HO. CO. DETAIL R-2.01)
NO SCALE



REV	DATE	DESCRIPTION	BY
2	1-29-10	REMOVE FRONT OF BUILDING TO REFLECT NEW ENTRANCE FEATURES	BSE-1

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, OR THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21455. CERTIFICATE OF MARYLAND PROFESSIONAL ENGINEER.

Robert J. Bost
PROFESSIONAL ENGINEER
for review by B&T only

THESE PLANS FOR PRIVATE WELL & PRIVATE SEPTIC SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.

John Ford MD 5-1-97
APPROVED: HOWARD COUNTY HEALTH OFFICER DATE

John R. Poluto 4/14/97
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

Paul Simmon 4/14/97
NATURAL RESOURCES CONSERVATION SERVICE DATE

Michael P. ... 4/17/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard Blourel 5/9/97
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

James S. ... 5/12/97
DIRECTOR DATE

ADDRESS CHART	
PARCEL NO. 1/6 PARCEL 55	STREET ADDRESS 3901 TEN OAKS ROAD
SUBDIVISION NAME N/A	SECTION NAME N/A
PLAT N/A	BLOCK 14
ZONE B-2	TAX MAP 22
ELECT. DIST. 3	CENSUS TRACT 6030
WATER CODE: SEWER CODE:	

Cross Sections & Profiles
ROYAL FARM STORE
Triadelphia Road at Ten Oaks Road - Glenelg
Store #76
Election District 3
Tax Map 22
Scale: As Shown

Howard County, Maryland
October 22, 1996
Sheet 3 of 7

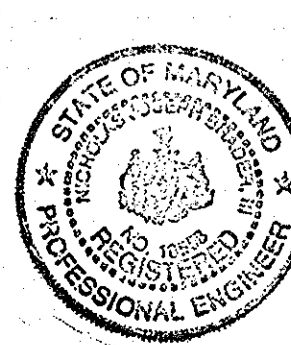
DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *John M. Kemp* V.P. Date: 11-5-96

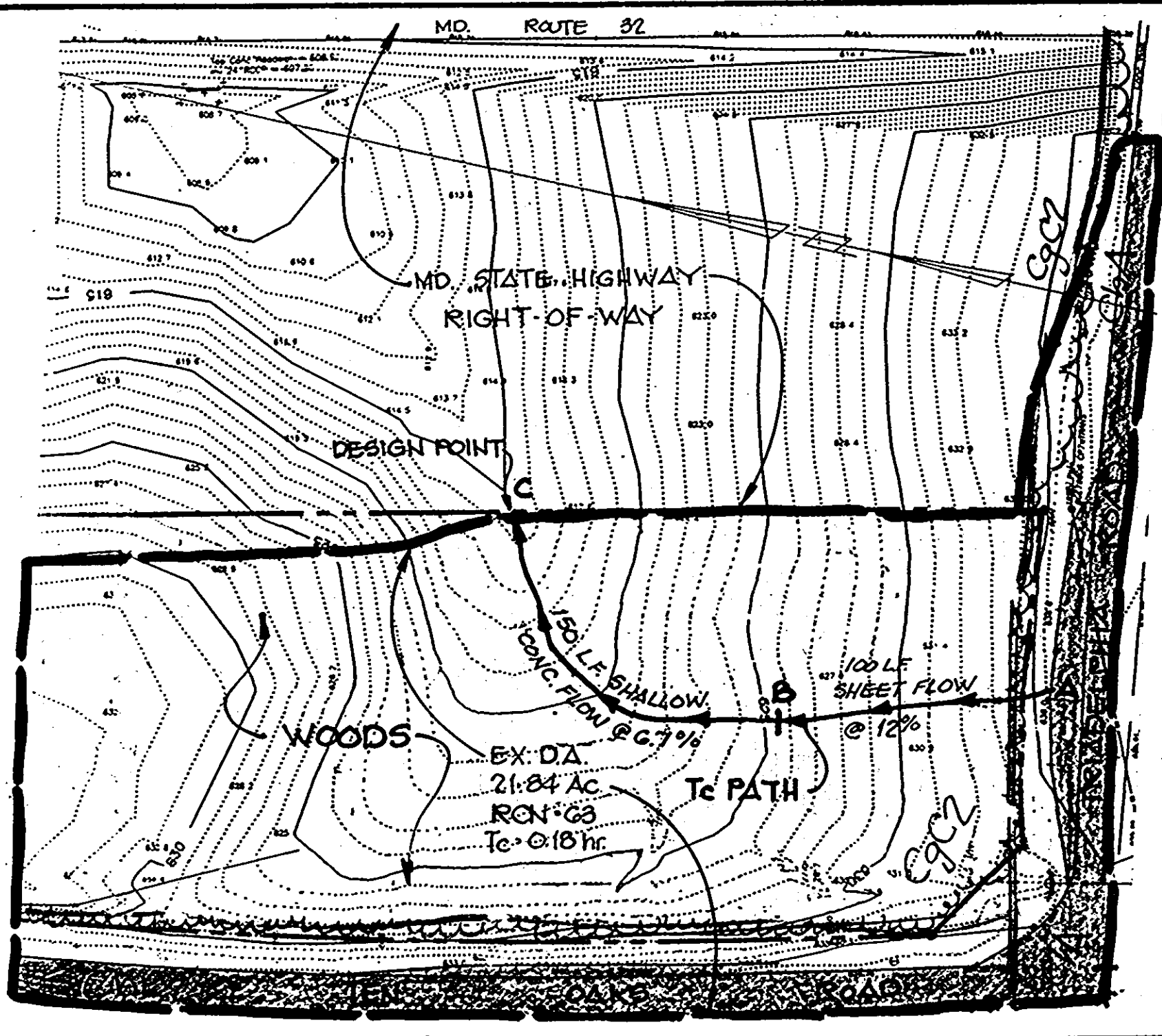
OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
2200 North Monroe Street
Baltimore, Maryland 21217
(410) 669-2222

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

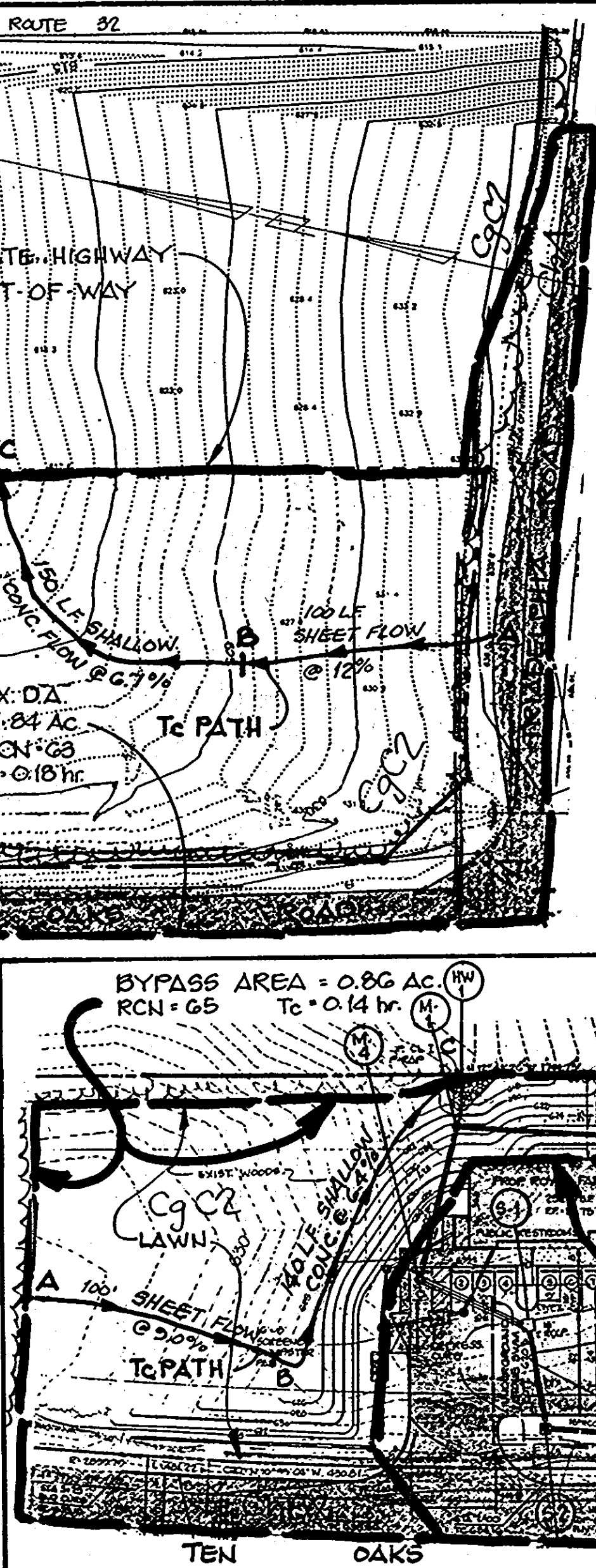
Engineer: *Nicholas J. Bracker* Date: 11/4/96
Name: *NICHOLAS J. BRACKER* PE # 10532



GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21284
(410) 825-8120



STORMWATER MANAGEMENT EXISTING CONDITIONS DRAINAGE AREA MAP
SCALE: 1"=50'

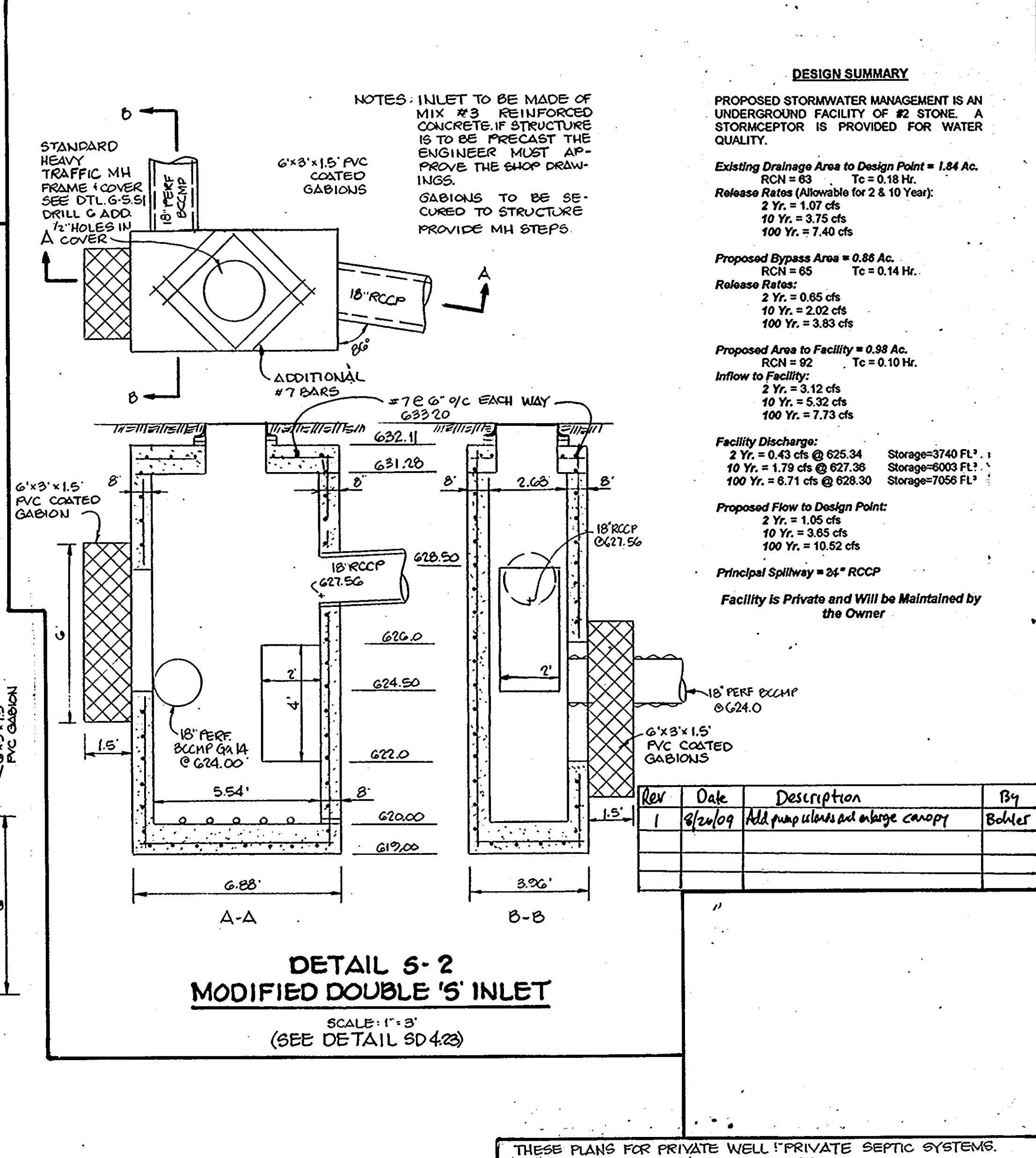
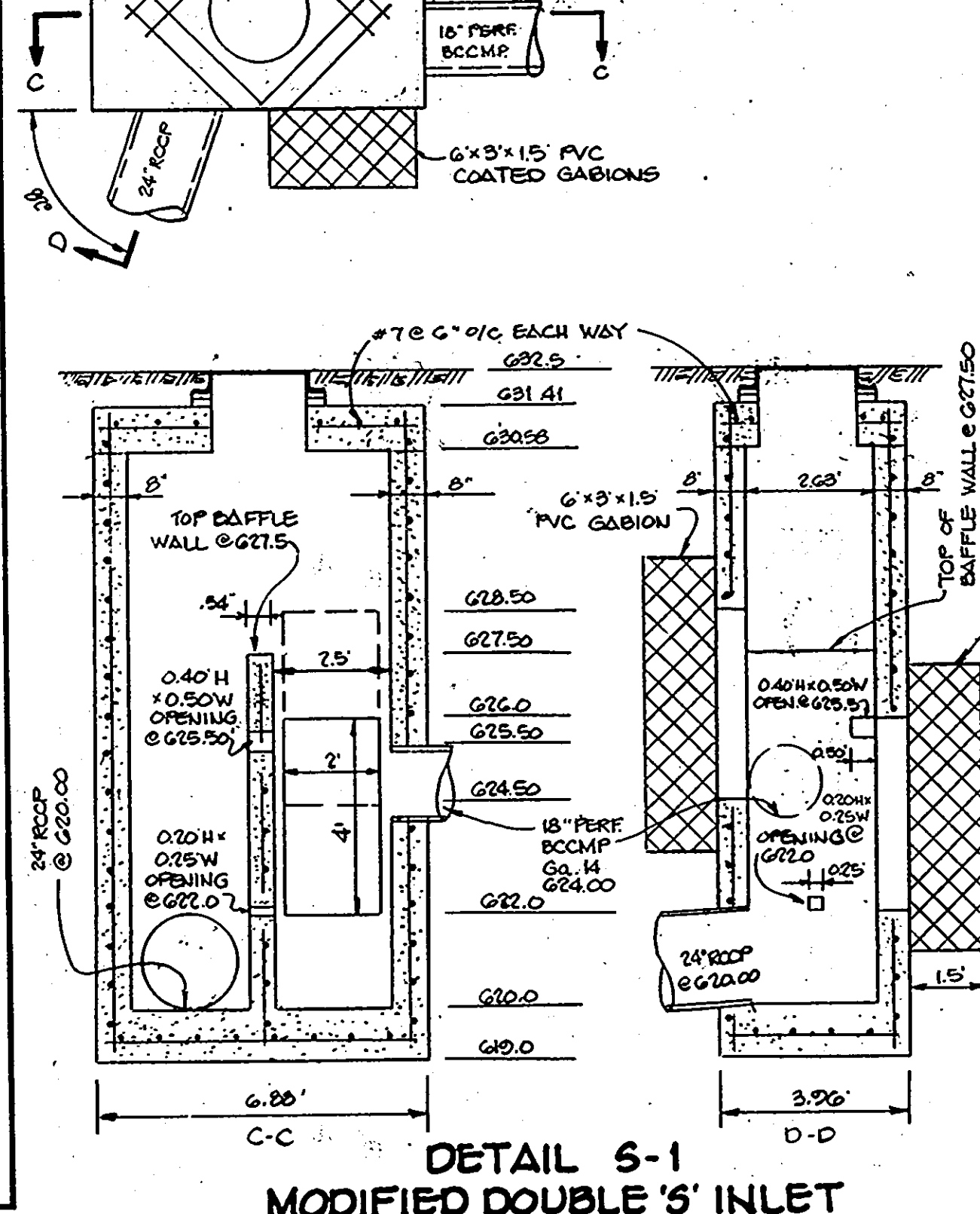
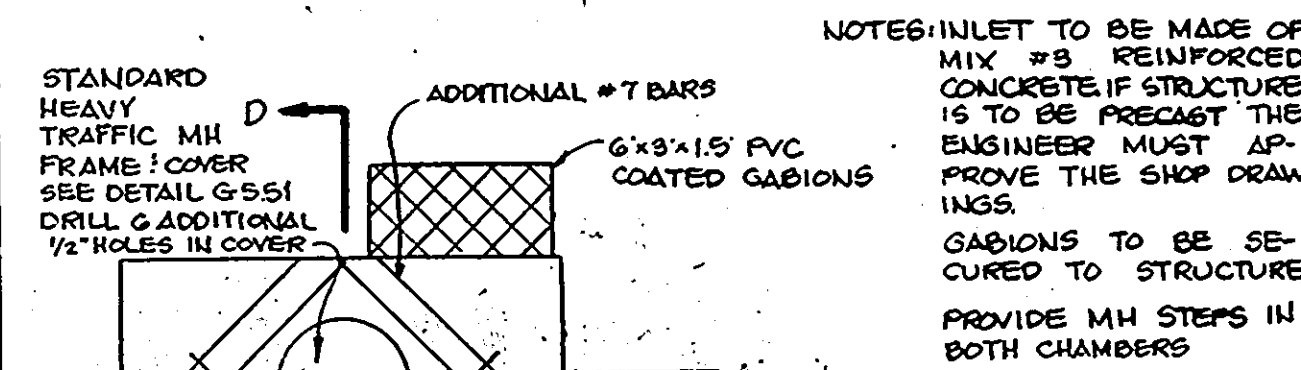
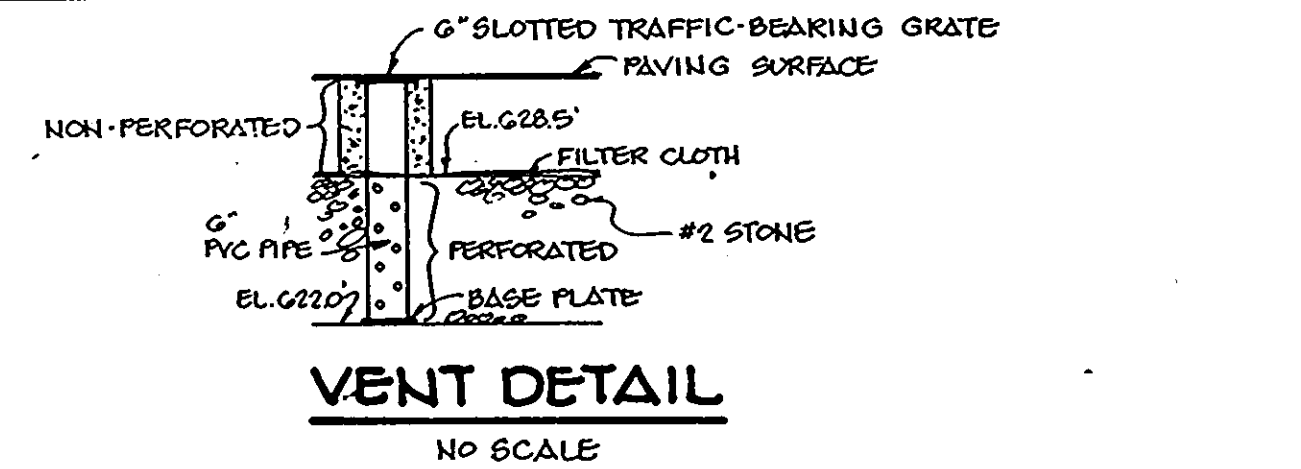


STORMWATER MANAGEMENT PROPOSED CONDITIONS DRAINAGE AREA MAP
SCALE: 1"=50'

SOILS LEGEND *

ChA	Chester Sil' Loam	0-3% Slopes	
ChB2	Chester Sil' Loam	3-8% Slopes	moderately eroded
CgC2	Chester Gravelly Sil' Loam	8-15% Slopes	moderately eroded

* SOILS SURVEY OF HOWARD COUNTY, PAGE 13.



DESIGN SUMMARY

PROPOSED STORMWATER MANAGEMENT IS AN UNDERGROUND FACILITY OF #2 STONE. A STORAGE AREA IS PROVIDED FOR WATER QUALITY.

Existing Drainage Area to Design Point = 1.84 Ac.
RCN = 63 Tc = 0.18 hr.
Release Rates (Allowable for 2 & 10 Year):
2 Yr. = 1.07 cfs
10 Yr. = 3.75 cfs
100 Yr. = 7.40 cfs

Proposed Bypass Area = 0.86 Ac.
RCN = 65 Tc = 0.14 hr.
Release Rates:
2 Yr. = 0.85 cfs
10 Yr. = 2.02 cfs
100 Yr. = 3.83 cfs

Proposed Area to Facility = 0.98 Ac.
RCN = 92 Tc = 0.10 hr.
Inflow to Facility:
2 Yr. = 3.12 cfs
10 Yr. = 5.32 cfs
100 Yr. = 17.73 cfs

Facility Discharge:
2 Yr. = 0.43 cfs @ 625.34 Storage=3740 FL³
10 Yr. = 1.79 cfs @ 627.38 Storage=6003 FL³
100 Yr. = 6.71 cfs @ 628.30 Storage=7056 FL³

Proposed Flow to Design Point:
2 Yr. = 1.05 cfs
10 Yr. = 3.65 cfs
100 Yr. = 10.52 cfs

Principal Spillway = 24" RCCP
Facility is Private and Will be Maintained by the Owner

Rev	Date	Description	By
1	9/24/99	Add pump ulcers and enlarge canopy	Bolter

INLET SCHEDULE

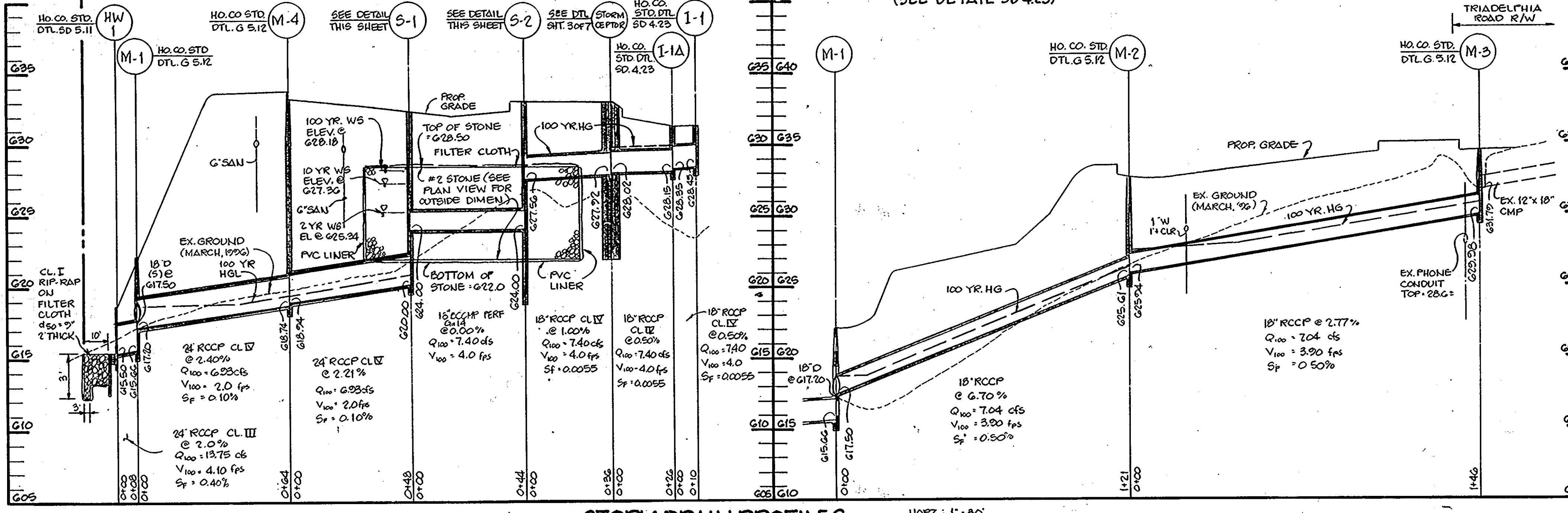
No	TYPE	TOP EL.	IN. IN.	IN. OUT.	Q @ 5	HQ. CO. DET.
I-1	DBL'S	631.45	-	628.45	3.70	SD-4.23
I-1A	DBL'S	631.45	628.35	628.15	3.70	SD-4.23

MANHOLE SCHEDULE

No	TYPE	TOP EL.	IN. IN.	IN. OUT.	HQ. CO. DETAIL
M-1	48"	622.25	617.20	615.66	G-5.12
M-2	48"	633.30	625.24	625.61	G-5.12
M-3	48"	634.35	631.70	629.30	G-5.12
M-4	48"	633.20	618.24	618.74	G-5.12

STRUCTURE SCHEDULE

No	TYPE	TOP EL.	IN. IN.	IN. OUT.	HQ. CO. DETAIL
S-1	DBL'S	628.02	627.92	-	SEE DTL. SHT. 3 OF 7
S-2	DBL'S	627.50	624.00	-	SD-4.23(SEE DTL. ABOVE)
HW-1		615.50	-	-	SD-5.11



THESE PLANS FOR PRIVATE WELL PRIVATE SEPTIC SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: HOWARD COUNTY HEALTH OFFICER *[Signature]* DATE 5-7-97

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT *[Signature]* DATE 4/14/97

PLAN NUMBER _____ DATE _____

Reviewed for the Howard Conservation District and meets technical requirements.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING *[Signature]* DATE 4/14/97

CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: *[Signature]* DATE 4/12/97

CHIEF, DIVISION OF LAND DEVELOPMENT, PLANNING AND RESEARCH

APPROVED: *[Signature]* DATE 5/12/97

DIRECTOR

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
1/6 PARCEL 55	3901 TEN OAKS ROAD

SUBDIVISION NAME	SECTION NAME	PARCEL #
N/A	N/A	1/6 PARCEL 55

PLAT	BLOCK	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
N/A	14	B-2	22	3	6030

WATER CODE: _____ SEWER CODE: _____

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21204
(410) 825-8120

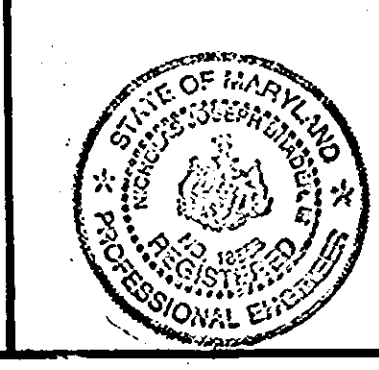
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I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *John K. Kemp* V.P. Date: 11-5-96

OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
2200 North Monroe Street
Baltimore, Maryland 21217
(410) 669-2222

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *[Signature]* Date: 4/6/97
Name: *Nicholas J. Gardner* PE # 18558



Drainage Area Maps & Profiles
ROYAL FARM STORE
Triadelphia Road at Ten Oaks Road - Glenelg
Store #76
Elect. District 3
Tax Map 22
Scale: As Shown
Howard County, Maryland
October 22, 1996
Sheet 4 of 7

NOTES:
 1. SPOIL FROM TRENCHES IN THE SEPTIC AREA IS TO BE PLACED ON THE UPHILL SIDE OF THE TRENCHES
 2. SWALES ARE TO BE SOODED.

MODIFIED SEDIMENT TRAP
 Ex. & Prop Drainage Area 1.08 Ac.
 Storage Provided to Elev. 614.25' 2580 Ft.³
 Bottom of Trap 614.0'
 Low Point of Ex. Ground @ Spillway 615.5'
 Spillway Crest 618.25'
 Cleanout Elevation 615.5'

- SEQUENCE OF CONSTRUCTION**
1. Obtain grading permit.
 2. Notify the Howard County Department of Permits and Licenses 48 hours prior to beginning work.
 3. Install the stabilized construction entrances. (1 day)
 4. Clear and grub for sediment control measures. (1 day)
 5. Install sediment control measures including the storm drain from M-2 to M-3 and the pipe slope drain. Ensure that the pipe slope drain is diverted away from the modified sediment trap. (2 days)
 6. Clear and grub the remainder of the site except the septic area (area north of the perimeter dikes/swales). (2 days)
 7. With the permission of the sediment control inspector, bring the site to grade. (12 days)
 8. Begin building construction. Storm drain HW-1 to M-2 and to S-1 may be installed along with the sewer. The 15" drain from M-2 to M-1 must be blocked to allow the pipe slope drain to function. (30 days)
 9. Install curb and stone subbase in any areas that will not have to be disturbed to install the underground stormwater management facility. Stabilize any other areas. (5 days)
 10. With the permission of the inspector install the underground S.W.M. facility during a dry three day forecast. Block all openings in S-1 and S-2 except the 18" drain. Install remaining curb, stone subbase and stabilize immediately. Install inlet protection. (3 days)
 11. With all other areas stabilized, construction of the septic field may begin with permission of the inspector. (5 days)
 12. Stabilize all areas and complete paving. (3 days)
 13. With the permission of the sediment control inspector, remove the remaining sediment control devices and stabilized with permanent seeding. (2 days)

BENCHMARK #22DA Elev. 614.952
 Standard H.C. aluminum disc on concrete monument set 21' northwest of the centerline of Triadelphia Road off the intersection of Kennard Drive.

LEGEND

EXISTING CONTOUR	---
PROPOSED CONTOUR	---
PROPERTY LINE	---
EX. CURB & GUTTER	---
PROP. CURB & GUTTER	---
EX. STORM DRAIN	---
EX. 8" & 6" POLE	---
EX. 8" & 6" POLE W/ LIGHT	---
EX. ROAD RIGHT-OF-WAY	---
EX. OVERHEAD LINES	---
PROP. WATER	---
PROP. SEWER	---
PROP. STORM DRAIN	---
EX. TRENCH	---
PROP. TRENCH	---
STABILIZED CONSTRUCTION ENTRANCE	---
MOUNTABLE BERM	---
SILT FENCE	---
INLET PROTECTION	---
PERIMETER DIKE/SWALE	---
SUPER SILT FENCE	---

NOTE: FOR ALL SEDIMENT CONTROL NOTES & DETAILS, SEE SHEET G OF 7.

REV	DATE	DESCRIPTION	BY
1	8/26/09	Add pump islands and enlarge canopy	Bowler
2	1-29-10	REMOVE FRONT OF BUILDING TO REFLECT NEW ENTRANCE FEATURE	BEI

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21443, EXPIRES 12/31/2010.

WILLIAM ALAN WILSON
 PROFESSIONAL ENGINEER
 No. 21443
 For revisions by BEI only.

THESE PLANS FOR PRIVATE WELL & PRIVATE SEPTIC SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.

Joseph Bolter 5-7-97
 APPROVED: HOWARD COUNTY HEALTH OFFICER DATE

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John R. Roberts
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE 4/14/97

Reviewed for the Howard Conservation District and meets technical requirements.

Ceryl Simmons 4/14/97
 NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED: Howard County Department of Planning and Zoning

Michael D. ... 4/17/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE

Richard ... 5/9/97
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

James ... 5/12/97
 DIRECTOR DATE

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
P/O PARCEL 55	3901 TEN OAKS ROAD

SUBDIVISION NAME	SECTION NAME	PARCEL #			
N/A	N/A	P/O PARCEL 55			
PLAT #	BLOCK #	ZONE	TAX / ZONE MAP	ELECT. DIST.	CENSUS TRACT
N/A	14	B-2	22	3	6030
WATER CODE:		SEWER CODE:			

Sediment Control Plan
ROYAL FARM STORE
 Triadelphia Road at Ten Oaks Road - Glenclg
 Store #76

Election District 3
 Tax Map 22
 Scale: As Shown

Howard County, Maryland
 October 22, 1996
 Sheet 5 of 7

NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 658 KENILWORTH DRIVE, SUITE 100
 TOWSON, MARYLAND 21204
 (410) 825-8120

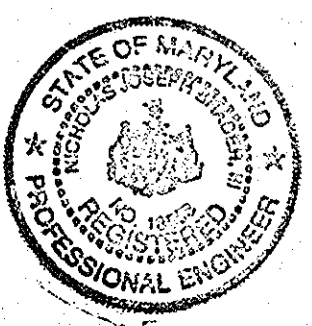
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 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *John K. Kemp* V.P. Date: 11-5/96

OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
 2200 North Monroe Street
 Baltimore, Maryland 21217
 (410) 669-2222

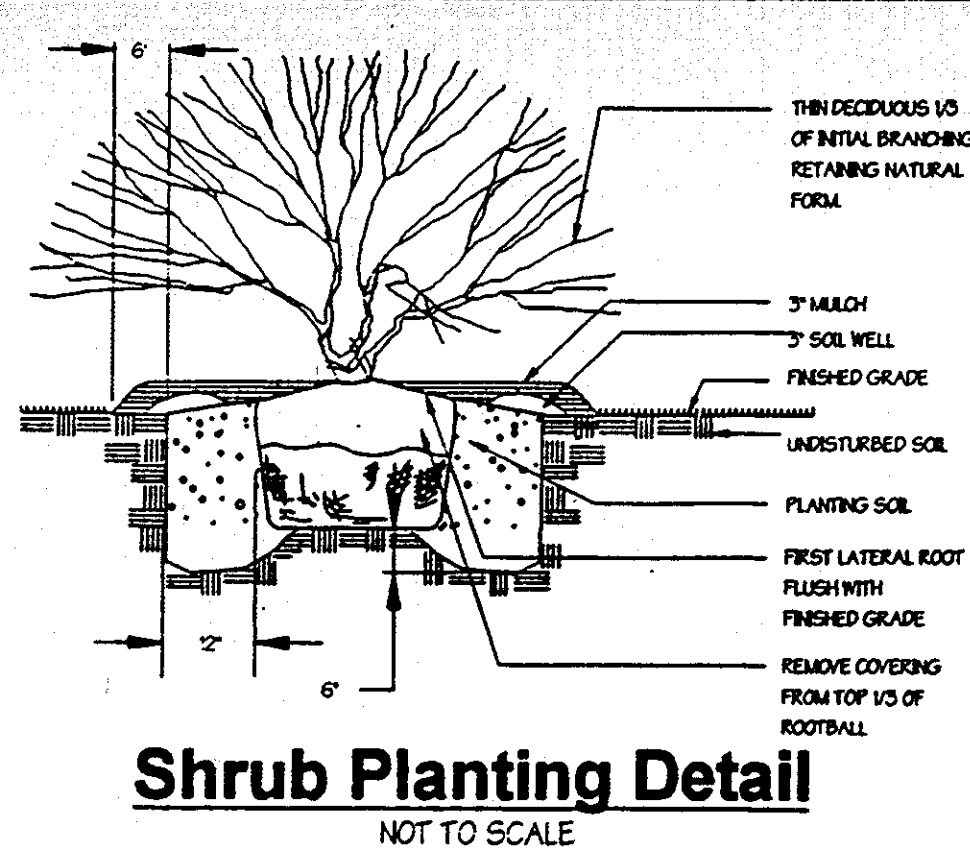
ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Richard J. Bowler* Date: 11/6/16
 Name: *NICHOLAS J. BOWLER* PE # 18558



PLAN
 SCALE: 1" = 30'

JR ENTERPRISES # 105 1068/141



Shrub Planting Detail
NOT TO SCALE

PLANTING NOTES
Plant locations shall be field adjusted to avoid utilities. The Contractor is responsible for locating utilities prior to start of work. All trees and shrubs shall be mulched to a minimum of 18" beyond the edge of the root ball. Shrub masses shall be planted in continuous mulch beds. All wire, plastic and twine ties shall be removed from the top of the root ball.

PLANT STANDARDS
All nursery stock shall be top quality and in accordance with the American Association of Nurserymen, Inc., "America Standards for Nursery Stock", latest edition. Inferior nursery stock will be subject to rejection by the landscape architect. Bare-root shall not be allowed for any tree defined as major deciduous, minor deciduous or evergreen.

CHANGES MAY IMPACT REQUIRED CERTIFICATION
Plant types (deciduous, evergreen, etc.), quantities, spacing, location and species shown in the approved landscape plan are based on requirements stated in the latest Howard County Landscape Manual. Any change in these items may affect the required approval and certification of the installed planting. The owner is required to arrange and pay for certification by the landscape architect.

LANDSCAPE SPECIFICATIONS
Landscape specification shall conform to L.C.A. Landscape Specification Guidelines for the Baltimore-Washington Metropolitan Area, including planting procedures and soil preparation for shrubs and perennial beds. A one-year warranty period shall be required. Maintenance required to honor the one year warranty shall be performed as part of this contract.

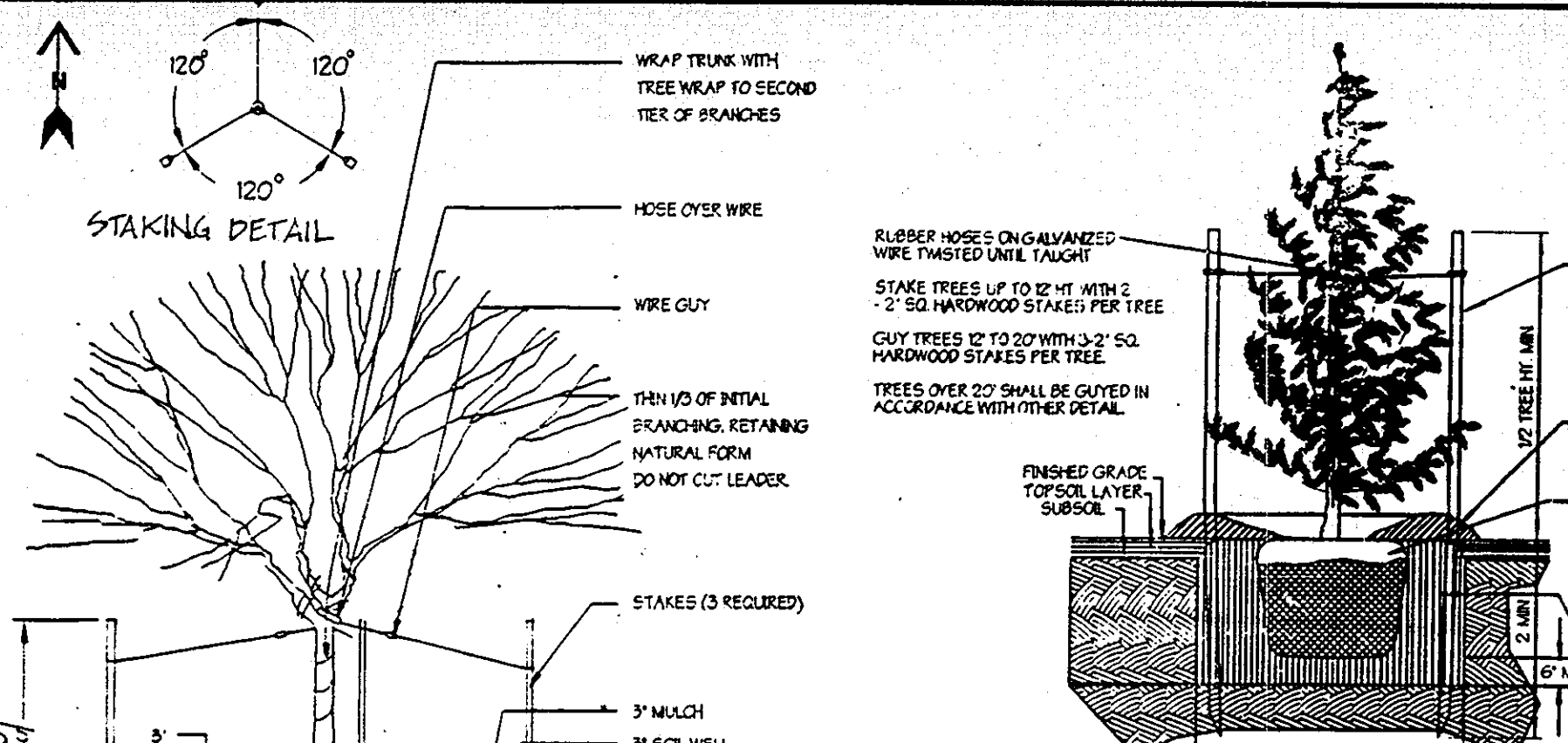
SPECIAL PROVISIONS TO L.C.A. STANDARD SPECIFICATIONS
The Contractor is encouraged to perform soil testing. Test results shall be submitted 30 days before planting. Failing to perform testing will not void guarantee provisions.

Contractor shall review and test subsoil drainage characteristics 30 days prior to planting and notify owner of unacceptable conditions.

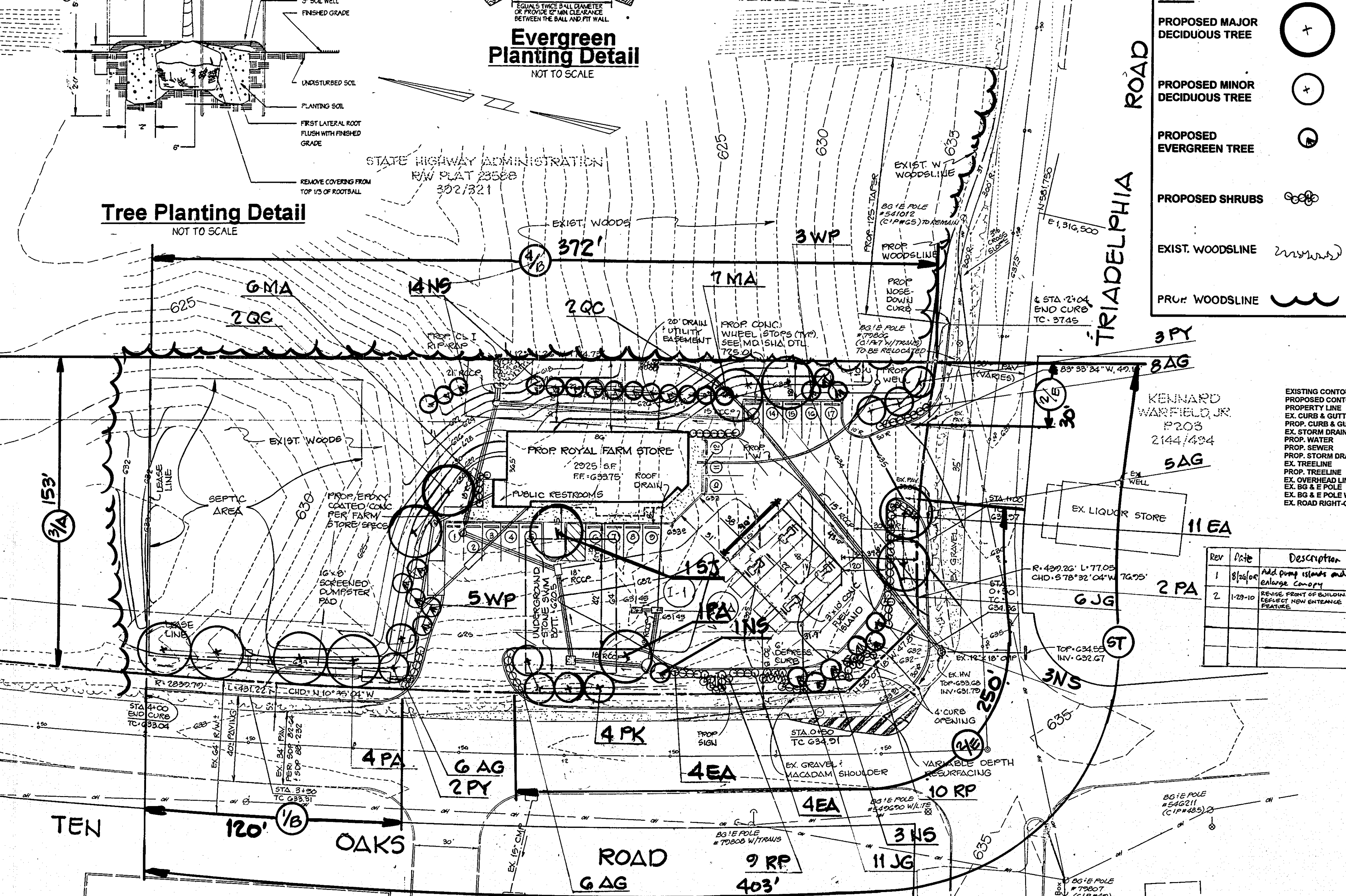
No exceptions to the guarantee provisions are allowed unless agreed to in writing prior to planting.

1) "This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual."

2) "Financial surety for the required landscaping has been posted as part of the DPW Developer's Agreement in the amount of \$3700.00."



Evergreen Planting Detail
NOT TO SCALE



PLAN
SCALE: 1" = 30'

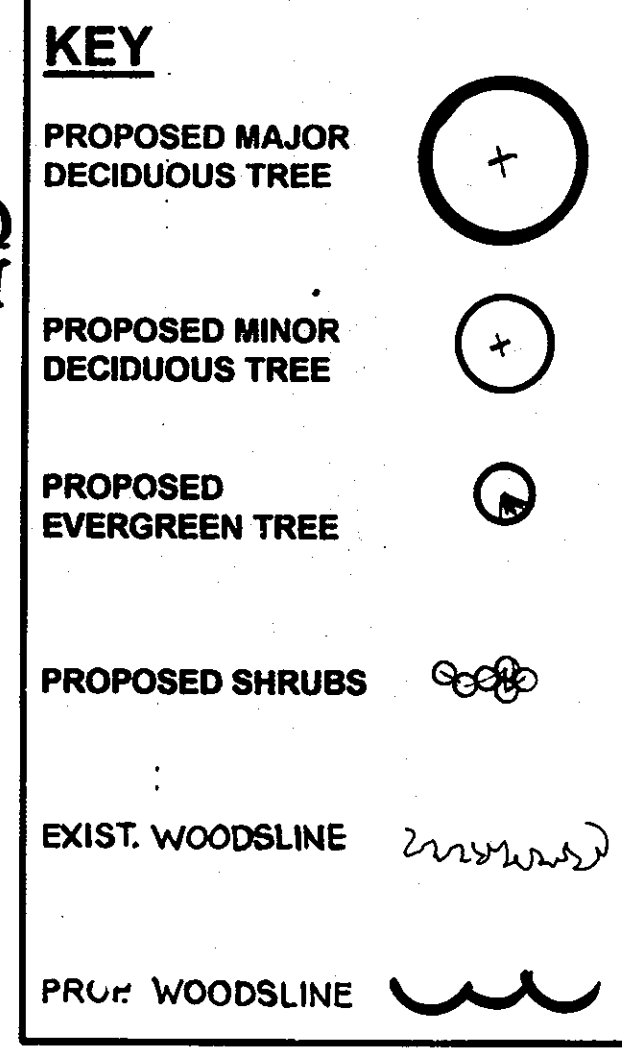
PLANT SCHEDULE					
KEY	QUANT.	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPACING	REMARKS
TREES					
PA	7	<i>Platanus x acerifolia</i> 'Bloodgood' / Bloodgood London Planetree	2 1/2" - 3" cal / B&B	as shown	full crown
QC	4	<i>Quercus coccinea</i> / Scarlet Oak	2 1/2" - 3" cal / B&B	as shown	full crown
SJ	1	<i>Sophora japonica</i> 'Regent' / Regent Scholartree	2 1/2" - 3" cal / B&B	as shown	full crown
PK	4	<i>Prunus serrulata</i> 'Kwanzan' / Kwanzan Cherry	1 1/2" - 2" cal / B&B	as shown	matched
PY	5	<i>Prunus x yedoensis</i> / Yoshino Cherry	1 1/2" - 2" cal / B&B	as shown	matched
WP	9	<i>Pinus strobus</i> / Eastern White Pine	6" - 8" ht. / B&B	10' O.C. as shown	sheared
NS	21	<i>Picea abies</i> / Norway Spruce	6" - 8" ht. / B&B	10' O.C. as shown	full to base
SHRUBS					
JR	17	<i>Juniperus chinensis</i> 'Old Gold' / Old Gold Juniper	24-30" ht. / B&B	3 1/2' O.C.	
RP	19	<i>Rhododendron</i> 'P.J.M.' / F.J.M. Rhododendron	24-30" ht. / B&B	3 1/2' O.C.	
AG	25	<i>Abelia x grandiflora</i> 'Edward Goucher' / Edward Goucher Abelia	24-30" ht. / com.	3 1/2' O.C.	
EA	19	<i>Euonymus alatus compacta</i> / Dwarf Winged Euonymus	24-30" ht. / B&B	3 1/2' O.C.	
MA	13	<i>Mahonia aquifolium</i> / Oregon Grapeholly	24-30" ht. / com.	3 1/2' O.C.	

SCHEDULE A PERIMETER LANDSCAPE EDGE				
Category	Adjacent to Roadways	Adjacent to Roadways	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	1/B	2/E	4/B	3/A
Linear Feet of Roadway Frontage/Perimeter	120'	280'	372'	159'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)				Yes 159'
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)				
Number of Plants Required				
Shade Trees	2	7	7	2
Evergreen Trees			2	
Shrubs		70		
Number of Plants Provided				
Shade Trees	2	3		2
Evergreen Trees	3	2	17	
Other Trees (2:1 substitution)	3			
Shrubs (10:1 substitution)		70	23	
(Describe plant substitution credits below if needed)				

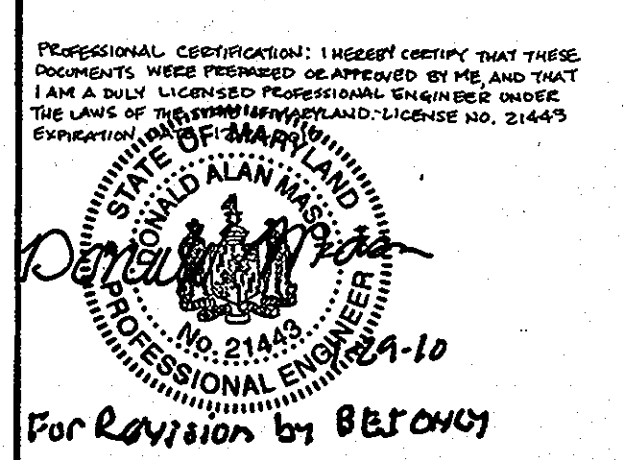
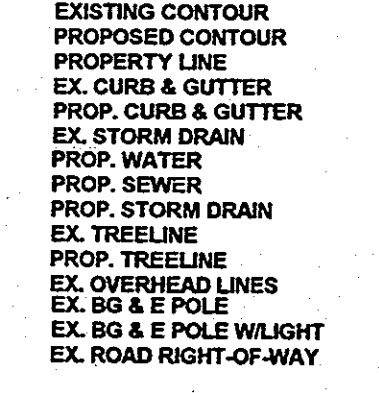
Comments: 57 STREET TREES 403-40-1000 SHADE TREES REQUIRED
7 SHADE TREES PROVIDED
6 MINOR SHADE TREES PROVIDED @ 2:1

Note: Complex projects may require expansion of the schedule to accommodate multiple land uses on-site or on adjacent properties.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of Parking Spaces	17
Number of Trees Required	0
Number of Trees Provided	0
Shade Trees	
Other Trees (2:1 substitution)	



LEGEND



THESE PLANS FOR PRIVATE WELL & PRIVATE SEPTIC SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

Approved: *John M. Kemp* 5-7-97
APPROVED: HOWARD COUNTY HEALTH OFFICER

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

Approved: *John M. Kemp* 4/14/97
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

Reviewed for the Howard Conservation District and meets technical requirements.
Paul Simmons 4/14/97
NATURAL RESOURCES CONSERVATION SERVICE

APPROVED: Howard County Department of Planning and Zoning

John M. Kemp 4/17/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION

John M. Kemp 5/1/97
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH

John M. Kemp 5/12/97
DIRECTOR

ADDRESS CHART
PARCEL NO. STREET ADDRESS
P/O PARCEL 55 3901 TEN OAKS ROAD

SUBDIVISION NAME	SECTION NAME	PARCEL #
N/A	N/A	P/O PARCEL 55
PLAT #	BLOCK #	ZONE
N/A	14	B-2
TAX MAP #	ELECT. DIST.	CENSUS TRACT
22	3	G030
WATER CODE	SEWER CODE	

Landscape Plan
ROYAL FARM STORE
Triadelphia Road at Ten Oaks Road - Glenelg
Store #76
Election District 3
Tax Map 22
Scale: As Shown
Howard County, Maryland
February 14, 1997
Sheet 7 of 7

NOTE:
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer Name: *John M. Kemp* V.P. Date: 11-5-96

OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
2200 North Monroe Street
Baltimore, Maryland 21217
(410) 669-2222

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer: *John M. Kemp* Date: 4/14/96
Name: *Nicholas J. Cooper* PE # 18558

