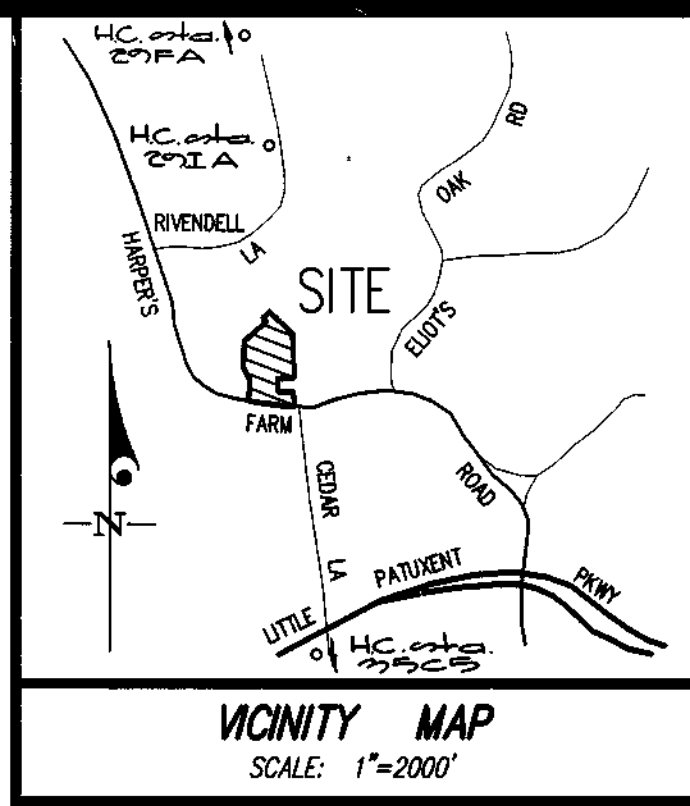
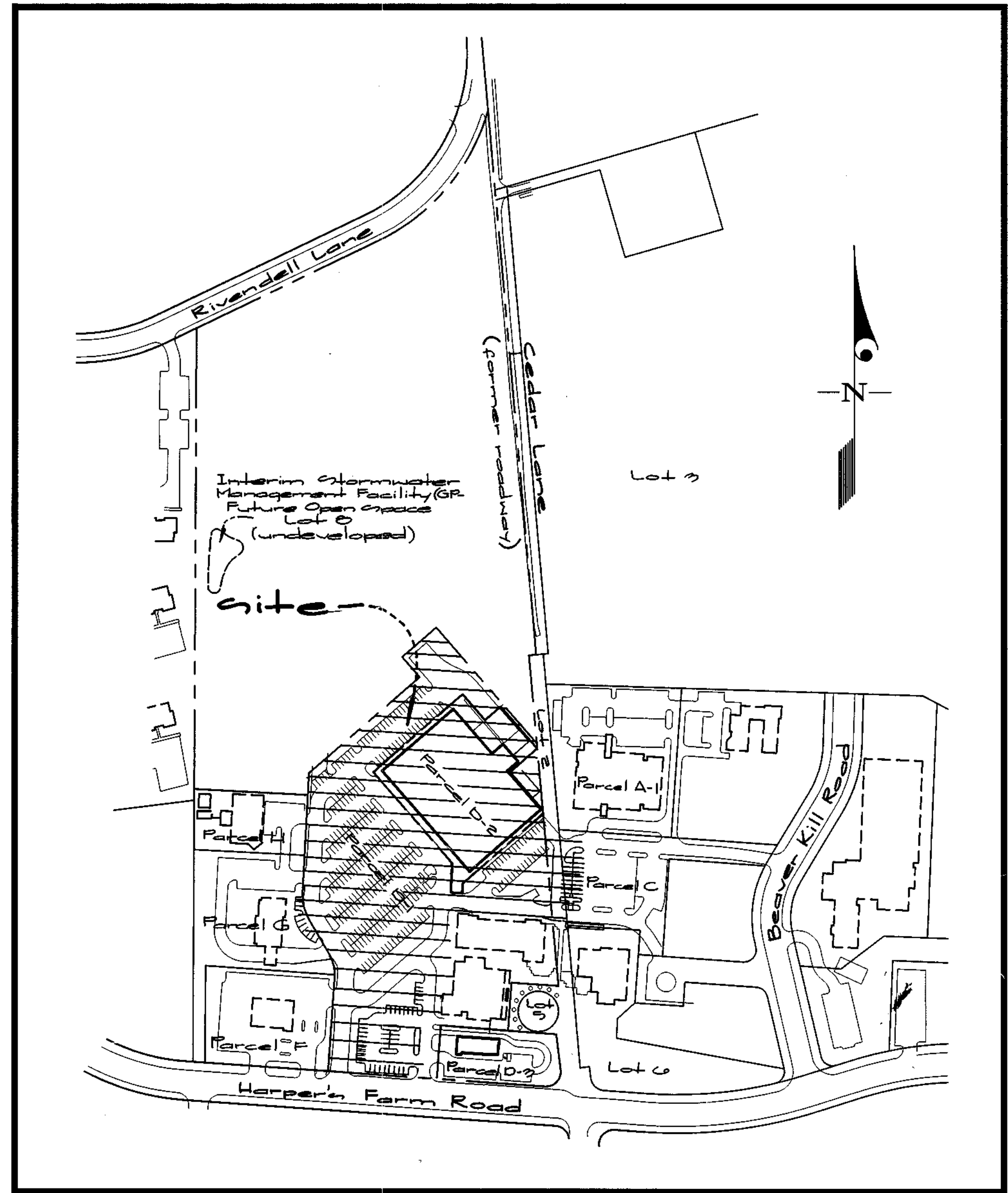


VILLAGE OF HARPER'S CHOICE VILLAGE CENTER SECTION 5 AREA 2 SITE DEVELOPMENT PLAN



- GENERAL NOTES**
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standard and specifications if applicable.
 - The contractor shall notify the Department of Public Works, Bureau of Engineering, Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
 - Site area: 7.22 acres.
 - All plan dimensions are to face of curb unless otherwise noted.
 - Existing topography is shown per aerial photography and field run survey information.
 - Coordinates and bearings are based upon the MD State plan system (NAD 27).
 - Water and sewer shown is public.
 - Stormwater management for this site is provided by temporary existing open space.
 - All existing water and sewer is per Contract 400 D W&S, 24-14140, 24-1578-D.
 - All existing public storm drain is per SDP 71-13.
 - All curb radii is 5' unless noted otherwise.
 - Sidewalks adjacent to perpendicular parking shall be 6' wide. All other sidewalks shall be 4' wide except where dimensioned otherwise.
 - Contractor shall utilize PVC pipe for all sewer house connections. Contractor shall utilize D.I.P. (CL 51) for water house connections.
 - Use trench bedding class "C" for storm drains.
 - Paved areas indicated are private except as noted.
 - Project background: See Dept. of Planning & Zoning File Numbers: F-70-42, FDP-69, FDP-69A, FDP-69A-1, SDP-71-13, SDP-86-21, SDP-86-38, SDP 77-28, F-77-36, WF-97-2A, GF-97-7B.
 - Recording reference: Plat No. 12805
 - All proposed ramps shall be in accordance with current A.D.A. standards. Minimum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
 - All water meters shall be located inside buildings.
 - All proposed site utilities are to terminate 5' from the building. The building plumber shall connect to and extend these utilities to the inside of the building.
 - Existing utilities are based on approved design plans for construction and field location by Gutschick, Little & Weber, P.A., June, 1996.
 - There is no floodplain on this site.
 - There are no wetlands on this site.
 - No traffic study is required for this site.
 - All bulk requirements and setbacks are per FDP Phase 69-A-1, recorded August 20, 1996 on Plat No. 7054A-1527
 - Boundary Markers:
#1 Right Front Corner Inlet I-c
Elev. = 475.75
#2 Rim Ex. Air Release Manhole
Elev. = 480.75
 - Minimum building setbacks are as follows:
A. From Harper's Farm Road Right of Way: 20'
B. From other adjacent parcels: None



Legend

---x---x---	Existing Contour
-----	Proposed Contour
x79.41	Proposed Spot Elev.
-----	Existing Storm Drain
-----	Existing Sewer
-----	Existing Water
-----	Existing Curbside
-----	Asphalt Curb
-----	Reversed Curb & Gutter
-----	Screen Wall
▲	Patron Access to Bldg.
⊙	Parking Space Count
-----	Limit of Submission
⊕	Light Pole
⊕	Ex. Light Pole

Sheet Index

1	Cover Sheet
2	Demolition Plan
3	Site Development Plan
4	Site Details
5	Handicap Accessibility Details
6	Landscape Plan
7	Landscape Details
8	Sediment Control Plan
9	Sediment Control Plan (opposite)
10	Sediment Control Notes & Details
11	Utility Profiles
12	Drainage Area Map

SITE ANALYSIS

AREA OF PARCEL: 8.4391 ACRES
ZONING: NEW TOWN

EXISTING USES: (Parcels D-1, D-2 & D-3)

RETAIL	- 20,400 S.F.
RESTAURANT	- 7,772 S.F.
OFFICE	- 10,400 S.F.
RESIDENTIAL	- 9 UNITS

PROPOSED USES: Gross Floor Area Net Leasable Area

RETAIL	- 75,564 S.F.	52,875 S.F. *
RESTAURANT	- 7,772 S.F.	N/A *
OFFICE	- 10,400 S.F.	8,720 S.F. *
RESIDENTIAL	- 9 UNITS	N/A **

TOTAL PARKING REQUIRED:

RETAIL	- 52,875	x 5 SP/1,000 S.F. = 265 SP.
RESTAURANT	- 7,772	x 14 SP/1,000 S.F. = 48 SP.
OFFICE	- 8,720	x 3 SP/1,000 S.F. = 25 SP.
RESIDENTIAL	- 9 UNITS	x 1.5 SP/UNIT = 14 SP.
		TOTAL 352 SP.

TOTAL PARKING PROPOSED = 707 SPACES

TOTAL NUMBER OF HANDICAP SPACES REQUIRED = 8 SPACES
TOTAL NUMBER OF HANDICAP VAN SPACES REQUIRED = 1 SPACES
TOTAL NUMBER OF HANDICAP SPACES PROVIDED = 14 SPACES
TOTAL NUMBER OF HANDICAP VAN SPACES PROVIDED = 6 SPACES

* Floor space on ground level (first floor).
** Floor space on 2nd level.

KEY MAP
SCALE: 1" = 200'

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: JAN 29, 1997

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
County Health Officer: *[Signature]* Date: 5-22-97

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* Date: 6/13/97
Chief, Division of Land Development: *[Signature]* Date: JUNE 9, 1997
Chief, Development Engineering Division: *[Signature]* Date: 5/23/97

ADDRESS CHART

WATER CODE:	SEWER CODE:	PARCEL NUMBER:	STREET ADDRESS:
1120	5505100	D-2	HARPERS FARM ROAD

SUBDIVISION NAME: VILLAGE OF HARPER'S CHOICE SECTION/AREA 5/2 PARCEL D-1 & D-2

PLAT:	ZONE:	TAX MAP:	BLOCK:	ELEC. DIST.:	CENSUS TRACT:
12805	NEW TOWN	29	23	5	6055

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 MD. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

PREPARED FOR: THE HOWARD RESEARCH & DEVELOPMENT CORPORATION
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MD. 21044
(410) 392-6370

DATE:	REVISION:	BY:	APP'R:
4/20/96	Revised Parking Tabulation	W&W	

COVER SHEET

Village of Harper's Choice Village Center
Section 5 Area 2
Parcels D-1 & D-2
5th Election District
Howard County, Maryland

SCALE:	ZONING:	G. L. W. FILE No.:
SHOWN	NEW TOWN	96045
DATE:	TAX MAP No.:	SHEET:
October 1996	29	1 OF 12

SDP 97-40

PROPERTY OF
THE HOWARD RESEARCH AND
DEVELOPMENT CORP
L. 1975 F. 1972

VILLAGE OF HARPER'S CHOICE
SECTION 5 AREA 2
LOT 2
PLAT Nos. 4516 & 4517

General Notes

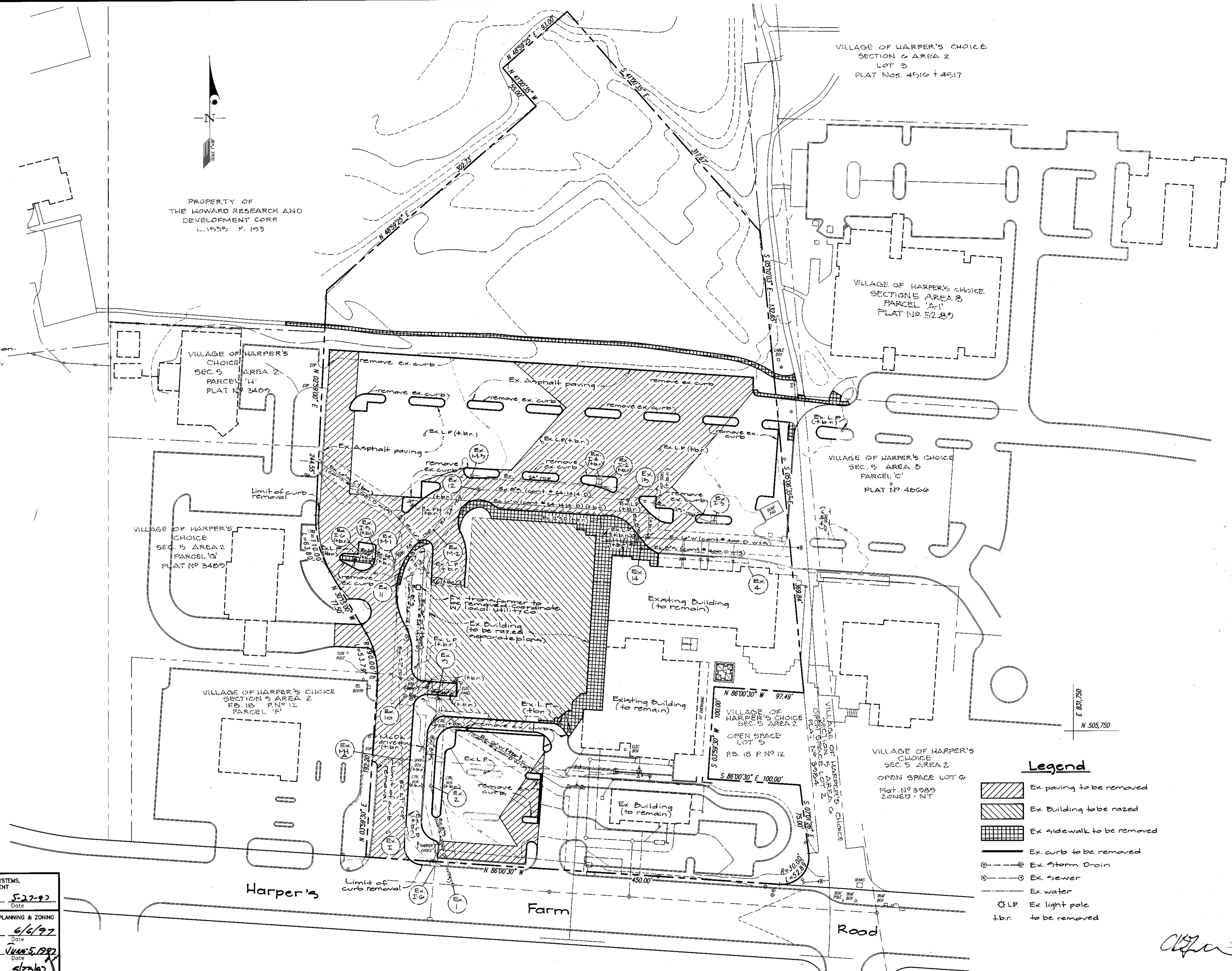
1. Utility information shown on this plan was taken from available records. The exact location of the underground utilities shall be field verified by the contractor prior to construction.
2. For marking locations of existing utilities, notify "Miss Utility" at 1-800-251-1777, 48 hours prior to any excavation or construction.
3. The contractor shall notify Maryland Natural Gas at 1-(202) 790-2500, 48 hours prior to excavation or construction.
4. The contractor shall hand dig test pits at all utility crossings, 48 hours prior to any excavation to determine the exact location and depth of all utilities.
5. The contractor is responsible for checking all utility crossings and shall include provisions in his bid for protection of existing utilities shown hereon. If the contractor encounters utilities either not shown hereon or not marked by "Miss Utility" he shall immediately notify Gutschick, Little & Weber, P.A.

Note:

Contractor shall take all necessary precautions to maintain service to existing business users to remain on Parcel D-1 and those on Parcels C-1 & H-1.

Note:

Contractor to coordinate existing utilities to be removed and proposed utilities to provide continuous service to existing businesses to remain.



Legend

- Ex. paving to be removed
- Ex. Building to be razed
- Ex. sidewalk to be removed
- Ex. curb to be removed
- Ex. Storm Drain
- Ex. Sewer
- Ex. water
- Ex. light pole
- to be removed

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE Jan. 29, 1997

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
Date 5-27-92
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Date 6/6/97
Date 5/23/97

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186

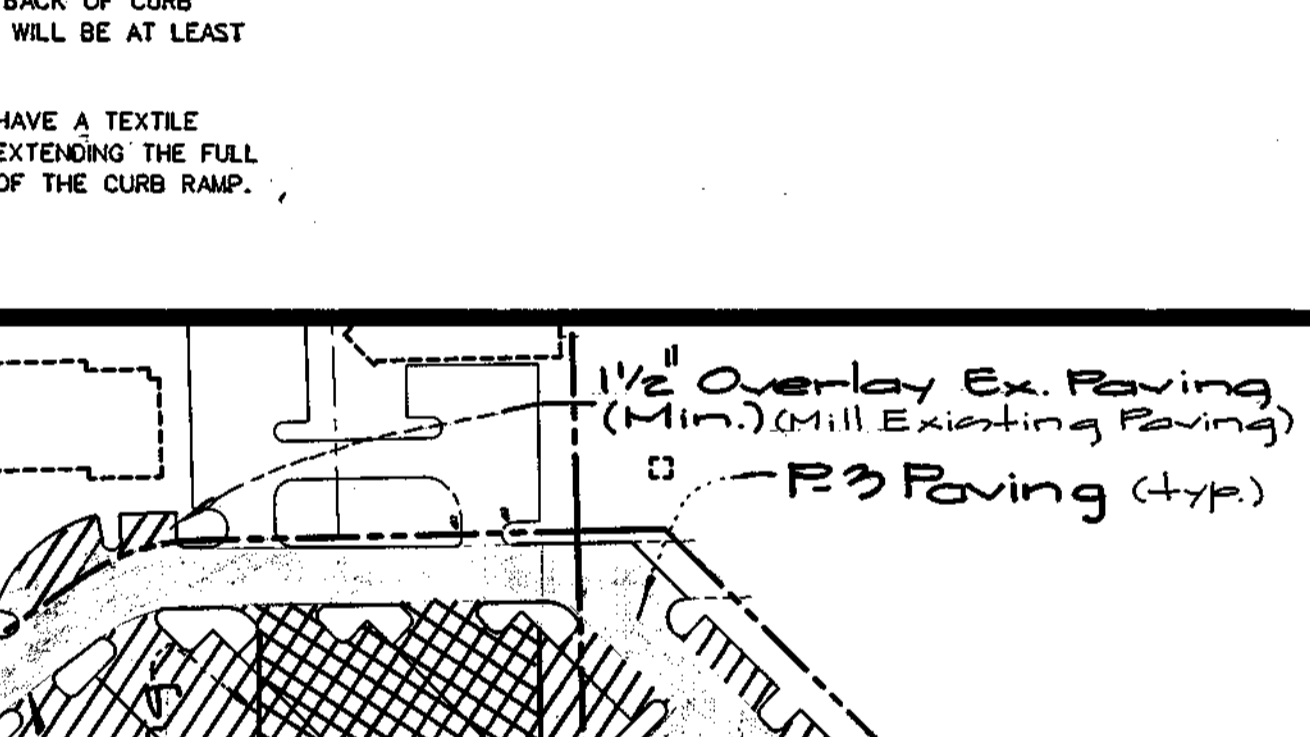
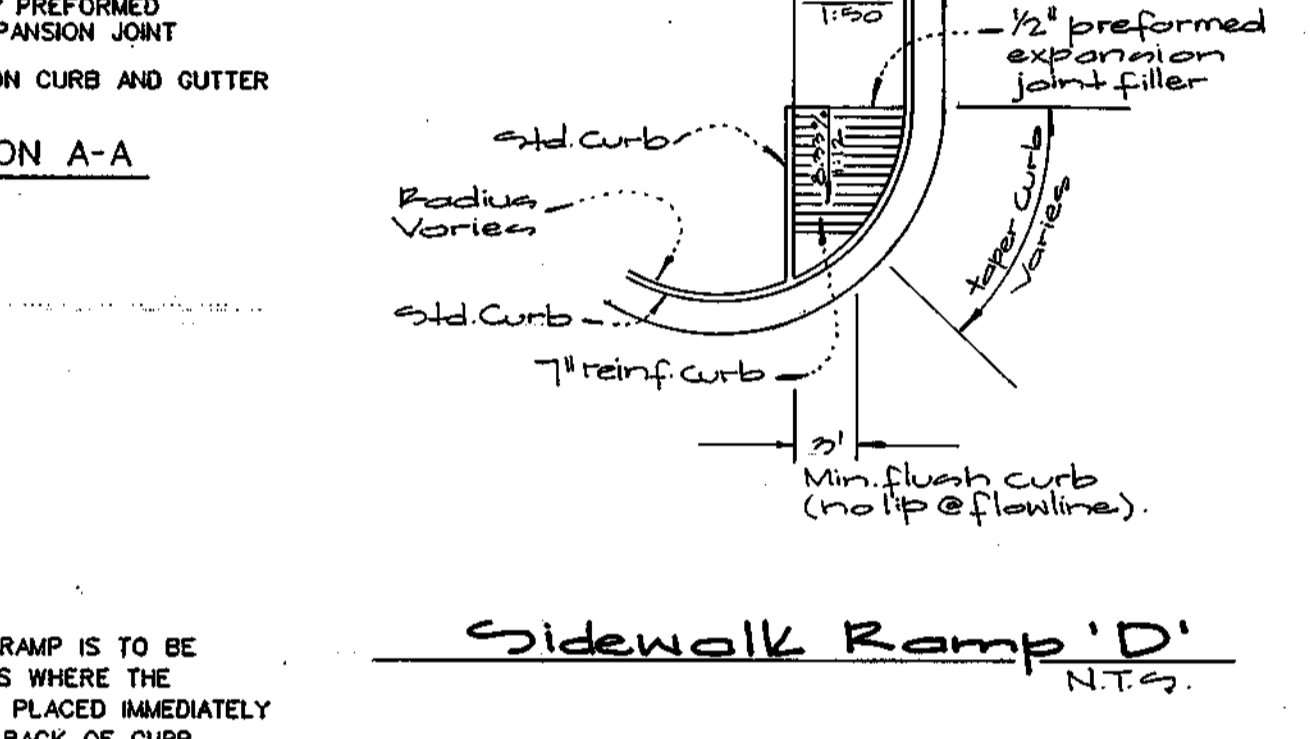
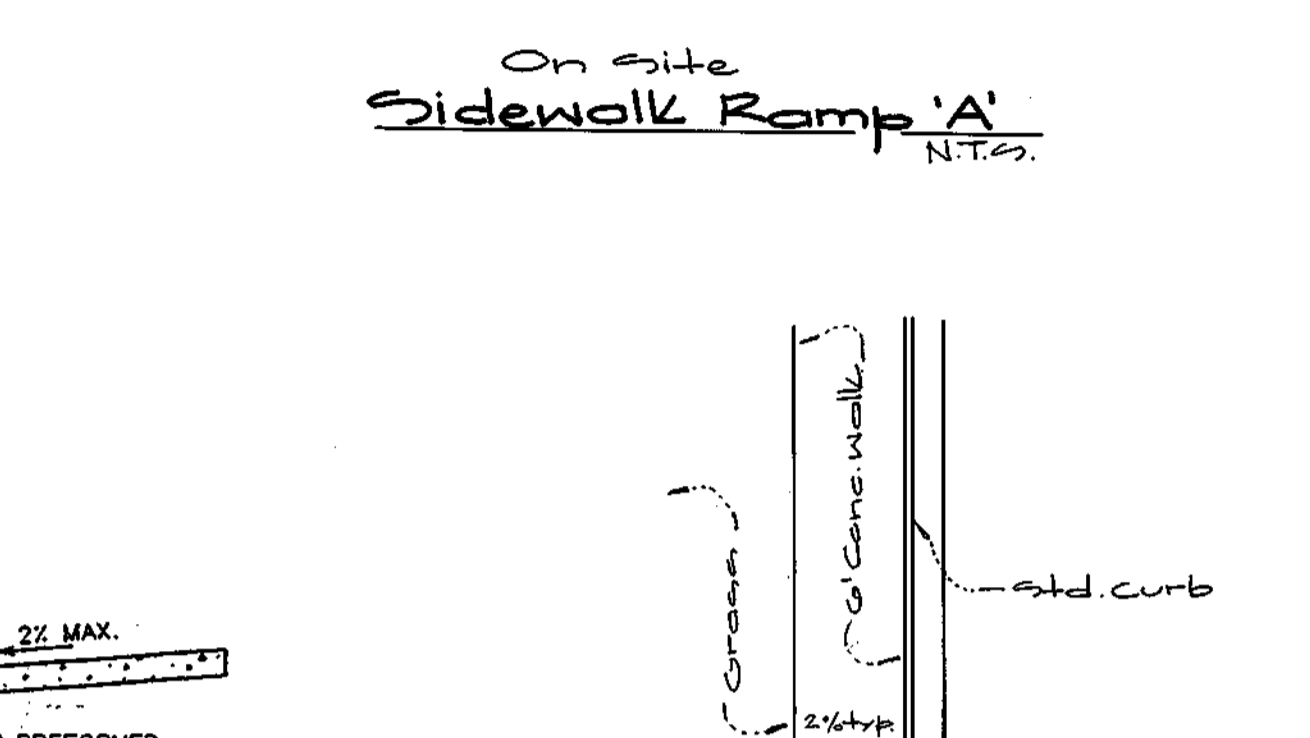
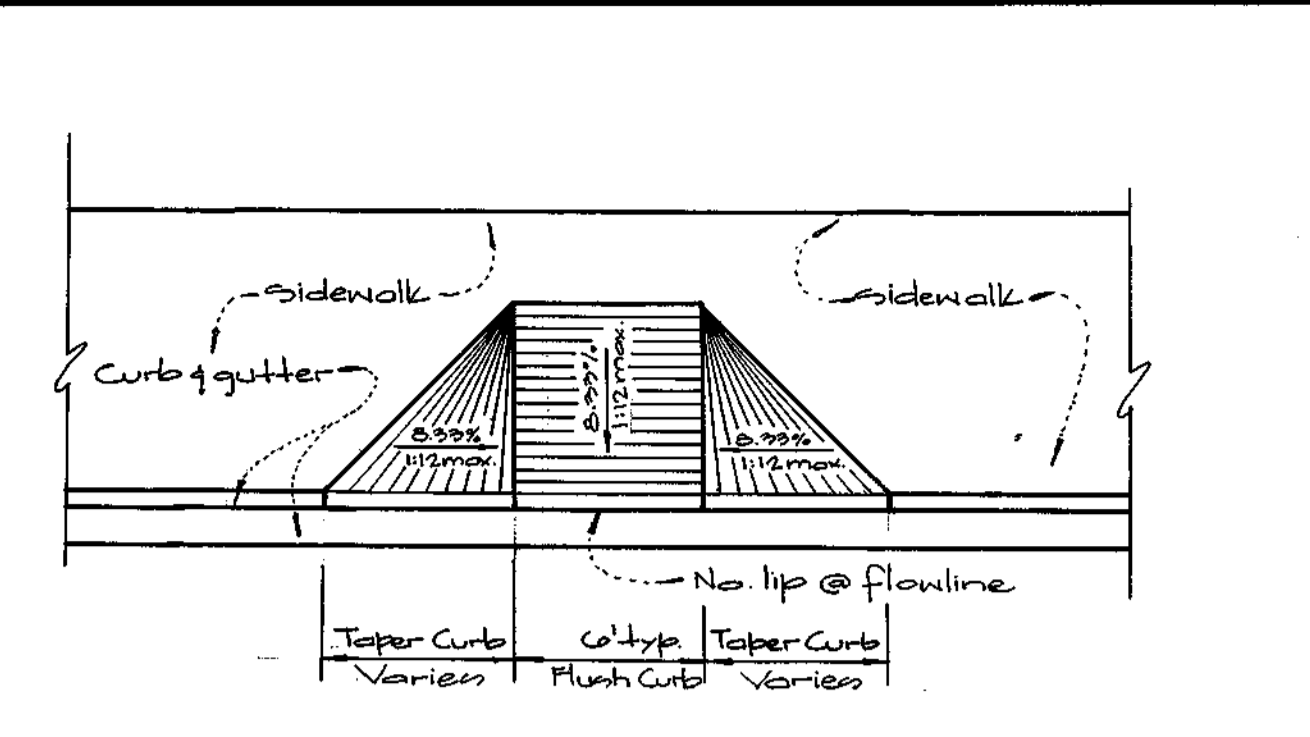
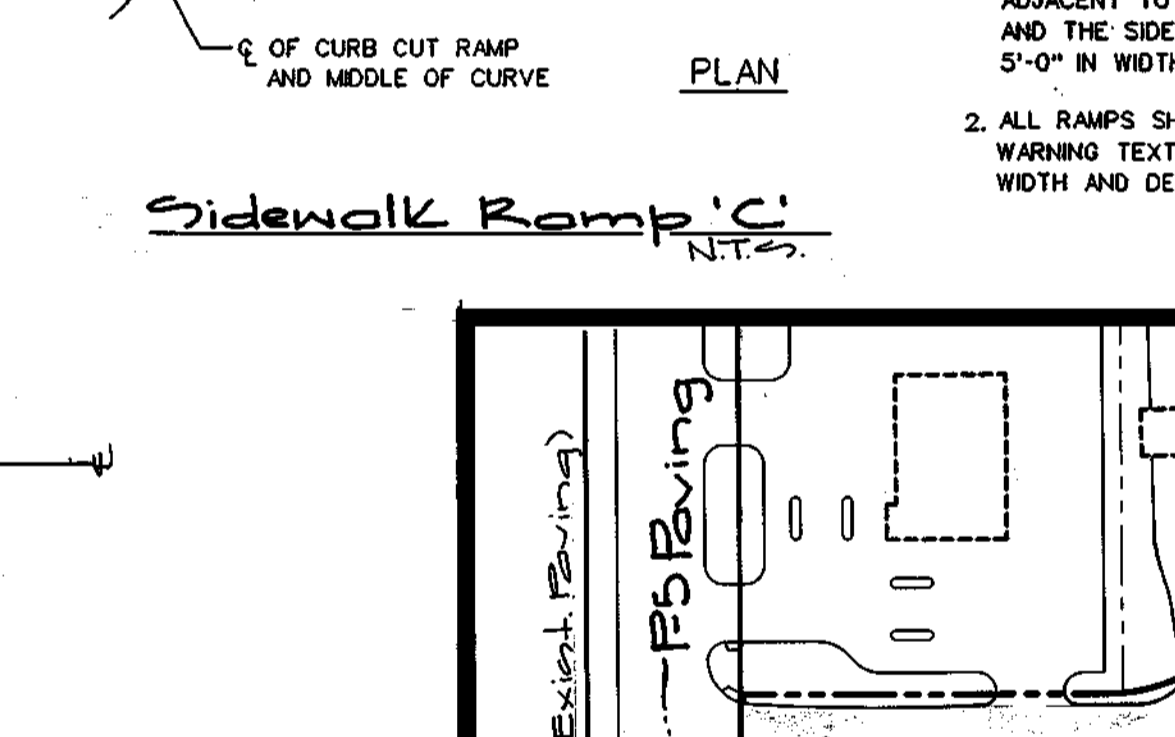
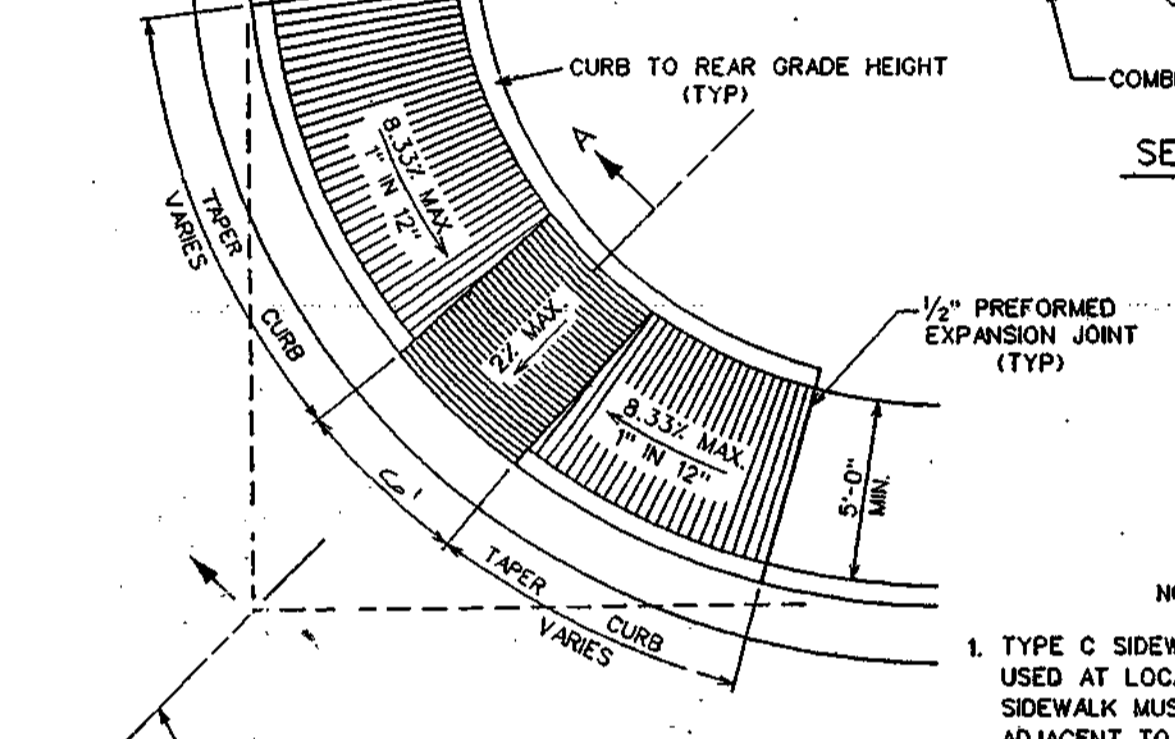
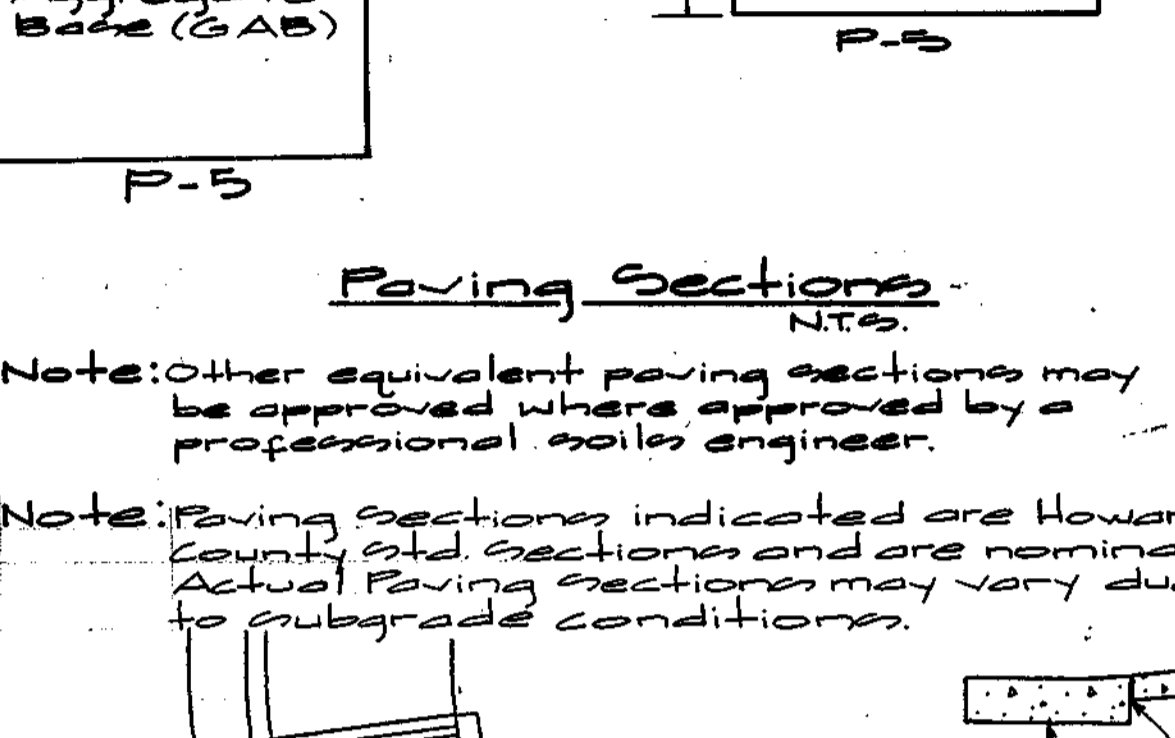
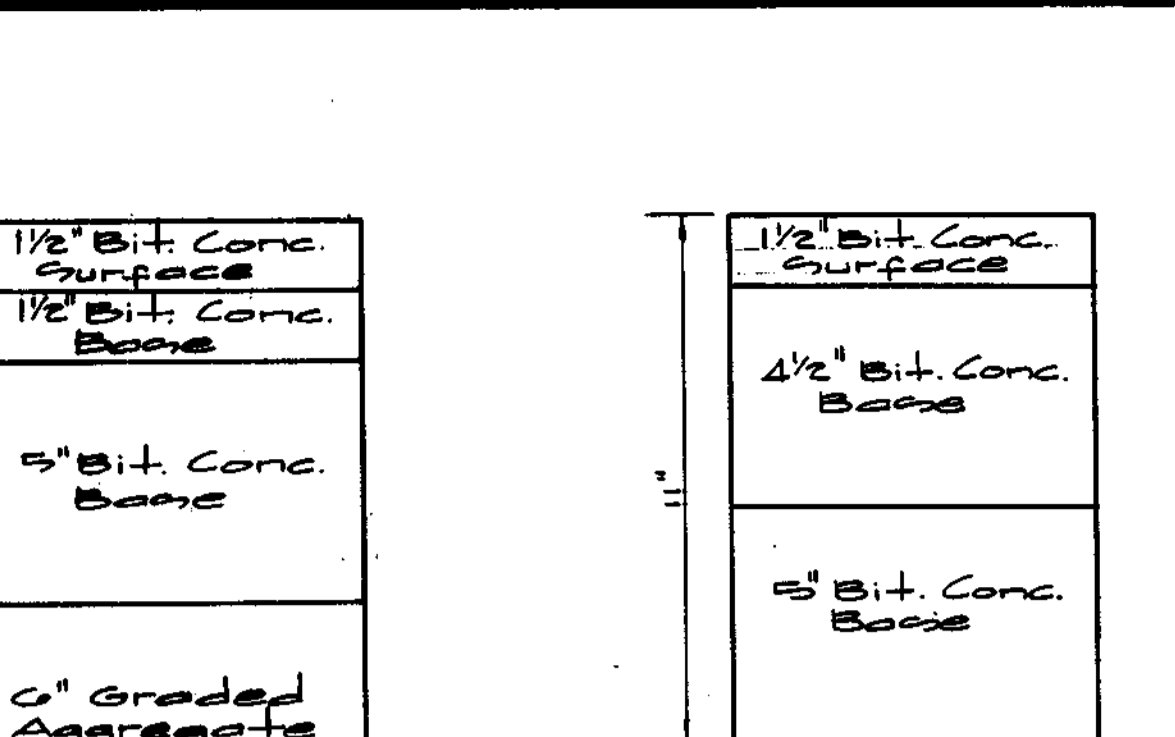
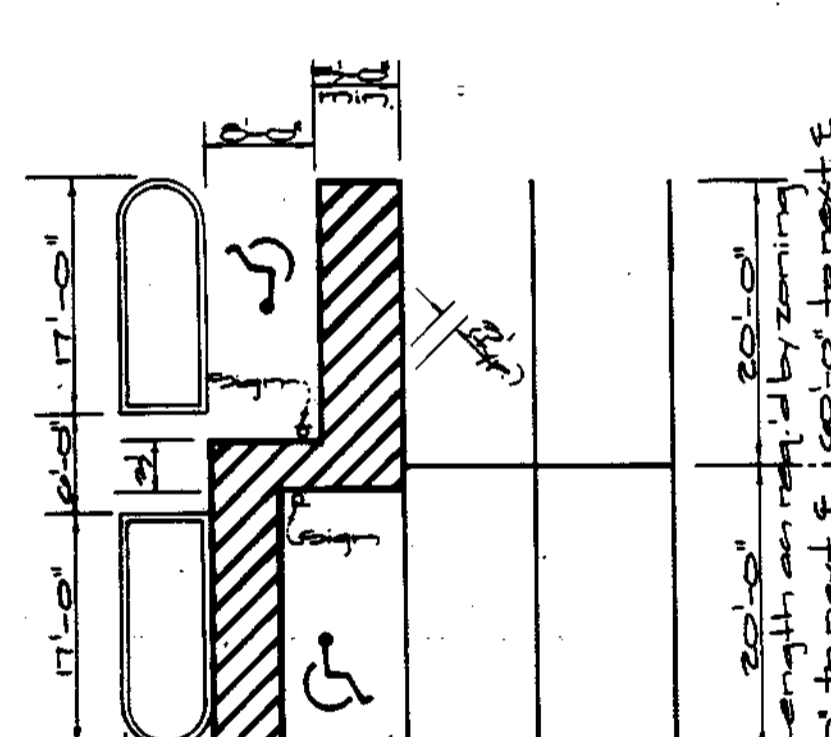
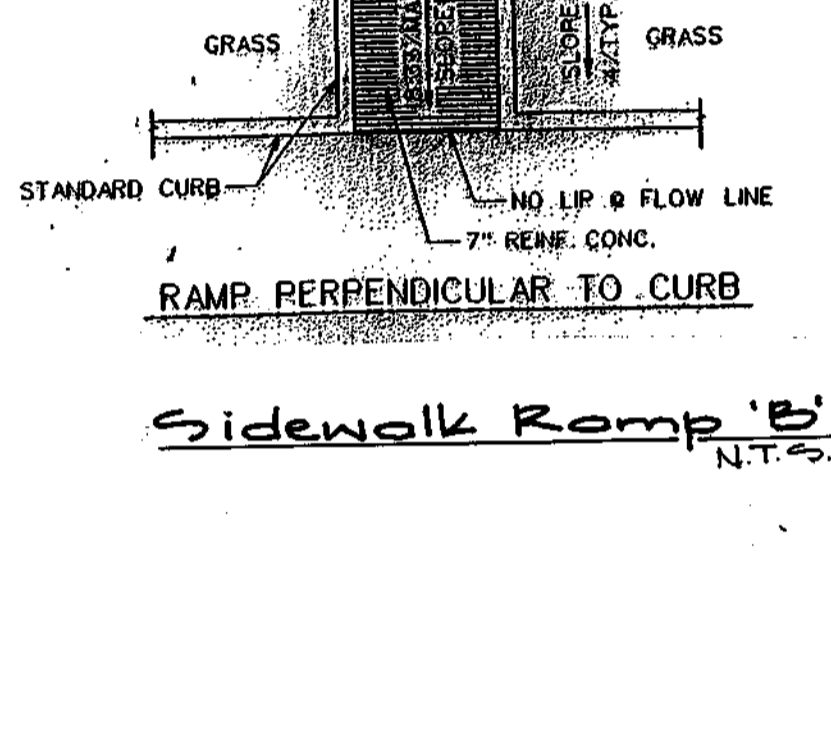
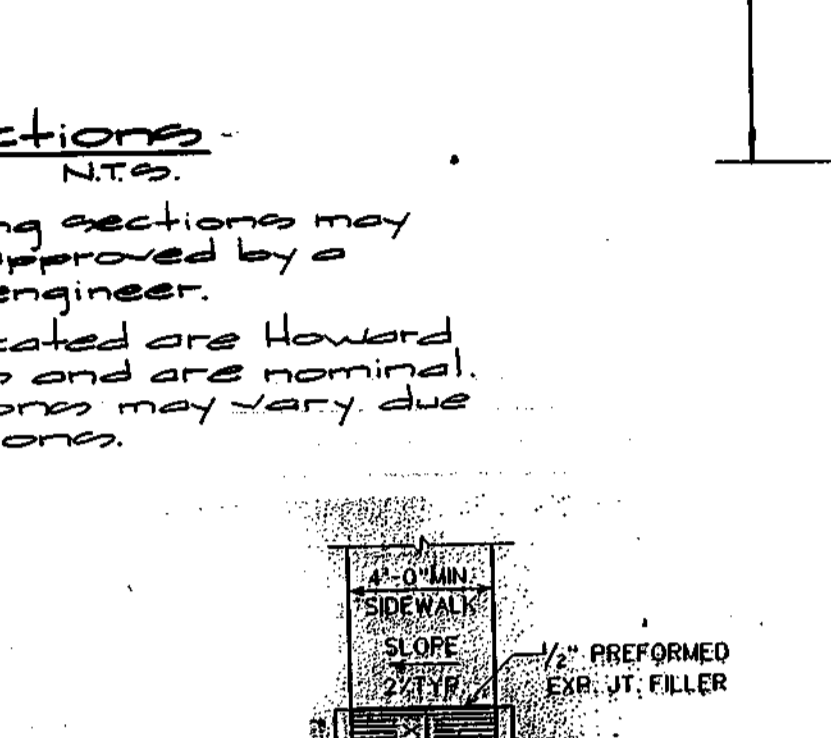
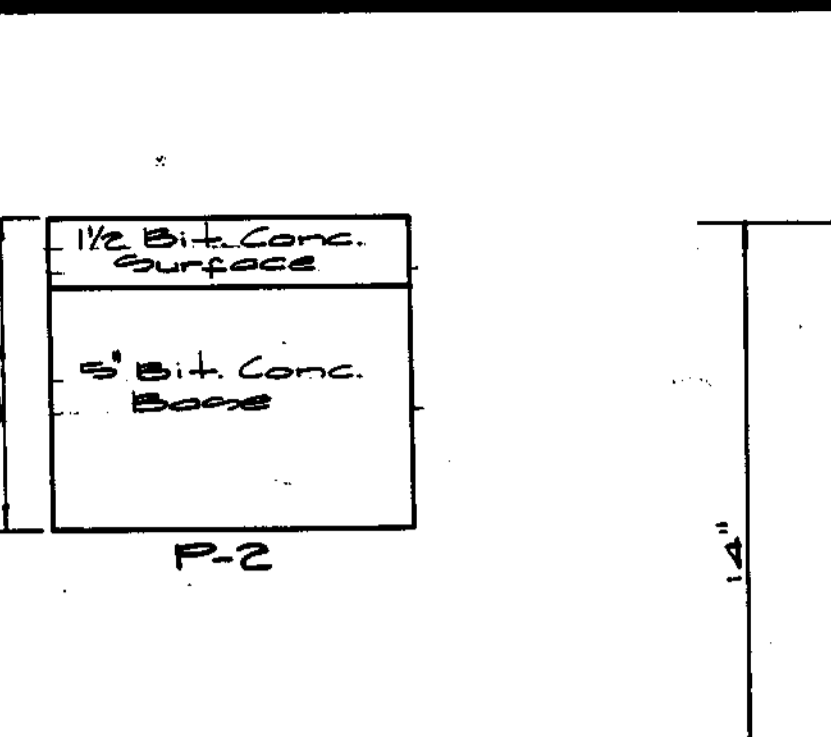
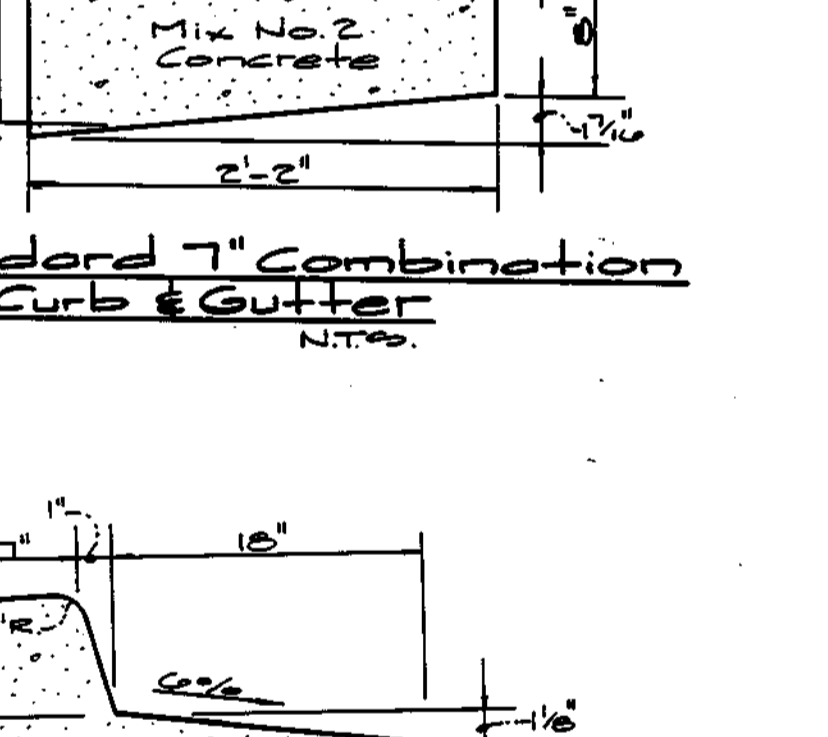
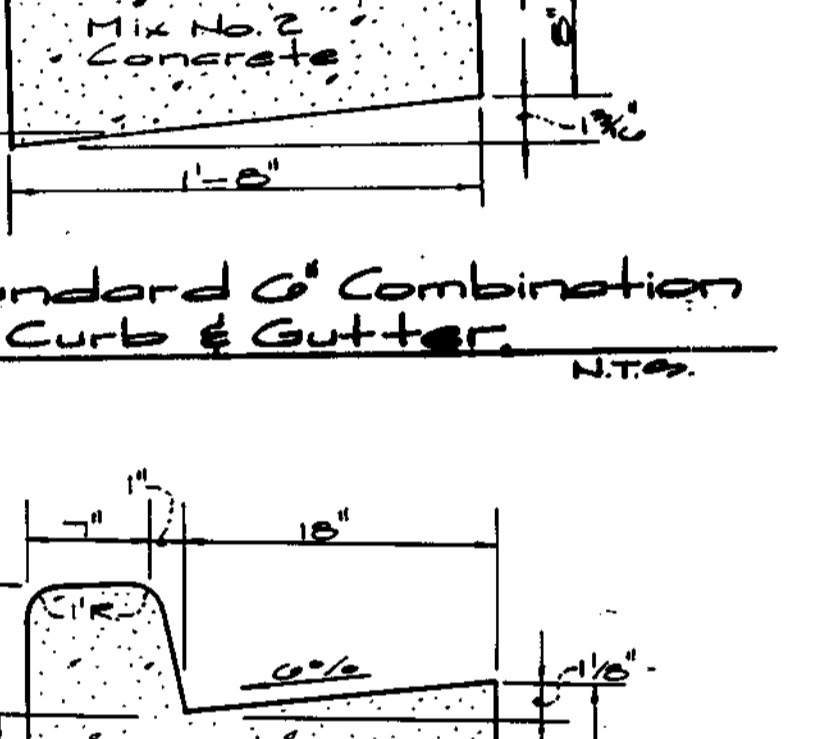
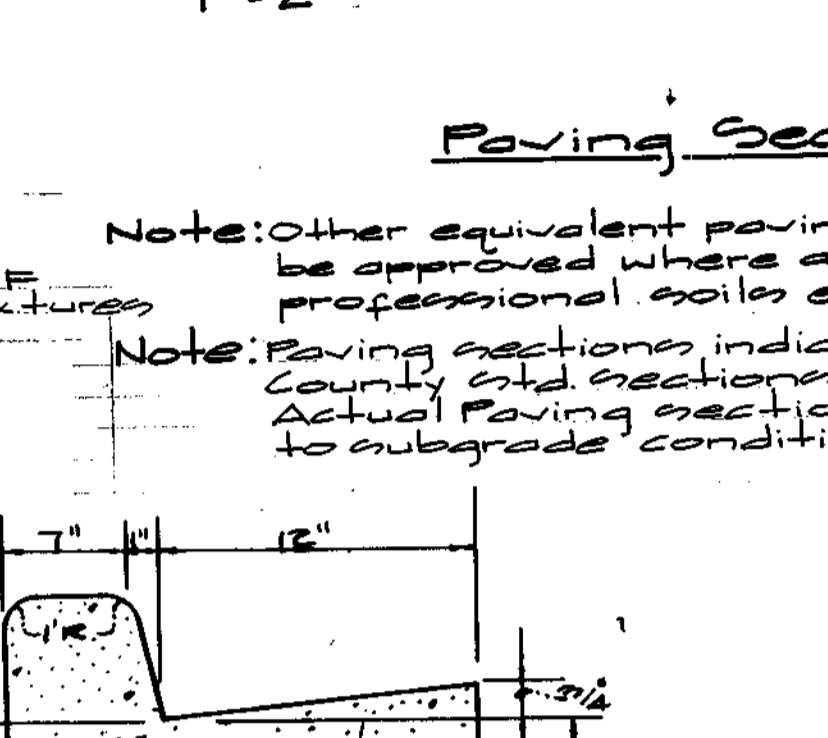
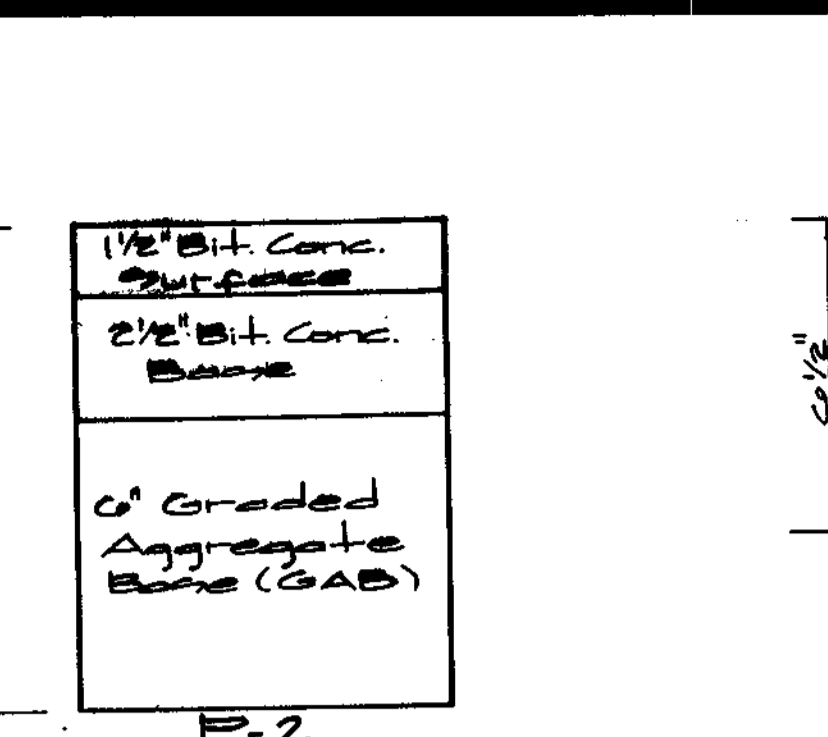
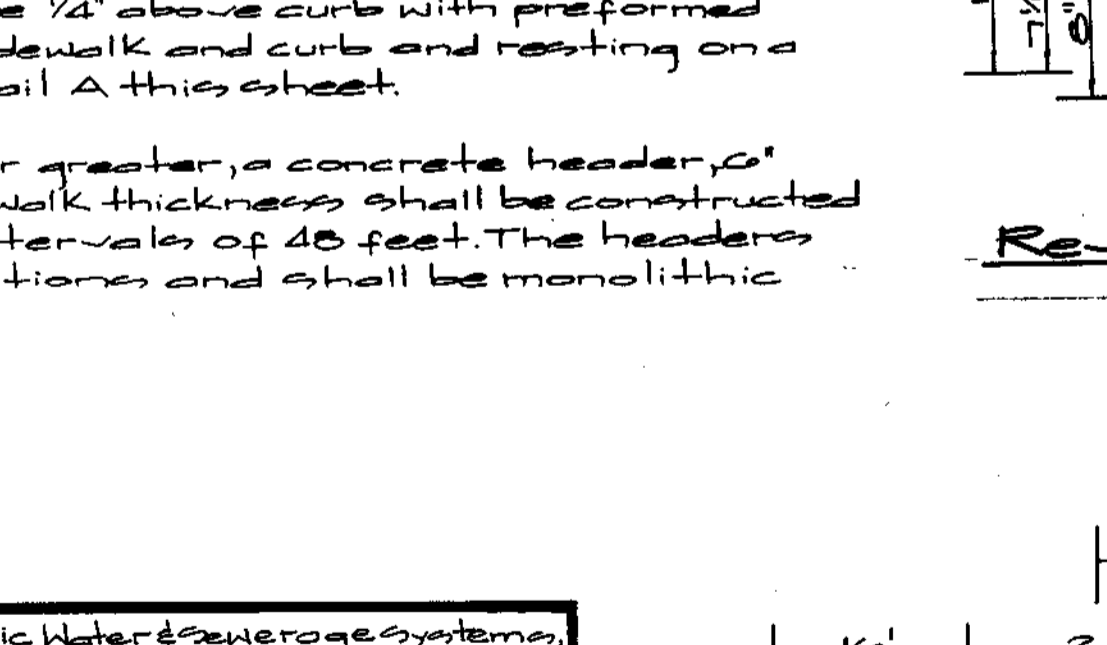
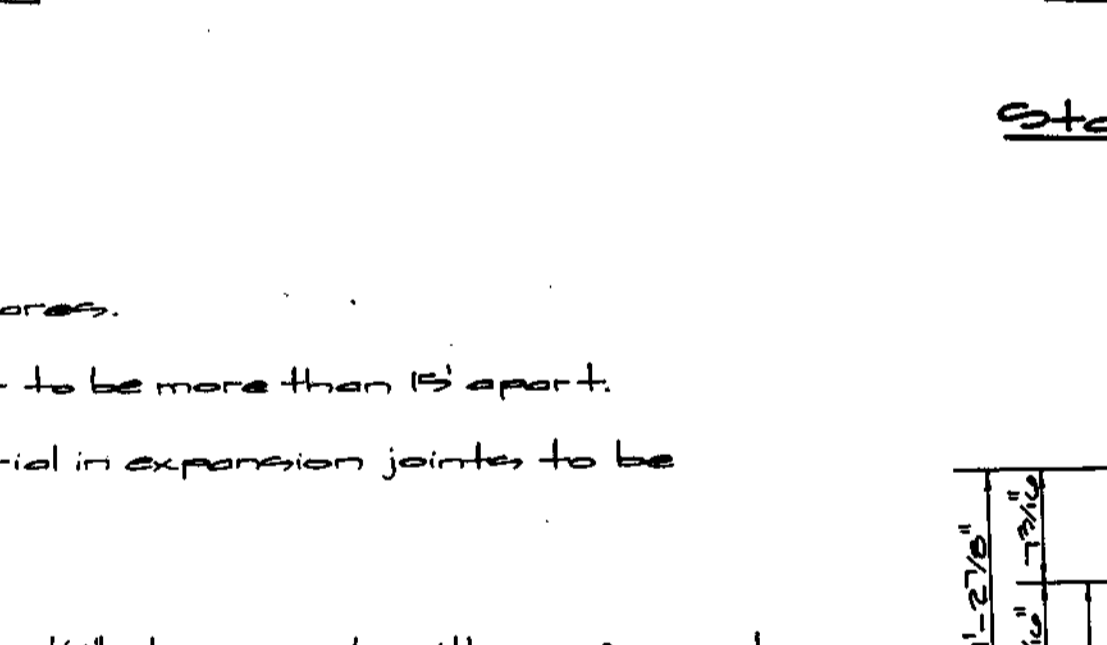
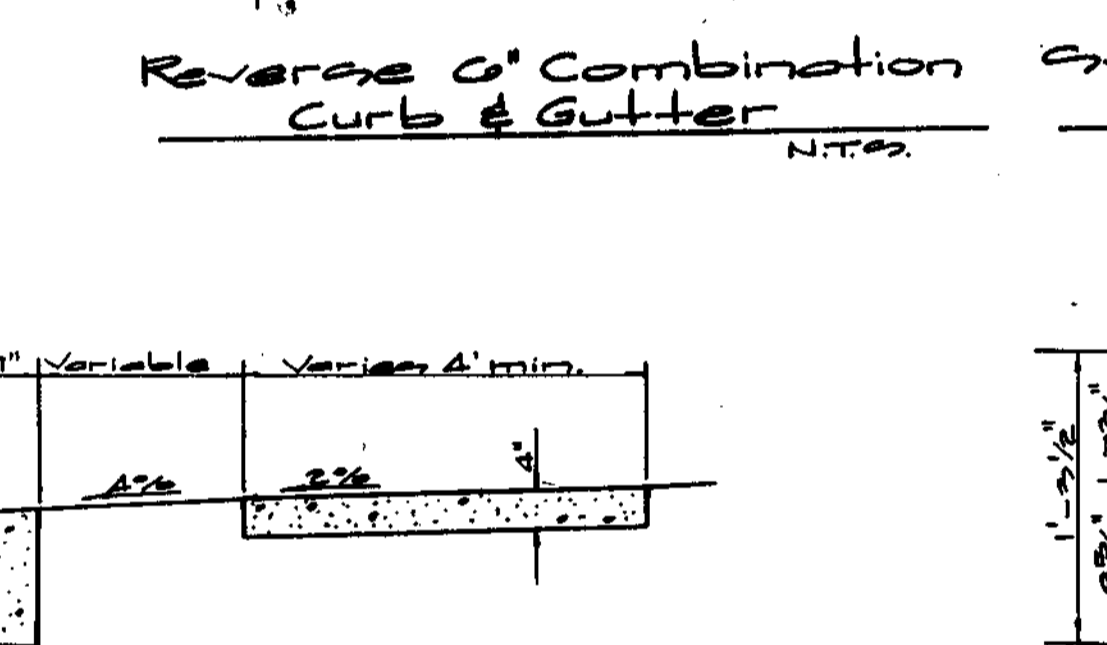
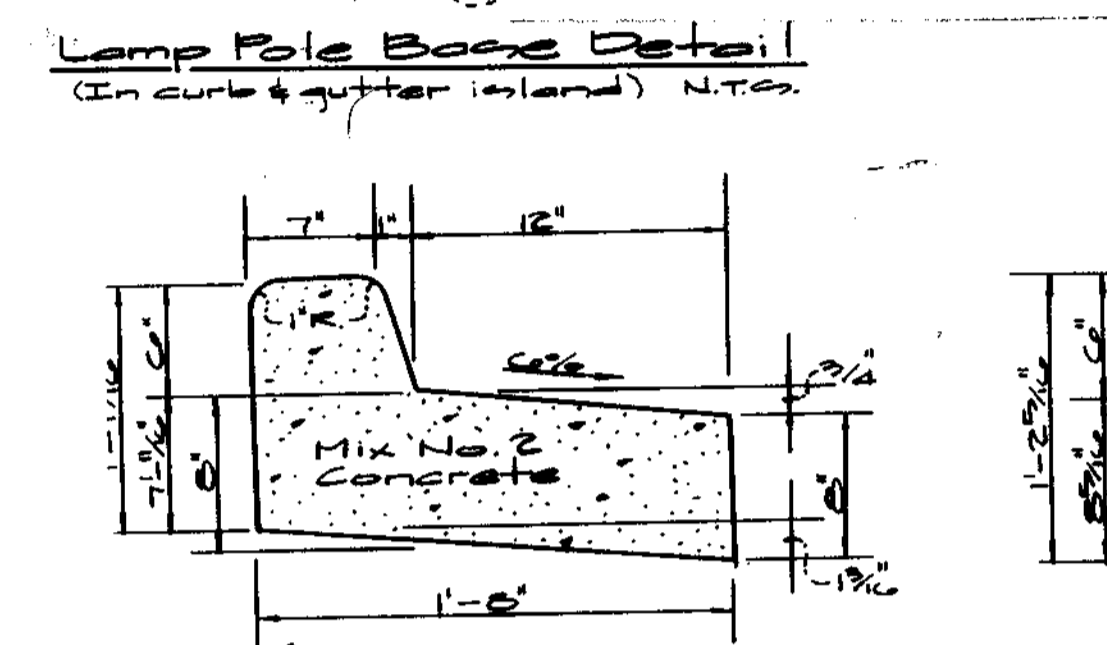
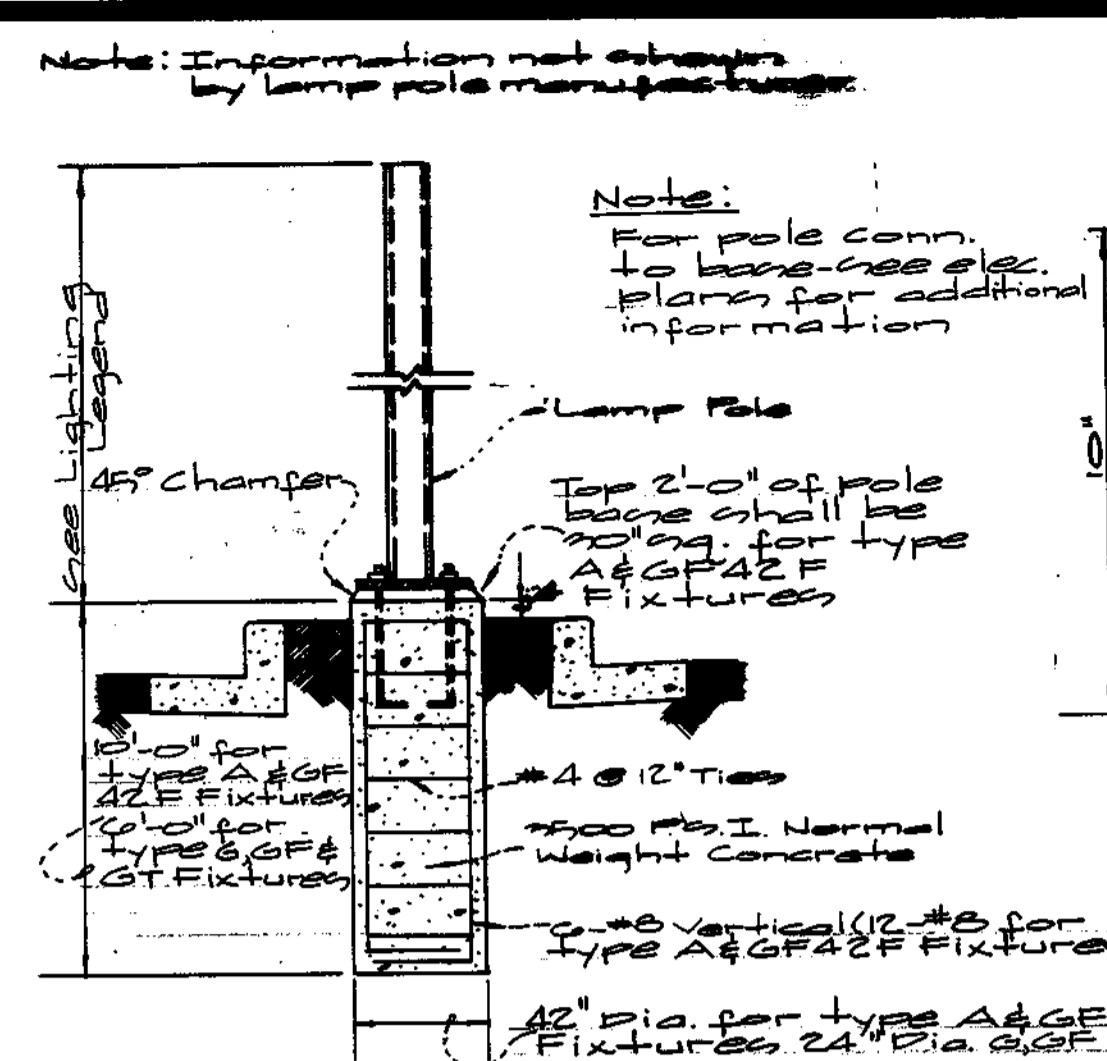
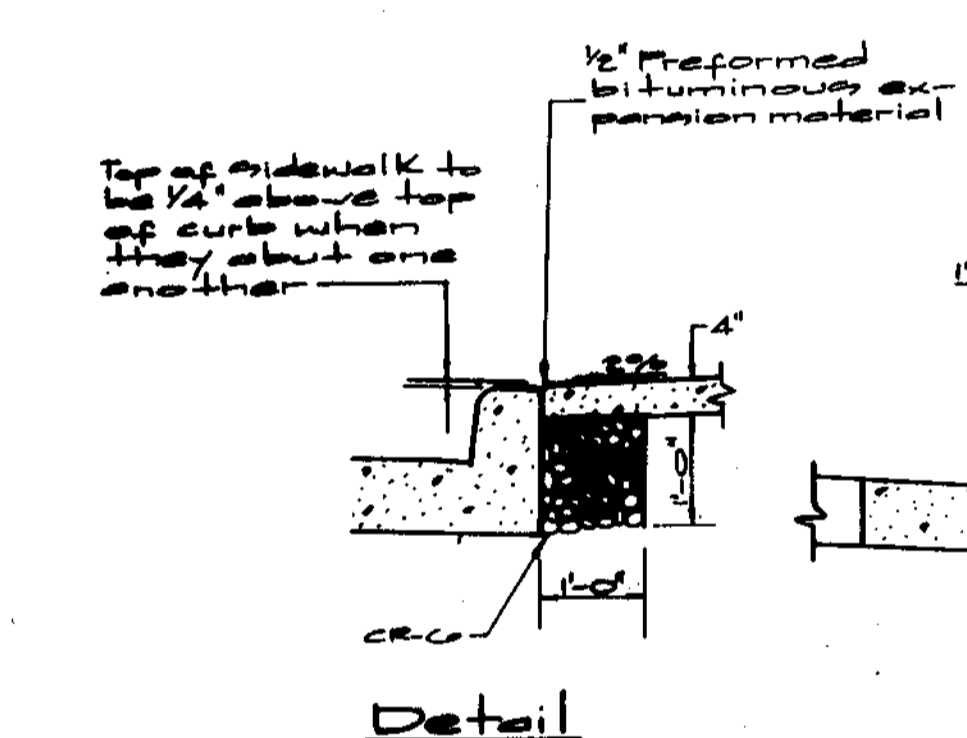
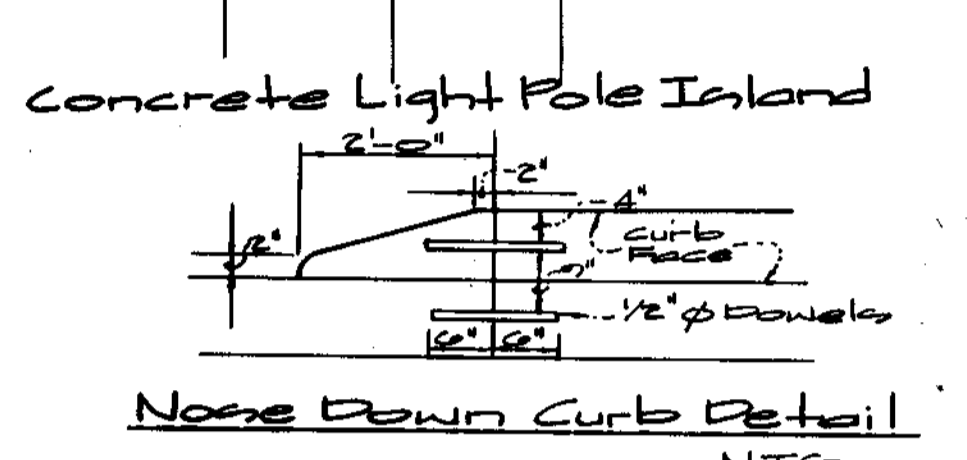
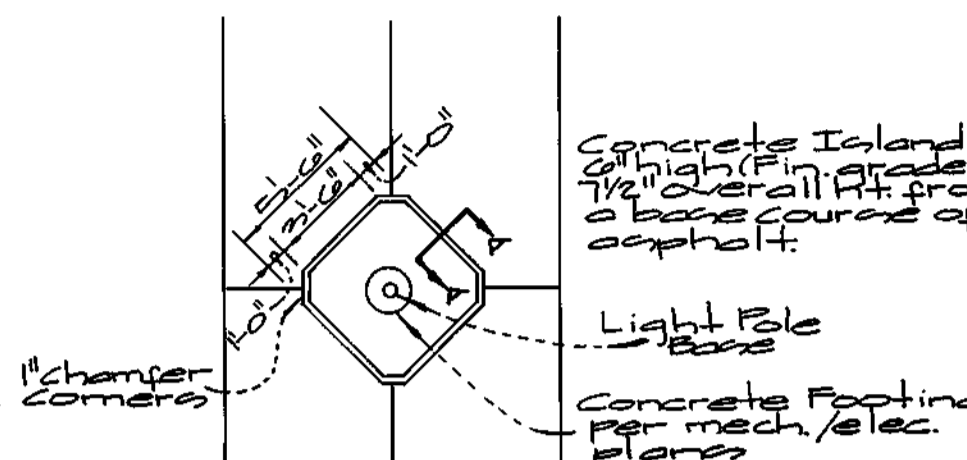
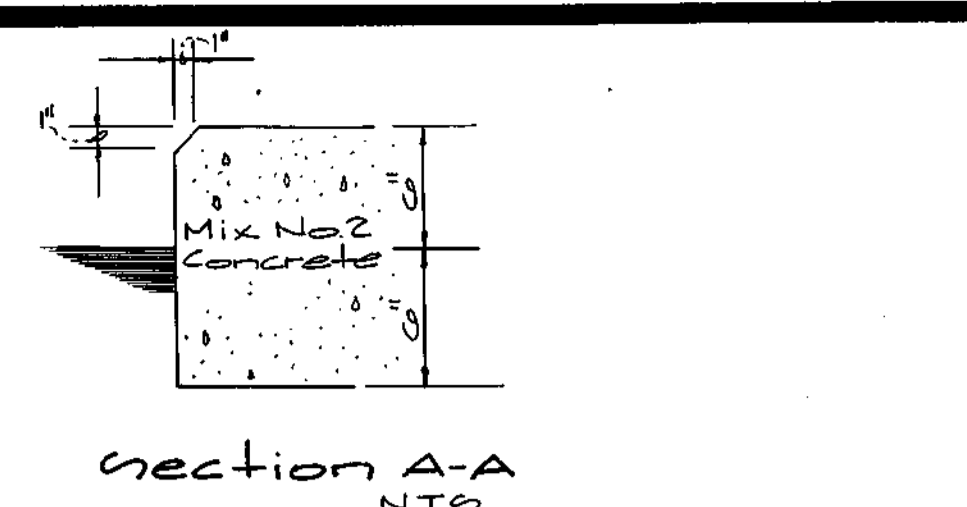
DATE	REVISION	BY	APP'R.
5/23/97	Revise Paving to be removed	WJD	

PREPARED FOR:
The Howard Research & Development Corporation
10275 Little Patuxent Parkway
Columbia, Maryland 21044
Attn: Greg Kilar
Phone: (410) 992-0770

Demolition Plan
Village of Harper's Choice Village Center
Section 5 Area 2
Parcels D-1 & D-2
5th Election District
Howard County, Maryland

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	90043
DATE	TAX MAP No.	SHEET
October 1996	29	2 of 12

Chapman



Note: Information not shown by lamp pole manufacturer.

Note: For pole conn. to base see elec. plans for additional information.

Note: Other equivalent paving sections may be approved where approved by a professional soils engineer.

Note: Paving sections indicated are Howard County std. sections and are nominal. Actual paving sections may vary due to subgrade conditions.

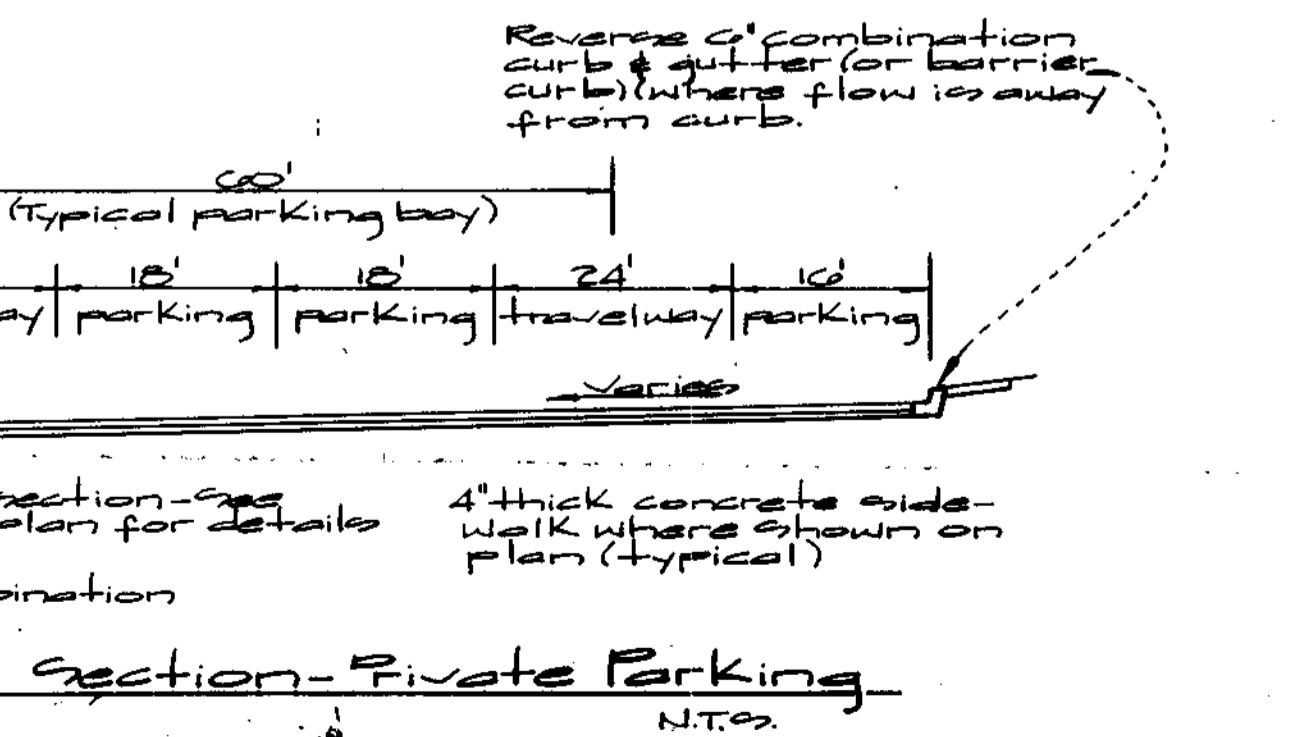
Note: Other equivalent paving sections may be approved where approved by a professional soils engineer.

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Note: Other equivalent paving sections may be approved where approved by a professional soils engineer.

Note: Paving sections indicated are Howard County std. sections and are nominal. Actual paving sections may vary due to subgrade conditions.

- 1. Sidewalk to be scribed in 5' maximum squares.
- 2. Expansion joints across the sidewalk not to be more than 15' apart.
- 3. 1/2" preformed bituminous expansion material in expansion joints to be kept 1/2" below surface of sidewalk.
- 4. Concrete to be mix No. 2.
- 5. When sidewalk abuts curbs, walk shall be 1/2" above curb with preformed bituminous expansion material between sidewalk and curb and resting on a compacted crushed stone base. See detail A this sheet.
- 6. On longitudinal sidewalk grades of 5% or greater, a concrete header, 6" thick and 6" deep below the normal 4" sidewalk thickness shall be constructed for the full width of the sidewalk at intervals of 40 feet. The headers shall be placed at expansion joint locations and shall be monolithic with the sidewalk.



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE JAN 29, 1997

Approved: For Public Water & Sewerage Systems,
Howard County Health Department
County Health Officer ML 5/27/97 Date
Approved: Howard County Dept of Planning &
Zoning
Director 6/6/97 Date
Richard Blood June 5, 1997 Date
Chief, Division of Land Development
Chief, Development Engineering Div. 5/28/97 Date

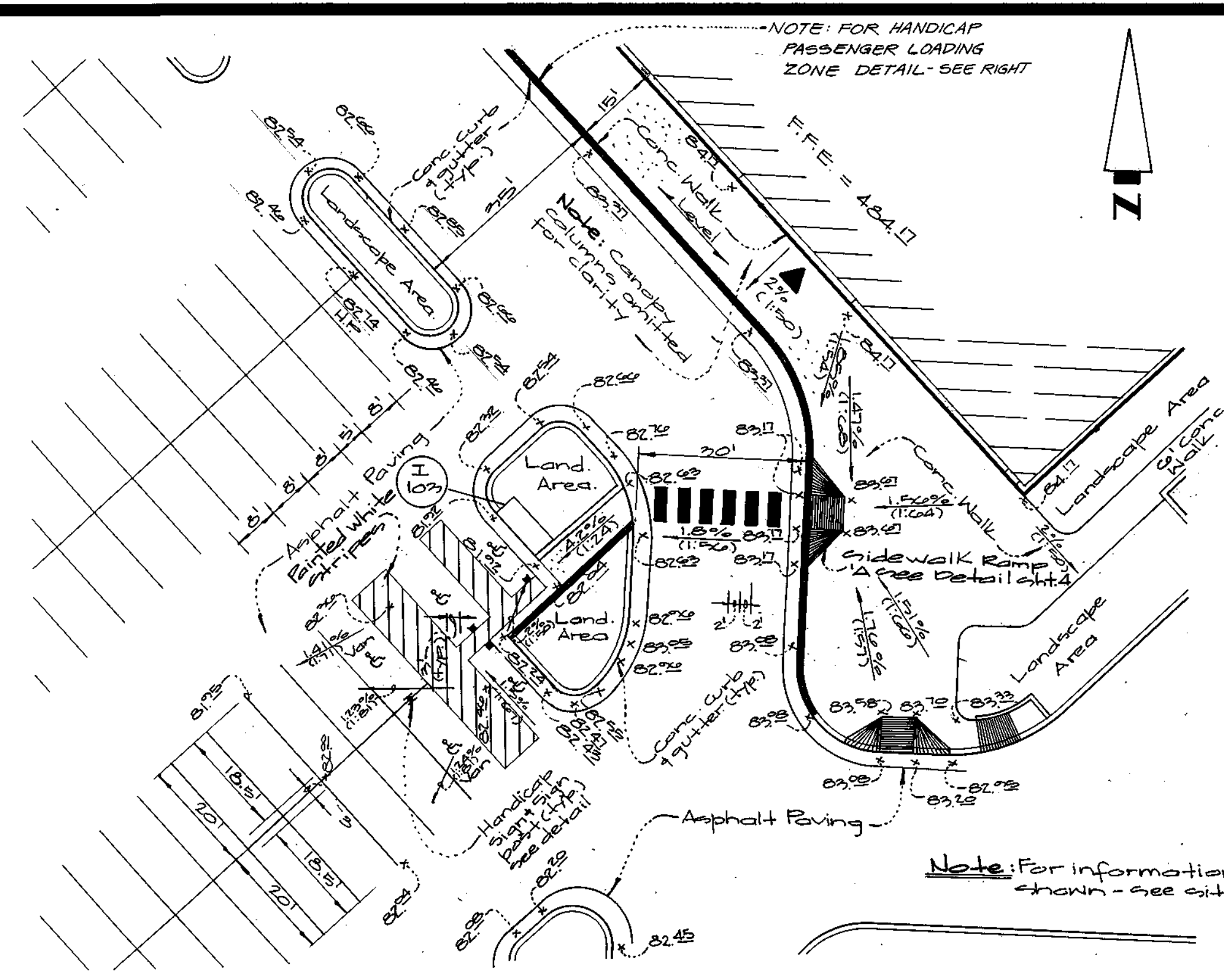
GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE · SUITE 250 · BURTONSVILLE OFFICE PARK · BURTONSVILLE, MD. 20866
TELEPHONE: (301) 421-4024 NO. VA. (301) 989-2524 BALTO. (301) 880-1820 FAX (301) 421-4186

DATE	REVISION	BY	APPR.
	Rev Paving Plan & Soil Note Added to Paving Sects	WJ	

PREPARED FOR:
The Howard Research & Development Corporation
10215 Little Patuxent Pkwy
Columbia, Maryland 21044
Attn: Greg Klar
Phone: (410) 922-0370

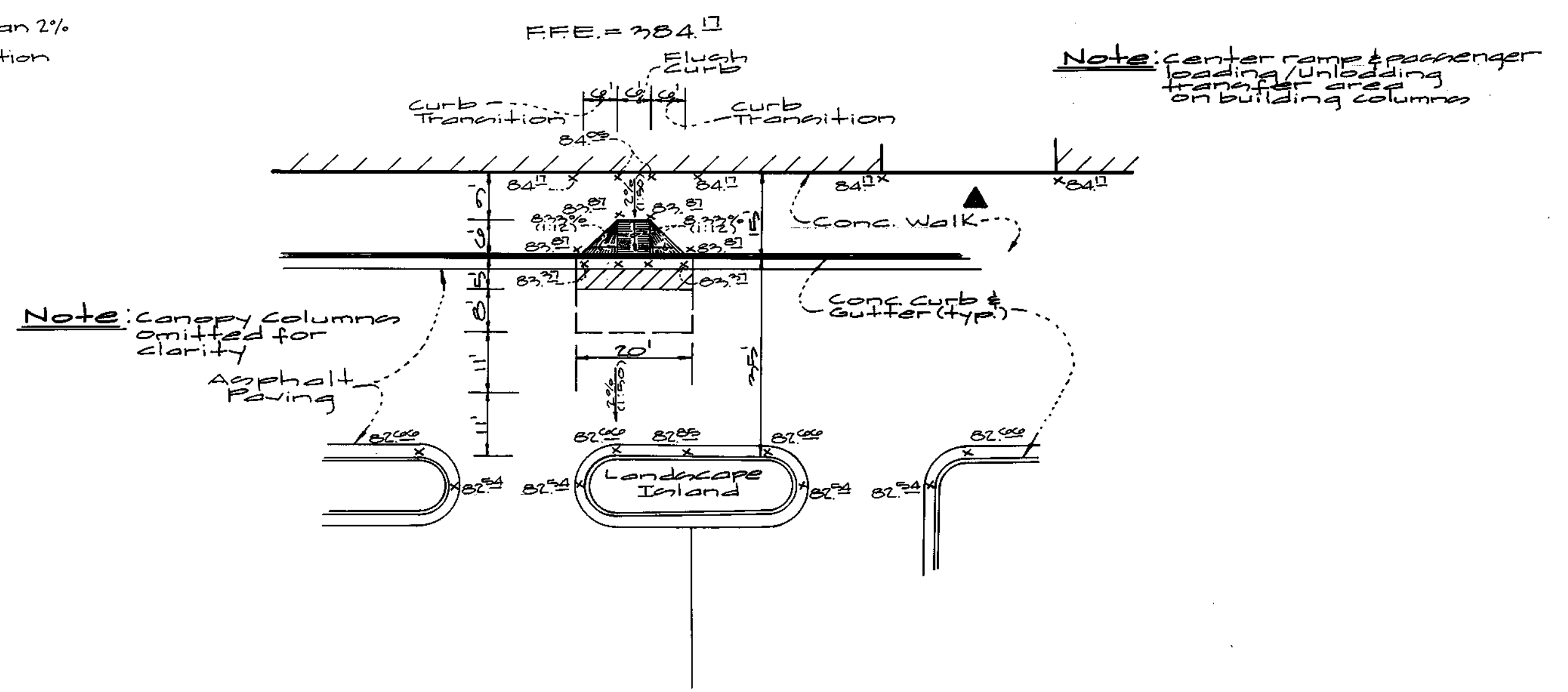
Site Details and Paving Plan
Village of Harper's Choice Village Center
Section 5 Area 2
Parcel D-1 & D-2
Election District No. 5
Howard County, Maryland

DES.	SCALE	ZONING	G.L.W. FILE NO.
MT	As Shown	NT	90-045
DRN.	DATE	TAX MAP NO.	SHEET
WJ/st	Oct., 1996	29	4 of 12
CHK.			
MT			

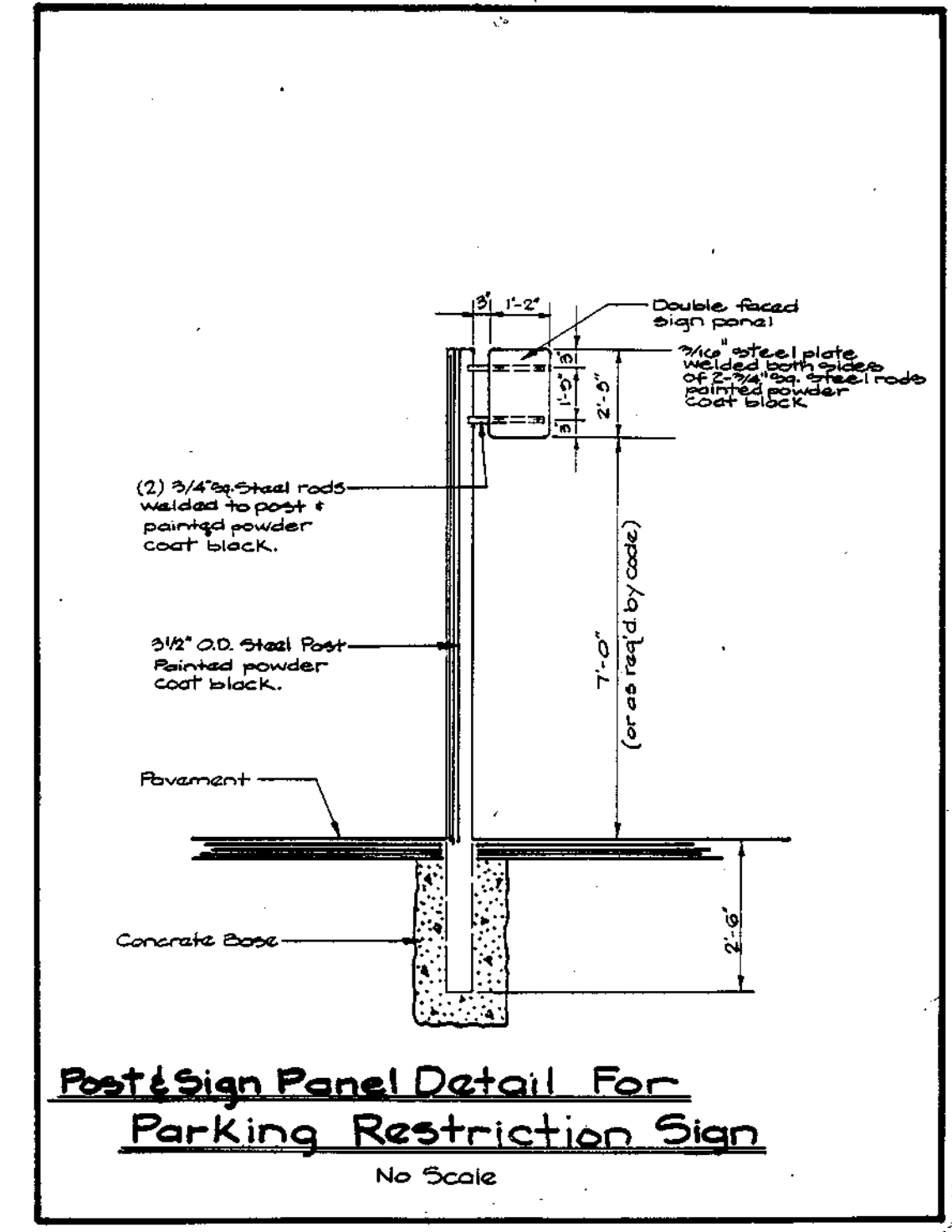
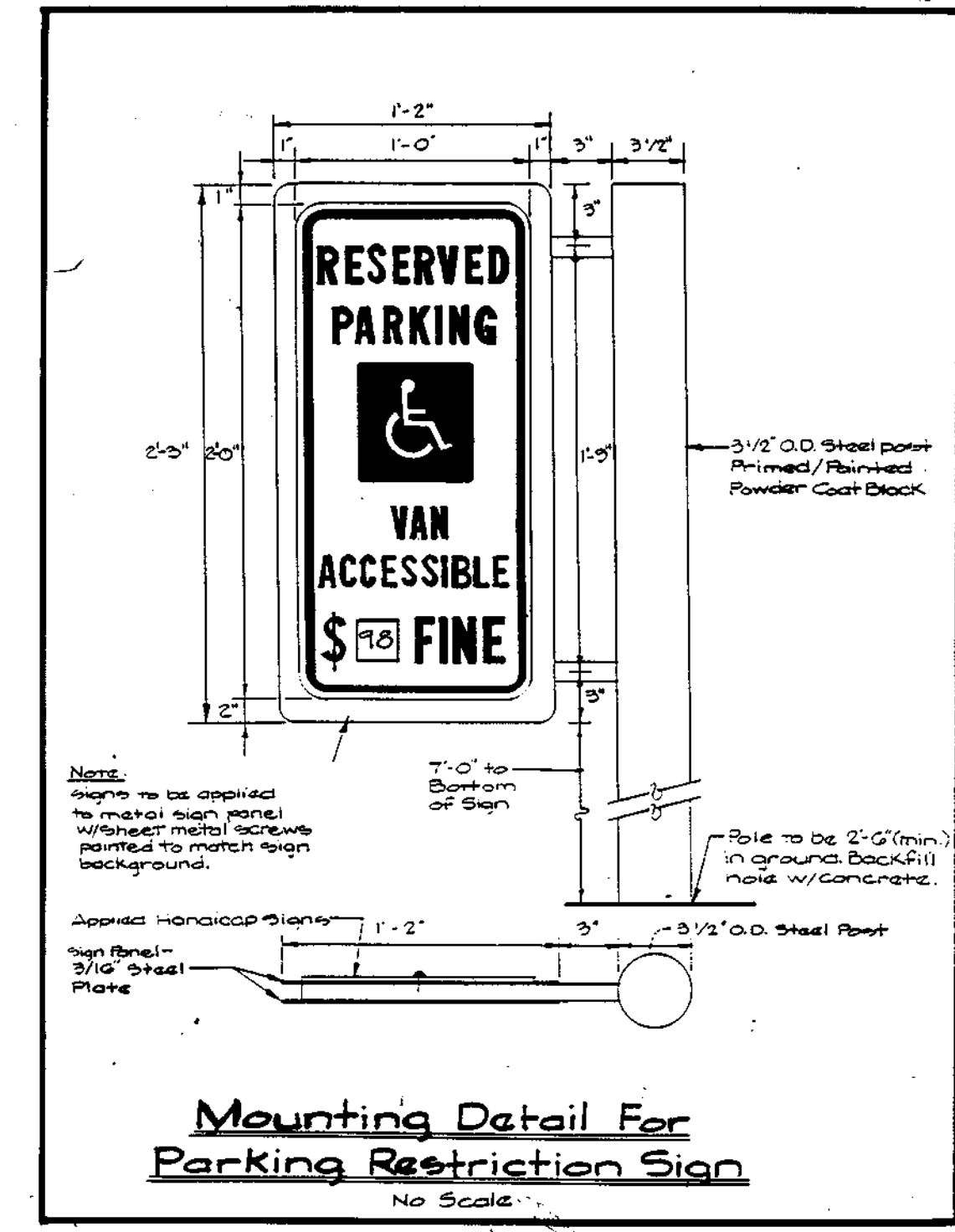
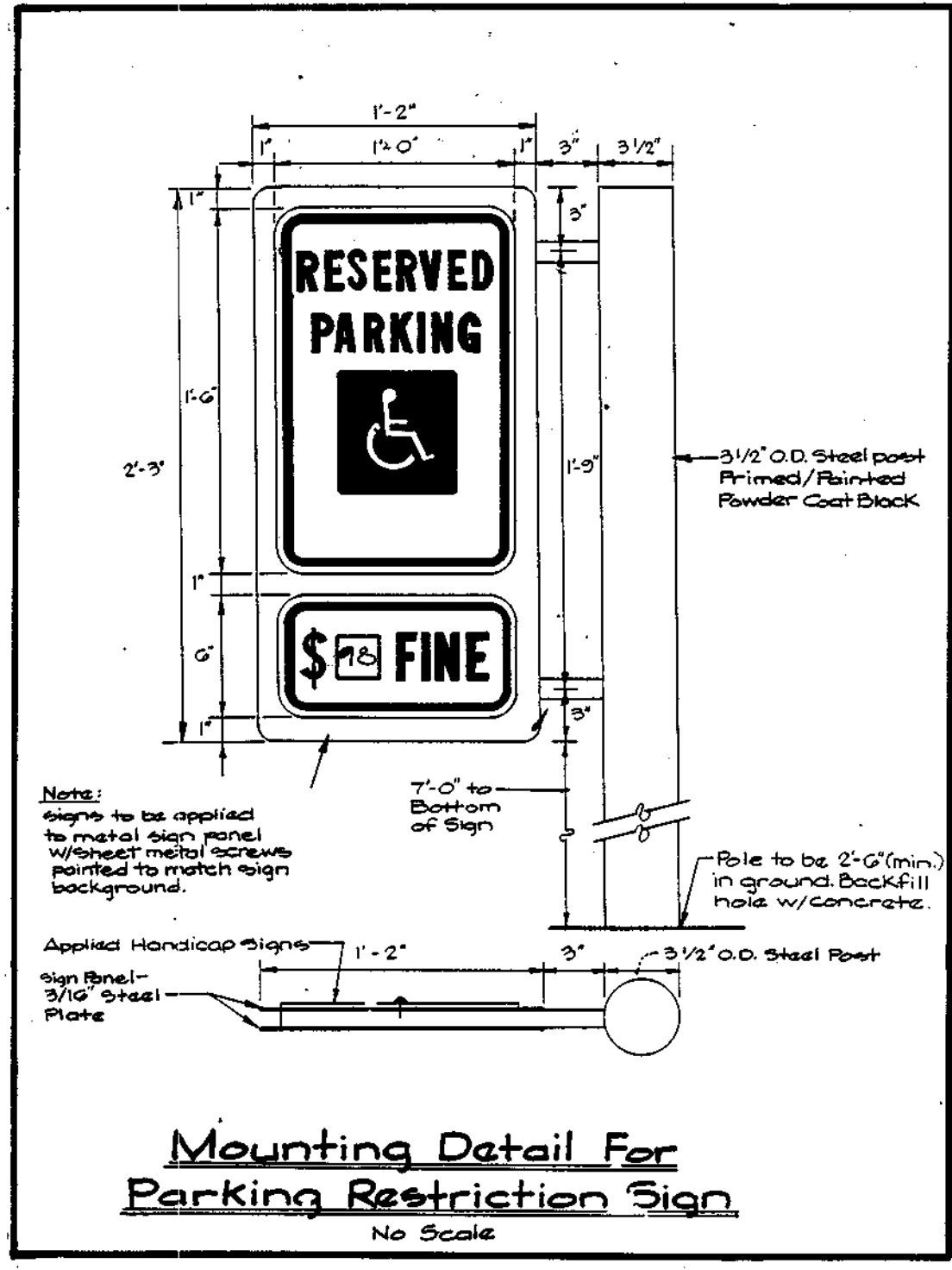
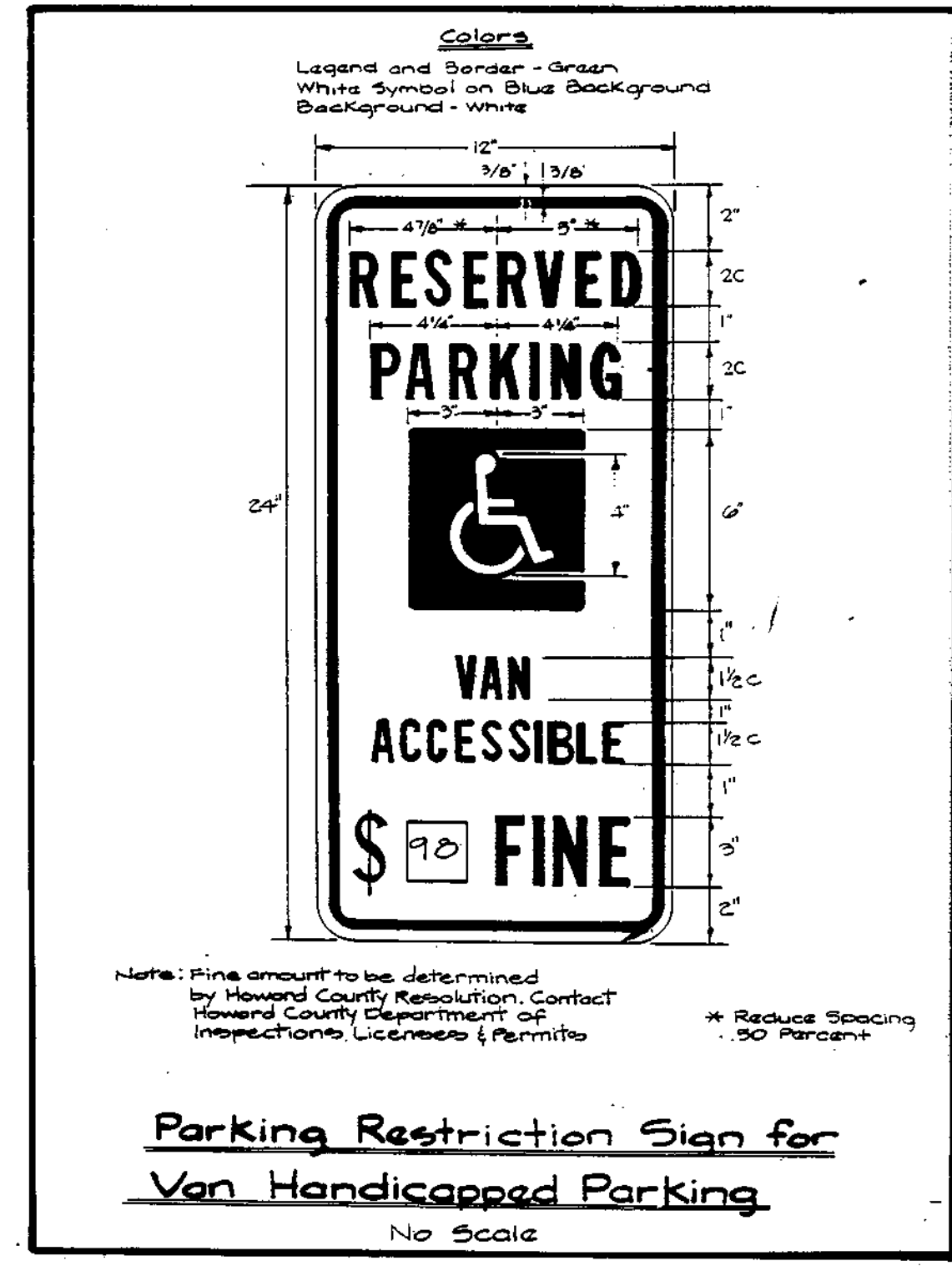
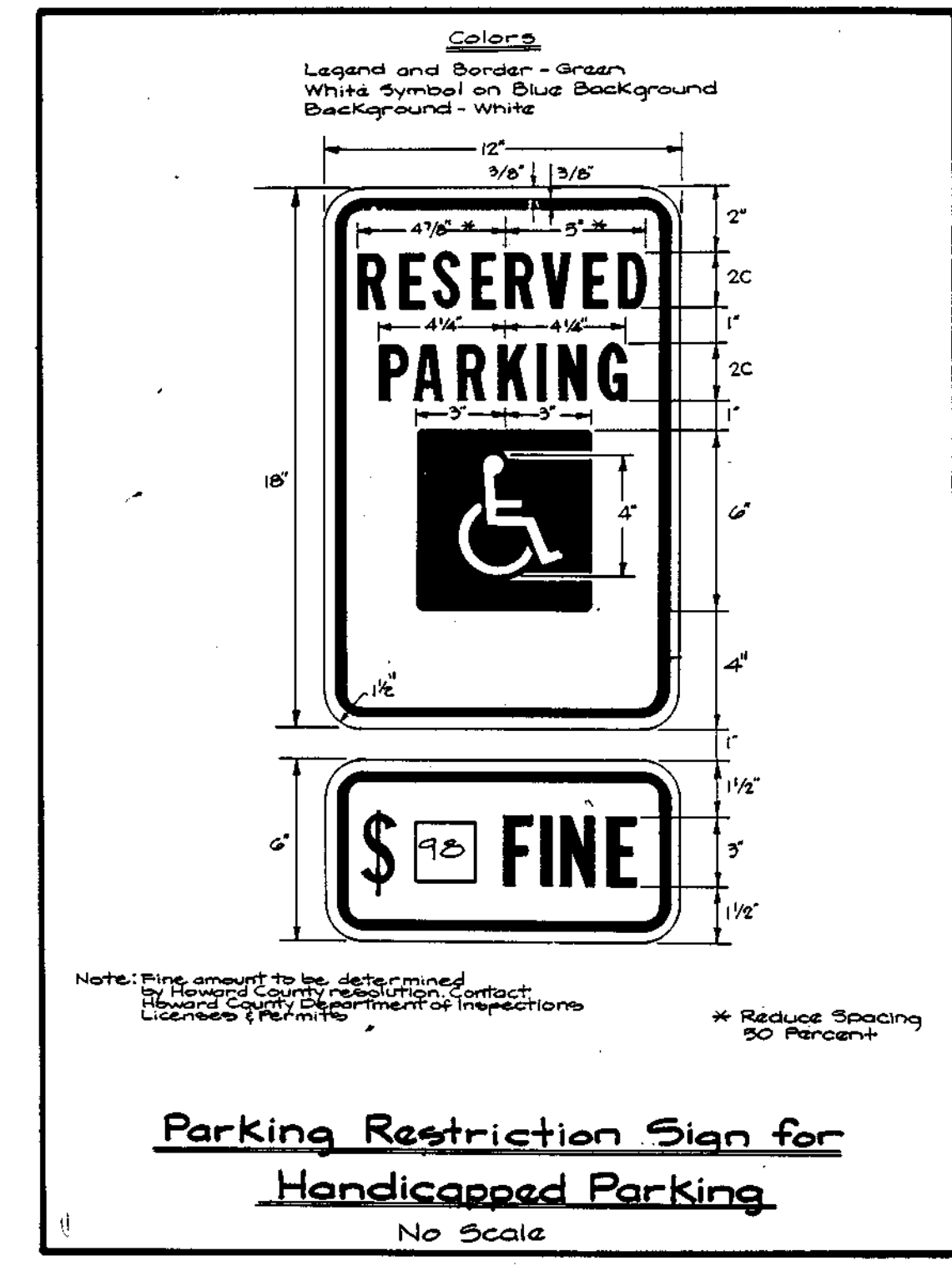


Handicap Accessibility Detail - West
Scale 1" = 20'

- Notes:**
1. Maximum sidewalk cross slope is 2% (1:50)
 2. A 5'x5' minimum level (2%) landing is required at the top and bottom of all ramps. Ramps are slopes greater than 2%
 3. Maximum slope in any direction of the handicap accessible parking is 2%



Handicap Passenger Loading Zone Detail
Scale: 1" = 20'



APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: JAN. 29, 1997

Approved For Public Water & Sewerage Systems
Howard County Health Department
County Health Officer: *[Signature]* 5-27-97 Date

Approved: Howard County Dept. of Planning & Zoning
Director: *[Signature]* 6/6/97 Date

Chief, Division of Land Development: *[Signature]* June 5, 1997 Date
Chief, Development Engineering Div.: *[Signature]* 5/28/97 Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20866
TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.
4/22/96	Rev. H.C. Detail - West	WJL	
5/16/97	Revise Grading	WJL	

PREPARED FOR:
The Howard Research & Development Corporation
10215 Little Patuxent Pkwy.
Columbia, Maryland 21044
Attn: Greg Klar
Phone: (410) 992-0970

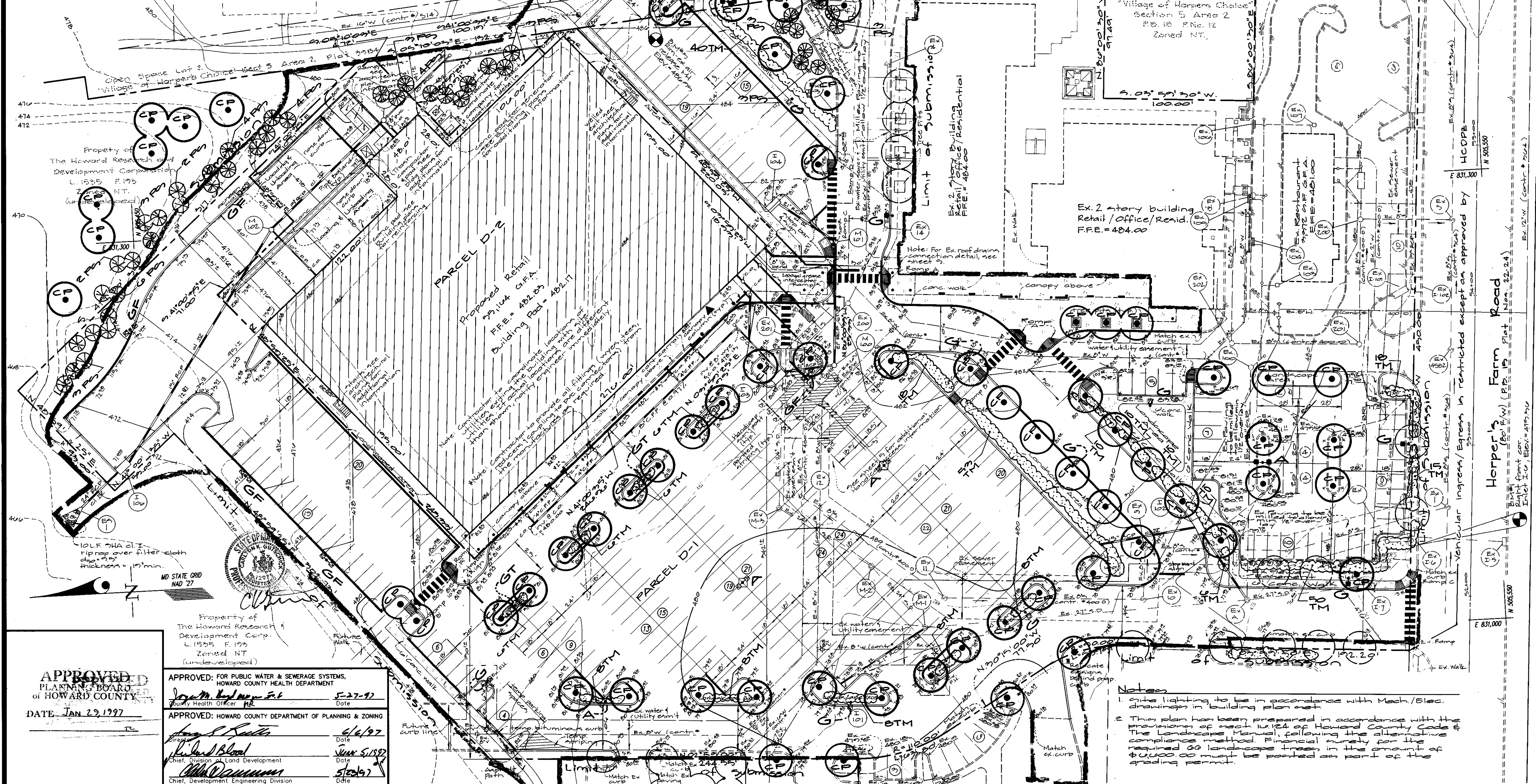
Handicap Accessibility Details
Village of Harper's Choice Village Center
Section 5 Area 2
Parcel D-1 & D-2
Gulford Election District No. 5
Howard County, Maryland

DES.:	SCALE	ZONING	G.L.W. FILE NO.
AS SHOWN	NT		96-045
DRN.:	DATE	TAX MAP NO.	SHEET
W.S.J.	October 1996	20	5 of 12

Lighting Legend

Label	Mounting Height	Luminaires
A	42'	07-4088 Gardco
GF42F	37'	04-5209 Gardco
G,GT	30'	07-4110 Gardco
GF	30'	04-5209 Gardco

"Village of Harper's Choice"
Section 5 Area 2
Plat Nos. 4516 & 4517
Zoned NT
(Open Spaces)



APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: JAN 29, 1997

Property of
The Howard Research and
Development Corp.
L 1535 P 193
Zoned NT
(unimproved)

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
County Health Officer: *John M. Kaylor* Date: 5-27-92

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chief, Division of Land Development: *Richard Blood* Date: 6/6/97
Chief, Development Engineering Division: *Alan Dammann* Date: 5/26/97

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

PREPARED FOR:
The Howard Research and
Development Corporation
12715 Little Retreat Parkway
Columbia, Maryland 21044
Attn: Mr. Kilar
Ph: (410) 992-0370

**For Landscape
Purposes Only!**

Landscaping Plan
Village of Harper's Choice Village Center
Section 5 Area 2
Parcels D-1 & D-2
5th Election District
Howard County, Maryland

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	90049
DATE	TAX MAP No.	SHEET
October 1996	27	6 of 12

Notes
1. site lighting to be in accordance with Mech./Elec. drawings in building plan set
2. This plan has been prepared in accordance with the provisions of sect. 16.124 of Howard County Code & The Landscape Manual, following the alternative compliance method. Financial surety for the required 60 landscape trees, in the amount of \$40,000.00 must be posted as part of the grading permit.

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

- a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.
- b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').
- c. Minimum size for planting shade trees shall be 3-3/4" caliper, 14'-16" in height.
- d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3"-3 1/2" caliper, 10'-12" in height.
- e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.
- f. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3 1/4"	14'-16'	6'-8'	32" diameter
3 1/4" - 4"	14'-16'	8'-10'	36" diameter
4" - 4 1/4"	16'-18'	8'-10'	40" diameter
4 1/4" - 5"	16'-17'	10'-12'	44" diameter
5" - 5 1/4"	16'-20'	10'-12'	48" diameter
5 1/4" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B+B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

- a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.
- b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.
- c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.
- d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3 1/4" cal.	32"	64"	28"
3 1/4" - 4" cal.	36"	72"	32"
4" - 4 1/4" cal.	40"	80"	36"
4 1/4" - 5" cal.	44"	88"	40"
5" - 5 1/4" cal.	48"	96"	44"
5 1/4" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

- a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.
- b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.
- c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.
- d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail". All trees over 3" in caliper are to be planted and guyed in accordance with the attached "Typical Tree Guying Detail".

5. Plant Pruning, Edging and Mulching

- a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.
- b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.
- c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

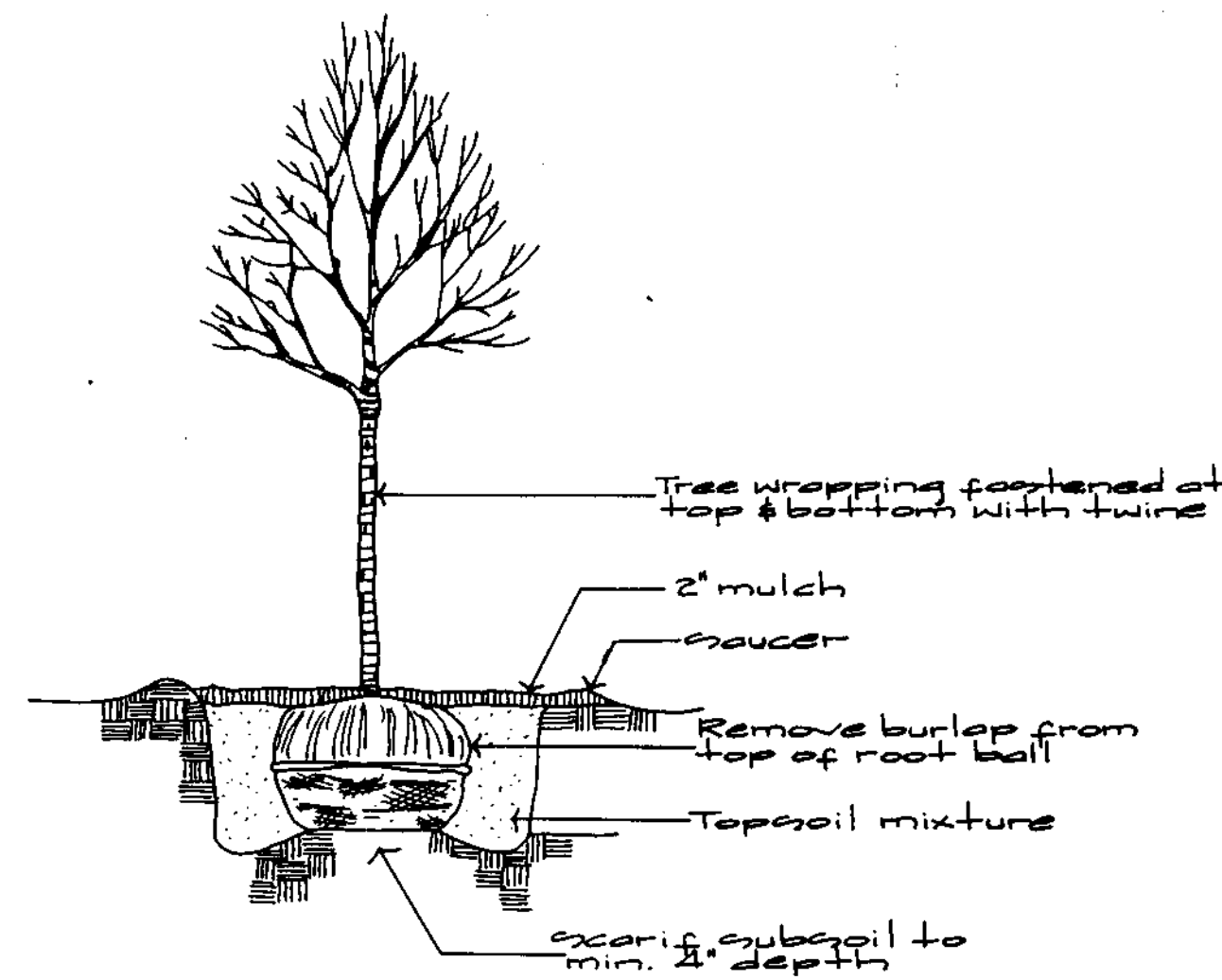
7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

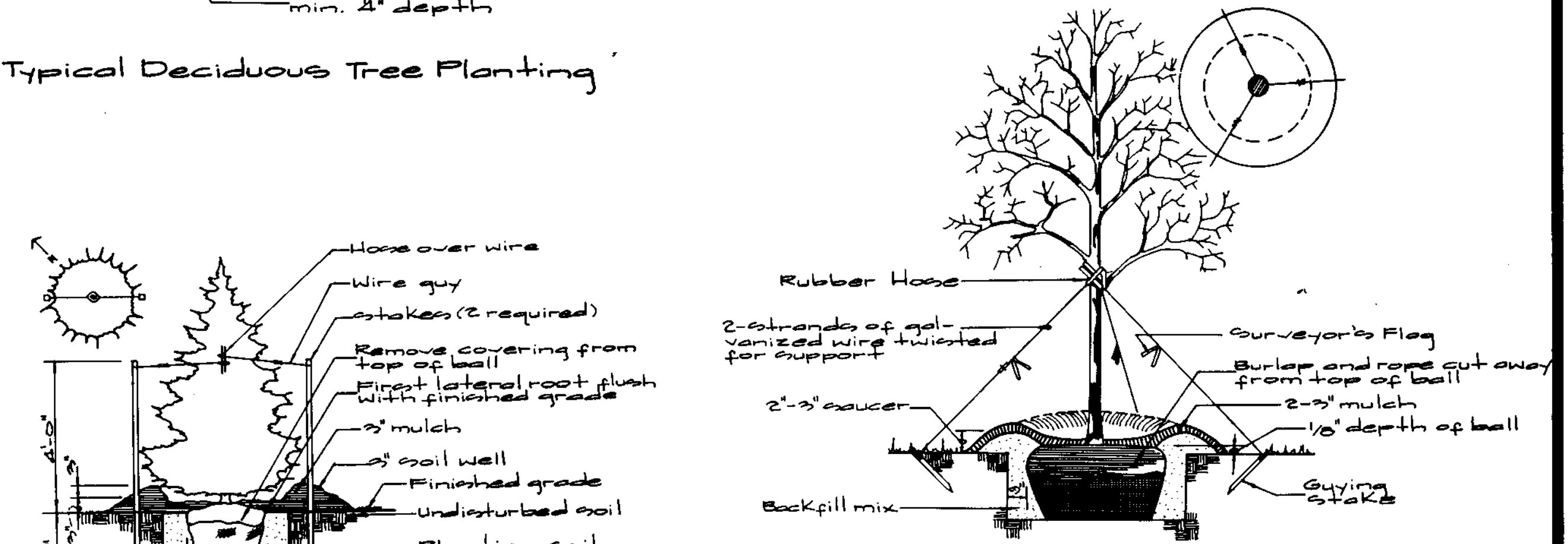
- a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.
- b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding
All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" - latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.



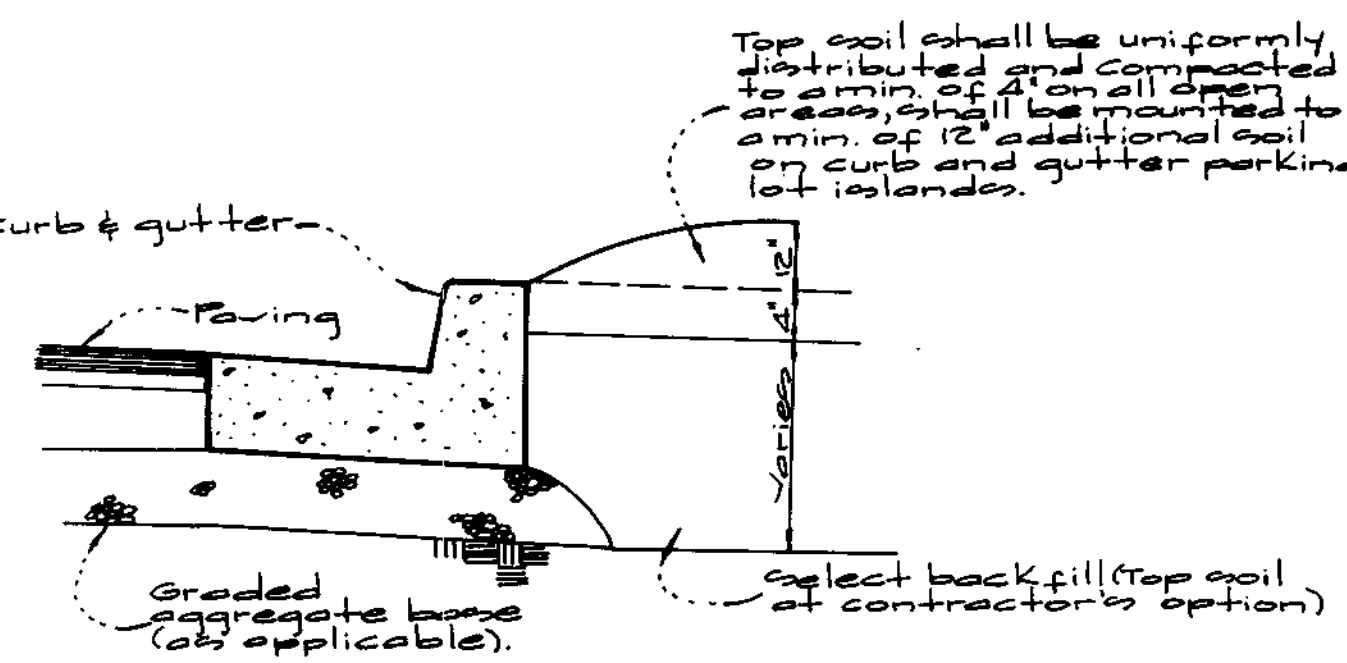
Typical Deciduous Tree Planting



Typical Tree Guying Detail

Plant List

Key	Qty.	Botanical/Common Name	Size	Remarks
CP	60	Plantanus x Acerfolia 'Columbia'/ Columbia Plane Tree	2-3 1/2 cal.	B+B branched 6'-0"
TM	304	Taxus Media densiformis/ Dense Yew	24-30" spread	B+B 2' O.C.
PS	41	Pinus strobus/White Pine	6'-8" Height	B+B



Topsoiling Detail

Materials:

Top soil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an Agronomist or soil scientist. It shall not have a mixture of contrasting textured subsoil and contain no more than 5 percent by volume of cinders, stones, slag, coarse aggregates, gravel, sticks, roots, trash or other extraneous materials larger than 1/2" in dia. Top soil must be free of plants or plant parts of bermuda grass, quack grass, johnson grass, nutcracker, poison ivy, thistles, or others as specified. All top soil shall be tested by a recognized laboratory for organic matter content, pH and soluble salts. A pH of 6.0 to 7.5 and an organic content of not less than 15 percent by weight is required. If pH value is less than 6.0, lime shall be applied and incorporated with the top soil to adjust the pH to 6.5 or higher. Top soil containing soluble salts greater than 500 per million shall not be used.

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE JAN. 29, 1997

Approved For Public Water & Sewerage Systems
Howard County Health Department
John M. Boyd, Health Officer, NR, 5-27-97

Approved Howard County Department of Planning & Zoning
Richard Blum, Director, 6/6/97

Chief Div. of Land Development
Chief Development Engineering
June 5, 1997
Stapler

GW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20866
TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
The Howard Research & Development Corporation
10275 Little Patuxent Pkwy.
Columbia, Maryland 21044
Attn: Greg Klar
Phone: (410)992-0370

Planting Notes & Details
Village of Harper's Choice Village Center
Section 5 Area 2
Parcels D-1 & D-2
Suiford Election District No. 5
Howard County, Maryland

DES.	SCALE	ZONING	G.L.W. FILE NO.
Mt.	As Shown	NT-Commercial	97C-045
DRN.	DATE	TAX MAP NO.	SHEET
W.S.J.	October 1996	20	7 of 12

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Howard S.C.D. Date 5/19/97 Carol Simmons Date 5/19/97
 Natural Resources Conservation Service

Engineer's Certificate
 I certify that this plan for erosion and sediment represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

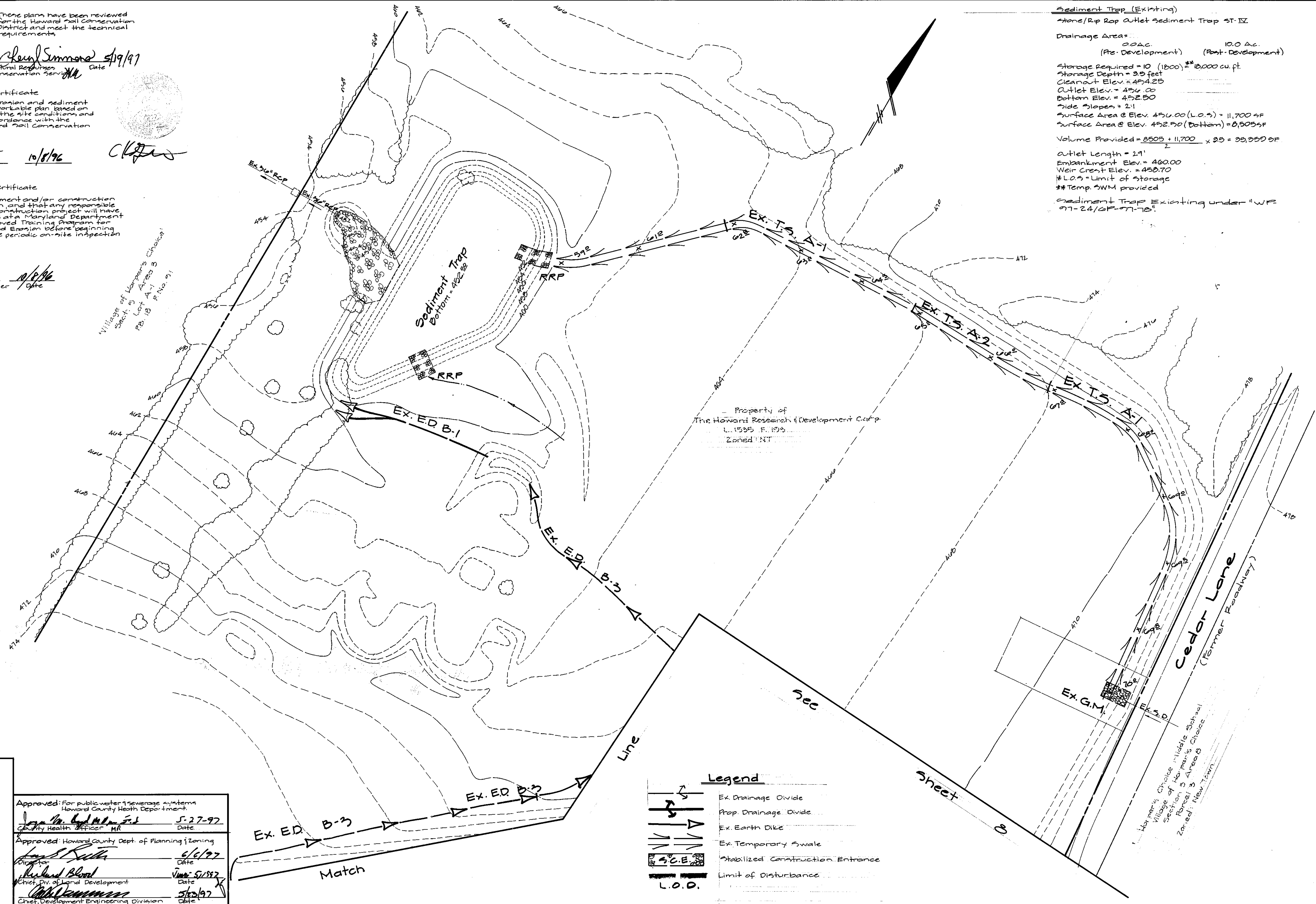
Cliff 10/8/96 Cliff

Developer/Builder Certificate

I/We certify that all development and/or construction done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the control of sediment and erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Alan 10/8/96
 Signature of Developer/Builder Date

Village of Harper's Choice
 Parcel A-1
 Parcel B
 P. No. 91



Sediment Trap (Existing)
 Stone/Rip Rap Outlet Sediment Trap ST-12
 Drainage Area = 10.0 Ac.
 (Pre-Development) (Post-Development)
 Storage Required = 10 (1800) = 18,000 cu. ft.
 Storage Depth = 3.5 feet
 Cleanout Elev. = 454.25
 Outlet Elev. = 454.00
 Bottom Elev. = 452.50
 Side Slopes = 2:1
 Surface Area @ Elev. 454.00 (L.O.S) = 11,700 sq ft
 Surface Area @ Elev. 452.50 (Bottom) = 8,505 sq ft
 Volume Provided = $\frac{8505 \times 11,700}{2} \times 3.5 = 33,250$ sq ft
 Outlet Length = 21'
 Embankment Elev. = 460.00
 Weir Crest Elev. = 450.70
 # L.O.S = Limit of Storage
 **Temp. SWM provided
 Sediment Trap Existing under "W.P. 97-24/GP-97-10"

Property of
 The Howard Research & Development Corp.
 L. 1535 F. 1535
 Zoned: NT

Cedar Lane
 (Former Roadway)

Harper's Choice Middle School
 Village of Harper's Choice
 Parcel B Area B
 Zoned: New Town

Legend

- Ex. Drainage Divide
- Prop. Drainage Divide
- Ex. Earth Dike
- Ex. Temporary Swale
- Stabilized Construction Entrance
- Limit of Disturbance
- L.O.D.

APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE: Jan 29, 1997

Approved: For public water & sewerage systems
 Howard County Health Department
John M. ... 5-27-97
 City Health Officer Date
 Approved: Howard County Dept. of Planning & Zoning
... 6/6/97
 Director Date
Richard Blood 5/18/97
 Chief, Div. of Land Development Date
Carol Simmons 5/19/97
 Chief, Development Engineering Division Date

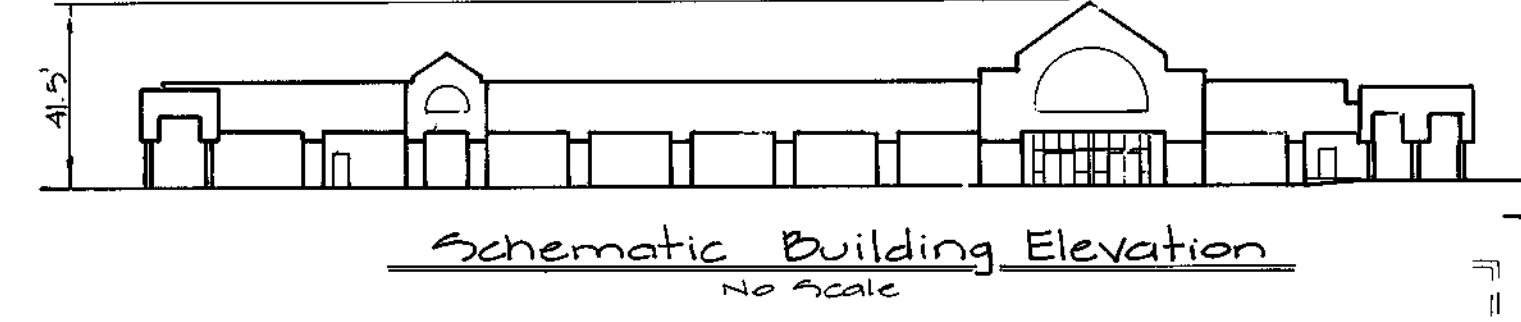
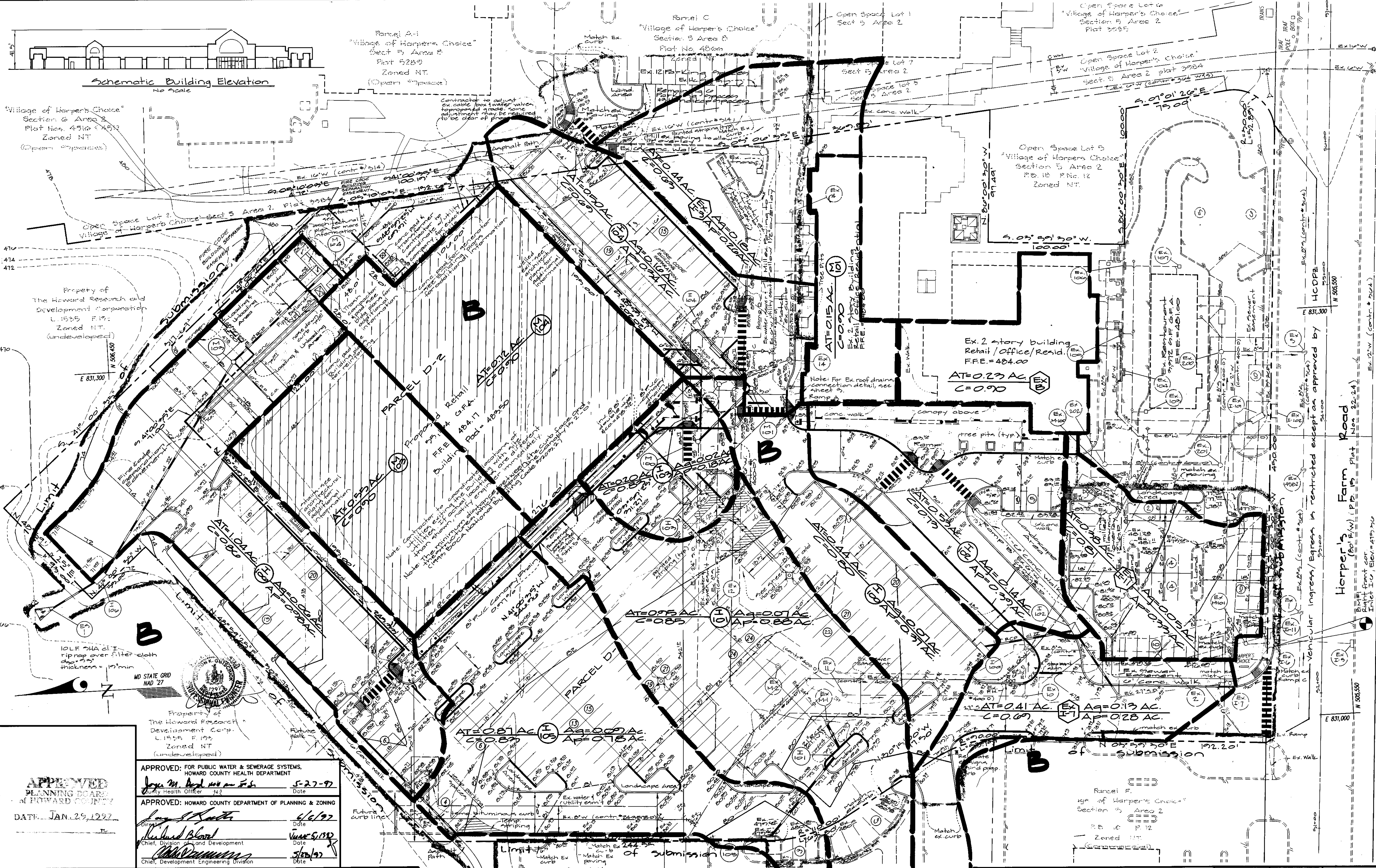
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20886
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 The Howard Research & Development Corporation
 10215 Little Patuxent Parkway
 Columbia, Maryland 21044
 Attn: Greg Kilar
 (410) 592-0570

Sediment Control Plan (Off-Site)
 Village of Harper's Choice Village Center
 Section B Area 2
 Parcels D-1 & D-2
 5th Election District
 Howard County, Maryland

DES.: MJT	SCALE: 1"=30'	ZONING: NT	G.L.W. FILE NO.: 96045
DRN.: MCF	DATE: Oct. 1996	TAX MAP NO.: 29	SHEET: 9 of 12
CHK.: [Signature]			



Village of Harper's Choice
Section 5 Area 2
Plat No. 4916
Zoned NT
(Open Space)

Parcel A-1
"Village of Harper's Choice"
Section 5 Area 2
Plat No. 5289
Zoned NT
(Open Space)

Parcel C
"Village of Harper's Choice"
Section 5 Area 2
Plat No. 4800

Open Space Lot 1
Section 5 Area 2

Open Space Lot 2
"Village of Harper's Choice"
Section 5 Area 2
Plat 3984

Open Space Lot 3
"Village of Harper's Choice"
Section 5 Area 2
Plat 3984

Open Space Lot 5
"Village of Harper's Choice"
Section 5 Area 2
Plat 10 Plat 12
Zoned NT

Property of
The Howard Research and
Development Corporation
L1975 P19
Zoned NT
(undeveloped)

Ex. 2 story building
Retail/Office/Resid.
F.F.E. = 484.00



Property of
The Howard Research and
Development Corp.
L1975 P19
Zoned NT
(undeveloped)

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
John M. ... 5-27-97
Date
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Richard Blood 6/6/97
Date
Chief, Division of Land Development
Chad ... 5/28/97
Date
Chief, Development Engineering Division

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: JAN. 29, 1997

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA. (301) 989-2524 (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

PREPARED FOR:
The Howard Research and
Development Corporation
10715 Little Potomac Parkway
Columbia, Maryland 21044
Attn: Greg ...
P. (410) 522-0510

Parcel D-1
"Village of Harper's Choice"
Section 5 Area 2
Plat No. 3489
(Commercial)

Parcel D-2
"Village of Harper's Choice"
Section 5 Area 2
Plat No. 3489
(Commercial)

Parcel F
"Village of Harper's Choice"
Section 5 Area 2
Plat 10 Plat 12
Zoned NT
(undeveloped)

Storm Drain Drainage Area Map
Village of Harper's Choice Village Center
Section 5 Area 2
Parcels D-1 & D-2
5th Election District
Howard County, Maryland

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	70045
DATE	TAX MAP No.	SHEET
October 1996	29	12 of 12