

OPTION DESIGNATION KEY

THE FOLLOWING DESIGNATIONS ARE USED TO SPECIFY THAT AN OPTION IS NOT AVAILABLE FOR A PARTICULAR GENERIC BOX.

- 1 - NO 2' EXTENSION (SIDE)
- 2 - NO NO OPT. FAM ROOM.
- 3 - NO OPT. MORNING ROOM
- 4 - NO 2' EXTENSION (REAR)
- 5 - NO 2' EXTENSION (GAR.)

ADDRESS CHART		
LOT NO.	STREET	ADDRESS
301	OVERTON DRIVE	9400
337	CHATON ROAD	9528
338	CHATON ROAD	9532
339	CHATON ROAD	9536
340	CHATON ROAD	9540
341	CHATON ROAD	9544
342	CHATON ROAD	9548
343	CHATON ROAD	9552
344	CHATON ROAD	9556
345	ULSTER DRIVE	9401
346	ULSTER DRIVE	9405
347	ULSTER DRIVE	9409
348	ULSTER DRIVE	9413
349	ULSTER DRIVE	9417
350	ULSTER DRIVE	9421
351	ULSTER DRIVE	9425
352	ULSTER DRIVE	9429
353	ULSTER DRIVE	9433
354	ULSTER DRIVE	9437
355	ULSTER DRIVE	9441
356	CHATON ROAD	9541
357	CHATON ROAD	9545

MINIMUM SEWER SERVICE ELEVATION CHART		
LOT NO.	MIN. CELLAR ELEV.	
301	295.4	
337	295.4	
338	295.0	
339	295.0	
340	294.1	
341	293.1	
342	292.0	
343	292.8	
344	292.8	
345	292.8	
346	294.0	
347	287.8	
348	282.2	
349	285.1	
350	283.2 *	
351	282.9 *	
352	283.8 *	
353	283.8 *	
354	283.8	
355	283.5	
356	288.2	
357	287.6	

MINIMUM LOT SIZE CHART			
LOT NO.	LOT AREA	FLAGSTEM AREA	MINIMUM LOT AREA
347	7,268 S.F.	1,235 S.F.	6,033 S.F.
348	7,716 S.F.	1,268 S.F.	6,448 S.F.
350	8,059 S.F.	1,034 S.F.	7,025 S.F.
351	8,943 S.F.	335 S.F.	8,608 S.F.
352	9,474 S.F.	947 S.F.	8,527 S.F.

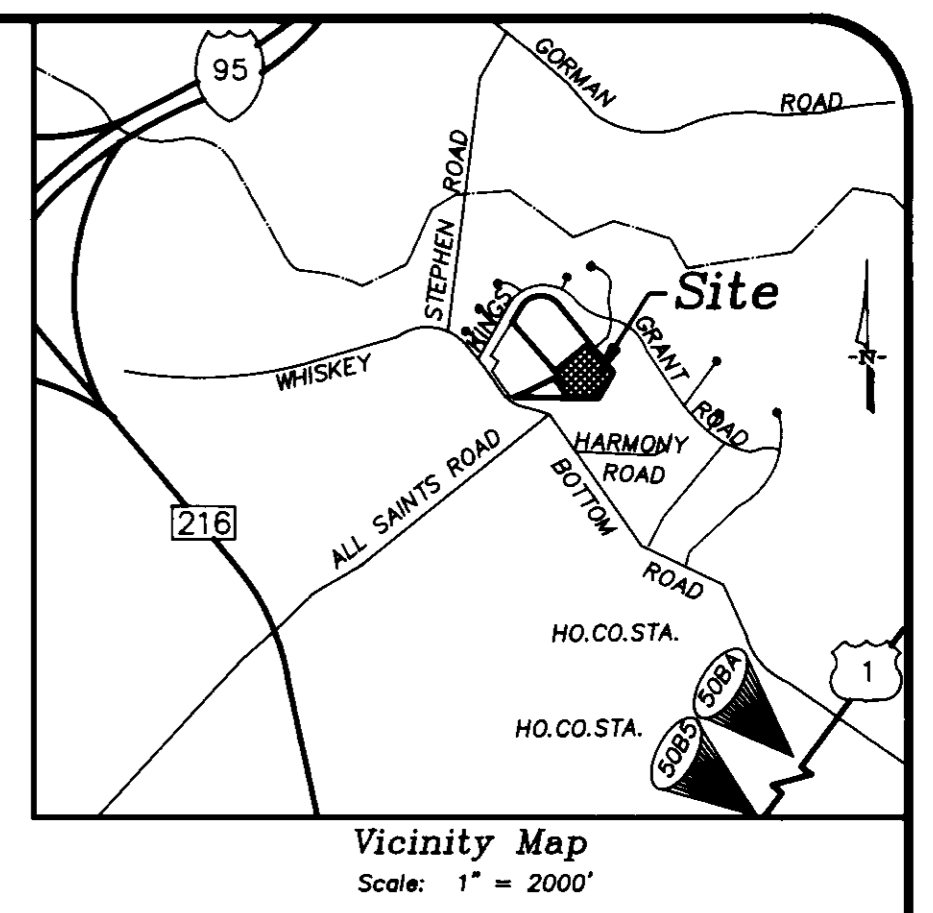
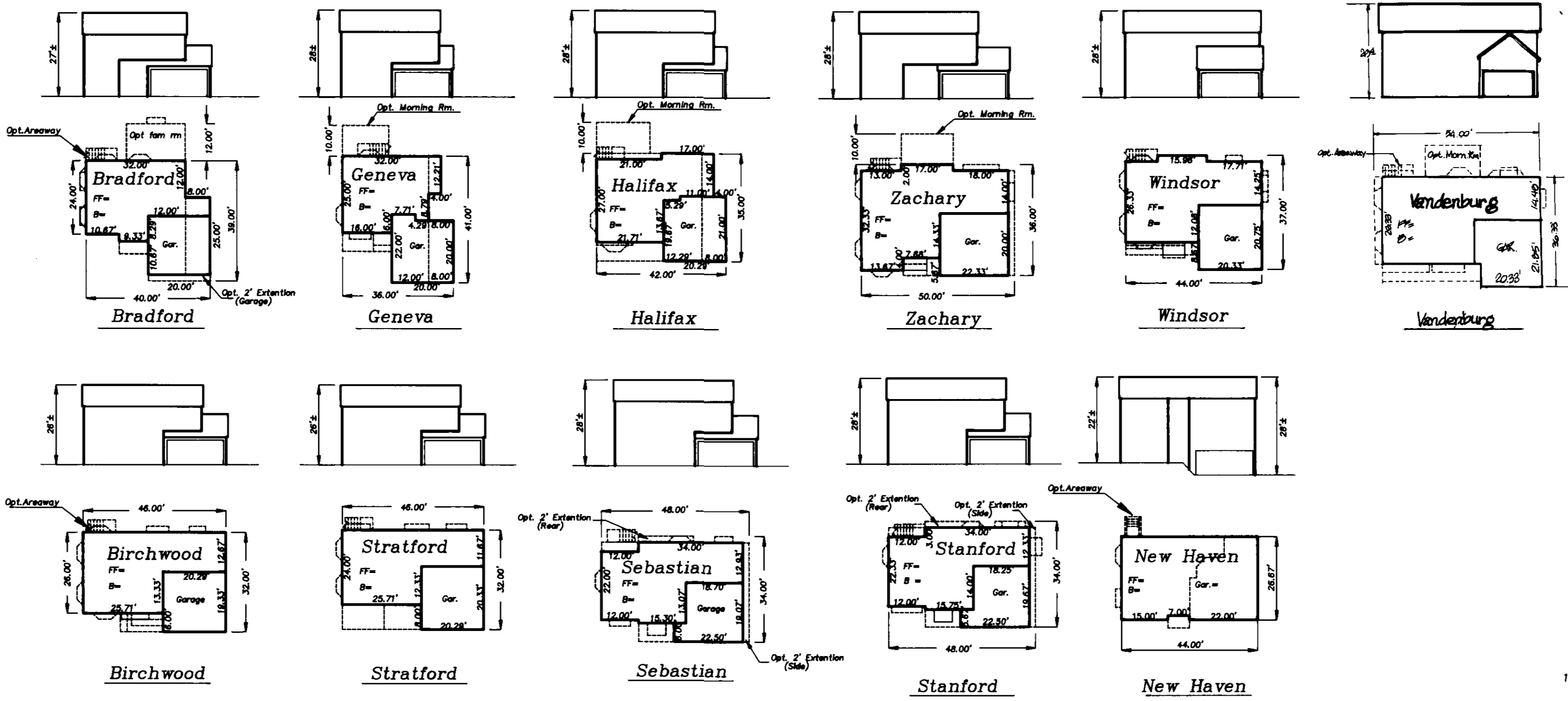
NOTE: THERE ARE NO FLOODPLAIN OR STEEP SLOPE WITHIN THESE LOTS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* 1/24/97

Chief, Division of Land Development: *[Signature]* 2/24/97

Director: *[Signature]* 2/25/97



BENCH MARKS:

HOWARD COUNTY # 508A (NAD '83) ELEV. N/A
STANDARD DISC ON CONCRETE MONUMENT

N 527561.6702' E 1359772.5936'

HOWARD COUNTY # 5085 (NAD '83) ELEV. 178.242'
STANDARD DISC ON CONCRETE MONUMENT

N 524999.3640' E 1357925.6751'

GENERAL NOTES:

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM APPROVED F-96-139 PROPOSED GRADES AND FROM FIELD RUN SURVEY WITH 2' (TWO FOOT) CONTOURS INTERVALS PREPARED BY TSA GROUP, INC. DATED IN 4/95.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, NAD 83. HOWARD COUNTY GEODETIC CONTROL STATIONS 508A AND 5085.
- STORMWATER MANAGEMENT IS PROVIDED BY EXTENDED DETENTION. STRUCTURE IS CLASS "A", DESIGN MANUAL WAIVER (SECTION 5.2.4.1) APPROVED 12/28/95 TO PERMIT SWM OUTFALL LESS THAN 20' FROM PROPERTY LINE.
- EXISTING UTILITIES ARE BASED ON APPROVED HOWARD COUNTY CONTRACT DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE. MANUAL VOLUME IV, STANDARD DETAIL R-6.03.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN
- SITE ANALYSIS DATA CHART:
 - TOTAL PROJECT AREA - 14.27 AC.
 - AREA OF PLAN SUBMISSION - 3.51 AC.
 - LIMIT OF DISTURBED AREA - 3.87 AC.
 - PRESENT ZONING - R-SC
 - PROPOSED USES FOR SITE AND STRUCTURES - RESIDENTIAL (SFD)
 - TOTAL NUMBER OF UNITS ALLOWED - 57
 - TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION - 22
 - OPEN SPACE ON SITE - 3.08 AC. AND 22% OF GROSS AREA
 - AREA OF RECREATION OPEN SPACE REQUIRED - 0.33 AC.
 - AREA OF RECREATION OPEN SPACE PROVIDED - 0.33 AC.
 - BUILDING COVERAGE OF SITE - 0.87 AC. AND 24.8% OF GROSS AREA
 - APPLICABLE DPZ FILE REFERENCES (APPROVAL DATES)
 - F-96-139 (9/4/96)
 - P-96-01 (2/5/96)
 - SP-96-04 (2/5/96)
 - WS # 24-3496 (7/23/96)
- PURSUANT TO AN AGREEMENT REACHED BETWEEN SECURITY DEVELOPMENT, RYAN HOMES, AND THE HOWARD SOIL CONSERVATION DISTRICT, EXISTING SEDIMENT CONTROL DEVICES SHALL BE USED FOR THIS SITE: (SEE F-96-139 FOR SEDIMENT CONTROL PLAN, NOTES AND DETAILS)
- ALL LANDSCAPING AND STREET TREE REQUIREMENTS SHOWN ON THIS PLAN ARE PROPOSED UNDER THE F-96-139 CONTRACT AND SHALL BE PROVIDED BY THE DEVELOPER. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE F-96-139 DPZ DEVELOPER'S AGREEMENT.



BUILDER/CONTRACT PURCHASER

RYAN HOMES, INC.
OWINGS MILLS COMMERCE CENTER
11460 CROWNDRIDGE DRIVE, SUITE 128
OWINGS MILLS, MD 21117
(410) 654-0501
ATTN: MR. MICHAEL SHEARER

OWNER/DEVELOPER

SPC GROUP, INC.
P.O. BOX 417
ELLCOTT CITY, MD 21043

ENGINEER/SURVEYOR

R.M. MOCHI GROUP, P.C.
3300 NORTH RIDGE ROAD, SUITE 235
ELLCOTT CITY, MARYLAND 21043
(410) 481-0079
ATTN: MR. ROBERT M. MOCHI, P.E.

SPECIAL NOTES:

- THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. IMPROVEMENT SHOWN WITHIN THE RIGHT-OF-WAY ON THIS S.D.P. ARE NOT TO BE USED FOR CONSTRUCTION. FOR CONSTRUCTION, SEE APPROVED ROAD CONSTRUCTION PLANS F-96-139 AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-3496-D.

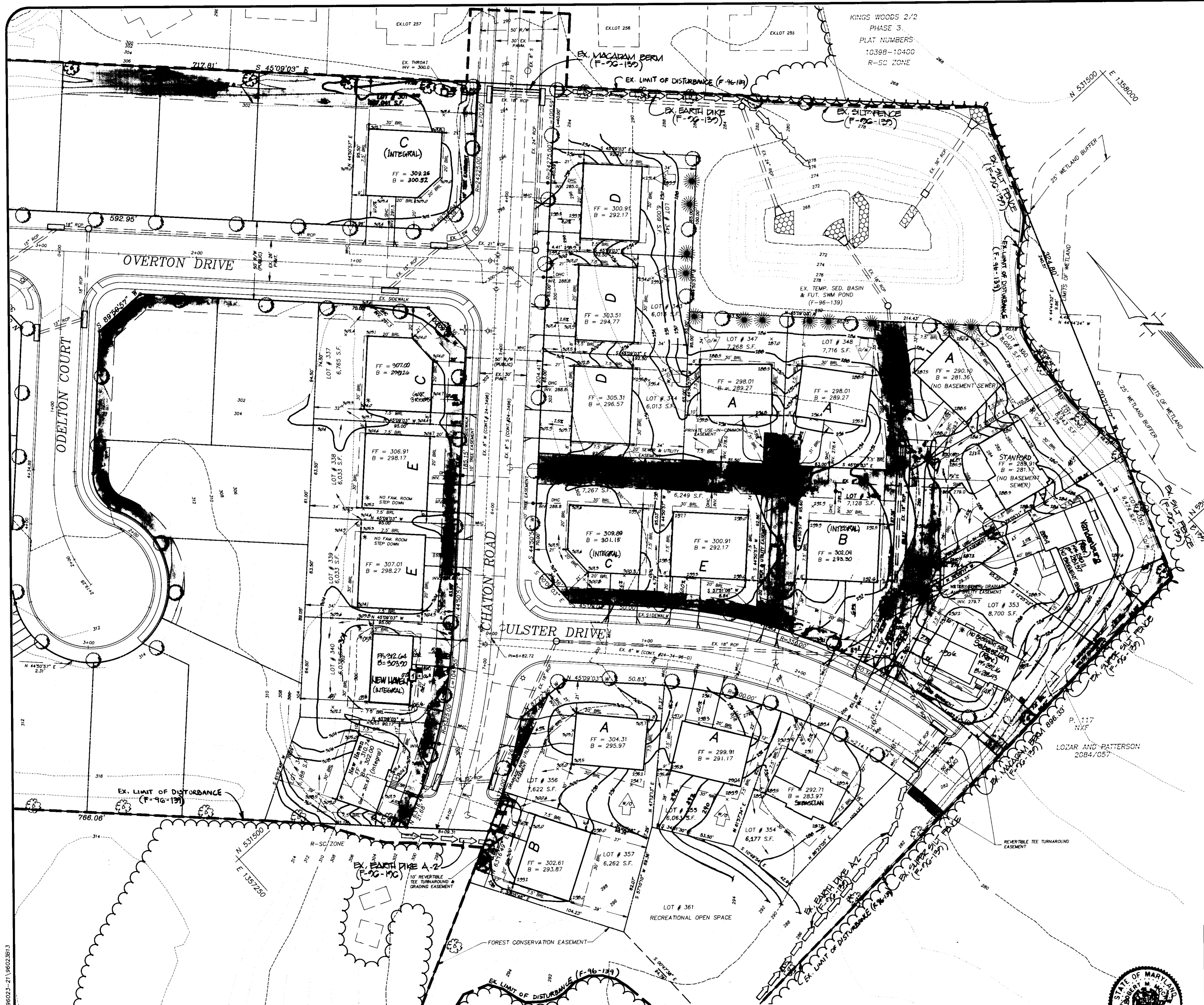
SUBDIVISION NAME					
KINGS WOODS					
LOTS 301,337 THRU 357					
SECT./AREA	PARCEL #	LIBER & FOLIO	PREVIOUS FILE:		
4/-	550 & P/O 857	574/262 213/19	F-96-139 P-96-01 SP-96-04 S-95-13		
PLAT No.	BLOCK No.	ZONE	TAX MAP	ELEC. DIST.	CENSUS
18620	15 & 21	R-SC	47	6th	6069.02
WATER CODE		SEWER CODE			
CO3		7320000			
SCALE:			DATE:		
1" = 30'			10/30/96		

Project	Date
96023-21	10/25/96
Illustration	Approval
TVV	RMZ
Scale	Approval
1" = 30'	RMZ

Date	Description	Revisions
1/16/97	REVISED PER COMMENTS	1
1/16/97	REVISED PER COMMENTS	2
1/17/96	DIRECT SUBMITTAL TO DPZ/RED	1
1/17/96	1ST SUBMITTAL TO PDC. CO. DPZ FOR REVIEW	0

SECTION 4, LOTS 301,337-357
KINGS WOODS
ELECTION DISTRICT 6th
HOWARD COUNTY
SITE DEVELOPMENT PLAN

R.M. MOCHI GROUP, P.C.
10 BOX 10
NEW MARKET, MD 21774-0010
10700 P.O. BOX NATIONAL PIKE
CAMPBELL, MD 21714-7700
(301) 945-9999
(301) 945-9911



PERMANENT SEEDING NOTES
 Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
 Seeded Preparation: Loosen upper three inches of soil by raking, digging or other acceptable means before seeding. (If not previously loosened).
 Soil Amendments: In lieu of soil test recommendations, use on the following schedule:
 1) Preferred - Apply 2 tons per acre dolomitic limestone (82 lbs/1000 sf) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sf) before seeding. If not available, apply 1.5 tons per acre dolomitic limestone (61.5 lbs/1000 sf) before seeding. Apply 600 lbs per acre 10-10-10 fertilizer (8.4 lbs/1000 sf) before seeding.
 2) Acceptable - Apply 2 tons per acre dolomitic limestone (82 lbs/1000 sf) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sf) before seeding. If not available, apply 1.5 tons per acre dolomitic limestone (61.5 lbs/1000 sf) before seeding.
 Seeding: For the periods March 1 through April 30 and August 1 through October 15, seed with 60 lbs per acre (1.4 lbs/1000 sf) of Kentucky 31 Tall Fescue. For the period May 1 through July 31, seed with 10 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.05 lbs/1000 sf) of Weeping Lovegrass. During the period of October 16 through February 28, protect site by October 15 2 tons per acre of mulched straw mulch and seed as soon as possible in the spring. Option 2) use seed. Option 3) seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
 Mowing: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sf) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sf) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sf) for anchoring.
 Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES
 Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
 Seeded Preparation: Loosen upper three inches of soil by raking, digging or other acceptable means before seeding. (If not previously loosened).
 Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sf).
 Seeding: For periods March 1 through April 30 and from August 15 through November 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sf) for the period May 1 through August 15, seed with 3 lbs per acre of Weeping Lovegrass (0.07 lbs/1000 sf). For the period November 16 through February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use seed.
 Mowing: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sf) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sf) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sf) for anchoring.
 Refer to the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control for rate and methods not covered.

SEDIMENT CONTROL NOTES
 1. A minimum of 48 hours notice must be given to the Howard County Office of Inspections and Permits prior to the start of any construction. (313-1802)
 2. All vegetative and structural protection areas to be installed according to the provisions of this plan and are to be in conformance with the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control.
 3. Following initial soil disturbance or redisturbances, permanent or temporary sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, 5) silt collector dikes as to all other disturbed or graded areas on the project site.
 4. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control (Sec. C-1) and Temporary Seeding (Sec. C-2) and Temporary Stabilization with mulch stone can only be done when recommended stabilization does not allow for proper germination and establishment of grasses.
 5. All sediment control structures are to remain in place and are to be maintained in operative condition until permanent for their removal has been obtained from the Howard County Sediment Control Inspector.
 6. Site Analysis:
 Total Area of Site: 387 Ac.
 Area to be Disturbed: 3.82 Ac.
 Area to be seeded or paved: 1.18 Ac.
 Area to be vegetatively stabilized: 2.64 Ac.
 Total Fertilizer: 4,600 lbs/acre
 Total Fertilizer: 4,600 lbs/acre
 Off-site Waste/Borrow Area:
 All excess material shall be transported to a suitable off-site with appropriate sediment control measures as required. Placement of utilities must be repaired on the same day of disturbance.
 7. Any sediment control practice which is disturbed by grading activities for placement of utilities must be repaired on the same day of disturbance.
 8. Additional sediment control measures shall be provided, if deemed necessary by the Howard County OIP Sediment Control Inspector.
 9. Quantities and estimates shown are for sediment control purposes only. Contractor shall prepare his/her own quantity estimates to his/her satisfaction.

SEQUENCE OF CONSTRUCTION
 1. Obtain all permit approvals and licenses from the appropriate agencies.
 2. Notify Howard County Construction Inspection Division (313-1800) at least five (5) working days prior to starting work.
 3. Verify all sediment control erosion measures and devices prepared under F-96-139 have been installed. All sediment control devices are to be inspected after each rainfall. Repair sediment control devices as required.
 4. Excavate for foundations, rough grade and temporarily stabilize.
 5. Construct structures, sidewalks and driveways.
 6. Final grade and stabilize in accordance with SLE and Specs.
 7. Upon approval of the Howard County Sediment Control Inspector, remove sediment control devices and stabilize.
 8. Per F-96-139, Developer shall construct sediment basin to permanent water quality facility as follows:
 A) Dump off impounded water.
 B) Dredge Basin to remove all sediment.
 C) Grade pond to plan shape.
 D) Install 2' Control Office.
 E) Permanently stabilize.

APPROVED: THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 [Signature] 1/22/97
 HOWARD COUNTY SOIL CONSERVATION DISTRICT
 APPROVED: REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
 [Signature] 01-22-97
 USDA - NATIONAL RESOURCES CONSERVATION SERVICE
DEVELOPER'S CERTIFICATE
 I, the undersigned, certify that all development and construction will be done in accordance with this plan of development and plan for erosion and sediment control and that all required permanent erosion and sediment control devices for this project will have a certificate of attendance of a Department of the Environment approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic public inspection by the Howard County Soil Conservation District or their authorized agents, as deemed necessary.
 [Signature] 1/21/97
 Signature of Developer
ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Soil Conservation District.
 [Signature] 1/21/97
 Robert H. Mochl, P.E.

PERMIT INFORMATION CHART

SUBDIVISION NAME		KINGS WOODS LOTS 301, 337 THRU 357			
SECT./AREA	PARCEL #	LIBER & FOLIO	PREVIOUS FILE:		
4/-	550 & P/O 857	574/262 213/19	F-96-139	P-96-01	SP-96-04
PLAT No.	BLOCK No.	ZONE	TAX MAP	ELEC. DIST.	CENSUS
10620	15 & 21	R-SC	47	6th	6069.02
WATER CODE	CO3		SEWER CODE	7320000	
SCALE:	1" = 30'		DATE:		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 1/24/97
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 [Signature] 2/24/97
 CHIEF DIVISION OF LAND DEVELOPMENT AND INFRASTRUCTURE
 [Signature] 2/25/97
 DIRECTOR

OWNER/DEVELOPER
 SDC GROUP, INC.
 P.O. BOX 417
 ELLICOTT CITY, MD 21043

BUILDER/CONTRACT PURCHASER
 RYAN HOMES, INC.
 OWINGS MILLS COMMERCE CENTER
 11480 CRONRIDGE DRIVE, SUITE 128
 OWINGS MILLS, MD 21117
 (410) 654-0501
 ATTN: MR. MICHAEL SHEARER

ENGINEER/SURVEYOR
 R.M. MOCHL GROUP, P.C.
 10120 A OLD NATIONAL PIKE
 LAMPSVILLE, MARYLAND 21764-9706
 (301) 865-6558
 ATTN: MR. ROBERT M. MOCHL, P.E.

* - INDICATES WINDOW WELL REQUIRED
 NOTE: ALL LANDSCAPING SHOWN PROVIDED BY DEVELOPER UNDER F-96-139 CONTRACT.



PROJECT	96023-21	DATE	10/28/96
ILLUSTRATION	TVV	SCALE	1"=30'
APPROVAL	RRM		

NO.	DATE	REVISIONS
1	1/21/97	REVISED PER COMMENTS
2	1/21/97	REVISED PER COMMENTS
3	1/21/97	REVISED PER COMMENTS
4	1/21/97	REVISED PER COMMENTS
5	1/21/97	REVISED PER COMMENTS
6	1/21/97	REVISED PER COMMENTS
7	1/21/97	REVISED PER COMMENTS
8	1/21/97	REVISED PER COMMENTS
9	1/21/97	REVISED PER COMMENTS
10	1/21/97	REVISED PER COMMENTS

SECTION 4, LOTS 301, 337-357
KINGS WOODS
 ELECTION DISTRICT 6th
 HOWARD COUNTY
 SITE DEVELOPMENT PLAN

R.M. MOCHL GROUP, P.C.
 10120 A OLD NATIONAL PIKE
 LAMPSVILLE, MD 21764-9706
 (301) 865-6558
 (301) 865-9511
 2 OF 2
 STAR 97-48