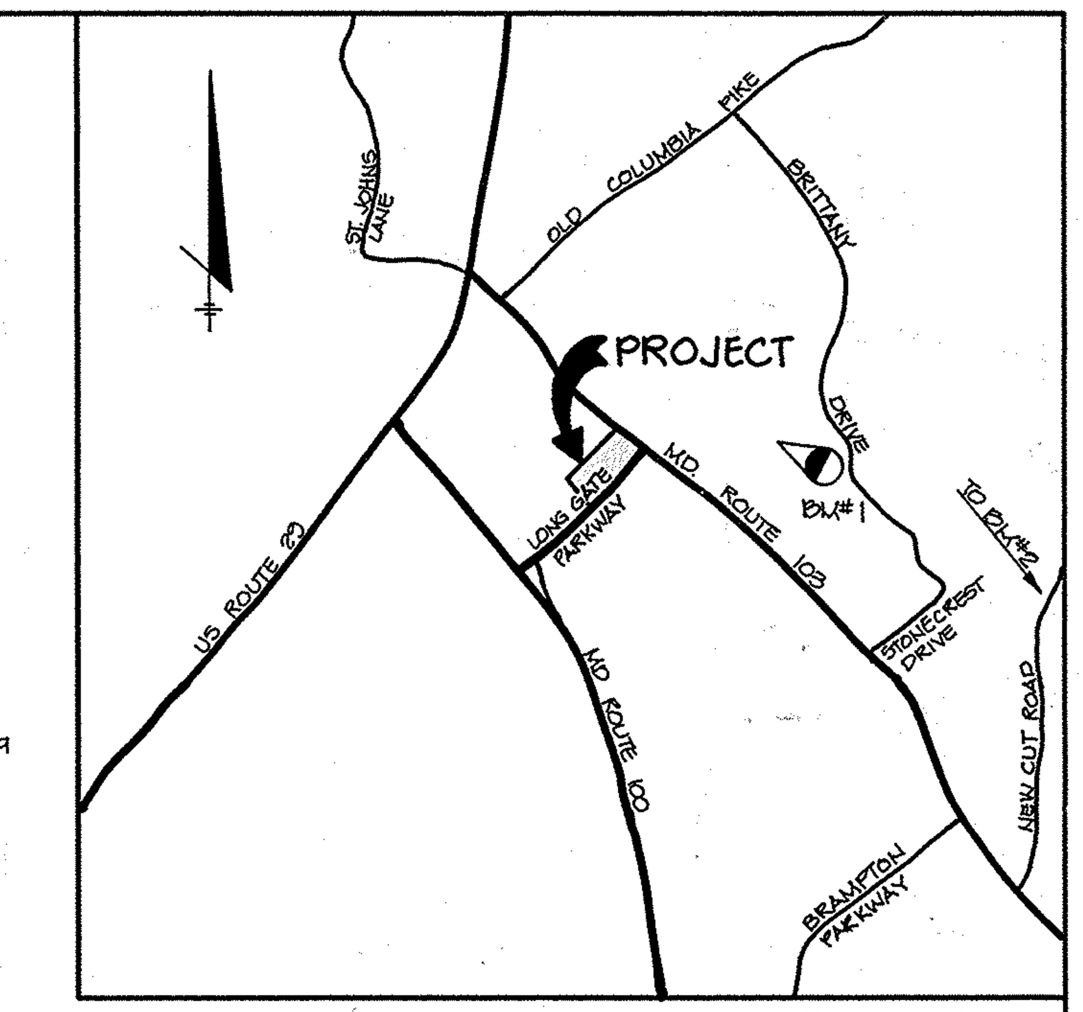
SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING & SEDIMENT CONTROL PLAN
4	PROFILES, NOTES, AND DETAILS
5	NOTES AND DETAILS
6	LANDSCAPING PLAN

SITE DEVELOPMENT PLAN
OUTBACK STEAKHOUSE/CARRABBA'S AT LONG GATE CENTER
PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

BENCHMARKS

BM#1 STA 3043001
ELEV. 437.92
N 516,549.55 E 853,656.51
32'± NORTH OF BGE TOWER 276-A
BEHIND SCHOOL GROUNDS

BM#2 STA 2943002
N 513,205.90 E 857,478.69
LOCATED ON THE TRANSMISSION LINE
1700'± NORTH OF INTERSECTION OF
ROUTE 103 AND NEW CUT ROAD AND
1150'± EAST OF NEW CUT ROAD

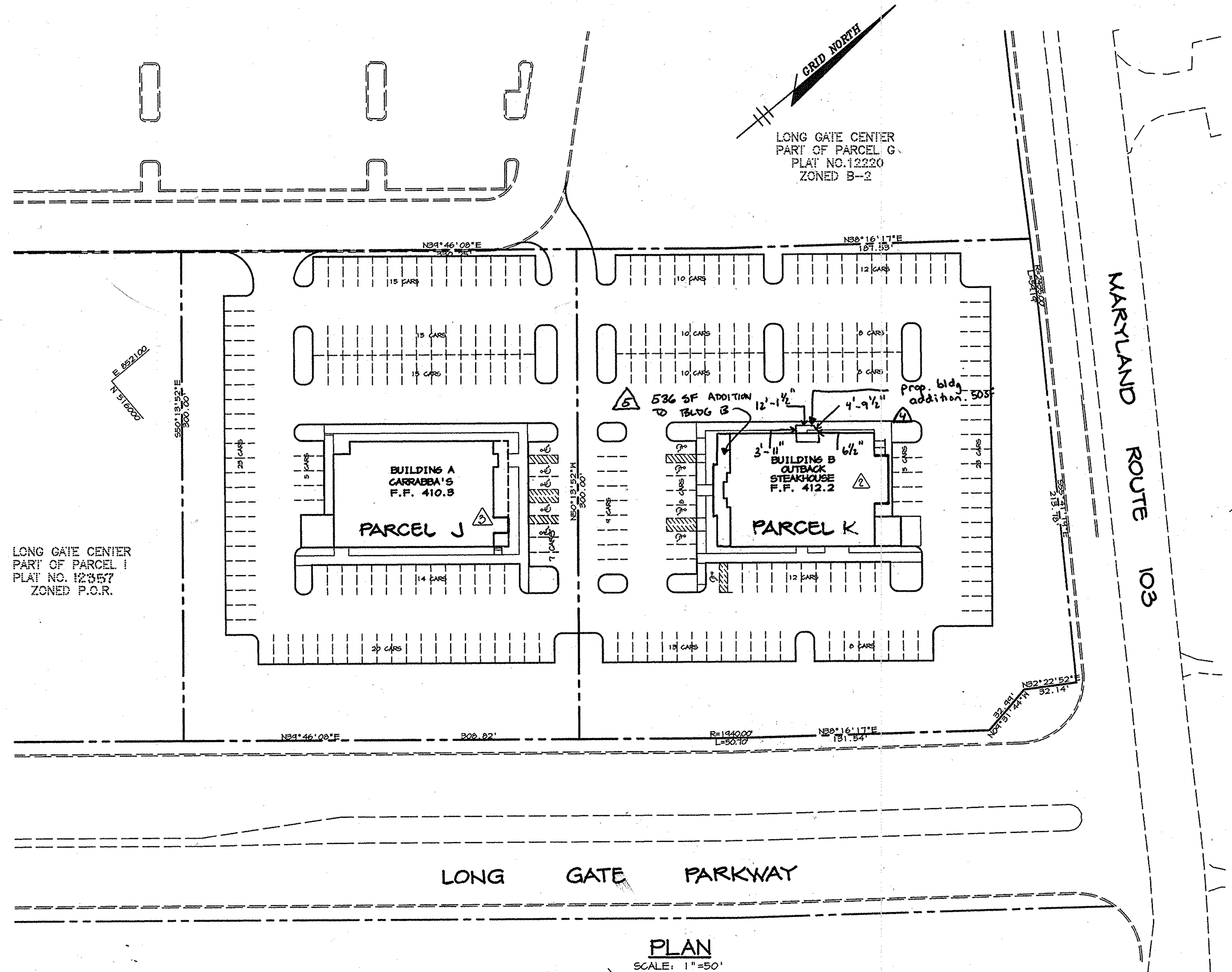


VICINITY MAP
SCALE: 1" = 2000'

COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE NO. 20894285

GENERAL NOTES

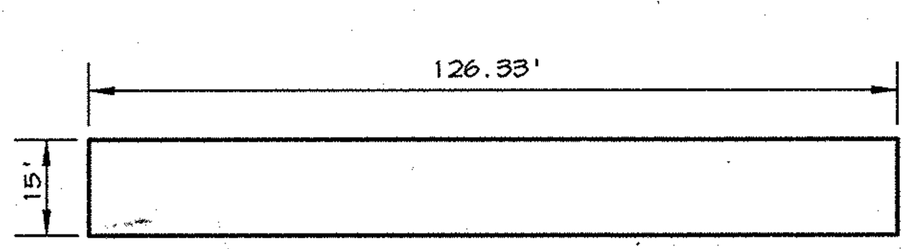
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AY LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE EXISTING TOPOGRAPHY IS TAKEN FROM SDP-95-62 WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOC. DATED SEPT. 1995.
7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 3043001-R AND 2943002 WERE USED FOR THIS PROJECT.
8. WATER IS PUBLIC PER CONTRACT NUMBER 24-3438-D.
9. SEWER IS PUBLIC PER CONTRACT NUMBER 24-3438-D. SEWER DRAINAGE AREA: 108 PUMPING STATION
10. THE STORMWATER MANAGEMENT FACILITY PROPOSED FOR THIS SITE IS PROVIDED BY A RETENTION FACILITY APPROVED UNDER SDP-95-62.
11. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
12. THERE IS NO ON-SITE 100 YEAR FLOODPLAIN.
13. THERE ARE NO ON-SITE WETLANDS.
14. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. DATED APRIL 21, 1995 AND WAS APPROVED UNDER SDP-95-62.
15. THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY RIEMER MUEGGE & ASSOC., INC. DATED APRIL 1996.
16. SUBJECT PROPERTY ZONED ~~POR~~ PER 10-18-93 COMPREHENSIVE ZONING PLAN.
17. ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
18. SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. SDP-95-62, F-95-93, F-97-25.
19. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
20. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
21. PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
22. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
23. ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
24. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
25. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
26. STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.e., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
27. PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
28. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
29. FOREST CONSERVATION OBLIGATIONS FOR THIS DEVELOPMENT HAVE BEEN ADDRESSED UNDER SDP-95-62.



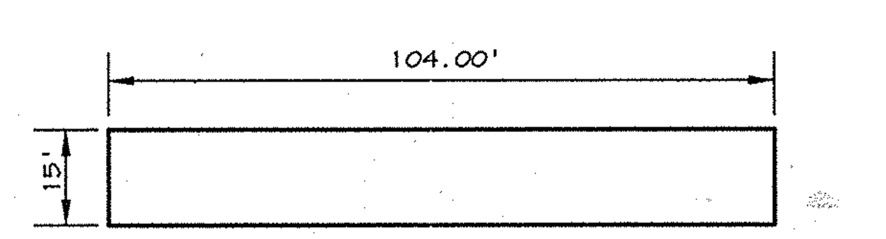
PLAN
SCALE: 1"=50'

SITE ANALYSIS

AREA OF PARCELS		72,329 SF - 1.66 ACRES (PARCEL J) 86,364 SF - 1.98 ACRES (PARCEL K)
PRESENT ZONING		POR
PROPOSED USE		SIT-DOWN RESTAURANTS
BUILDING COVERAGE		BLDG A: 7200 SF (10.0% OF PARCEL J) 5 BLDG B: ~~6099~~ SF (8.4% OF PARCEL K) 5 ~~5749~~ 4 7,285 SF 5
# OF PARKING SPACES REQ'D @ 14 SP/1000 SF	2 5 TOTAL	101 (PARCEL J) 102 (PARCEL K) 203 5
# OF PARKING SPACES PROVIDED	TOTAL	114 INCL. 5 HC (PARCEL J) 136 INCL. 5 HC (PARCEL K) 250
PAVED AREA	PARKING LOT SIDEWALKS TOTAL	87,984 SF 5,193 SF 93,177 SF (58.7% OF PARCELS J&K)



BUILDING 'A' NORTHEAST ELEVATION
NO SCALE



BUILDING 'B' NORTHEAST ELEVATION
NO SCALE

STATE OF MARYLAND REGISTERED PROFESSIONAL ENGINEER No. 21774

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of MD, License No. 21774, Expiration Date: 11/10/16.

5TH REVISION ONLY

STATE OF MARYLAND MATTHEW T. ALLEN NO. 28567 REGISTERED PROFESSIONAL ENGINEER

4-13-05

4th Revision Only

ADDRESS CHART	
BUILDING	STREET ADDRESS
A	4430 LONG GATE PARKWAY
B	4420 LONG GATE PARKWAY

SUBDIVISION NAME -			SECT./AREA -		PARCEL -
LONG GATE CENTER			-		J/K
PLAT # -	BLOCK # -	ZONING -	TAX MAP NO. -	ELECT. DIST. -	CENSUS TRACT -
12357	24 (MAP 24) 6 (MAP 30)	POR	24/30	2nd	6023.02
WATER CODE -			SEWER CODE -		
F09			5750601		

5.5.15	5 ADDED ADDITION TO BLDG B

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

[illegible] 10/18/96
COUNTY HEALTH OFFICER MR DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[illegible] 10/23/96
DIRECTOR DATE

[illegible] 10/17/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[illegible] 10/22/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH CAH DATE

DATE	NO.	REVISION
4-13-05	4	ADDED BLDG. ADDITION TO BLDG. "B"
5-27-03	3	ADDED BLDG. ADDITION TO BLDG. A
5-2-03	2	ADDED BLDG. ADDITION & REV. SITE TAB

OWNER	DEVELOPER
OPUS EAST, L.L.C. 6707 DEMOCRACY BLVD. SUITE 510 BETHESDA, MD 20817 (301) 493-4464	OUTBACK STEAKHOUSE 550 NORTH REO ST. SUITE 200 TAMPA, FL 33609 (813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
TITLE SHEET

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING ● ENVIRONMENTAL SERVICES ● PLANNING ● SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

10.10.'96
DATE

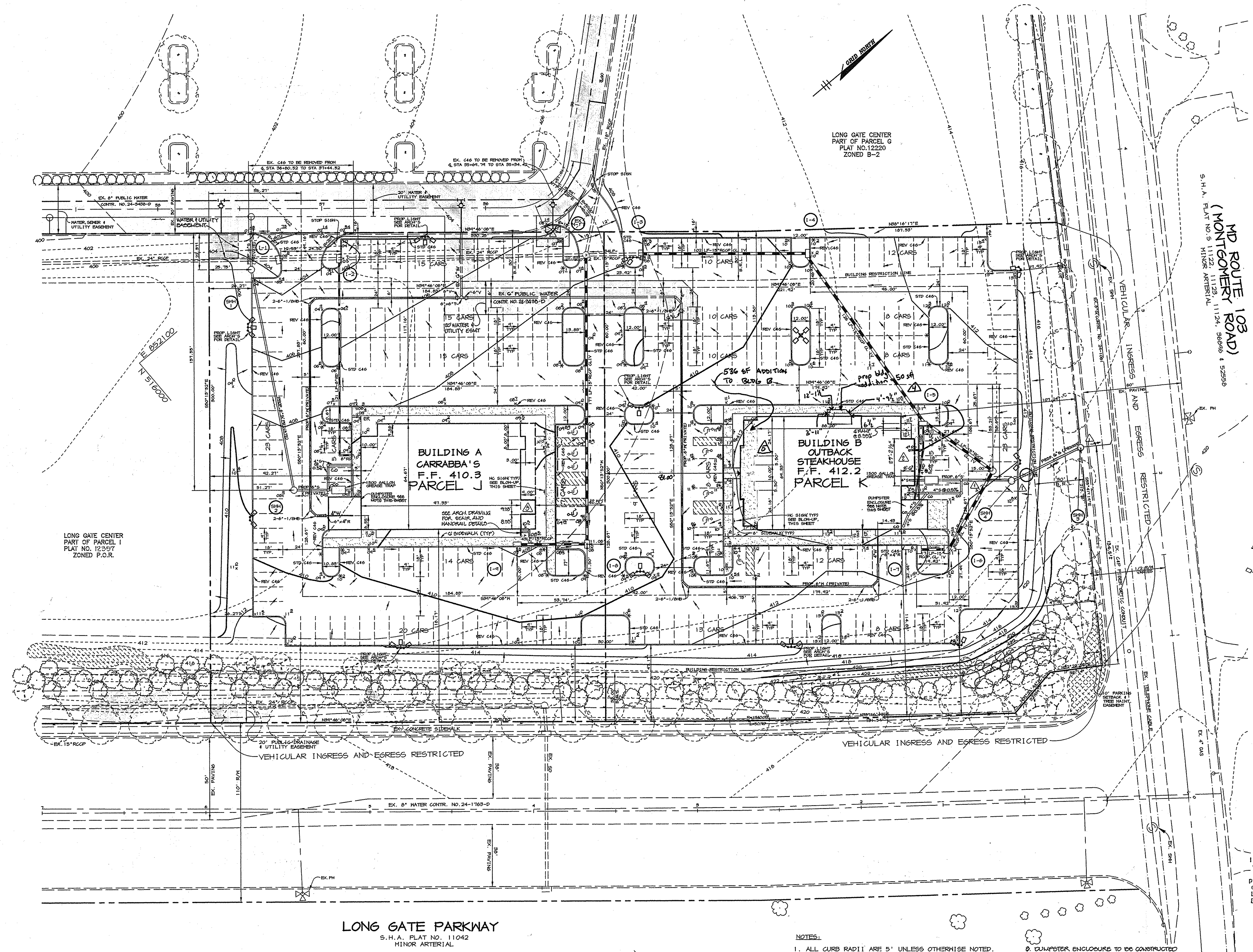
STATE OF MARYLAND JAYKANT D. PAREKH NO. 19148 REGISTERED PROFESSIONAL ENGINEER

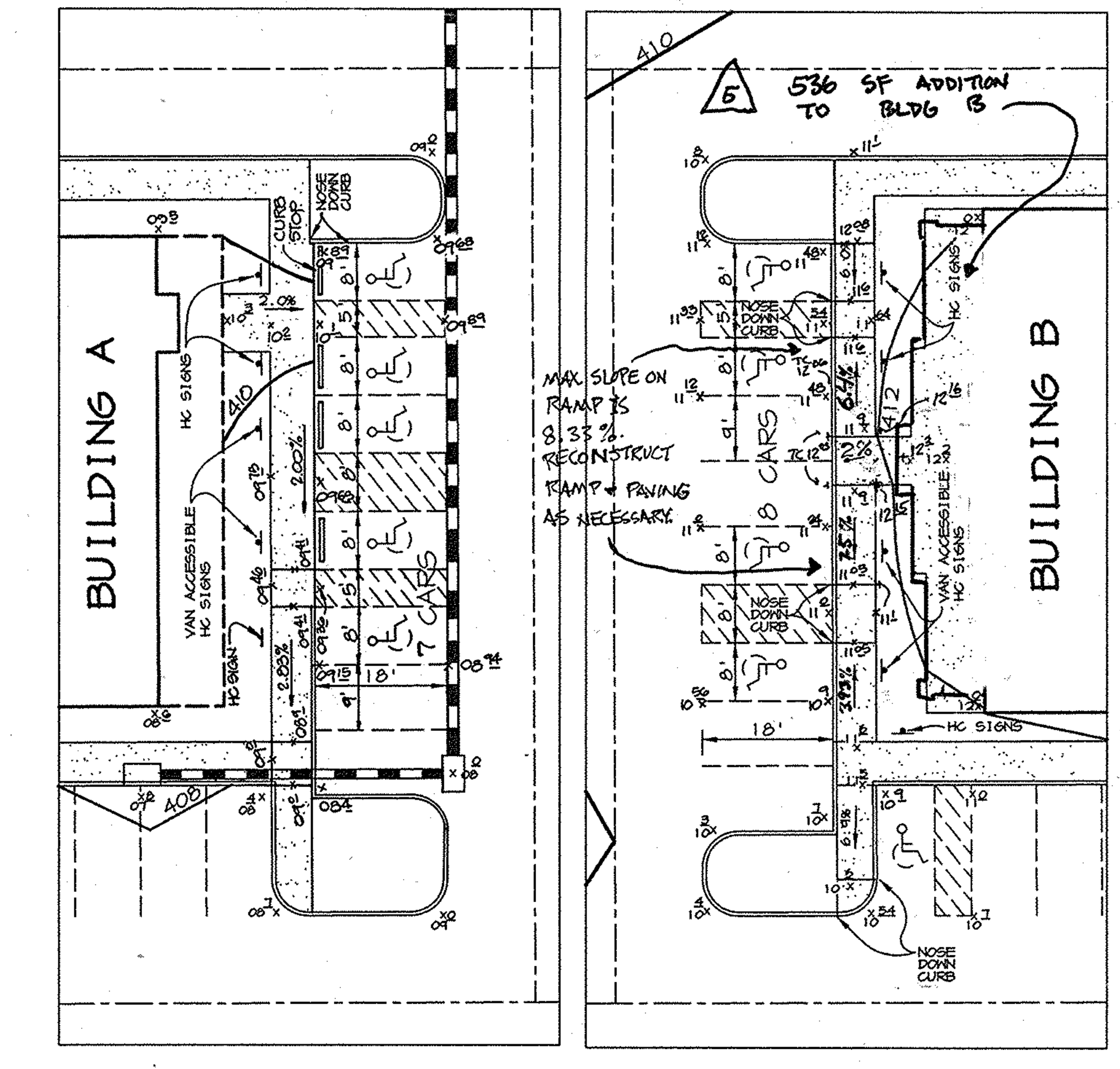
J. Parekh
JAYKANT D. PAREKH #19148

SDP-95-62 F-97-25
F-95-93

DESIGNED BY : CJR
DRAWN BY : RPP/DAM
PROJECT NO : HOCO\96E4701 C-1.DWG
DATE : OCTOBER 10, 1996
SCALE : AS SHOWN
DRAWING NO. 1 OF 6

SDP-97-020





HANDICAP ACCESS AREA

SCALE: 1'=20'

5.5.15	5	ADDED BLDG. ADDITION TO BUILDING B
5.27.03	3	ADDED TAKEOUT AREA ENCLOSURE & STAIRWAY CONNECTION - BLDG. A
DATE	NO.	REVISION

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joyce M. Boyd M.D. (cw) 10/18/96
COUNTY HEALTH OFFICER MR DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[illegible] 10/23/96
DIRECTOR DATE

[illegible] 10/17/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard Blood 10/22/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH CAH DATE

LEGEND

*	CURB TRANSITION
	LIGHTS

CARRABBA'S ITALIAN GRILL

OUTBACK STEAKHOUSE

4-13-05	4	ADDED BLDG. ADDITION TO BLDG. "B"
5-2-03	2	ADDED BLDG. ADDITION
12/13/96	1	RELOC. SMH'S 3 & 4, REROUTED CONNECTING SAN. LINES
DATE	NO.	REVISION

OWNER	DEVELOPER
OPUS EAST, L.L.C. 6707 DEMOCRACY BLVD. SUITE 510 BETHESDA, MD 20817 (301) 493-4464	OUTBACK STEAKHOUSE 550 NORTH REO ST. SUITE 200 TAMPA, FL 33609 (813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
SITE DEVELOPMENT PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

10.10.96
DATE

STATE OF MARYLAND JAYKANT D. PAREKH No. 19148 REGISTERED PROFESSIONAL ENGINEER

J. Parekh
JAYKANT D. PAREKH #19148

SDP-95-62 F-97-25
F-95-93

DESIGNED BY : CJR
DRAWN BY : RPP/DAM
PROJECT NO : HOCO\96E4701 C-2.DWG
DATE : OCTOBER 10, 1996
SCALE : 1"=30'
DRAWING NO. 2 OF 6

STATE OF MARYLAND 21774 REGISTERED PROFESSIONAL ENGINEER

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of MD, License No. 21774, Expiration Date: 11/10/15.

5TH REVISION ONLY

STATE OF MARYLAND MATTHEW T. 28567 REGISTERED PROFESSIONAL ENGINEER

4-13-05

4th Revision Only

NOTES:

1. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. ALL SPOT ELEVATIONS ARE TOP OF PAVING OR FINAL GROUND UNLESS OTHERWISE NOTED.
4. ALL EXTERIOR LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT ROAD RIGHT-OF-WAYS AND RESIDENTIALLY ZONED PROPERTIES.
5. ALL ON-SITE ROADWAYS ARE PRIVATE.
6. ALL PAVING IS P-2 UNLESS OTHERWISE SHOWN.
7. INLETS I-1, I-2 & I-3 SHALL BE INSTALLED ALONG AN EXISTING STORM DRAIN. REMOVE STORM DRAIN PIPES AS NECESSARY TO NEAREST PIPE JOINT FOR INSTALLATION OF INLETS.
8. DUMPSTER ENCLOSURE TO BE CONSTRUCTED WITH SAME MATERIAL AS BUILDING. WOODEN GATE IN FRONT. SEE ARCHITECTURAL DRAWINGS FOR FURTHER DETAILS.
9. GREASE TRAP DETAILS TO BE PROVIDED UNDER ARCHITECTURAL DRAWINGS.

SDP-97-070

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA OF SITE	3.64 ACRES
AREA DISTURBED	3.21 ACRES
AREA TO BE ROOFED OR PAVED	2.45 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.76 ACRES
TOTAL CUT	8281 CU. YARDS
TOTAL FILL	1084 CU. YARDS

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
11. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
12. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
13. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
14. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
15. BORROW SITE TO BE PRE-APPROVED BY THE SEDIMENT CONTROL INSPECTOR, OR IN CASE OF EXCESS MATERIAL, AN APPROVED SEDIMENT CONTROL PLAN WILL BE NEEDED TO DEPOSIT EXCESS OFF-SITE.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation : Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments : Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.)

Seeding : For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs per 1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching : Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation : Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments : In lieu of soil test recommendations, use one of the following schedules :

1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq.ft.)
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

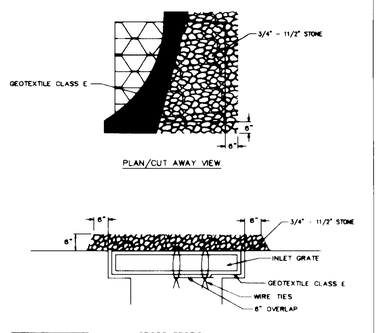
Seeding : For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options :

1) 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
2) Use sod.
3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

Mulching : Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal per 1000 sq.ft.) for anchoring.

Maintenance : Inspect all seeded areas and make needed repairs, replacements and reseedings.

DETAIL 23B - AT GRADE INLET PROTECTION

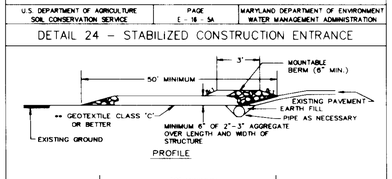


Construction Specifications

1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place
2. Place 3/4" to 11/2" stone, 4" - 6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 5A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

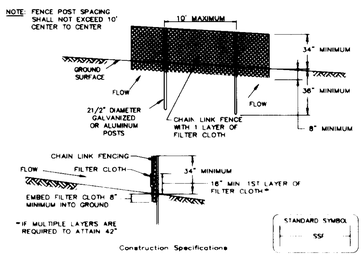


Construction Specification

1. Length - minimum of 50' (+30' for single residence lot)
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE



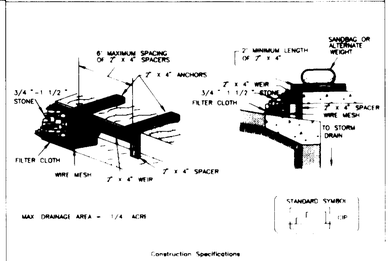
Construction Specifications

1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 8" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test MSMT 509
Flow Rate	0.3 gal/ft ²/minute (max.)	Test MSMT 322
Filtering Efficiency	75% (min.)	Test MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE H - 28 - 2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23C - CURB INLET PROTECTION



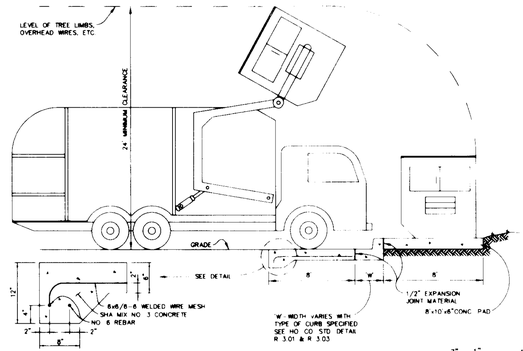
Construction Specifications

1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4') to the 2" x 4" weir (measuring throat length plus 2') as shown on the standard drawing.
2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
3. Securely nail the 2" x 4" weir to a 6' long vertical spacer to be located between the weir and the inlet face (max. 4' apart).
4. Place the assembly against the inlet throat and nail (minimum 2' lengths of 2" x 4" to top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
5. The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
6. Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" - 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
8. Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 3B	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

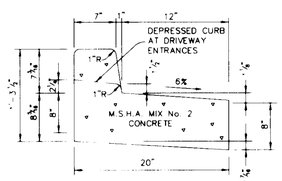
SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE. (2 DAYS)
3. ROUGH GRADE SITE. (1 WEEK)
4. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL STORM DRAINS WITH INLET PROTECTION, WATER AND SEWER UTILITIES. (2 WEEKS)
5. INSTALL CURB AND GUTTER AND PAVE ROADWAYS. (10 DAYS)
6. FINE GRADE SITE. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES AS NECESSARY. (10 DAYS)
7. INSTALL STREET LIGHTS, LANDSCAPING, AND SIGNS AS REQUIRED. (5 DAYS)
8. UPON APPROVAL OF THE HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (1 DAYS)



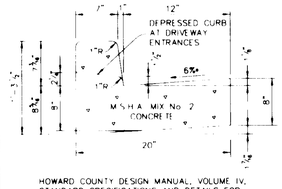
DUMPSTER PAD

NO SCALE



REVERSE 7" COMBINATION CURB AND GUTTER

NO SCALE

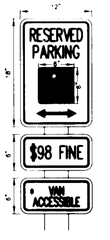


HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-3.01)

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT

STANDARD 7" COMBINATION CURB AND GUTTER

NO SCALE



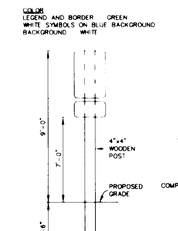
* FOR VAN ACCESSIBLE SPACES ONLY, SEE PLAN FOR LOCATION

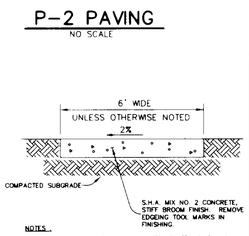
NOTE: DISTANCE FROM GROUND TO BOTTOM OF SIGN TO BE 7'

HANDICAP SIGN DETAIL

NO SCALE

COLOR
LEGEND AND BORDER GREEN
WHITE SYMBOLS ON BLUE BACKGROUND
BACKGROUND WHITE

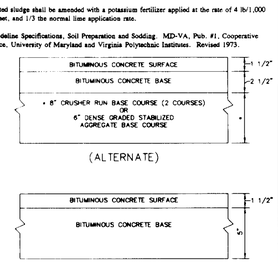




NOTES:
PROVIDE 1/4"TUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.)
PROVIDE CONTRACTION (DUMMY) JOINT AT 5' O.C. INTERVALS BETWEEN EXPANSION JOINTS. SIDEWALK TO BE SCRIBED IN 5' MAX. SQUARES.

SIDEWALK DETAIL

NO SCALE



HOWARD COUNTY DESIGN MANUAL VOLUME IV- STANDARD SPECIFICATIONS AND DETAILS FOR CONSTUCTION (DRAWING R-2.01)

P-2 PAVING

NO SCALE

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

I. This practice is limited to areas having 2:1 or flatter slopes where:
   a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
   b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
   c. The original soil to be vegetated contains material toxic to plant growth.
   d. The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
   i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1½" in diameter.
   ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
   iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

II. For sites having disturbed areas under 5 acres:
   i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

III. For sites having disturbed areas over 5 acres:
   i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
      a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be perscribed to raise the pH to 6.5 or higher.
      b. Organic content of topsoil shall be not less than 1.5 percent by weight.
      c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
      d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

   Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientistand approved by the appropriate approval authority, may be used in lieu of natural topsoil.
   ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application
   i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
   ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
   iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
   iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
   i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
      a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
      b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
      c. Composted sludge shall be applies at a rate of 1 ton/1,000 square feet.
   iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER — DATE 10.9.96

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER — DATE 10.10.96

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

NATURAL RESOURCES CONSERVATION SERVICE — DATE 10/15/96

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT — DATE 10/15/96

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

COUNTY HEALTH OFFICER — DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR — DATE 10/23/96

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 10/17/96

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH — DATE 10/22/96

CARRABBA'S

OUTBACK STEAKHOUSE

DATE	NO.	REVISION

OWNER	DEVELOPER
OPUS EAST, L.L.C. 6707 DEMOCRACY BLVD. SUITE 510 BETHESDA, MD 20817 (301) 493-4464	OUTBACK STEAKHOUSE 550 NORTH REO ST. SUITE 200 TAMPA, FL 33609 (813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
NOTES AND DETAILS

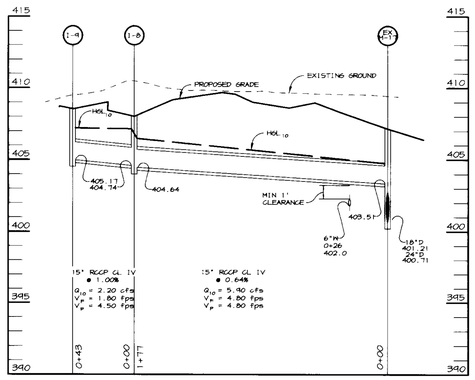
RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

10.10.96
DATE

JAYKANT D. PAREKH #19148

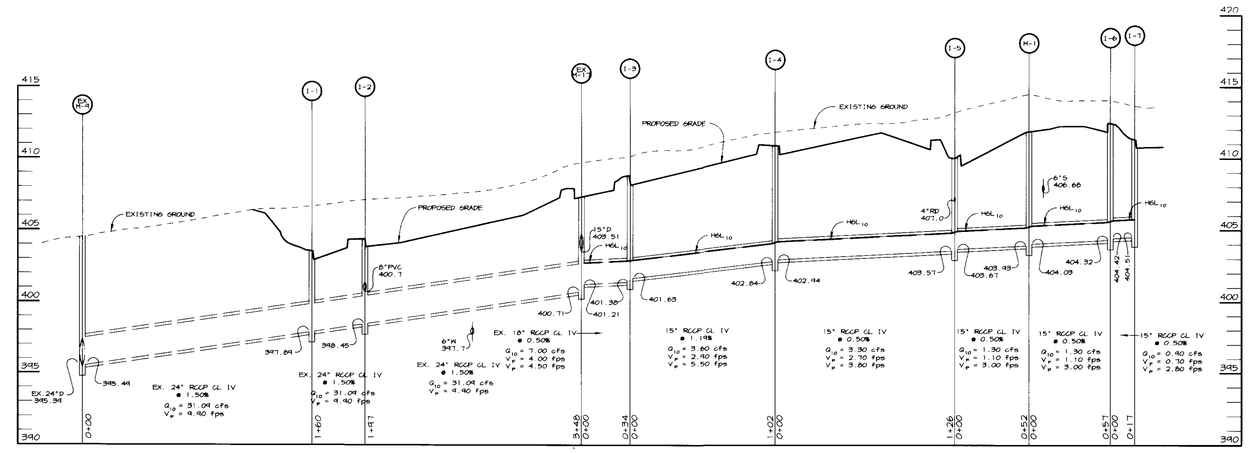
SDP-85-62 F-85-93	F-87-25
DESIGNED BY : CJR	
DRAWN BY : RPP/DAM	
PROJECT NO : HOCO\96E4701 C-5.DWG	
DATE : OCTOBER 10, 1996	
SCALE : AS SHOWN	
DRAWING NO. 5 OF 6	

SDP-97-020



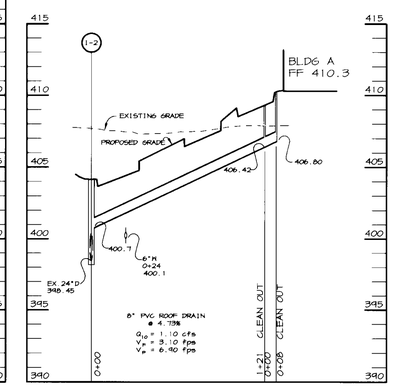
STORM DRAIN PROFILE

SCALE :
HOR. - 1" = 50'
VERT. - 1" = 5'



STORM DRAIN PROFILE

SCALE :
HOR. - 1" = 50'
VERT. - 1" = 5'



STORM DRAIN PROFILE

SCALE :
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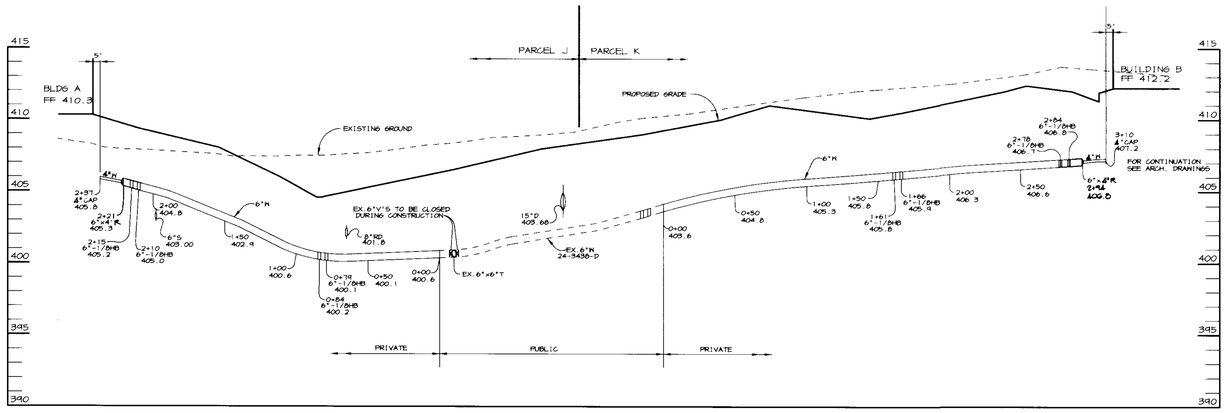
VERT. - 1" = 5'



WATER PROFILE

SCALE :
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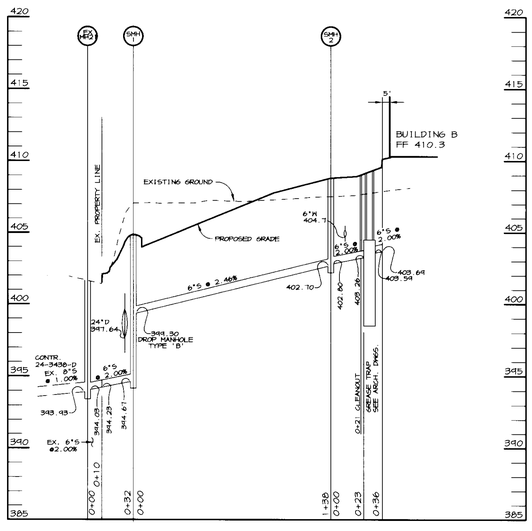
VERT. - 1" = 5'



SEWER PROFILE

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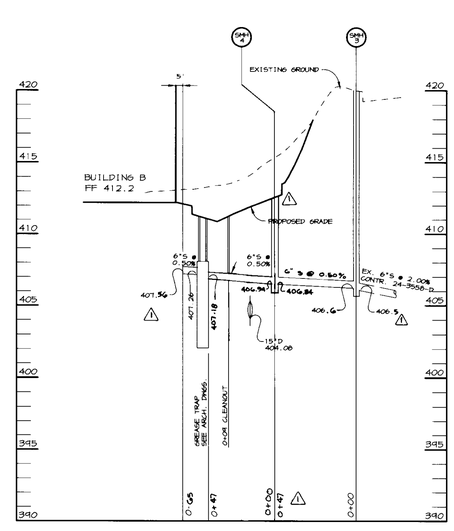


SEWER PROFILE

SCALE :
HOR. - 1" = 50'
VERT. - 1" = 5'

STORM DRAIN STRUCTURE SCHEDULE

NO.	TYPE	LOCATION	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	A-5	SEE PLAN	-	397.89	408.4	HOCO STD. DETAIL SD 4.01
I-2	A-5	SEE PLAN	-	398.45	404.3	HOCO STD. DETAIL SD 4.01
I-3	A-5	SEE PLAN	401.63	401.38	408.6	HOCO STD. DETAIL SD 4.01
I-4	A-5	SEE PLAN	402.94	402.84	410.6	HOCO STD. DETAIL SD 4.01
I-5	A-5	SEE PLAN	403.67	403.57	409.9	HOCO STD. DETAIL SD 4.01
I-6	A-5	SEE PLAN	404.42	404.32	412.3	HOCO STD. DETAIL SD 4.01
I-7	A-5	SEE PLAN	-	404.51	411.2	HOCO STD. DETAIL SD 4.01
I-8	S. INLET W/ RET. GRATE	SEE PLAN	404.74	404.64	408.0 *	HOCO STD. DETAILS SD 4.22, 4.93
I-9	A-5	SEE PLAN	-	405.17	408.4	HOCO STD. DETAIL SD 4.01
M-1	4' MH	SEE PLAN	404.03	403.93	411.7	HOCO STD. DETAIL SD 5.12

* DENOTES TOP OF GRATE ELEVATION

SANITARY SEWER STRUCTURE SCHEDULE

NO.	TYPE	LOCATION	INV. IN	INV. OUT	TOP ELEV.	REMARKS
SMH-1	4' MH	SEE PLAN	393.30	394.67	404.80	HOCO STD. DETAIL SD 5.12
SMH-2	4' MH	SEE PLAN	402.80	402.70	408.9	HOCO STD. DETAIL SD 5.12
SMH-3	4' MH	SEE PLAN	406.6 ⚠	406.5 ⚠	420.0	HOCO STD. DETAIL SD 5.12
SMH-4	4' MH	SEE PLAN	406.94	406.84	411.75	HOCO STD. DETAIL SD 5.12

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

COUNTY HEALTH OFFICER — DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR — 10/23/96 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION — 10/17/96 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH — 10/22/96 DATE

CARRABBA'S ITALIAN GRILL

OUTBACK STEAKHOUSE

DATE	NO.	REVISION
12-13-96	⚠1	MODIFIED SEWER PROFILE SAN. SEWER STRUC. SCHED TO REFLECT RELOC. OF SMH'S 3 & 4.

OWNER

OPUS EAST, L.L.C.
6707 DEMOCRACY BLVD.
SUITE 510
BETHESDA, MD 20817
(301) 493-4464

DEVELOPER

OUTBACK STEAKHOUSE
550 NORTH REO ST.
SUITE 200
TAMPA, FL 33609
(813) 282-1225

PROJECT : OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA : TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE : PROFILES, NOTES, AND DETAILS

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

10.10.96
DATE

J. Parekh
JAYKANT D. PAREKH #19148

SDP-85-62 F-87-25
F-85-93

DESIGNED BY : CJR

DRAWN BY : RPP/DAM

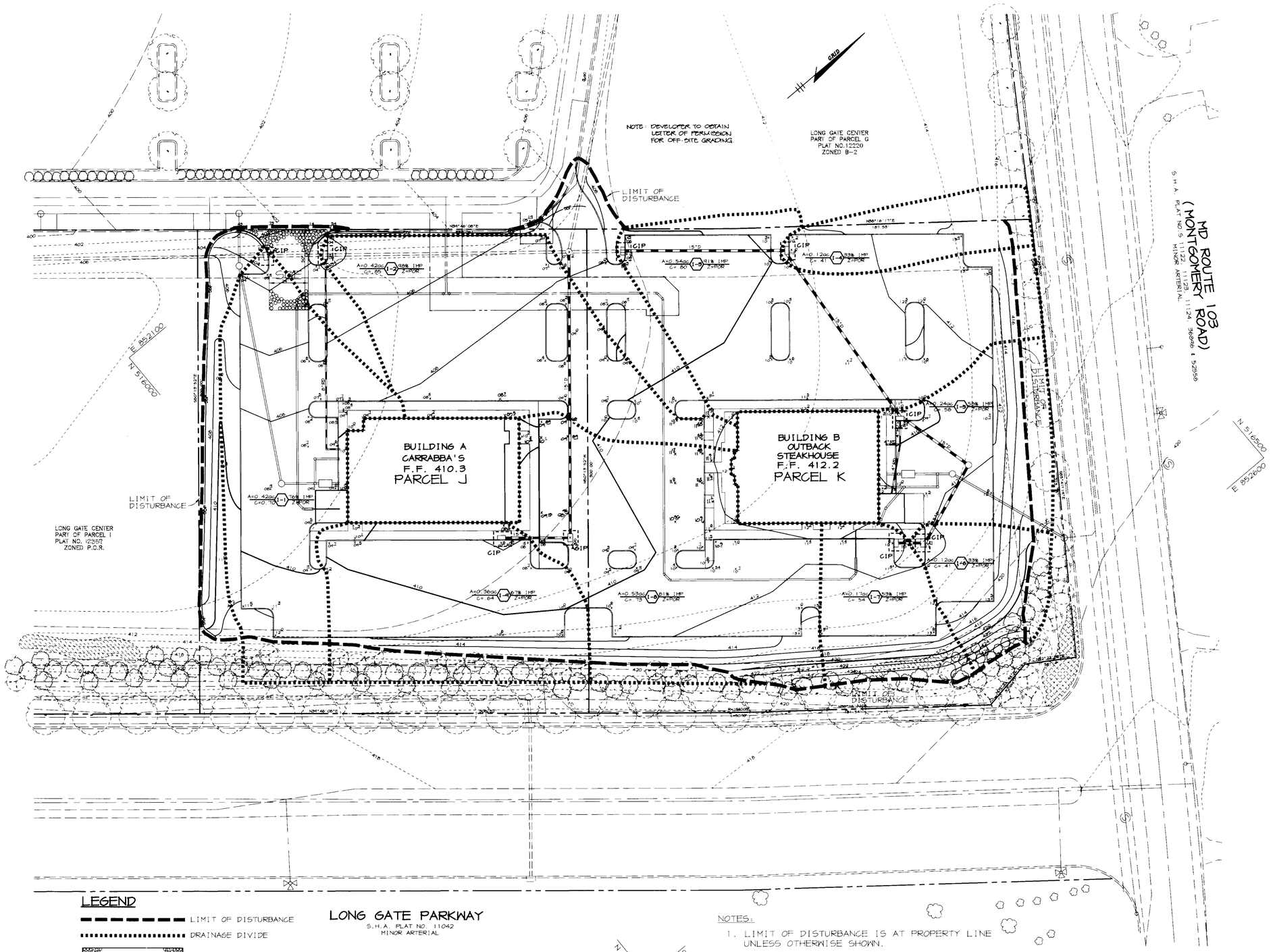
PROJECT NO : HOCO\96E4701\C-4.DWG

DATE : OCTOBER 10, 1996

SCALE : AS SHOWN

DRAWING NO. 4 OF 6

SDP-97-020



BY THE DEVELOPER :

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DEVELOPER — DATE 10.9.96

BY THE ENGINEER :

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ENGINEER — DATE 10.10.'96

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

NATURAL RESOURCES CONSERVATION SERVICE — DATE 10/15/96

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT — DATE 10/15/96

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

COUNTY HEALTH OFFICER — DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR — DATE 10/23/96

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 10/17/96

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH — DATE 10/22/96

DATE	NO.	REVISION

OWNER
OPUS EAST, L.L.C.
6707 DEMOCRACY BLVD.
SUITE 510
BETHESDA, MD 20817
(301) 493-4464

DEVELOPER
OUTBACK STEAKHOUSE
550 NORTH REO ST.
SUITE 200
TAMPA, FL 33609
(813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE GRADING AND SEDIMENT CONTROL PLAN & DRAINAGE AREA MAP

RIEMER MUEGG & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

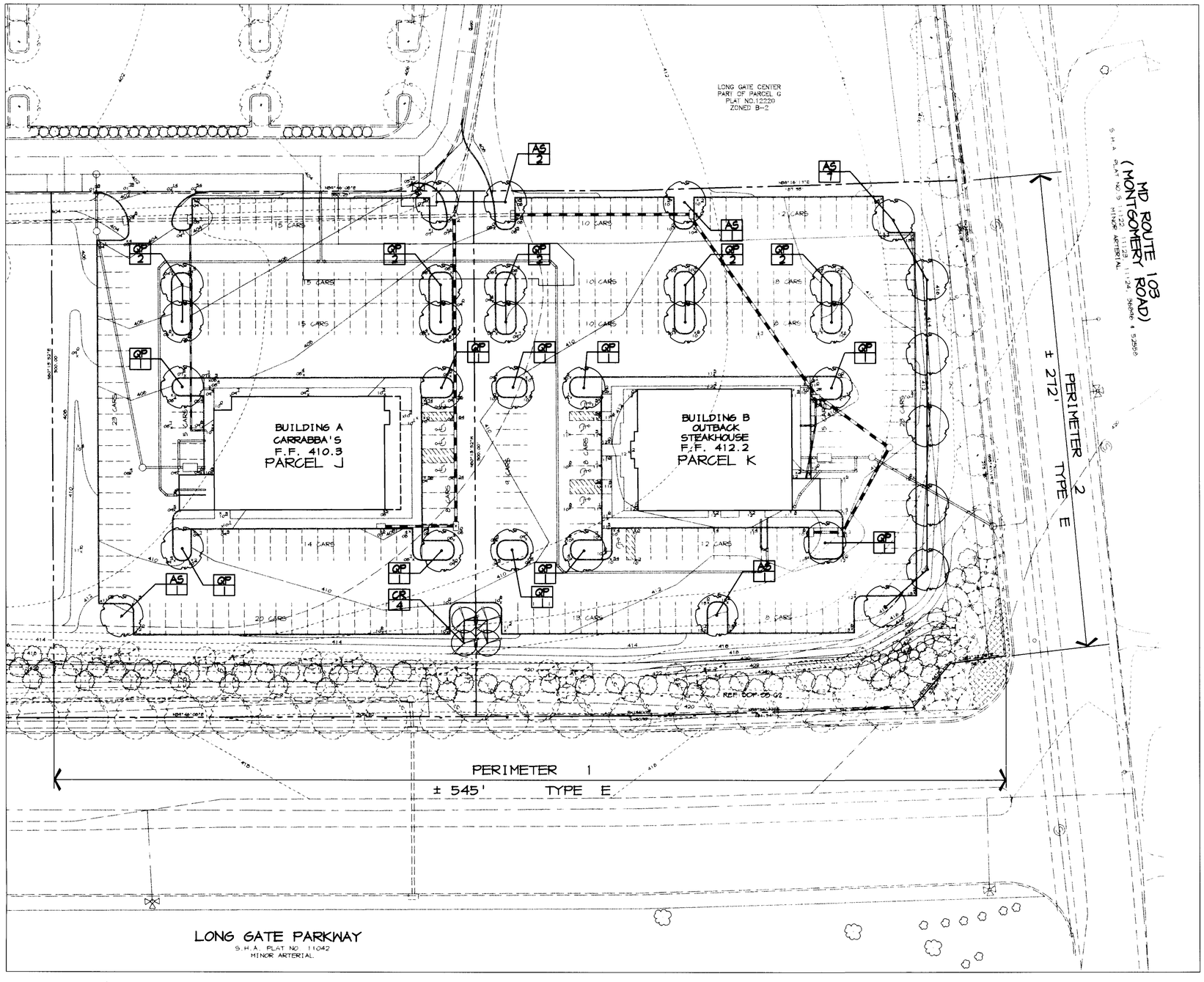
10.10.96
DATE

JAYKANT D. PAREKH #19148

SDP-85-62
F-85-93
F-87-25

DESIGNED BY : CJR
DRAWN BY : RPP/DAM
PROJECT NO : HOCO\96E4T01 C-3.DWG
DATE : OCTOBER 10, 1996
SCALE : 1"=30'
DRAWING NO. 3 OF 6

SDP-97-020



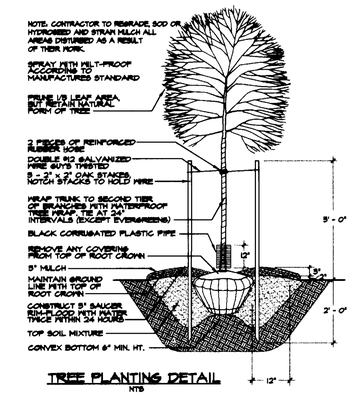
NOTE: THIS PLAN FOR LANDSCAPE PURPOSES ONLY.

GENERAL REFERENCE NOTE:
FOR EXISTING TREE PLANTINGS ALONG BERM, ROUTE 103, AND LONG GATE PARKWAY SEE SDP-95-62.

PLANT MATERIAL LIST

KEY	QTY	BOTANICAL + COMMON NAME	SIZE	REMARKS
		TREES		
AS	12	Acer saccharum 'Green Mountain' Green Mountain Sugar Maple	2½" - 3" Cal.	B & B
CR	4	Chionanthus retusus Chinese Fringetree	1½" - 2" Cal.	B & B
QP	20	Quercus phellos Willow Oak	2½" - 3" Cal.	B & B

PLANTING DETAILS



TREE PLANTING DETAIL
NTS

LANDSCAPE SCHEDULES

SCHEDULE A *
PERIMETER LANDSCAPE EDGE

	ADJACENT TO ROADWAYS	
PERIMETER	1	2
LANDSCAPE TYPE	E	E
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 545'	± 272'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO
CREDIT FOR WALL FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES ± 545' SEE NOTE *1 BELOW	YES ± 272' SEE NOTE *2 BELOW
NUMBER OF PLANTS REQUIRED SHADE TREES	@ 1/40' = 14	@ 1/40' = 7
EVERGREEN TREES	0	0
SHRUBS	0	0
NUMBER OF PLANTS PROVIDED SHADE TREES	10	1
EVERGREEN TREES	0	0
SHRUBS	40	0
SMALL FLOWERING TREES	4	0

SUBSTITUTION NOTES:
PERIMETER LANDSCAPE EDGE: SCHEDULE A
PERIMETER 1:
SUBSTITUTE (4) FLOWERING TREES FOR (2) SHADE TREES.
TEN (10) SHADE TREES TO BE LOCATED IN ISLANDS ADJACENT TO BUILDINGS - DUE TO THE DENSE BERM LANDSCAPING ALONG LONG GATE PARKWAY IN ACCORDANCE TO AGREEMENTS WITH ADJACENT NEIGHBORHOODS, LITTLE SPACE EXISTS TO ACCOMMODATE SHADE TREE REQUIREMENTS. IT IS APPROPRIATE TO MEET THE PERIMETER 1 OBLIGATIONS WITH THE ISLAND PLANTINGS AS NEAR TO THIS PERIMETER AS POSSIBLE.

NOTES:
*1 TOP OF BERM ± 4' HIGHER THAN LONG GATE PARKWAY; PARKING LOT ± 4' LOWER THAN LONG GATE PARKWAY & 8' LOWER THAN TOP OF BERM - USED USED AS SUBSTITUTION FOR REQUIRED SHRUBS.

*2 PARKING LOT +3' LOWER THAN MARYLAND ROUTE 108 - BERM USED AS SUBSTITUTION FOR REQUIRED SHRUBS.

* "THE REGULATIONS DO NOT REQUIRE LANDSCAPED EDGES, BUFFERING, OR SCREENING, BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT." (SEE PERIMETER LANDSCAPE EDGES ON P. 17 OF LANDSCAPE MANUAL)

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	251
NUMBER OF SHADE TREES REQUIRED @ 1 ST/20 SPACES	13
NUMBER OF TREES PROVIDED SHADE TREES	13
OTHER TREES (2:1 SUBSTITUTION)	0
NUMBER OF ISLANDS REQUIRED (1 ISLAND/ 20 SPACES)	13
NUMBER OF ISLANDS PROVIDED	17

NOTES: "THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

"FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF $5000.00

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR — DATE 10/23/96

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 10/17/96

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH — DATE 10/22/96

DATE	NO.	REVISION

OWNER
OPUS EAST, L.L.C.
6707 DEMOCRACY BLVD.
SUITE 510
BETHESDA, MD 20817
(301) 493-4464

DEVELOPER
OUTBACK STEAKHOUSE
550 NORTH REO ST.
SUITE 200
TAMPA, FL 33609
(813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

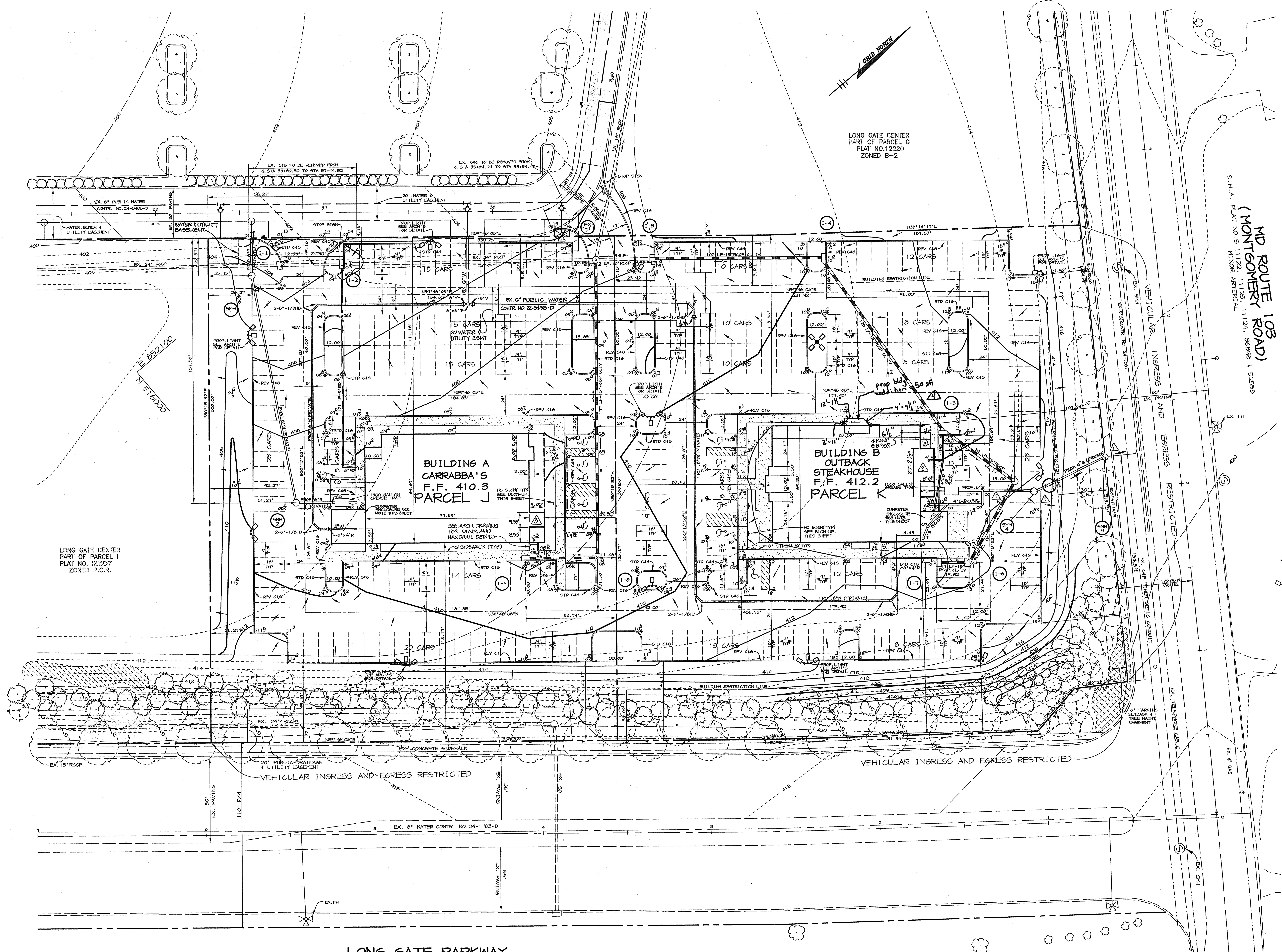
8.23.96
DATE

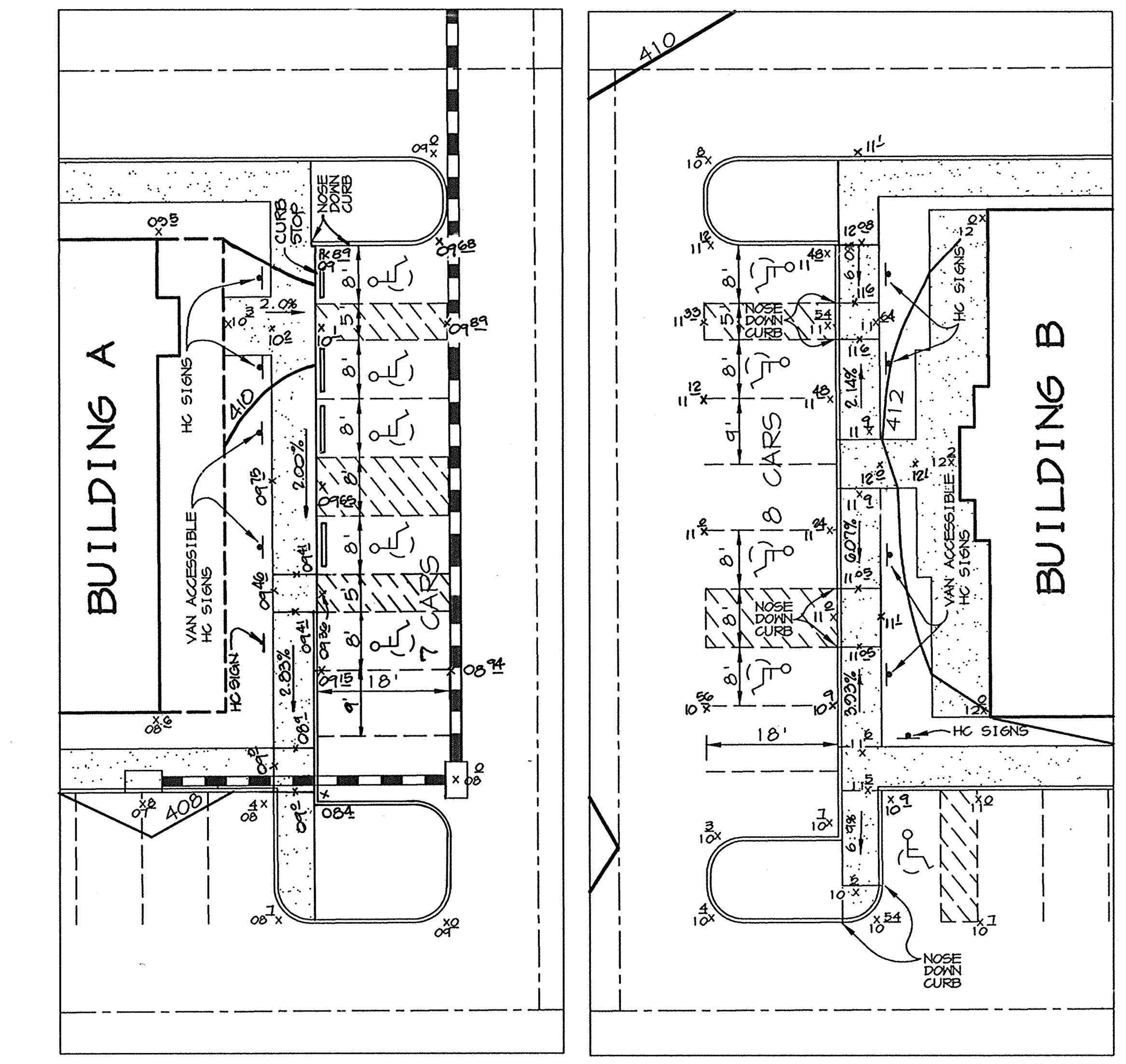
LYNDON O. HART #1098

SDP-95-62 F-96-163 F-95-95 F-96-

DESIGNED BY : CJR/LOH
DRAWN BY : RPP/ML/CK
PROJECT NO : HOCO\96E4701 LSCP2.DWG
DATE : OCTOBER 10, 1996
SCALE : 1" = 30'
DRAWING NO. 6 OF 6

SDP-97-020





HANDICAP ACCESS AREA

SCALE: 1'=20'

LEGEND

* CURB TRANSITION

LIGHTS

NOTES:

1. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. ALL SPOT ELEVATIONS ARE TOP OF PAVING OR FINAL GROUND UNLESS OTHERWISE NOTED.
4. ALL EXTERIOR LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT ROAD RIGHT-OF-WAYS AND RESIDENTIALLY ZONED PROPERTIES.
5. ALL ON-SITE ROADWAYS ARE PRIVATE.
6. ALL PAVING IS P-2 UNLESS OTHERWISE SHOWN.
7. INLETS I-1, I-2 & I-3 SHALL BE INSTALLED ALONG AN EXISTING STORM DRAIN. REMOVE STORM DRAIN PIPES AS NECESSARY TO NEAREST PIPE JOINT FOR INSTALLATION OF INLETS.
8. DUMPSTER ENCLOSURE TO BE CONSTRUCTED WITH SAME MATERIAL AS BUILDING. WOODEN GATE IN FRONT. SEE ARCHITECTURAL DRAWINGS FOR FURTHER DETAILS.
9. GREASE TRAP DETAILS TO BE PROVIDED UNDER ARCHITECTURAL DRAWINGS.

DATE	NO.	REVISION
5-27-03	3	ADDED TAKEOUT AREA ENCLOSURE & STAIRWAY CONNECTION - BLDG. A

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joyce M. Boyd M.D. (CW) 10/18/96
COUNTY HEALTH OFFICER MR DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[signature] 10/23/96
DIRECTOR DATE

[signature] 10/17/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard Blood 10/22/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH CAH DATE

DATE	NO.	REVISION
4-13-05	4	ADDED BLDG. ADDITION TO BLDG. "B"
5-2-03	2	ADDED BLDG. ADDITION
12/13/96	1	RELOC. SMH'S 3 & 4, REROUTED CONNECTING SAN. LINES

OWNER	DEVELOPER
OPUS EAST, L.L.C. 6707 DEMOCRACY BLVD. SUITE 510 BETHESDA, MD 20817 (301) 493-4464	OUTBACK STEAKHOUSE 550 NORTH REO ST. SUITE 200 TAMPA, FL 33609 (813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
SITE DEVELOPMENT PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

STATE OF MARYLAND MATTHEW T. ALLEN No. 28567 REGISTERED PROFESSIONAL ENGINEER
4-13-05
4th Revision Only

10.10.96
DATE

STATE OF MARYLAND JAYKANT D. PAREKH
J. Parekh
JAYKANT D. PAREKH #19148

SDP-95-62 F-97-25
F-95-93

DESIGNED BY : CJR
DRAWN BY : RPP/DAM
PROJECT NO : HOCO\96E4701 C-2.DWG
DATE : OCTOBER 10, 1996
SCALE : 1"=30'
DRAWING NO. 2 OF 6

SDP-97-070

SHEET INDEX

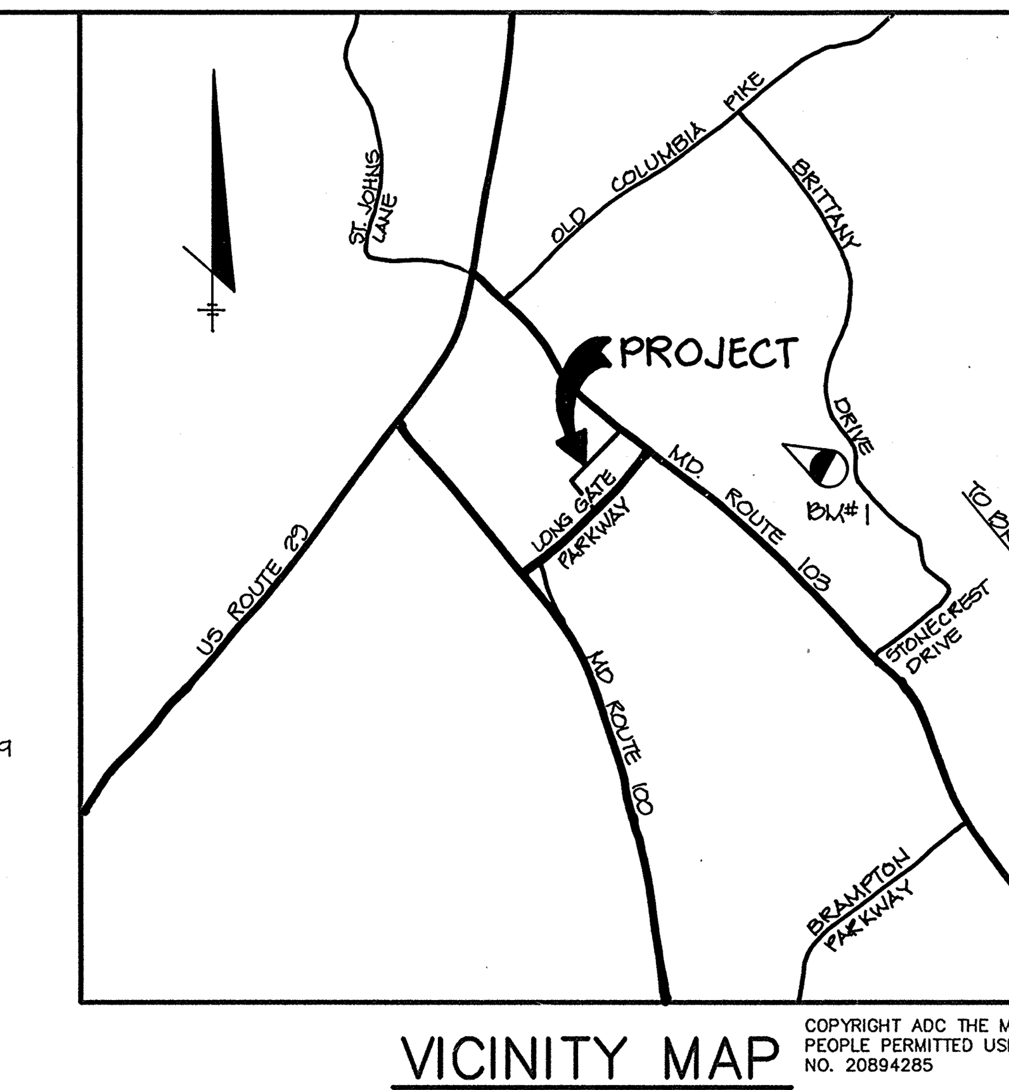
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING & SEDIMENT CONTROL PLAN
4	PROFILES, NOTES, AND DETAILS
5	NOTES AND DETAILS
6	LANDSCAPING PLAN

SITE DEVELOPMENT PLAN
OUTBACK STEAKHOUSE/CARRABBA'S AT LONG GATE CENTER
PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

BENCHMARKS

BM#1 STA 3043001
ELEV. 437.92
N 516,549.55 E 853,656.51
32'± NORTH OF BGE TOWER 276-A
BEHIND SCHOOL GROUNDS

BM#2 STA 2943002
N 513,205.90 E 857,478.69
LOCATED ON THE TRANSMISSION LINE
1700'± NORTH OF INTERSECTION OF
ROUTE 103 AND NEW CUT ROAD AND
1150'± EAST OF NEW CUT ROAD

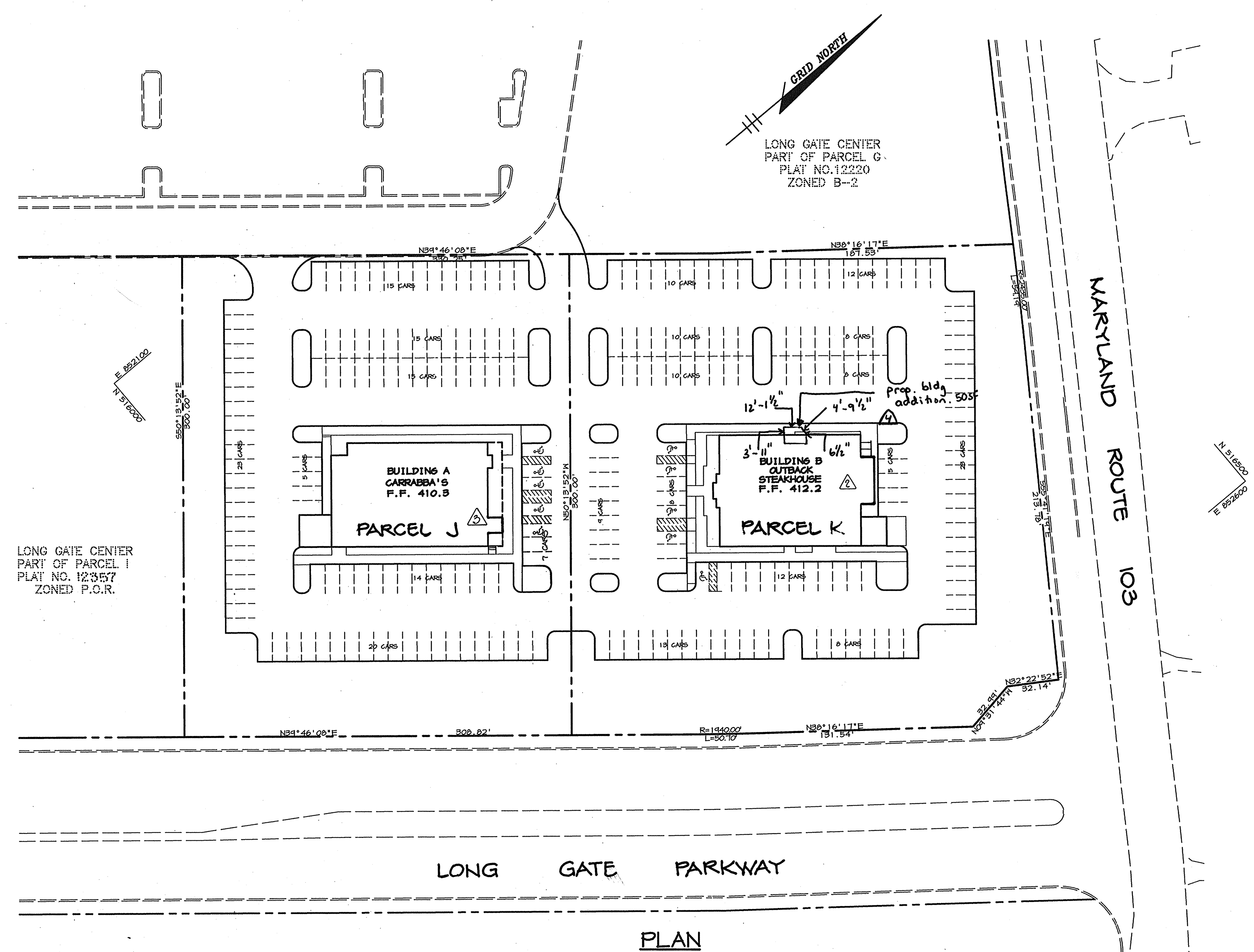


VICINITY MAP
SCALE: 1" = 2000'

COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE NO. 20894285

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AY LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE EXISTING TOPOGRAPHY IS TAKEN FROM SDP-95-62 WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOC. DATED SEPT. 1995.
7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 3043001-R AND 2943002 WERE USED FOR THIS PROJECT.
8. WATER IS PUBLIC PER CONTRACT NUMBER 24-3438-D.
9. SEWER IS PUBLIC PER CONTRACT NUMBER 24-3438-D. SEWER DRAINAGE AREA: 108 PUMPING STATION
10. THE STORMWATER MANAGEMENT FACILITY PROPOSED FOR THIS SITE IS PROVIDED BY A RETENTION FACILITY APPROVED UNDER SDP-95-62.
11. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
12. THERE IS NO ON-SITE 100 YEAR FLOODPLAIN.
13. THERE ARE NO ON-SITE WETLANDS.
14. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. DATED APRIL 21, 1995 AND WAS APPROVED UNDER SDP-95-62.
15. THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY RIEMER MUEGGE & ASSOC., INC. DATED APRIL 1996.
16. SUBJECT PROPERTY ZONED POR PER 10-18-93 COMPREHENSIVE ZONING PLAN.
17. ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
18. SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. SDP-95-62, F-95-93, F-97-25.
19. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
20. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
21. PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
22. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
23. ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
24. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
25. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
26. STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, i.e., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
27. PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
28. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
29. FOREST CONSERVATION OBLIGATIONS FOR THIS DEVELOPMENT HAVE BEEN ADDRESSED UNDER SDP-95-62.

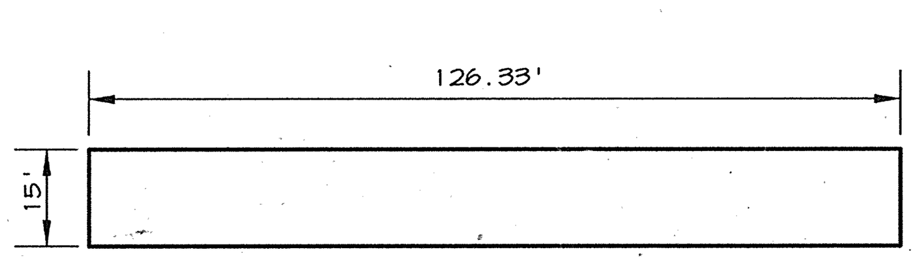


PLAN
SCALE: 1"=50'

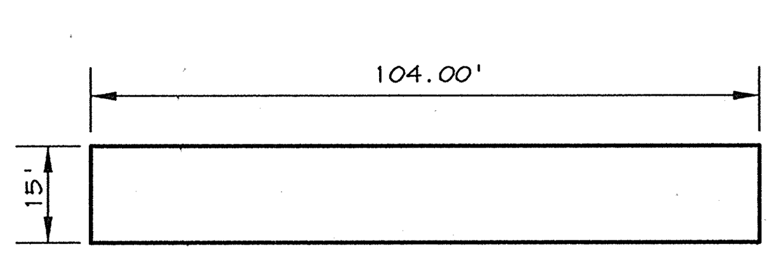
N 516000 E 852600

SITE ANALYSIS

AREA OF PARCELS		72,329 SF - 1.66 ACRES (PARCEL J) 86,364 SF - 1.98 ACRES (PARCEL K)
PRESENT ZONING		POR
PROPOSED USE		SIT-DOWN RESTAURANTS
BUILDING COVERAGE		BLDG A: 7200 SF (10.0% OF PARCEL J) BLDG B: ~~6099~~ 6749 SF (7.8% OF PARCEL K)
# OF PARKING SPACES REQ'D @ 14 SP/1000 SF		101 (PARCEL J) 95 ~~94~~ (PARCEL K)
	TOTAL	~~195~~ 196
# OF PARKING SPACES PROVIDED		114 INCL. 5 HC (PARCEL J) 136 INCL. 5 HC (PARCEL K)
	TOTAL	250
PAVED AREA	PARKING LOT	87,984 SF
	SIDEWALKS	5,193 SF
	TOTAL	93,177 SF (58.7% OF PARCELS J&K)



BUILDING 'A' NORTHEAST ELEVATION
NO SCALE



BUILDING 'B' NORTHEAST ELEVATION
NO SCALE

STATE OF MARYLAND MATHEW T. ALLEN No. 28561 REGISTERED PROFESSIONAL ENGINEER
4-13-05
4th Revision Only

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joyce N Boyd (cw) 10/18/96
COUNTY HEALTH OFFICER MR DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[illegible] 10/23/96
DIRECTOR DATE

[illegible] 10/17/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard Blood 10/22/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH CDH DATE

DATE	NO.	REVISION
4-13-05	4	ADDED BLDG. ADDITION TO BLDG. "B"
5-27-03	3	ADDED BLDG. ADDITION TO BLDG. A
5-2-03	2	ADDED BLDG. ADDITION & REV. SITE TAB

OWNER	DEVELOPER
OPUS EAST, L.L.C. 6707 DEMOCRACY BLVD. SUITE 510 BETHESDA, MD 20817 (301) 493-4464	OUTBACK STEAKHOUSE 550 NORTH REO ST. SUITE 200 TAMPA, FL 33609 (813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
TITLE SHEET

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING ● ENVIRONMENTAL SERVICES ● PLANNING ● SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

ADDRESS CHART

BUILDING	STREET ADDRESS
A	4430 LONG GATE PARKWAY
B	4420 LONG GATE PARKWAY

SUBDIVISION NAME			SECT./AREA		PARCEL
LONG GATE CENTER			-		J/K
PLAT #	BLOCK #	ZONING	TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
12357	24 (MAP24) 6 (MAP 30)	POR	24/30	2nd	6023.02
WATER CODE			SEWER CODE		
F09			5750601		

10.10.'96
DATE

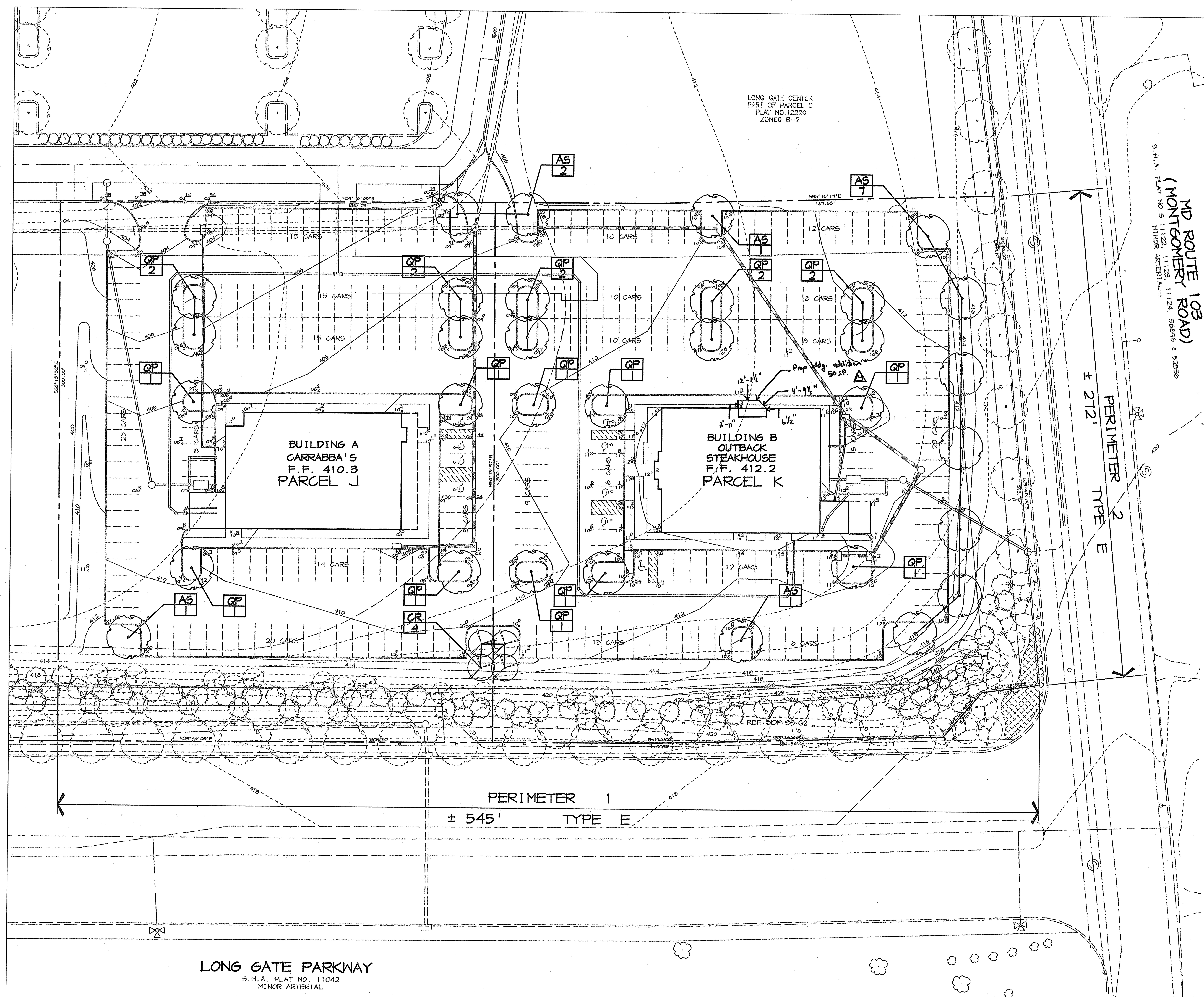
STATE OF MARYLAND No. 19148 REGISTERED PROFESSIONAL ENGINEER

J. Parekh
JAYKANT D. PAREKH #19148

SDP-95-62 F-97-25
F-95-93

DESIGNED BY : CJR
DRAWN BY : RPP/DAM
PROJECT NO : HOCO\96E4701 C-1.DWG
DATE : OCTOBER 10, 1996
SCALE : AS SHOWN
DRAWING NO. 1 OF 6

SDP-97-020

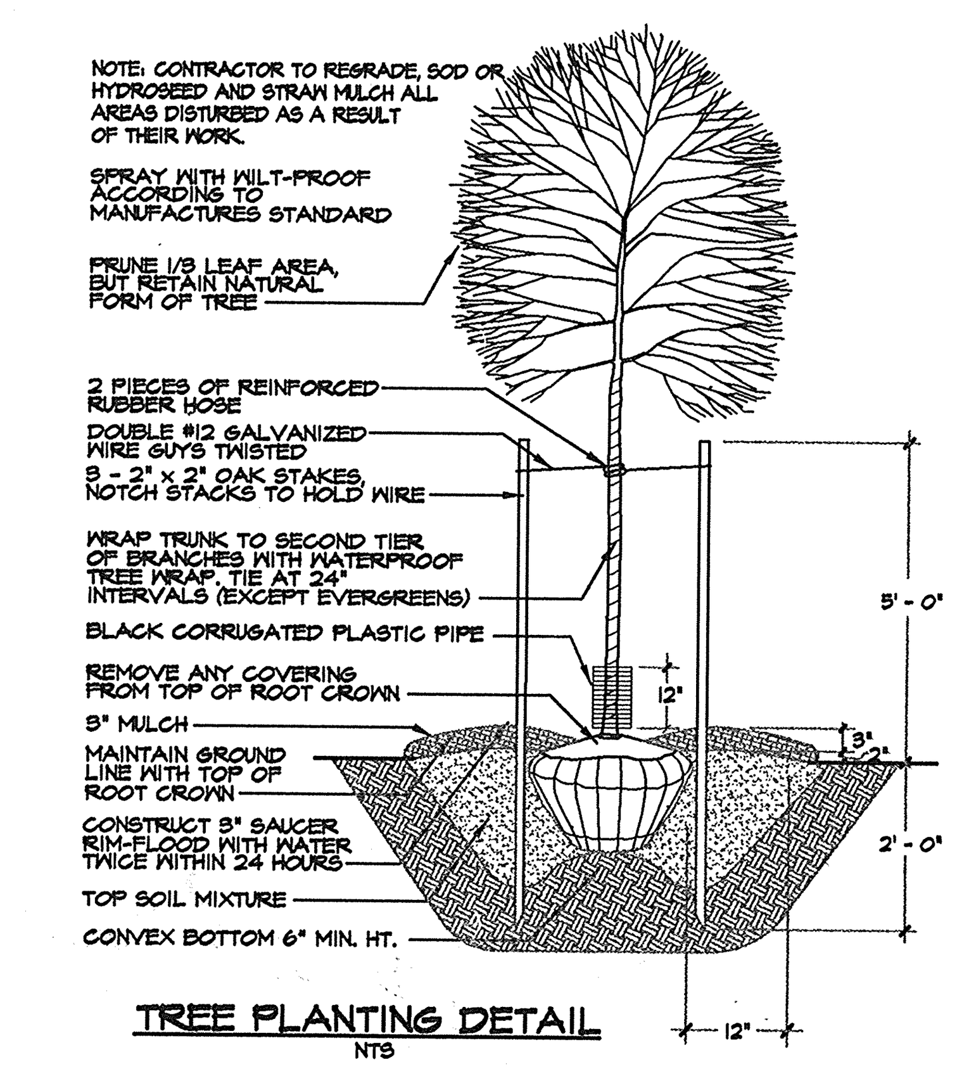


NOTE: THIS PLAN FOR LANDSCAPE PURPOSES ONLY.

PLANT MATERIAL LIST

KEY	QTY	BOTANICAL + COMMON NAME	SIZE	REMARKS
		TREES		
AS	12	Acer saccharum 'Green Mountain' Green Mountain Sugar Maple	2½" - 3" Cal.	B & B
CR	4	Chionanthus retusus Chinese Fringetree	1½" - 2" Cal.	B & B
QP	20	Quercus phellos Willow Oak	2½" - 3" Cal.	B & B

PLANTING DETAILS



TREE PLANTING DETAIL
NTS

LANDSCAPE SCHEDULES

SCHEDULE A ✳ PERIMETER LANDSCAPE EDGE

	ADJACENT TO ROADWAYS	
PERIMETER	1	2
LANDSCAPE TYPE	E	E
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 545'	± 272'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES ± 545' SEE NOTE *1 BELOW	YES ± 272' SEE NOTE *2 BELOW
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	@ 1/40' = 14 0 0	@ 1/40' = 7 0 0
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES SHRUBS SMALL FLOWERING TREES	12 0 0 4	7 0 0 0

SUBSTITUTION NOTES:

PERIMETER LANDSCAPE EDGE: SCHEDULE A

PERIMETER 1:
SUBSTITUTE (4) FLOWERING TREES FOR (2) SHADE TREES.

TEN (10) SHADE TREES TO BE LOCATED IN ISLANDS ADJACENT TO BUILDINGS - DUE TO THE DENSE BERM LANDSCAPING ALONG LONG GATE PARKWAY IN ACCORDANCE TO AGREEMENTS WITH ADJACENT NEIGHBORHOODS, LITTLE SPACE EXISTS TO ACCOMMODATE SHADE TREE REQUIREMENTS. IT IS APPROPRIATE TO MEET THE PERIMETER 1 OBLIGATIONS WITH THE ISLAND PLANTINGS AS NEAR TO THIS PERIMETER AS POSSIBLE.

NOTES:
*1 TOP OF BERM ± 4' HIGHER THAN LONG GATE PARKWAY; PARKING LOT ± 4' LOWER THAN LONG GATE PARKWAY & + 8' LOWER THAN TOP OF BERM - USED USED AS SUBSTITUTION FOR REQUIRED SHRUBS.

*2 PARKING LOT +3' LOWER THAN MARYLAND ROUTE 108 - BERM USED AS SUBSTITUTION FOR REQUIRED SHRUBS.

✳ "THE REGULATIONS DO NOT REQUIRE LANDSCAPED EDGES, BUFFERING, OR SCREENING, BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT." (SEE PERIMETER LANDSCAPE EDGES ON P. 17 OF LANDSCAPE MANUAL)

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	251
NUMBER OF SHADE TREES REQUIRED @ 1 S.T./20 SPACES	13
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	13 0
NUMBER OF ISLANDS REQUIRED (1 ISLAND/ 20 SPACES)	13
NUMBER OF ISLANDS PROVIDED	17

NOTES: "THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL."

"FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF $3500.00

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[illegible] 10/23/96
DIRECTOR DATE

[illegible] 10/17/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[illegible] 10/22/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

CARRABBA'S ITALIAN GRILL

OUTBACK STEAKHOUSE

DATE	NO.	REVISION
4-13-05	4	ADDED BLDG. ADDITION TO BLDG. "B"

OWNER	DEVELOPER
OPUS EAST, L.L.C. 6707 DEMOCRACY BLVD. SUITE 510 BETHESDA, MD 20817 (301) 493-4464	OUTBACK STEAKHOUSE 550 NORTH REO ST. SUITE 200 TAMPA, FL 33609 (813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

STATE OF MARYLAND MATTHEW T. ALLEN REGISTERED PROFESSIONAL ENGINEER
4-13-05
4th Revision Only

GENERAL REFERENCE NOTE:
FOR EXISTING TREE PLANTINGS ALONG BERM, ROUTE 103, AND LONG GATE PARKWAY SEE SDP-95-62.

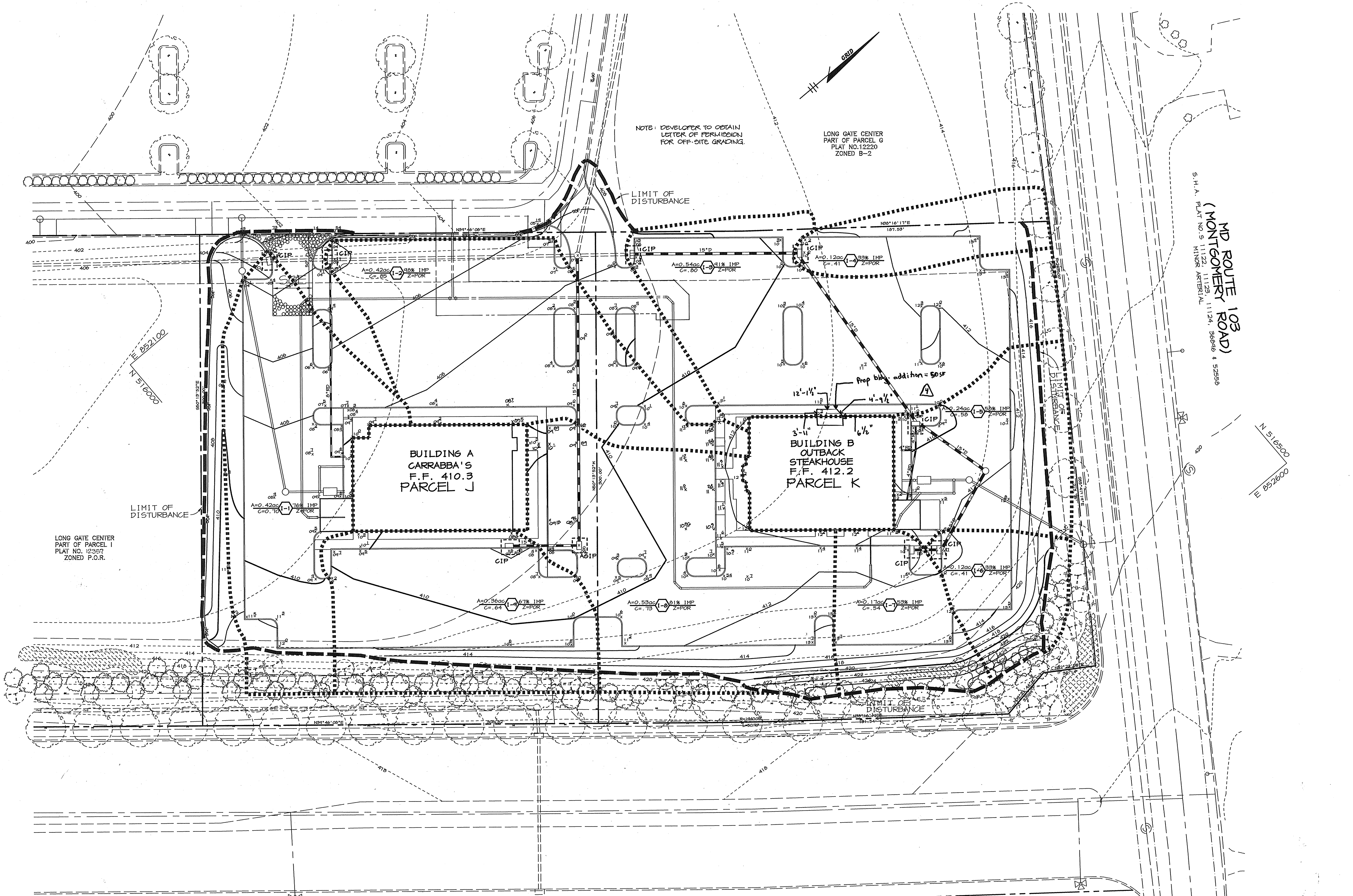
8-23-96
DATE

BOARD OF EXAMINERS OF LANDSCAPE ARCHITECTS 1098 LYNDON O. HART STATE OF MARYLAND

LYNDON O. HART #1098

SDP-95-62 F-95-93	F-96-163 F-96-
DESIGNED BY : CJR/LOH	
DRAWN BY : RPP/ML/CK	
PROJECT NO : HOCO\96E4701 LSCP2.DWG	
DATE : OCTOBER 10, 1996	
SCALE : 1" = 30'	
DRAWING NO. 6 OF 6	

SDP-97-020



LEGEND

LIMIT OF DISTURBANCE

DRAINAGE DIVIDE

SCE STABILIZED CONSTRUCTION ENTRANCE

SSF SUPER SILT FENCE

INLET PROTECTION

LONG GATE PARKWAY
S.H.A. PLAT NO. 11042
MINOR ARTERIAL

N 516000
E 852600

NOTES:

1. LIMIT OF DISTURBANCE IS AT PROPERTY LINE UNLESS OTHERWISE SHOWN.
2. ALL SOILS ARE ASSUMED 'C' AS SITE WAS MASS GRADED.
3. BUILDINGS TO HAVE INTERIOR SPRINKLER SYSTEMS.

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

[illegible] 10.9.96
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

J. Parekh 10.10.'96
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

J. G. Warfield 10/15/96
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 10/15/96
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joyce M Boyd M.D. (CW) 10/18/96
COUNTY HEALTH OFFICER MR DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[illegible] 10/23/96
DIRECTOR DATE

[illegible] 10/17/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard Blood 10/22/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH CAH DATE

CARRABBA'S ITALIAN GRILL

OUTBACK STEAKHOUSE

DATE	NO.	REVISION
4-13-05	4	ADDED BLDG. ADDITION TO BLDG "B"

OWNER	DEVELOPER
OPUS EAST, L.L.C. 6707 DEMOCRACY BLVD. SUITE 510 BETHESDA, MD 20817 (301) 493-4464	OUTBACK STEAKHOUSE 550 NORTH REO ST. SUITE 200 TAMPA, FL 33609 (813) 282-1225

PROJECT **OUTBACK STEAKHOUSE/ CARRABBA'S**
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE **GRADING AND SEDIMENT CONTROL PLAN & DRAINAGE AREA MAP**

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

STATE OF MARYLAND MATTHEW T. ALLEN REGISTERED PROFESSIONAL ENGINEER
4-13-05
4th Revision Only

10.10.'96
DATE

J. Parekh
JAYKANT D. PAREKH #19148

SDP-95-62 F-97-25
F-95-93

DESIGNED BY : CJR
DRAWN BY : RPP/DAM
PROJECT NO : HOCO\96E4701 C-3.DWG
DATE : OCTOBER 10, 1996
SCALE : 1"=30'
DRAWING NO. 3 OF 6

SDP-07-020

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA OF SITE	3.64 ACRES
AREA DISTURBED	3.21 ACRES
AREA TO BE ROOFED OR PAVED	2.45 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.76 ACRES
TOTAL CUT	8281 CU. YARDS
TOTAL FILL	1084 CU. YARDS

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
11. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
12. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL, OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
13. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
14. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
15. BORROW SITE TO BE PRE-APPROVED BY THE SEDIMENT CONTROL INSPECTOR, OR IN CASE OF EXCESS MATERIAL, AN APPROVED SEDIMENT CONTROL PLAN WILL BE NEEDED TO DEPOSIT EXCESS OFF-SITE.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation : Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments : Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.).

Seeding : For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching : Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation : Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments : In lieu of soil test recommendations, use one of the following schedules :

1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq.ft.)
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

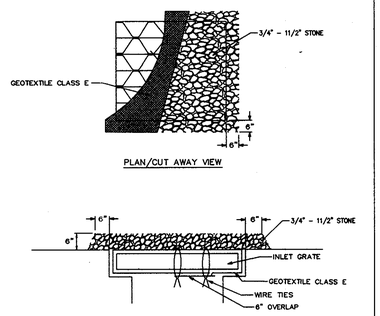
Seeding : For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options :

1) 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
2) Use sod.
3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

Mulching : Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Maintenance : Inspect all seeded areas and make needed repairs, replacements and reseedings.

DETAIL 23B - AT GRADE INLET PROTECTION

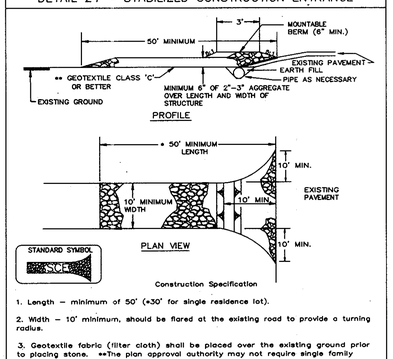


Construction Specifications

1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
2. Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 18 - 5A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

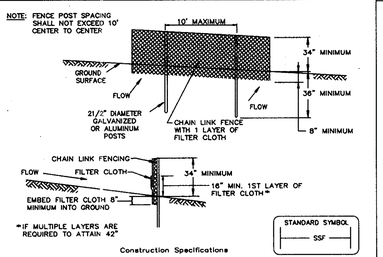


Construction Specification

1. Length - minimum of 50' (*30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE



Construction Specifications

1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 8" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

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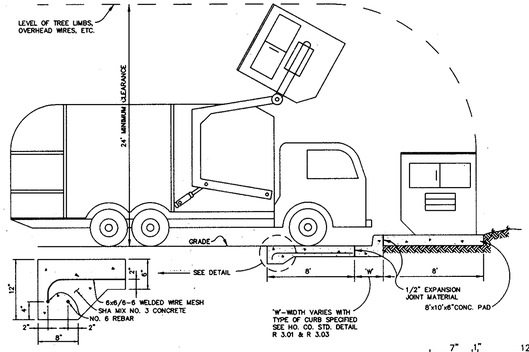
SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE. (2 DAYS)
3. ROUGH GRADE SITE. (1 WEEK)
4. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL STORM DRAINS WITH INLET PROTECTION, WATER AND SEWER UTILITIES. (2 WEEKS)
5. INSTALL CURB AND GUTTER AND PAVE ROADWAYS. (10 DAYS)
6. FINE GRADE SITE. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES AS NECESSARY. (10 DAYS)
7. INSTALL STREET LIGHTS, LANDSCAPING, AND SIGNS AS REQUIRED. (5 DAYS)
8. UPON APPROVAL OF THE HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (1 DAY)

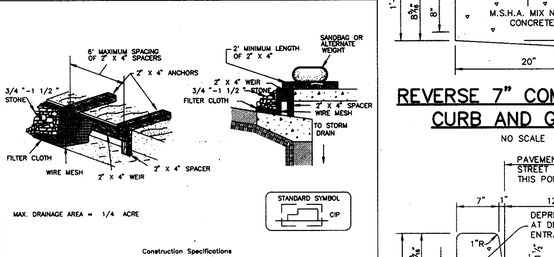


'W'-WIDTH VARIES WITH TYPE OF CURB SPECIFIED SEE NO. CO. STD. DETAIL R 3.01 & R 3.03

DUMPSTER PAD

NO SCALE

DETAIL 23C - CURB INLET PROTECTION



Construction Specifications

1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4') to the 2' x 4" weir (measuring throat length plus 2') as shown on the standard drawing.
2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2' x 4" weir.
3. Securely nail the 2' x 4" weir to a 6' long vertical spacer to be located between the weir and the inlet face (max. 4' apart).
4. Place the assembly against the inlet throat and nail (minimum 2' lengths of 2' x 4" to the top of the weir at spacer locations). These 2' x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
5. The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
6. Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
8. Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

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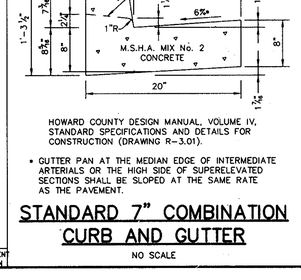
REVERSE 7" COMBINATION CURB AND GUTTER

NO SCALE



HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-3.01).

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT.

STANDARD 7" COMBINATION CURB AND GUTTER

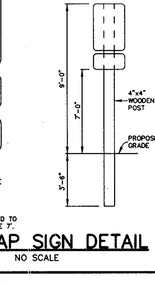
NO SCALE

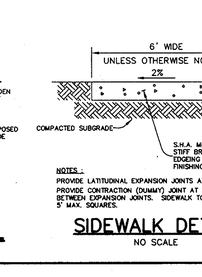
* FOR VAN ACCESSIBLE SPACES ONLY. SEE PLAN FOR LOCATION.

NOTE: DISTANCE FROM GROUND TO BOTTOM OF SIGN TO BE 7'.

HANDICAP SIGN DETAIL

NO SCALE





SIDEWALK DETAIL

NO SCALE

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

I. This practice is limited to areas having 2:1 or flatter slopes where:

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.

b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

c. The original soil to be vegetated contains material toxic to plant growth.

d. The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special considerations and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1½" in diameter.

ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

II. For sites having disturbed areas under 5 acres:

i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

III. For sites having disturbed areas over 5 acres:

i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.

b. Organic content of topsoil shall be not less than 1.5 percent by weight.

c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientistand approved by the appropiate approval authority, may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

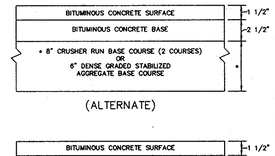
a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.

iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.



HOWARD COUNTY DESIGN MANUAL VOLUME IV- STANDARD SPECIFICATIONS AND DETAILS FOR CONSTUCTION (DRAWING R-2.01)

P-2 PAVING

NO SCALE

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER — DATE 10.9.96

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER — DATE 10.10.96

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

NATURAL RESOURCES CONSERVATION SERVICE — DATE 10/15/96

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT — DATE 10/15/96

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

COUNTY HEALTH OFFICER — DATE 10/15/96

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR — DATE 10/23/96

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 10/17/96

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH — DATE 10/22/96

DATE	NO.	REVISION

OWNER	DEVELOPER
OPUS EAST, L.L.C. 6707 DEMOCRACY BLVD. SUITE 510 BETHESDA, MD 20817 (301) 493-4464	OUTBACK STEAKHOUSE 550 NORTH REO ST. SUITE 200 TAMPA, FL 33609 (813) 282-1225

PROJECT OUTBACK STEAKHOUSE/ CARRABBA'S
TWO RESTAURANT BUILDINGS

AREA TAX MAPS 24 & 30 PARCELS J&K
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE NOTES AND DETAILS

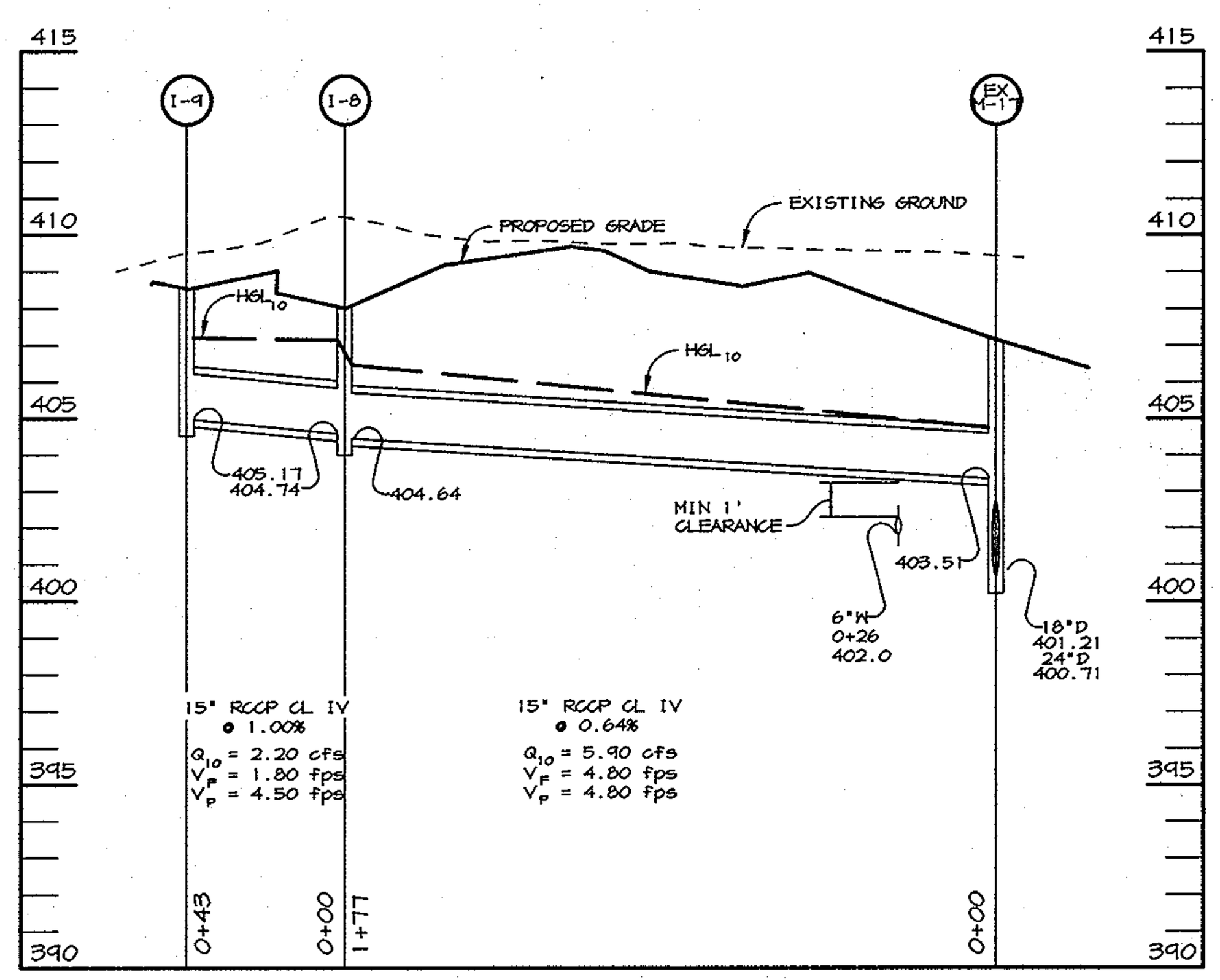
RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, Maryland 21045
tel 410.997.8900 fax 410.997.9282

10.10.96 DATE

JAYKANT D. PAREKH #19148

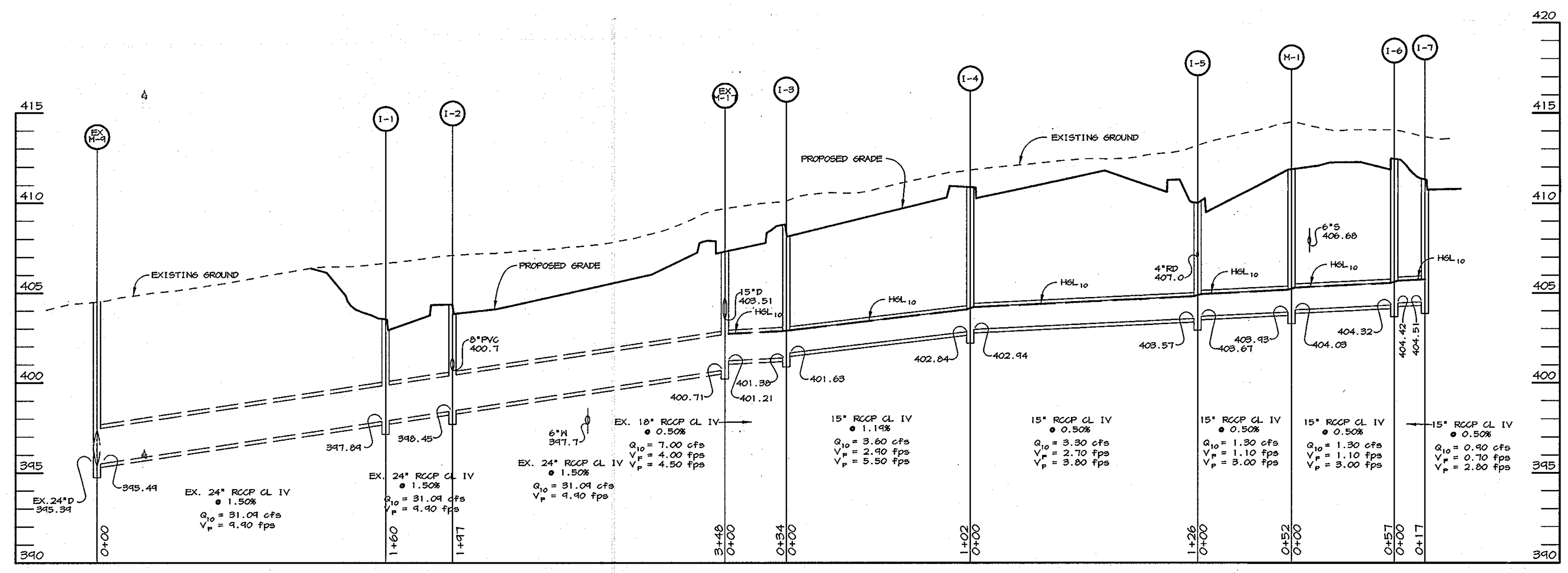
SDP-85-62	F-87-25
F-85-43	
DESIGNED BY : CJR	
DRAWN BY : RPP/DAM	
PROJECT NO : HOCO\96E4701 C-5.DWG	
DATE : OCTOBER 10, 1996	
SCALE : AS SHOWN	
DRAWING NO. 5 OF 6	

SDP-97-020



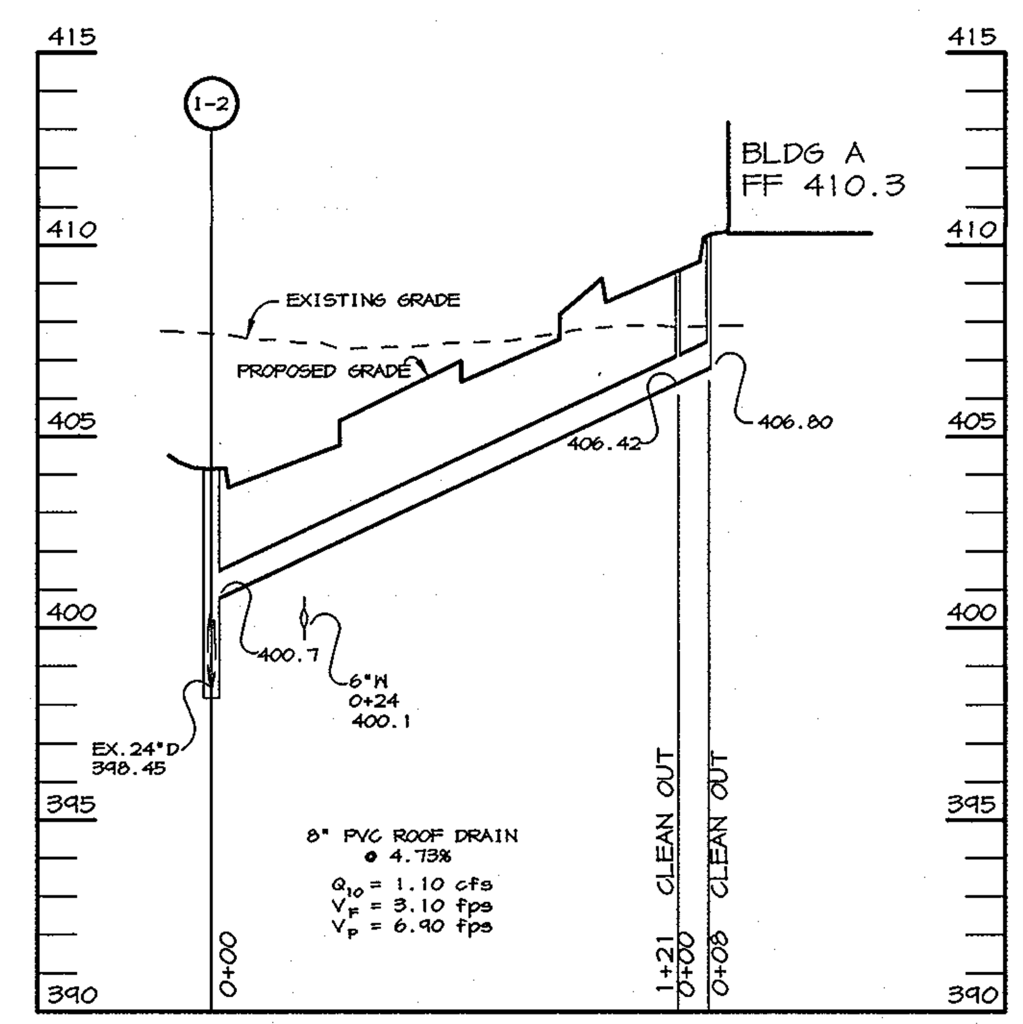
STORM DRAIN PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5'



STORM DRAIN PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5'



STORM DRAIN PROFILE

SCALE :
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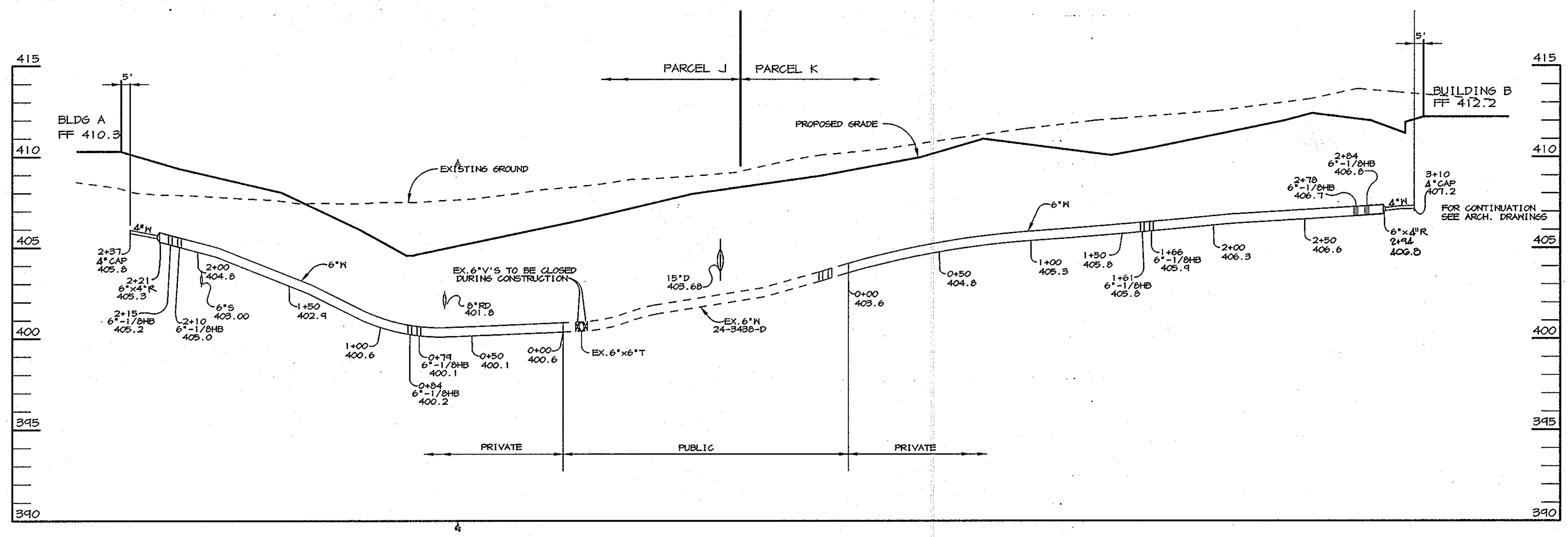
VERT. -1"=5'



WATER PROFILE

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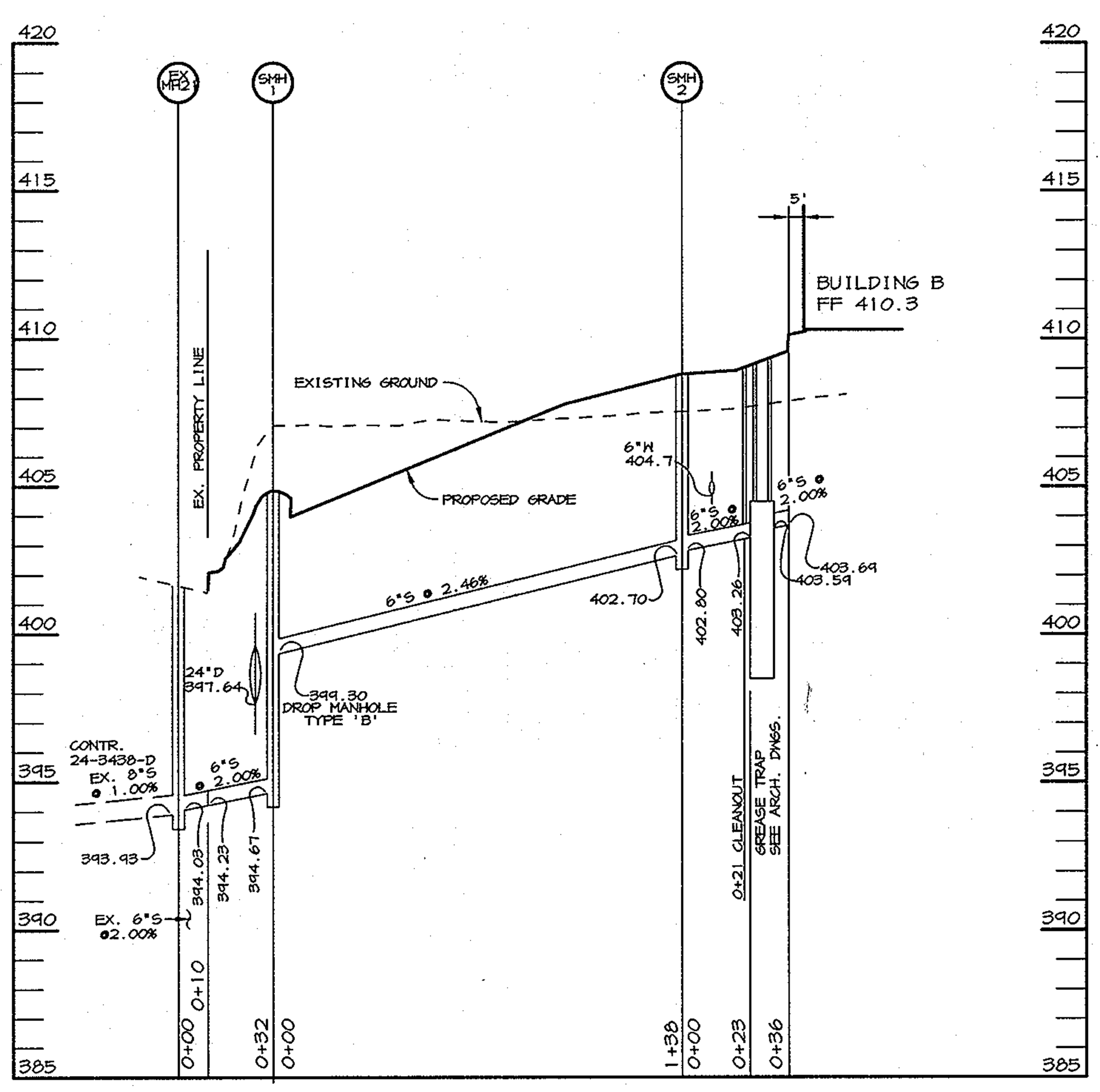

SEWER PROFILE

SCALE :
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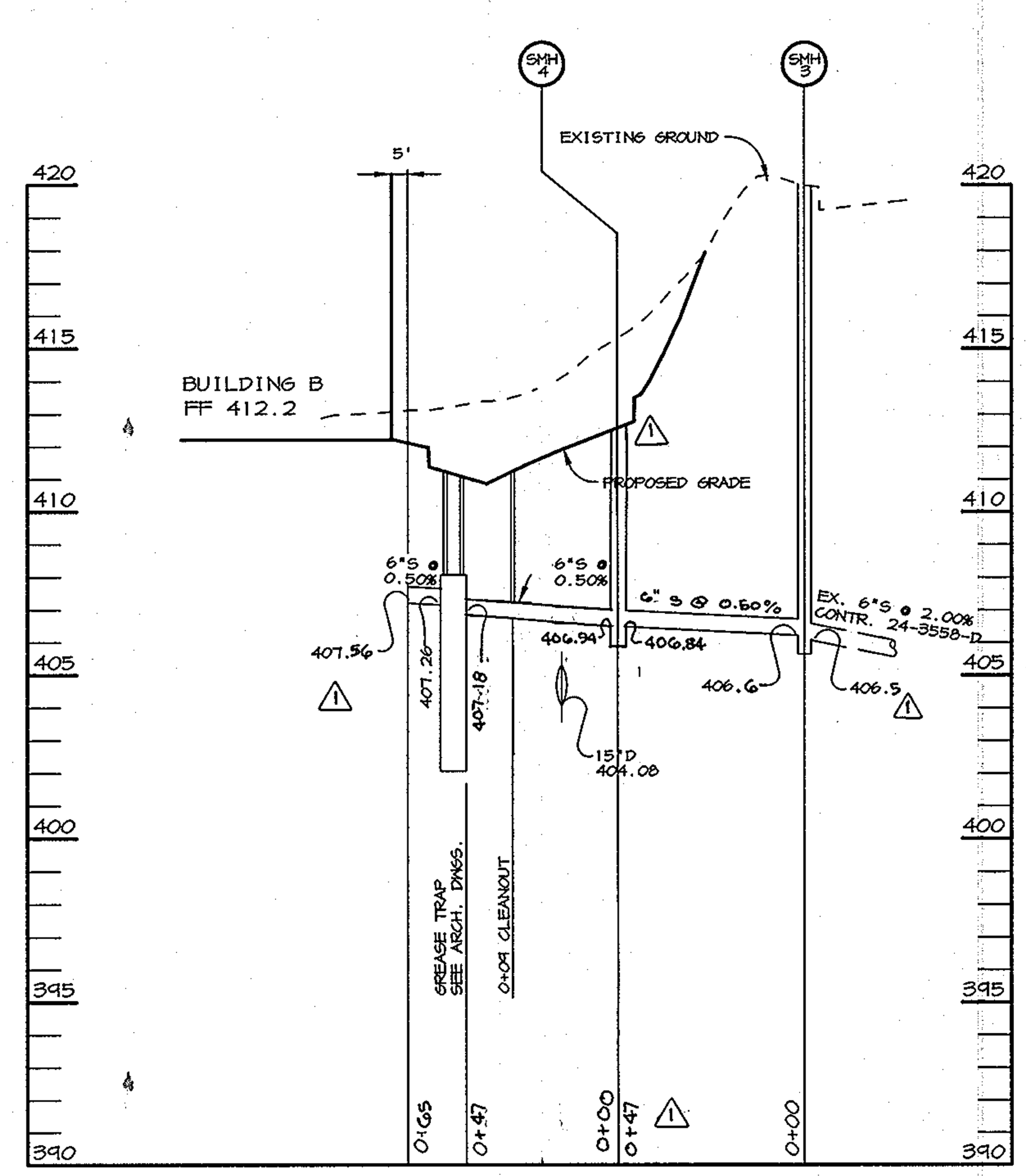
VERT. -1"=5'



SEWER PROFILE

SCALE :
HOR. -1"=50'
VERT. -1"=5'

STORM DRAIN STRUCTURE SCHEDULE

NO.	TYPE	LOCATION	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	A-5	SEE PLAN	-	397.89	403.4	HOCO STD. DETAIL SD 4.01
I-2	A-5	SEE PLAN	-	398.45	404.3	HOCO STD. DETAIL SD 4.01
I-3	A-5	SEE PLAN	401.63	401.38	408.6	HOCO STD. DETAIL SD 4.01
I-4	A-5	SEE PLAN	402.94	402.84	410.6	HOCO STD. DETAIL SD 4.01
I-5	A-5	SEE PLAN	403.67	403.57	409.9	HOCO STD. DETAIL SD 4.01
I-6	A-5	SEE PLAN	404.42	404.32	412.3	HOCO STD. DETAIL SD 4.01
I-7	A-5	SEE PLAN	-	404.51	411.2	HOCO STD. DETAIL SD 4.01
I-8	S INLET W/ RET. GRATE	SEE PLAN	404.74	404.64	408.0 *	HOCO STD. DETAILS SD 4.22, 4.93
I-9	A-5	SEE PLAN	-	405.17	408.4	HOCO STD. DETAIL SD 4.01
M-1	4' MH	SEE PLAN	404.03	403.93	411.7	HOCO STD. DETAIL SD 5.12

* DENOTES TOP OF GRATE ELEVATION

SANITARY SEWER STRUCTURE SCHEDULE

NO.	TYPE	LOCATION	INV. IN	INV. OUT	TOP ELEV.	REMARKS
SMH-1	4' MH	SEE PLAN	399.30	394.67	404.80	HOCO STD. DETAIL SD 5.12
SMH-2	4' MH	SEE PLAN	402.80	402.70	408.9	HOCO STD. DETAIL SD 5.12
SMH-3	4' MH	SEE PLAN	406.6 ⚠1	406.5 ⚠1	420.0	HOCO STD. DETAIL SD 5.12
SMH-4	4' MH	SEE PLAN	406.94	406.84	411.75	HOCO STD. DETAIL SD 5.12

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joyce M Boyd M.D. (cw) 10/18/96
COUNTY HEALTH OFFICER MR — DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[illegible] 10/23/96
DIRECTOR — DATE

[illegible] 10/17/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE

Richard Blood 10/22/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH CH — DATE

CARRABBA'S ITALIAN GRILL

OUTBACK STEAKHOUSE

DATE	NO.	REVISION
12-13-96	⚠1	MODIFIED SEWER PROFILE SAN. SEWER STRUC. SCHED TO REFLECT RELOC. OF SMH'S 3 & 4.

OWNER
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10.10.96
DATE

J. Parekh
JAYKANT D. PAREKH #19148

SDP-95-62 F-97-25
F-95-93

DESIGNED BY : CJR

DRAWN BY : RPP/DAM

PROJECT NO : HOCO\96E4701 C-4.DWG

DATE : OCTOBER 10, 1996

SCALE : AS SHOWN

DRAWING NO. 4 OF 6

SDP-97-020