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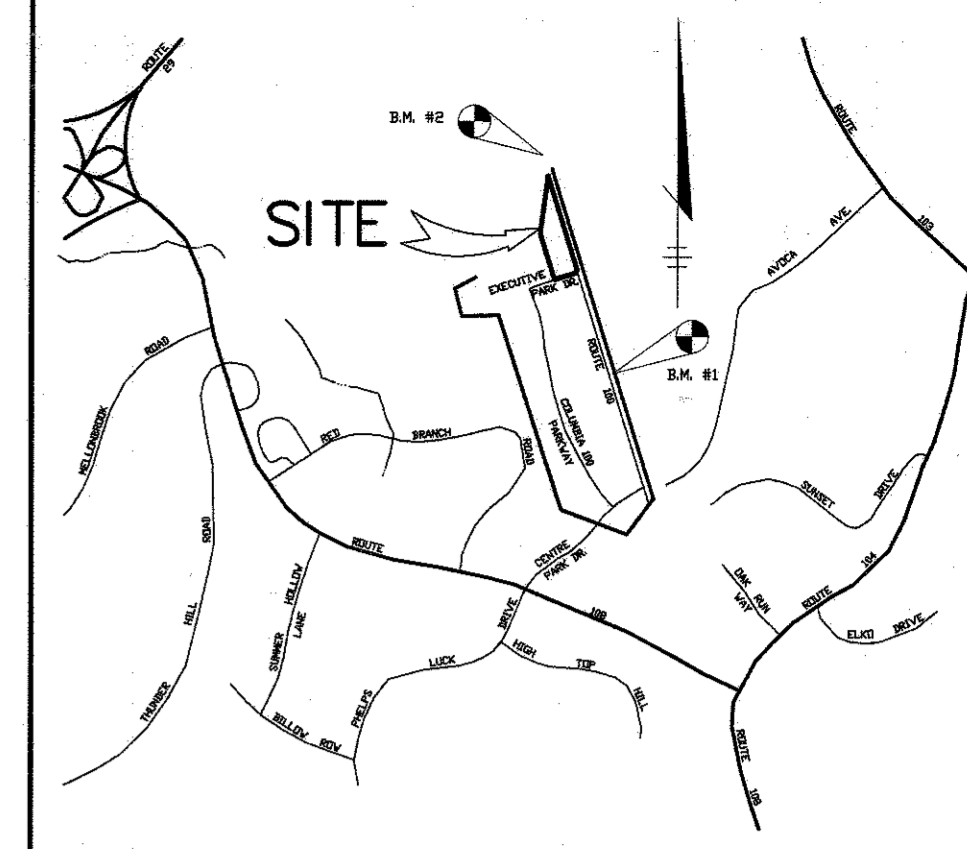
# SITE DEVELOPMENT PLAN

## COLUMBIA 100 OFFICE RESEARCH PARK

### PARCEL V-1, V-2 & V-3

### 2nd ELECTION DISTRICT

### HOWARD COUNTY, MARYLAND



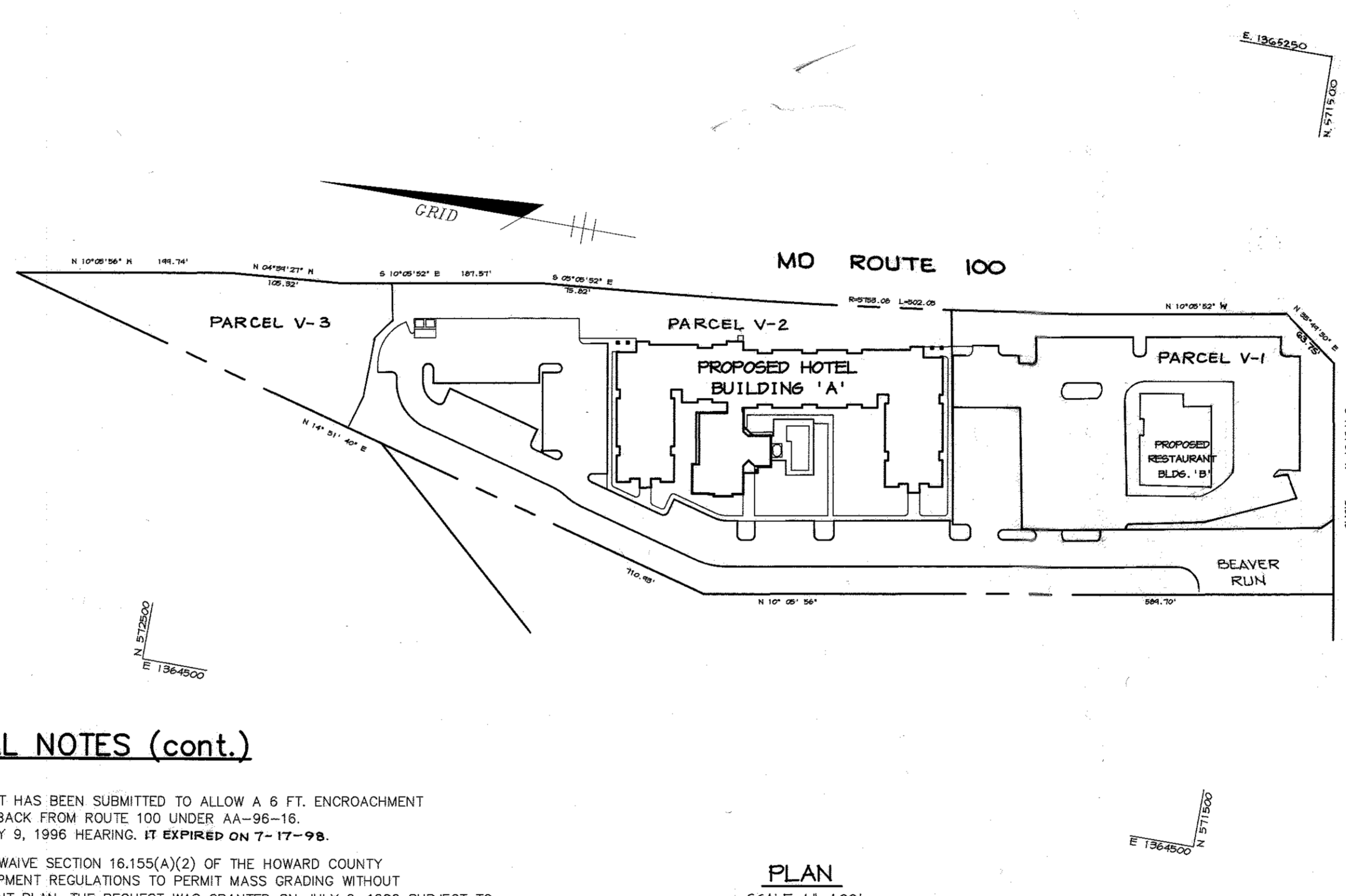
VICINITY MAP  
SCALE: 1" = 2000'

#### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- A PORTION OF THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOC., INC. DATED JUNE, 1994. THE REMAINDER IS THE PROPOSED GRADING UNDER GP-97-01.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 30FB AND 30FC WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 24-3560-D.
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: 108 PUMPING STATION CONTRACT NO. 24-3560-D.
- THE STORMWATER MANAGEMENT FACILITY PROPOSED FOR THIS SITE IS EXISTING UNDER F-87-82. THE FACILITY IS AN RETENTION POND AND IS PRIVATELY MAINTAINED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL STUDY FOR THIS PROJECT WAS PREPARED BY HILLIS CARNES DATED JULY 1996.
- THE BOUNDARY SURVEY FOR THIS PROJECT IS BASED ON PREVIOUSLY RECORDED PLAT NO. 11860.
- SUBJECT PROPERTY ZONED POR PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S ZB 930M, ZB 949M, F-93-111, SDP-94-71, GP-97-01, BA-94-53V, F-96-19, AA-96-16, & WP-96-135, F-97-117, WP-00-03, AA-99-13.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- NOTES ON BA 94-53V:
  - TO REDUCE THE REQUIRED 50 FT. SETBACK FROM THE NORTHERN LOT LINE OF PARCEL W TO DISTANCES RANGING FROM 28.98 FT. TO 49.01 FT. TO ACCOMMODATE THE DECKS ON TOWNHOUSES DESIGNATED AS UNITS 1-21, 76-85 AND 88-90.
  - TO REDUCE THE REQUIRED SETBACK FROM THE POR DISTRICT TO DISTANCES RANGING FROM 15.3 FT. TO 37.37 FT. FOR THE DECKS ON UNITS 91, 92, 112 - 114.
  - TO REDUCE THE REQUIRED SETBACK FROM A COLLECTOR STREET RIGHT OF WAY TO VARIOUS DISTANCES RANGING FROM 30.75 FT. TO 32.69 FT. FOR DECKS ON UNITS 106 AND 110.
  - TO REDUCE THE 50 FT. REAR STRUCTURAL SETBACK FROM A COLLECTOR STREET RIGHT OF WAY TO 42.75 FT. FOR UNIT 110.
  - TO REDUCE THE 50 FT. SETBACK FROM A POR DISTRICT TO 20 FT. FOR BOTH UNITS 110 AND 111 AND ATTACHED REAR DECKS.
  - TO REDUCE THE 50 FT. SETBACK FROM A POR DISTRICT TO A MINIMUM DISTANCE OF 15.32 FT. TO ACCOMMODATE UNITS 112 - 114.
  - TO REDUCE THE REQUIRED 50 FT. SETBACK FROM A POR DISTRICT TO 12.73 FT. TO ACCOMMODATE A VEHICULAR TURNAROUND AREA.

#### GENERAL NOTES (cont.)

- AN ADMINISTRATIVE ADJUSTMENT HAS BEEN SUBMITTED TO ALLOW A 6 FT. ENCROACHMENT FOR PARKING INTO 30 FT. SETBACK FROM ROUTE 100 UNDER AA-96-16. IT WAS APPROVED AT THE JULY 9, 1996 HEARING. IT EXPIRES ON 7-17-98.
- WP-96-135 IS A REQUEST TO WAIVE SECTION 16.155(A)(2) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO PERMIT MASS GRADING WITHOUT AN APPROVED SITE DEVELOPMENT PLAN. THE REQUEST WAS GRANTED ON JULY 9, 1996 SUBJECT TO:
  - OBTAINING SIGNATURE APPROVAL FROM THE HOWARD SOIL CONSERVATION DISTRICT ON THE GRADING EXHIBIT PRIOR TO APPLYING FOR A GRADING PERMIT APPLICATION.
  - GRADING CANNOT OCCUR IN WETLANDS OR WETLANDS BUFFERS, STREAM BUFFERS, STEEP SLOPES, OR FOREST AREAS.
  - GRADING CANNOT OCCUR IN OR OVER THE SEWER EASEMENT WITHOUT WRITTEN APPROVAL FROM THE BUREAU OF UTILITIES AND RED-LINE APPROVAL TO THE SEWER DRAWINGS, CONTRACT 24-3333-D.
- A REQUEST TO WAIVE DESIGN MANUAL VOLUME I, SECTION 4.1.1.D.2 AND 4.1.1.D.8 (REQUIRING 15" MINIMUM PIPE SIZES AND ROCP MATERIAL) WAS GRANTED ON AUGUST 1, 1996 BASED ON THE FOLLOWING:
  - THE STORM DRAIN SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED AND THE DETAILS AND CONSTRUCTION SPECIFICATIONS FOR ADS N-12 PLASTIC PIPE AND APPURTENANCES SHALL BE INCLUDED ON THE DESIGN PLANS.
  - THE APPROVAL OF THIS WAIVER IS IN THE BEST INTEREST OF HOWARD COUNTY.
- BA 95-65V IS A BOARD OF APPEALS DECISION TO REDUCE THE REQUIRED FIFTY-FOOT SETBACK FROM A RESIDENTIAL ZONED PROPERTY TO TWENTY-FIVE FEET FOR THE COLUMBIA 100 OFFICE RESEARCH PARK, PARCEL V. THE PETITION WAS GRANTED SUBJECT TO THE FOLLOWING:
  - THE PETITIONER SHALL CONSTRUCT AND MAINTAIN A TYPE 'C' LANDSCAPE BUFFER OR SUCH OTHER BUFFER AS REQUIRED BY DPZ ALONG THE COMMON LOT LINE WITH THE ADJACENT LOT W FOR THE LENGTH OF THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE 50-FOOT SETBACK AREA.
  - THE VARIANCE SHALL APPLY ONLY TO THE PROPOSED DRIVEWAY LOCATED 25 FEET FROM THE WESTERN AND SOUTHERN LOT LINES AS DEPICTED IN THE PROPOSED DEVELOPMENT SCHEMATICS, AND TO NO OTHER STRUCTURES OR USES.
  - THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.



PLAN  
SCALE: 1" = 100'

**PARCEL V-1 SITE ANALYSIS**

AREA OF PARCEL	1.47 AC. (64,061 SF)
PROPOSED USE	SITDOWN RESTAURANT
BLDG. COVERAGE	5550 SF (8.7% OF SITE)
# OF PARKING SPACE REQUIRED	14 PER 1000 SF
# OF PARKING SPACE PROVIDED	78 SPACES
	95 SPACES (INCL. 5 HC)

**TOTAL SITE ANALYSIS**

AREA OF PARCEL	5.674 ACRES
PRESENT ZONING	POR
PROPOSED USE	HOTEL AND SITDOWN RESTAURANT
BUILDING COVERAGE:	
BUILDING A (HOTEL)	26,750 SF
BUILDING B (RESTAURANT)	5550 SF
TOTAL	32,308 SF (13.1% OF SITE)
# OF PARKING SPACES REQ'D:	
HOTEL @ 1 PER GUEST ROOM (MAX. 108 GUEST ROOMS)	108 SPACES
RESTAURANT @ 14 PER 1000 SF	78 SPACES
TOTAL PARKING REQUIRED FOR SITE	186 SPACES
# OF PARKING SPACES PROVIDED:	
HOTEL	109 SPACES (INCL. 4 HC)
RESTAURANT	93 SPACES (INCL. 5 HC)
TOTAL PROVIDED	202 SPACES
PAVED AREA	84,139 SF (33.4% OF SITE)

**PARCEL V-2 SITE ANALYSIS**

AREA OF PARCEL	3.62 AC. (157,463 SF)
PROPOSED USE	HOTEL
BLDG. COVERAGE	26,750 SF (17% OF SITE)
# OF PARKING SP. REQUIRED	108 SPACES
# OF PARKING SP. PROVIDED	109 SPACES (INCL. 4 H.C.)

**PARCEL V-3 SITE ANALYSIS**

AREA OF PARCEL	0.59 AC. (25,647 SF)
PROPOSED USE	WQ FACILITY

**BENCHMARKS**

B.M.#1		
B.M. 30FB	ELEV 500.632'	
N 570, 134.28	E 1,365,194.13	
B.M.#2		
B.M. 30FC	ELEV 306.927'	
N 572, 916.53	E 1,364,670.17	

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*[Signature]* COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* DIRECTOR DATE

*[Signature]* CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

9-28-96 REV SITE ANALYSIS

10-26-99 REVISE SITE ANALYSIS, ADDED PARCELS V-1, V-2 & V-3, CHANGED RESTAURANT LAYOUT.

DATE	NO.	REVISION

OWNER / DEVELOPER

M. J. F. ASSOCIATES L.L.P.  
c/o MDG COMPANIES  
5550 STERRETT PLACE, SUITE 312  
COLUMBIA, MARYLAND 21044  
(410) 730-9091

PROJECT

**COLUMBIA 100 OFFICE RESEARCH PARK**

PARCEL V-1, V-2 & V-3

A HOTEL AND SITDOWN RESTAURANT

AREA COLUMBIA 100 OFFICE RESEARCH PARK SECTION 1 AREA 2 PARCEL V-1, V-2 & V-3 TAX MAP NO. 30 ZONED FOR 2nd ELECTION DISTRICT HOWARD COUNTY, MD

TITLE SHEET

**RIEMER MUEGGE & ASSOCIATES, INC.**

ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING

8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 FAX: 410-997-9282

9-26-96 DATE

DESIGNED BY: CJR

DRAWN BY: RFP

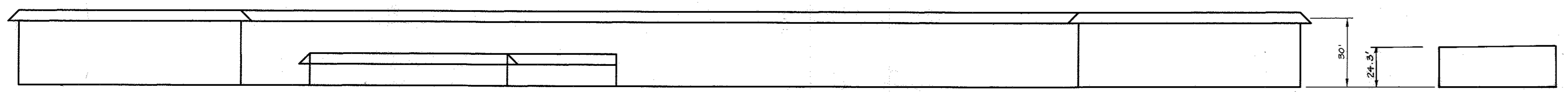
PROJECT NO: HOCO/96H1100  
SDPI.DWG

DATE: SEPTEMBER 26, 1996

SCALE: AS SHOWN

DRAWING NO. 1 OF 9

JAYKANT D. PAREKH #19148



HOTEL BUILDING ELEVATION  
NO SCALE

RESTAURANT BUILDING ELEVATION  
NO SCALE

**ADDRESS CHART**

BUILDING	STREET ADDRESS
A	4450 BEAVER RUN
B	4400 BEAVER RUN

SUBDIVISION NAME - COLUMBIA 100 OFFICE RESEARCH PARK

PLAT # - 12827

BLDG. # - 1B

ZONING - POR

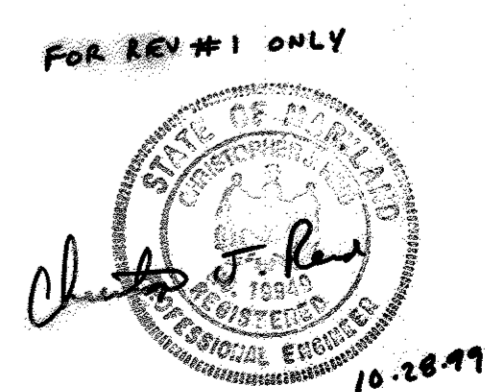
TAX MAP NO. - 30

ELECT. DIST. - 2nd

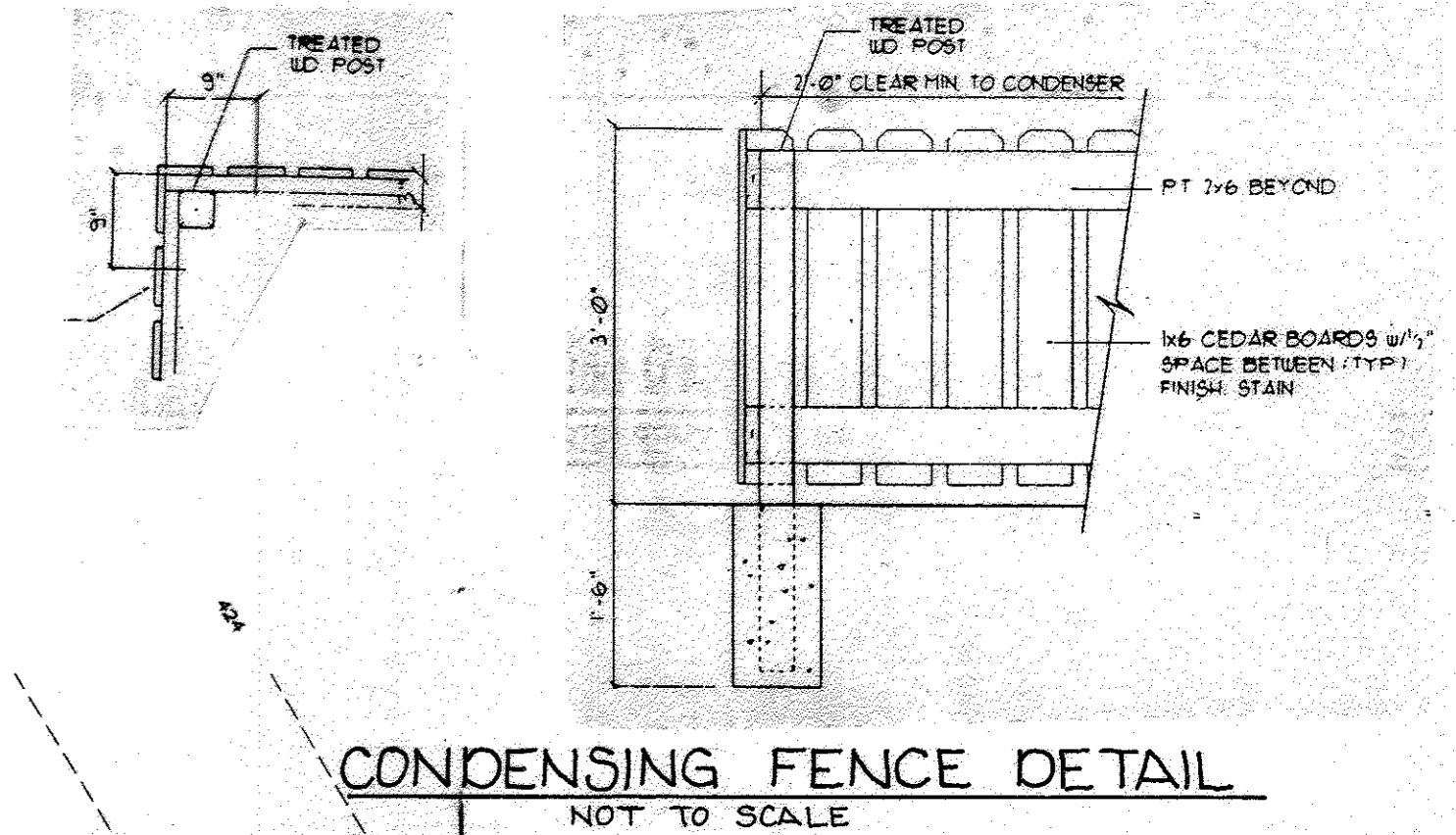
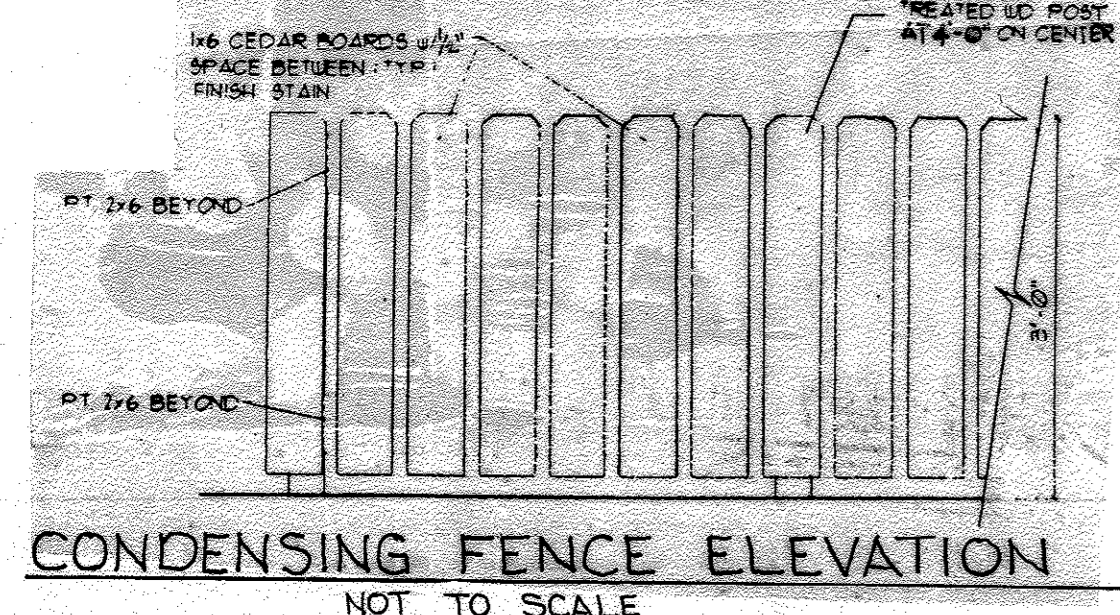
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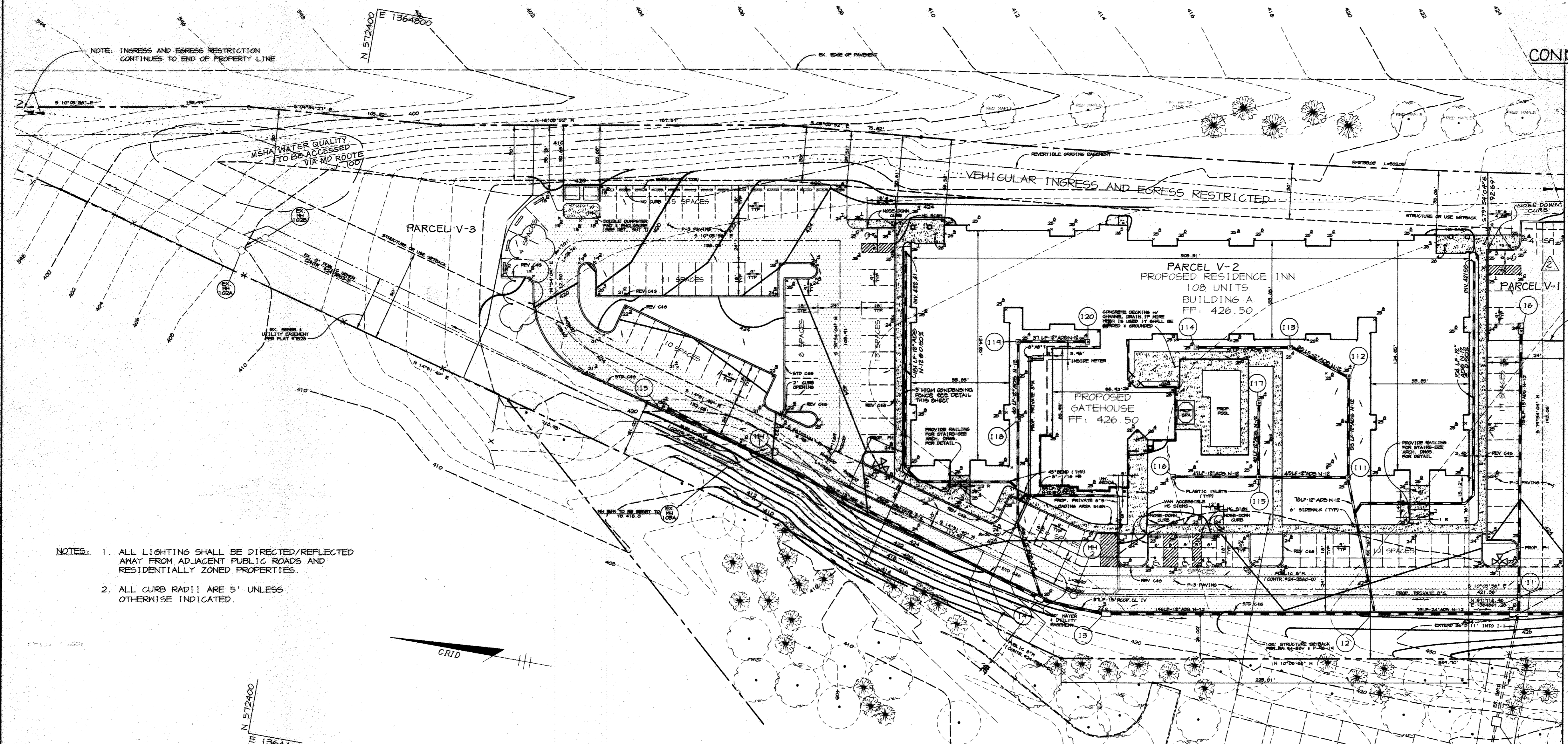
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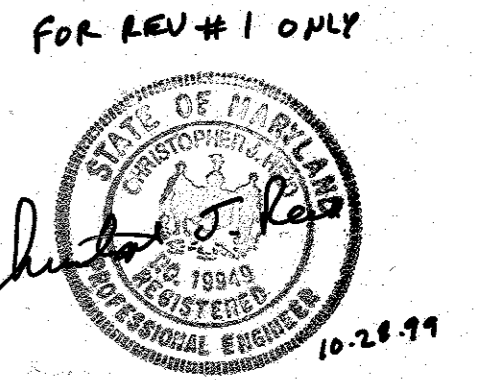


MARYLAND ROUTE 100  
AN INTERMEDIATE ARTERIAL



- NOTES:
1. ALL LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES.
  2. ALL CURB RADI ARE 5' UNLESS OTHERWISE INDICATED.

MATCH LINE - SEE SHEET 3 OF 4



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

COUNTY HEALTH OFFICER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: *Janet J. Taylor* DATE: 10/15/99

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *John P. ...* DATE: 10/15/99

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH: *Richard B. ...* DATE: 10/15/99

9-28-00 MODIFIED PARKING

10-26-99 REVISED STRUCTURE SCHEDULE, ADDED PARCEL LINES

DATE NO. REVISION

OWNER / DEVELOPER  
M. J. F. ASSOCIATES L.L.P.  
c/o MDG COMPANIES  
5550 STERRETT PLACE, SUITE 312  
COLUMBIA, MARYLAND 21044  
(410) 730-9091

PROJECT  
COLUMBIA 100 OFFICE RESEARCH PARK  
PARCEL V-1, V-2 & V-3  
A HOTEL AND SITDOWN RESTAURANT

AREA  
COLUMBIA 100 OFFICE RESEARCH PARK  
SECTION 1 AREA 2 PARCEL V  
TAX MAP NO. 30 ZONED FOR  
2nd ELECTION DISTRICT HOWARD COUNTY, MD

TITLE  
SITE DEVELOPMENT PLAN

RIEMER MUEGGE & ASSOCIATES, INC.  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 FAX: 410-997-9282

DATE: 9-26-96

DESIGNED BY: CJR

DRAWN BY: RPP

PROJECT NO: HCO/96H1100  
'SDP2.DWG

DATE: SEPTEMBER 26, 1996

SCALE: 1"=30'

JAYKANT D. PAREKH #19148 DRAWING NO. 2 OF 4

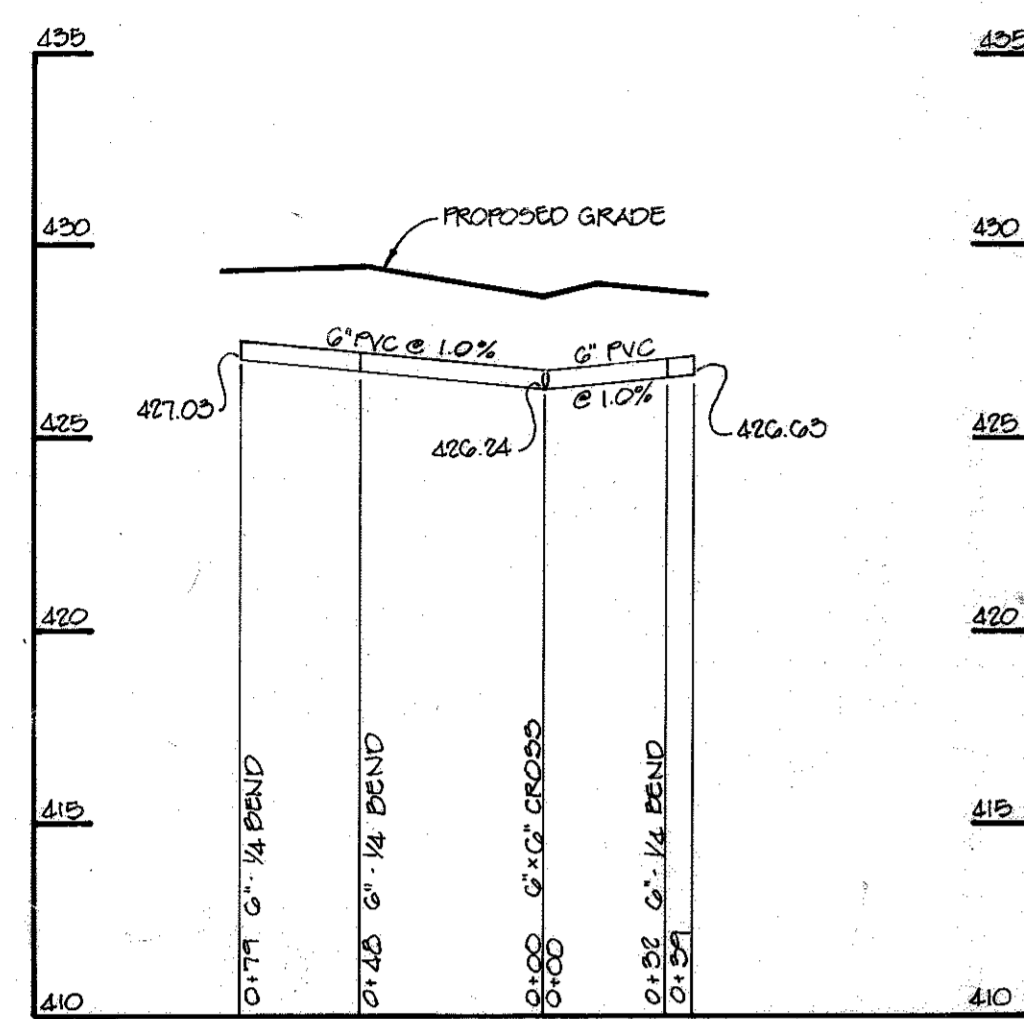
STRUCTURE SCHEDULE									
STRUCTURE	TOP ELEVATION*	TYPE	NO. CO. STD. DETAIL	INVERT	OUT	LID SLOPE	LOCATION		
SMH-1	422.04	4' MH	6-5.12	415.34	415.24	3.51%	N 572143.63 E 1364601.18 @ CENTER OF STRUCTURE		
SMH-2	422.55	4' MH	6-5.12	416.40	416.30	4.69%	N 571968.86 E 1364553.19 @ CENTER OF STRUCTURE		
SMH-3	428.24	4' MH	6-5.12	418.46	418.24	6.06%	N 571546.12 E 1364618.67 @ CENTER OF STRUCTURE		
SMH-4	428.33	4' MH	6-5.12	418.81	418.81	2.17%	N 571608.23 E 1364687.61 @ CENTER OF STRUCTURE		
I-9	427.4	SINGLE WR	SD-4.37	423.75	423.65	0.00%	N 571445.60 E 1364808.10 @ CENTER OF STRUCTURE		
I-1	422.60	A-10	SD-4.02	413.34	413.34	0.00%	N 571727.83 E 1364587.43 @ CENTER OF CURB OPENING		
I-2	423.83	A-5	SD-4.01	415.28	414.78	1.56%	N 571805.41 E 1364575.61 @ CENTER OF CURB OPENING		
I-3	423.10	A-5	SD-4.01	416.27	416.02	0.00%	N 571944.77 E 1364547.89 @ CENTER OF CURB OPENING		
I-4	423.60	A-5	SD-4.01	416.55	415.45	1.82%	N 571986.60 E 1364544.43 @ CENTER OF CURB OPENING		
I-5	420.10	P-3 PAVING	SD-4.34	417.10	417.10	0.00%	N 572228.18 E 1364614.35 @ CENTER OF STRUCTURE		
I-6	424.60	DOUBLE S	SD-4.23	421.32	421.32	0.00%	N 571753.73 E 1364738.86 @ CENTER OF STRUCTURE		
I-7	424.70	A-5	SD-4.01	422.24	422.14	5.88%	N 571577.55 E 1364614.19 @ CENTER OF CURB OPENING		
I-8	427.3	SINGLE WR	SD-4.37	422.91	422.81	0.00%	N 571484.17 E 1364681.15 @ CENTER OF STRUCTURE		
M-1	429.0	CONVERTIBLE MANHOLE	SD-4.23	423.24	423.14	0.00%	N 571483.17 E 1364737.63 @ CENTER OF STRUCTURE		
I-10	427.8	CONVERTIBLE MANHOLE	SD-4.23	424.08	424.08	0.00%	N 571554.57 E 1364796.82 @ CENTER OF STRUCTURE		
I-11	425.40	4" CATCH BASIN	NDS #900	420.74	420.64	0.00%	N 571832.22 E 1364642.56 @ CENTER OF STRUCTURE		
I-12	425.40	4" CATCH BASIN	NDS #900	421.44	421.34	0.00%	N 571841.71 E 1364646.80 @ CENTER OF STRUCTURE		
I-13	425.40	4" CATCH BASIN	NDS #900	421.84	421.74	0.00%	N 571875.94 E 1364706.64 @ CENTER OF STRUCTURE		
I-14	425.40	4" CATCH BASIN	NDS #900	422.40	422.40	0.00%	N 571926.68 E 1364697.70 @ CENTER OF STRUCTURE		
I-15	425.40	4" CATCH BASIN	NDS #900	421.88	421.88	0.00%	N 571880.56 E 1364634.27 @ CENTER OF STRUCTURE		
I-16	425.40	4" CATCH BASIN	NDS #900	422.40	422.40	0.00%	N 571926.67 E 1364626.20 @ CENTER OF STRUCTURE		
I-17	425.40	4" CATCH BASIN	NDS #900	422.40	422.40	0.00%	N 571887.48 E 1364673.84 @ CENTER OF STRUCTURE		
I-18	425.40	4" CATCH BASIN	NDS #900	422.42	422.32	0.00%	N 572015.53 E 1364641.70 @ CENTER OF STRUCTURE		
I-19	425.40	4" CATCH BASIN	NDS #900	422.72	422.62	0.00%	N 572022.95 E 1364683.36 @ CENTER OF STRUCTURE		
I-20	425.40	4" CATCH BASIN	NDS #900	422.40	422.40	0.00%	N 571985.61 E 1364684.45 @ CENTER OF STRUCTURE		

LEGEND

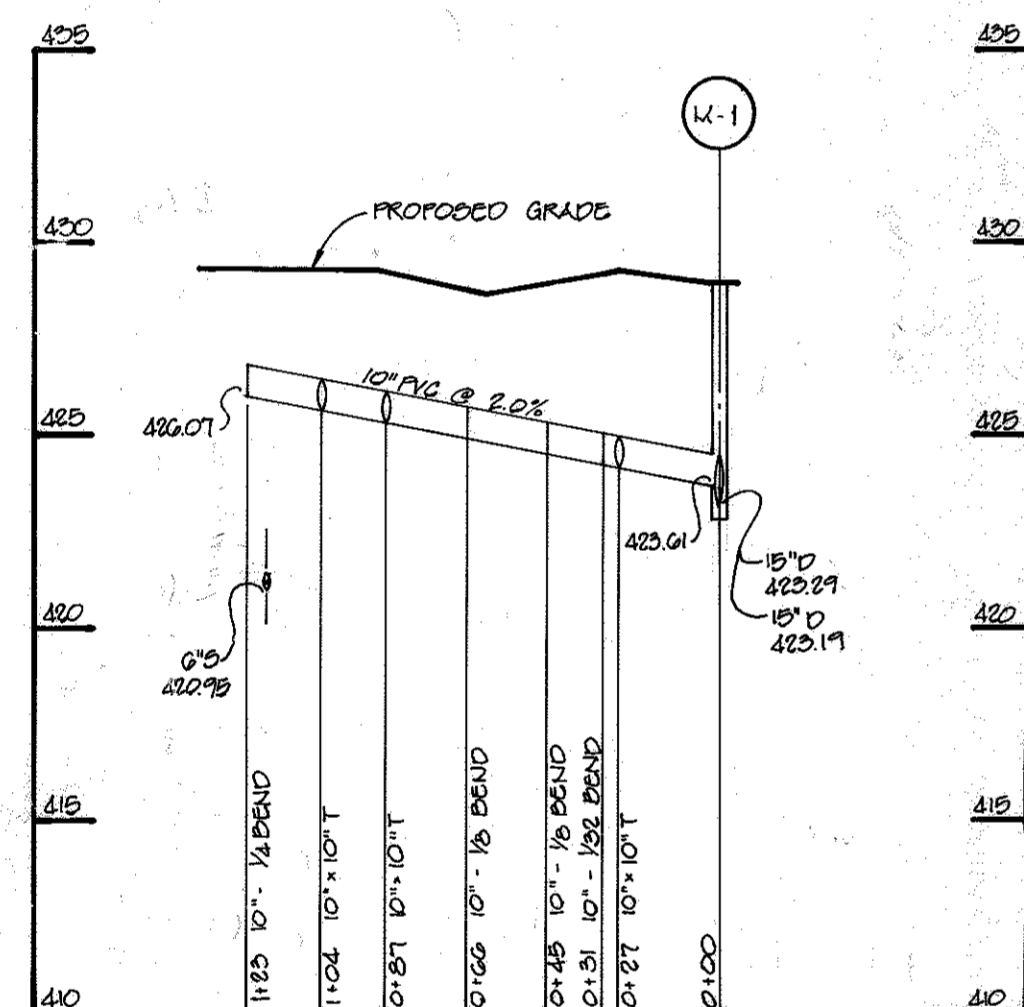
- P-3 PAVING
- P-2 PAVING
- DIRECTION OF FLOW
- STANDARD/REVERSE CURB & GUTTER TRANSITION
- DOWNSPOUT

\* TOP OF CURB, TOP OF GRATE, OR RIM ELEVATION.

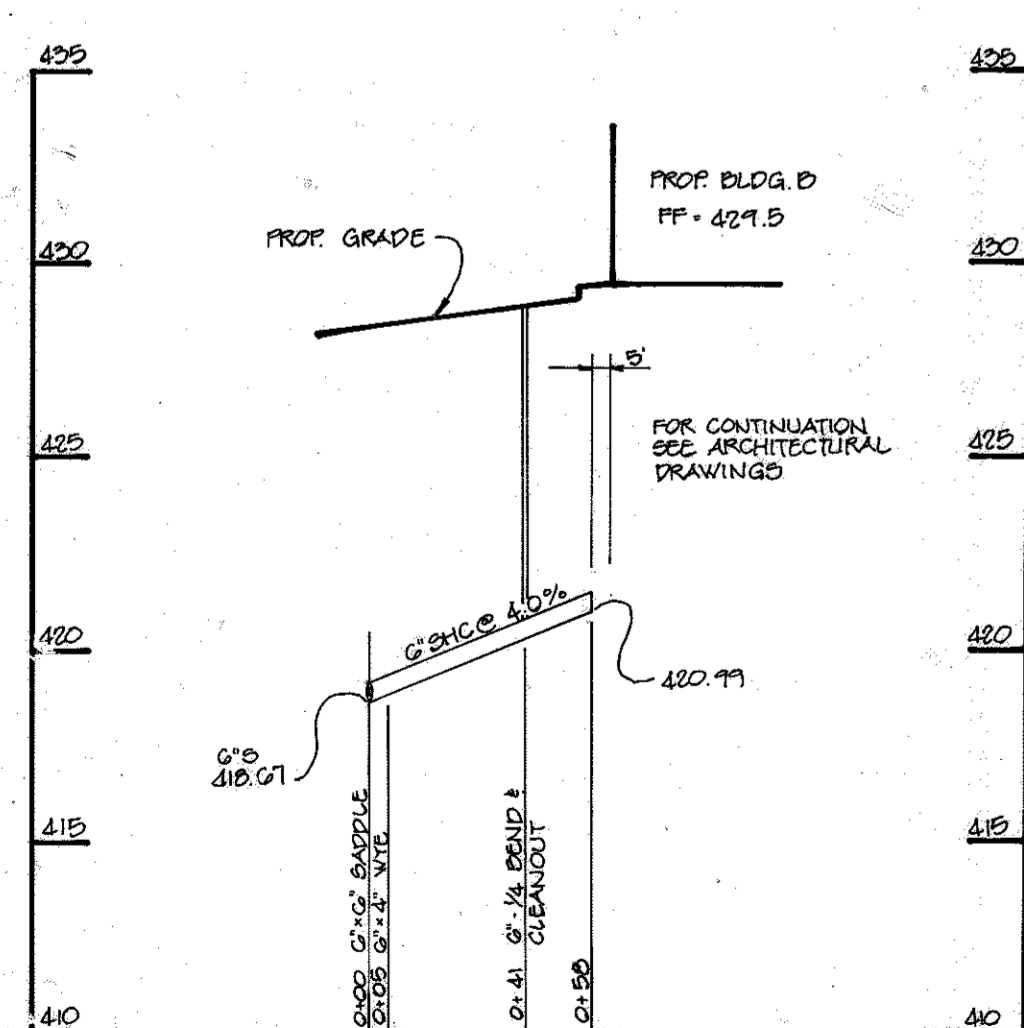




**ROOF DRAIN PROFILE**  
SCALE: HOR. 1"=50'  
VERT. 1"=5'

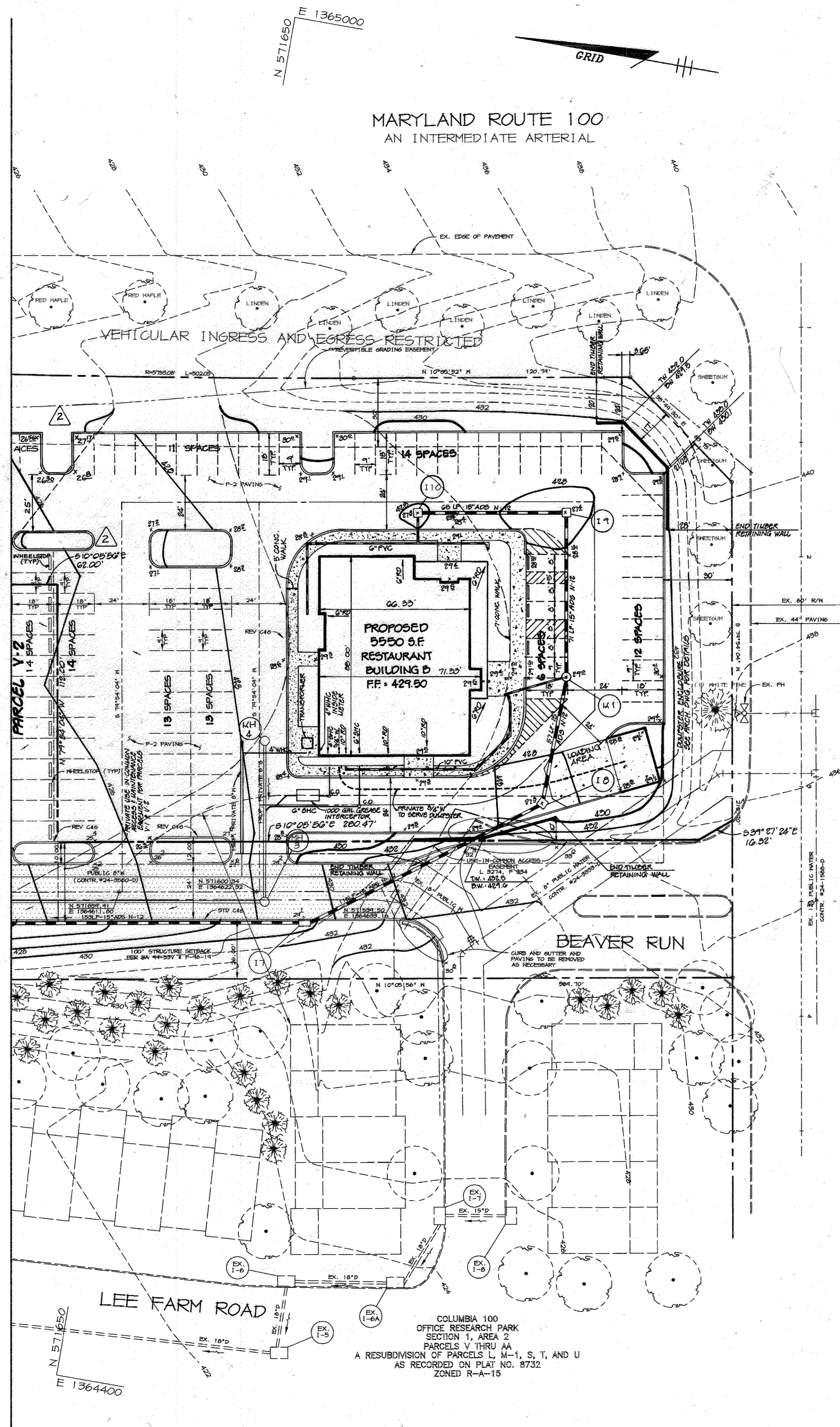


**ROOF DRAIN PROFILE**  
SCALE: HOR. 1"=50'  
VERT. 1"=5'



**SEWER PROFILE**  
SCALE: HOR. 1"=50'  
VERT. 1"=5'

MATCH LINE - SEE SHEET 2 OF 9



COLUMBIA 100  
OFFICE RESEARCH PARK  
SECTION 1, AREA 2  
PARCELS G THRU U  
PLAT NOS. 7524 THRU 7526  
ZONED POR

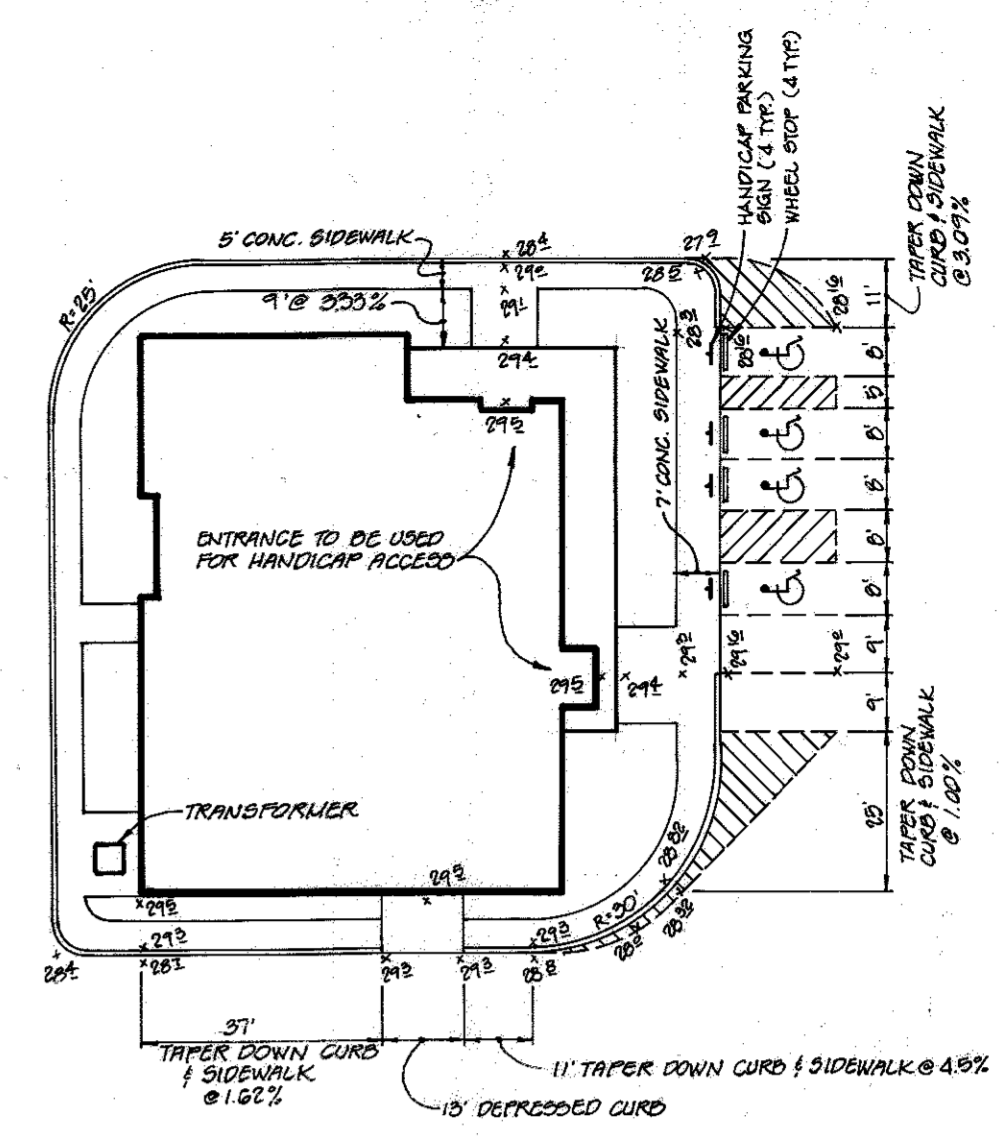
EXECUTIVE PARK DRIVE  
A HOWARD COUNTY PUBLIC ROAD  
A MINOR COLLECTOR

BEAVER RUN

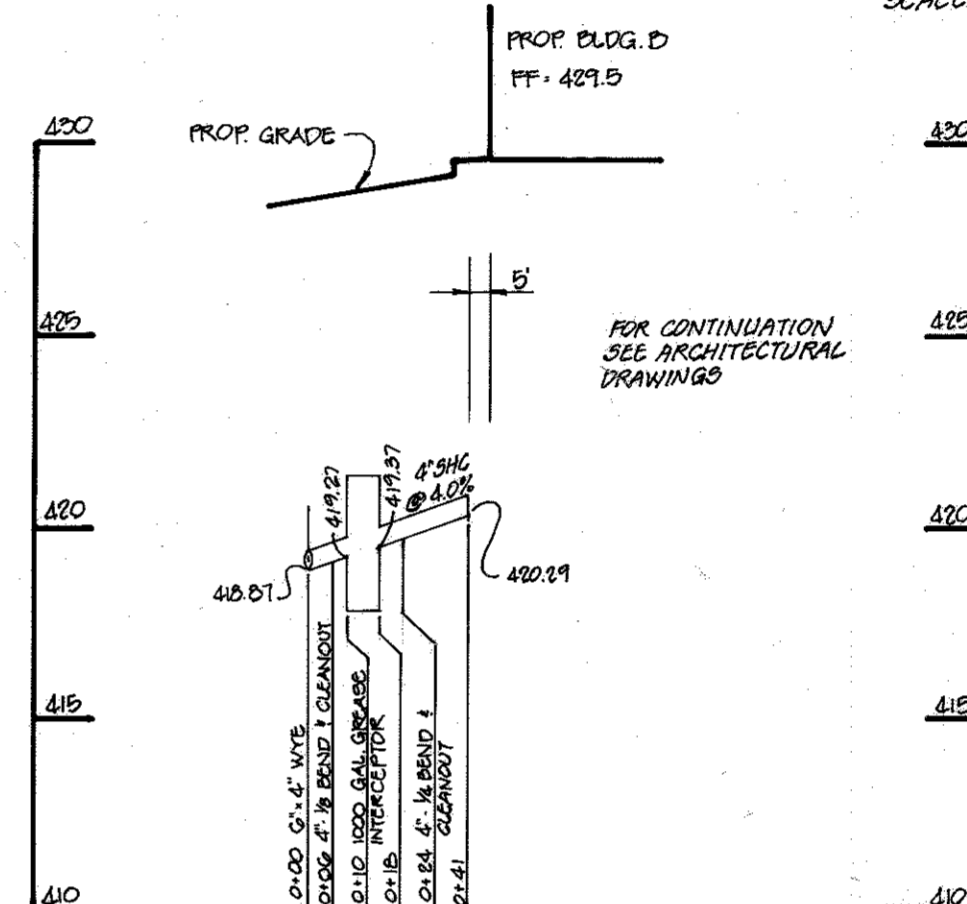
LEE FARM ROAD

COLUMBIA 100  
OFFICE RESEARCH PARK  
SECTION 1, AREA 2  
PARCELS V THRU AA  
A RESUBDIVISION OF PARCELS L, M-1, S, T, AND U  
AS RECORDED ON PLAT NO. 8732  
ZONED R-A-15

- LEGEND**
- P-3 PAVING
  - P-2 PAVING
  - DIRECTION OF FLOW
  - STANDARD/REVERSE CURB & GUTTER TRANSITION
  - DOWNSPOUT

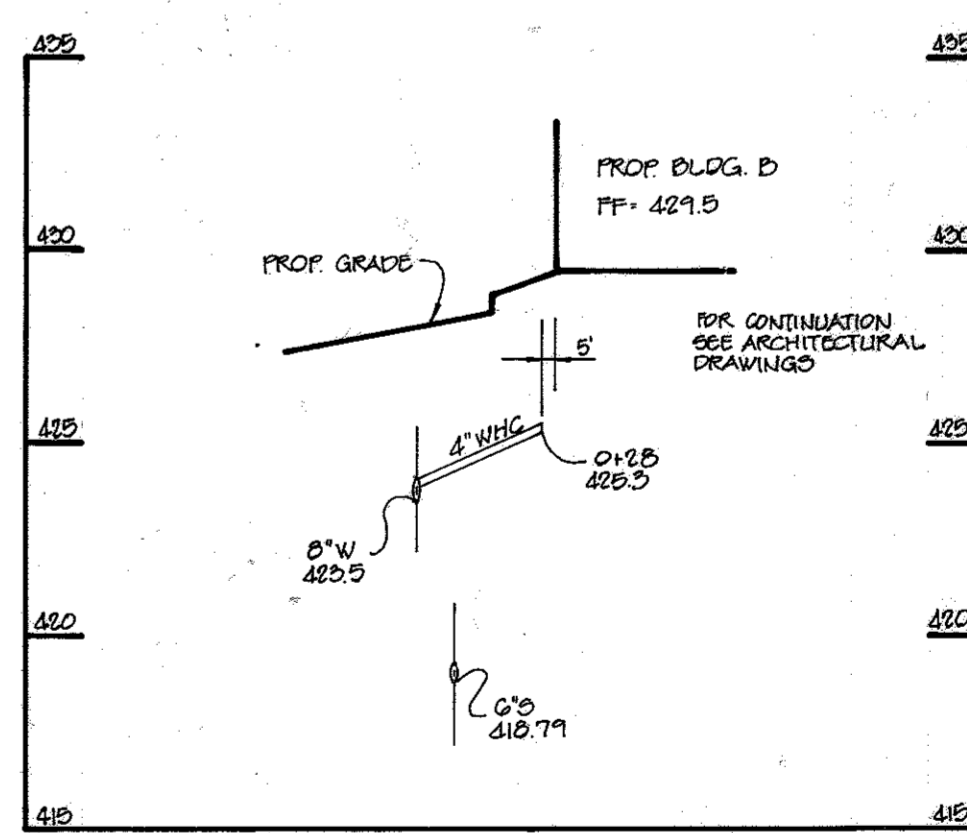


**HANDICAP ACCESS DETAIL**  
SCALE: 1"=30'



**SEWER PROFILE**  
SCALE: HOR. 1"=50'  
VERT. 1"=5'

- NOTES:**
- ALL LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES. LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 12A.
  - ALL CURB RADIUS ARE 5' UNLESS OTHERWISE INDICATED.



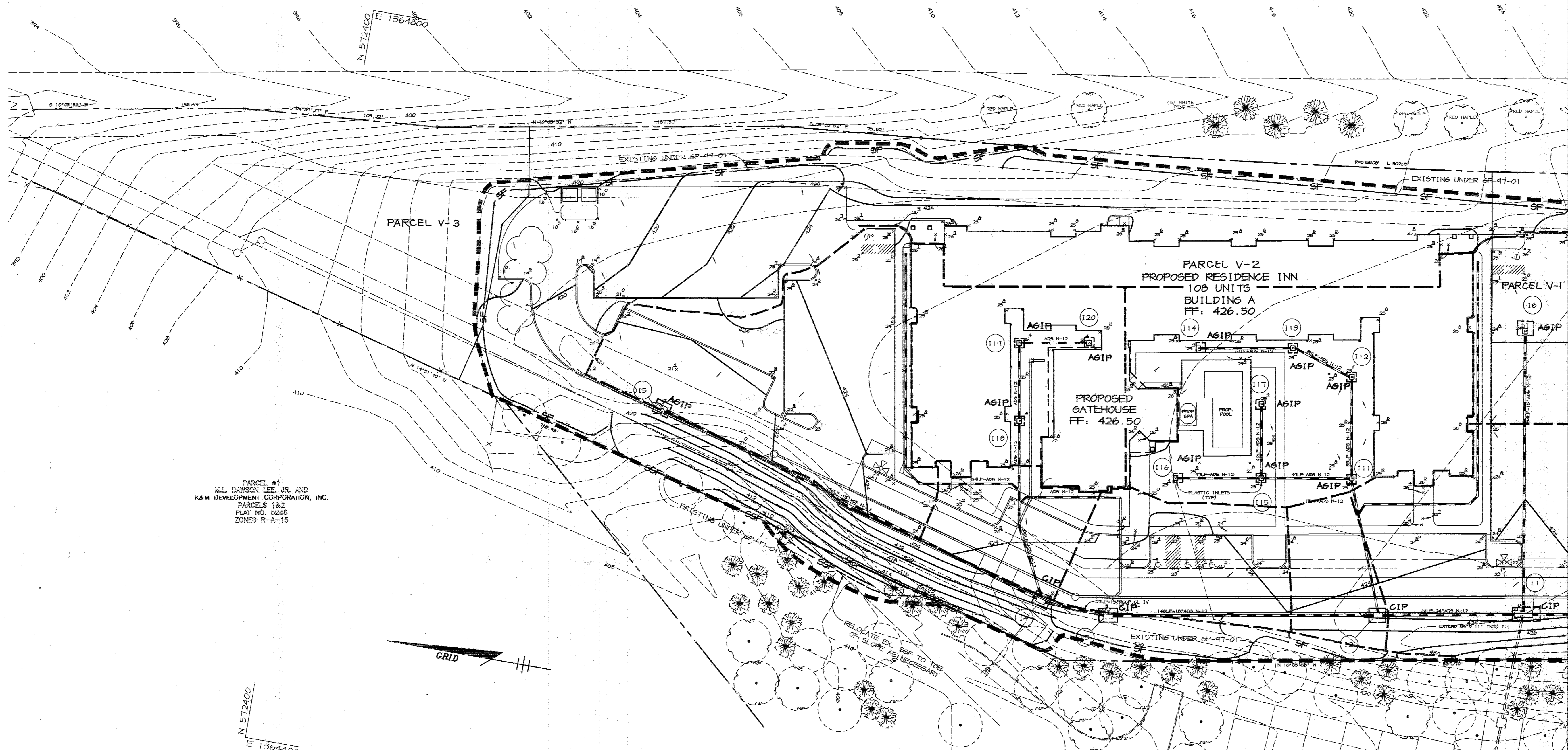
**WATER PROFILE**  
SCALE: HOR. 1"=50'  
VERT. 1"=5'

FOR REV. 1 ONLY

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.	
<i>[Signature]</i> COUNTY HEALTH OFFICER	10-15-96 DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>[Signature]</i> DIRECTOR	10/15/96 DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/3/96 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH	10/15/96 DATE
9-28-00	ADDED ISLAND & REV. PARKING
10-28-99	REV. BLDG. D & PARKING LAYOUT, ADDED PROFILES
DATE	NO. REVISION
OWNER / DEVELOPER M. J. F. ASSOCIATES L.L.P. c/o MDG COMPANIES 5550 STERRETT PLACE, SUITE 312 COLUMBIA, MARYLAND 21044 (410) 730-9091	
PROJECT COLUMBIA 100 OFFICE RESEARCH PARK PARCEL V-1, V-2 & V-3 A HOTEL AND SITDOWN RESTAURANT	
AREA COLUMBIA 100 OFFICE RESEARCH PARK SECTION 1 AREA 2 PARCEL V TAX MAP NO. 30 ZONED FOR 2nd ELECTION DISTRICT HOWARD COUNTY, MD	
TITLE <b>SITE DEVELOPMENT PLAN</b>	
RIEMER MUEGGE & ASSOCIATES, INC. ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045 410-997-8900 FAX: 410-997-9282	
9-26-96 DATE	DESIGNED BY: CJR
	DRAWN BY: RPP
	PROJECT NO. HOCO/96H1100 SDP3.DWG
	DATE: SEPTEMBER 26, 1996
	SCALE: 1"=30'
<i>[Signature]</i> JAYKANT D. PAREKH #19148	DRAWING NO. 3 OF 9



MARYLAND ROUTE 100



PARCEL #1  
M.L. DAWSON, JR. AND  
K&M DEVELOPMENT CORPORATION, INC.  
PARCELS 1&2  
PLAT NO. 5246  
ZONED R-A-15

COLUMBIA 100  
OFFICE RESEARCH PARK  
SECTION 1, AREA 2  
PARCELS V THRU AA  
A RESUBDIVISION OF PARCELS L, M-1, S, T, AND U  
AS RECORDED ON PLAT NO. 8732  
ZONED R-A-15

LEGEND

- EX. STABILIZED CONSTRUCTION ENTRANCE PER GP-97-01
- LIMIT OF DISTURBANCE
- EX. SUPER SILT FENCE PER GP-97-01
- EX. SILT FENCE PER GP-97-01
- DRAINAGE AREA LINES
- INLET PROTECTION

- SEQUENCE OF CONSTRUCTION**
1. OBTAIN GRADING PERMIT.
  2. INSTALL STABILIZED CONSTRUCTION ENTRANCE, INLET PROTECTION AND SUPER SILT FENCE. (2 DAYS)
  3. ROUGH GRADE SITE. (1 WEEK)
  4. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, MODIFY EXISTING STORM DRAINS, INSTAL WATER AND SEWER UTILITIES. (1 WEEK)
  5. INSTALL CURB AND GUTTER AND PAVE PARKING LOT. (2 WEEKS)
  6. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES AS NECESSARY. (1 DAY)
  7. INSTALL LIGHTS, LANDSCAPING, AND SIGNS AS REQUIRED. (5 DAYS)
  8. UPON APPROVAL OF THE HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (3 DAYS)

BY THE DEVELOPER :  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Christine A. Richards* 9/26/96  
DEVELOPER DATE

BY THE ENGINEER :  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*J. Farrell* 9.26.96  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*J. M. Washfield* 10/2/96  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robinson* 10/2/96  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*John R. Robinson* 10/2/96  
COUNTY HEALTH OFFICER DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*David L. Wright* 10/2/96  
DIRECTOR DATE

*John R. Robinson* 10/2/96  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Richard Blood* 10/2/96  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

10/26/99 REVISD SEQUENCE OF CONSTRUCTION, ADDED PARCEL LINES.  
DATE NO. REVISION

OWNER / DEVELOPER  
M.J.F. ASSOCIATES L.L.P.  
c/o MDG COMPANIES  
5550 STERRETT PLACE, SUITE 312  
COLUMBIA, MARYLAND 21044  
(410) 730-9091

PROJECT  
COLUMBIA 100 OFFICE RESEARCH PARK  
PARCEL V-1, V-2 & V-3  
A HOTEL AND SITDOWN RESTAURANT

AREA COLUMBIA 100 OFFICE RESEARCH PARK SECTION 1 AREA 2 PARCEL V-1, V-2 & V-3  
FAX MAP NO. 50 ZONED FOR  
2nd ELECTION DISTRICT HOWARD COUNTY, MD

TITLE  
SEDIMENT CONTROL PLAN  
AND DRAINAGE AREA MAP

RIEMER MUEGGE & ASSOCIATES, INC.  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 FAX : 410-997-9282

9.26.96  
DATE  
DESIGNED BY : CJR  
DRAWN BY : RFP  
PROJECT NO : HOCO/96H100  
SDPA, DWG  
DATE : SEPTEMBER 26, 1996  
SCALE : 1"=30'  
DRAWING NO. 4 OF 9



MATCH LINE - SEE SHEET 5 OF 9

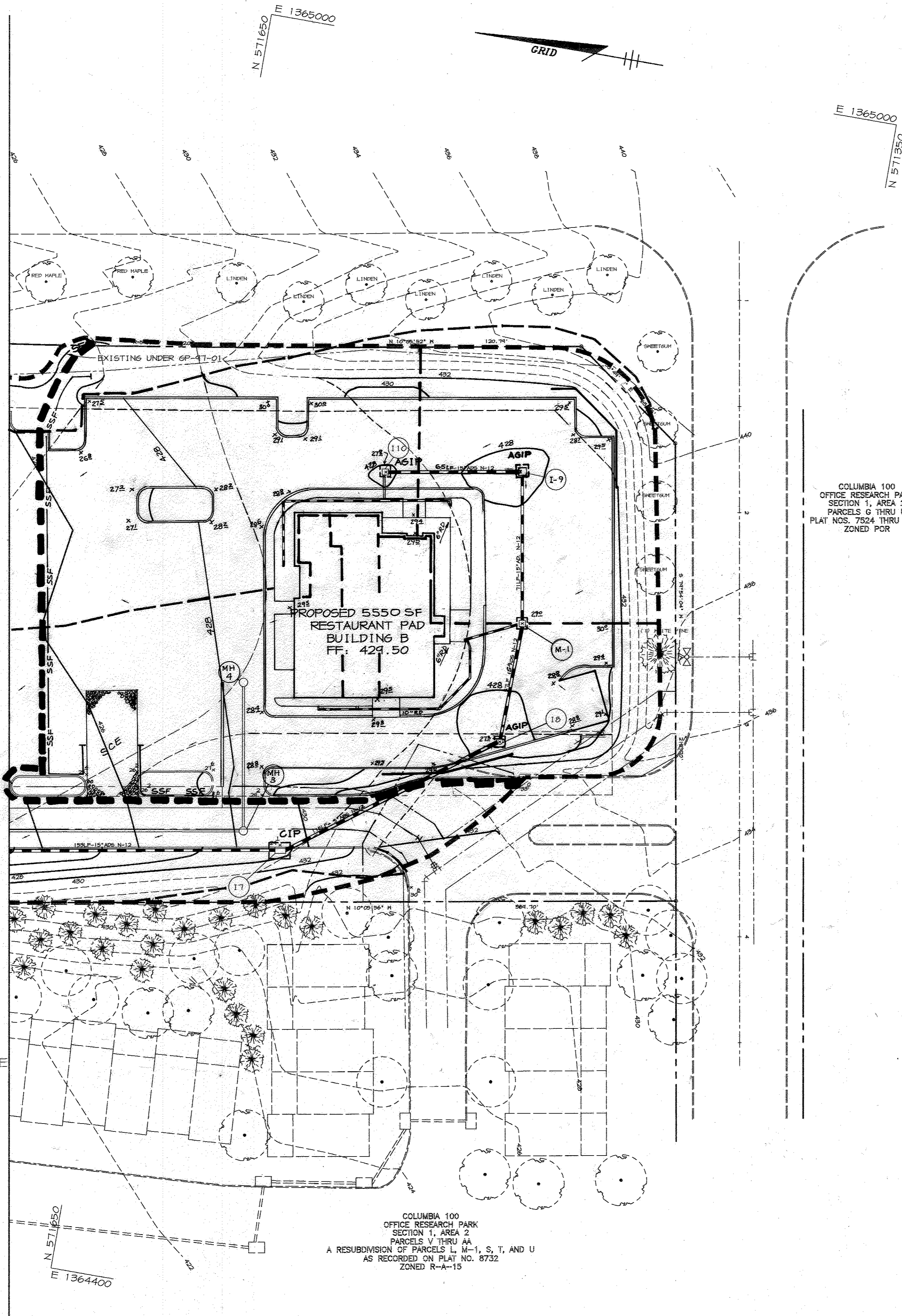


**DRAINAGE AREA DATA**

STRUCTURE NO.	AREA (AC.)	C FACTOR	% IMPERVIOUS
I-1	0.81	0.69	74
I-2	0.05	0.59	60
I-3	0.15	0.59	60
I-4	0.14	0.72	74
I-5	0.40	0.78	88
I-6	0.45	0.83	96
I-7	0.05	0.46	40
I-8	0.21	0.86	35
I-9	0.30	0.86	37
I-10	0.14	0.86	27
ROOF-1	0.47	0.65	68
ROOF-2	0.28	0.76	86
M-1	0.13	0.86	100

ROOF-1 AND ROOF-2 AREA IS DIVIDED INTO THE ROOF LEADERS THAT ARE CAPTURED BY PLASTIC INLET SYSTEM.







MATCH LINE - SEE SHEET 4 OF 9



COLUMBIA 100  
OFFICE RESEARCH PARK  
SECTION 1, AREA 2  
PARCELS G THRU U  
PLAT NOS. 7524 THRU 7526  
ZONED POR

COLUMBIA 100  
OFFICE RESEARCH PARK  
SECTION 1, AREA 2  
PARCELS V THRU AA  
A RESUBDIVISION OF PARCELS L, M-1, S, T, AND U  
AS RECORDED ON PLAT NO. 8732  
ZONED R-A-15

**LEGEND**

-  EX. STABILIZED CONSTRUCTION ENTRANCE PER 6P-97-01
-  LIMIT OF DISTURBANCE
-  EX. SUPER SILT FENCE PER 6P-97-01
-  EX. SILT FENCE PER 6P-97-01
-  DRAINAGE AREA LINES
-  INLET PROTECTION

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Christine A. Richards* 9-26-96  
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*J. Farrell* 9-26-96  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*J. B. Warfield* 10/2/96  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 10/2/96  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*[Signature]* 10-18-96  
COUNTY HEALTH OFFICER DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Dorinda V. DeLong* 10/15/96  
DIRECTOR DATE

*[Signature]* 10/15/96  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Richard Blouel* 10/15/96  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

10-26-99 REVISD BLDG AND PARKING LAYOUT  
DATE NO. REVISION

OWNER / DEVELOPER  
M. J. F. ASSOCIATES L.L.P.  
c/o MD6 COMPANIES  
5550 STERRETT PLACE, SUITE 312  
COLUMBIA, MARYLAND 21044  
(410) 730-9091

PROJECT  
COLUMBIA 100 OFFICE RESEARCH PARK  
PARCEL V-1, V-2 & V-3  
A HOTEL AND SITDOWN RESTAURANT

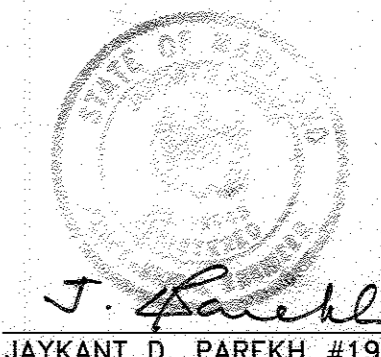
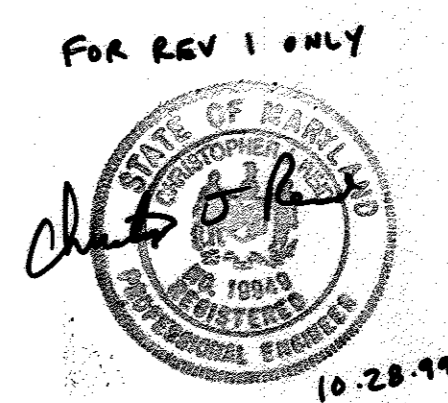
AREA COLUMBIA 100 OFFICE RESEARCH PARK  
SECTION 1, AREA 2 PARCEL V  
TAX MAP NO. 30 ZONED FOR  
2nd ELECTION DISTRICT HOWARD COUNTY, MD

TITLE  
SEDIMENT CONTROL PLAN  
AND DRAINAGE AREA MAP

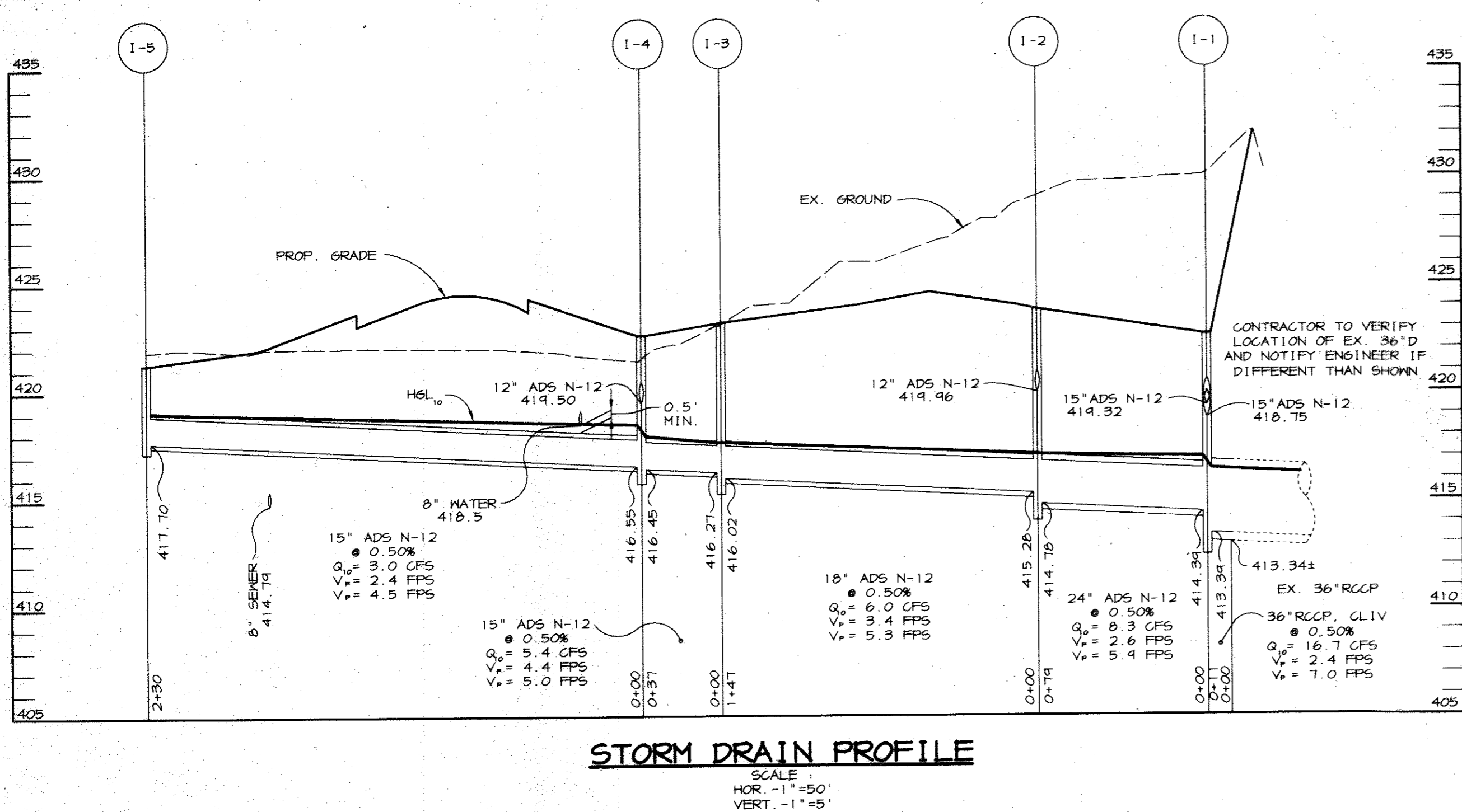
RIEMER MUEGGEL & ASSOCIATES, INC.  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 FAX : 410-997-9282

9-26-96  
DATE

DESIGNED BY : CJR  
DRAWN BY : RPP  
PROJECT NO : HOCO/96H1100  
SDPS.DWG  
DATE : SEPTEMBER 26, 1996  
SCALE : 1"=30'  
DRAWING NO. 5 OF 9

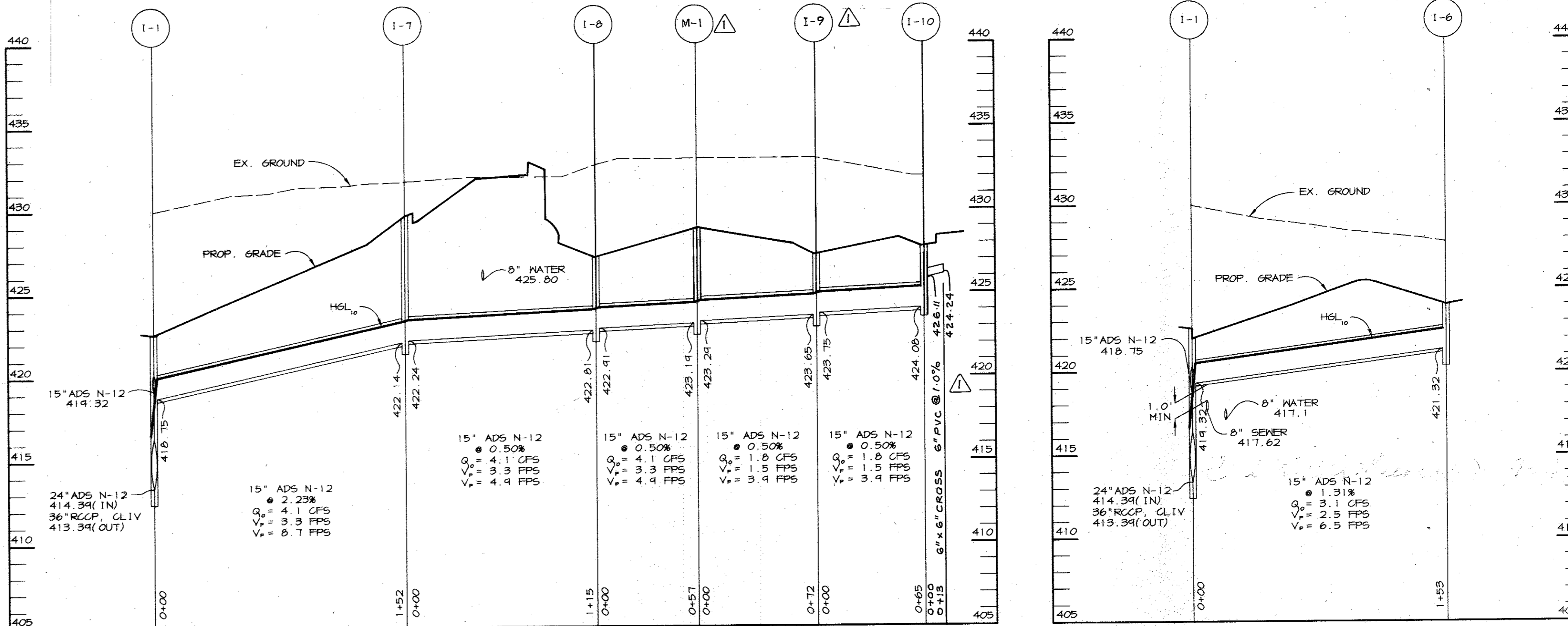






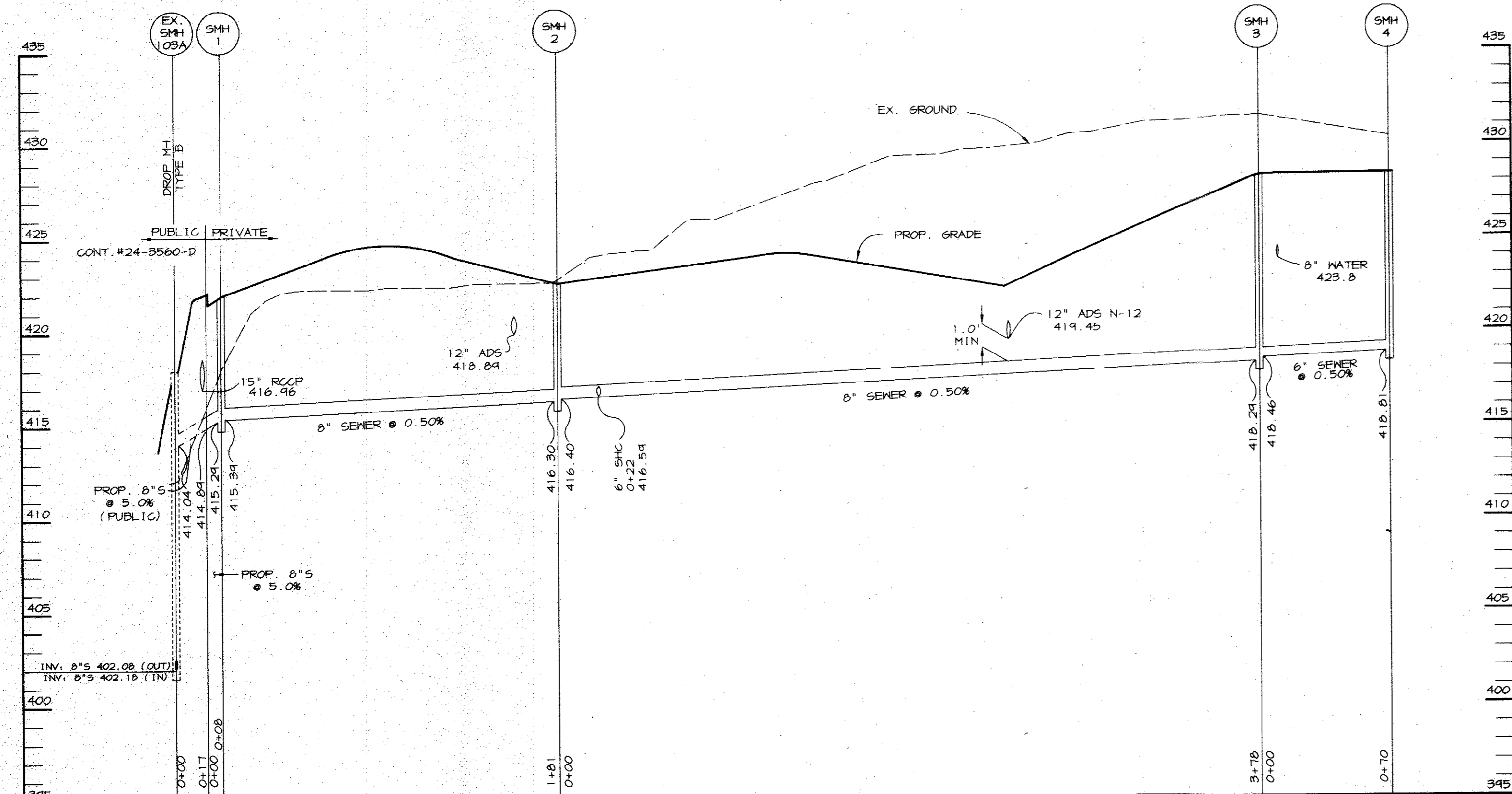
**STORM DRAIN PROFILE**

SCALE:  
HOR. - 1"=50'  
VERT. - 1"=5'



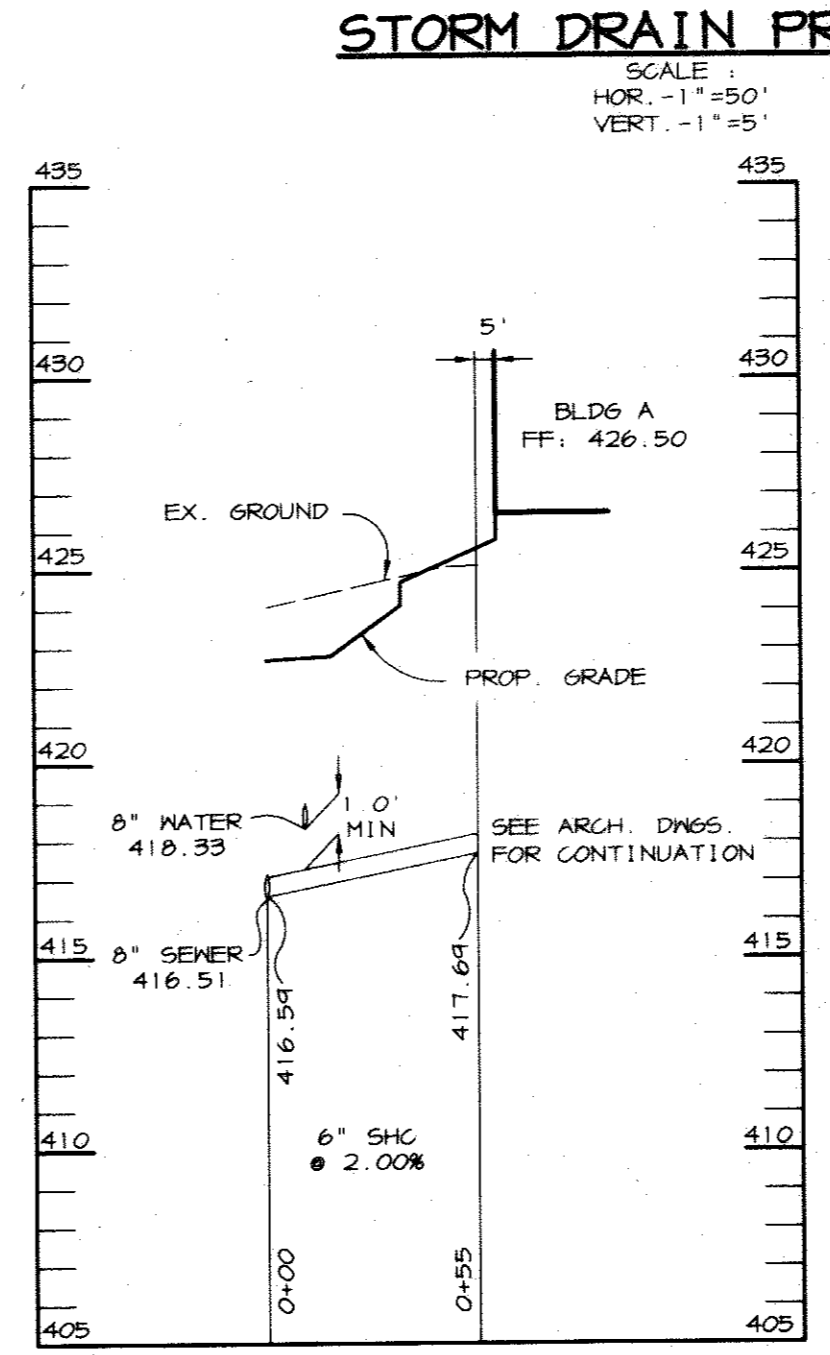
**STORM DRAIN PROFILE**

SCALE:  
HOR. - 1"=50'  
VERT. - 1"=5'



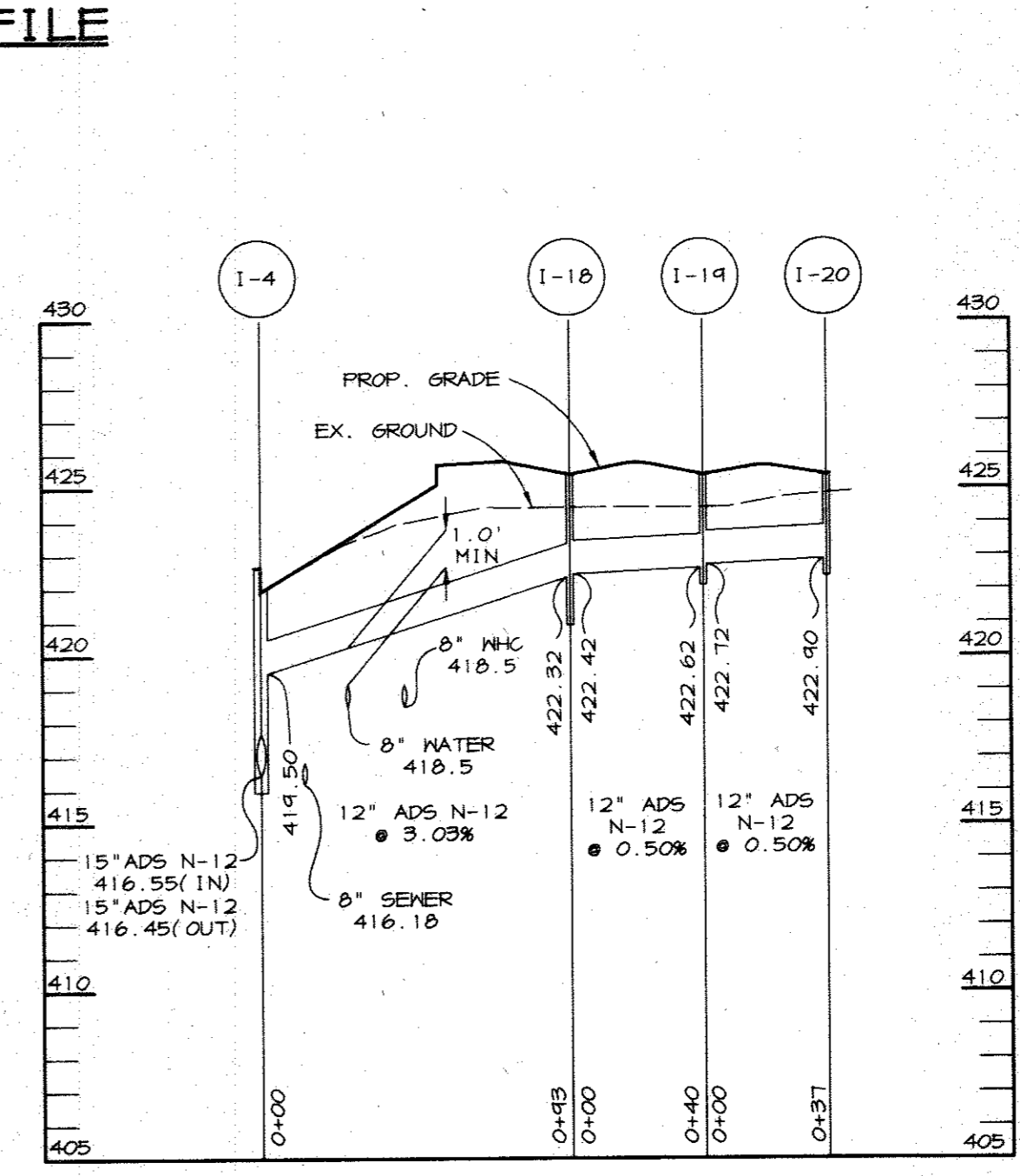
**SEWER PROFILE**

SCALE:  
HOR. - 1"=50'  
VERT. - 1"=5'



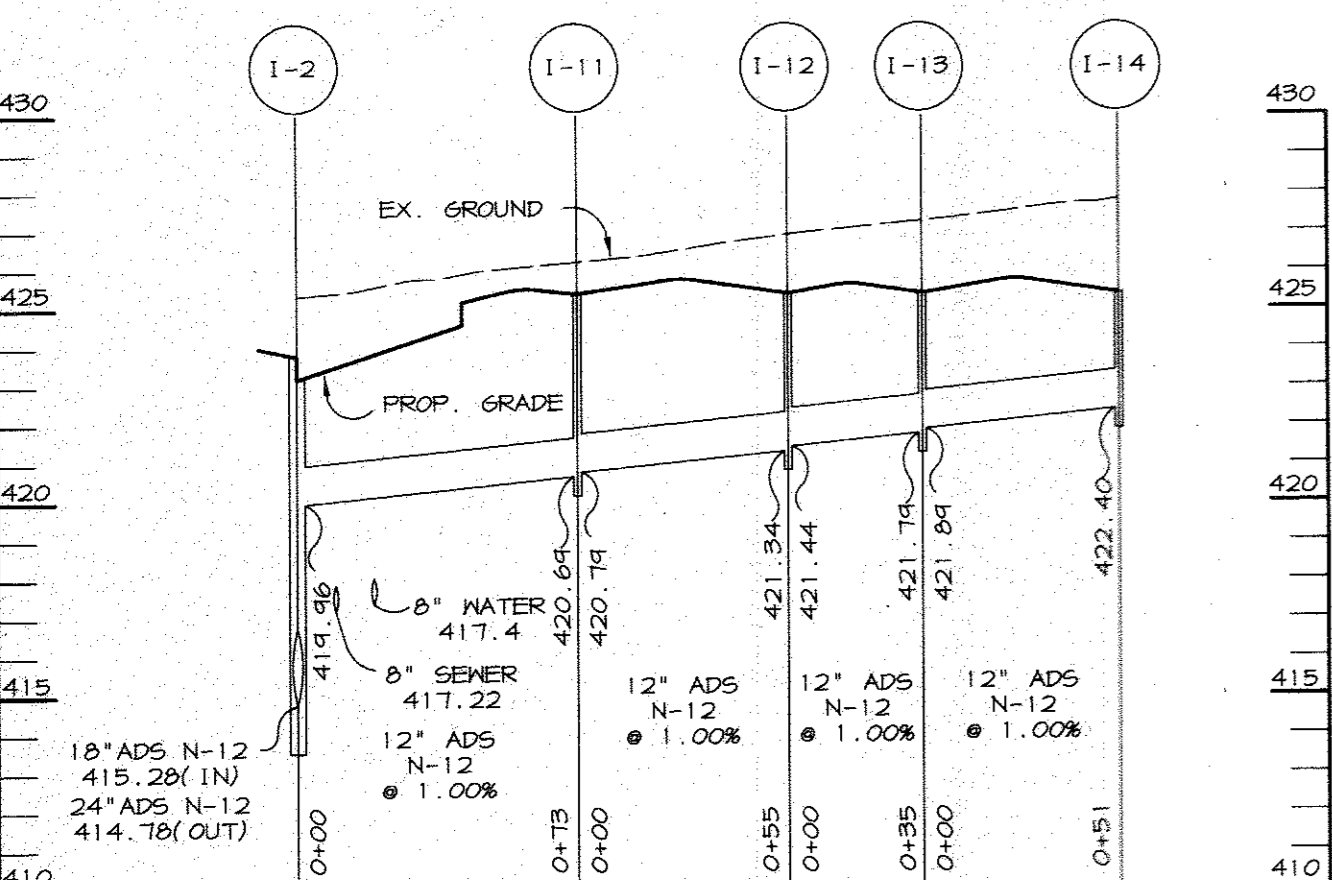
**BLDG A SHC PROFILE**

SCALE:  
HOR. - 1"=50'  
VERT. - 1"=5'



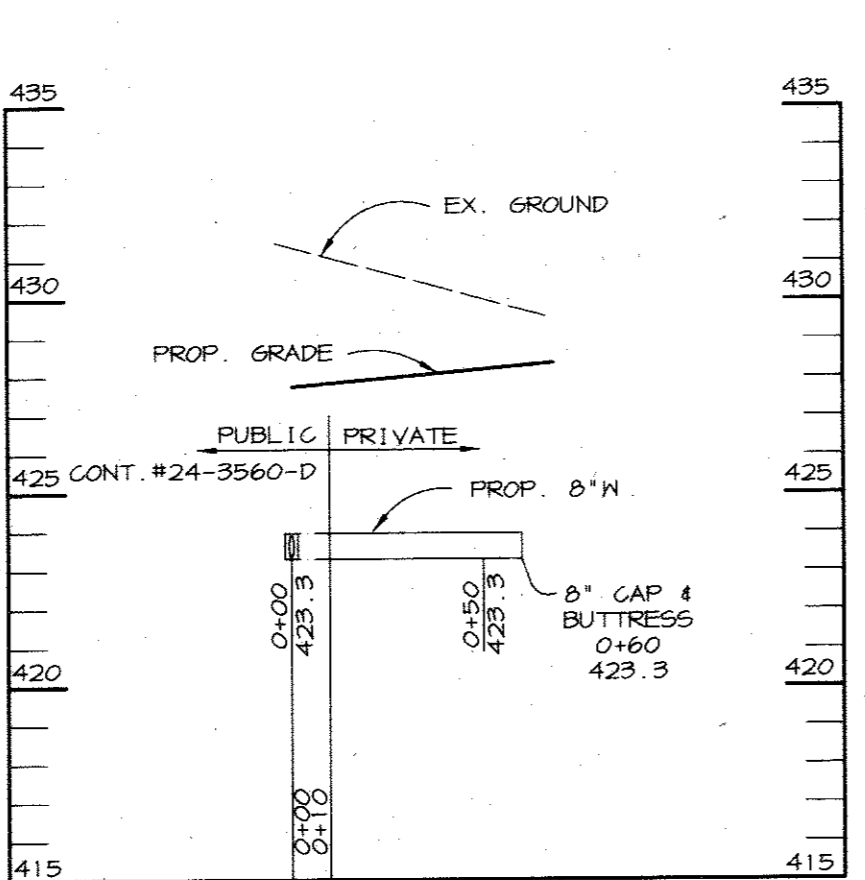
**ROOF DRAIN PROFILE**

SCALE:  
HOR. - 1"=50'  
VERT. - 1"=5'



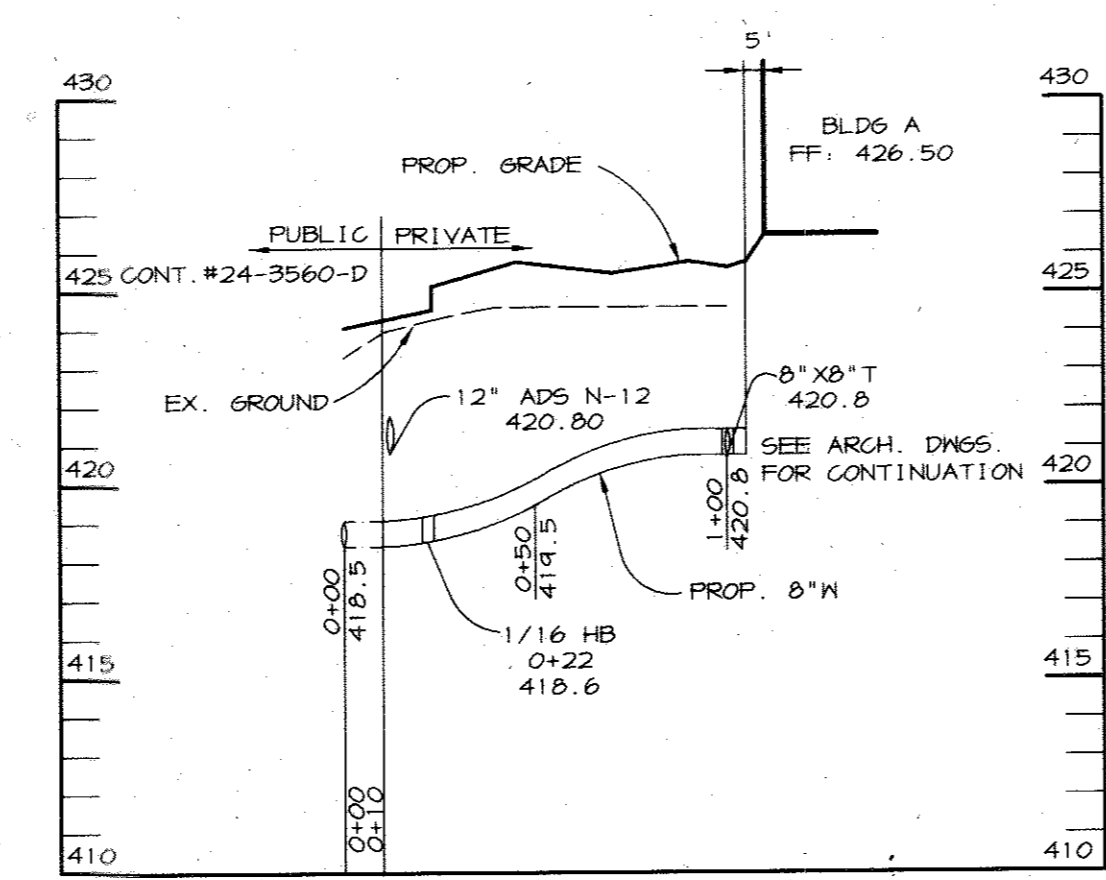
**ROOF DRAIN PROFILE**

SCALE:  
HOR. - 1"=50'  
VERT. - 1"=5'



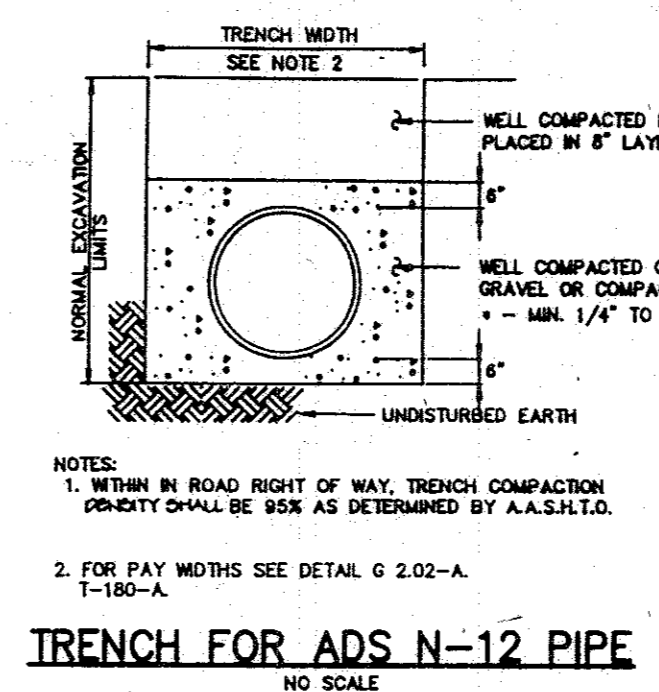
**BLDG B PAD NHC PROFILE**

SCALE:  
HOR. - 1"=50'  
VERT. - 1"=5'



**BLDG A NHC PROFILE**

SCALE:  
HOR. - 1"=50'  
VERT. - 1"=5'



**TRENCH FOR ADS N-12 PIPE**

NO SCALE

**ADS N-12 PIPE**

**Applicable Specifications and Installation Guidelines**

- ASTM F 406, Standard Specification for Corrugated Polyethylene Pipe and Fittings.
- ASTM F 887, Standard Specification for Large Diameter Corrugated Polyethylene Pipe and Fittings.
- AASHTO M 253, Standard Specification for Polyethylene Corrugated Drainage Pipe.
- AASHTO M 254, Standard Specification for Corrugated Polyethylene Pipe, 12" to 36" diameter.
- ADS Installation Guidelines for Collect and Other Heavy-Duty Drainage Applications.

**Installation Recommendations**

- Crushed stone, gravel or compacted soil backfill material should be used as the bedding and envelope material.
- The corrugated pipe should be laid on grade, on a layer of bedding material. If native soil is used as the bedding and backfill material, it should be well compacted in 6" lifts below the haunches, around the sides and above the pipe to the recommended minimum height of cover.
- Either flexible (asphalt) or rigid (concrete) pavements may be laid as part of the minimum cover requirements.
- Site conditions and availability of bedding materials often dictate the type of installation method used.
- The load bearing capability of flexible conduits is dependent on the type of backfill material used and the degree of compaction achieved. Crushed stone and gravel backfill materials typically reach a compaction level of 90-95%. AASHTO standard density without compaction. When native soils are used as backfill material, a compaction level of 85% is required. This is the same minimum compaction that is recommended by all drainage pipe manufacturers and can be achieved by either hand or mechanical tamping.

FOR REV.#1 ONLY



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DATE: 10/15/96  
 DIRECTOR: [Signature]  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH

DATE	NO.	REVISION
10-26-99	1	REVISED STORM DRAIN PROFILE

OWNER / DEVELOPER  
 M.J.F. ASSOCIATES L.L.P.  
 c/o MD6 COMPANIES  
 5550 STERRETT PLACE, SUITE 312  
 COLUMBIA, MARYLAND 21044  
 (410) 730-9041

PROJECT  
**COLUMBIA 100 OFFICE RESEARCH PARK**  
 PARCEL V-1, V-2 & V-3  
 A HOTEL AND SITDOWN RESTAURANT

AREA COLUMBIA 100 OFFICE RESEARCH PARK  
 SECTION 1 AREA 2 PARCEL V  
 TAX MAP NO. 30 ZONED FOR  
 2nd ELECTION DISTRICT HOWARD COUNTY, MD

TITLE  
**PROFILES, NOTES, AND DETAILS**

**RIEMER MUEGGE & ASSOCIATES, INC.**  
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
 410-997-8900 FAX: 410-997-9282

DATE: 9-26-96

DESIGNED BY: C.J.R.  
 DRAWN BY: HCC  
 PROJECT NO.: HCC/96H100  
 SDP6.DWG  
 DATE: SEPTEMBER 26, 1996  
 SCALE: AS SHOWN  
 DRAWING NO.: 6 OF 9



**SEDIMENT CONTROL NOTES**

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THERE TO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. B) 14 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA OF SITE	1.47 ACRES
AREA DISTURBED	1.0 ACRE
AREA TO BE ROOFED OR PAVED	0.4 ACRE
AREA TO BE VEGETATIVELY STABILIZED	0.4 ACRE
TOTAL CUT	C.U. YARDS
TOTAL FILL	C.U. YARDS

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
11. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
12. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
13. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
14. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
15. BORROW SITE TO BE PRE-APPROVED BY THE SEDIMENT CONTROL INSPECTOR, OR IN CASE OF EXCESS MATERIAL, AN APPROVED SEDIMENT CONTROL PLAN WILL BE NEEDED TO DEPOSIT EXCESS OFF-SITE.

**TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

**Seedbed Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

**Soil Amendments:** Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.).

**Seeding:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual ryegrass (3.2 lbs. per 1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

**PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

**Seedbed Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

**Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:

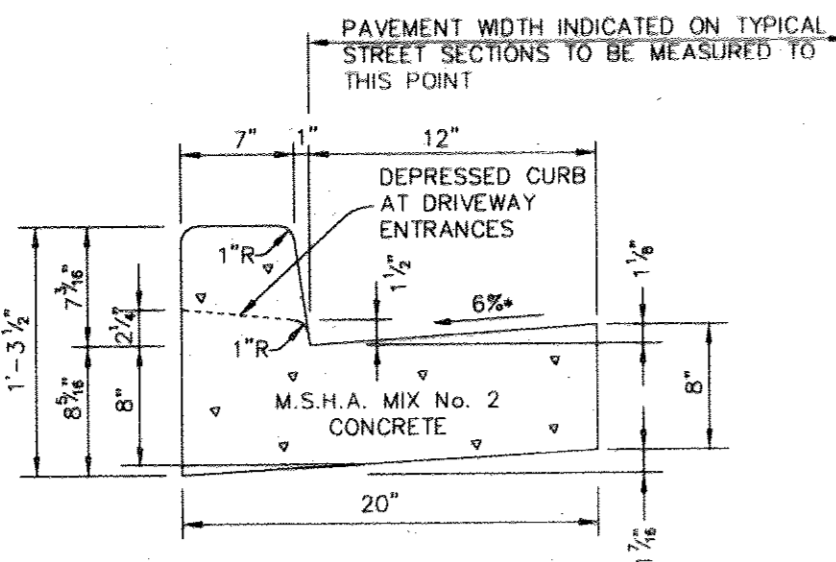
- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 urea-form fertilizer (9 lbs. per 1000 sq. ft.).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.

**Seeding:** For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq. ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options:

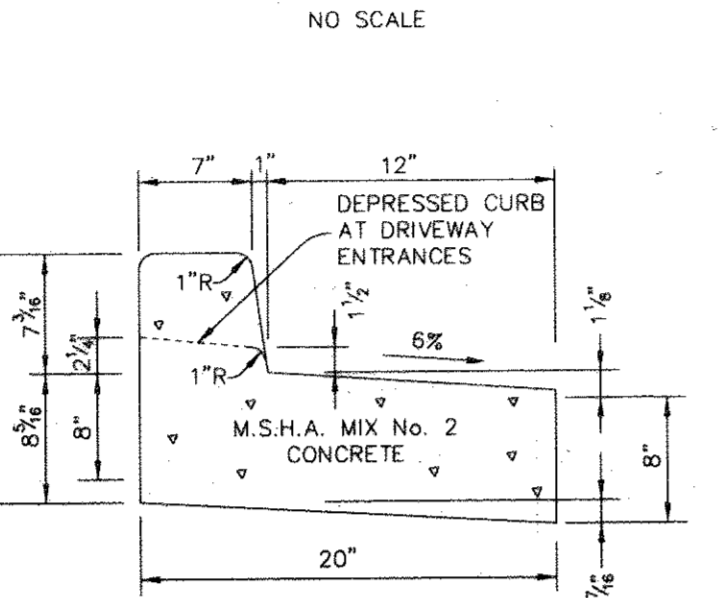
- 1) 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
- 2) Use sod.
- 3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.

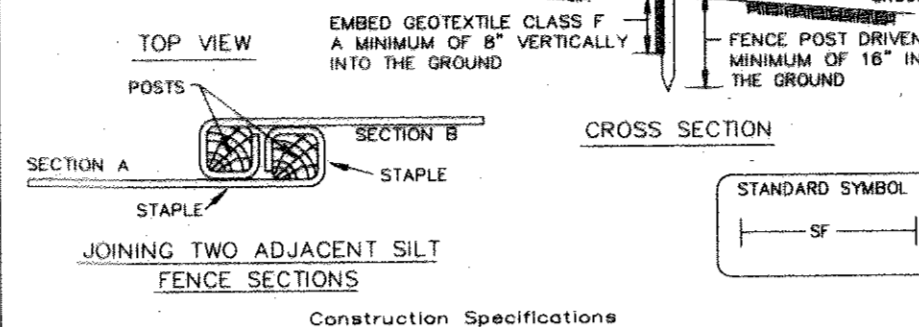
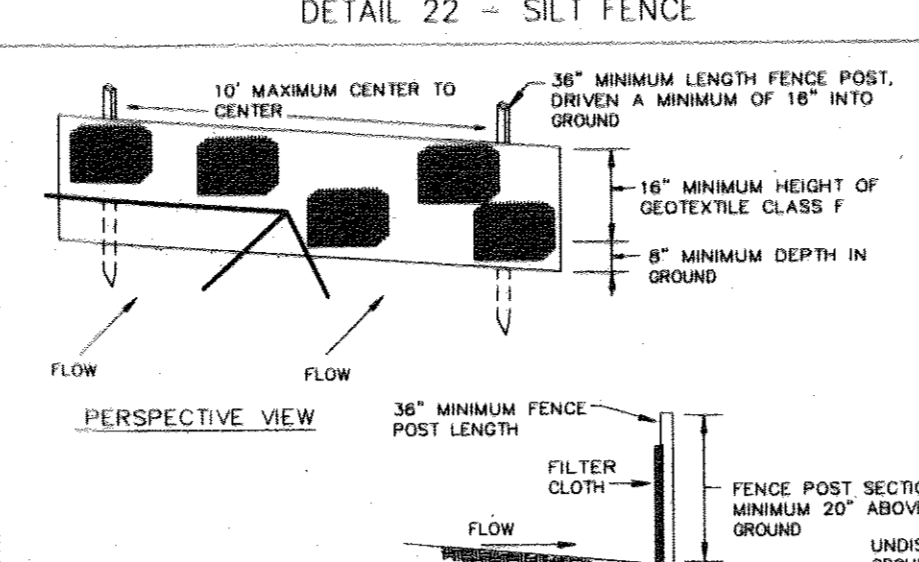
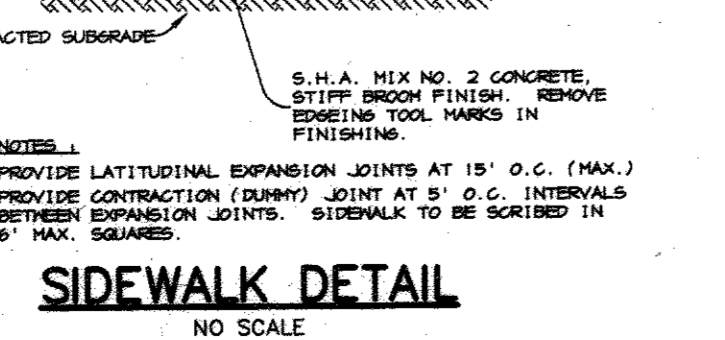
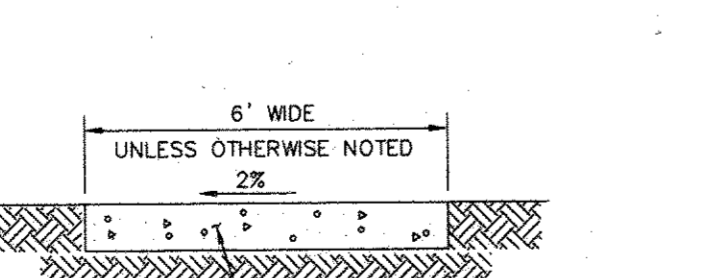
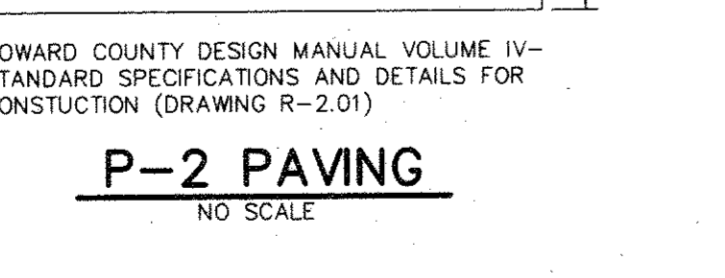
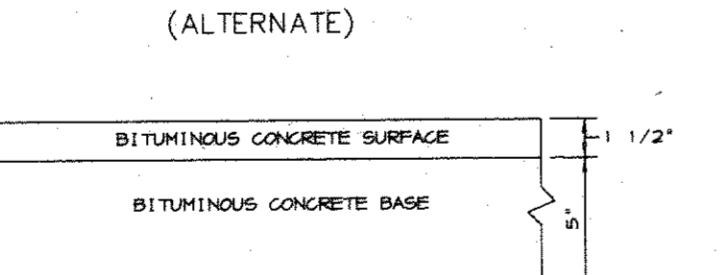
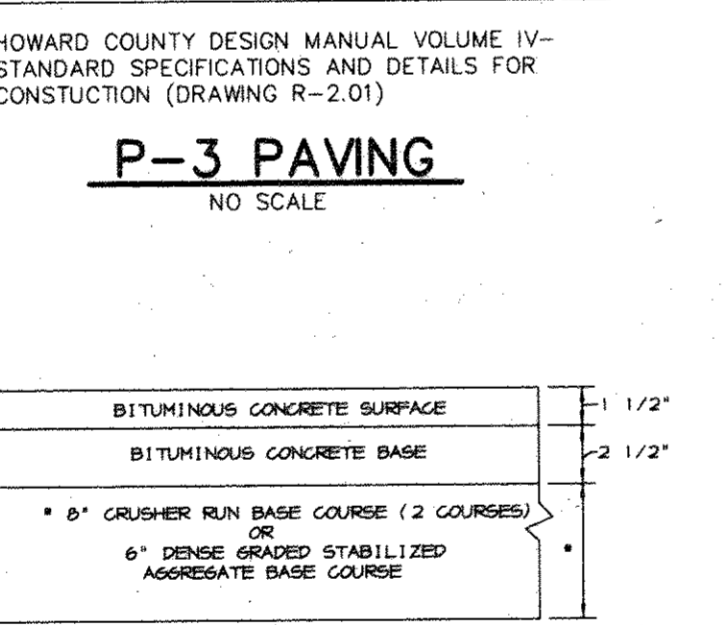
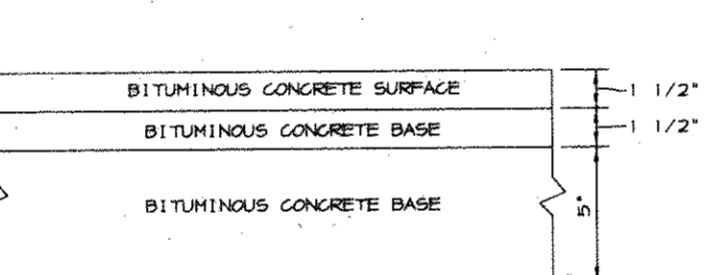
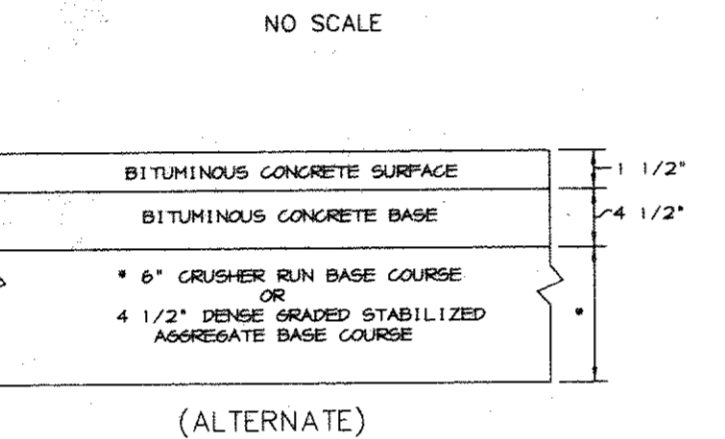
**Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseedings.



**STANDARD 7" COMBINATION CURB AND GUTTER**



**REVERSE 7" COMBINATION CURB AND GUTTER**



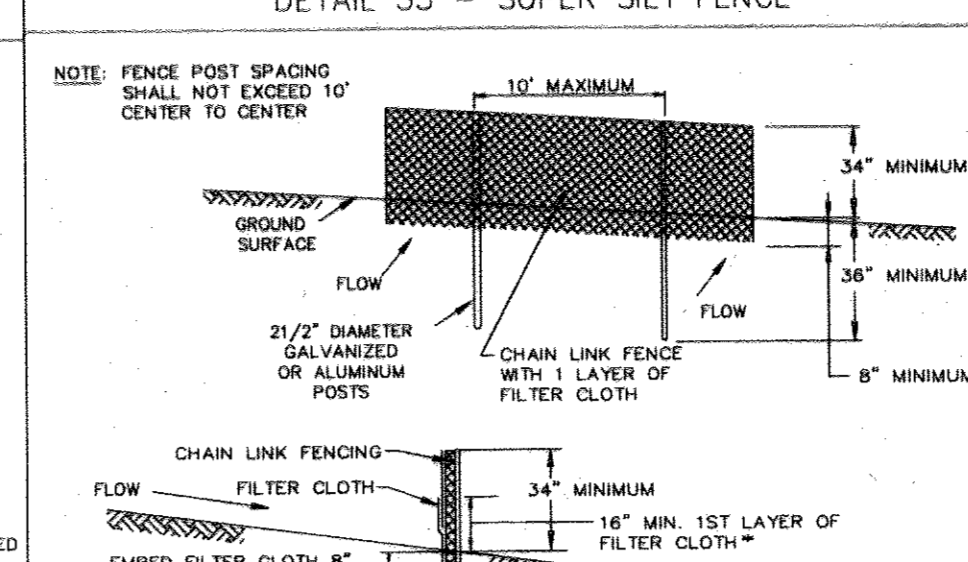
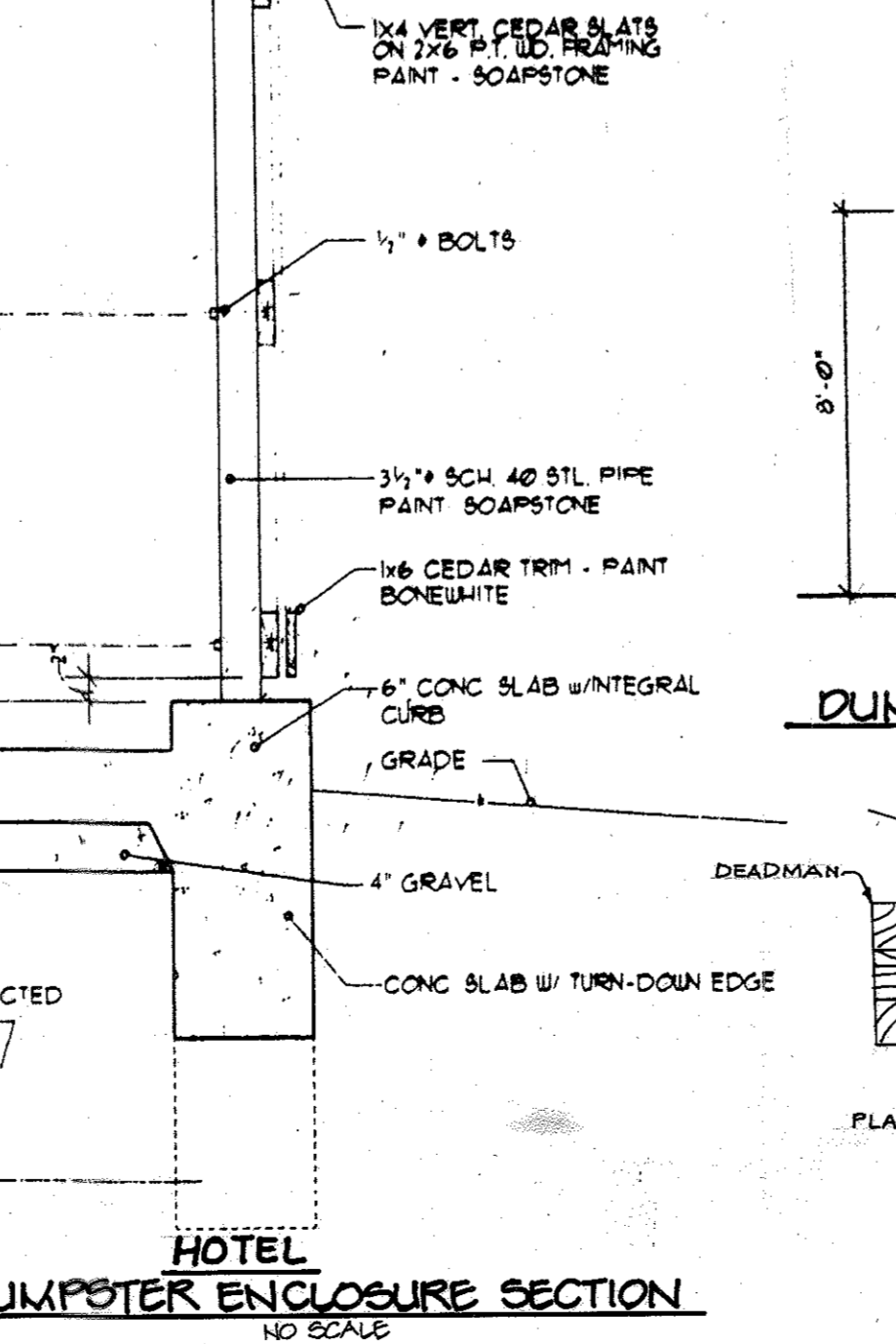
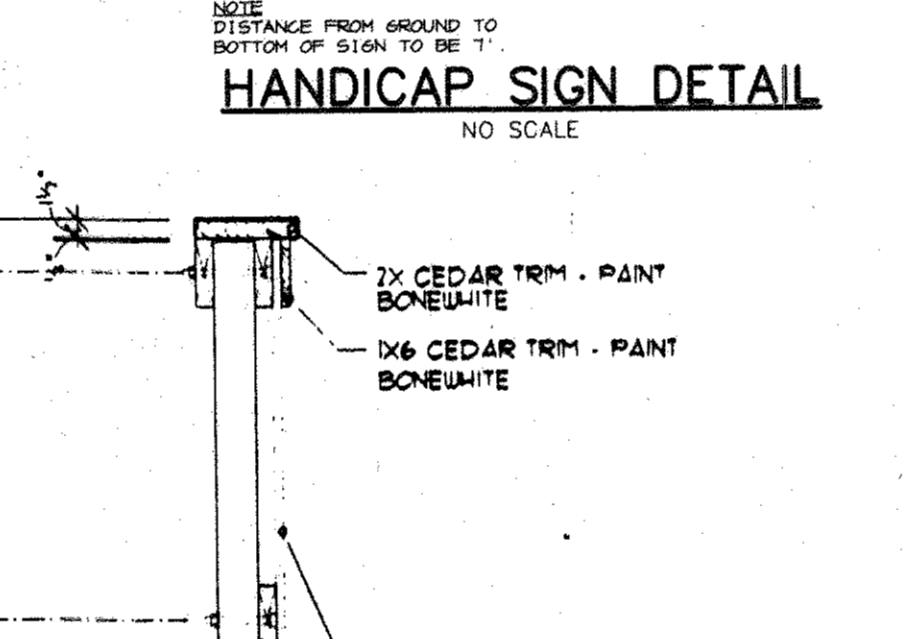
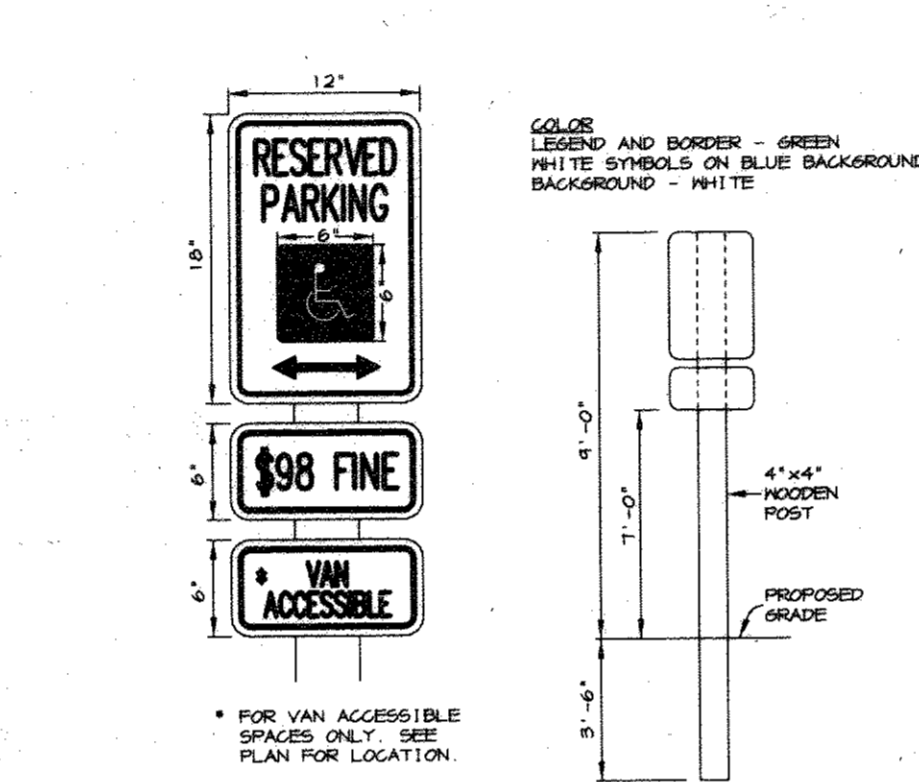
**Construction Specifications**

1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs./in. (min.)	Test: MSMT 509
Tensile Modulus	20 lbs./in. (min.)	Test: MSMT 509
Flow Rate	0.3 gal./ft. /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

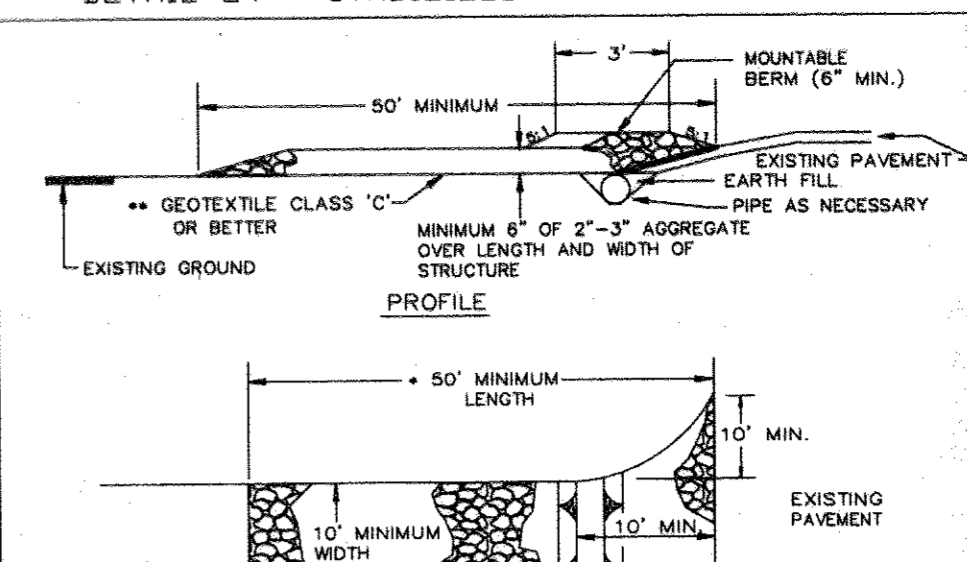
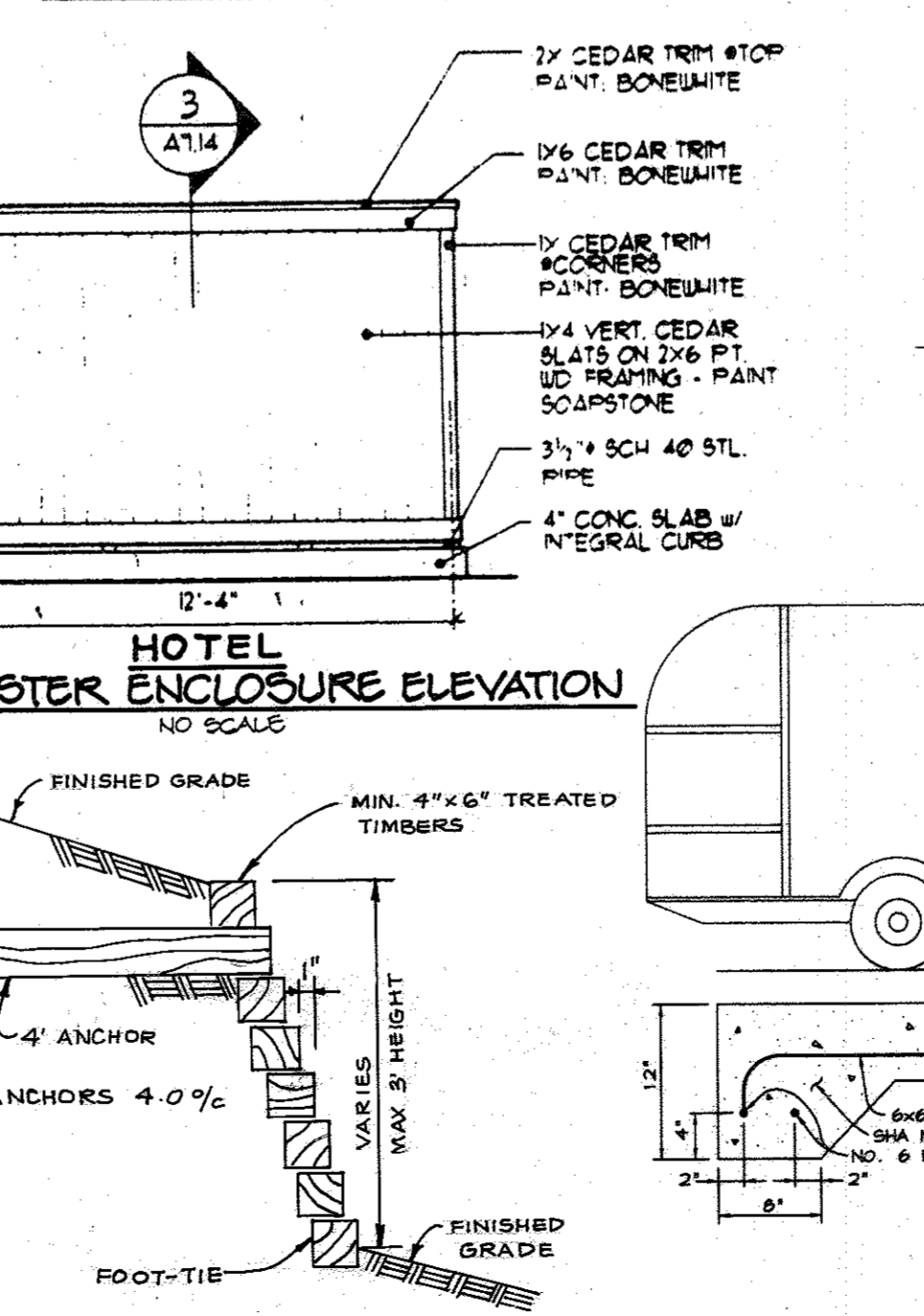
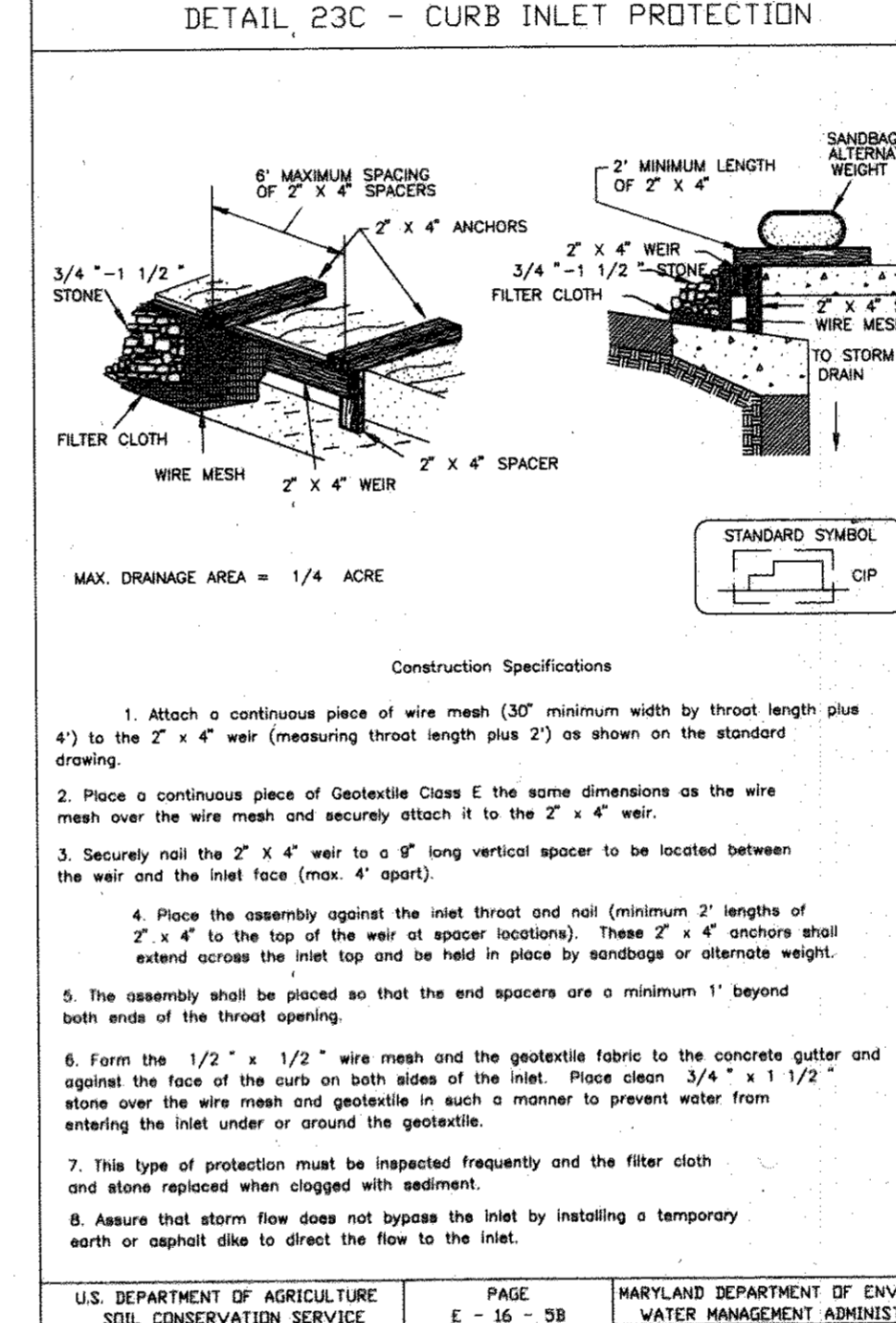
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



**Construction Specifications**

1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the weir mesh and secure attach it to the 2" x 4" weir.
3. Securely nail the 2" x 4" weir to a 6" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
4. Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir or spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
5. From the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete curb and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
6. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
7. Ensure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

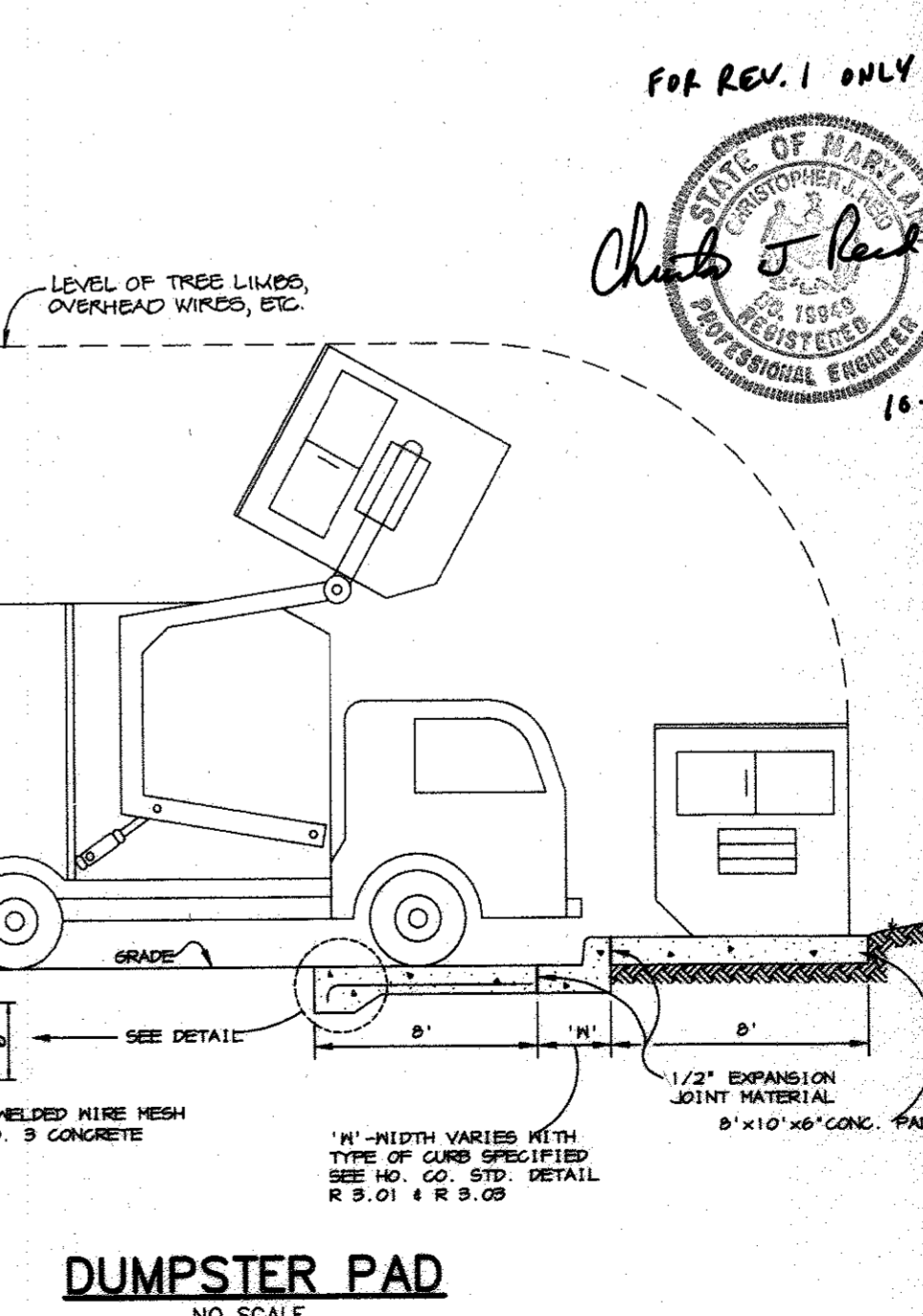
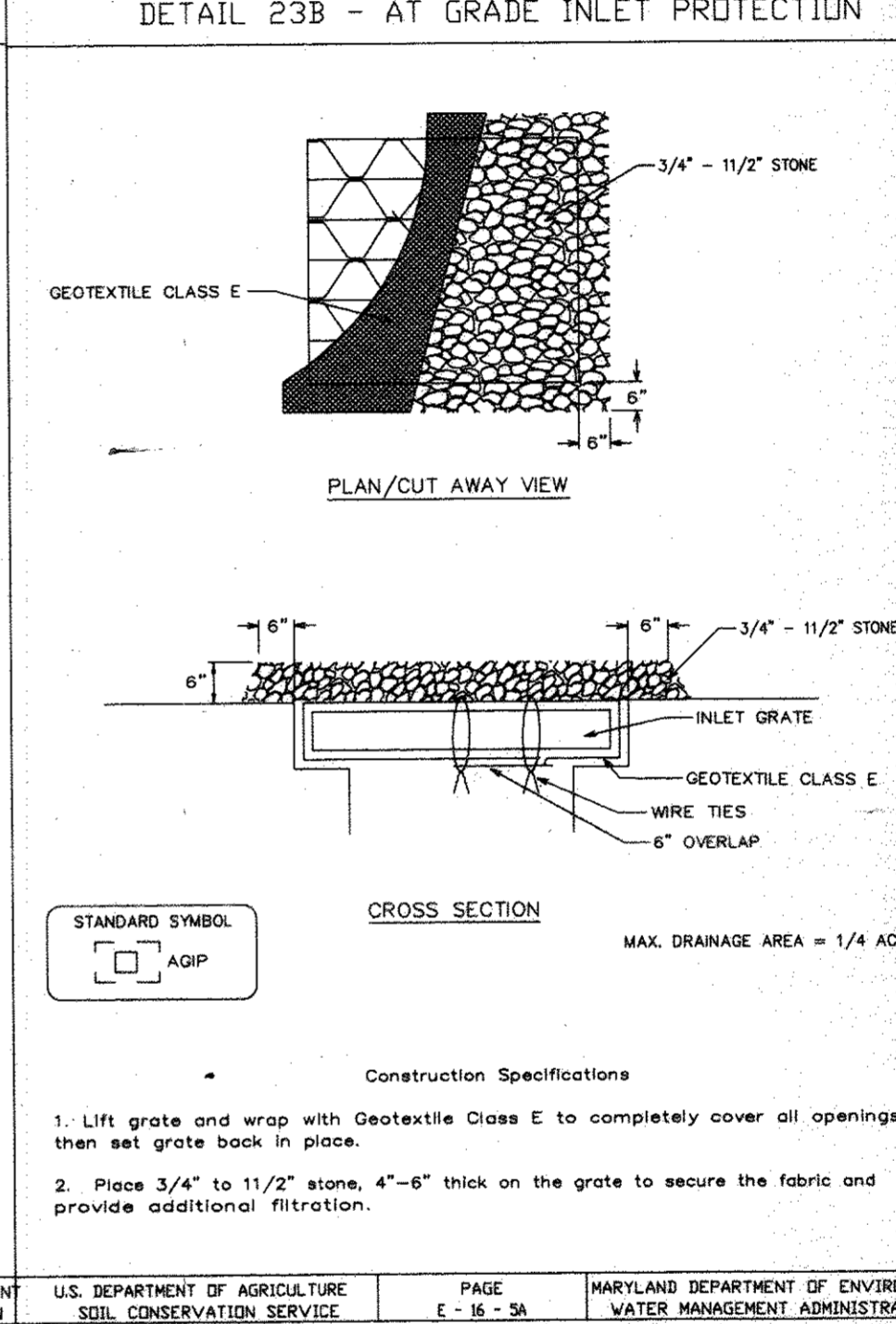
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-3B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



**Construction Specifications**

1. Length - minimum of 50' (+30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The pre approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slope and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed.
6. Location - A stabilized construction entrance shall be located at every spot where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Christina A. Richards* 9-26-96  
DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*J. Sanchez* 9-26-96  
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*J. Y. Wehler* 10/2/96  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Roberts* 10/2/96  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*James M. ...* 10-15-96  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*...* 10/15/96  
DIRECTOR DATE

*...* 10/13/96  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Richard Blood* 10/15/96  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

10-26-96 REVISED SEDIMENT CONTROL NOTES, ADDED WALL DETAIL

DATE NO. REVISION

OWNER / DEVELOPER

M.J.F. ASSOCIATES LLLP  
c/o MDG COMPANIES  
5550 STERRETT PLACE, SUITE 312  
COLUMBIA, MARYLAND 21044  
(410) 730-9091

PROJECT

COLUMBIA 100 OFFICE RESEARCH PARK  
PARCEL V-1, V-2 & V-3  
A HOTEL AND SITDOWN RESTAURANT

AREA COLUMBIA 100 OFFICE RESEARCH PARK  
SECTION 1 AREA 2 PARCEL V  
TAX MAP NO. 30 ZONED FOR  
2nd ELECTION DISTRICT HOWARD COUNTY, MD

TITLE

NOTES AND DETAILS

RIEMER MUEGGE & ASSOCIATES, INC.  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045  
410-997-8900 FAX: 410-997-9282

9-26-96  
DATE

DESIGNED BY: CJR

DRAWN BY: RFP

PROJECT NO. HOCO/96H1100  
SDPT.DMG

DATE: SEPTEMBER 26, 1996

SCALE: AS SHOWN

*J. Sanchez*  
JAYKANT D. PAREKH #19148 DRAWING NO. 7 OF 9

SDP-97-02



**LANDSCAPE SCHEDULES**

PERIMETER	ADJACENT TO ROADWAYS				ADJACENT TO PERIMETER PROPERTIES			
	A-1	A-2	A-3	A-4	B	C	D-1	D-2
LANDSCAPE TYPE	B	E	B	E	E	C	C	A
LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	± 340'	± 215'	± 320'	± 320'	± 196'	± 463'	± 100'	± 611'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL FENCE OR BERRY (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	0'	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED (SHADE TREES, EVERGREEN TREES, SHRUBS)	1/50' ± 1 1/40' ± 5 1/14' ± 54	1/50' ± 5 1/40' ± 8 1/14' ± 54	1/50' ± 7 1/40' ± 8 1/14' ± 54	1/40' ± 8 1/40' ± 5 1/14' ± 44	1/40' ± 11 1/20' ± 24 1/14' ± 5	1/40' ± 8 1/20' ± 5 1/14' ± 5	1/40' ± 8 1/20' ± 5 1/14' ± 5	1/40' ± 10 1/20' ± 5 1/14' ± 5
NUMBER OF PLANTS PROVIDED (SHADE TREES, EVERGREEN TREES, SMALL FLOWERING TREES, SHRUBS)	1 4 0	5 0 0	6 8 2	8 5 20	6 54 20	2 0 0	2 0 0	4 2 0

**SUBSTITUTION NOTES: PERIMETER LANDSCAPE EDGE, SCHEDULE A**

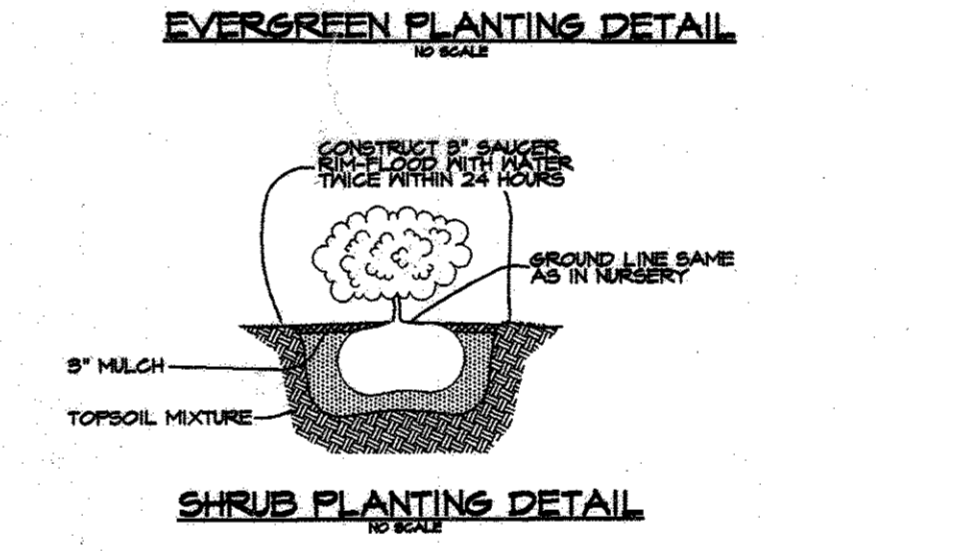
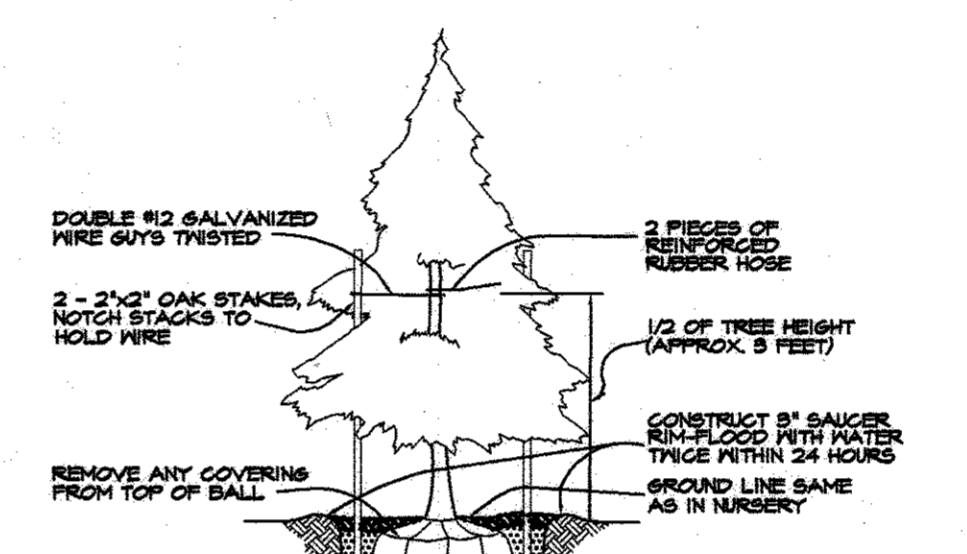
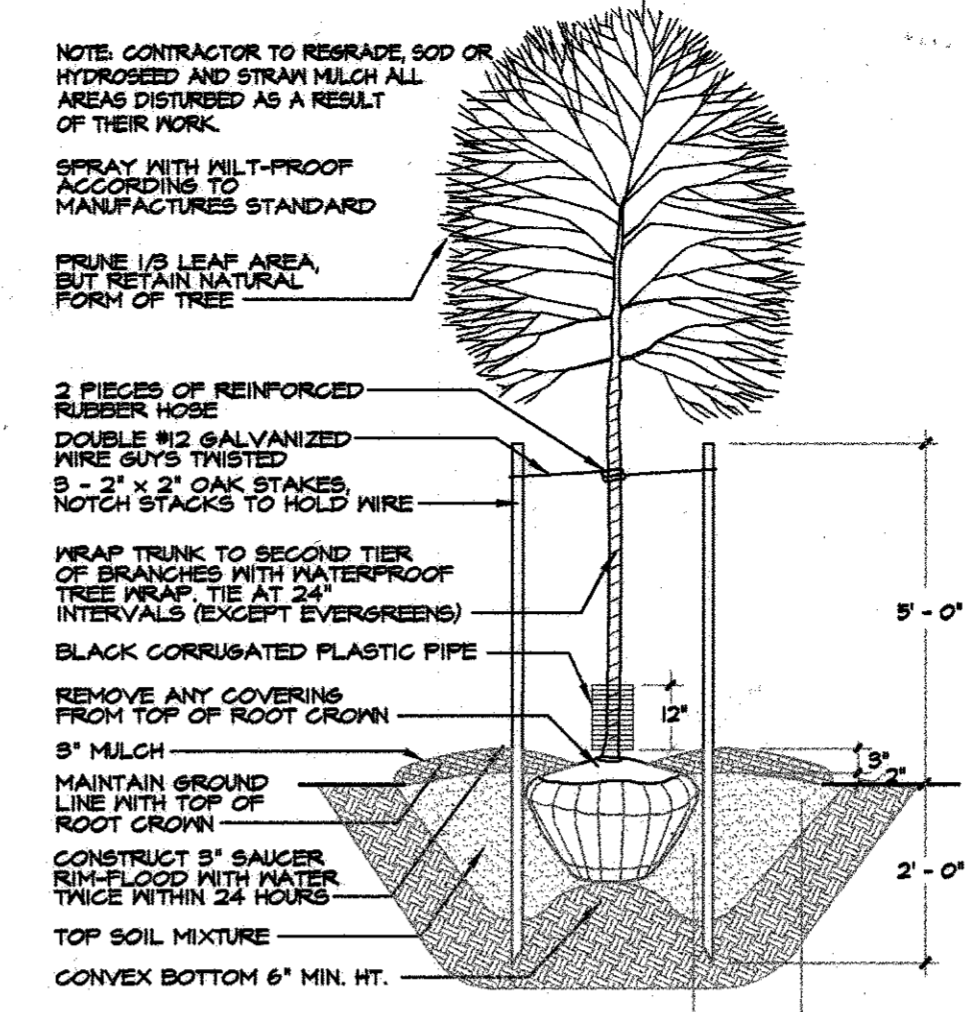
**PERIMETER A-3:**  
SUBSTITUTE (2) TWO FLOWERING TREES FOR (1) ONE SHADE TREE, SHOWN IN LARGE ISLAND LOCATED IN PARKING LOT NEAR RESIDENCE INN.

**PERIMETER A-4:**  
(1) ONE SHADE TREE IS SHOWN IN ISLAND IN FRONT OF RESTAURANT.

**PERIMETER C:**  
SUBSTITUTE (10) TEN EVERGREEN TREES FOR (5) FIVE SHADE TREES.

**PERIMETER D-1:**  
SUBSTITUTE (2) TWO FLOWERING TREES FOR (1) ONE SHADE TREE, SHOWN IN LARGE ISLAND IN PARKING LOT NEAR RESIDENCE INN DUE TO UTILITY CONFLICTS IN PERIMETER D-1.  
(2) THREE EVERGREEN TREES SHOWN IN PERIMETER C DUE TO UTILITY CONFLICTS IN PERIMETER D-1.  
(1) ONE SHADE TREE SHOWN IN PERIMETER C DUE TO UTILITY CONFLICTS IN PERIMETER D-1.

**PERIMETER D-2:**  
SUBSTITUTE (2) TWO EVERGREEN TREES FOR (1) ONE SHADE TREE, SHOWN IN PERIMETER C DUE TO CONFLICTS WITH UTILITY EASEMENTS IN PERIMETER D-2.



SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	224
NUMBER OF SHADE TREES REQUIRED @ 1 S.T./20 SPACES	11
NUMBER OF TREES PROVIDED (SHADE TREES, OTHER TREES (2) SUBSTITUTION)	10
NUMBER OF ISLANDS REQUIRED (1 ISLAND/20 SPACES)	11
NUMBER OF ISLANDS PROVIDED	11

**SUBSTITUTION NOTES:**  
SUBSTITUTE (2) EVERGREEN TREES FOR (1) SHADE TREE, SHOWN AT BACK OF RESTAURANT NEAR LOADING ZONE.

**PARKING LOT INTERNAL LANDSCAPING, SCHEDULE B**  
(NUMBER OF ISLAND EQUIVALENTS @ 200 SF) (2400 SF @ 200 SF/ISLAND EQUALS 12 ISLANDS)

**GENERAL NOTES:**

NOTES: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPING MANUAL.

\*FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPA DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 15,000.00

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

*John M. Redmond*  
COUNTY HEALTH OFFICER  
DATE: 10-15-97

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Frank J. Cagle*  
DIRECTOR  
DATE: 10/15/97

*David M. ...*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 10/2/97

*Richard Blood*  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH  
DATE: 10/15/97

9-28-00: REVISOR PER EX. PARKING CONDITIONS AS PER DAVID T. DOWS, R.L.A. # 830

10-26-99: REV. RESTAURANT & LANDSCAPE LAYOUT AS PER DAVID T. DOWS, R.L.A. # 850

OWNER / DEVELOPER  
M.J.F. ASSOCIATES LLLP  
c/o MD6 COMPANIES  
5550 STERRETT PLACE, SUITE 312  
COLUMBIA, MARYLAND 21044  
(410) 730-9091

PROJECT  
COLUMBIA 100 OFFICE RESEARCH PARK  
PARCEL V-1, V-2 & V-3  
A HOTEL AND SITDOWN RESTAURANT  
AREA COLUMBIA 100 OFFICE RESEARCH PARK  
SECTION 1 AREA 2 PARCEL V-1, V-2 & V-3  
TAX MAP NO. 30 ZONED FOR  
2nd ELECTION DISTRICT HOWARD COUNTY, MD

TITLE  
**LANDSCAPE PLAN**

**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive • Suite 200 • Columbia, MD 21046  
410-997-8900 FAX: 410-997-9282

9-3-96

DESIGNED BY: LOH

DRAWN BY: CAK

PROJECT NO: HOCO/96H1100  
LSCP-1

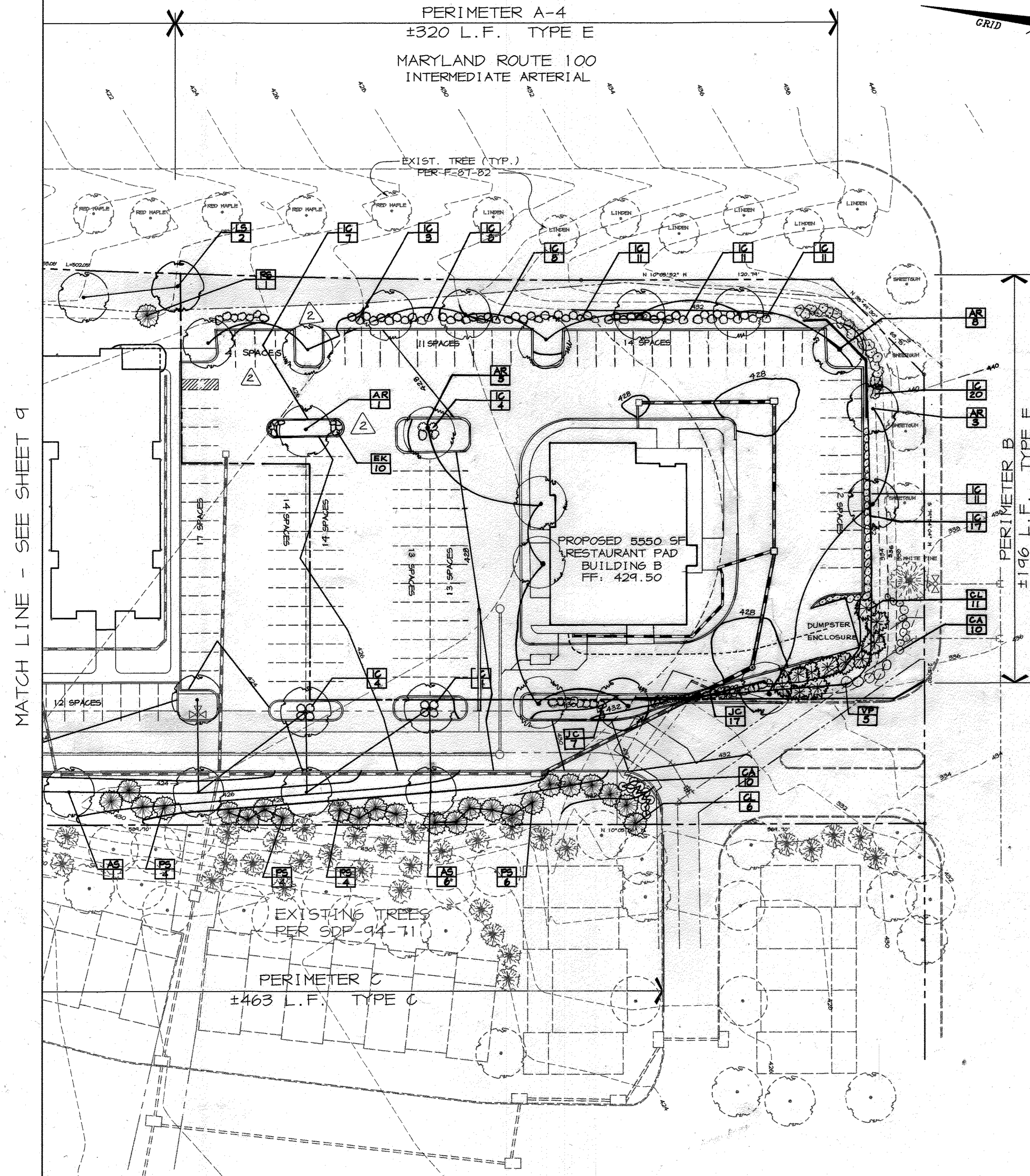
DATE: SEPTEMBER 26, 1996

SCALE: 1" = 30'

DRAWING NO. 0 OF 9

1098

LYNDON O. HART #1098



**PLANT MATERIAL LIST FOR BOTH SHEETS**

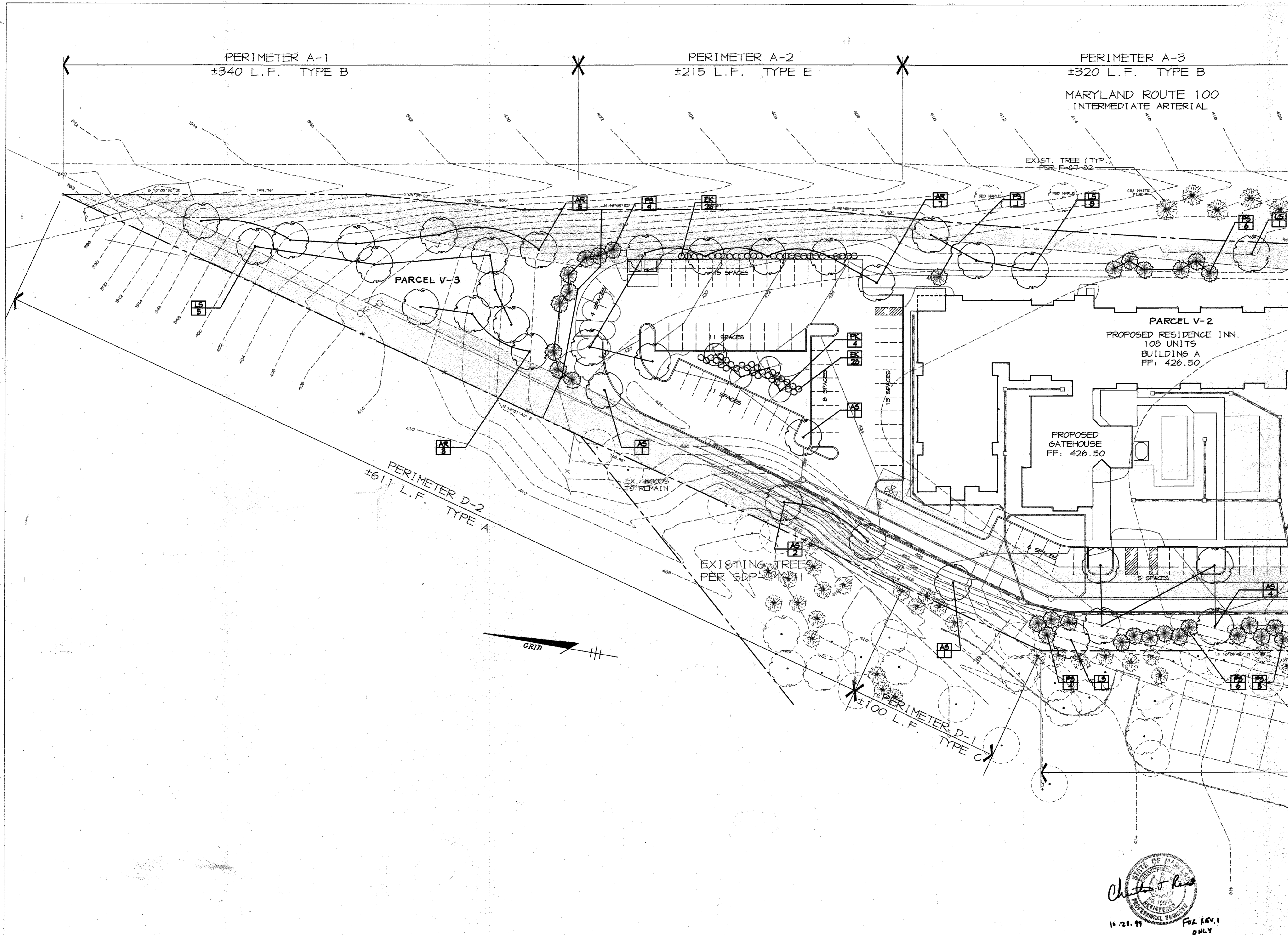
KEY	QTY	BOTANICAL & COMMON NAME	SIZE	ROOT	REMARKS
<b>TREES</b>					
AR	27	Acer rubrum 'Red Sunset' Red Sunset Red Maple	2 1/2"-5" Cal.	B & B	Full Crown Central Leader
AS	12	Acer saccharum 'Green Mountain' Green Mountain Sugar Maple	2 1/2"-5" Cal.	B & B	Full Crown
CL	10	Xytoprocyonopsis 'Leylandii' Leyland Cypress	6'-8" Ht.	B & B	Full Form
LS	12	Liquidambar styraciflua Sweetgum	1 1/2"-2" Cal.	B & B	Full Form Central Leader
PS	50	Prunus strabus White Pine	6'-8" Ht.	B & B	Full Form Central Leader
PK	4	Prunus serotina 'Kwanzan' Kwanzan Cherry	1 1/2"-2" Cal.	B & B	Full Crown
<b>SHRUBS</b>					
CA	20	Cornus alba 'Argente-marginata' Variegated Redtwig Dogwood	2 1/2"-5" HT.	B & B	Full Form 4" O.C.
EK	64	Euonymus alatus 'Solebdana' Solebdana	2 1/2"-5" HT.	B & B	4" O.C.
IC	119	Ilex crenata 'Green Lustre' Green Lustre Japanese Holly	2 1/2"-3" HT.	#B CONT.	4" O.C.
JC	24	Juniperus chinensis 'Sargentii' Sargent's Juniper	18"-24" SP.	#B CONT.	5" O.C.
VP	5	Viburnum plicatum tom. 'Mariesii' Maries Doublefile Viburnum	5"-8 1/2" HT.	B & B	Full Form 4" O.C.

11.2.99

DAVID T. DOWS, R.L.A. #850

THIS PLAN IS FOR PLANTING PURPOSES ONLY





MATCH LINE - SEE SHEET 8

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.	
<i>[Signature]</i> COUNTY HEALTH OFFICER	10/15/96 DATE
APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>[Signature]</i> DIRECTOR	10/15/96 DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/3/96 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH	10/15/96 DATE
10-26-99	ADDED PARCEL LINES
DATE NO.	REVISION
OWNER / DEVELOPER M. J. F. ASSOCIATES L.L.P. c/o MD6 COMPANIES 5550 STERRETT PLACE, SUITE 312 COLUMBIA, MARYLAND 21044 (410) 730-9091	
PROJECT COLUMBIA 100 OFFICE RESEARCH PARK PARCEL V-1, V-2 & V-3 A HOTEL AND SITDOWN RESTAURANT	
AREA COLUMBIA 100 OFFICE RESEARCH PARK SECTION 1 AREA 2 PARCEL V TAX MAP NO. 30 ZONED FOR 2nd ELECTION DISTRICT HOWARD COUNTY, MD	
TITLE LANDSCAPE PLAN	
RIEMER MUEGGE & ASSOCIATES, INC. ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045 410-997-8900 FAX : 410-997-9282	
9-3-96	DESIGNED BY : LOH
<i>[Signature]</i>	DRAWN BY : CAK
PROJECT NO : HOCO/96H100 LSCP-2.DWG	DATE : SEPTEMBER 26, 1996
SCALE : 1" = 30'	DRAWING NO. 9 OF 9

*[Signature]*  
11-28-91 FOR REV. 1 ONLY