

| ADDRESS CHART | | | | | |
|--------------------------|---------|--------------------------|--------------|--------------|--------------|
| LOT NUMBER | | STREET ADDRESS | | | |
| A-40 | | 8700 ROBERT FULTON DRIVE | | | |
| PERMIT INFORMATION CHART | | | | | |
| SUBMISSION NAME | | SECTION/AREA | | PARCEL # | |
| GATEWAY COMMERCE CENTER | | N/A | | PARCEL A-40 | |
| PLAT # OR L.P. | BLOCK # | ZONE | TAX/ZONE MAP | ELECT. DIST. | CORNER TRACT |
| 12119-12121 | 24 | M-1 | 42 | SIXTH (6TH) | 6087.03 |
| SEWER CODE | | SEWER CODE | | | |
| EOG | | 4400000 | | | |

I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Walter J. Sagg 1/6/97
Walter J. Sagg 1/21/97
 SIGNATURE OF DEVELOPER DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 1/9/97
 HOWARD SOIL CONSERVATION DISTRICT DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Christ L. Dammers 01-09-97
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED DEPARTMENT OF PLANNING AND ZONING

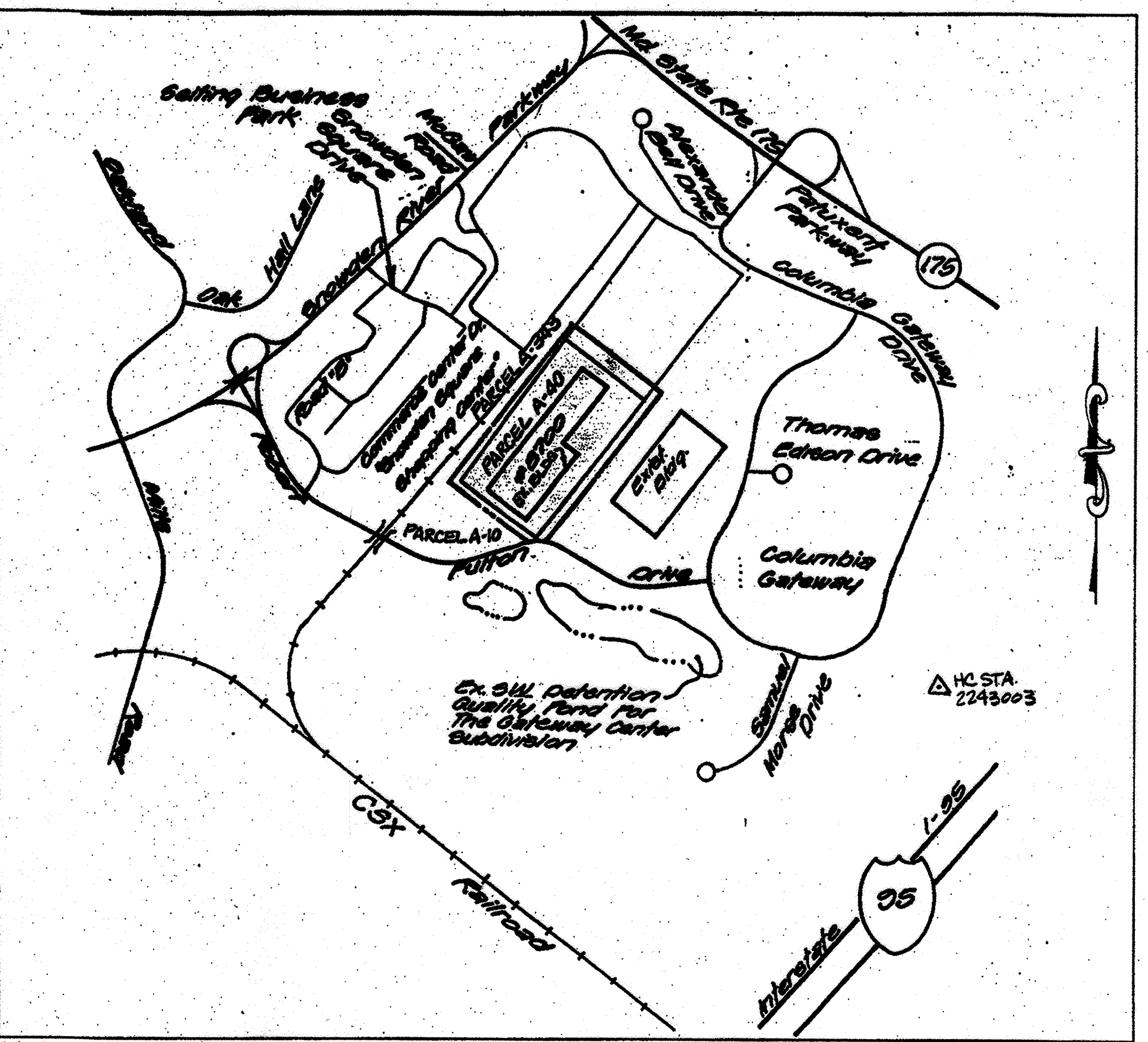
[Signature] 1/12/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

[Signature] 1/16/97
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 1/16/97
 DIRECTOR DATE

GATEWAY COMMERCE CENTER WAREHOUSE

PHASE I, II AND III EAST
 PARCEL A-40
 HOWARD COUNTY, MARYLAND



Vicinity Map
 SCALE: 1"=2000'

GATEWAY PARKING TABULATION
 REVISED: 4/23/97

PARKING REQUIREMENT - 0.5 SPACE FOR 1000 SQ. FT. BUILDING TOTAL 725,650 SQ. FT.
 PARKING PROVIDED - 362.0
 10 CAR SPACES / 10 TRAILER SPACES (ENTIRE SITE) 445 TRAILER SPACES
 154 TRAILER SPACES
 9 HC SPACES (1 VAN SPACE)

HANDICAP PARKING: 4 HC SPACES FOR REVENUE (PROP)
 2 HC SPACES FOR LOUPO (PROP)
 1 HC SPACE FOR U.S. STORAGE (PROP)
 2 HC SPACES FOR GIANT (EXIST)
 9 HC SPACES TOTAL

RESOURCE LIST:

DEVELOPMENT ENGINEERING DIVISION
 MR. CHARLES DAMMERS, P.E.
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 3430 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043
 (410) 313-3364

DEPARTMENT OF PLANNING AND ZONING
 MR. RICHARD BLOOD
 ACTING CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
 3430 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043
 (410) 313-2393

DEPARTMENT OF INSPECTIONS LICENSE AND PERMITS
 MR. DAVID KREBS
 CHIEF, PLAN REVIEW DIVISION
 3430 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043
 (410) 313-2436

NOTIFY "MISS UTILITY" AT
 1-800-257-7777
 FOR UTILITY LOCATION
 48 HOURS PRIOR TO ANY
 CONSTRUCTION OR EXCAVATION

PARKING ANALYSIS

The Zoning Ordinance requires 0.5 space per 1000 sq. ft. of building OR 1 space per employee. As this site is storage warehouse, the number of actual employees working within the building is minimal. The total number of parking spaces provided on this site plan is 349 which we believe will exceed 1 space for employees for the overall building. NO MORE THAN 249 EMPLOYEES WILL BE ON SITE AT ONE TIME WITHOUT ADDITIONAL PARKING BEING PROVIDED.

| SITE DATA | | | |
|---------------------------------|------------------------------------|-------|------------|
| | SQUARE FEET | ACRES | PERCENTAGE |
| GROSS SITE | 2,121,362 | 48.7 | 100% |
| PROPOSED USE: | WAREHOUSE STORAGE | | |
| BUILDING: | | | |
| ● PHASE ONE | ±240,000 (EXISTING) | | |
| ● PHASE TWO | ±155,650 (EXISTING) | | |
| ● PHASE THREE | 330,000 (210,150 SQ. FT. EXISTING) | | |
| TOTAL (PROPOSED) EXISTING | 725,650 | | 100% |
| ▲ Phase Four (garagehouse) | | | |
| ▲ Phase Four (security trailer) | | | |
| STRUCTURAL COVERAGE | 725,650 | 16.7 | 34% |
| PROPOSED PAVED AREA | 766,836 | 17.6 | 36% |
| PROPOSED OPEN SPACE | 627,084 | 14.4 | 30% |

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 FOR REV. #10 ONLY
 11/9/17

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 2-7-95

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 1/14/17
 Note: This signature & seal is for revision #4 only

- GENERAL NOTES**
- Plat reference 12119-12121 recorded April 11, 1996.
 - The proposed use of the existing building and proposed addition is warehouse storage.
 - All existing utilities on this site are private unless otherwise noted.
 - Dumpster locations are shown in their approximate locations. Final placement will be contingent on truck loading door locations and tenant requirements.
 - This plan follows Rough Grading Plan WP-97-44 which was approved on 11/12/96 and the Site Development Plan SDP 96-118 which was approved on 6/19/96. All existing information shown on the west side of the site is per the improvements shown on SDP 96-118.
 - Test Pit Note: Horizontal and vertical locations of existing utilities are to be determined via test pits by the contractor and/or others.
 - The Contractor or Developer shall contact the Construction Inspection Division 24 hours in advance of commencement of work at (410)313-1880.
 - Representatives of BG&E field located the vertical elevation of the electrical duct bank at each electrical manhole. The depth is noted at each manhole. The depth at each manhole was not consistent and suggests that the cover over the duct bank varies between manholes. The contractor must verify the vertical and horizontal locations at each utility crossing. The elevations of the duct bank shown on the storm drain profiles are approximate and were calculated using the elevation of the duct bank at the closest manhole for graphical purposes only.

- SHEET INDEX**
- COVER SHEET
 - SITE PLAN
 - EROSION AND SEDIMENT CONTROL PLAN
 - EROSION AND SEDIMENT CONTROL PLAN
 - NOTES AND DETAILS CONSTRUCTION DETAILS
 - EROSION AND SEDIMENT CONTROL PLAN
 - NOTES AND DETAILS CONSTRUCTION DETAILS
 - LANDSCAPE PLAN
 - LANDSCAPE PLAN
 - LANDSCAPE DETAIL SHEET
 - STORM DRAIN PROFILES
 - STORM DRAIN PROFILES
 - MISCELLANEOUS DETAILS AND COUNTY REQUIREMENTS
 - SECTIONS AND DETAILS, DESIGN SPECIFICATIONS

- GENERAL NOTES**
- THE PROPERTY IS LOCATED ON TAX MAP 42 AS PARCEL A-40.
 - THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTING VERTICAL AND HORIZONTAL LOCATIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
 - ALL WATER AND SEWER SHOWN ON THIS SITE IS PART OF A PRIVATE SYSTEM. THIS PROJECT IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
 - THERE ARE NO CONTIGUOUS SLOPES OF 25% OR GREATER WHICH ARE GREATER THAN 20,000 SQ. FT. IN THE AREA.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 2243002 & 3003 WERE USED FOR THIS PROJECT.
 - STORMWATER MANAGEMENT AND WATER QUALITY FOR THE ENTIRE SITE ARE PROVIDED IN AN EXISTING STORMWATER MANAGEMENT POND CONSTRUCTED BY GENERAL ELECTRIC (GE) IN 1970. A REPORT CONFIRMING THE STORMWATER QUALITY/QUANTITY CAPABILITIES OF THE EX. FACILITY TO SERVE THE SITE, WAS PREPARED BY WHITMAN, REARDT, AND ASSOCIATES AND APPROVED BY HOWARD COUNTY IN 1995.
 - EXISTING ZONING IS M-1. PROPOSED USE IS WAREHOUSE STORAGE.
 - PARCEL DESIGNATION, PROPERTY LINES WITH BEARING AND DISTANCES WERE OBTAINED FROM SPECIAL PURPOSE SURVEY/SETTLEMENT SURVEY PREPARED BY CUTSCHICK, LITTLE AND WEBER, P.A., BURTONSVILLE, MD.
 - EXISTING TOPOGRAPHY AND PROPOSED TOPOGRAPHY SHOWN AT 1-FOOT INTERVALS. TOPOGRAPHIC INFORMATION SUPPLIED BY MEANS OF FIELD VERIFICATION. ASBUILT ELEVATIONS OF EXISTING UTILITIES WERE SUPPLIED BY CLW.
 - THERE ARE NO 100-YEAR FLOODPLAINS OF RECORD WITHIN THE PROPOSED PARCEL.
 - THE EXISTING WAREHOUSE AND ASSOCIATED PAVING EXPANSIONS ARE EXEMPT FROM THE WOODLAND CONSERVATION REQUIREMENTS BASED ON THE FOLLOWING: SUBTITLE 12 SECTION 16.1202.(B)(1)(iii) AND SUBTITLE 12 SECTION 16.1201.(B)(1)(iv).
 - THERE ARE NO WETLANDS, STREAMS, OR STREAM BUFFERS EXISTING ON-SITE.
 - ALL PAVING SHALL BE ASPHALT PAVING WITHOUT CURB AND GUTTER UNLESS OTHERWISE NOTED.
 - THE APPROXIMATE BUILDING AGE IS 20 YEARS.
 - A TRAFFIC STUDY AND ADEQUATE ROAD FACILITIES PURSUANT TO SUBTITLE 11 "ADEQUATE PUBLIC FACILITIES" ARE NOT REQUIRED FOR THIS PROPOSED SITE DEVELOPMENT.

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 THIS SIGN AND SEAL IS FOR REV. 11 ONLY
 2/14/2022

OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182
 MR. OLAV KOLLEVOLL
 (703) 847-5270

NOTE: PLAT REFERENCE 12119-12121, RECORDED APRIL 11, 1996 REVISION TO PREVIOUSLY APPROVED SDP-96-118 TO INCLUDE THE REGRADING THE EAST SIDE OF THE SITE, PHASE I, II, AND III, THE ADDITION OF 120,000 SQ. FT. BUILDING TO PHASE III AND ENLARGING THE BERM AREA ON THE WEST SIDE OF THE SITE

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES

15200 Shady Grove Road
 Rockville, Maryland 20850
 (301) 948-2750

4407 Forbes Boulevard
 Lanham, Maryland 20706
 (301) 794-7555

258 West Patrick Street
 Frederick, Maryland 21701
 (301) 698-1240
 Metro (301) 831-4544

| DESIGNED | K.L.M. | NO. | REVISIONS | BY | DATE |
|----------|---|------|-----------|----|------|
| 10 | ADDITIONAL PARKING ADDED TO PARKING TABULATION. | FSH | 11-8-17 | | |
| 9 | ADD SECURITY TRAILER | CEI | 11/27/16 | | |
| 8 | ADD GARAGEHOUSE & SERVICE | CEI | 6/17/16 | | |
| 7 | ADDITIONAL PARKING ADDED | PCR | 4/19/16 | | |
| 6 | REVISED PER REDLINE REVISION FOR SEARS | MR | 12/16/15 | | |
| 5 | REVISED PER REDLINE TO PERCE (Costco) | KM | 9/28/15 | | |
| 4 | REVISED PER APPROVED REDLINE | MAMA | 5/1/15 | | |
| 3 | REVISED PER REQUIREMENTS | KJM | 12/8/14 | | |
| 2 | | | | | |
| 1 | | | | | |

COVER SHEET

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 2-6-2017

GATEWAY COMMERCE CENTER
 PARCEL A-40
 TAX MAP 42
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE AS SHOWN
 SHEET 1 OF 14 SHEETS
 JOB NO. 801-04-01

PARCEL 'A-16'
PLAT NOS. 10542
& 10543

PROPOSED
PARCEL 'A-43'

EXISTING BUILDING HEIGHT 60'±
EXISTING STEEL FRAME BUILDING
W/ CONCRETE AND ALUMINUM VENEER
F.F. ELEV.=358.00

EXISTING BUILDING HEIGHT 57'±

| STRUCTURE | PROP. TOP | EX. TOP | REMARKS |
|-----------|---|---------|-------------------------------|
| EX. MH 26 | 353.70 | 357.71 | |
| EX. MH 25 | 353.70 | 357.55 | |
| EX. MH 24 | 353.70 | 355.95 | |
| EX. MH 23 | 353.70 | 356.84 | |
| MH 22 | 352.50 | | |
| EX. I 21 | 348.40 | 354.37 | GRATE W=4.0', L=4.0' |
| EX. MH 17 | 353.70 | 357.00± | SURVEY NOTES INDICATE COVERED |
| I 16 | 349.00 | | GRATE W=4.0', L=4.0' |
| EX. MH 14 | 353.85 | 357.67 | |
| I 13 | 349.50 | | |
| EX. MH 12 | 355.00 | 357.63 | |
| MH 11 | 356.00 | | TOP TO REMAIN UNCHANGED |
| EX. I 20 | TOP TO REMAIN UNCHANGED | | GRATE W=4.0', L=4.0' |
| EX. I 19 | TOP TO REMAIN UNCHANGED | | |
| EX. I 98 | TOP TO BE PLUGGED AND COVERED WITH PROPOSED GRADE | | |
| EX. I 97 | TOP TO REMAIN UNCHANGED | | |
| EX. I 100 | TOP TO REMAIN UNCHANGED | | |
| EX. I 99 | TOP TO REMAIN UNCHANGED | | |
| EX. MH 96 | TOP TO REMAIN UNCHANGED | | |
| EX. MH 95 | TOP TO REMAIN UNCHANGED | | |
| EX. I 101 | TOP TO REMAIN UNCHANGED | | |

NOTE: BERM GRADING IS SHOWN AS 12 FOOT CONTOURS ABOVE 358.

STABILIZE BERM WITH CROWN VETCH

APPROVED DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION MK
 DATE 11/13/97
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE 11/16/97
 DIRECTOR

NOTES:
 1. EXISTING STREET LIGHT HEADS WILL BE ROTATED TO FACE THE BUILDING.
 2. TREES PLANTED IN THE INTERIOR PARKING ISLANDS WILL BE SPECIFIED AS BRADFORD PEARSONS ON THE LANDSCAPE PLAN UNLESS OTHERWISE NOTED.

OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182
 (703) 847-5270
 MR. CLAY KOLLEWOLL

- NOTES:
- VERTICAL AND HORIZONTAL LOCATIONS OF THE ELECT. DUCT BANK ARE KNOWN ONLY AT THE BASE MANHOLES. CONTRACTOR TO VERIFY BOTH IN THE ACTUAL LOCATIONS OF THE UTILITY CROSSINGS PRIOR TO CONSTRUCTION.
 - THE VERTICAL LOCATION OF THE FIRE MAINS AND SANITARY SEWER ARE NOT KNOWN. CONTRACTOR TO VERIFY PRIOR TO CONST.
 - ALL WATERMANS, SAN. SEWER LINES AND STORM DRAINS ARE PRIVATE UNLESS NOTED OTHERWISE.
 - ALL RELOCATED FIRE HYDRANTS MUST BE UPGRADED TO HOWARD COUNTY STANDARD HYDRANTS. THE RELOCATION MUST BE CO-ORDINATED WITH THE EXISTING USERS OF THE FIRE SYSTEM.
 - ALL VALVES CONNECTING THE FIRE HYDRANT LEADS TO THE 16" FIRE LINE MUST BE CHECKED AND REPLACED IF DETERIORATED OR INOPERABLE.

- LEGEND:
- BLOCK HEATER
 - PROP. STORM DRAIN
 - ▨ CONC. PAVING
 - PROP. CONTOUR
 - EXIST. CONTOUR
 - ⊙ EXIST. STRUCTURE
 - ⊙ PROP. TEST PIT
 - ⊙ DOCK DOOR

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES

15200 Shady Grove Road
 Rockville, Maryland 20850
 (301) 948-2750

4407 Forbes Boulevard
 Lanham, Maryland 20706
 (301) 696-1240
 (301) 794-7555

258 West Patrick Street
 Frederick, Maryland 21701
 (301) 696-1240
 Metro (301) 831-4544

| DESIGNED | DWL | NO. | REVISIONS | DATE |
|----------|--|-----|-----------|------|
| 8 | EX. PARKING UPDATED. ADDITIONAL PARKING ADDED. | FSH | 10/18/97 | |
| 7 | ADDITIONAL PARKING ADDED | PKR | 4/10/97 | |
| 5 | REVISED BERM PER ROUSE CO. COMMENTS | NAM | 12/11/97 | |
| 4 | REVISED PER REDLINE FOR SEC. BOOTH | MAM | 10/11/97 | |
| 3 | REVISED PER REDLINE TO PRICE COSTS | KM | 9/18/97 | |
| 2 | REVISED PER APPROVED REDLINE | KM | 5/11/97 | |
| 1 | REVISED PER HOWARD COUNTY COMMENTS | KM | 12/8/96 | |

SITE PLAN

PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 11/12/97
 FOR REV. ONLY

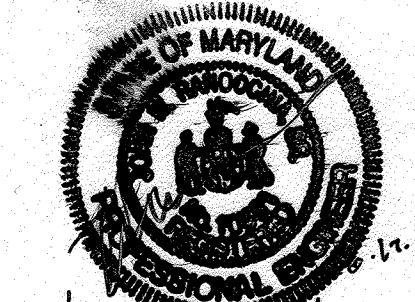
PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 11/9/97

Gateway Commerce Center
 Phases I, II and III East
 Parcel A-40
 Tax Map 42
 6th Election District Howard County Maryland

SCALE
 1"=50'
 SHEET
 2
 OF 14 SHEETS
 JOB NO.
 801-04

OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182
 (703) 847-5270
 MR. OLAV KOLLEVOLL

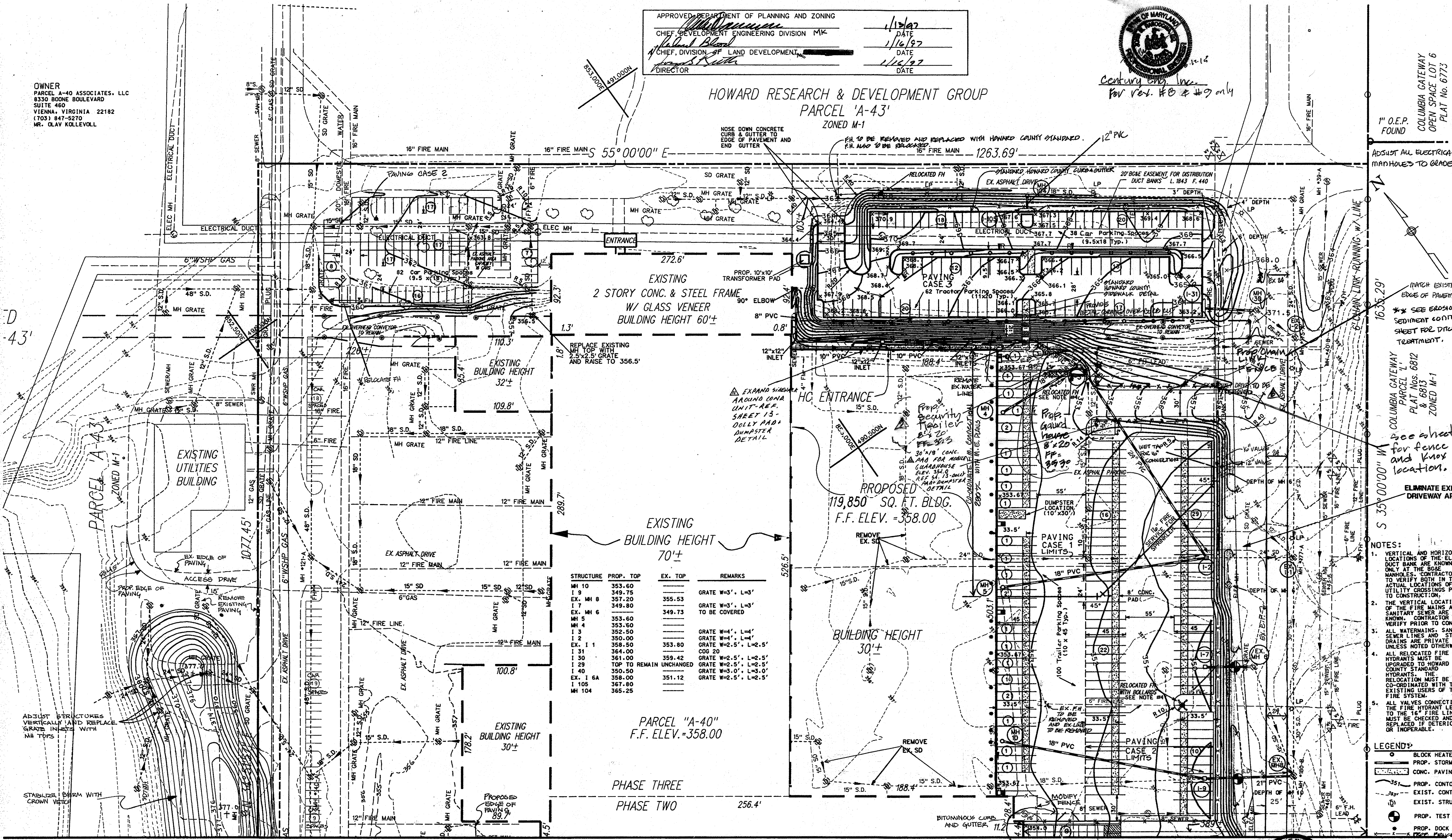
APPROVED DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION MK-
 DATE 1/13/97
 CHIEF DIVISION OF LAND DEVELOPMENT
 DATE 1/16/97
 DIRECTOR
 DATE 1/16/97



HOWARD RESEARCH & DEVELOPMENT GROUP
 PARCEL 'A-43'
 ZONED M-1

Century City, Inc.
 For Vol. #8 & #9 only

1" O.E.P. FOUND
 COLUMBIA GATEWAY
 OPEN SPACE LOT 6
 PLAT No. 6773



| STRUCTURE | PROP. TOP | EX. TOP | REMARKS |
|-----------|-----------|---------|-----------------------------------|
| MH 10 | 353.60 | | |
| I 9 | 349.75 | | |
| EX. MH 8 | 349.20 | 355.53 | GRATE W=3', L=3' |
| I 7 | 349.80 | | |
| EX. MH 6 | 349.80 | 349.73 | GRATE W=3', L=3' TO BE COVERED |
| MH 5 | 353.60 | | |
| MH 4 | 353.60 | | |
| I 3 | 352.50 | | |
| I 2 | 350.00 | | GRATE W=4', L=4' |
| EX. I 1 | 358.50 | 358.80 | GRATE W=2.5', L=2.5' |
| I 31 | 364.00 | | CGG 20 |
| I 30 | 361.00 | 359.42 | GRATE W=2.5', L=2.5' |
| I 29 | 350.00 | | GRATE W=2.5', L=2.5' |
| I 40 | 358.00 | | GRATE W=3.0', L=3.0' |
| EX. I 6A | 358.00 | 351.12 | GRATE W=2.5', L=2.5' |
| I 105 | 367.80 | | |
| MH 104 | 365.25 | | |

PARCEL "A-40"
 F.F. ELEV. = 358.00

PHASE THREE
 PHASE TWO

MATCH EXISTING
 EDGE OF PAVEMENT
 ** SEE EROSION AND
 SEDIMENT CONTROL
 SHEET FOR DETAIL
 TREATMENT.

See sheet 3A
 for fence detail
 and Knox box
 location.

ELIMINATE EXISTING
 DRIVEWAY APRON

- NOTES:
1. VERTICAL AND HORIZONTAL LOCATIONS OF THE ELECT. DUCT BANK ARE KNOWN ONLY AT THE BOSE MANHOLES. CONTRACTOR TO VERIFY BOTH IN THE ACTUAL LOCATIONS OF THE UTILITY CROSSINGS PRIOR TO CONSTRUCTION.
 2. THE VERTICAL LOCATION OF THE FIRE MAINS AND SANITARY SEWER ARE NOT KNOWN. CONTRACTOR TO VERIFY PRIOR TO CONST.
 3. ALL WATERMANS, SAN. SEWER LINES AND STORM DRAINS ARE PRIVATE UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
 4. ALL RELOCATED FIRE HYDRANTS MUST BE UPGRADED TO HOWARD COUNTY STANDARD HYDRANTS. THE RELOCATION MUST BE CO-ORDINATED WITH THE EXISTING USERS OF THE FIRE SYSTEM.
 5. ALL VALVES CONNECTING THE FIRE HYDRANT LEADS TO THE 16" FIRE LINE MUST BE CHECKED AND REPLACED IF DETERIORATED OR IMPROPER.

- LEGEND:
- BLOCK HEATER
 - ▭ PROP. STORM DRAIN
 - ▭ CONC. PAVING
 - ▭ PROP. CONTOUR
 - ▭ EXIST. CONTOUR
 - ▭ EXIST. STRUCTURE
 - PROP. TEST PIT
 - PROP. DOCK DOOR
 - ▭ REVERSE CURBS

MATCH LINE SEE SHEET 2 OF 14

REPLACE FENCE WITH LIKE MATERIALS
 ADD MANUAL GATES WITH RNDX
 BOXES - REF. DETAIL 5 SHEET 3A.
 GATES TO BE 14" FINE MIN.



516N AND SEAL FOR
 REV. 11 ONLY
 2/2/2002

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES

15200 Shady Grove Road
 Rockville, Maryland 20850
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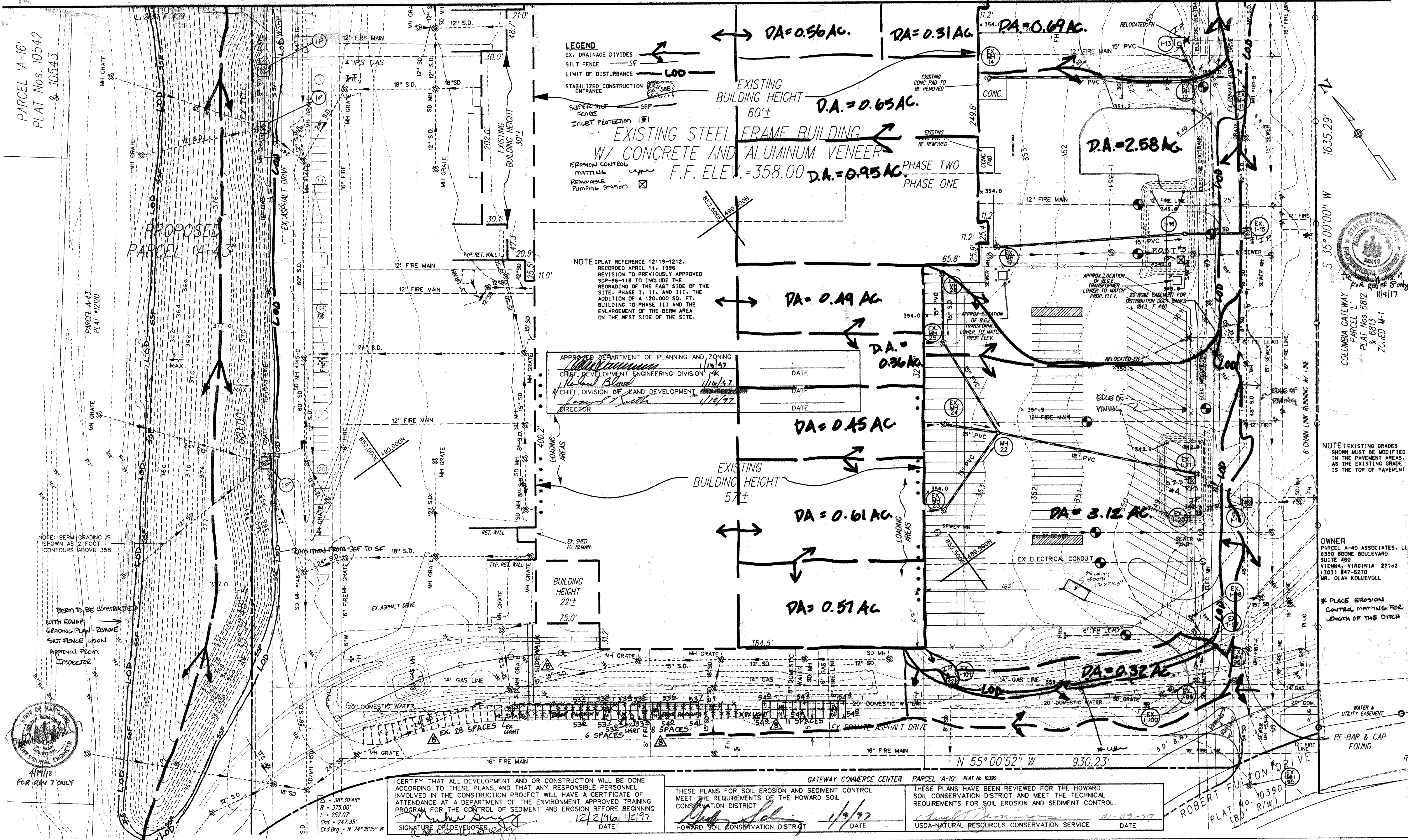
| DESIGNED | DWL | NO. | REVISIONS | BY | DATE |
|------------|----------|-----|--|-----|----------|
| Drafted | MAM | 11 | ADD CONCRETE PAD FOR MOBILE GUARDHOUSE | NTP | 2/1/97 |
| Checked | KLM | 9 | ADD SECURITY TRAILER | CEL | 12/1/96 |
| Proj. Eng. | KLM | 8 | ADD GUARDHOUSE & FENCE | CEL | 8/17/96 |
| OFFICE | LANHAM | 3 | REVISED BERM PER ROUSE COMMENTS 01/24/97 | MAM | 12/12/97 |
| DATE | 10/18/96 | 2 | REVISED PER APPROVED REDLINE 1/30/97 | MAM | 5/1/97 |
| | | 1 | REVISED PER HOWARD COUNTY COMMENTS | KM | 12/8/96 |

SITE PLAN



Gateway Commerce Center
 Phases I, II and III East
 Parcel A-40
 Tax Map 42
 6th Election District Howard County Maryland

| | |
|--------------|--------|
| SCALE | 1"=50' |
| SHEET | 3 |
| OF 14 SHEETS | |
| JOB NO. | 801-04 |



LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES

15200 Shady Grove Road, Rockville, Maryland 20850 (301) 948-2750
 4407 Forbes Boulevard, Lanham, Maryland 20706 (301) 794-7555
 258 West Patrick Street, Frederick, Maryland 21701 (301) 698-1240 Metro (301) 831-4544

| DESIGNED | DWL | DRAWN | MAM | CHECKED | KLM | PROJ. ENG. | KLM | OFFICE | LANHAM | DATE | 12/9/96 |
|----------|---|-------|----------|---------|-----|------------|-----|--------|--------|------|---------|
| 1 | REVISED PER HOWARD COUNTY SOIL CONSERVATION DISTRICT COMMENTS | KM | 2/18/96 | | | | | | | | |
| 2 | REVISED PER RESPONSE TO PERM COMMENTS | KM | 9/16/97 | | | | | | | | |
| 3 | REVISED PER REDLINE FOR SEC SMOOTH | NAM | 10/1/97 | | | | | | | | |
| 4 | REVISED BERM PER HOUSE Q. COMMENTS | NAM | 2/12/97 | | | | | | | | |
| 7 | ADDITIONAL PARKING ADDED | PER | 4/1/97 | | | | | | | | |
| 8 | EX. PARKING UPDATED. ADDITIONAL PARKING ADDED. | FSH | 10/18/97 | | | | | | | | |

EROSION AND SEDIMENT CONTROL PLAN

STATE OF MARYLAND PROFESSIONAL ENGINEER
 R.A. [Signature] 1/31/97

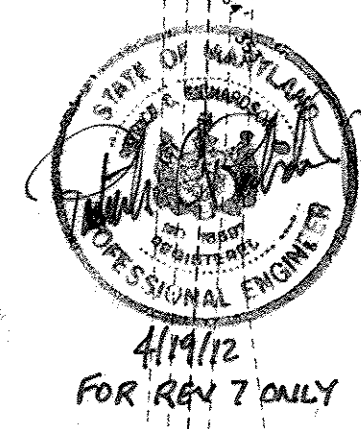
Gateway Commerce Center
 Phases I, II and III East
 Parcel A-40
 Tax Map 42
 6th Election District Howard County Maryland

SCALE 1"=50'
 SHEET 4 OF 14 SHEETS
 JOB NO. 801-04
 SDP-97-42

COLUMBIA GATEWAY PARCEL L PLAT NOS. 6812 & 6813 ZONED M-1
 STATE OF MARYLAND PROFESSIONAL ENGINEER
 FOR REVIEW ONLY
 1/19/17

OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182
 (703) 847-5270
 MR. OLAV KOLLEVOLL

* PLACE EROSION CONTROL MATTING FOR LENGTH OF THE DITCH



APPROVED DEPARTMENT OF PLANNING AND ZONING
 DATE 1/13/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 DATE 1/16/97
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE 1/14/97
 DIRECTOR

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT
 DATE 1/7/97
 HOWARD SOIL CONSERVATION DISTRICT

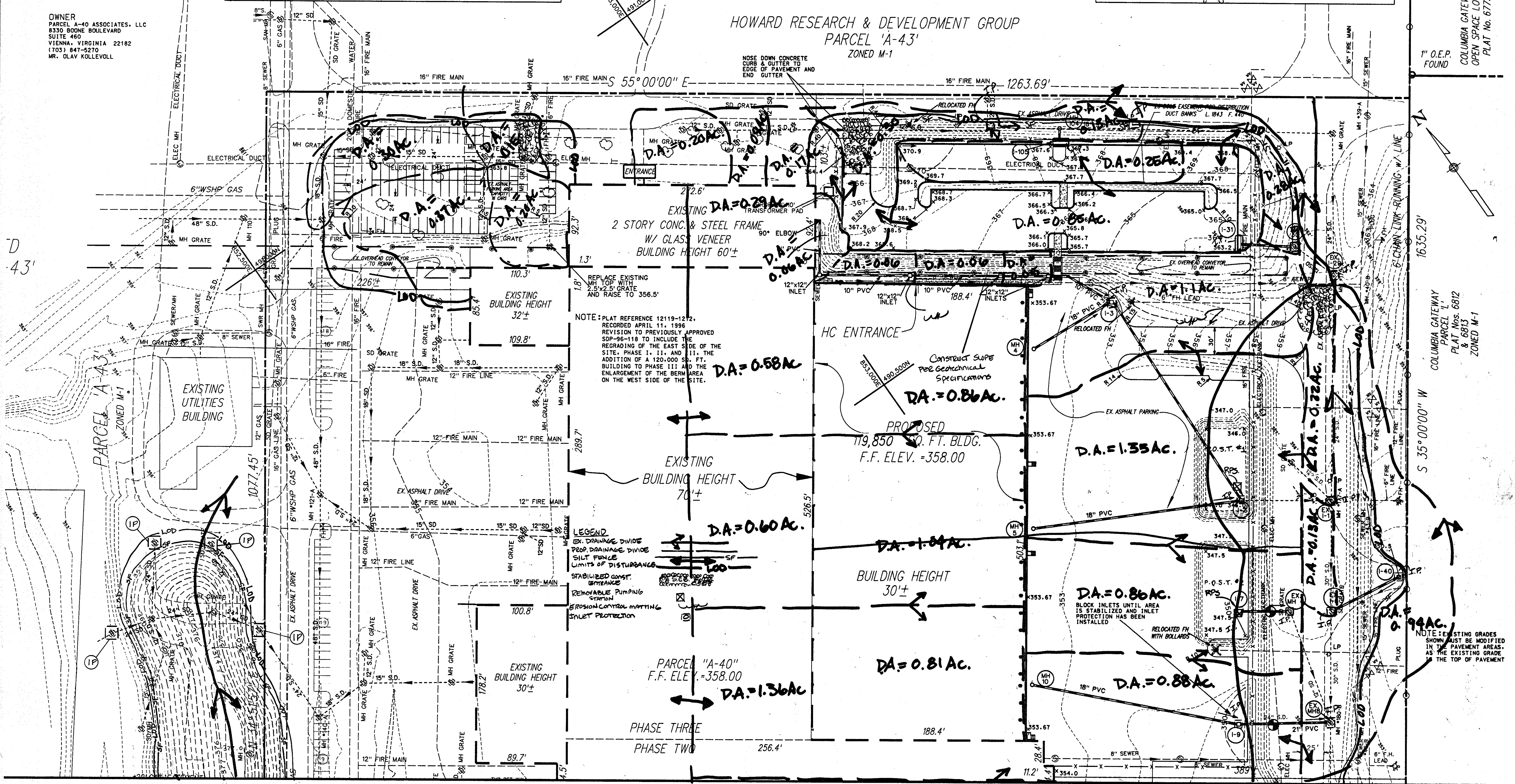
THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
 DATE 1/15/97
 USDA-NATURAL RESOURCES CONSERVATION SERVICE

I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING
 DATE 1/16/97
 SIGNATURE OF DEVELOPER

OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182
 (703) 847-5270
 MR. OLAV KOLLEVOLL

HOWARD RESEARCH & DEVELOPMENT GROUP
 PARCEL 'A-43'
 ZONED M-1

COLUMBIA GATEWAY
 OPEN SPACE LOT 6
 PLAT No. 6773
 1" O.E.P. FOUND



NOTE: PLAT REFERENCE 12119-1272, RECORDED APRIL 11, 1996 REVISION TO PREVIOUSLY APPROVED SDP-86-118 TO INCLUDE THE REGRADING OF THE EAST SIDE OF THE SITE, PHASE I, II, AND III, THE ADDITION OF A 120,000 SQ. FT. BUILDING TO PHASE III AND THE ENLARGEMENT OF THE BERM AREA ON THE WEST SIDE OF THE SITE.

LEGEND
 EX. DRAINAGE DIVIDE
 PROP. DRAINAGE DIVIDE
 SILT FENCE
 LIMITS OF DISTURBANCE
 STABILIZED CONST. ENTRANCE
 REMOVABLE PUMPING STATION
 EROSION CONTROL MATTING
 INLET PROTECTION

NOTE: EXISTING GRADES SHOWN MUST BE MODIFIED IN THE PAVEMENT AREAS, AS THE EXISTING GRADE AT THE TOP OF PAVEMENT

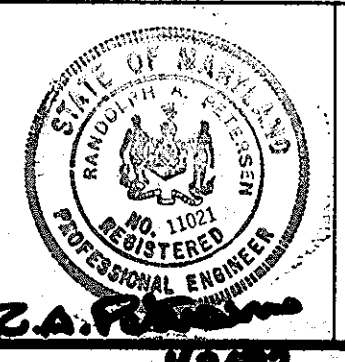
MATCH LINE SEE SHEET 4 OF 14

THIS SHEET IS FOR EROSION SEDIMENT CONTROL AND DRAINAGE DIVIDES ONLY !

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES
 15200 Shady Grove Road Rockville, Maryland 20850 (301) 948-2750
 4407 Forbes Boulevard Lanham, Maryland 20706 (301) 794-7555
 258 West Patrick Street Frederick, Maryland 21701 (301) 696-1240 Metro (301) 831-4544

| | | | | |
|------------|---------|-----|---|-------------------------------------|
| Designed | DWL | | | |
| Drafted | NJM | | | |
| Checked | KLM | | | |
| Proj. Eng. | KLM | | | |
| OFFICE | LANHM | | | |
| DATE | 12/9/96 | NO. | 1 | REVISED BERM PER ROUSE CO. COMMENTS |
| | | NO. | | REVISIONS |
| | | BY | | DATE |

EROSION AND SEDIMENT CONTROL PLAN



Gateway Commerce Center
 Phases I, II and III East
 Parcel A-40
 Tax Map 42
 6th Election District Howard County Maryland

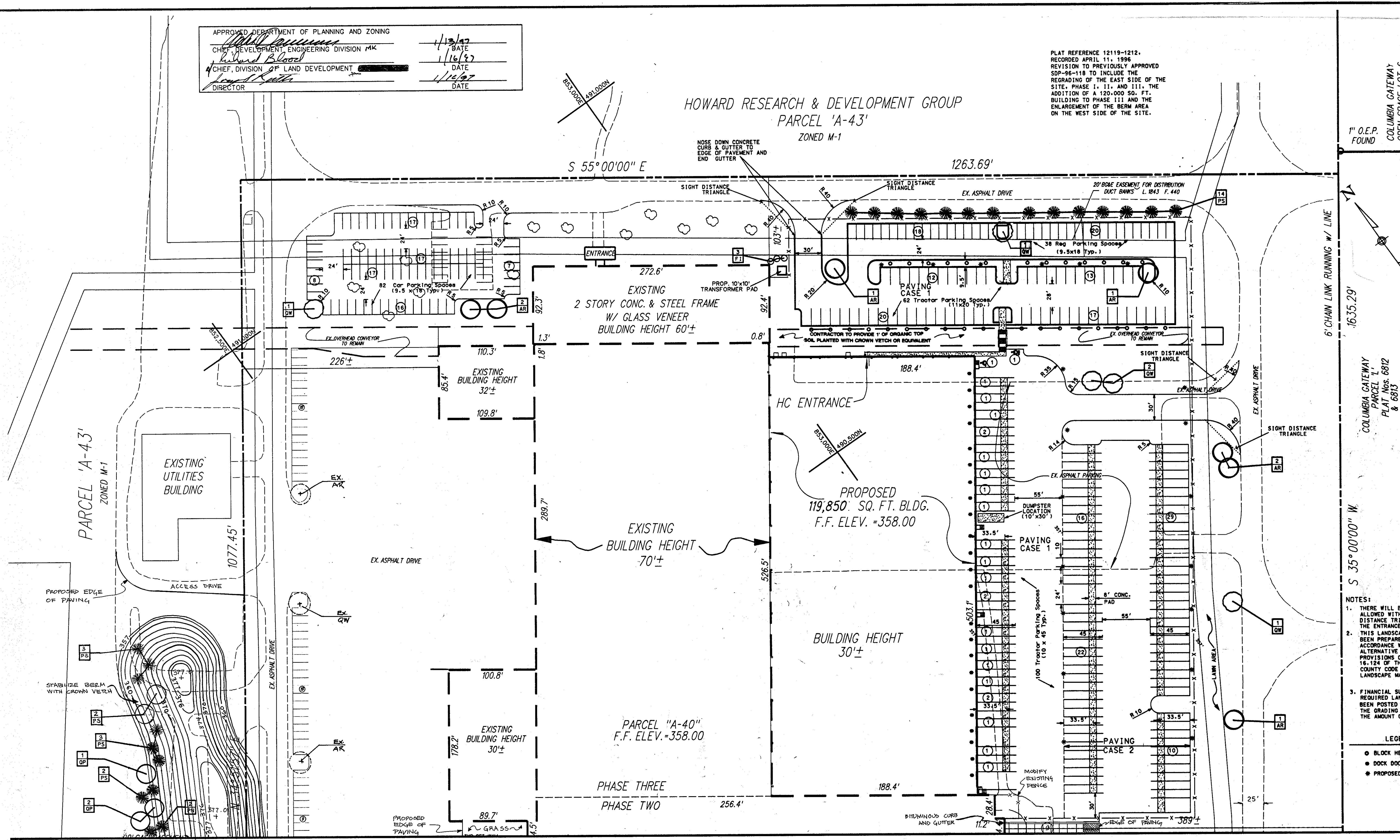
SCALE 1"=50'
 SHEET 5 OF 14 SHEETS
 JOB NO. 801-04
 SDP-97-42

APPROVED DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division MK
 Chief, Division of Land Development
 Director

1/13/97 DATE
 1/16/97 DATE
 1/16/97 DATE

PLAT REFERENCE 12119-1212.
 RECORDED APRIL 11, 1996
 REVISION TO PREVIOUSLY APPROVED
 SDP-96-118 TO INCLUDE THE
 REGRADING OF THE EAST SIDE OF THE
 SITE, PHASE I, II, AND III, THE
 ADDITION OF A 120,000 SQ. FT.
 BUILDING TO PHASE III AND THE
 ENLARGEMENT OF THE BERM AREA
 ON THE WEST SIDE OF THE SITE.

HOWARD RESEARCH & DEVELOPMENT GROUP
 PARCEL 'A-43'
 ZONED M-1



1" O.E.P. FOUND
 COLUMBIA GATEWAY
 OPEN SPACE LOT 6
 PLAT No. 8773

COLUMBIA GATEWAY
 PARCEL 'L'
 & 6813
 ZONED M-1

S 35°00'00" W

- NOTES:
- THERE WILL BE NO PLANTING ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES AT THE ENTRANCES
 - THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$300.00.

LEGEND

- BLOCK HEATER
- DOCK DOOR
- * PROPOSED LIGHT POLE

MATCH LINE SEE SHEET 7 OF 14

OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182
 (703) 847-5270
 MR. OLAV KOLLEVOLL

REFER TO THE ELECTRICAL PLANS FOR A DETAIL OF THE LIGHT POLES!

THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY!

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES

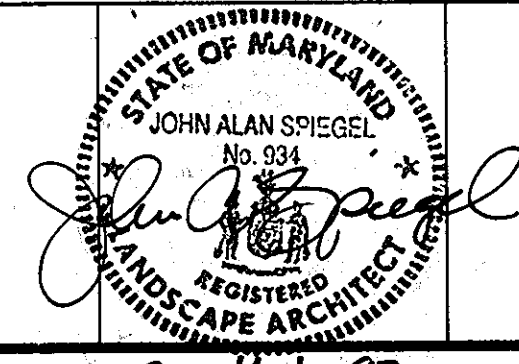
15200 Shady Grove Road Rockville, Maryland 20850 (301) 948-2750

4407 Forbes Boulevard Lanham, Maryland 20706 (301) 794-7555

258 West Patrick Street Frederick, Maryland 21701 (301) 696-1240 Metro (301) 831-4544

| | | | | | |
|------------|---------|-----|---|-----|---------|
| Designed | MAM | | | | |
| Drafted | MAM | | | | |
| Checked | JAS | | | | |
| Proj. Eng. | KLM | 3 | REVISED BERM/LANDSCAPING PER ROUSE CO. | MAM | 12/2/97 |
| OFFICE | LANHAM | 2 | REVISED PER APPROVED BASELINE | MAM | 5/1/97 |
| DATE | 12/2/96 | 1 | REVISED PER COMMENTS RECEIVED FROM HOWARD COUNTY AND THE ROUSE COMPANY. | MAM | 12/2/96 |
| | | NO. | REVISIONS | BY | DATE |

LANDSCAPE PLAN

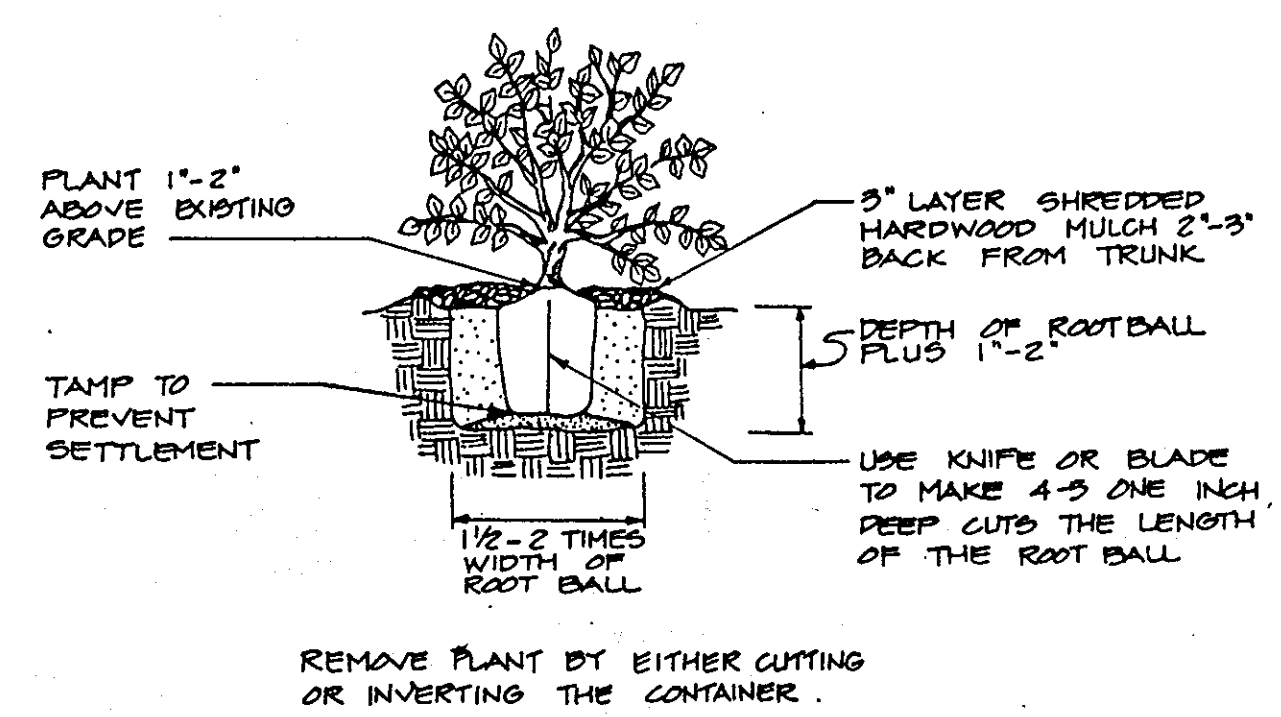


Gateway Commerce Center
 Phases I, II and III East
 Parcel A-40
 Tax Map 42
 6th Election District Howard County Maryland

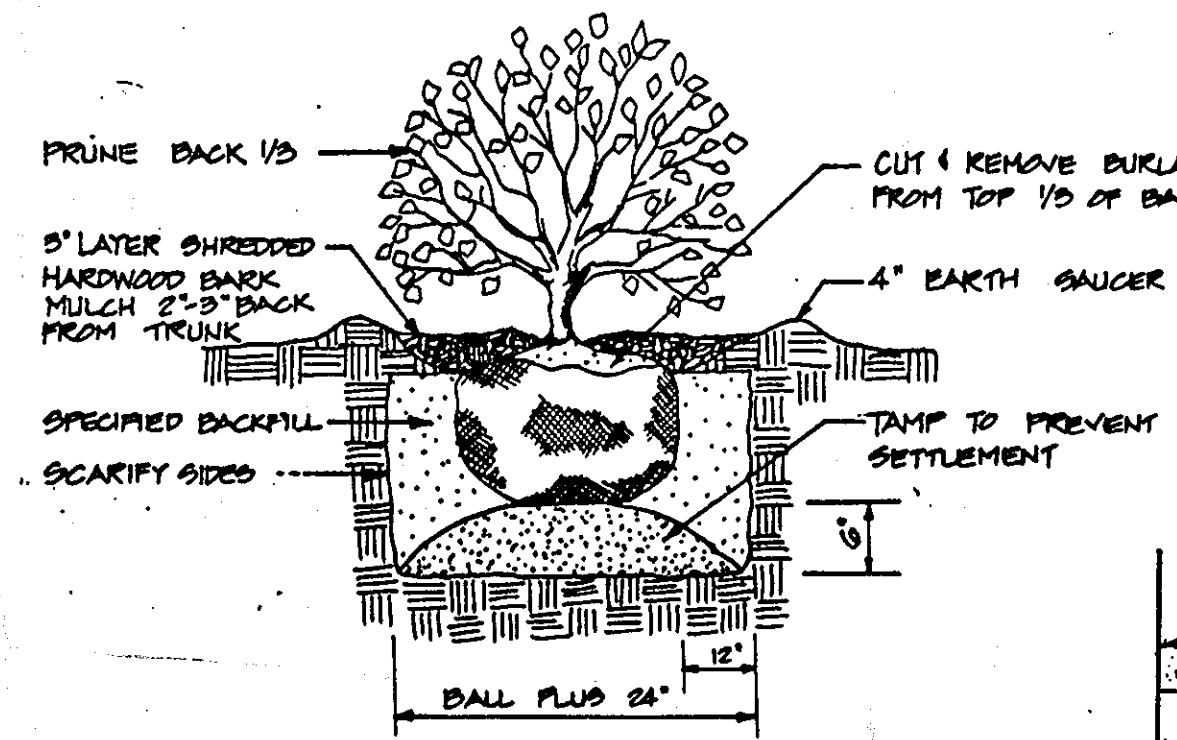
SCALE
 1"=50'
 SHEET
 9
 OF 14 SHEETS
 JOB NO.
 801-04

PLANTING NOTES

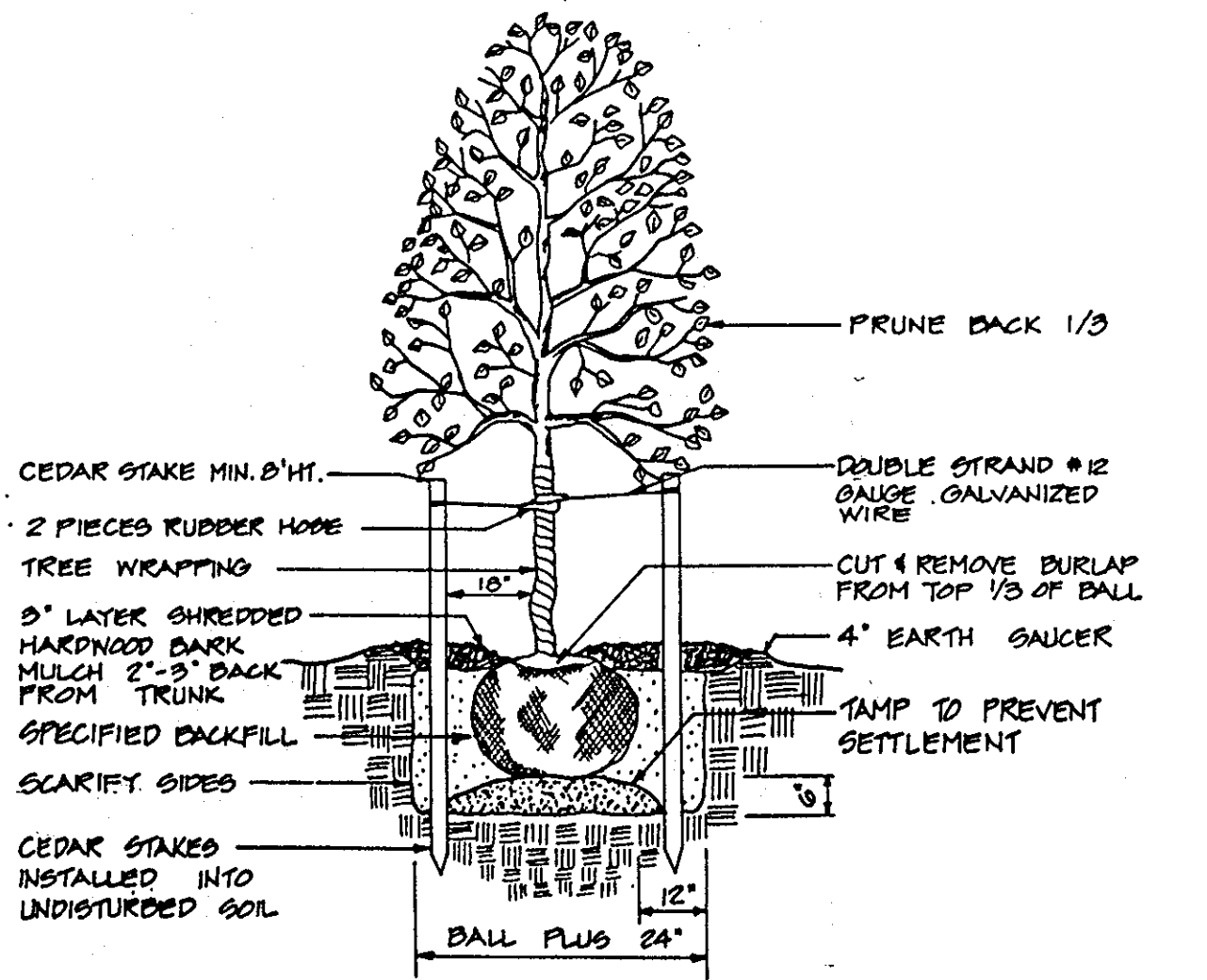
- PRIOR TO CONSTRUCTION OR EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES, UTILITY RIGHT OF WAYS, ETC...
- CONTRACTOR TO VERIFY QUANTITIES SHOWN ON PLANT LIST TOTALS TO THOSE INDICATED ON THE PLAN. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF QUANTITIES AS DRAWN. NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID NEGOTIATION OF ANY DISCREPANCIES IN PLANT COUNT. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER AN STANDARD. PLANTS TO BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.
- UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE OWNER AT BIDDING TIME.
- CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. LANDSCAPE ARCHITECT SHALL BE NOTIFIED SHOULD THE RELOCATION OF PROPOSED PLANTS BE NECESSARY.
- ALL TREES AND SHRUBS TO BE IN MULCHED BEDS. MULCH TO BE SHREDDED HARDWOOD BARK. BEDS TO HAVE SMOOTHLY CONTOURED EDGES, CLEARLY DEFINED AND SHALL GENERALLY FOLLOW THE CONTOUR OF THE GROUND. TREES LOCATED WITHIN 4' OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
- ALL TREES TO BE LOCATED A MINIMUM OF 3' FROM BUILDINGS. ALL PLANTING SHOULD BE A MINIMUM OF 4' FROM FIRE HYDRANTS.
- FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPEDE DRAINAGE AWAY FROM BUILDING.
- IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT OWNER FOR RESOLUTION PRIOR TO PLANT INSTALLATION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER MAY RESULT IN CONTRACTOR'S RELOCATION OF THE PLANTS AT HIS OWN EXPENSE.
- ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY OWNER. OWNER SHALL RECEIVE TAG FROM EACH SPECIES AND A COMPLETE LIST OF PLANT SUPPLIERS.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF ALL DISEASE, INSECT EGGS AND LARVAE.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE FULL TOPS WHICH ARE HEALTHY AND VIGOROUS. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.
- TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE REPELLED BACK FROM THE TOP OF ALL B&B PLANT MATERIAL ROOT BALLS.
- SHRUBS, GROUNDCOVERS, AND SEASONAL COLOR SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON THE PLANT LIST AND SHALL RECEIVE MULCH AS SPECIFIED IN DETAILS.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "U" CROUCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED FAILURE TO MEET MINIMUM SIZE ON ANY PLANT MAY RESULT IN REJECTION OF THAT PLANT.
- PLANTS SHALL BE PLANTED 1/6 HEIGHT OF ROOT BALL HIGHER (AFTER SETTLING) THAN ADJACENT POSITIVELY DRAINED GRADE.
- WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- TREE STAKING AND GUYING SHALL BE INSTALLED PER DETAILS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TREES TO REMAIN STRAIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- SUBSTITUTIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO AVAILABILITY OR CURRENT NURSERY STOCK. SUBSTITUTIONS SHALL BE EQUIVALENT IN SIZE, FORM, TEXTURE AND GENERAL QUALITY TO PLANTS SPECIFIED ON PLANT LIST.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE OWNER. FAILURE TO OBTAIN APPROVAL OF SUBSTITUTIONS IN WRITING FROM THE OWNER MAY POSSIBLY RESULT IN CONTRACTOR'S LIABILITY.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- AT ALL PLANTED MEDIAN STRIPS AND ISLANDS CONTRACTOR TO BERM 0" HEIGHT WITH TOPSOIL SUPPLIED ON SITE. CONTACT OWNER TO INSPECT FINE GRADING OF THESE AREAS PRIOR TO SEEDING, MULCHING, PLANTING, AND TACKING.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS, SOIL, AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY (ESPECIALLY ALL CURB, GUTTERS, AND SIDEWALKS DAILY).
- CONTRACTOR SHALL BE RESPONSIBLE TO REGRADE, HYDRO-SEED, STRAW MULCH, AND TACK ALL AREAS DISTURBED AS THE RESULT OF HIS WORK TO EQUAL OR BETTER CONDITION WITHIN 5 DAYS OF EACH AREA DISTURBED.
- INSTALLATION OF ALL LANDSCAPE RELATED MATERIALS SHALL BE IN CONFORMANCE WITH LCM/ASLA "LANDSCAPE SPECIFICATION GUIDELINES."
- ALL PLANT MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR 12 MONTHS COMMENCING ON THE DATE OF ACCEPTANCE.
- ALL DECIDUOUS TREES OVER 2" CALIPER AND EVERGREEN TREES SHALL BE GUYED SECURELY WITH GUY WIRES SPACED EQUALLY ABOUT EACH TREE. SEE DETAIL.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT PAVED, PLANTED, OR CALLED OUT AS SOO SHALL BE SEEDED WITH KENTUCKY 31 AT A RATE OF 8 LBS./1000 SQ. FT. AFTER THE AREAS HAVE BEEN BROUGHT TO GRADE. THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR BY SCARIFYING TO A DEPTH OF AT LEAST 2 INCHES.
- SOO SHALL BE APPROVED KENTUCKY 31 BLUEGRASS MIX.



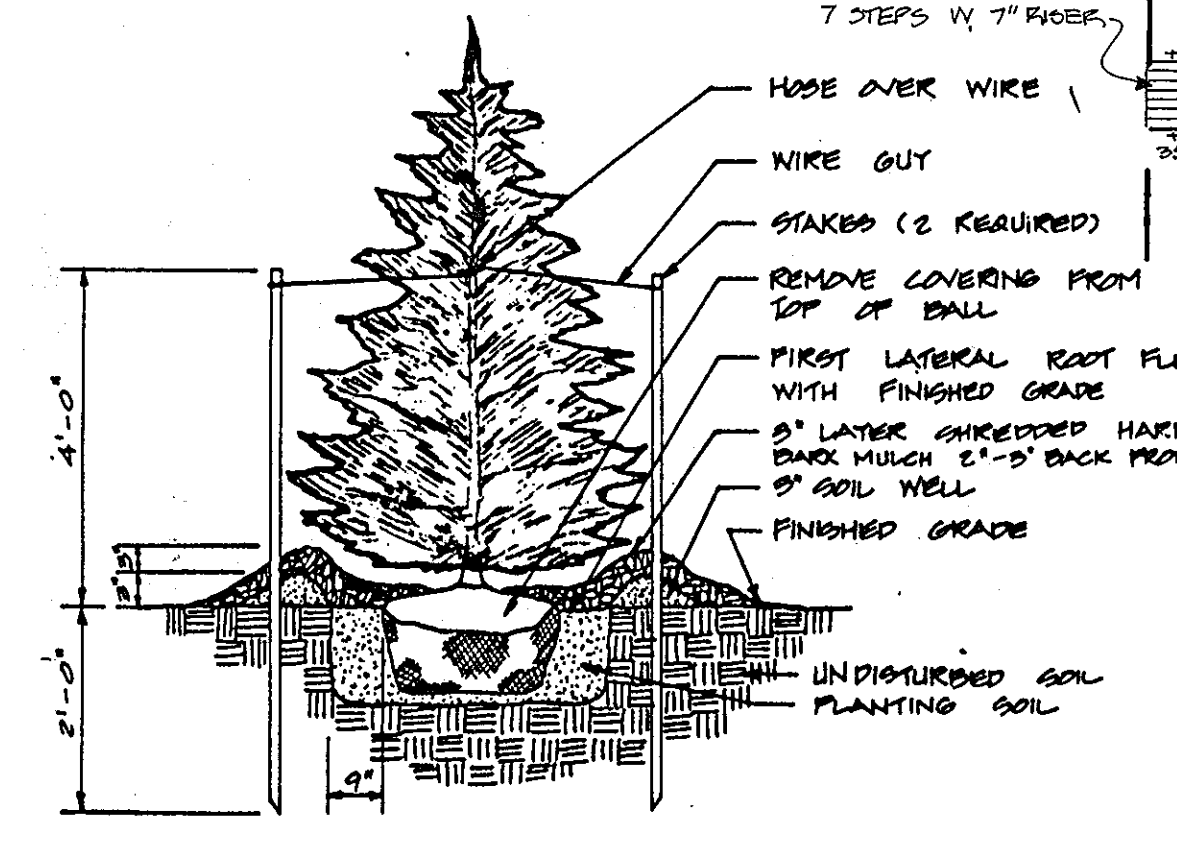
DETAIL - CONTAINERIZED PLANT PLANTING
NO SCALE



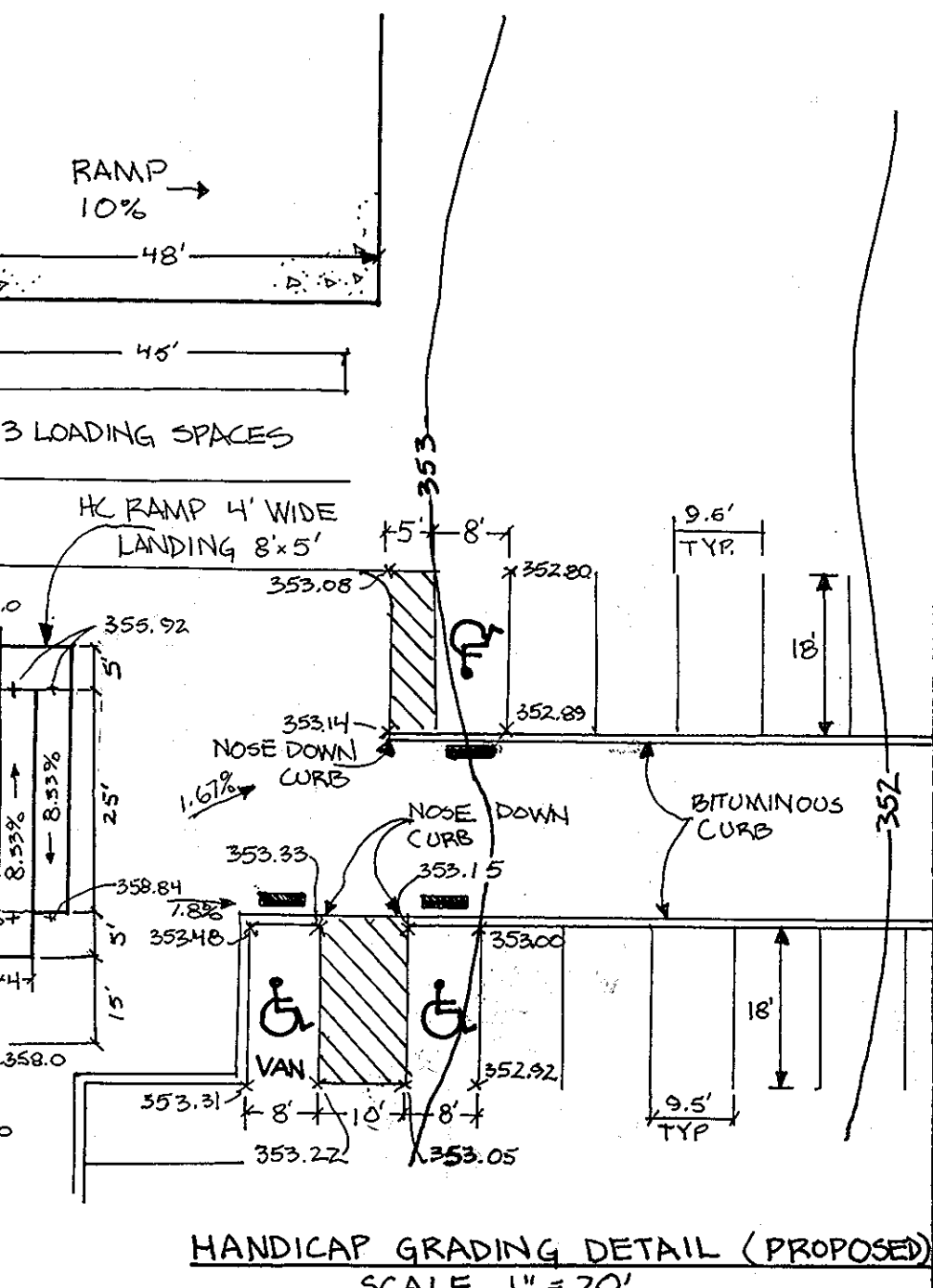
DETAIL - SHRUB PLANTING
NO SCALE



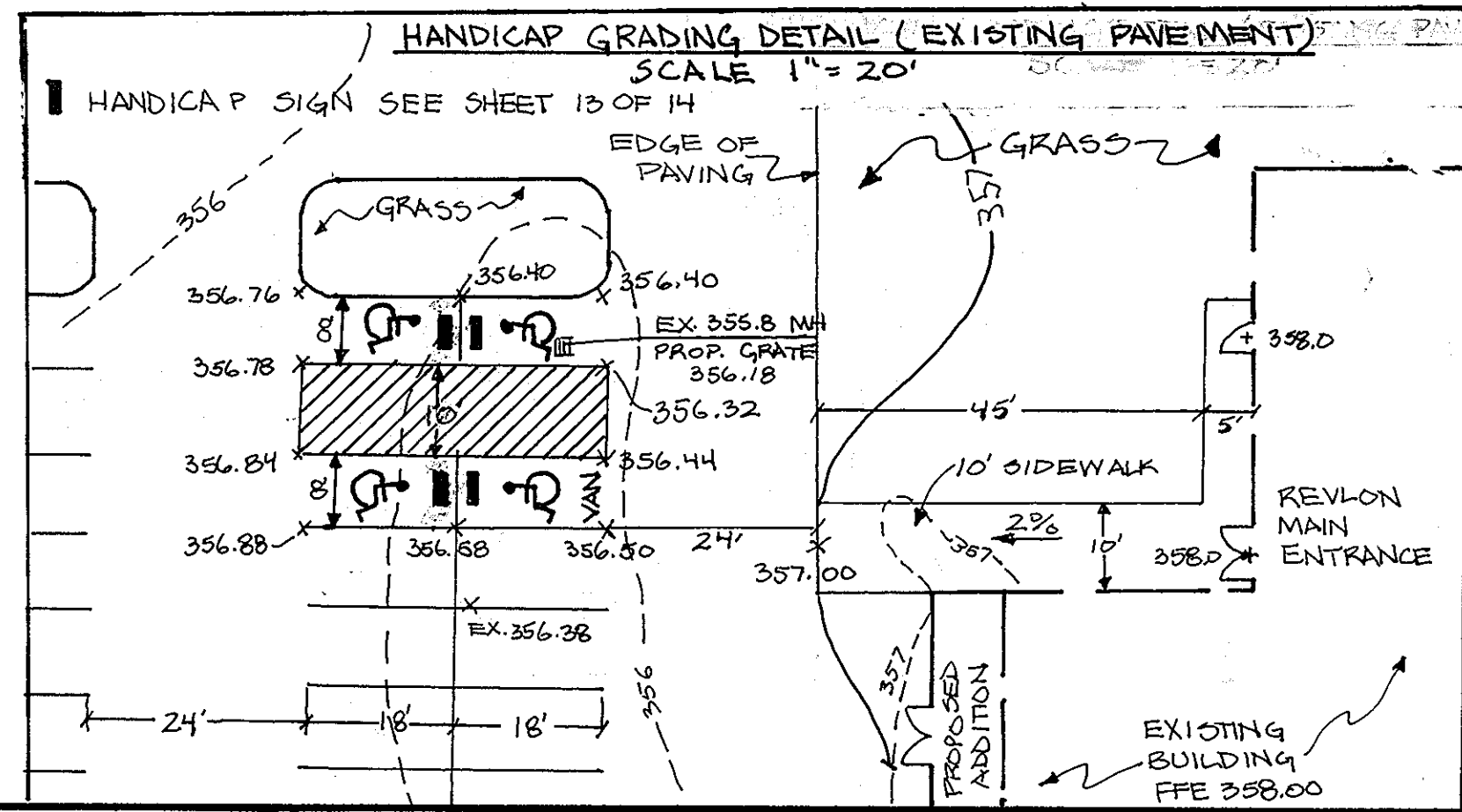
DETAIL - TREE PLANTING
NO SCALE



DETAIL - EVERGREEN TREE PLANTING
NO SCALE



HANDICAP GRADING DETAIL (PROPOSED)
SCALE 1" = 20'
SEE ARCHITECTURAL DRAWING FOR DETAILS OF STAIRWAY AND RAMP WITH RAILINGS.
HANDICAP SIGN SEE SHEET 10 OF 14.



HANDICAP GRADING DETAIL (EXISTING PAVEMENT)
SCALE 1" = 20'

SCHEDULE A - PERIMETER LANDSCAPE EDGE PHASE I, II, III, AND BERM ONLY

| CATEGORY | NORTH BOUNDARY PERIMETER | SOUTH BOUNDARY PERIMETER | EAST BOUNDARY PERIMETER | WEST BOUNDARY PERIMETER |
|--|--------------------------|--------------------------|-------------------------|-------------------------|
| LANDSCAPE TYPE | TYPE C BUFFER | TYPE C BUFFER | TYPE C BUFFER | TYPE C BUFFER |
| LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER | 1263.69' | 630.23' | 1635.29' | 1077.45' |
| CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED) | NO | NO | NO | NO |
| NUMBER OF PLANTS REQUIRED: | | | | |
| SHADE TREES | 10 | 12 | 33 | 33 |
| EVERGREEN TREES | 20 | 24 | 65 | 66 |
| SHRUBS | - | - | - | - |
| NUMBER OF PLANTS PROVIDED: | | | | |
| SHADE TREES | 13 EXIST. TREES | 5 | - | 35 |
| EVERGREEN TREES (2:1 SUBST.) | 14 | 11 | - | 75 |
| OTHER TREES (2:1 SUBST.) | 3 | 39 | - | - |
| SHRUBS (0:1 SUBST.) | - | - | - | - |

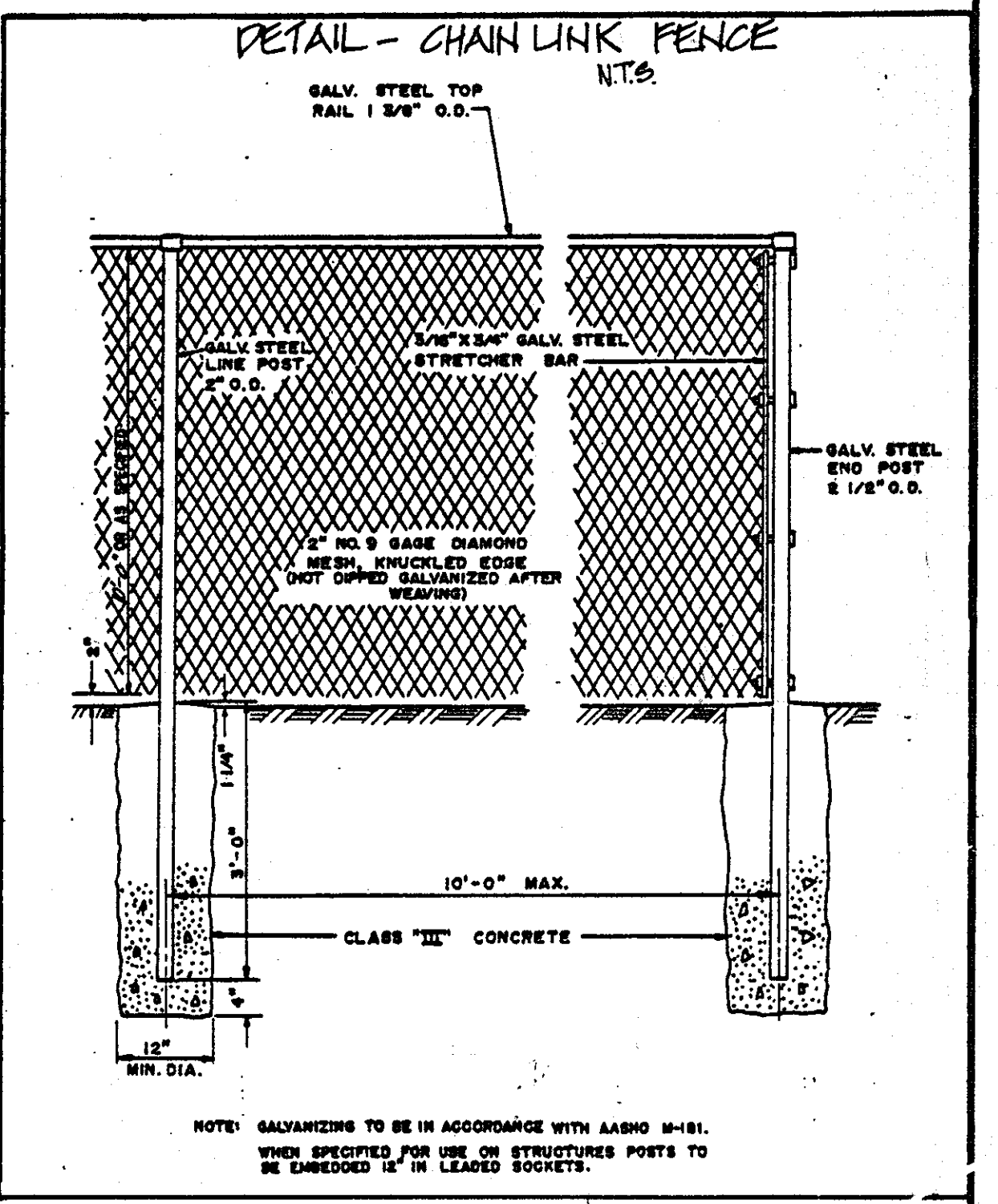
COMMENTS: ABOVE SCHEDULE SUBJECT TO ALTERNATIVE COMPLIANCE.

PLANT SCHEDULE PHASE I, II, III, AND BERM ONLY

| KEY | BOTANICAL/COMMON | QUANT. | SIZE | REMARK |
|-----|---|--------|----------------|--------------|
| AR | ACER RUBRUM/RED MAPLE | 16 | 2-1/2"-3" CAL. | B&B |
| LS | LIQUIDAMBAR STRYACIFLUA/SWEETGUM | 15 | 2-1/2"-3" CAL. | B&B |
| PN | PINUS NIGRA/AUSTRIAN PINE | 27 | 6-8" HGT. | B&B |
| PS | PINUS STROBUS/WHITE PINE | 67 | 6-8" HGT. | B&B |
| PY | PINUS SYLVESTRIS/SCOTCH PINE | 11 | 6-8" HGT. | B&B |
| QP | QUERCUS PALUSTRIS/PIN OAK | 14 | 2-1/2"-3" CAL. | B&B |
| CS | CORNUS STOLONIFERA/RED-OSIER DOGWOOD | 12 | 2-1/2"-3" HGT. | B&B OR CONT. |
| FI | FORSYTHIA INTERMEDIA 'SPECTABILIS'/SHOWY BORDER FORSYTHIA | 16 | 2-1/2"-3" HGT. | B&B OR CONT. |
| SC | SAMBUCUS CANADENSIS 'AUREA'/GOLDEN ELDER | 12 | 2-1/2"-3" HGT. | B&B OR CONT. |
| QW | QUERCUS PHELLOS/WILLOW OAK | 5 | 2-1/2"-3" CAL. | B&B |
| PC | PYRUS Calleryana/BRADSHAW PEACH | 8 | 2-1/2"-3" CAL. | B&B |

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING PHASE I, II, III, AND BERM ONLY

| | |
|---|---------------------|
| NUMBER OF PARKING SPACES | 340-392 |
| NUMBER OF TREES REQUIRED(1:20) | 18-20 |
| NUMBER OF TREES PROVIDED | 18-20 |
| SHADE TREES | - |
| OTHER TREES (2:1 SUBST.) | - |
| NO. OF LANDSCAPE ISLANDS REQ.(1:20) (AREA OF 1 ISLAND: 200 SQ. FT.) | 18 OR 20 |
| | 3600 SQ. FT. 4000 |
| NO. OF LANDSCAPE ISLANDS PROVIDED: | 26-9 OR 27-2 |
| | 736-9 SQ. FT. 3,237 |



DETAIL - CHAIN LINK FENCE
N.T.S.

APPROVED DEPARTMENT OF PLANNING AND ZONING

[Signature] 1/12/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

[Signature] 1/16/97
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 1/16/97
DIRECTOR DATE

OWNER
PARCEL A-40 ASSOCIATES, LLC
8330 BOONE BOULEVARD
SUITE 460
VIENNA, VIRGINIA 22182
MR. OLAV KOLLEVOLL
(703) 847-5270

NOTE: PLAT REFERENCE 12115-12121, RECORDED APRIL 11, 1996 REVISION TO PREVIOUSLY APPROVED SDP-96-118 TO INCLUDE THE REGRADING THE EAST SIDE OF THE SITE, PHASE I, II, AND III, THE ADDITION OF 120,000 SQ. FT. BUILDING TO PHASE III AND ENLARGE THE BERM AREA ON THE WEST SIDE OF THE SITE

LOIEDERMAN ASSOCIATES, INC.
CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
ENVIRONMENTAL STUDIES

15200 Shady Grove Road
Rockville, Maryland 20850
(301) 948-2750

4407 Forbes Boulevard
Lanham, Maryland 20706
(301) 794-7555

258 West Patrick Street
Frederick, Maryland 21701
(301) 698-1240
Metro (301) 831-4544

| Designed | Drafted | Checked | Proj. Eng. | Office | Date |
|----------|---------|---------|------------|---|-----------|
| DWL | MAM | KLM | KLM | LANHAM | DEC. 1990 |
| | | | 3 | REVISED SCHEDULE 'A' AND PLANT SCHEDULE | 2/12/97 |
| | | | 2 | REVISED PER APPROVED REDLINE | 4/13/97 |
| | | | 1 | REVISED PER COUNTY COMMENTS | 1/18/99 |
| | | | | REVISIONS | BY DATE |

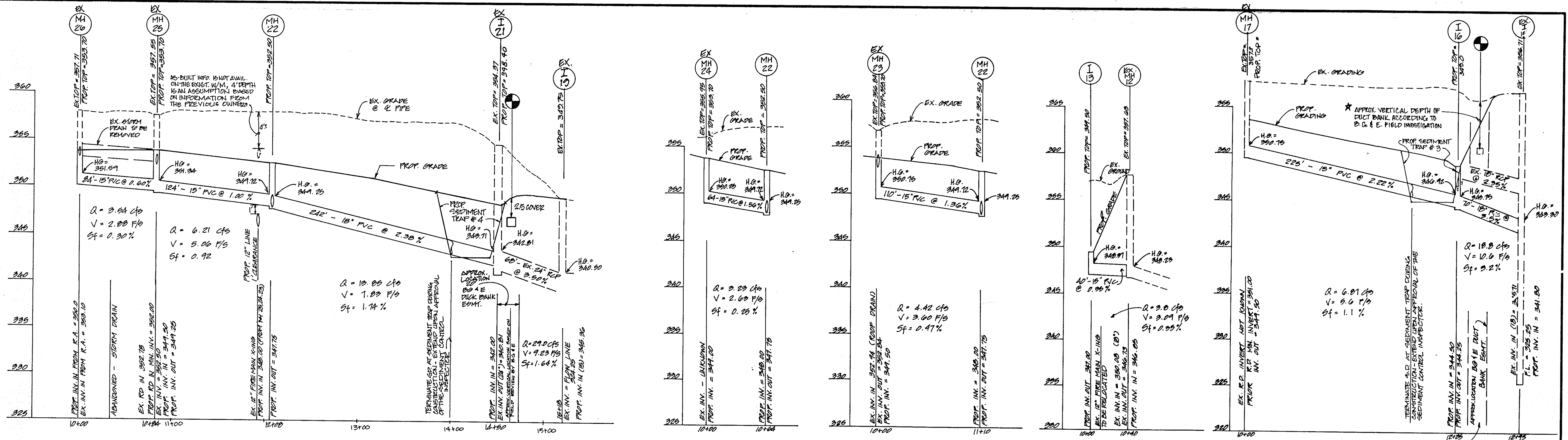
LANDSCAPE DETAIL SHEET

STATE OF MARYLAND
JOHN ALAN SPIEGEL
REGISTERED LANDSCAPE ARCHITECT

17-DEC-90
3-MAR-97

Gateway Commerce Center
Phases I, II and III East
Parcel A-40
Tax Map 42
6th Election District Howard County Maryland

SCALE AS NOTED
SHEET 10 OF 14 SHEETS
JOB NO. 801-04
SDP-97-42



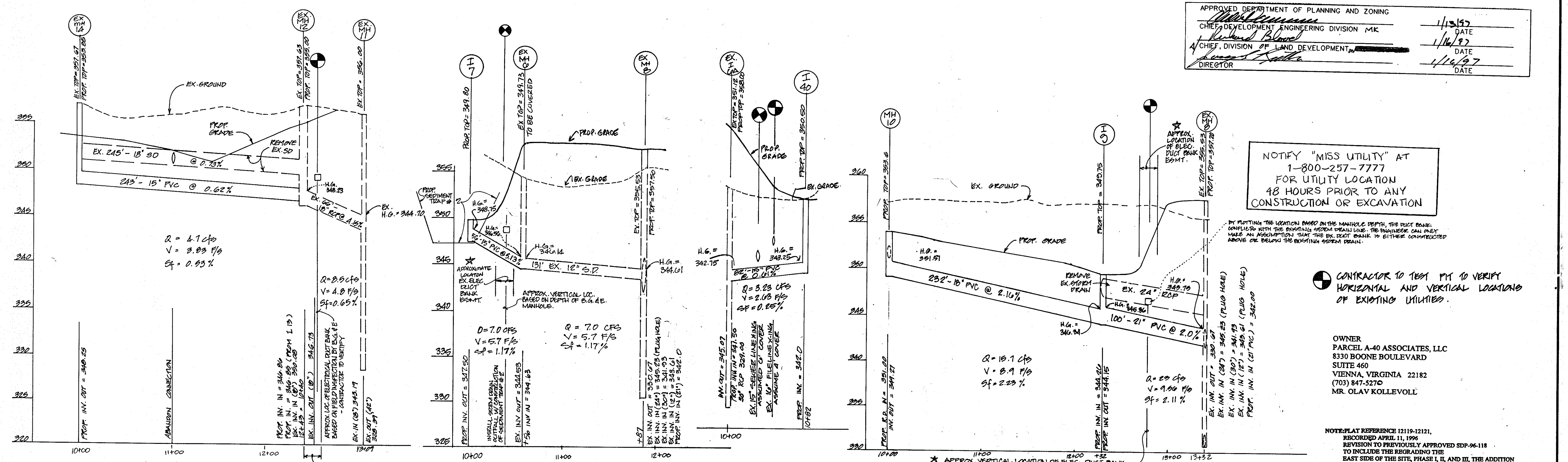
CONTRACTOR MUST VERIFY HORIZONTAL & VERTICAL LOCATION FOR UTILITIES CONSTRUCTION

APPROVED DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION MK 1/13/97
DATE

CHIEF DIVISION OF LAND DEVELOPMENT 1/16/97
DATE

DIRECTOR 1/14/97
DATE



NOTIFY "MISS UTILITY" AT 1-800-257-7777 FOR UTILITY LOCATION 48 HOURS PRIOR TO ANY CONSTRUCTION OR EXCAVATION

CONTRACTOR TO TEST PIT TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES.

OWNER
PARCEL A-40 ASSOCIATES, LLC
8330 BOONE BOULEVARD
SUITE 460
VIENNA, VIRGINIA 22182
(703) 847-5270
MR. OLAV KOLLEVOLL

NOTE: PLAT REFERENCE 12119-12121, RECORDED APRIL 11, 1996
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LOIEDERMAN ASSOCIATES, INC.
CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
ENVIRONMENTAL STUDIES

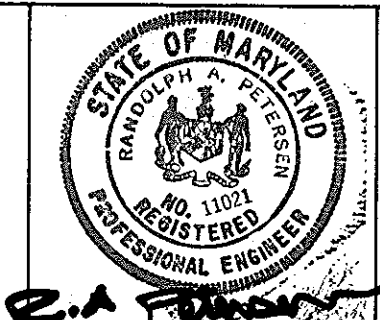
15200 Shady Grove Road Rockville, Maryland 20850 (301) 948-2750

4407 Forbes Boulevard Lanham, Maryland 20706 (301) 794-7555

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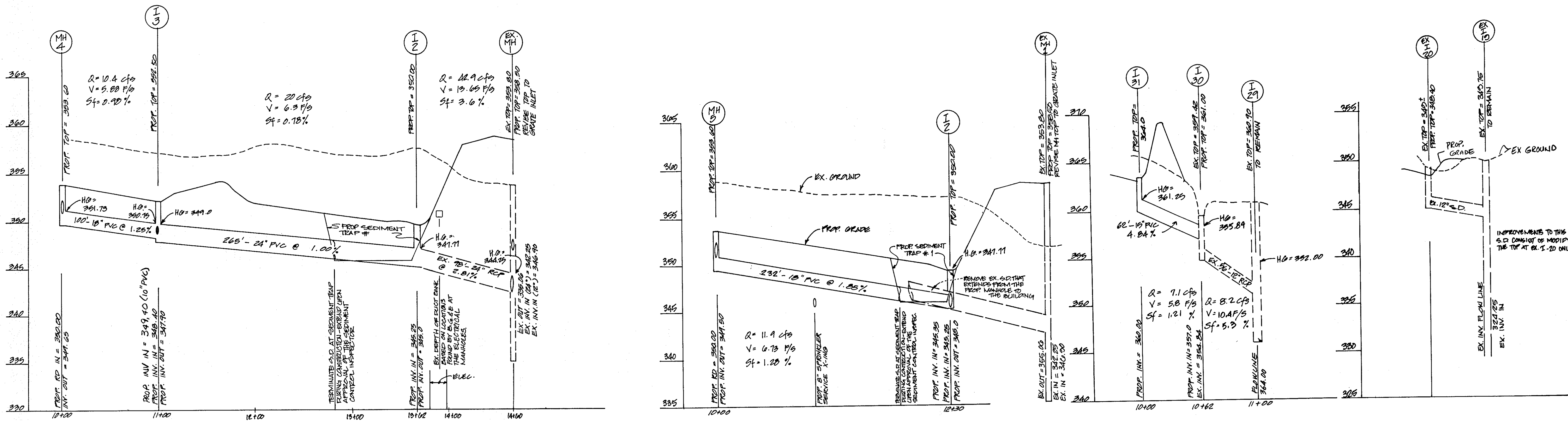
| | | | |
|------------|----------|-----|----------------------------------|
| Designed | DWL | | |
| Drafted | MAM | | |
| Checked | KLM | | |
| Proj. Eng. | KLM | | |
| OFFICE | LANHAM | | |
| DATE | 10/11/96 | 1 | REVISED S.D. PER COUNTY COMMENTS |
| | | NO. | REVISIONS |
| | | BY | DATE |
| | | | 12/21/96 |

STORM DRAIN PROFILES

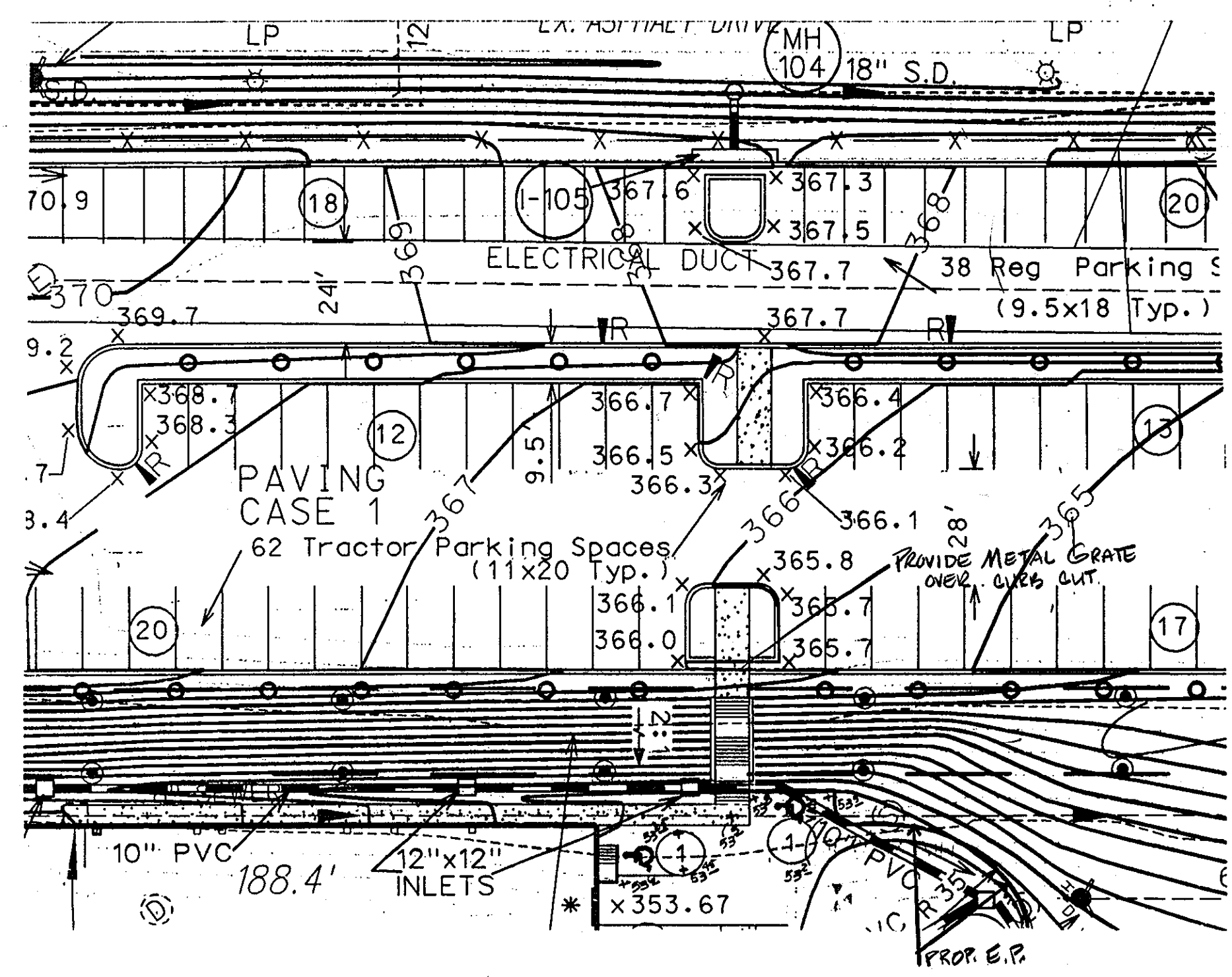


Gateway Commerce Center
Phases I, II and III East
Parcel A-40
Tax Map 42
6th Election District Howard County Maryland

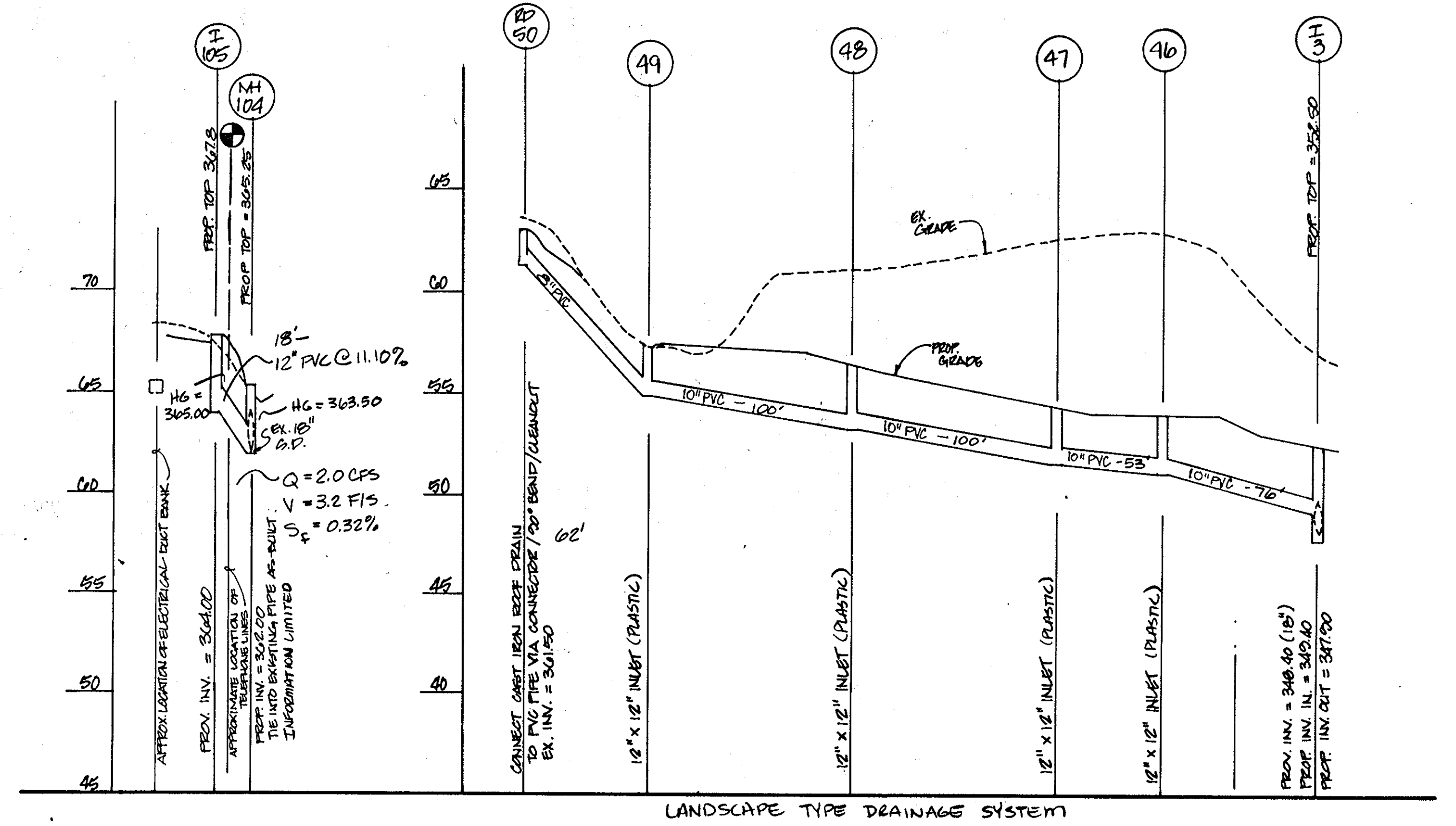
| | |
|--------------|----------|
| SCALE | AS NOTED |
| SHEET | 11 |
| OF 11 SHEETS | |
| JOB NO. | 801-04 |



SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'



HANDICAP ACCESS
 1" = 30'



NOTIFY "MISS UTILITY" AT
 1-800-251-7777
 FOR UTILITY LOCATION
 48 HOURS PRIOR TO ANY
 CONSTRUCTION OR EXCAVATION

OWNER: PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD, SUITE 450
 VIENNA, VIRGINIA 22182
 (703) 847-5270
 MR. OLAV KOLLEVOLL

NOTE: PLAT REFERENCE 12119-12121, RECORDED APRIL 11, 1996
 REVISION TO PREVIOUSLY APPROVED SDP-96-118 TO INCLUDE THE REGRADING THE EAST SIDE OF THE SITE, PHASE I, II, AND III, THE ADDITION OF 120,000 SQ. FT. BUILDING TO PHASE III AND ENLARGE THE BERM AREA ON THE WEST SIDE OF THE SITE

APPROVED DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

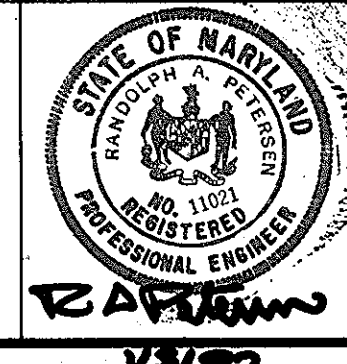
DATE: 1/13/97
 DATE: 1/16/97
 DATE: 1/16/97

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES

15200 Shady Grove Road, Rockville, Maryland 20850 (301) 948-2750
 4407 Forbes Boulevard, Lanham, Maryland 20706 (301) 794-7555
 258 West Patrick Street, Frederick, Maryland 21701 (301) 696-1240 Metro (301) 831-4544

| | | | | | |
|------------|----------|-----|--------------------------------|-----|---------|
| Designed | DWL | 1 | REVISED PLAN PER H.C. COMMENTS | KM | 12/8/94 |
| Drafted | MAM | 2 | REVISED PER APPROVED REDLINE | NAM | 5/1/97 |
| Checked | KLM | | | | |
| Proj. Eng. | KLM | | | | |
| OFFICE | LANHAM | | | | |
| DATE | 10/11/96 | NO. | REVISIONS | BY | DATE |

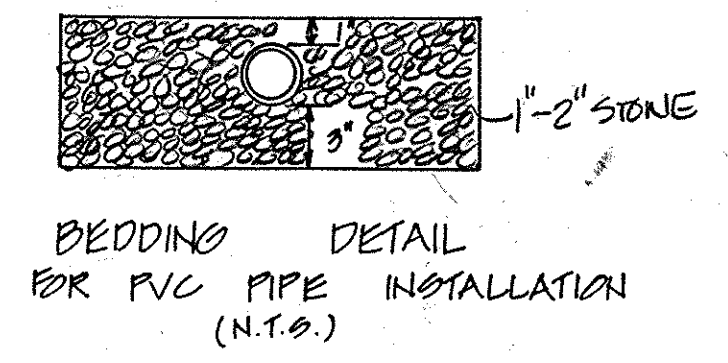
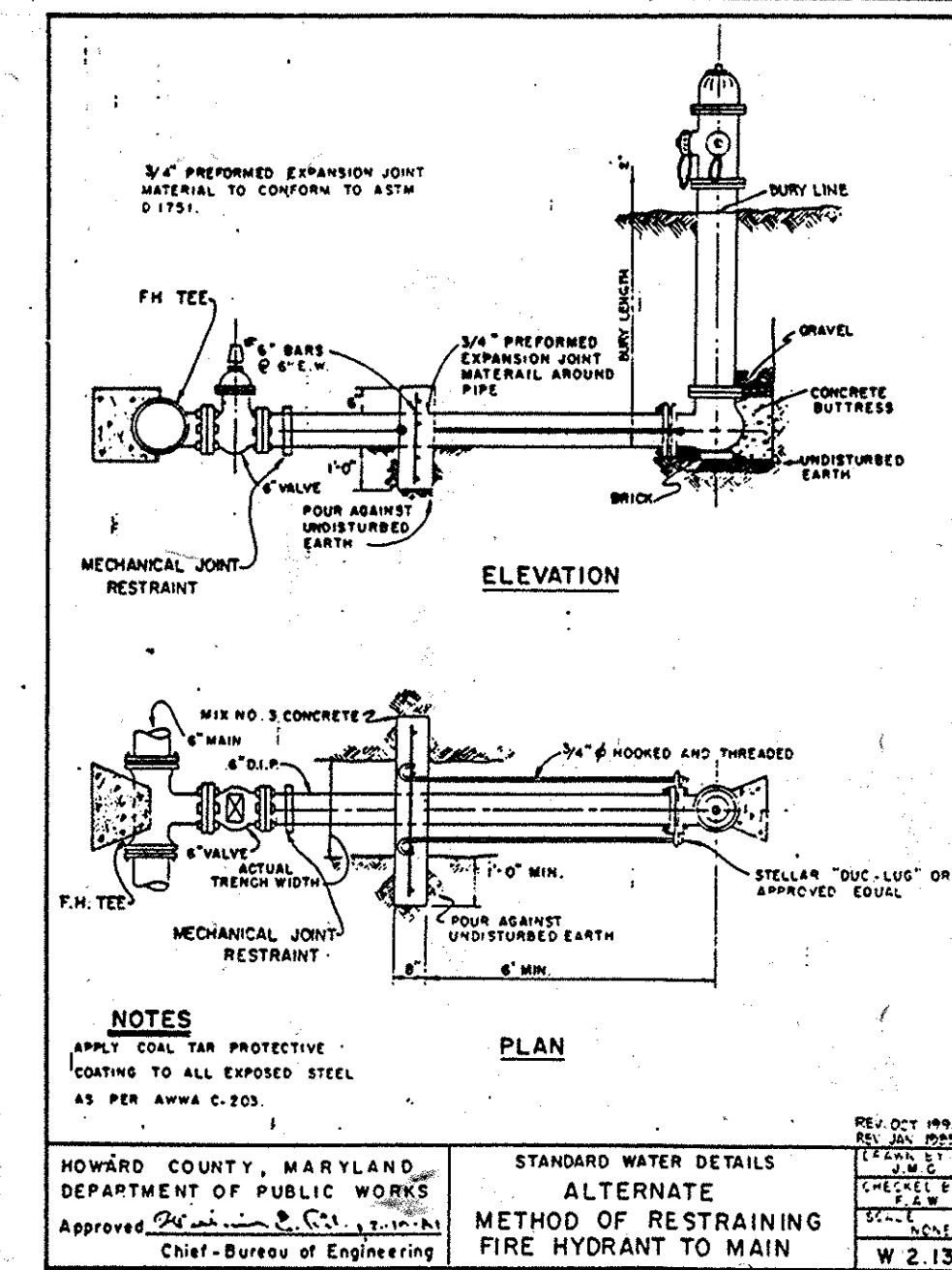
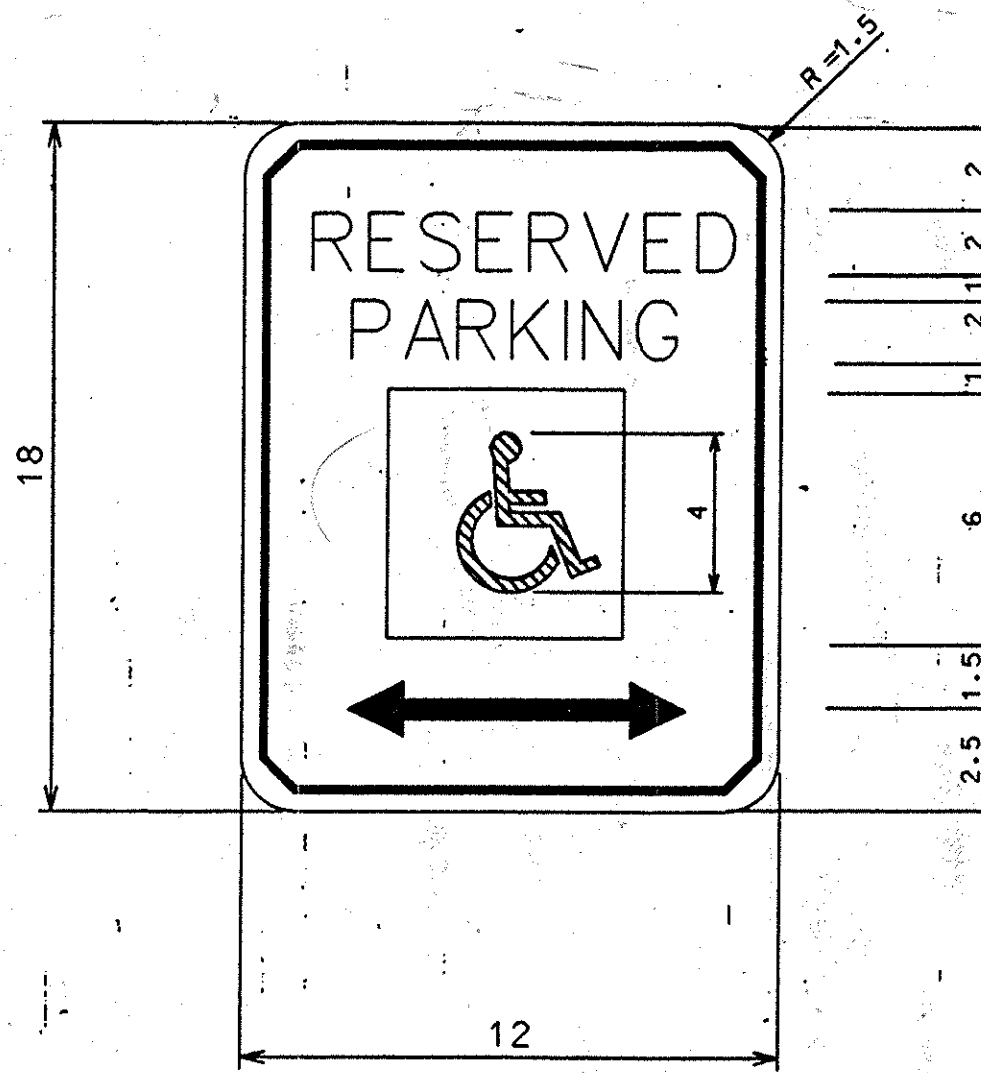
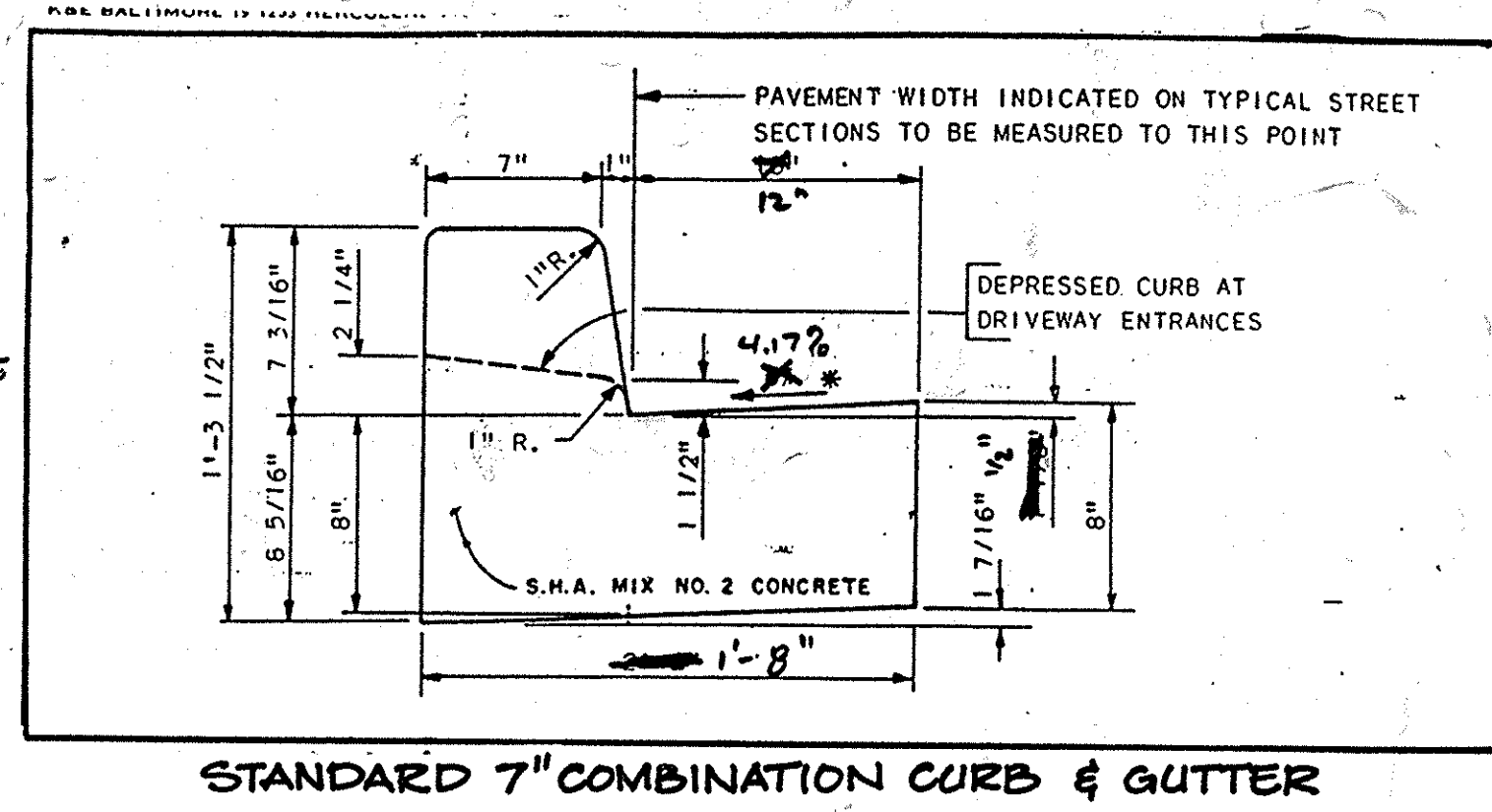
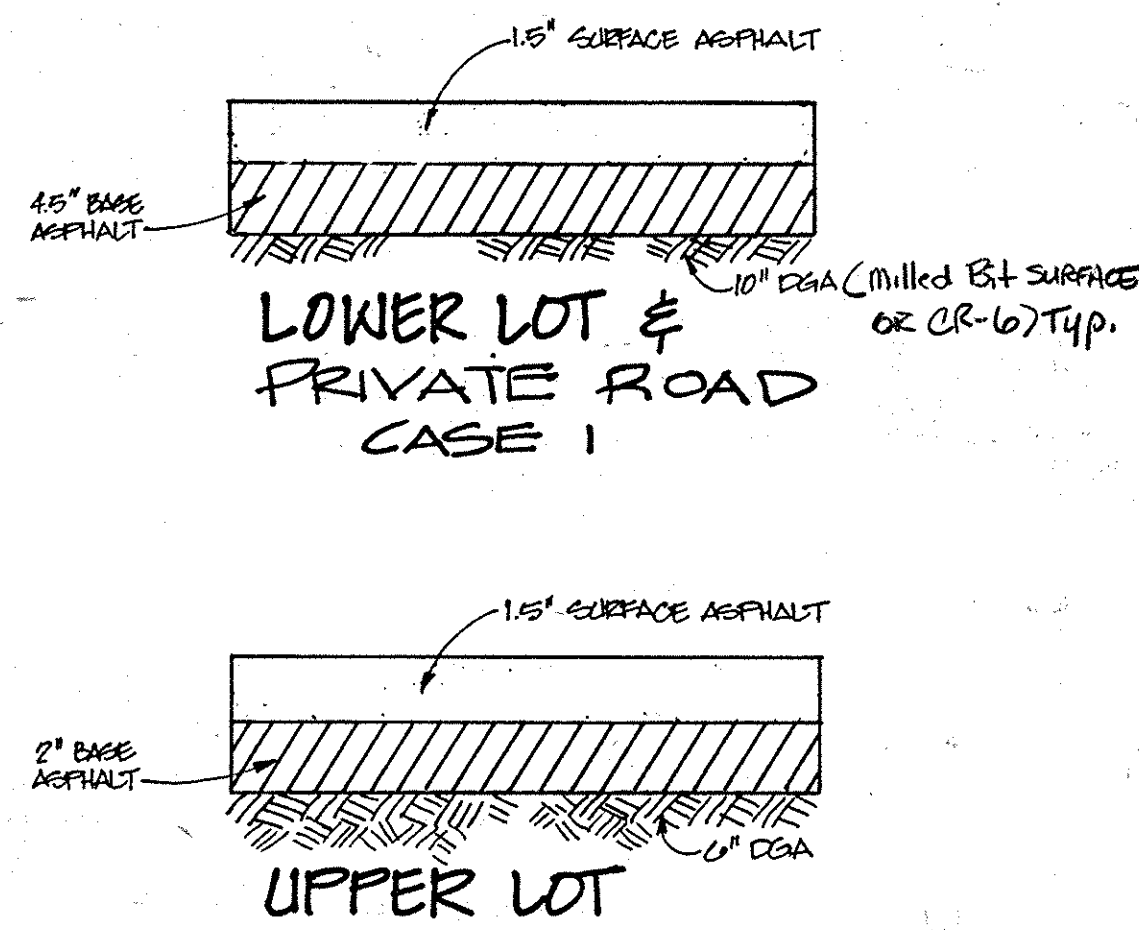
STORM DRAIN PROFILES



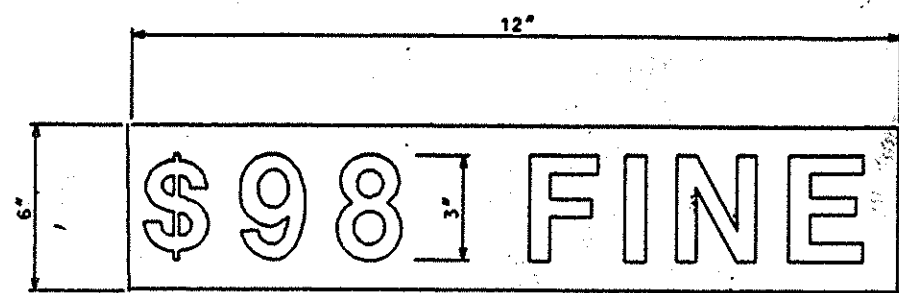
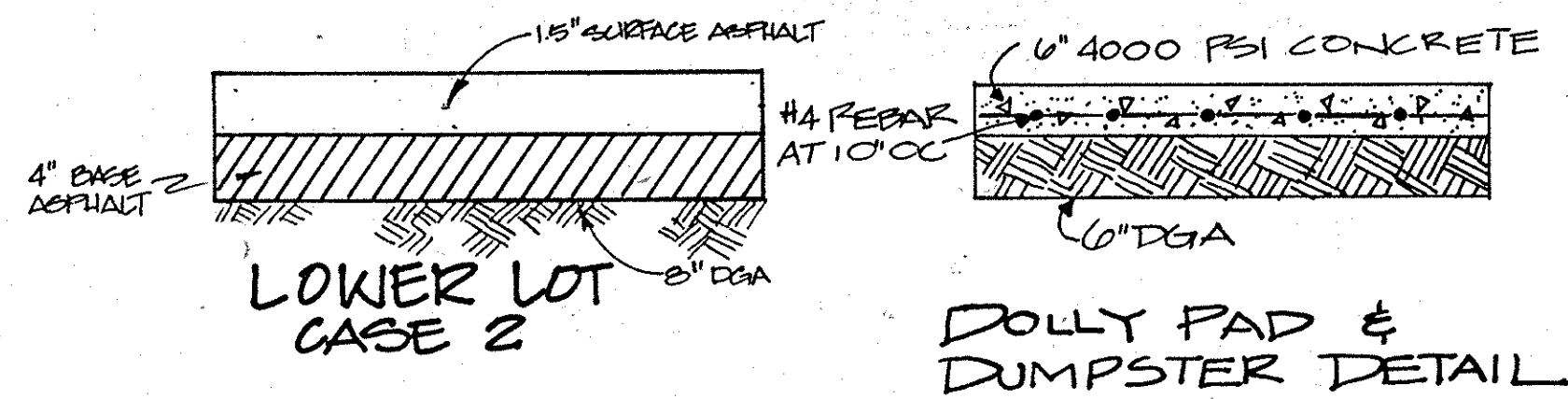
Gateway Commerce Center
 Phases I, II and III East
 Parcel A-40
 Tax Map 42
 6th Election District Howard County Maryland

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

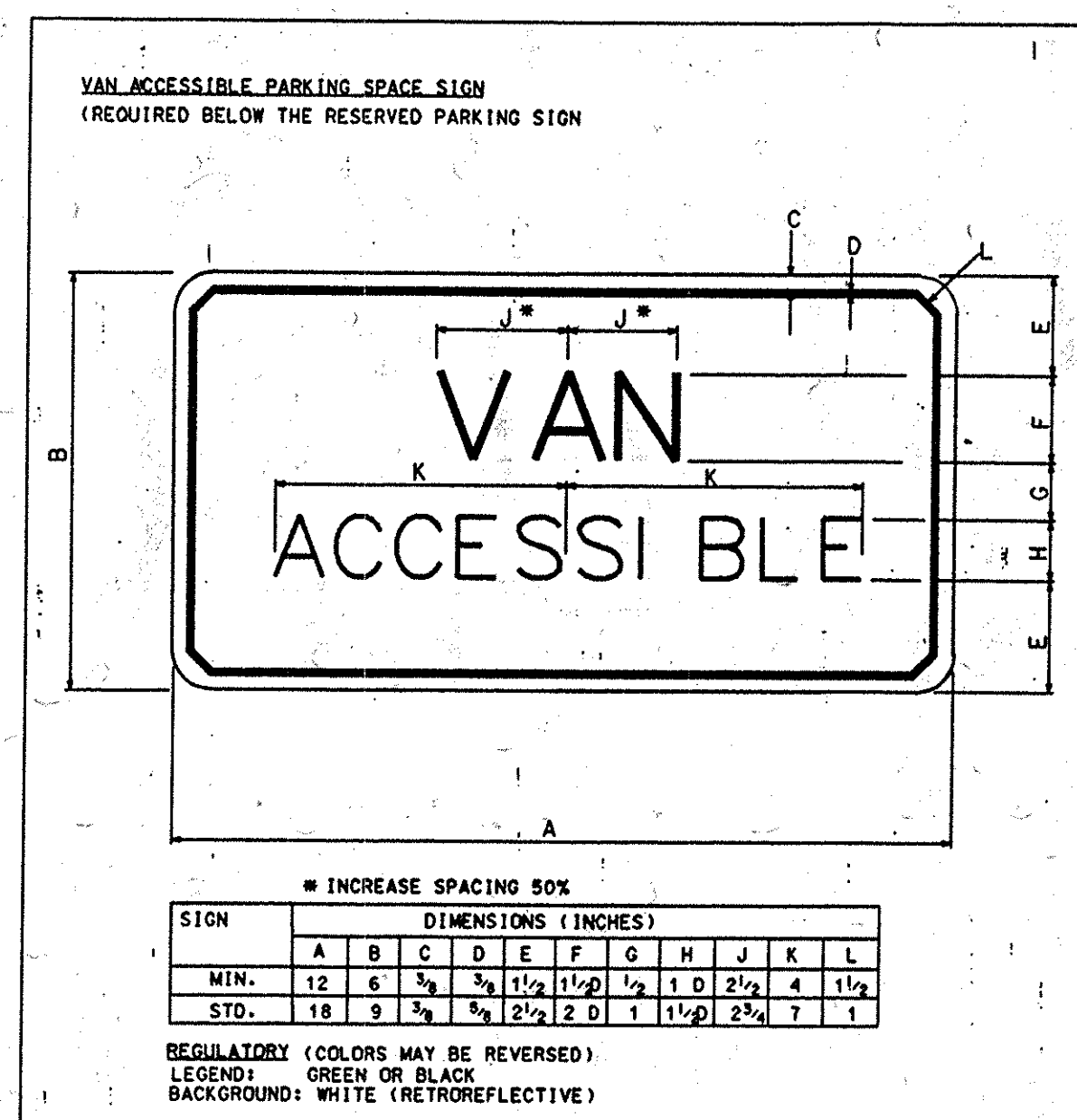
SHEET 12 OF 14 SHEETS
 JOB NO. 801-04



REFERENCE:
STATE OF MARYLAND STANDARD HIGHWAY SIGNS BOOKLET
MARYLAND DEPARTMENT OF TRANSPORTATION
P.O. BOX 717 - 707 N. CALVERT STREET
BALTIMORE, MD 21203



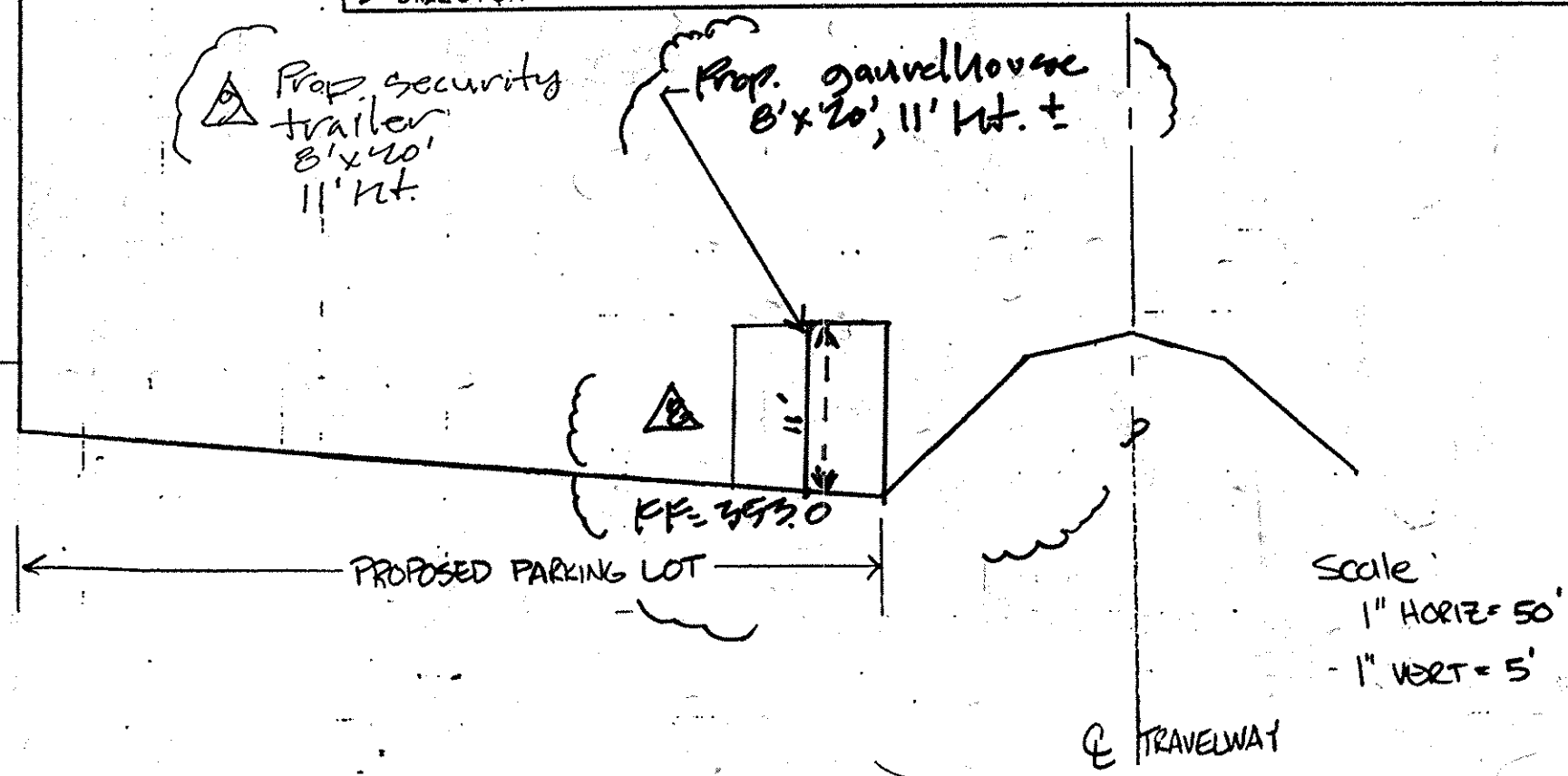
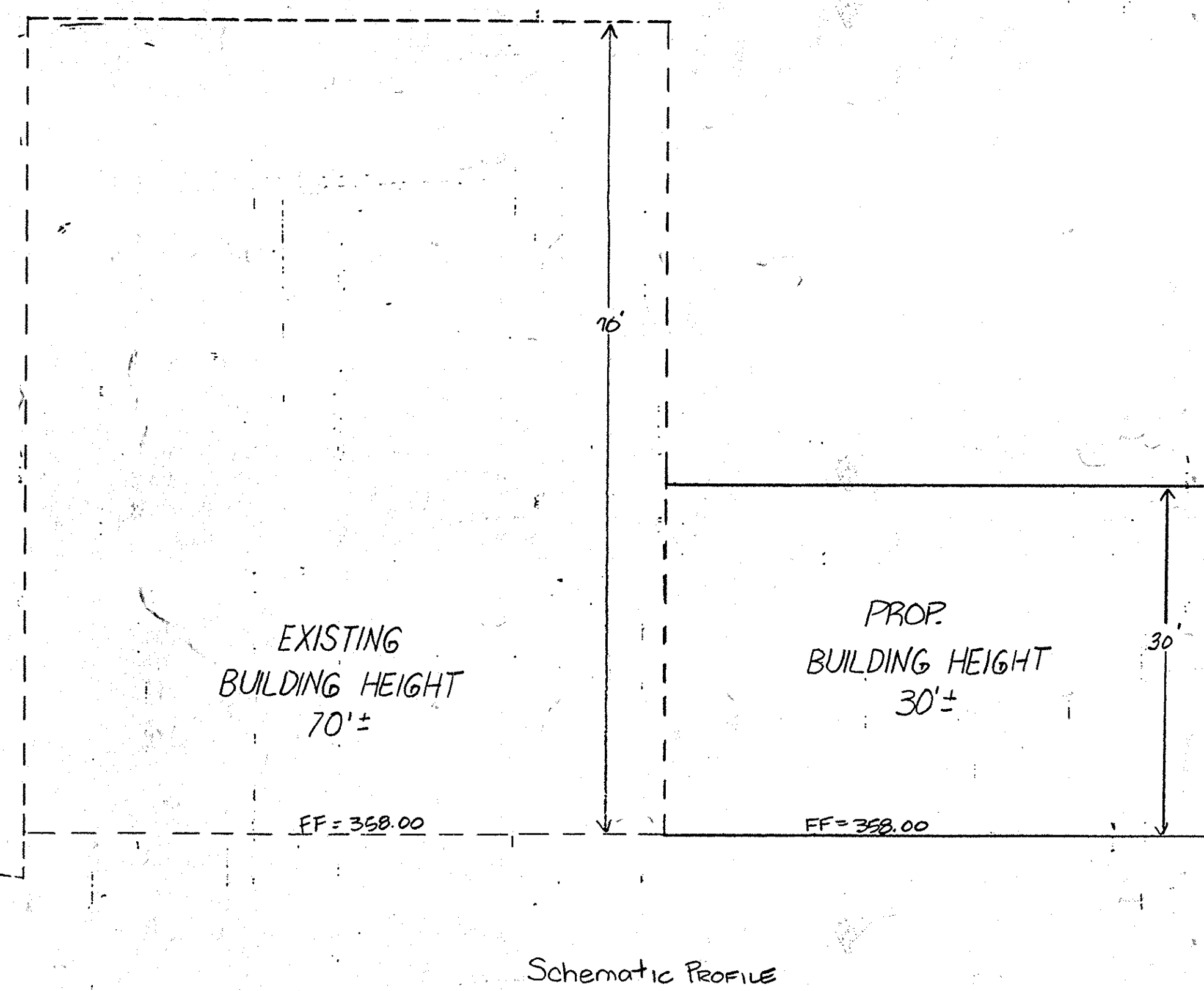
- SIGN WILL HAVE AN ALUMINUM BLANK, 0.080 INCH THICK WITH TWO SINGLE POST MOUNTING HOLES - STANDARD GREEN BACKGROUND SHALL BE REFLECTIVE WHITE.
- MOUNT BELOW THE R7-8 RESERVES PARKING SIGN, BOTTOMNO LESS THAN 7' ABOVE GROUND.



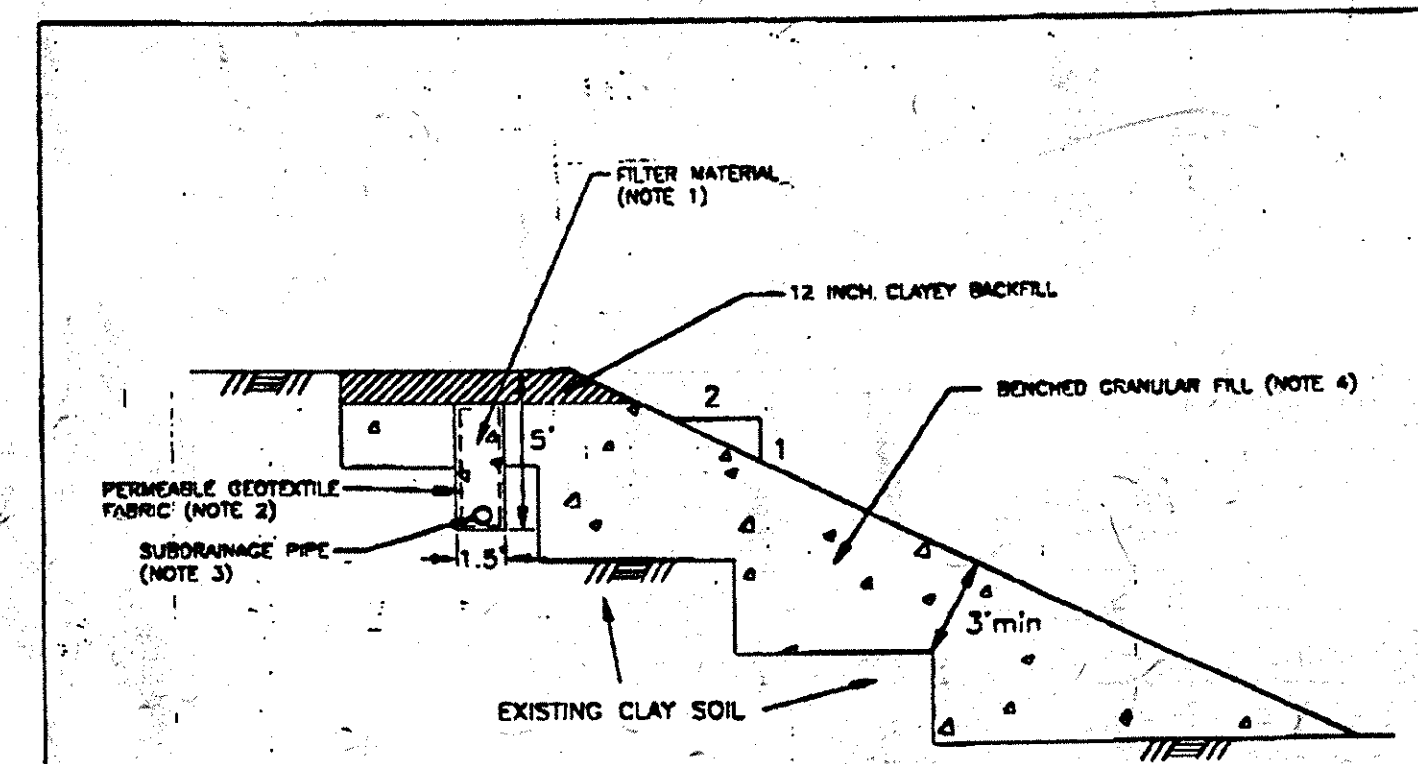
APPROVED DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

1/13/97 DATE
 1/16/97 DATE
 1/18/97 DATE

435
425
415
405
395
385
375
365
355
345



FIRE HYDRANT RESTRAINT METHOD FOR RELOCATED FIRE HYDRANTS



- SLOPE STABILIZATION NOTES
- FILTER MATERIAL GRADATION SHOULD SATISFY REQUIREMENTS FOR ASTM NO. 7 COARSE AGGREGATE.
 - PERMEABLE FABRIC SHOULD HAVE EQUIVALENT OPEN SIZE NOT LARGER THAN THE NO. 70 U.S. STANDARD SIZE.
 - SUBDRAINAGE PIPING SHOULD BE 4 INCH DIAMETER SLOTTED CORRUGATED POLYETHYLENE (PE) TUBING ACCORDING TO ASTM F-403 WITH MAXIMUM 1/8 INCH SLOT WIDTH. PIPING SHOULD OUTLET BY GRAVITY ON THE EAST END OF THE SLOPE.
 - GRANULAR FILL CLASSIFIED AS SW, CW, CP, OR CW PER ASTM 2487, OR CRUSHED SOME COURSER THAN ASTM NO. 57 STONE SHOULD BE BENCHMARKED INTO THE EXISTING HILLSIDE. THIS BENCH SHOULD CONSIST OF A MINIMUM 8 FEET WIDE LEVEL CUT AND AT LEAST ONE SUCH BENCH SHOULD BE USED FOR EACH 3 FEET OF VERTICAL RISE OF FILL PLACED. THE FILL SHOULD BE COMPACTED TO AT LEAST 85% OF ASTM D-698. FINAL SLOPES SHOULD HAVE A SLOPE NO STEEPER THAN 2H:1V.
 - EROSION CONTROL MUST BE DEVELOPED ON THE FINAL SLOPE SURFACE.

962428C

SCHNABEL ENGINEERING ASSOCIATES
 200 WEST PATRICK STREET
 FREDERICK, MARYLAND 21701

Giant Food Warehouse, Gateway Commerce Center, Howard County, Maryland

SLOPE STABILIZATION SCHEME 2

DATE: Dec. 1996
 DRAWN BY: MGC

CONTRACT No.: 962428
 SCALE: N.T.S.

FIGURE No.: 2

REFER TO GEOTECHNICAL REPORT FOR SLOPE DESIGN

OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182
 (703) 847-5270
 MR. OLAV KOLLEVOLL



Century Engineering
 for Rev. #8 only
 #9 only

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING ENVIRONMENTAL STUDIES LAND SURVEYING

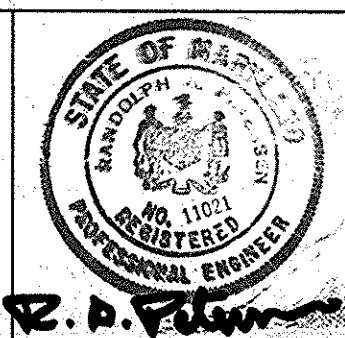
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4407 Forbes Boulevard
 Lanham, Maryland 20706
 (301) 794-7555

258 West Patrick Street
 Frederick, Maryland 21701
 (301) 696-1240
 Metro (301) 831-4544

| DESIGNED | DRAFTED | CHECKED | PROJ. ENG. | OFFICE | DATE | NO. | REVISIONS | BY | DATE |
|----------|---------|---------|------------|--------|---------|-----|------------------------------------|-----|----------|
| KLM | MAM | KLM | KLM | LANHAM | 12/6/96 | 1 | ADDITIONAL SHEET PER H.C. COMMENTS | Km | 12/8/96 |
| | | | | | | 2 | Add guardhouse | USE | 04/19/97 |
| | | | | | | 3 | Add security trailer | USE | 12/3/97 |

MISCELLANEOUS DETAILS AND COUNTY REQUIREMENTS



Gateway Commerce Center
 Phases I, II and III East
 Parcel A-40
 Tax Map 42
 6th Election District Howard County Maryland

| |
|----------------|
| SCALE AS NOTED |
| SHEET 13 |
| OF 14 SHEETS |
| JOB NO. 801-04 |

