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# SITE DEVELOPMENT PLAN

## B. VON PARIS FACILITY

AT

### CORRIDOR INDUSTRIAL PARK

#### PARCEL Q-1

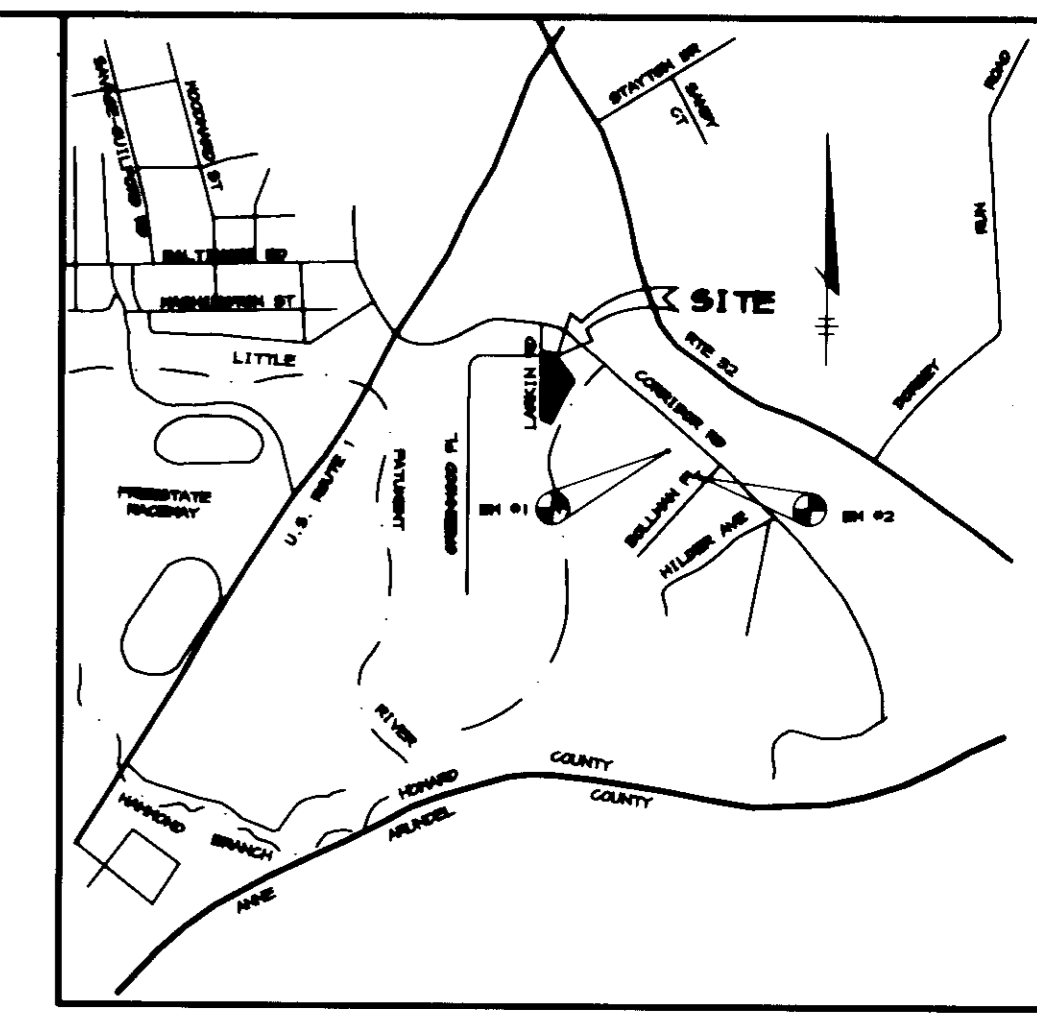
#### 6th ELECTION DISTRICT

#### HOWARD COUNTY, MARYLAND

### BENCHMARKS

BM #1 HO. CO. SURVEY CONTROL STATION: 4064  
N 592,464.01 E 1,370,930.04

BM #2 HO. CO. SURVEY CONTROL STATION: 4064  
N 551,514.25 E 1,371,055.76  
ELEV. 206.756



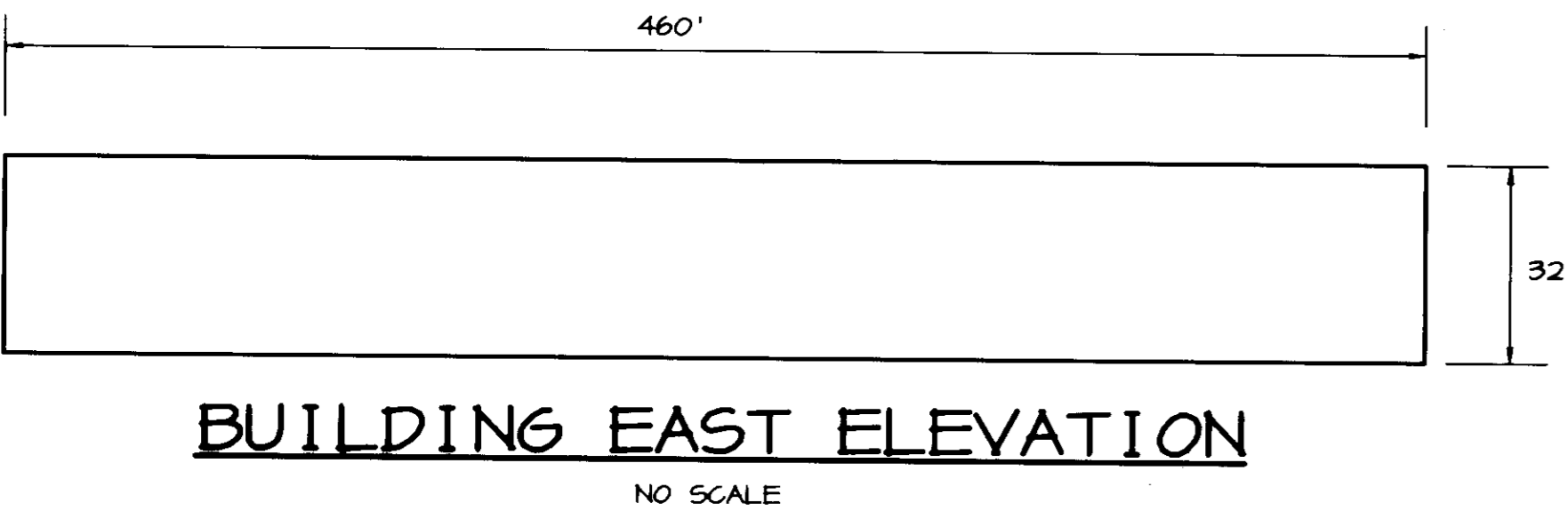
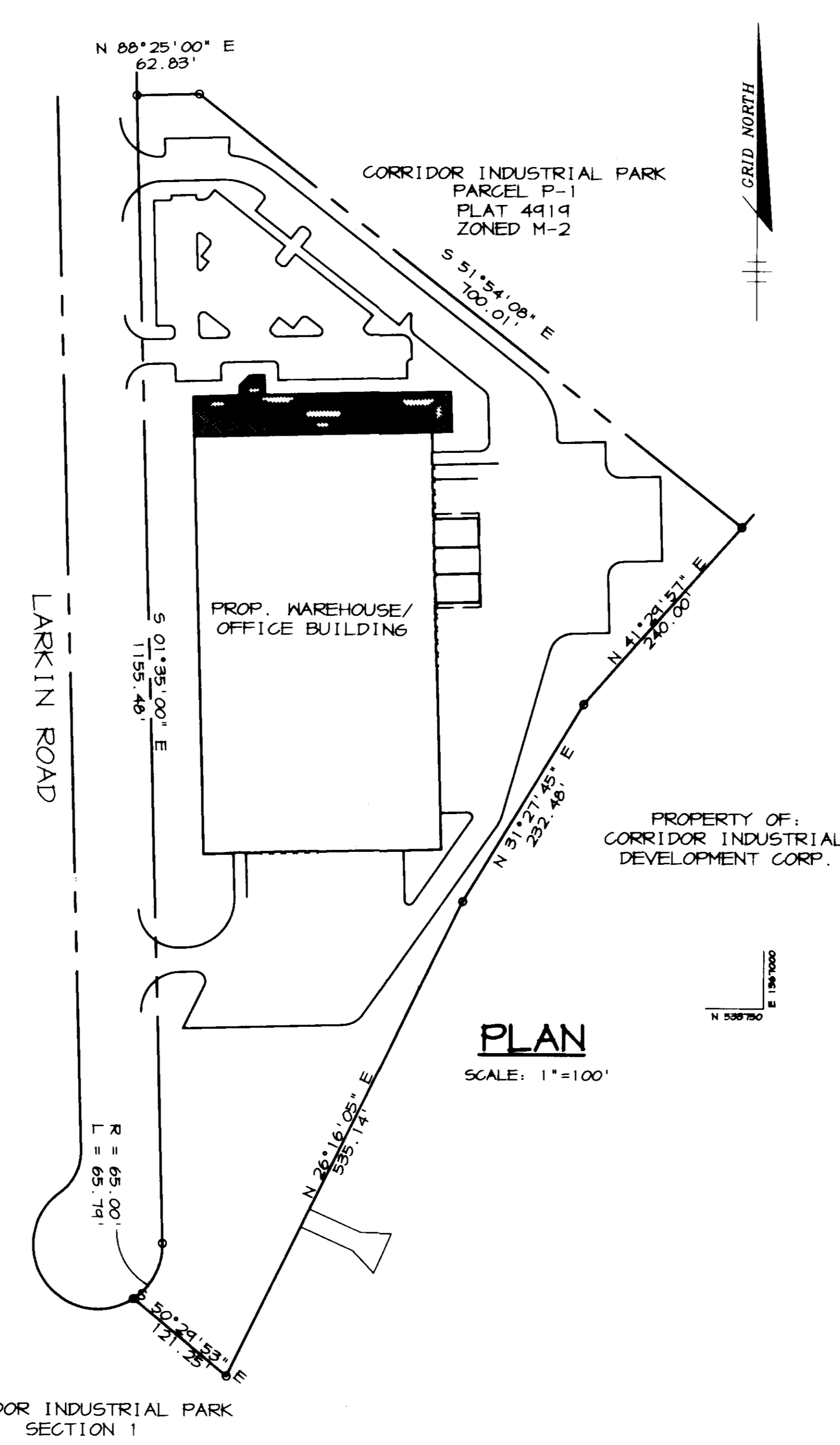
### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-TTUT AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE DATED SEPTEMBER 1996.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS. 406A AND 4064 HERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 44-3503-D.
- SEWER IS PUBLIC. SEWER DRAINAGE AREA, PATUXENT - CONTRACT NO. 44-3503-D.
- THE STORMWATER MANAGEMENT FACILITY PROPOSED FOR THIS SITE IS AN EXTENDED DETENTION FACILITY, AND IS PRIVATELY MAINTAINED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- THERE IS NO 100- YEAR FLOODPLAIN ON THIS SITE.
- THE WETLANDS DELINEATION FOR THIS PROJECT IS BASED ON FIELD INVESTIGATION BY RIEMER MUEGGE IN OCTOBER 1996.
- THERE IS NO TRAFFIC STUDY FOR THIS PROJECT.
- THERE IS NO NOISE STUDY FOR THIS PROJECT.
- THE GEOTECHNICAL STUDY FOR STORMWATER MANAGEMENT FOR THIS PROJECT WAS PREPARED BY THE ROBERT B. BALTER COMPANY DATED OCTOBER 25, 1996.
- THE BOUNDARY SURVEY FOR THIS PROJECT IS BASED ON RECORD PLAT 4414.
- SUBJECT PROPERTY ZONED M-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S: F-75-57, F-81-150, GP-74-65
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, 1.6., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.

### SITE ANALYSIS

AREA OF PARCEL	9.18 ACRES
PRESENT ZONING	M-2
PROPOSED USE	WAREHOUSE/OFFICE
BUILDING COVERAGE:	111,830 SF (2.56 ac) 27.9% OF SITE
OFFICE	10,342 SF (0.24 ac)
FOYER	630 SF (0.01 ac)
WAREHOUSE	100,816 SF (2.31 ac)
WAREHOUSE	
* OF PARKING SPACES REQ'D:	51
• 0.5 SP. PER 1000 SF •	
OFFICE	
* OF PARKING SPACES REQ'D:	37
• 3.3 SP. PER 1000 SF •	
	88 TOTAL
* OF PARKING SPACES PROVIDED:	177
CAR	100 (incl 5 hc)
TRAILER	51
LOADING BAYS	16
PAVED AREA	141,993 SF (3.26 ac) 35.5% OF SITE

\* PER SECTION 133 OF HO. CO. ZONING REGULATIONS



- OPERATION AND MAINTENANCE SCHEDULE  
OF PRIVATELY OWNED AND MAINTAINED  
STORMWATER MANAGEMENT FACILITY  
EXTENDED DETENTION POND
- ROUTINE MAINTENANCE**
- Facility shall be inspected annually and after major storms. Inspections should be performed during wet weather to determine if the pond is functioning properly.
  - Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes, the bottom of the pond, and maintenance access should be mowed as needed.
  - Debris and litter next to the outlet structure shall be removed during regular mowing operations and as needed.
  - Visible signs of erosion in the pond as well as riprap outlet area shall be repaired as soon as it is noticed.
- NON-ROUTINE MAINTENANCE**
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components should be inspected during routine maintenance operations.
  - Sediment should be removed when its accumulation significantly reduces the design storage, interfere with the function of the riser, when deemed necessary for aesthetic reasons, or when deemed necessary by the Howard County's Department of Public Works.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*James S. Carter* 4/21/97  
DIRECTOR DATE

*Robert D. Cummings* 4/21/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Leslie Hamilton* 4/24/97  
DIRECTOR, DIVISION OF LAND DEVELOPMENT TC DATE

DATE	NO.	REVISION

OWNER	DEVELOPER
B. VON PARIS, Inc. 1030 YORK ROAD TIMONHILM, MARYLAND 21043 (410) 252-5800	HANERIN CORPORATION 7165 COLUMBIA GATEWAY DRIVE COLUMBIA, MARYLAND 21046 (410) 240-1400
PROJECT	B. VON PARIS OFFICE/WAREHOUSE FACILITY
AREA	CORRIDOR INDUSTRIAL PARK, SECTION 1 PARCEL Q-1 ZONED M-2 TAX MAP 46, BLOCK 13 TAX MAP 47, BLOCK 10 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	TITLE SHEET

**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

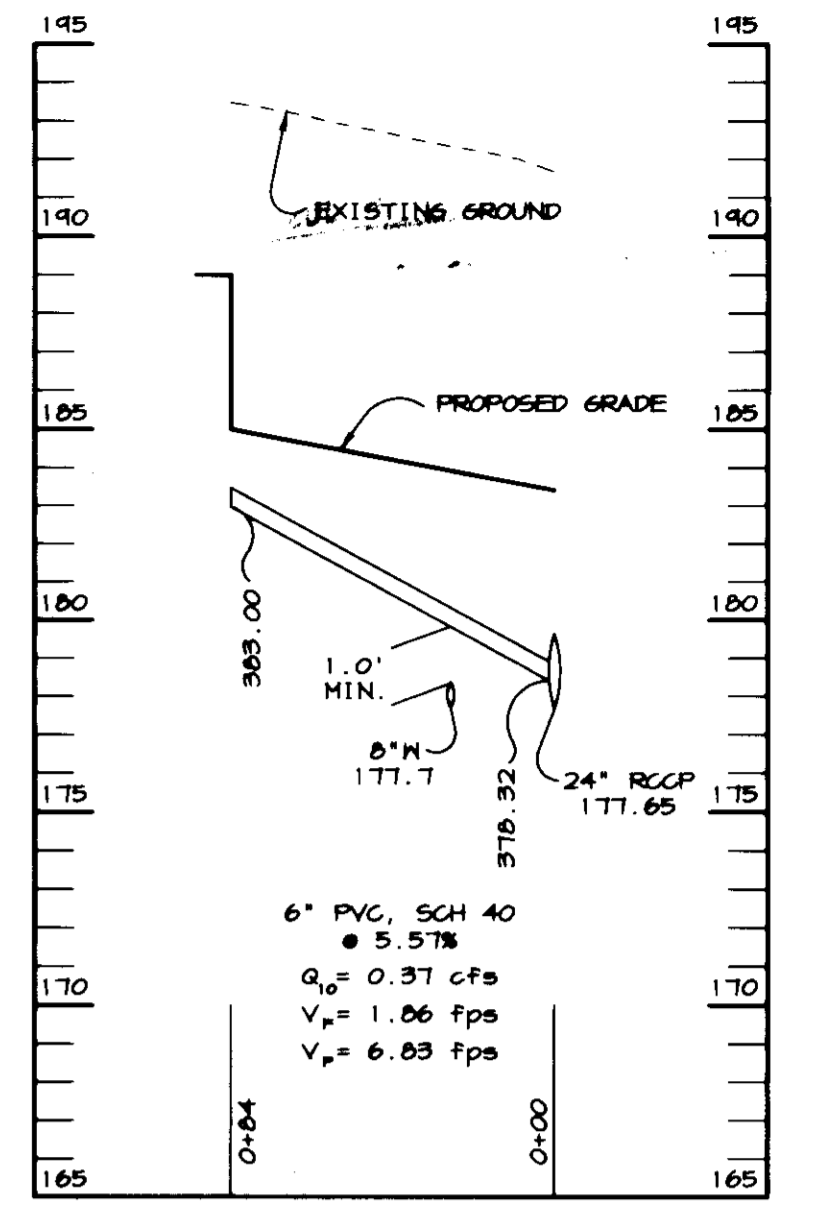
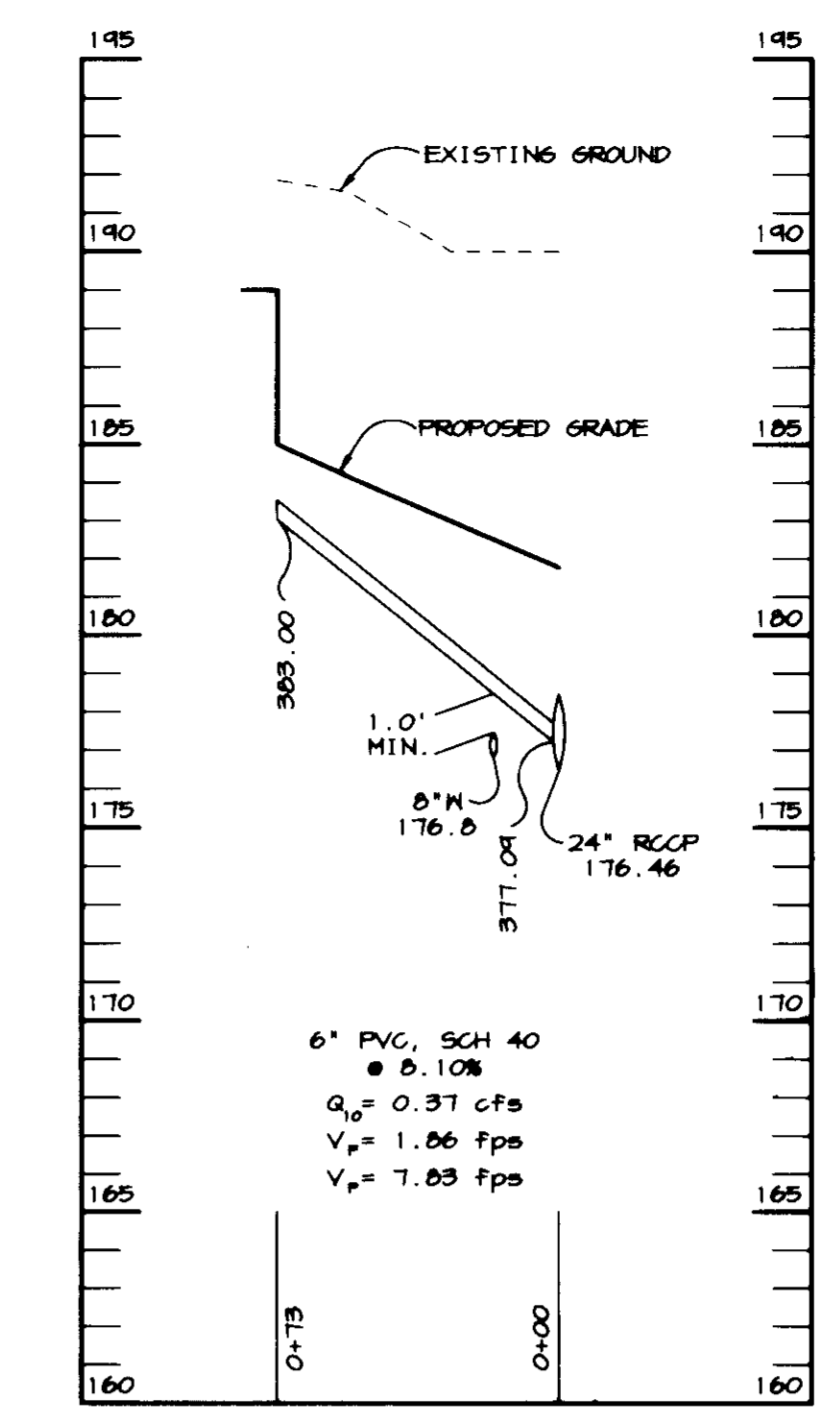
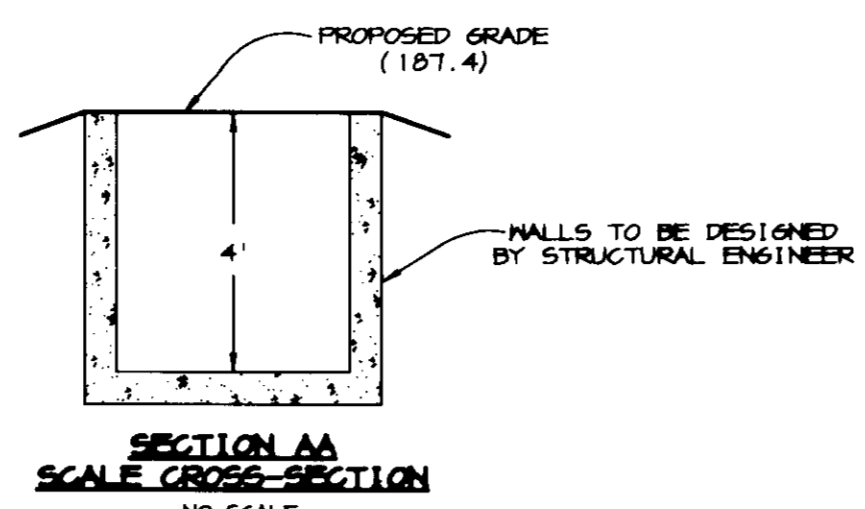
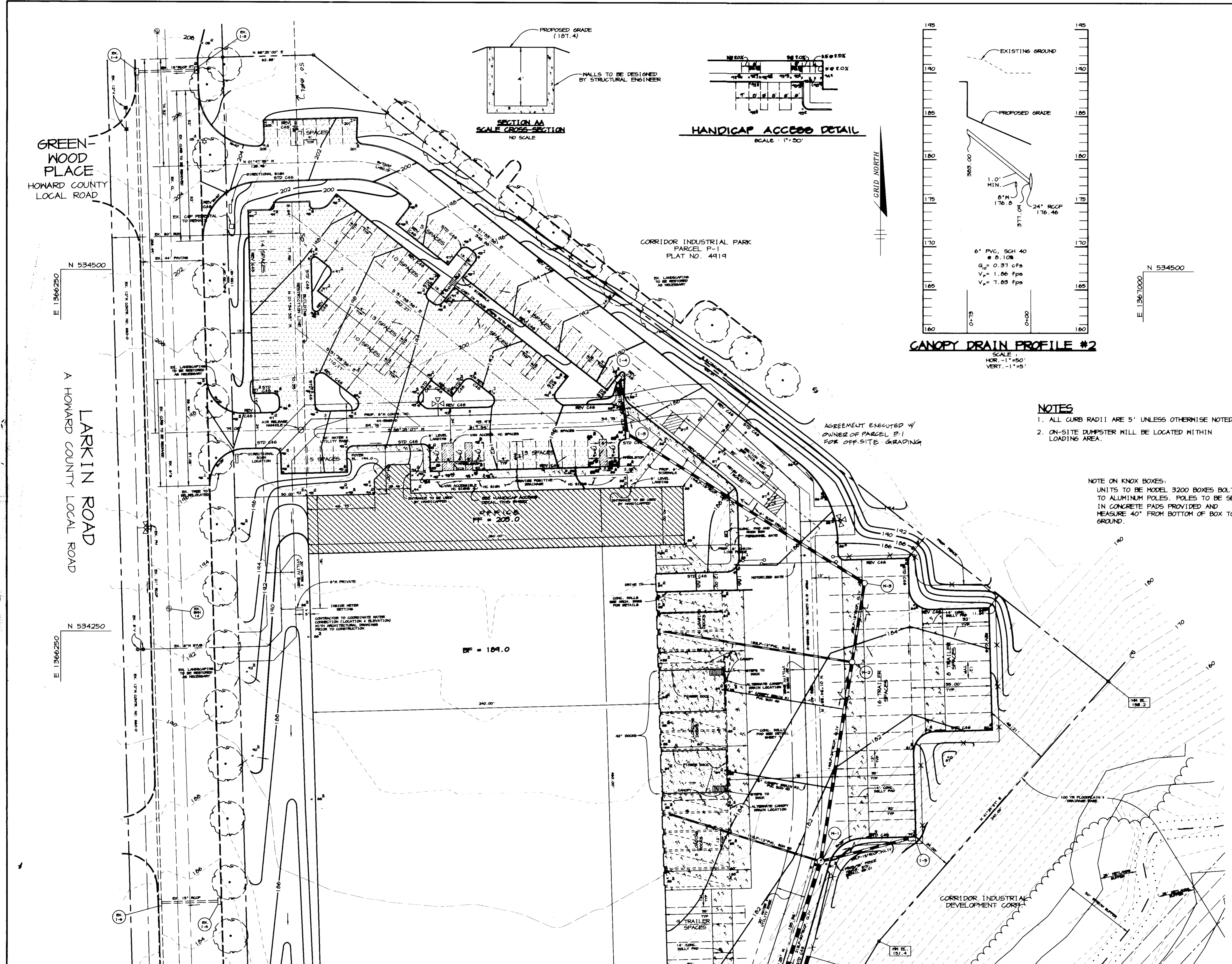
4.4.97  
DATE

DESIGNED BY: CJR  
DRAWN BY: RPP  
PROJECT NO: 96087  
SDP1.DWG  
DATE: APRIL 4, 1997  
SCALE: AS SHOWN  
DRAWING NO. 1 OF 11

JAYKANT D. PAREKH #19148

ADDRESS CHART	
PARCEL	STREET ADDRESS
Q-1	8691 LARKIN ROAD

CORRIDOR INDUSTRIAL PARK	1/2	Q-1
PLAT # - 4414	BLOCK # - 18, 13	SECTION - M-2
TAX MAP NO. - 47, 46	6th	GENERAL TRACT - 6064.01
SEWER CODE - G04		4020000



**LEGEND**

- OFFICE AREA
- HEAVY DUTY PAVING
- LIGHT DUTY PAVING
- CONCRETE PAVEMENT/SIDEWALK
- CURB AND GUTTER TRANSITION
- FLOW ARROWS
- RETAINING WALL
- 100-YEAR FLOODPLAIN ELEV. PER PLAT #4919

- NOTES**
- ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
  - ON-SITE DUMPSTER WILL BE LOCATED WITHIN LOADING AREA.

NOTE ON KNOX BOXES:  
 UNITS TO BE MODEL 3200 BOXES BOLTED TO ALUMINUM POLES. POLES TO BE SET IN CONCRETE PADS PROVIDED AND MEASURE 40" FROM BOTTOM OF BOX TO GROUND.

AGREEMENT EXECUTED BY OWNER OF PARCEL P-1 FOR OFF-SITE GRADING

MATCHLINE - SEE SHEET 3 OF 10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*James R. Smith* 4/22/97  
 DIRECTOR DATE

*Mark D. Danner* 4/21/97  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cindy Hamilton* 4/24/97  
 DIVISION OF LAND DEVELOPMENT DATE

DATE NO.	REVISION

OWNER: B. VON PARIS, Inc. 1920 YORK ROAD, TIMONUMIA, MARYLAND 21043 (410) 252-5800

DEVELOPER: HANEMIN CORPORATION 7165 COLUMBIA GATEWAY DRIVE, COLUMBIA, MARYLAND 21046 (410) 290-1400

PROJECT: B. VON PARIS OFFICE/WAREHOUSE FACILITY

AREA: CORRIDOR INDUSTRIAL PARK, SECTION 1 PARCEL G-1 ZONED M-2 TAX MAP 48, BLOCK 13 TAX MAP 47, BLOCK 18 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

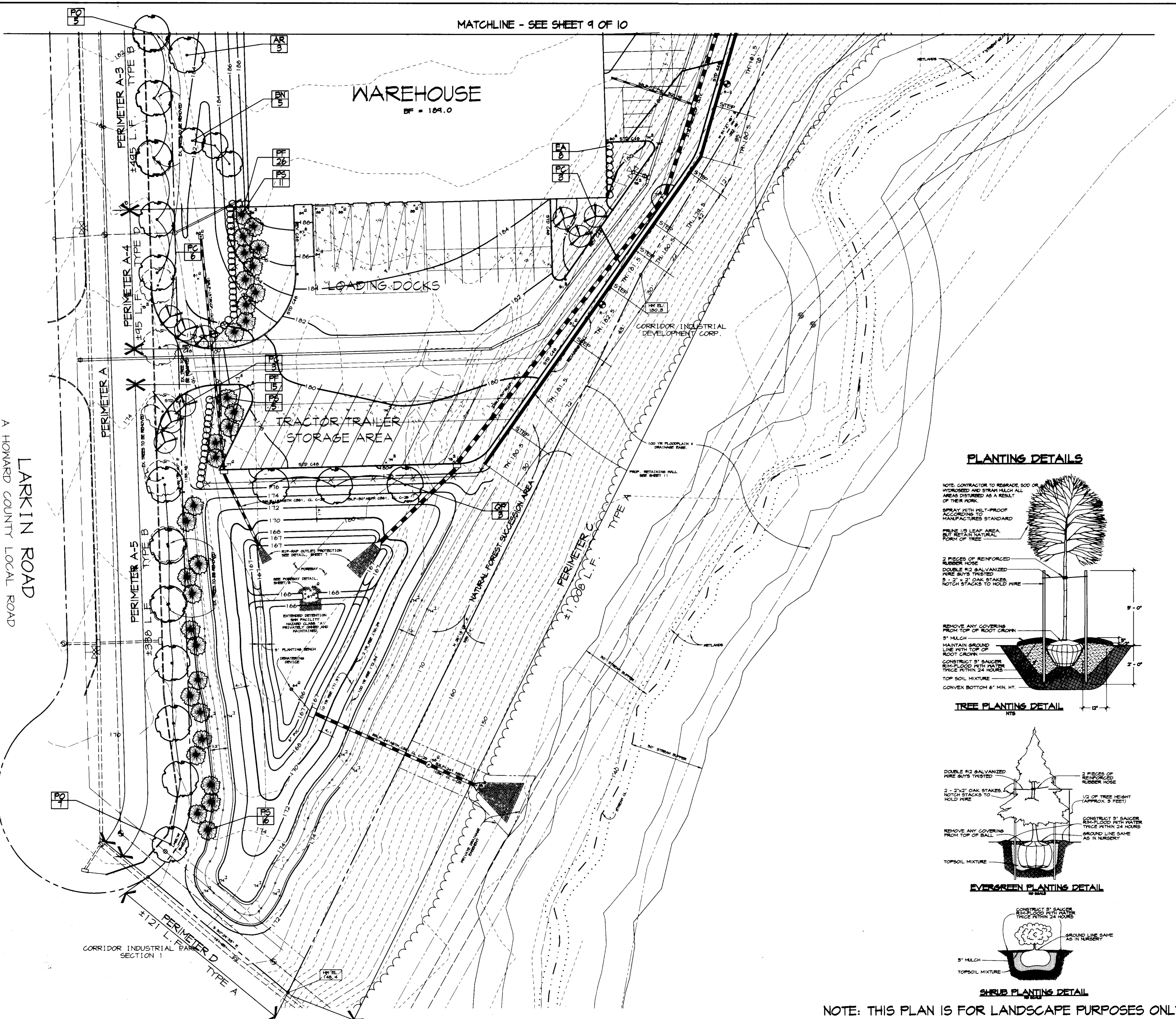
TITLE: SITE DEVELOPMENT PLAN

RIEMER MUEGGE & ASSOCIATES, INC.  
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
 8818 Centre Park Drive, Columbia, Maryland 21045  
 tel 410.997.8900 fax 410.997.9282

DATE: 4-4-97  
 DESIGNED BY: CJR  
 DRAWN BY: RPP/BLW  
 PROJECT NO: 96067 SDP2.DWG  
 DATE: APRIL 4, 1997  
 SCALE: 1"=30'  
 DRAWING NO. 2 OF 11

J. Farrell  
 JAYKANT D. PAREKH #19148





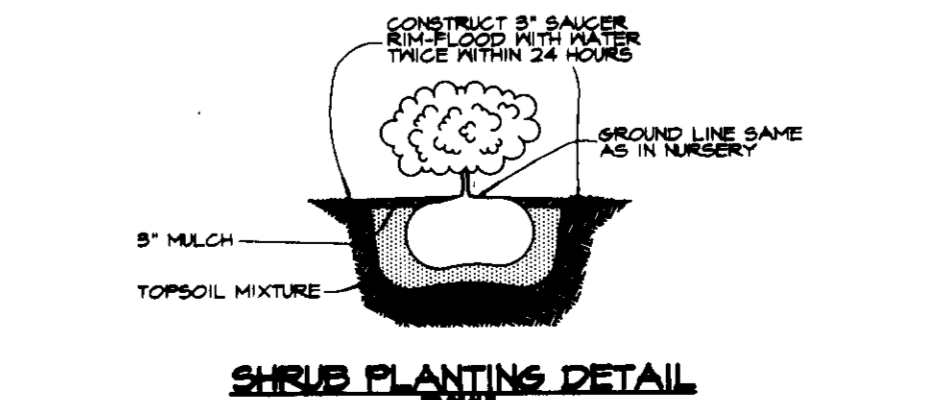
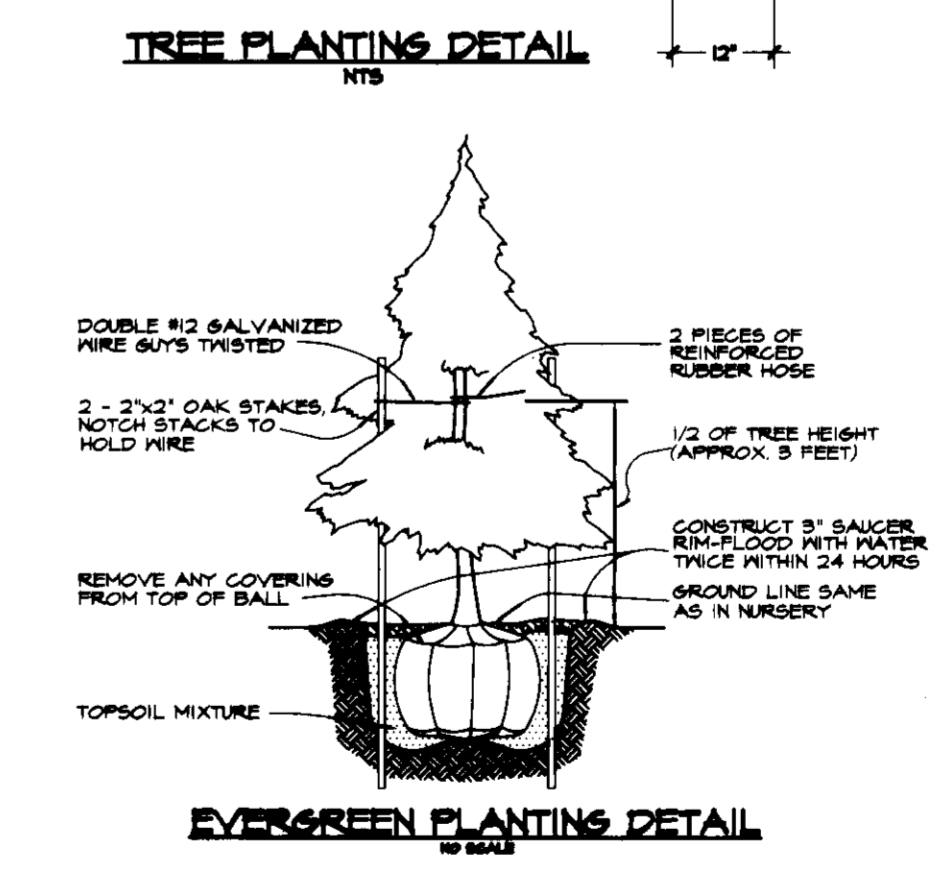
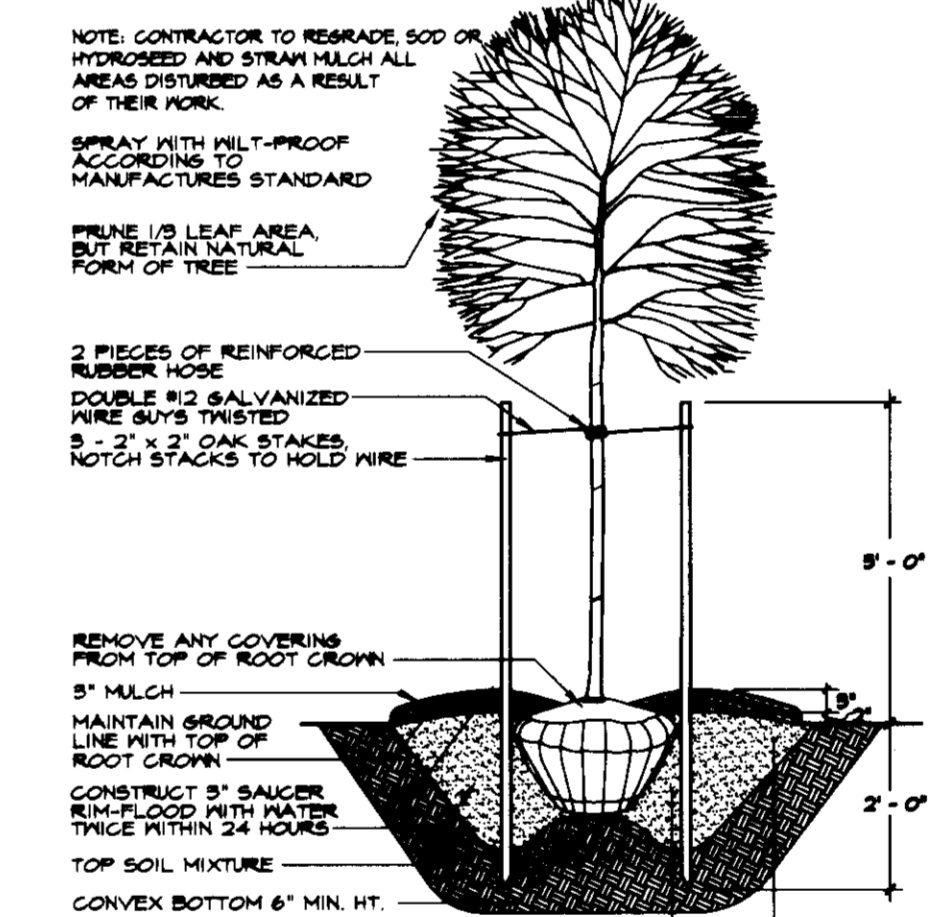
LARKIN ROAD  
A HOWARD COUNTY LOCAL ROAD

- LEGEND**
- EXISTING TREES
  - PROPOSED SHADE TREE
  - PROPOSED EVERGREEN TREE
  - PROPOSED ORNAMENTAL/ FLOWERING TREE
  - PROPOSED SHRUB

**PLANT MATERIAL LIST**

KEY	QTY	BOTANICAL - COMMON NAME	SIZE	REMARKS
<b>SHADE TREES</b>				
AR	3	Acer Rubrum Red Maple	2 1/2" - 3" Cal. B & B	Full Crown Central Leader
BN	12	Betula nigra Heritage Heritage River Birch	2 1/2" - 3" Cal. B & B	Specimen Multi-stemmed
GP	8	Quercus palustris Pin Oak	2 1/2" - 3" Cal. B & B	Full Crown Central Leader
PO	17	Platanus occidentalis Bloodgood Bloodgood Sycamore	2 1/2" - 3" Cal. B & B	Full Crown
ZS	19	Zelkova serrata Green Vase Green Vase Zelkova	2 1/2" - 3" Cal. B & B	Full Crown
<b>EVERGREEN TREES</b>				
PS	69	Pinus strobus White Pine	2" - 2 1/2" Cal. 6'-8" Ht.	Sheared Central Leader
<b>FLOWERING/ORNAMENTAL TREES</b>				
PC	28	Prunus coccinea Aristocrat Aristocrat Flowering Pear	1 1/2" - 2" Cal. B & B	Full crown
<b>SHRUBS</b>				
AG	33	Abelia grandifolia Flowering Abelia	2 1/2" - 3" Ht. B & B	36" O.C.
EA	80	Elaeagnus alata Burning Bush	2 1/2" - 3" Ht. B & B	36" O.C.
PF	41	Photinia x fraseri Franks Photinia	2 1/2" - 3" Ht. B & B	50" O.C.
TD	64	Toxas daniflorus Spreading Yew	2 1/2" - 3" Ht. B & B	42" O.C.

**PLANTING DETAILS**



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Jean S. Smith* 4/24/97  
DIRECTOR DATE

*Mark Damman* 4/24/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cindy Hamilton* 4/24/97  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION
<b>OWNER</b>		
B. VON PARIS, Inc.		MANEKIN CORPORATION
1420 YORK ROAD		7165 COLUMBIA GATEWAY DRIVE
TIMONUM, MARYLAND 21093		COLUMBIA, MARYLAND 21046
(410) 252-5800		(410) 290-1400
<b>PROJECT</b>		
B. VON PARIS OFFICE/WAREHOUSE FACILITY		
<b>AREA</b>		
CORRIDOR INDUSTRIAL PARK, SECTION 1		
PARCEL 0-1 ZONED M-2		
TAX MAP 48, BLOCK 13		
TAX MAP 47, BLOCK 10		
6TH ELECTION DISTRICT		
HOWARD COUNTY, MARYLAND		
<b>TITLE</b>		
LANDSCAPE PLAN		

**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

DESIGNED BY: CJR  
DRAWN BY: CAK  
PROJECT NO: 96067 SDP3.DWG  
DATE: APRIL 4, 1997  
SCALE: 1"=30'  
DRAWING NO. 10 OF 11  
SDP-97-50

NOTE: THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.



NOTE: THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.

**ALTERNATIVE COMPLIANCE REQUIRED**

**HRD TREE REQUIREMENTS**

INDUSTRIAL 5-10 ACRES  
 14 SHADE TREES PER GROSS ACRE - UNWOODED  
 9.2 ACRES X 14 SHADE S.T.E./ACRE = 128.8 S.T.E.  
 (HRD REQUIRED SHADE TREE EQUIVALENTS, S.T.E.) = 129

PROVIDED: 130.3 S.T.E.      PLANTED S.T.E.  
 Each Shade Tree = 1 S.T.E.      (59)      59  
 Each Evergreen Tree = 0.5 S.T.E.      (69)      34.5  
 Each Flowering Tree = 0.5 S.T.E.      (20)      10  
 Each Shrub = 0.1 S.T.E.      (210)      21.0

SUBTOTAL      129.3  
 CREDIT FOR EXISTING STREET TREES  
 (EACH CREDITED SHADE TREE = 1 S.T.E.)      9  
**TOTAL S.T.E.      130.3 S.T.E.**

**LANDSCAPE SCHEDULES**

PERIMETER	SCHEDULE A * PERIMETER LANDSCAPE EDGE					ADJACENT TO ROADWAYS				ADJACENT TO PERIMETER PROPERTIES			
	A-1	A-2	A-3	A-4	A-5	B	C	A	D	A	A	A	D
LANDSCAPE TYPE	B	E	D	D	B	B	A	A	A	A	A	A	A
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 161'	± 150'	± 445'	± 45'	± 350'	± 765'	± 1,008'	± 1,008'	± 1,008'	± 1,008'	± 1,008'	± 1,008'	± 1,008'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	YES	YES	YES	YES	YES	YES	YES
CREDIT FOR WALL FENCE OR BORN (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED	180' = 12 140' = 10	140' = 10 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10	180' = 12 140' = 10
NUMBER OF PLANTS PROVIDED	4	4	4	4	4	4	4	4	4	4	4	4	4

**SUBSTITUTION NOTES:**  
**PERIMETER LANDSCAPE EDGE, SCHEDULE A**  
 PERIMETER A-1: DUE TO THE STREET TREE REQUIREMENT AND BORN THERE IS NOT ENOUGH ROOM TO FULFILL THE PERIMETER SHADE TREE REQUIREMENTS. EVERGREEN TREES AND SHRUBS AND FLOWERING TREES WERE USED TO FULFILL THE SHADE TREE REQUIREMENT.  
 PERIMETER A-2: DUE TO THE STREET TREE REQUIREMENT AND TRANSPLANTING OF EXISTING STREET TREES ALONG THIS PERIMETER NOT ENOUGH ROOM REMAINS TO FULFILL THE PERIMETER SHADE TREE REQUIREMENTS. SMALL FLOWERING TREES WERE USED TO FULFILL THE SHADE TREE REQUIREMENT.  
 PERIMETER C: ALL PERIMETER REQUIREMENTS ARE INCORPORATED INTO PERIMETERS A-1 AND B.  
 PERIMETER D: THE THREE (3) REQUIRED SHADE TREES ARE LOCATED BETWEEN TRACTOR TRAILER STORAGE AREA AND SWM POND.

**LEGEND**

- EXISTING TREES
- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- PROPOSED ORNAMENTAL/ FLOWERING TREE
- PROPOSED SHRUB

**NOTE:**  
 SEE SHEET 10 FOR PLANTING SCHEDULE AND DETAILS

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	108
NUMBER OF SHADE TREES REQUIRED @ 1 S.T./20 SPACES	5.4
NUMBER OF TREES PROVIDED	17
SHADE TREES OTHER TREES (2) SUBSTITUTION	0
SHRUBS	62
NUMBER OF ISLANDS REQUIRED (1 ISLAND/20 SPACES)	5.4
NUMBER OF ISLANDS PROVIDED	6

SCHEDULE STREET TREE REQUIREMENTS	
NUMBER OF STREET TREES (S.T.) REQUIRED	
100 LF. STREET FRONTAGE @ 1 S.T./100 LF. OF STREET	20.4
CREDIT FOR EXISTING STREET TREES	4
NUMBER OF STREET TREES PROVIDED	17
TOTAL NUMBER OF STREET TREES	26

FIVE REPLACEMENT STREET TREES PROVIDED, OTHERS ARE PROVIDED TO REPLACE DEAD MATERIAL.  
 NOTES: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.  
 FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPM DEVELOPERS AGREEMENT IN THE AMOUNT OF 10,000.00.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
 Director: *[Signature]* 4/22/97 DATE  
 Chief, Development Engineering Division: *[Signature]* 4/21/97 DATE  
 Division of Land Development: *[Signature]* 4/22/97 DATE

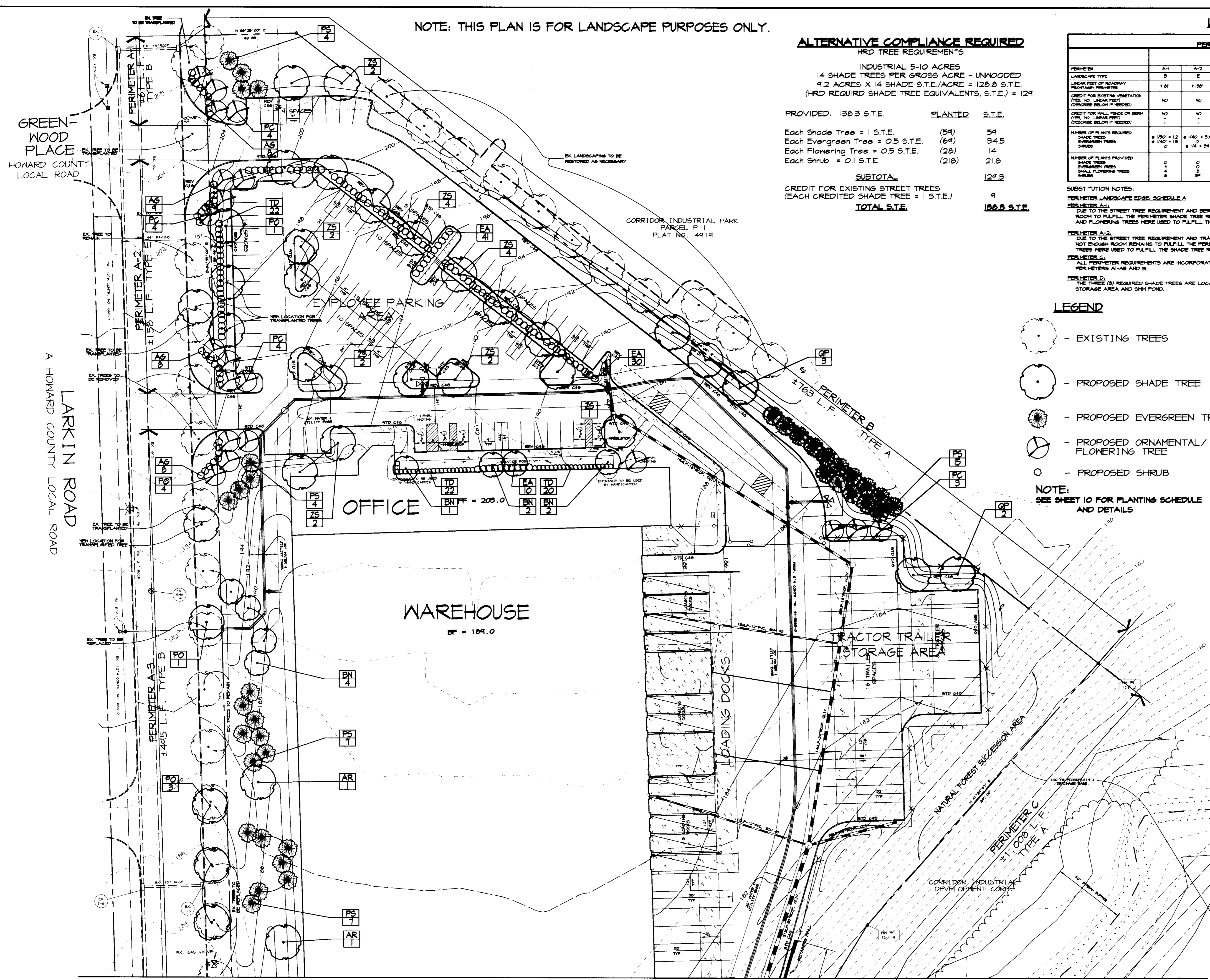
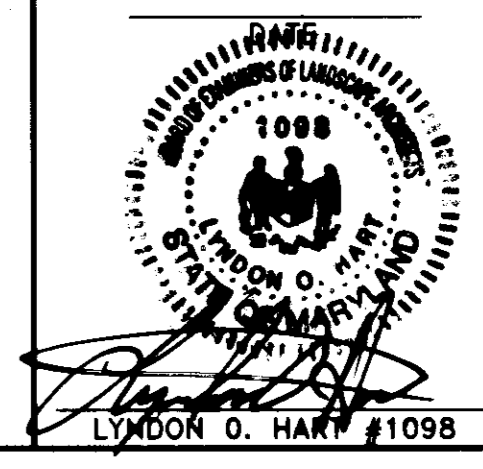
DATE NO. REVISION  
 OWNER DEVELOPER  
 B. VON PARIS, Inc. MANEKIN CORPORATION  
 1920 YORK ROAD 7165 COLUMBIA GATEWAY DRIVE  
 TIMONUM, MARYLAND 21048 COLUMBIA, MARYLAND 21046  
 (410) 252-5800 (410) 290-1400

PROJECT B. VON PARIS OFFICE/WAREHOUSE FACILITY  
 AREA CORRIDOR INDUSTRIAL PARK, SECTION 1 PARCEL G-1 ZONED M-2 TAX MAP 48, BLOCK 13 TAX MAP 47, BLOCK 10 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES, INC.  
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
 8818 Centre Park Drive, Columbia, Maryland 21045  
 tel 410.997.8900 fax 410.997.3282

DESIGNED BY: CJR  
 DRAWN BY: CAK  
 PROJECT NO: 96067  
 DATE: APRIL 4, 1997  
 SCALE: 1"=30'  
 DRAWING NO. 9 OF 11  
 SDP-97-50



MATCHLINE - SEE SHEET 10 OF 10







**SEDIMENT CONTROL NOTES**

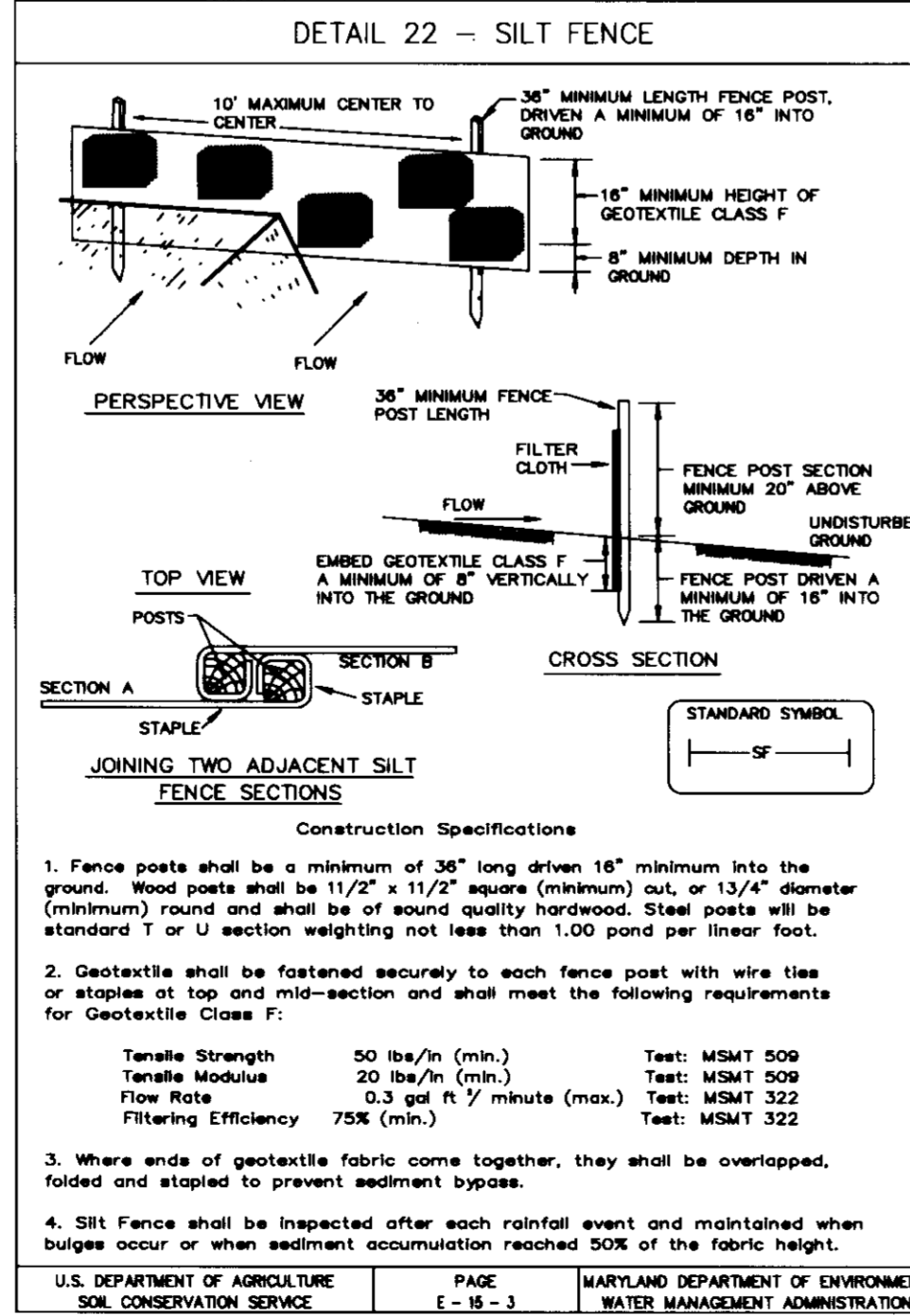
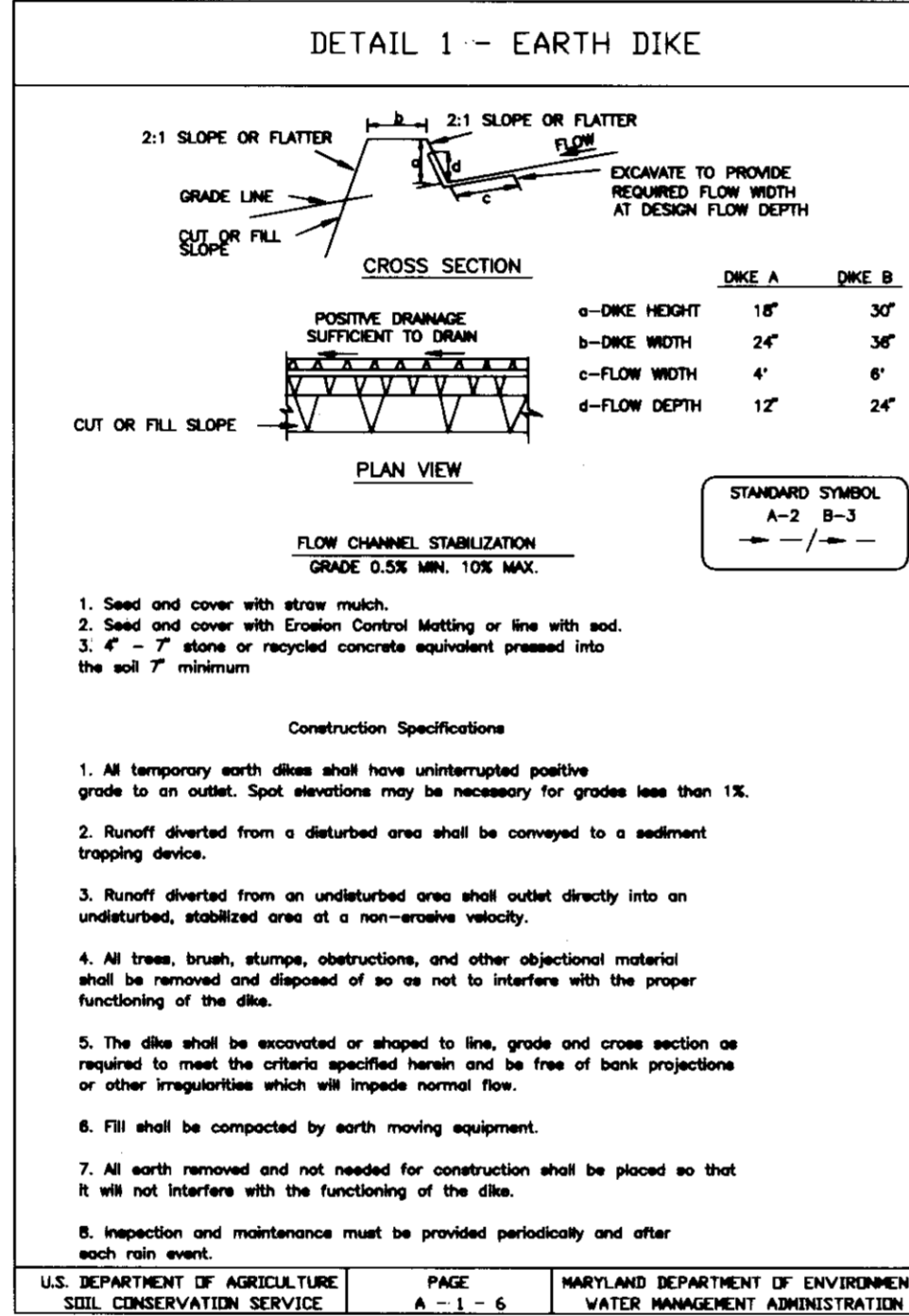
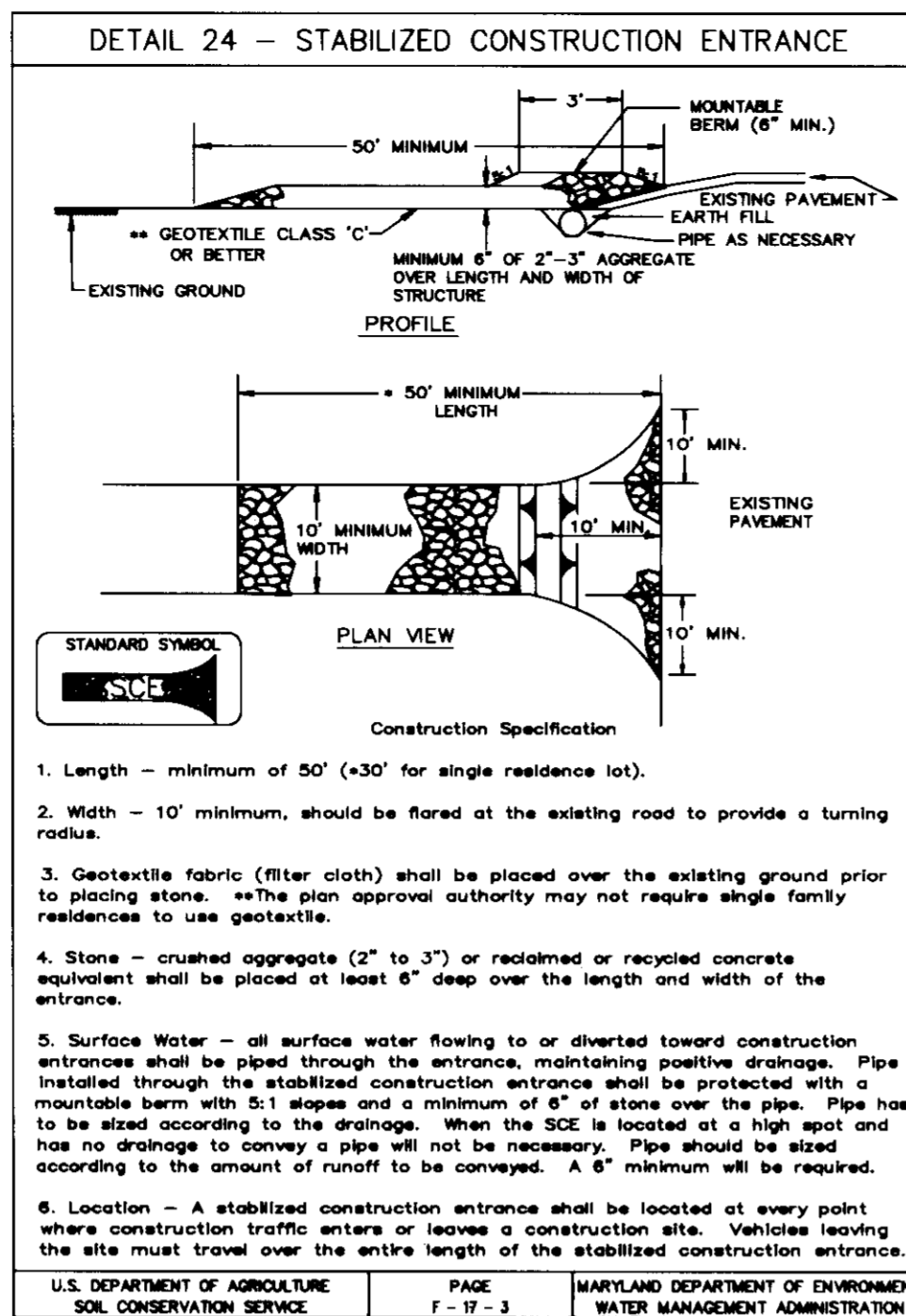
- A MINIMUM OF 40 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (913-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOIL TEMPORARY SEEDINGS (SEC. 50) AND MULCHINGS (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
  - TOTAL AREA OF SITE: 10.93 ACRES
  - AREA DISTURBED: 10.79 ACRES
  - AREA TO BE ROOFED OR PAVED: 6.0 ACRES
  - AREA TO BE VEGETATIVELY STABILIZED: 4.73 ACRES
  - TOTAL CUT: 40,000 CU. YARDS
  - TOTAL FILL: 26,000 CU. YARDS
  - BORROW/MASTE SITE: TO BE DETERMINED PRIOR TO CONSTRUCTION SITE MUST HAVE AN ACTIVE GRADING PERMIT
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER EROSION OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

**TEMPORARY SEEDING NOTES**

- Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
- Seedbed Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- Soil Amendments:** Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.).
- Seeding:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual ryegrass (3.2 lbs. per 1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of creeping lovegrass (0.07 lbs. per 1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unwrapped small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool on 218 gal. per acre (5 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.
- Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR rate and methods not covered.

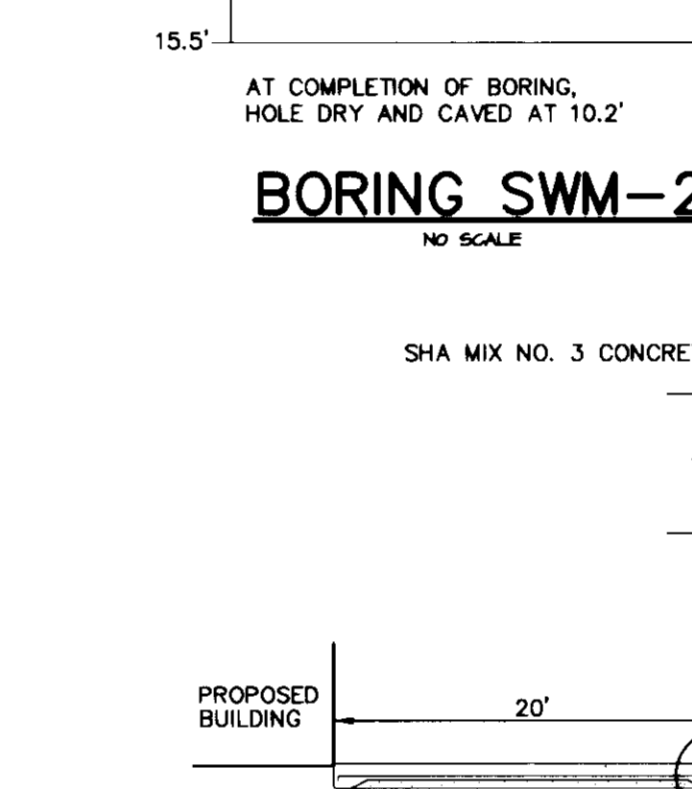
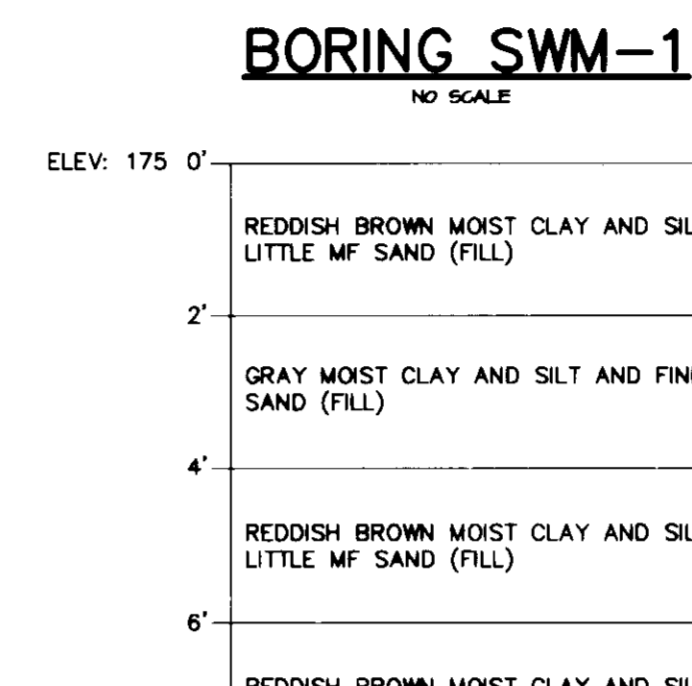
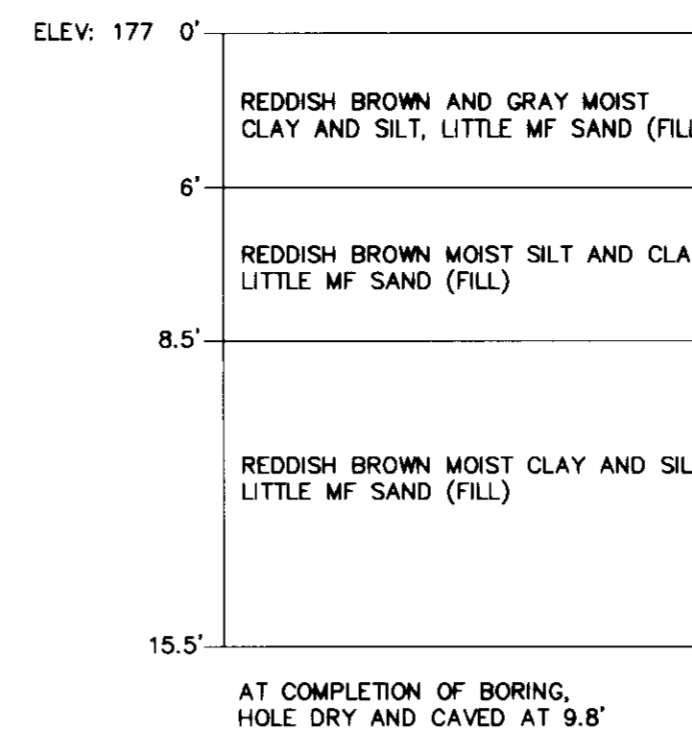
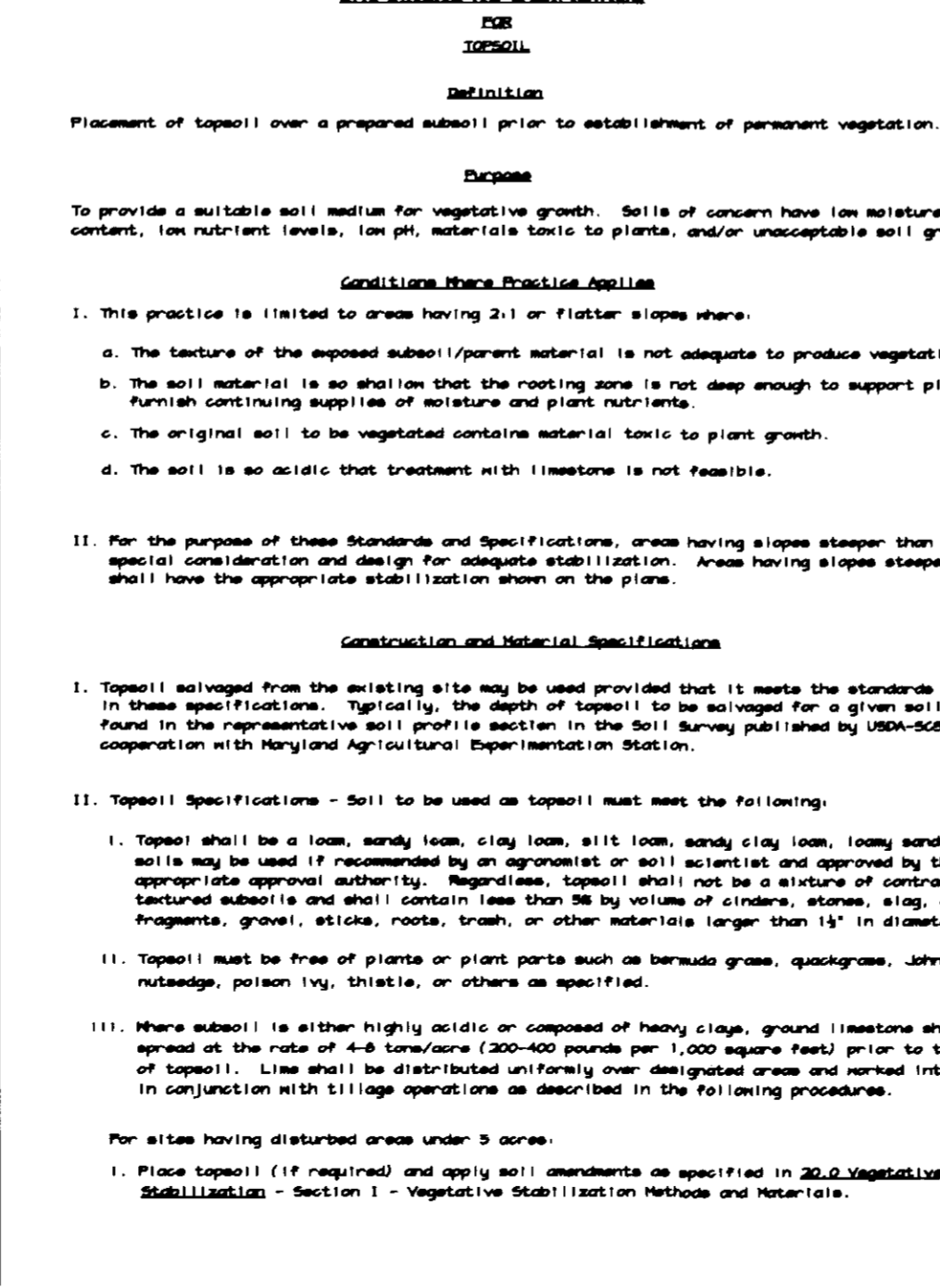
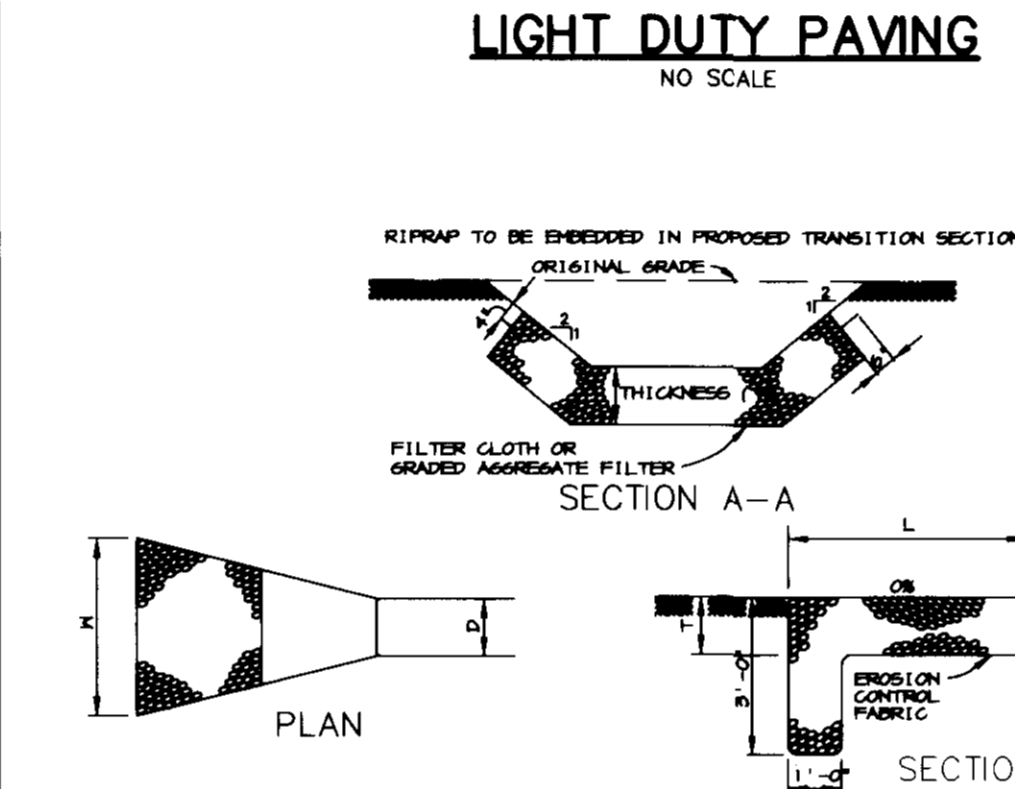
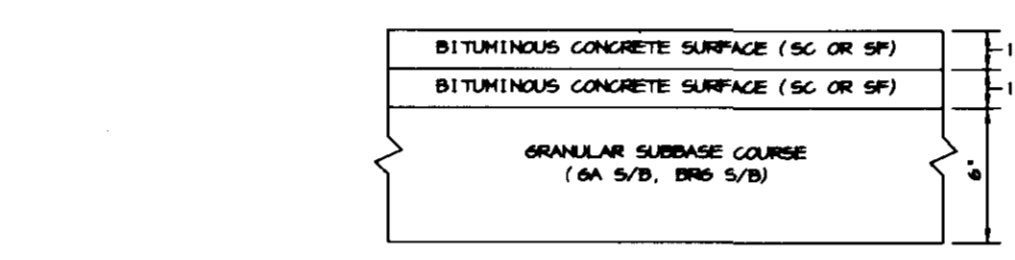
**PERMANENT SEEDING NOTES**

- Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seedbed Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
- Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:
- Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs. per 1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (4 lbs. per 1000 sq. ft.).
  - Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs. per 1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.
- Seeding:** For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq. ft.) of creeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options:
- 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
  - Use sod.
  - Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.
- Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unwrapped small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool on 218 gal. per acre (5 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.
- Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseeding.



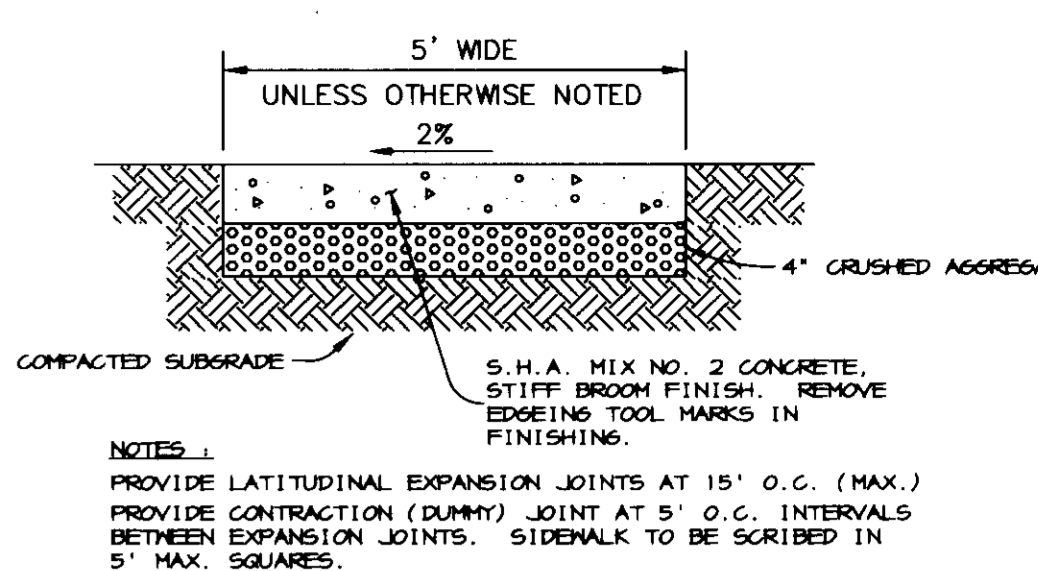
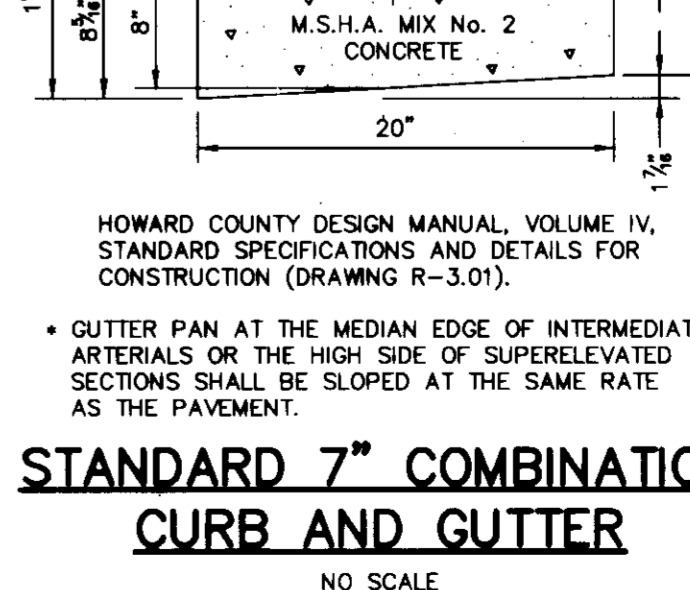
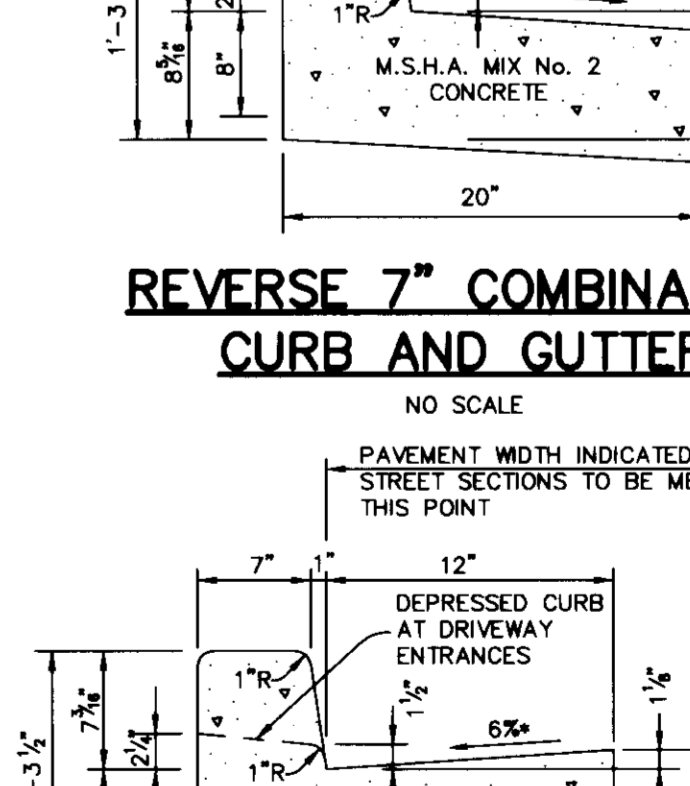
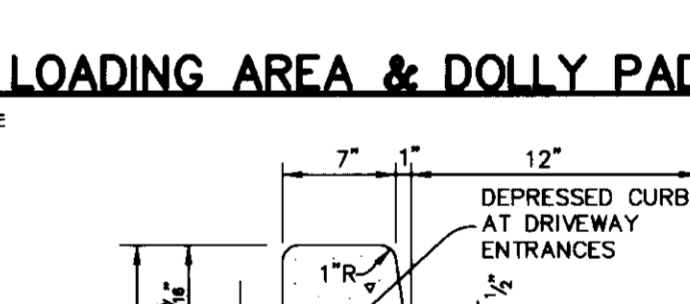
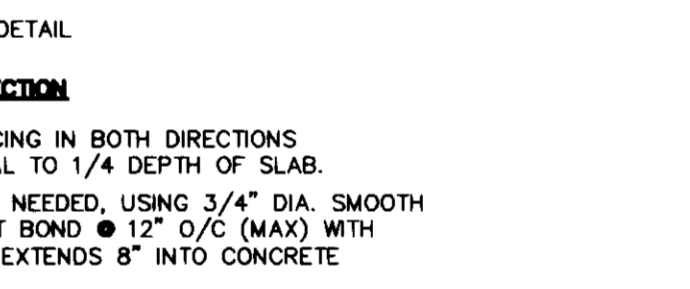
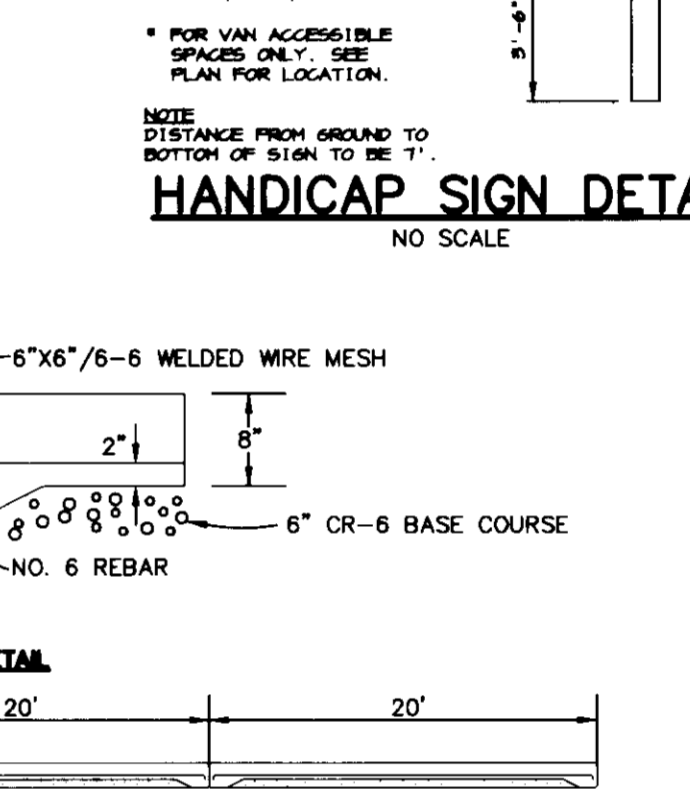
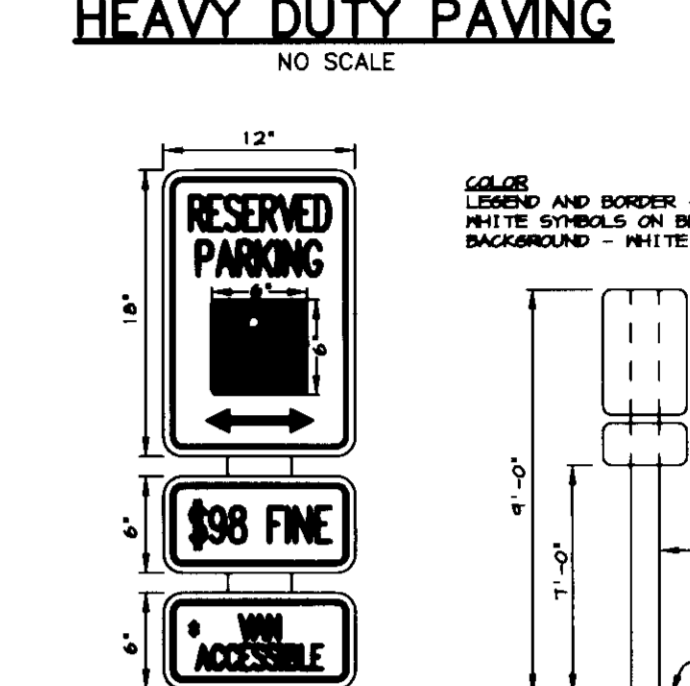
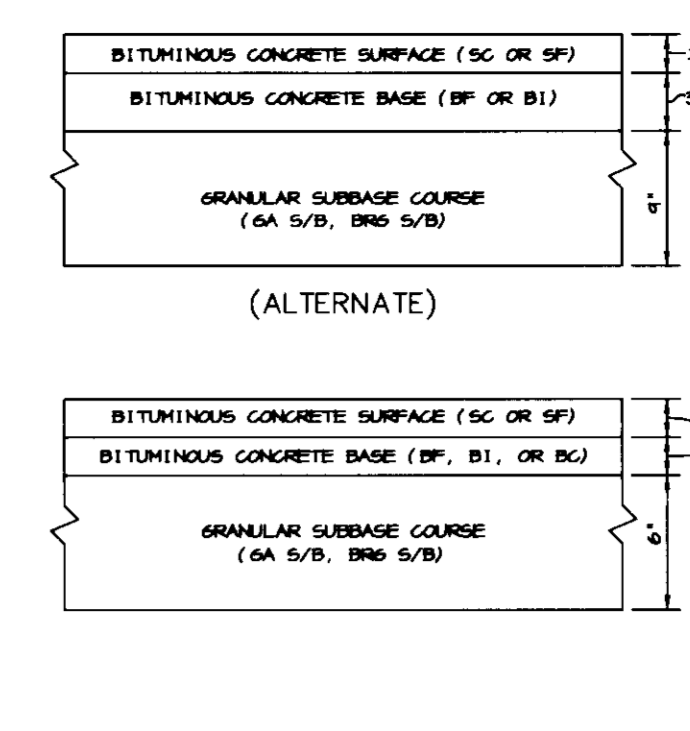
**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT.
- INSTALL STABILIZED CONSTRUCTION ENTRANCES, SEDIMENT BASIN NO. 1, AND SILT FENCE. (2 WEEKS)
- INSTALL STORM DRAINS EM-2 TO I-6 AND EM-1 TO M-1 AND EARTH DIKES. NO ROUGH GRADING IS TO TAKE PLACE UNTIL SPECIFIED PIPES AND DIKES ARE IN PLACE. (10 DAYS)
- WITH PERMISSION OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, PERFORM ROUGH GRADING. OBTAIN BUILDING PERMIT AND BEGIN BUILDING AND WALL CONSTRUCTION. (3 WEEKS)
- AS SUBGRADE ELEVATION IS REACHED, INSTALL UTILITIES INCLUDING STORM DRAIN, WATER AND SEWER. (4 WEEKS)
- INSTALL CURB AND GUTTER AND THEN PAVE. (3 WEEKS)
- APPLY TOPSOIL AND STABILIZE DISTURBED AREAS AS NECESSARY IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (3 DAYS)
- INSTALL LANDSCAPING AND COMPLETE REMAINING CONSTRUCTION. (3 WEEKS)
- UPON APPROVAL OF DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS FOR CONSTRUCTION, REMOVE REMAINING SEDIMENT CONTROL DEVICES AND CONVERT BASIN TO PERMANENT SWH IN THE FOLLOWING STEPS:
  - CLEAN STORM DRAIN INLETS AND FLUSH OUT PIPES.
  - PUMP OUT STANDING WATER IN BASIN USING PUMP STATION.
  - REMOVE ACCUMULATED DEBRIS.
  - COMPLETE GRADING AND INSTALL FORELAY AS PER SHEET 3.
  - REPAIR DENATURING DEVICE AS NECESSARY.
  - REMOVE BRICK BLOCKING OF WEIR AT 170.0.
  - REMOVE DRAINPIPE AND PERMANENTLY BLOCK 6\"/>



1. SAW JOINTS AT 15' SPACING IN BOTH DIRECTIONS WITH DEPTH AT JOINT EQUAL TO 1/4 DEPTH OF SLAB.

2. CONSTRUCTION JOINTS AS NEEDED, USING 3/4\"/>



NOTES: PROVIDE LONGITUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.) PROVIDE CONTRACTION (DUMM) JOINT AT 5' O.C. INTERVALS BETWEEN EXPANSION JOINTS. SIDEWALK TO BE SCRIBED IN 5\"/>

BY THE DEVELOPER: I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *Rm McMy* 4-4-97 DATE

BY THE ENGINEER: I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *J. Farrell* 4-4-97 DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Cheryl K. Seimand* 04/08/97 DATE  
NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Robert W. Johnson* 4/8/97 DATE  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*James Butler* 4/22/97 DATE  
DIRECTOR

*Cheryl K. Seimand* 4/21/97 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Gina Hamilton* 4/22/97 DATE  
DIVISION OF LAND DEVELOPMENT

DATE NO.	MODIFIED SITE ANALYSIS TABLE & SOME SIZES IN RIPRAP OUTLET PROTECT. DET. BOX.	REVISION
6/19/97		

OWNER: B. VON PARIS, Inc. 1420 YORK ROAD, TIMONUM, MARYLAND 21043 (410) 252-5800

DEVELOPER: MANEKIN CORPORATION 7165 COLUMBIA GATEWAY DRIVE, COLUMBIA, MARYLAND 21046 (410) 290-1400

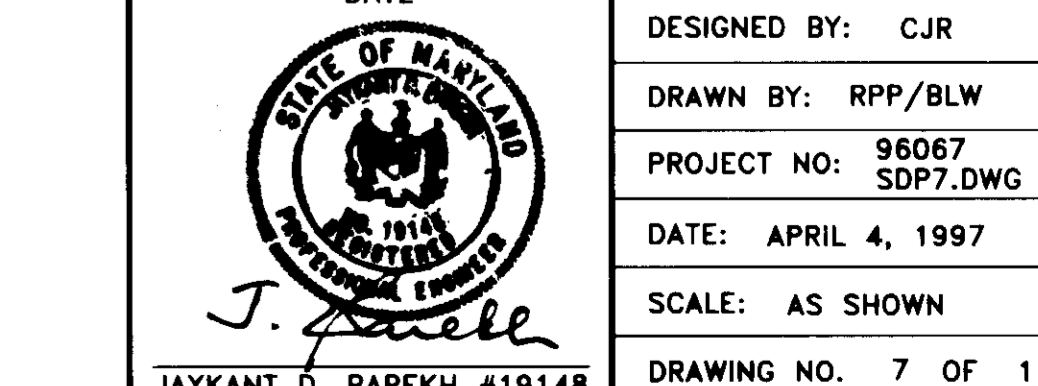
PROJECT: B. VON PARIS OFFICE/WAREHOUSE FACILITY

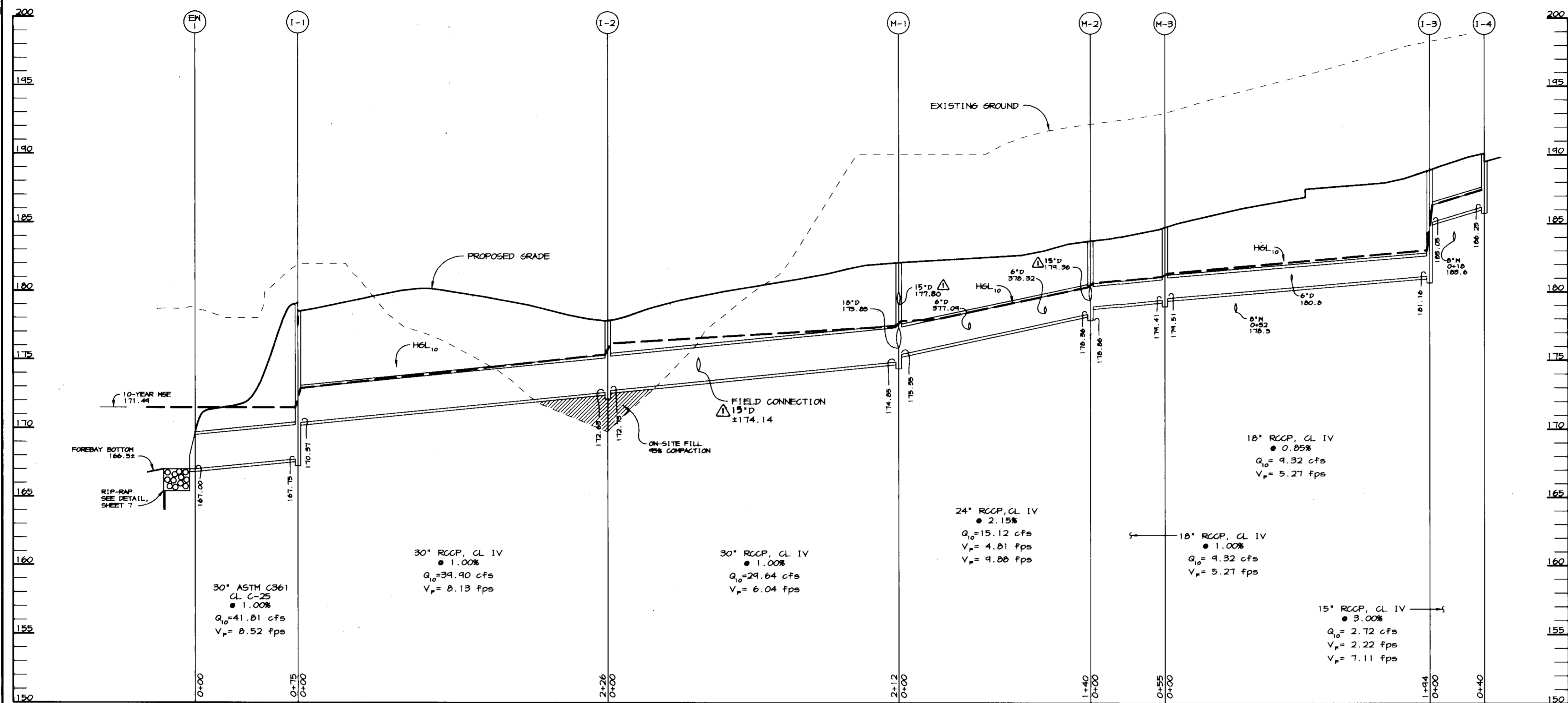
AREA: CORRIDOR INDUSTRIAL PARK, SECTION I PARCEL G-1 ZONED M-2 TAX MAP 48, BLOCK 13 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**NOTES AND DETAILS**

**RIEMER MUEGG & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
Tel 410.997.8900 fax 410.997.9282

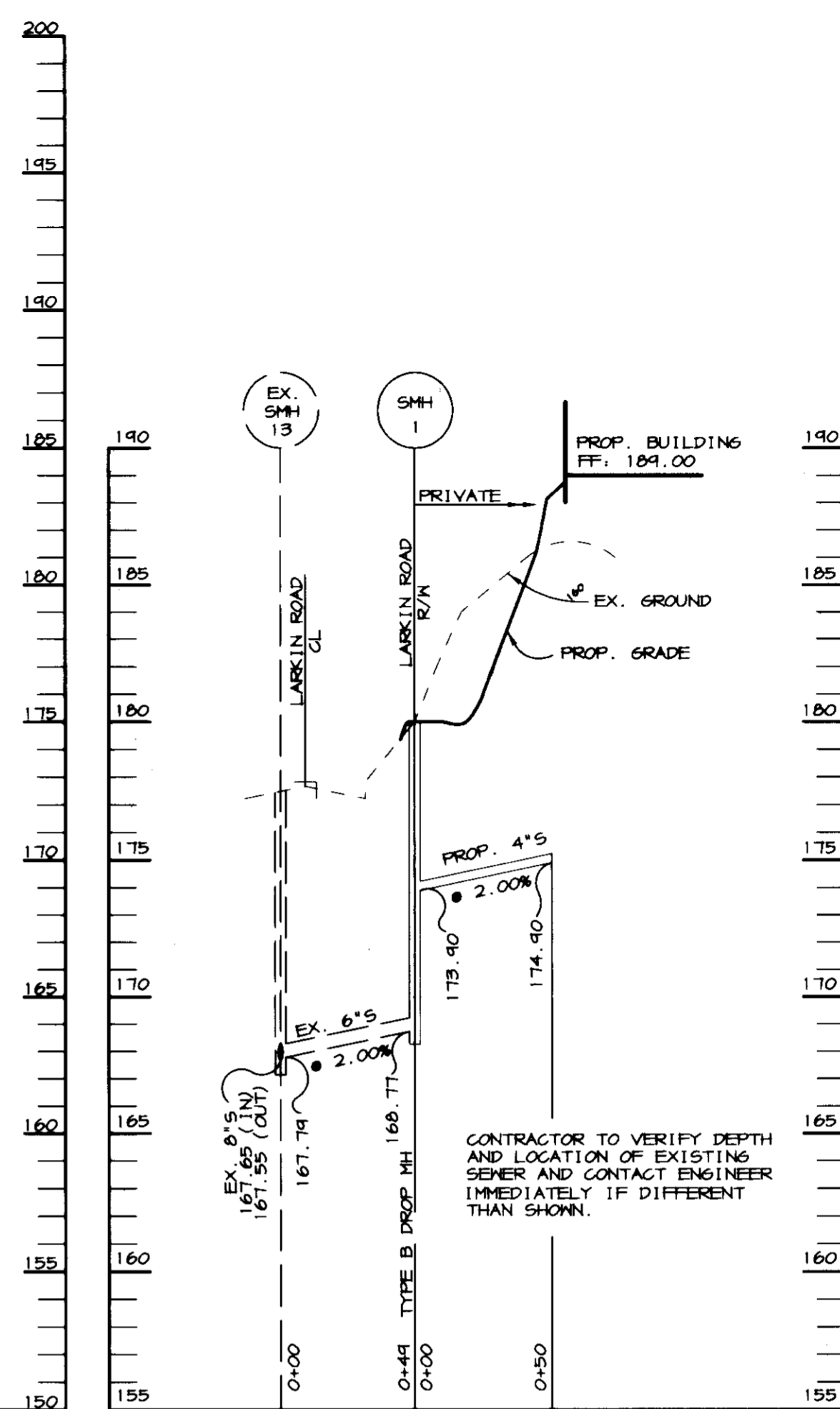
DATE: 4-4-97  
DESIGNED BY: CJR  
DRAWN BY: RPP/BLW  
PROJECT NO: 96067 SDP7.DWG  
DATE: APRIL 4, 1997  
SCALE: AS SHOWN  
DRAWING NO. 7 OF 11





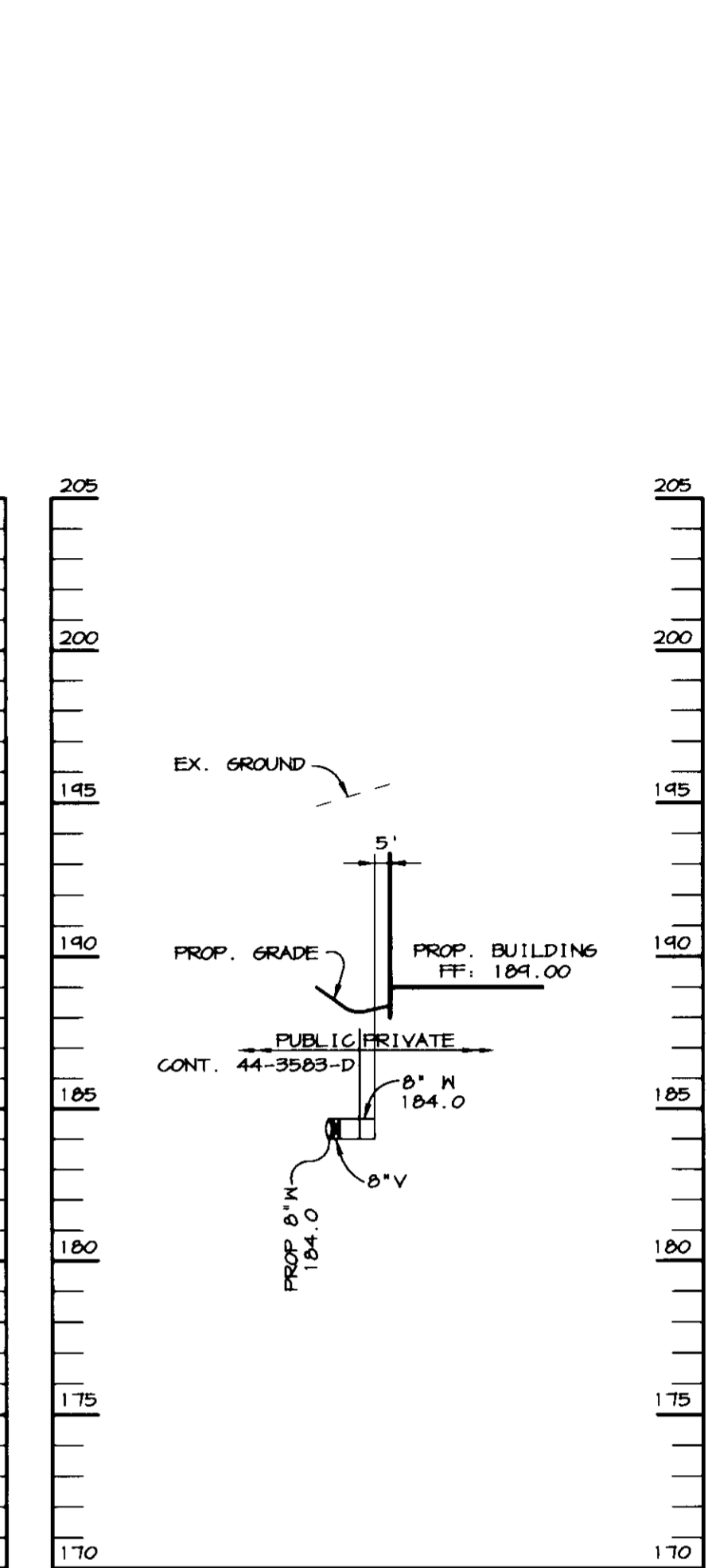
**STORM DRAIN PROFILE**

SCALE: HOR. - 1"=50' VERT. - 1"=5'



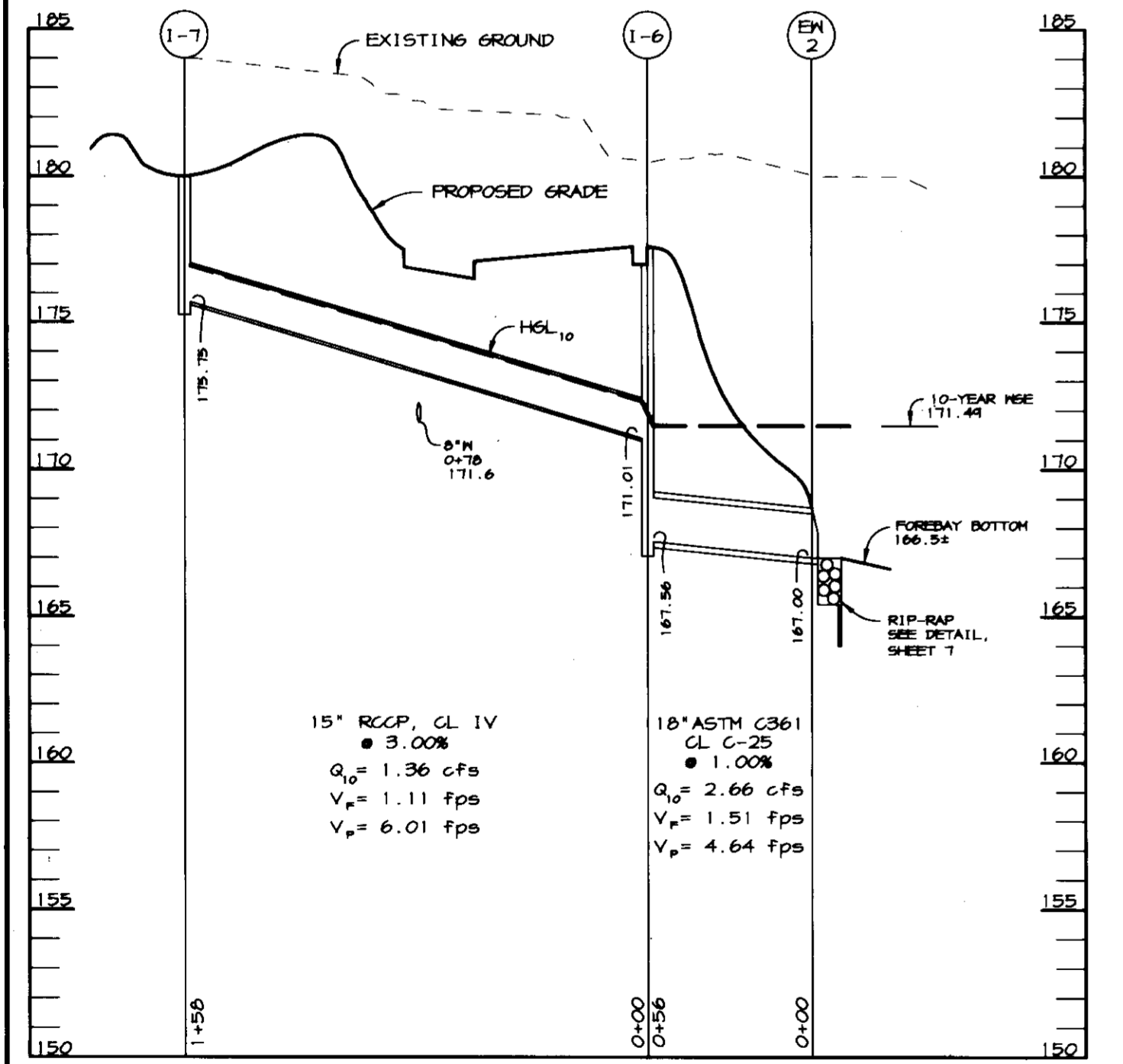
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SCALE: HOR. - 1"=50' VERT. - 1"=5'



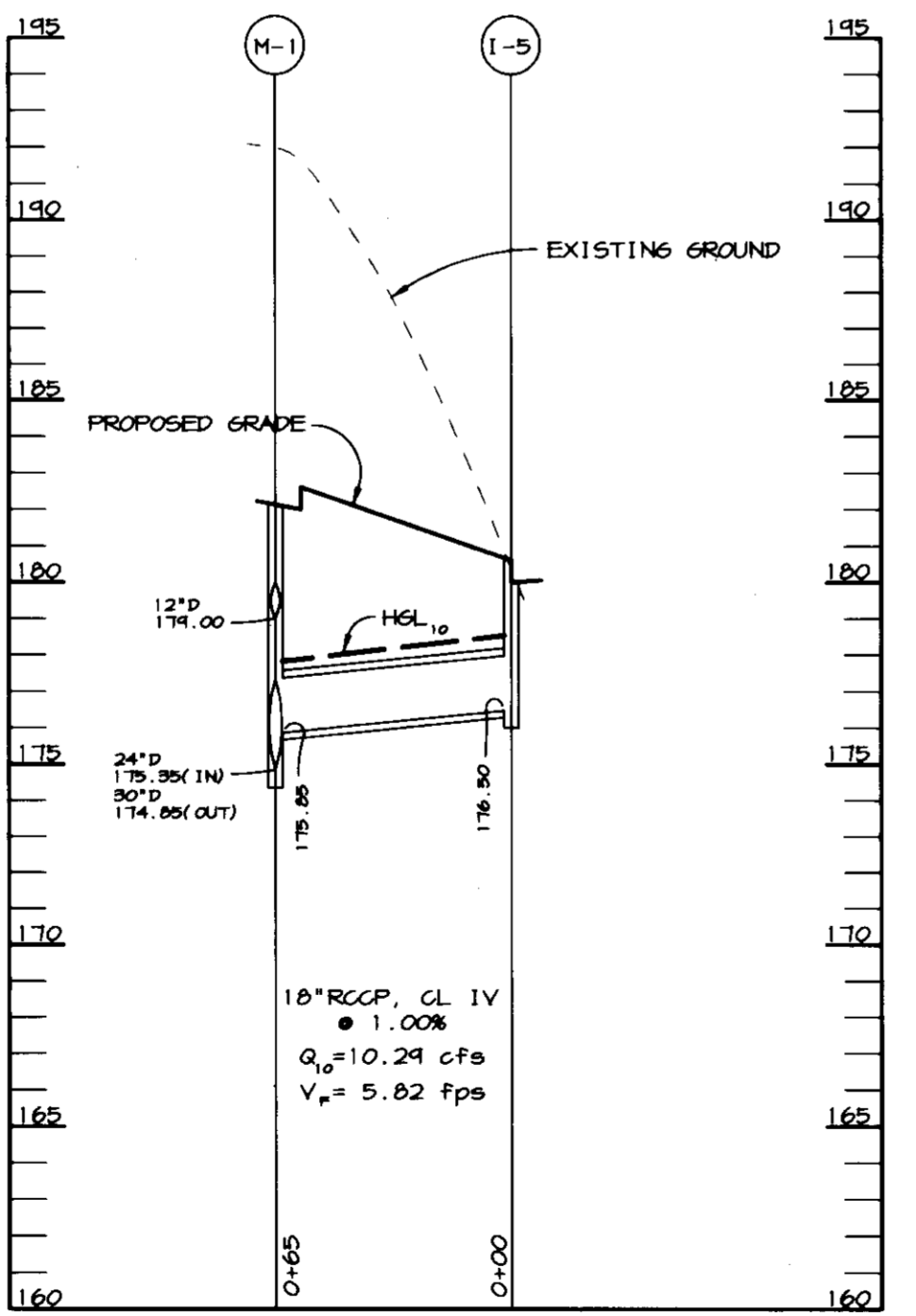
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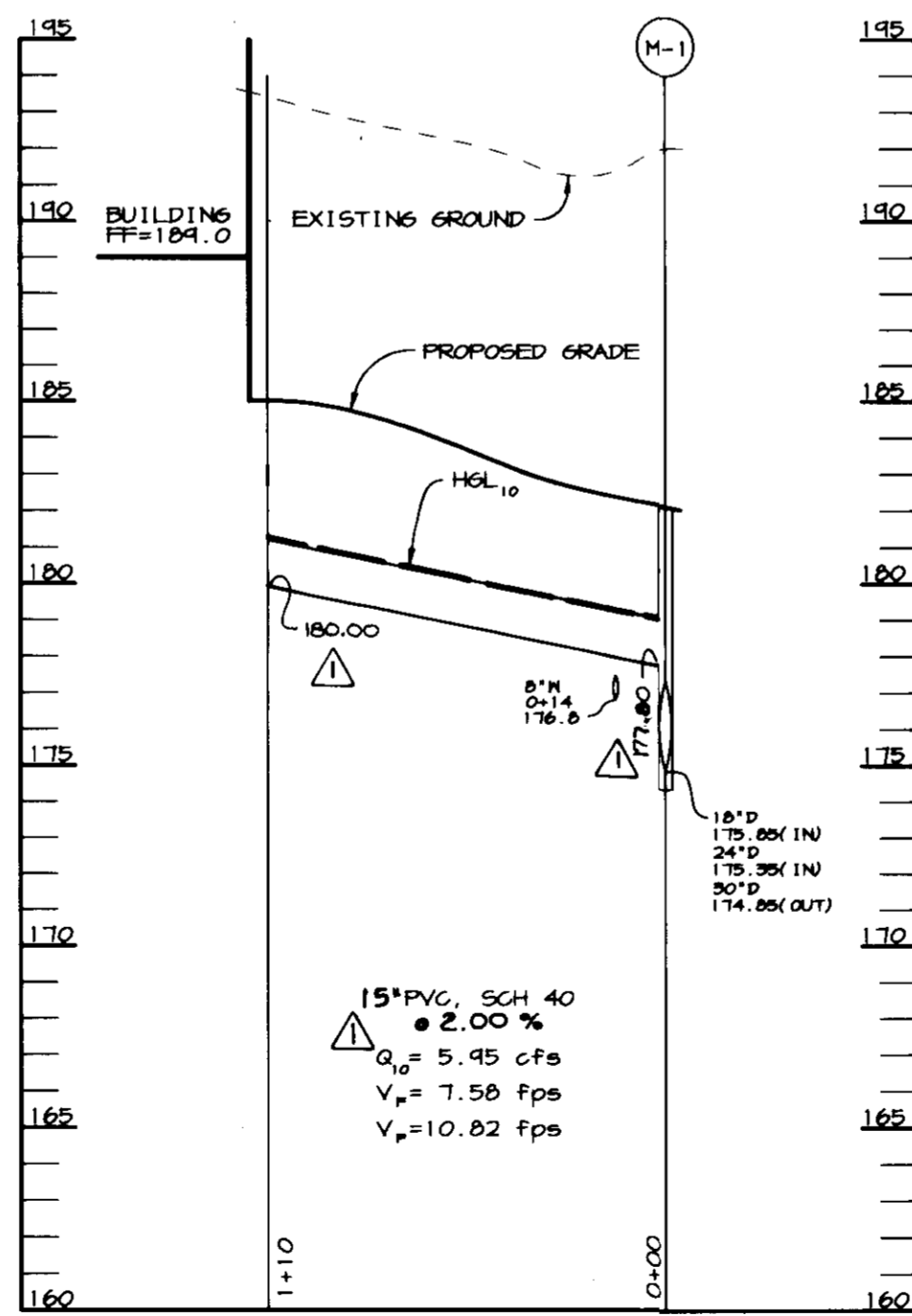
**STORM DRAIN PROFILE**

SCALE: HOR. - 1"=50' VERT. - 1"=5'



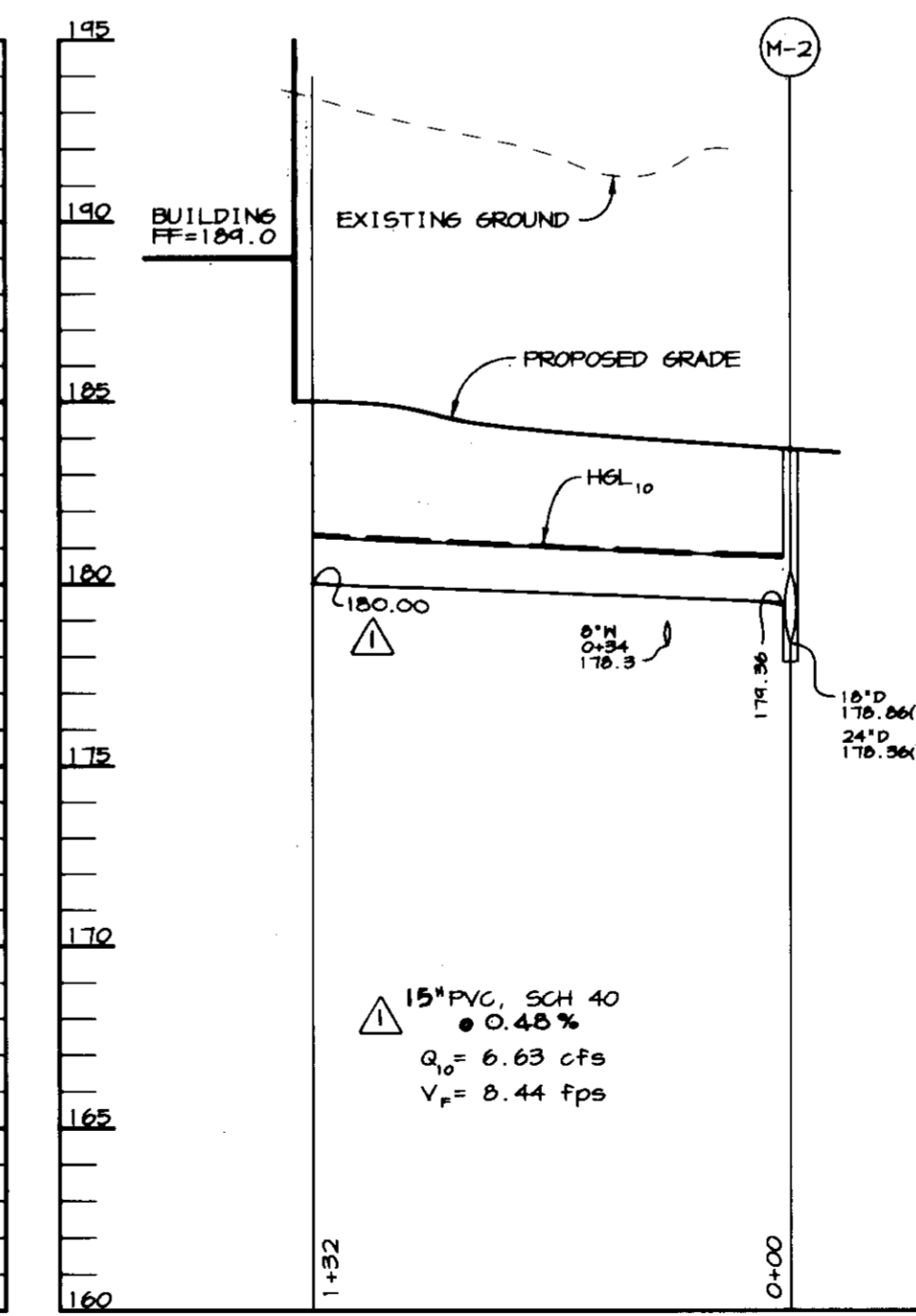
**STORM DRAIN PROFILE**

SCALE: HOR. - 1"=50' VERT. - 1"=5'



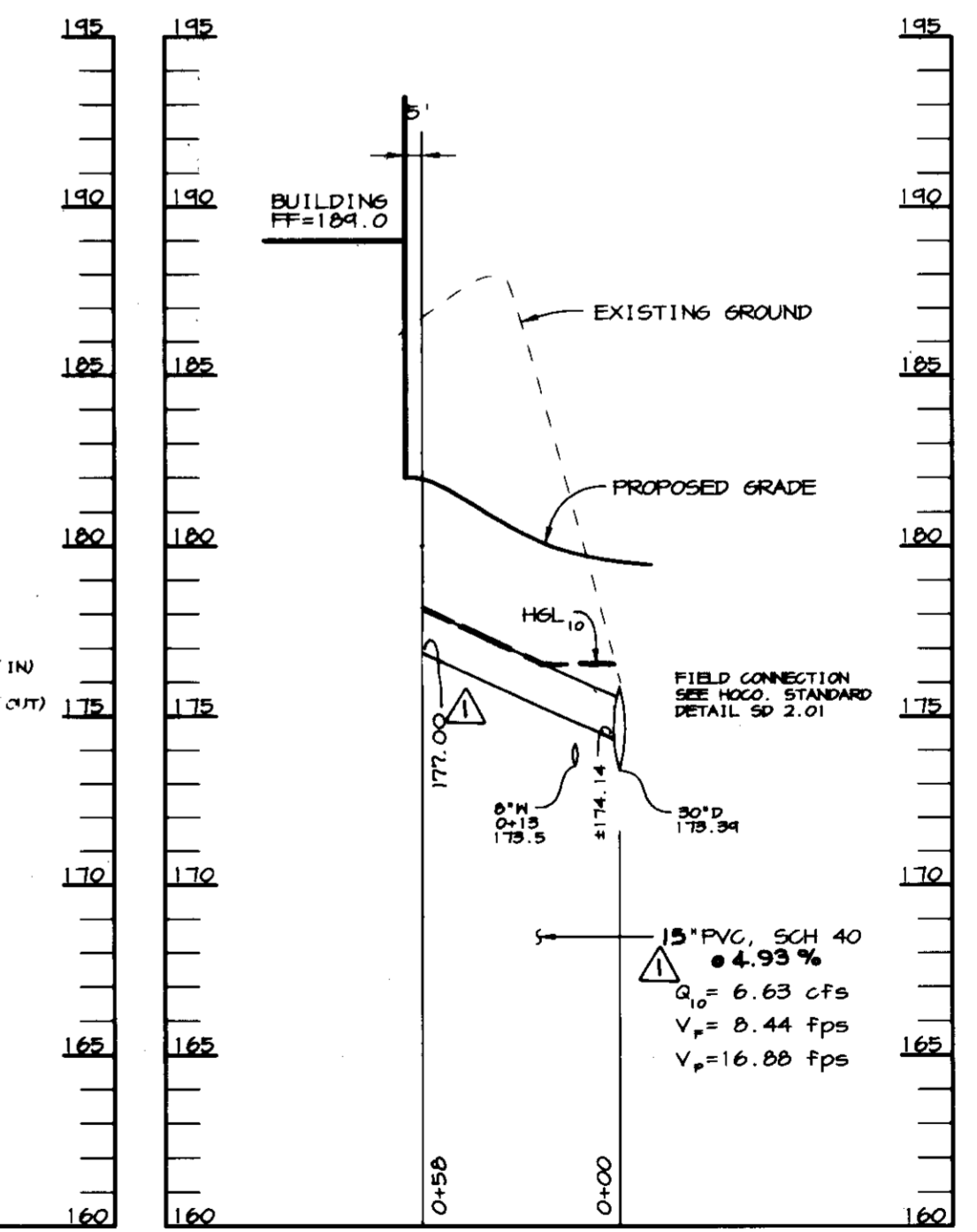
**STORM DRAIN PROFILE**

SCALE: HOR. - 1"=50' VERT. - 1"=5'



**STORM DRAIN PROFILE**

SCALE: HOR. - 1"=50' VERT. - 1"=5'



**STORM DRAIN PROFILE**

SCALE: HOR. - 1"=50' VERT. - 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*James A. ...* 4/22/97  
DIRECTOR DATE

*Chris ...* 4/21/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cindy ...* 4/24/97  
DIVISION OF LAND DEVELOPMENT DATE

4/19/97 CHANGED SIZES, INVERTS & SLOPES ON PVC ROOF  
DRAIN SD PROFILES

DATE	NO.	REVISION
		OWNER DEVELOPER

OWNER: B. VON PARIS, Inc. 1420 YORK ROAD TIMONIUM, MARYLAND 21043 (410) 252-5800

DEVELOPER: MANEKIN CORPORATION 7165 COLUMBIA GATEWAY DRIVE COLUMBIA, MARYLAND 21046 (410) 290-1400

PROJECT: B. VON PARIS OFFICE/WAREHOUSE FACILITY

AREA: CORRIDOR INDUSTRIAL PARK, SECTION 1 PARCEL G-1 ZONED M-2 TAX MAP 46, BLOCK 18 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: PROFILES

**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

4.4.97 DATE

F-75-57 GP-74-65  
F-81-150  
DESIGNED BY: CJR  
DRAWN BY: RPP  
PROJECT NO: 96067 SDP6.DWG  
DATE: APRIL 4, 1997  
SCALE: AS SHOWN  
DRAWING NO. 6 OF 11

J. Farrell  
JAYKANT D. PAREKH #19148

SDP-97-50



**DRAINAGE AREA TABULATION**

INLET	TOTAL AREA (ACRES)	PERCENT IMPERVIOUS	ZONING	'C' FACTOR
I-1	0.4	100	M-2	.87
I-2	1.5	93	M-2	.83
I-3	1.0	70	M-2	.66
I-4	0.4	75	M-2	.71
I-5	1.5	73	M-2	.70
I-6	0.2	100	M-2	.87
I-7	0.6	0	M-2	.24

BY THE DEVELOPER:  
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Don McHenry* 4.4.97  
DEVELOPER DATE

BY THE ENGINEER:  
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

*J. Farrell* 4.4.97  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Charles J. Ginnard* 04-02-97  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Robert W. Zindel* 9/02/97  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*James S. Kester* 4/22/97  
DIRECTOR DATE

*John P. ...* 4/21/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cindy Hamilton* 4/22/97  
DIVISION OF LAND DEVELOPMENT DATE

6/19/97  $\Delta$  EXPANDED RIVER & PRIVATE DRAINAGE ESM# 2 @ EW-3. CHANGED SIZE OF ROOF DRAIN.

DATE NO. REVISION

OWNER DEVELOPER  
B. VON PARIS, Inc. MANEKIN CORPORATION  
1420 YORK ROAD 7165 COLUMBIA GATEWAY DRIVE  
TIMONIUM, MARYLAND 21093 COLUMBIA, MARYLAND 21046  
(410) 292-5800 (410) 290-1400

PROJECT B. VON PARIS OFFICE/WAREHOUSE FACILITY

AREA CORRIDOR INDUSTRIAL PARK, SECTION 1  
PARCEL G-1 ZONED M-2  
TAX MAP 4B, BLOCK 13  
TAX MAP 47, BLOCK 10  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP

RIEMER MUEGGEL & ASSOCIATES, INC.  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

4.4.97 DATE  
F-75-57 GP-74-65  
F-81-150

DESIGNED BY: CJR

DRAWN BY: RPP

PROJECT NO: 96067

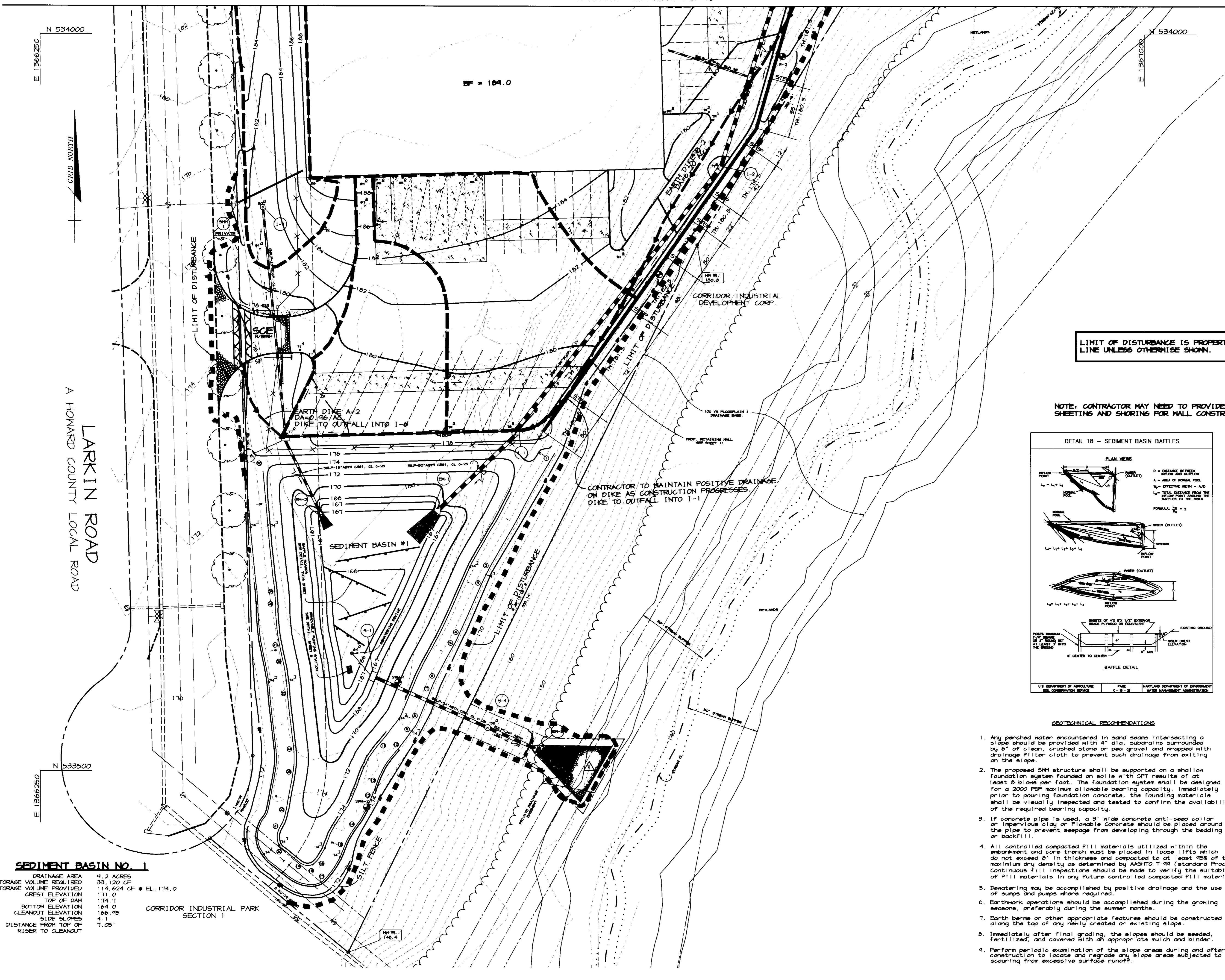
SDP5.DWG

DATE: APRIL 4, 1997

SCALE: 1"=30'

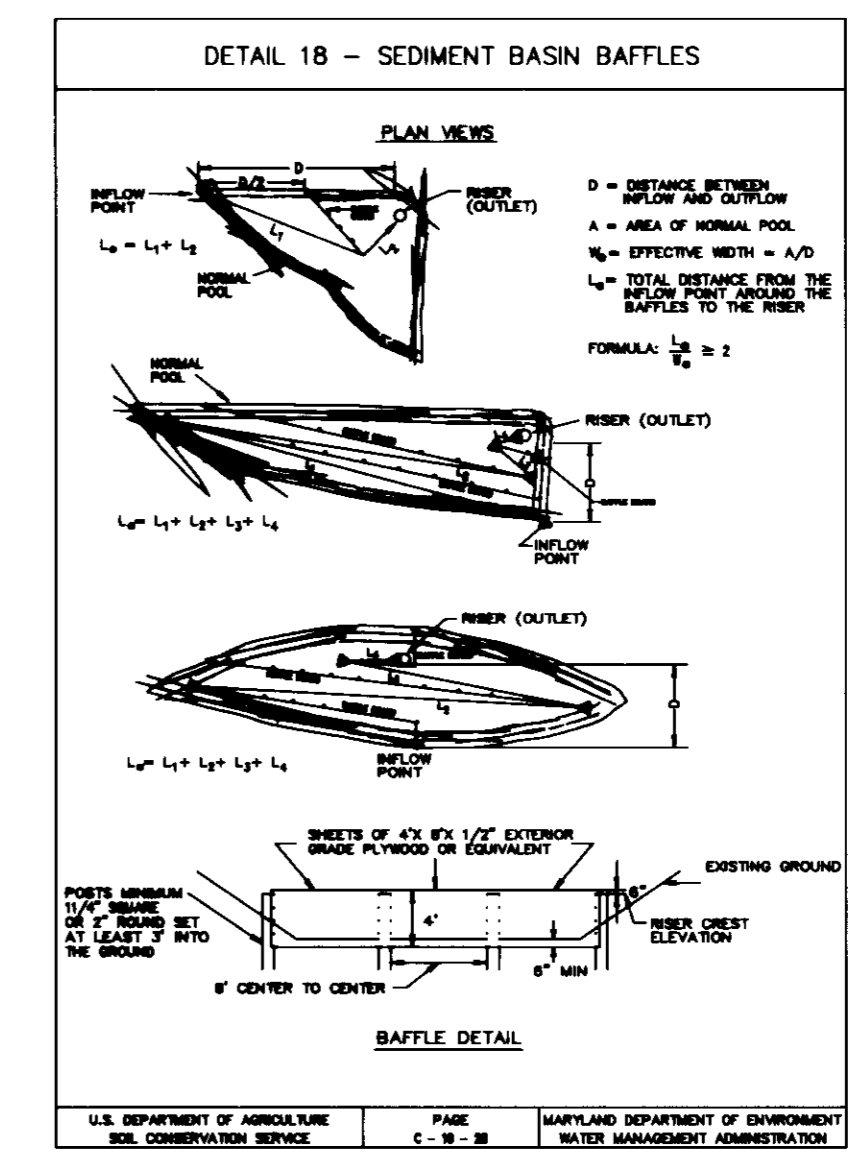
DRAWING NO. 5 OF 11

JAYKANT D. PAREKH #19148  
SDP-97-50



LIMIT OF DISTURBANCE IS PROPERTY LINE UNLESS OTHERWISE SHOWN.

NOTE: CONTRACTOR MAY NEED TO PROVIDE SHEETING AND SHORING FOR WALL CONSTRUCTION



**SEDIMENT BASIN NO. 1**

DRAINAGE AREA	9.2 ACRES
STORAGE VOLUME REQUIRED	33,120 CF
STORAGE VOLUME PROVIDED	114,624 CF @ EL. 174.0
GREATEST ELEVATION	171.0
TOP OF DAM	174.7
BOTTOM ELEVATION	164.0
CLEANOUT ELEVATION	166.95
SIDE SLOPE	4:1
DISTANCE FROM TOP OF RISER TO CLEANOUT	7.05'

CORRIDOR INDUSTRIAL PARK SECTION 1

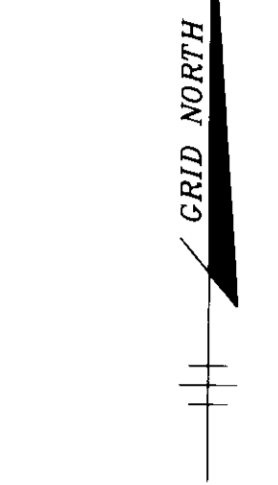
- GEOTECHNICAL RECOMMENDATIONS**
- Any perched water encountered in sand seams intersecting a slope should be provided with 4" dia. subdrains surrounded by 6" of clean crushed stone or pea gravel and wrapped with drainage filter cloth to prevent such drainage from exiting on the slope.
  - The proposed SMH structure shall be supported on a shallow foundation system founded on soils with SPT results of at least 5 blows per foot. The foundation system shall be designed for a 2000 PSF maximum allowable bearing capacity. Immediately prior to pouring foundation concrete, the founding materials shall be visually inspected and tested to confirm the availability of the required bearing capacity.
  - If concrete pipe is used, a 3" wide concrete anti-seep collar or impervious clay or Flexible Concrete should be placed around the pipe to prevent seepage from developing through the bedding or backfill.
  - All controlled compacted fill materials utilized within the embankment and core trench must be placed in loose lifts which do not exceed 6" in thickness and compacted to at least 95% of the maximum dry density as determined by AASHTO T-99 (standard Proctor). Continuous fill inspections should be made to verify the suitability of fill materials in any future controlled compacted fill materials.
  - Dewatering may be accomplished by positive drainage and the use of sumps and pumps where required.
  - Earthwork operations should be accomplished during the growing seasons, preferably during the summer months.
  - Earth berms or other appropriate features should be constructed along the top of any newly created or existing slope.
  - Immediately after final grading, the slopes should be seeded, fertilized, and covered with an appropriate mulch and binder.
  - Perform periodic examination of the slope areas during and after construction to locate and regrade any slope areas subjected to scouring from excessive surface runoff.





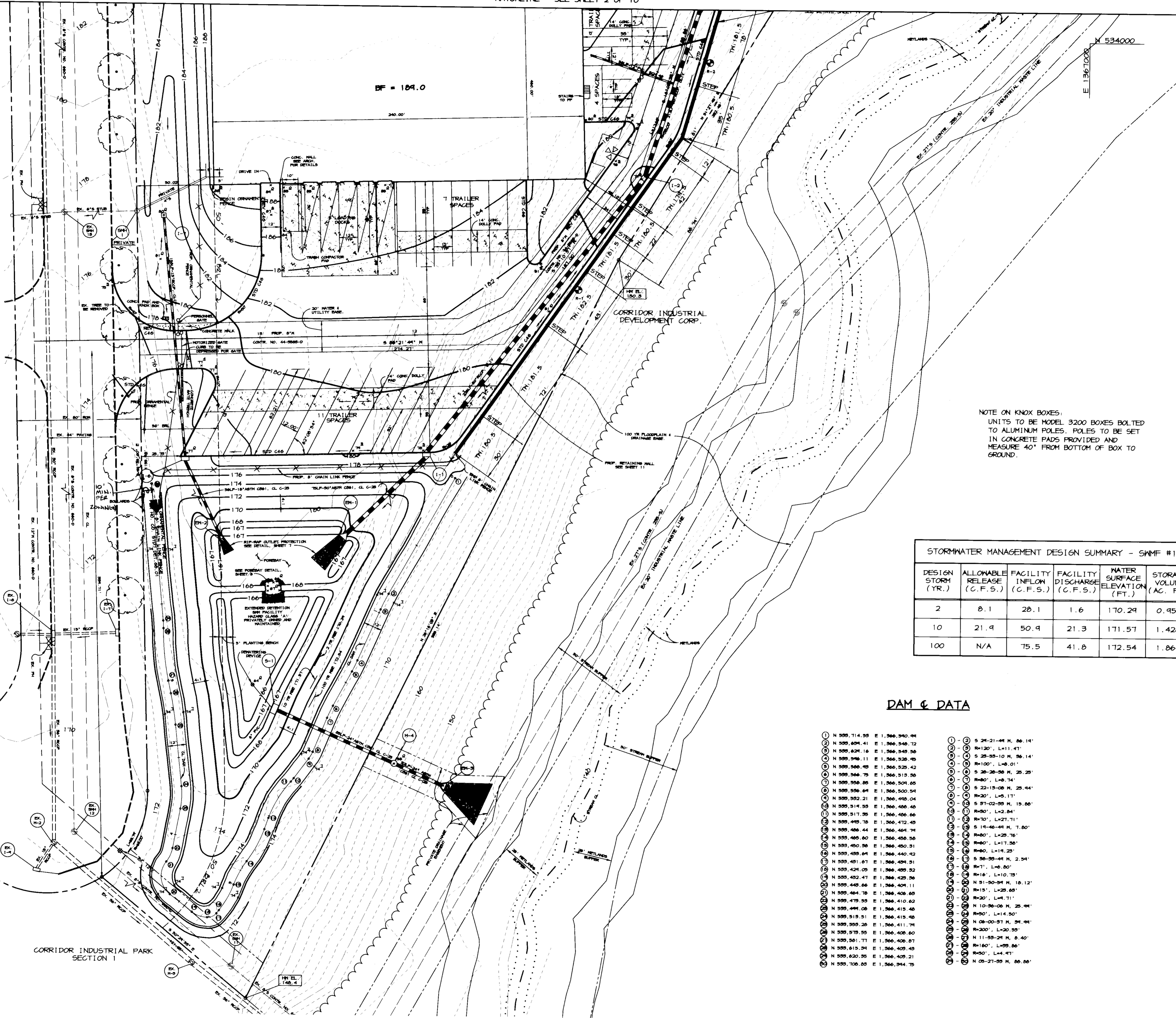


N 534000  
E 1366250



LARKIN ROAD  
A HOWARD COUNTY LOCAL ROAD

N 533500  
E 1366250



- NOTES**
1. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
  2. ON-SITE DUMPSTER WILL BE LOCATED WITHIN LOADING AREA.

**LEGEND**

- OFFICE AREA
- HEAVY DUTY PAVING
- LIGHT DUTY PAVING
- CONCRETE PAVEMENT/SIDEWALK
- CURB AND GUTTER TRANSITION
- FLOW ARROWS
- RETAINING WALL
- 100-YEAR FLOODPLAIN ELEV. PER PLAT #4919

NOTE ON KNOX BOXES:  
UNITS TO BE MODEL 3200 BOXES BOLTED TO ALUMINUM POLES. POLES TO BE SET IN CONCRETE PADS PROVIDED AND MEASURE 40" FROM BOTTOM OF BOX TO GROUND.

STORMWATER MANAGEMENT DESIGN SUMMARY - SWMF #1

DESIGN STORM (YR.)	ALLOWABLE RELEASE (C.F.S.)	FACILITY INFLOW (C.F.S.)	FACILITY DISCHARGE (C.F.S.)	WATER SURFACE ELEVATION (FT.)	STORAGE VOLUME (AC. FT.)
2	8.1	28.1	1.6	170.29	0.450
10	21.4	50.4	21.3	171.57	1.428
100	N/A	75.5	41.8	172.54	1.864

**DAM & DATA**

- ① N 509,714.93 E 1,366,340.04
- ② N 509,694.41 E 1,366,340.12
- ③ N 509,624.16 E 1,366,340.50
- ④ N 509,346.11 E 1,366,328.05
- ⑤ N 509,360.45 E 1,366,525.42
- ⑥ N 509,366.75 E 1,366,513.30
- ⑦ N 509,356.80 E 1,366,504.65
- ⑧ N 509,356.64 E 1,366,500.54
- ⑨ N 509,352.21 E 1,366,498.04
- ⑩ N 509,314.35 E 1,366,456.66
- ⑪ N 509,317.35 E 1,366,456.66
- ⑫ N 509,445.78 E 1,366,472.45
- ⑬ N 509,486.44 E 1,366,464.74
- ⑭ N 509,485.60 E 1,366,458.50
- ⑮ N 509,450.30 E 1,366,450.31
- ⑯ N 509,439.64 E 1,366,440.42
- ⑰ N 509,451.61 E 1,366,439.51
- ⑱ N 509,426.05 E 1,366,439.52
- ⑲ N 509,432.47 E 1,366,429.36
- ⑳ N 509,448.66 E 1,366,404.11
- ㉑ N 509,464.78 E 1,366,408.60
- ㉒ N 509,479.55 E 1,366,410.62
- ㉓ N 509,494.00 E 1,366,415.46
- ㉔ N 509,519.51 E 1,366,415.46
- ㉕ N 509,505.20 E 1,366,411.74
- ㉖ N 509,579.55 E 1,366,406.60
- ㉗ N 509,581.71 E 1,366,406.61
- ㉘ N 509,615.34 E 1,366,428.45
- ㉙ N 509,620.35 E 1,366,428.21
- ㉚ N 509,709.65 E 1,366,394.75
- ① S 24-21-44 N, 66.11'
- ② R=120', L=11.41'
- ③ S 28-55-10 W, 36.14'
- ④ R=100', L=8.01'
- ⑤ S 38-28-58 W, 25.25'
- ⑥ R=80', L=8.74'
- ⑦ S 22-19-08 W, 23.44'
- ⑧ R=30', L=5.11'
- ⑨ S 37-02-55 W, 15.60'
- ⑩ R=50', L=2.84'
- ⑪ R=10', L=27.71'
- ⑫ S 14-46-44 W, 7.80'
- ⑬ R=20', L=29.76'
- ⑭ R=60', L=11.55'
- ⑮ R=60', L=14.25'
- ⑯ S 36-33-44 W, 2.94'
- ⑰ R=71', L=6.80'
- ⑱ R=16', L=10.75'
- ⑲ N 51-50-34 W, 16.12'
- ⑳ R=15', L=25.65'
- ㉑ R=30', L=4.71'
- ㉒ N 10-36-06 W, 25.44'
- ㉓ R=50', L=14.50'
- ㉔ N 08-00-51 W, 24.44'
- ㉕ R=200', L=30.55'
- ㉖ N 11-53-24 W, 6.40'
- ㉗ R=180', L=25.66'
- ㉘ R=50', L=4.47'
- ㉙ N 09-27-55 W, 66.66'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*James S. Smith* 4/22/97  
DIRECTOR DATE

*Mike Dunning* 4/1/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Candy Hamilton* 4/23/97  
SUPERVISOR, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

OWNER DEVELOPER

B. VON PARIS, Inc. HANEKIN CORPORATION  
1920 YORK ROAD 7165 COLUMBIA GATEWAY DRIVE  
TIMONIUM, MARYLAND 21093 COLUMBIA, MARYLAND 21046  
(410) 252-5800 (410) 290-1400

PROJECT B. VON PARIS  
OFFICE/WAREHOUSE FACILITY

AREA CORRIDOR INDUSTRIAL PARK, SECTION 1  
PARCEL G-1 ZONED M-2  
TAX MAP 4B, BLOCK 13  
TAX MAP 47, BLOCK 16  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

TITLE SITE DEVELOPMENT PLAN

**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

DATE 4.4.97

F-75-57 GP-74-65  
F-81-150

DESIGNED BY: CJR  
DRAWN BY: RPP/BLW  
PROJECT NO: 96067  
SDP3.DWG  
DATE: APRIL 4, 1997  
SCALE: 1"=30'  
DRAWING NO. 3 OF 11  
SDP-97-50



J. P. MUEGGE  
JAYKANT D. PAREKH #19148



