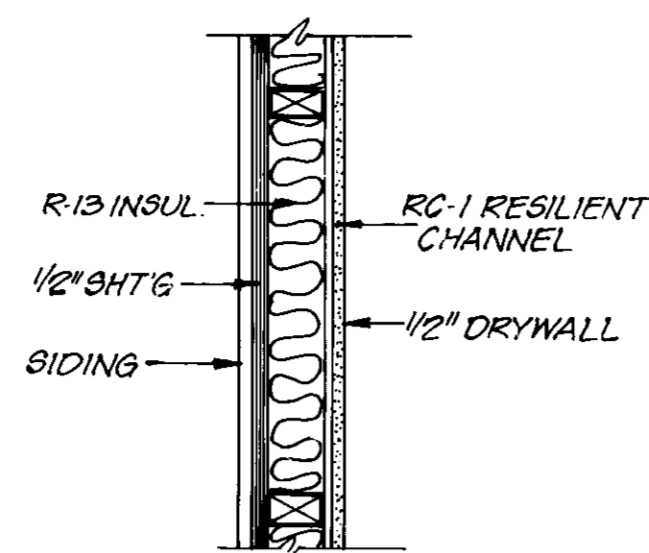
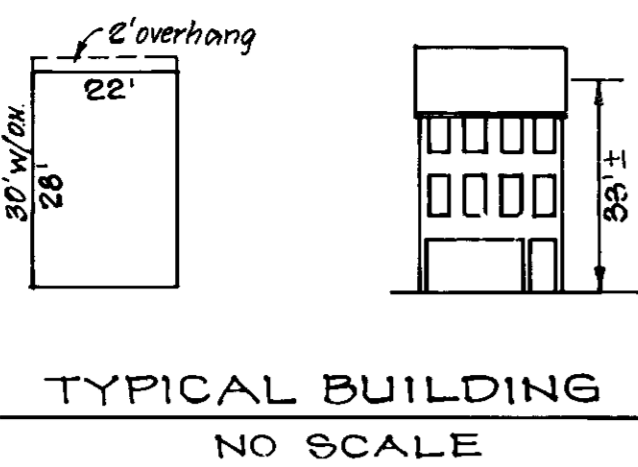
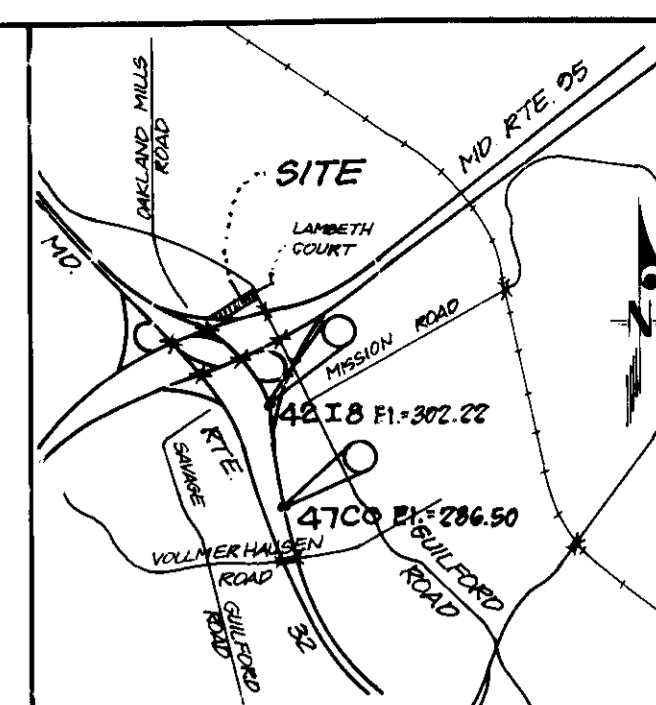


UNIT NO.	STREET ADDRESS
1	3650 Guilford Road
2	3652 Guilford Road
3	3654 Guilford Road
4	3656 Guilford Road
5	3658 Guilford Road
6	3660 Guilford Road
7	3662 Guilford Road
8	3664 Guilford Road
9	3666 Guilford Road
10	3668 Guilford Road
11	3670 Guilford Road



- NOTES**
1. Windows exposed to noise source to be triple glazed.
  2. Doors exposed to noise source to be steel insulated doors with a storm door providing an approximate stc 40 rating.



**SITE ANALYSIS**

1. ZONING	RSA-B
2. GROSS/NET AREA	1.47 AC OR 64,044 SF
3. DENSITY	11 UNITS (8 DU/AC)
4. PROPOSED USE	SINGLE FAMILY ATTACHED (TOWNHOUSE CONDOMINIUM)
5. UNIT SIZE	22' x 30'
6. FLOOR SPACE	1900 +/- SF (3 FLOORS)
7. PARKING SPACES REQUIRED	22 (2 SF/UNIT)
8. PARKING SPACES PROVIDED	22 (2 CAR GARAGE/UNIT)
9. BUILDING COVERAGE	0.19 AC
10. RECREATION OPEN SPACE REQ'D	2750 SF
11. RECREATION OPEN SPACE PROVIDED	2750 SF
12. OPEN SPACE REQUIRED	0.36 AC OR 25%
13. OPEN SPACE PROVIDED	1.1 AC OR 77%

**GENERAL NOTES**

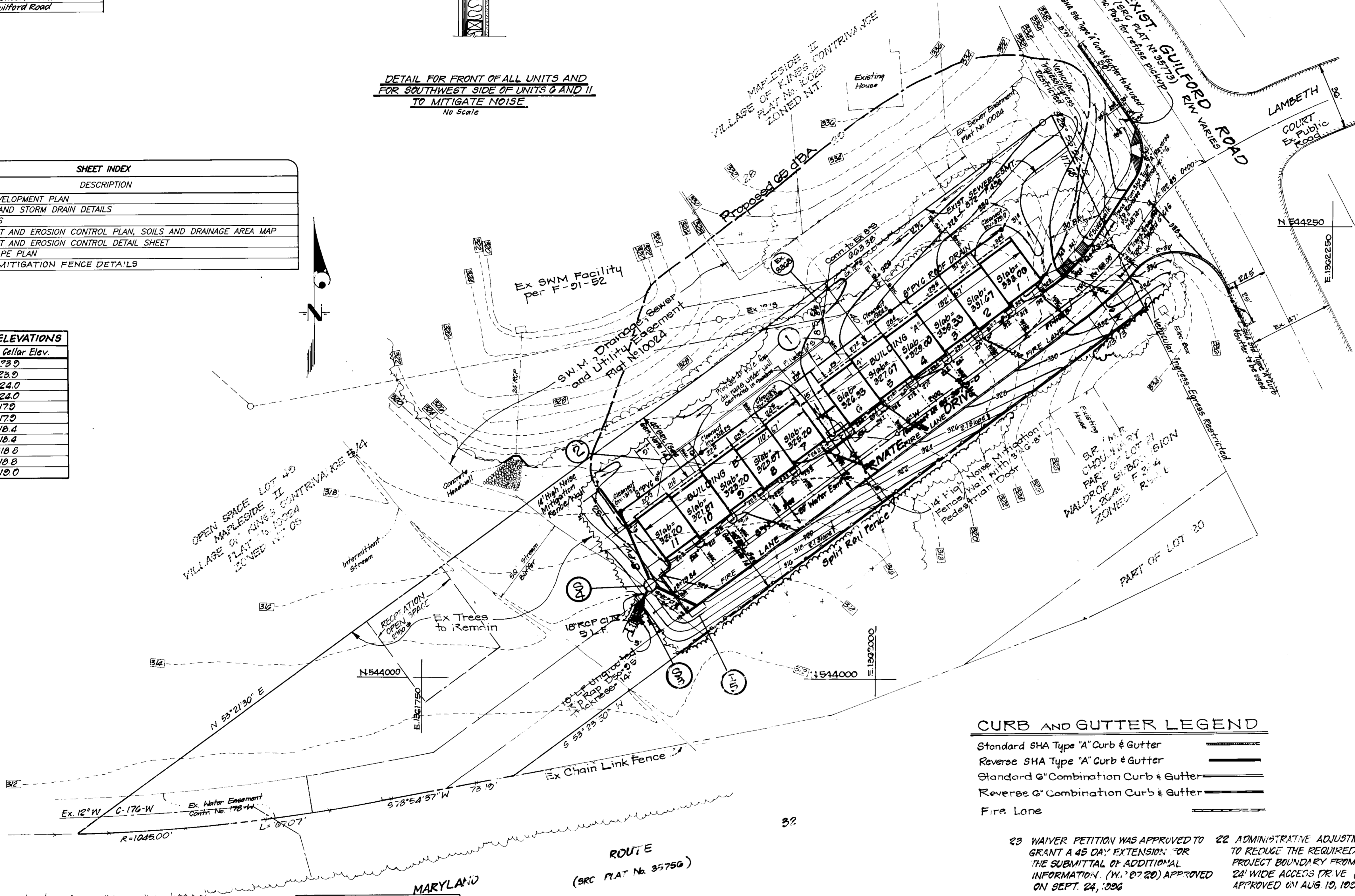
1. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH HOWARD COUNTY ROAD CONSTRUCTION CODE & SPECIFICATIONS. ANY DAMAGE TO COUNTY-OWNED RIGHT-OF-WAYS TO BE COVERED AT DEVELOPER'S EXPENSE.
5. INSTALLATION OF TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL". (ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT)
6. TOPOGRAPHY WAS FIELD-RUN BY CLARK, FINEFROCK & SACKETT, INC. ON 3/96.
7. AREA SHOWN IS LOCATED ON TAX MAP 42, GRID 17 PARCEL 144.
8. ALL DRIVEWAYS AND PRIVATE DRIVES TO BE PRIVATELY OWNED AND MAINTAINED.
9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF CONSTRUCTION.
10. WETLAND INVESTIGATION AND STUDY WAS PREPARED BY WILDMAN ENVIRONMENTAL SERVICES ON 2-20-96.
11. NOISE ASSESSMENT REPORT WAS PREPARED BY WILDMAN ENVIRONMENTAL SERVICES ON 2-20-96.
12. PROVIDE PRIVATE DRIVEWAY ENTRANCES IN ACCORDANCE WITH HO. CO. STD. R-6.08.
13. ADMINISTRATIVE ADJUSTMENT WAS APPROVED TO REDUCE THE REQUIRED SETBACK FROM ANOTHER DISTRICT FROM 50' TO 40' ON APRIL 25, 1996. (A.A. CASE # 96-05)
14. PUBLIC WATER AND SEWER TO BE UTILIZED. CONTRACT NO. 24-3570-0 COORDINATES ARE BASED ON NAD 83' MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STA. NOS. 4218 AND 4700 (SEE 2,000 SCALE VICINITY MAP FOR LOCATIONS).
15. STORMWATER QUALITY MANAGEMENT IS PROVIDED BY A 1200 GALLON STORMCEPTER.
16. A PAYMENT OF FEE-IN-LIEU OF PROVIDING STORMWATER MANAGEMENT WAS APPROVED ON OCTOBER 10, 1996.
17. THE GARAGES SHALL BE USED FOR PARKING "CARS ONLY" IN ACCORDANCE WITH SEC. 183D.2 OF THE ZONING REGULATIONS. A MINIMUM OF TWO ON-SITE PARKING SPACES ARE REQUIRED FOR EACH DWELLING UNIT.
18. \* THE ADMINISTRATIVE ADJUSTMENT SHALL APPLY SOLELY TO THE PROPOSED SINGLE FAMILY ATTACHED DWELLINGS DEPICTED ON THE A.A. PLAN SUBMITTED BY THE PETITIONER & NOT TO ANY OTHER STRUCTURE, ADDITION, BUILDING OR USE.
19. PROVIDE HANDICAP RAMP SHOWN IN ACCORDANCE WITH S-1A DETAIL MD 655.14.

**SHEET INDEX**

No.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	PAVING AND STORM DRAIN DETAILS
3	PROFILES
4	SEDIMENT AND EROSION CONTROL PLAN, SOILS AND DRAINAGE AREA MAP
5	SEDIMENT AND EROSION CONTROL DETAIL SHEET
6	LANDSCAPE PLAN
7	NOISE MITIGATION FENCE DETAILS

**MIN. CELLAR ELEVATIONS**

Lot No.	Min. Cellar Elev.
1	323.0
2	323.0
3	324.0
4	324.0
5	317.0
6	317.0
7	318.4
8	318.4
9	318.8
10	318.8
11	319.0



**CURB AND GUTTER LEGEND**

- Standard SHA Type "A" Curb & Gutter
- Reverse SHA Type "A" Curb & Gutter
- Standard G" Combination Curb & Gutter
- Reverse G" Combination Curb & Gutter
- Fire Lane

23 WAIVER PETITION WAS APPROVED TO GRANT A 45 DAY EXTENSION FOR THE SUBMITTAL OF ADDITIONAL INFORMATION (M. 10720) APPROVED ON SEPT. 24, 1996

22 ADMINISTRATIVE ADJUSTMENT WAS APPROVED TO REDUCE THE REQUIRED SETBACK FROM A PROJECT BOUNDARY FROM 20' TO 16' FOR THE 24' WIDE ACCESS DRIVE (A.A.#06-22) APPROVED ON AUG 10, 1996

SECTION NAME	SECTION AREA	PARCEL NO.
COLEMAN SITE	N/A	144

BLK	LOT	ZONE	TAX/ZONE MAP	ELECT. DIST.	CENSUS TR.
21B	010	R-6A-B	42	G#	6067.03

WATER CODE	SEWER CODE
E-14	4400900

Reviewed for HOWARD S.C.D. and meet Technical Requirements  
*Signature* 01-22-97  
 U.S. Natural Resources Conservation Service

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

*Signature* 1/21/97  
 Approved

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Signature* 1/21/97  
 G. NELSON CLARK



**APPROVED, DEPARTMENT OF PLANNING & ZONING**

*Signature* 1/20/97  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Signature* 1/30/97  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*Signature* 1/31/97  
 DIRECTOR

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

DESIGNED	SITE DEVELOPMENT PLAN	SCALE
MUP/ZVL	BUILDINGS A AND B	1"=30'

**COLEMAN SITE**

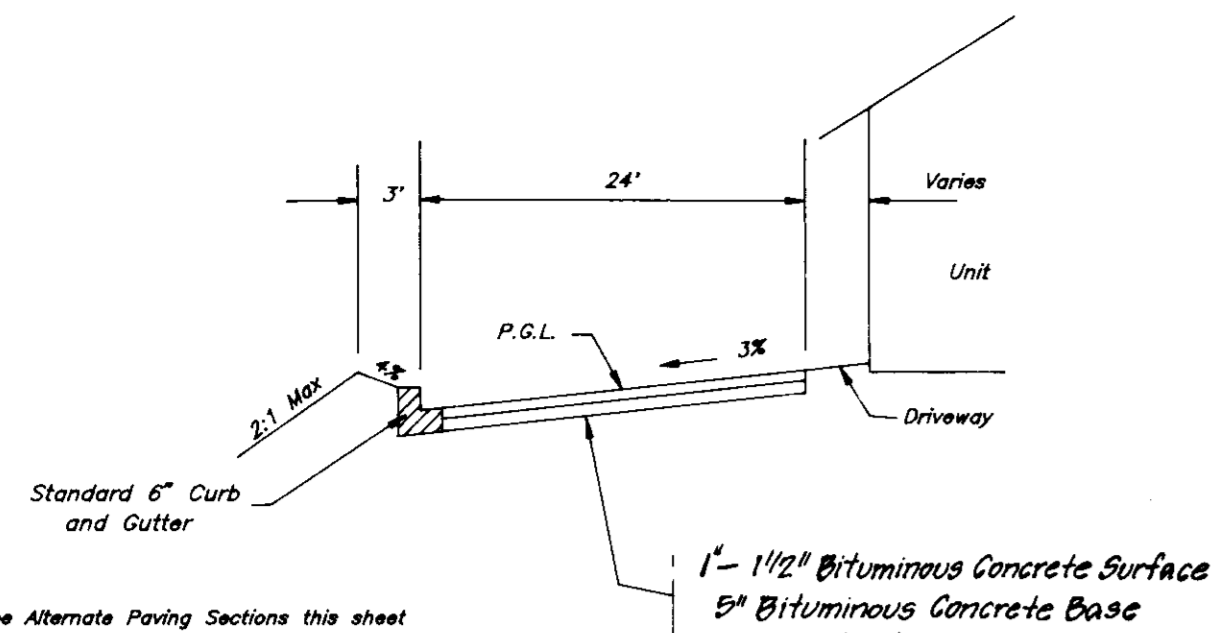
TAX MAP 42 GRID 17 PARCEL 144  
 SIXTH (6th) ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

DRAWN	PS/DM	DRAWING
1 of 7		

CHECKED	JAS	JOB NO.
96-017		

DATE	8-6-96	FILE NO.
06-017 X		

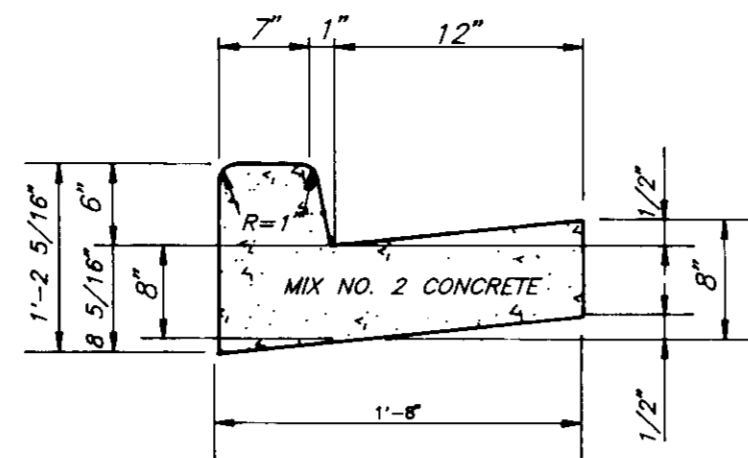
OWNER: ELLICOTT CITY LAND HOLDING, INC.  
 10805 HICKORY RIDGE ROAD - SUITE 215  
 COLUMBIA, MARYLAND 21044  
 PHONE: (410) 740-5176



NOTE: See Alternate Paving Sections this sheet

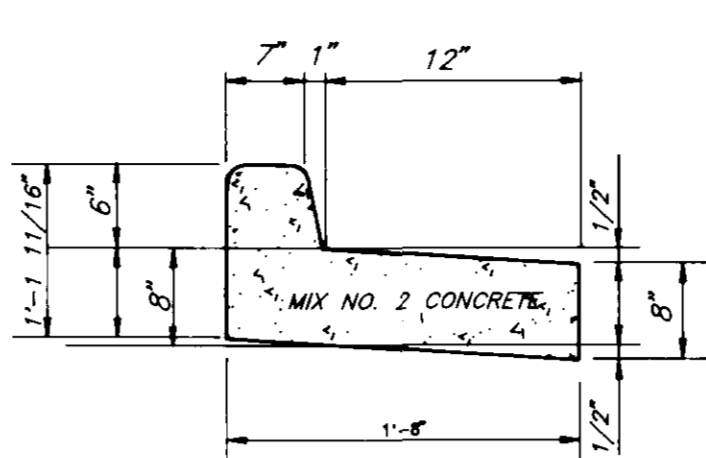
**TYPICAL PAVING SECTION FOR PRIVATE DRIVE**

NO SCALE  
Sta. 1+15 to Sta. 3+70.84



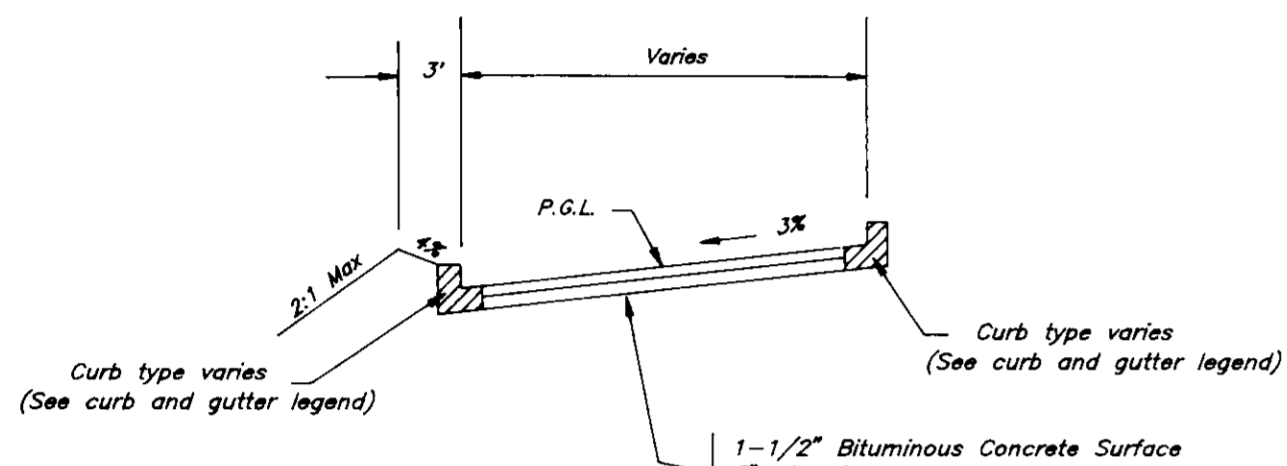
**STANDARD 6" COMBINATION CURB AND GUTTER**

NO SCALE



**REVERSE 6" COMBINATION CURB AND GUTTER**

NO SCALE



NOTE: See Alternate Paving Sections this sheet

**TYPICAL PAVING SECTION FOR PRIVATE DRIVE**

NO SCALE  
Sta. 0+00 to Sta. 1+15

**Stormceptor® Order Request Form**

**Contractor Information**  
Name \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_  
State \_\_\_\_\_  
Zip Code \_\_\_\_\_  
Contact \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_

**Owner Information**  
Name Ellicott City Land Holding, Inc.  
Phone 410-740-5176  
Fax 410-740-0114

**Stormceptor® Model**  
900  3600   
1200  4800   
1800  6000   
2400  7200   
 Fiberglass  Coconcrete

**Insert Size**  
22"   
32"   
44"   
Custom \_\_\_\_\_

**Manhole Number**  
Top Elevation (ft) 32.0  
Inlet Pipe Invert (ft) 31.5  
Outlet Pipe Invert (ft) 31.5  
Pipe Type: Conc.  PVC  CMP   
Pipe Inside Diameter (in) (IID) 36  
Pipe Outside Diameter (in) (OD) 42

**Project Name** Coleman Site  
**Approximate time frame until required delivery (weeks)** 10 weeks  
**Delivery Address: Street** 9650 Guilford Road  
**City** Columbia **State** MD **Zip Code** \_\_\_\_\_  
**Designer Company** Clark, Finebrock & Sackett, Inc.  
**Designer Contact** Jack Leonard **Phone** 410-301-7500 **Fax** 410-301-7533

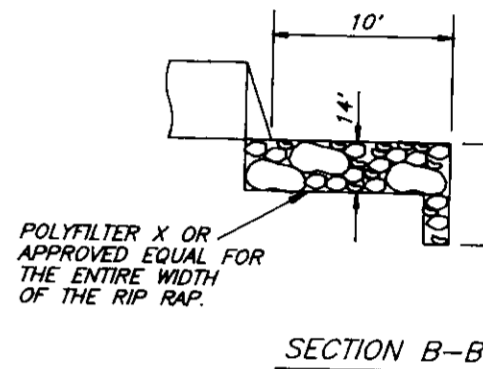
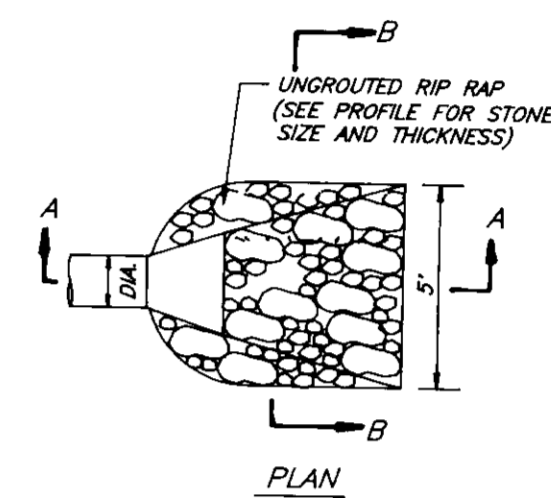
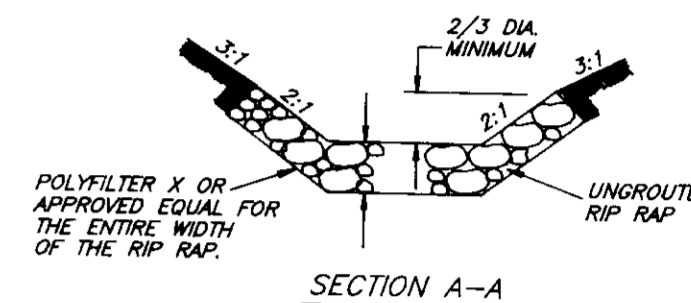
Please fax this sheet back to Hydro Conduit/Virginia Precast at (804) 793-3426  
Attn: Scott Crumpler / Bryant Lowery (Phone: 1-800-999-2378)  
For credit information/application contact Carole Broadus at (804) 798-6068  
For Technical Assistance Please Call Stormceptor Corporation at (301) 763-8361 or toll free at 1 (800) 762-4703

\* TO BE INCLUDED ON SWM PLAN BY DESIGNER

1-1/2" Bituminous Concrete Base	1-1/2"
2-1/2" Bituminous Concrete Base	2-1/2"
Prime	6" OR 8"
8" Crusher Run Base Course or 6" Dense Graded Stabilized Aggregate Base Course	

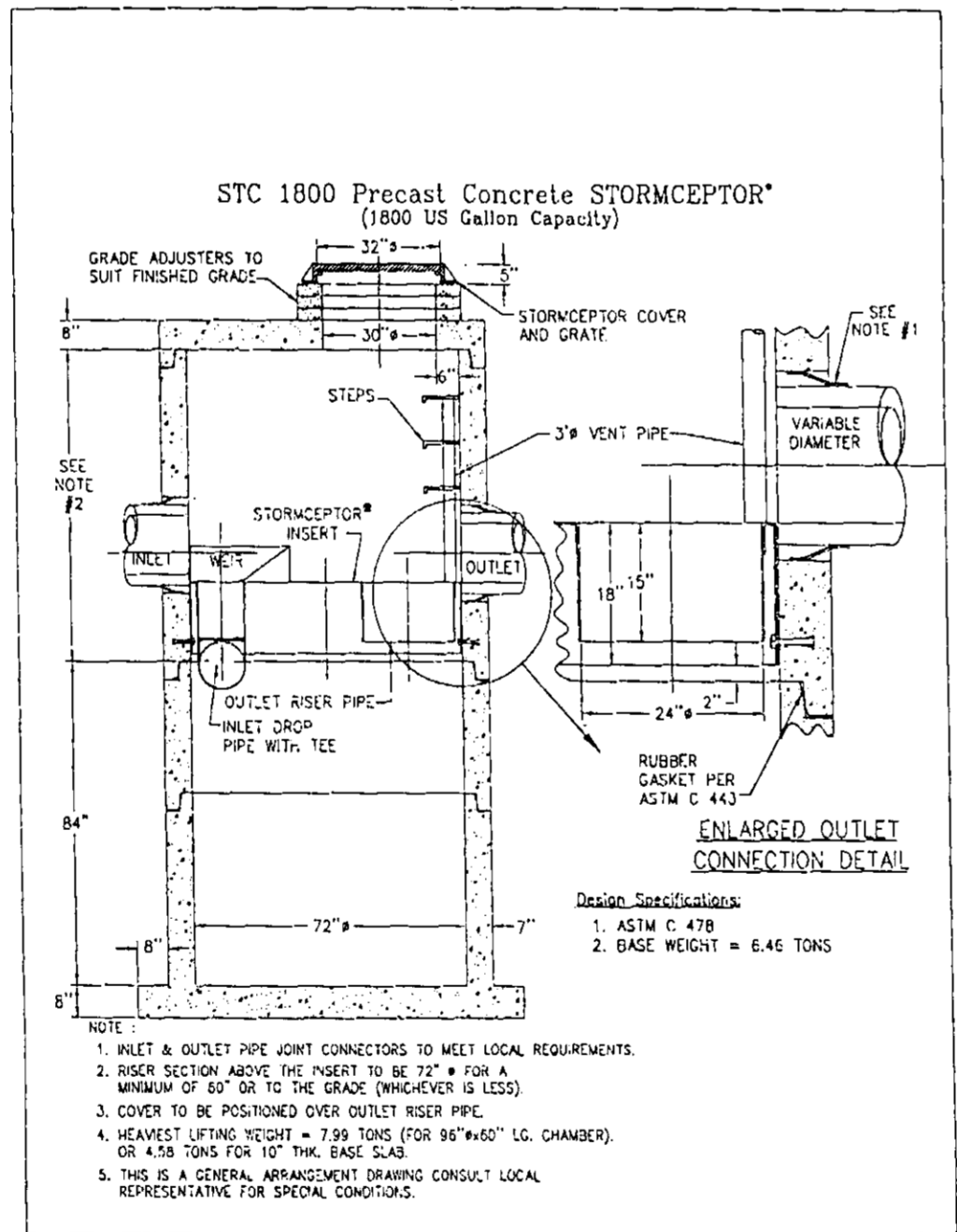
**ALTERNATE PAVING SECTION FOR PRIVATE DRIVE**

NO SCALE  
(SECTION P-2)



**UNGRouted RIP RAP DETAIL FOR S-3**

NO SCALE



**STORMCEPTOR DETAIL FOR STR. 9-4**

**STORMCEPTOR MAINTENANCE NOTES**

1. WATER QUALITY STRUCTURES WILL REQUIRE PERIODIC CLEANING. OWNERS OF THESE FACILITIES WILL HAVE TO CLEAN THEM AS NEEDED, AT LEAST ANNUALLY.
2. MAINTENANCE OF THESE FACILITIES WILL CONSIST OF CLEANING OUT THE STORMCEPTOR AND DISPOSAL OF THE WASTE AND REPAIR OF THE FACILITY AS NEEDED. PERIODIC INSPECTIONS OF THESE FACILITIES WILL BE MADE BY THE OWNER EVERY MONTH OR AFTER MAJOR STORM EVENTS.
3. THE DISPOSAL OF THE LIQUID AND SOLID MATTER SHALL BE AS FOLLOWS:
  - A. ALL LIQUID MATERIAL IN THE STORMCEPTOR SHALL BE PIPED INTO A SUITABLE TANK AND DISPOSED OF AT AN APPROVED SANITARY DISTRICT DISCHARGE MANHOLE OR BE TAKEN TO AN APPROVED SEWAGE TREATMENT PLANT FOR DISCHARGE.
  - B. THE SOLID MATERIAL SHALL BE LANDFILLED IN AN APPROVED SANITARY LANDFILL.
4. THE INLET PIPES AND STRUCTURAL PARTS SHALL BE REPAIRED AS NEEDED.
5. STORMCEPTOR INLET AND OUTLET ASSEMBLY SHALL BE PERIODICALLY INSPECTED. BLOCKAGES SHALL BE REMOVED AND DISPOSED OF AS REQUIRED IN 3B ABOVE.

**STORMCEPTOR NOTES**

1. FOR TECHNICAL ASSISTANCE PLEASE CALL STORMCEPTOR CORPORATION @ 1-800-762-4705.

Reviewed for HOWARD S.C.D.  
and meet Technical Requirements  
[Signature] Date 1/22/97  
U.S. Natural Resources Conservation Service

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
[Signature] Date 1/22/97  
Approved

[Signature] DATE \_\_\_\_\_

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
[Signature] Date 1/22/97  
Chief Development Engineering Division  
[Signature] Date 1/30/97  
Chief Division of Land Development and Research  
[Signature] Date 1/31/97  
Director



**ENGINEER'S CERTIFICATE**  
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
[Signature] Date 1/26/96  
G. NELSON CLARK

**CLARK • FINEBROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

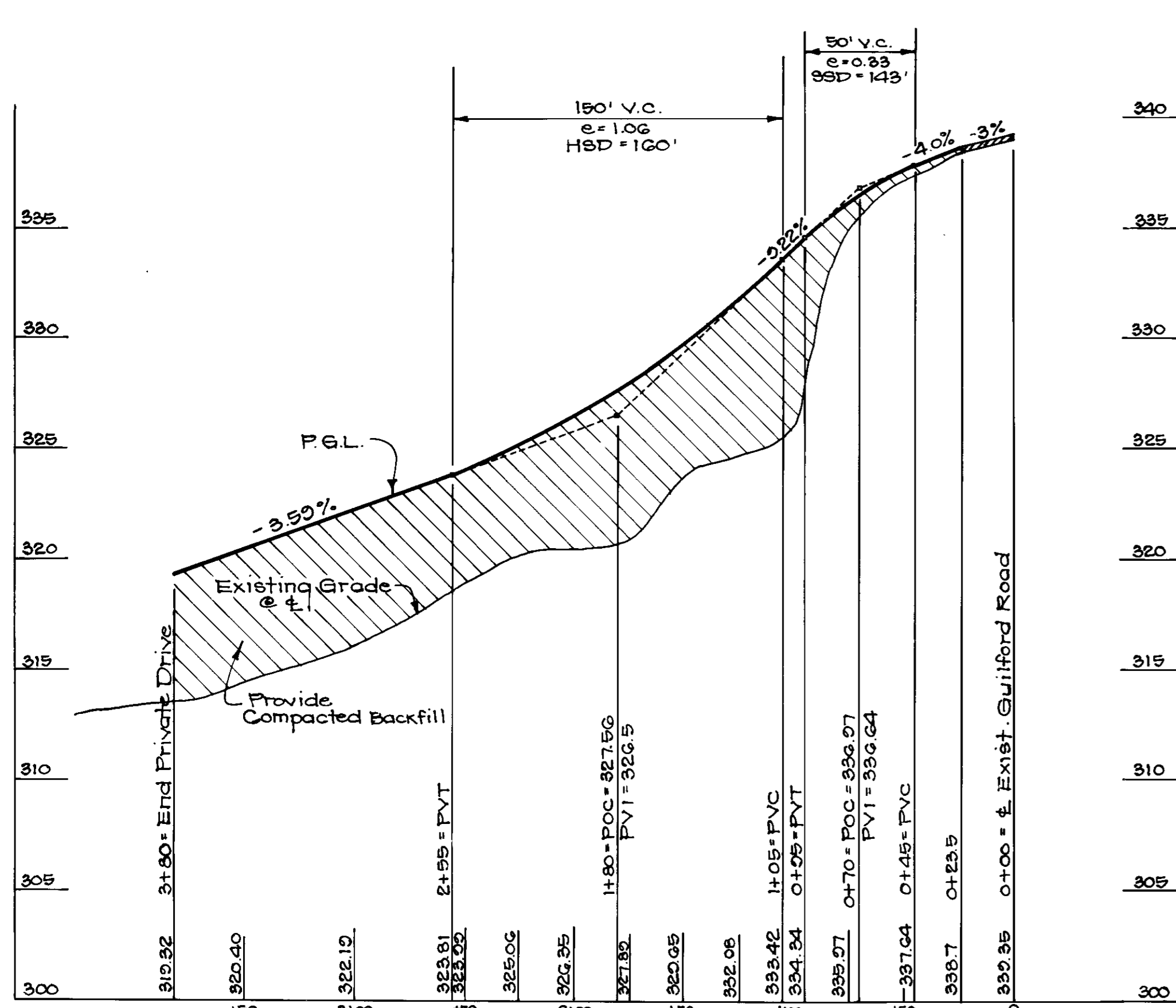
DESIGNED: ZAL  
DRAWN: PS/DM  
CHECKED: [Signature]  
DATE: 8-6-96

**STORM DRAIN AND PAVING DETAILS**  
BUILDINGS A AND B  
**COLEMAN SITE**  
TAX MAP 42 GRID 17 PARCEL 144  
SIXTH (6th) ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

OWNER: ELICOTT CITY LAND HOLDING, INC.  
10805 HOGORY RIDGE ROAD - SUITE 215  
COLUMBIA, MARYLAND 21044  
PHONE: (410) 740-5176

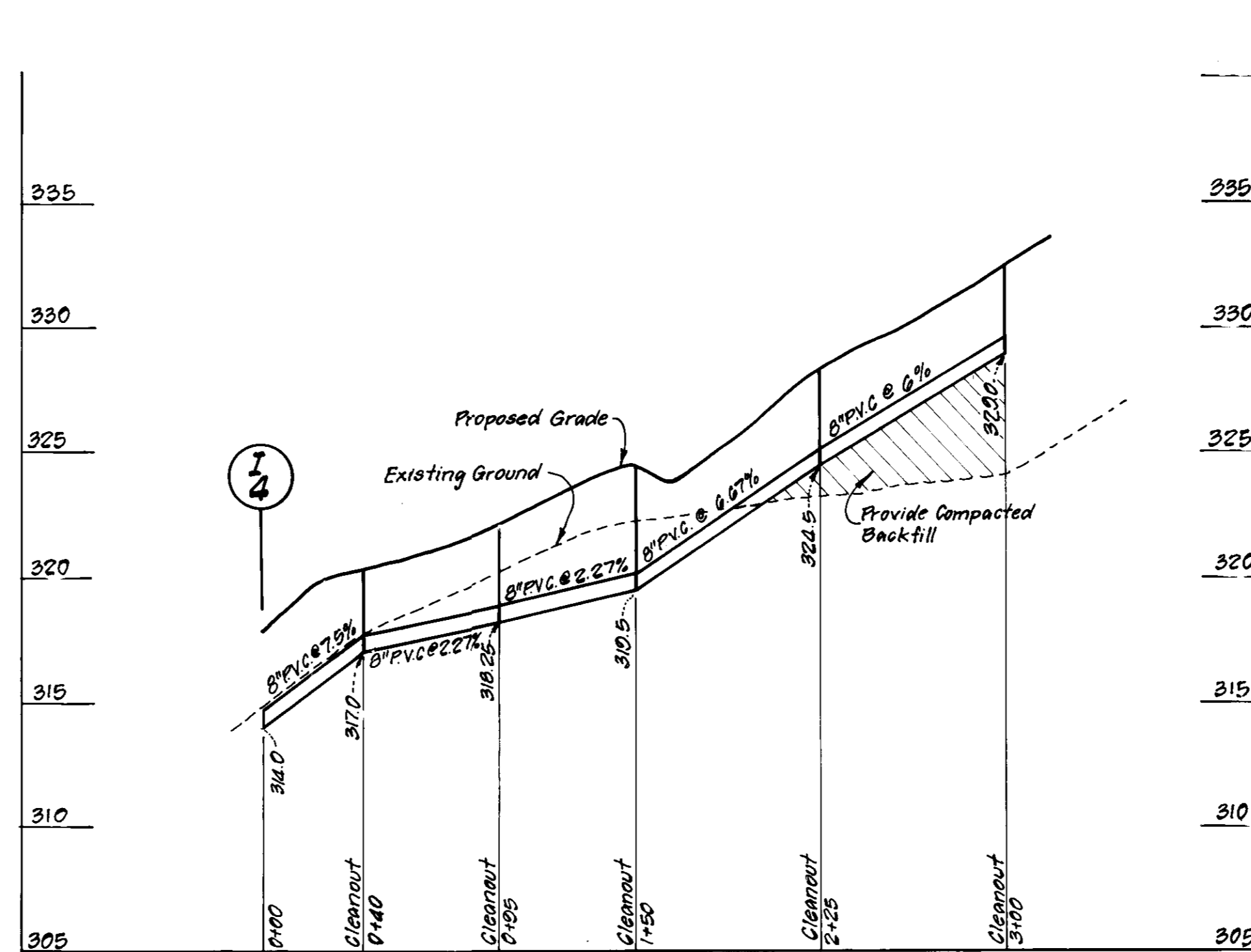
SCALE: \_\_\_\_\_  
DRAWING: 2 of 7  
JOB NO: 96-017  
FILE NO: 96-017-X





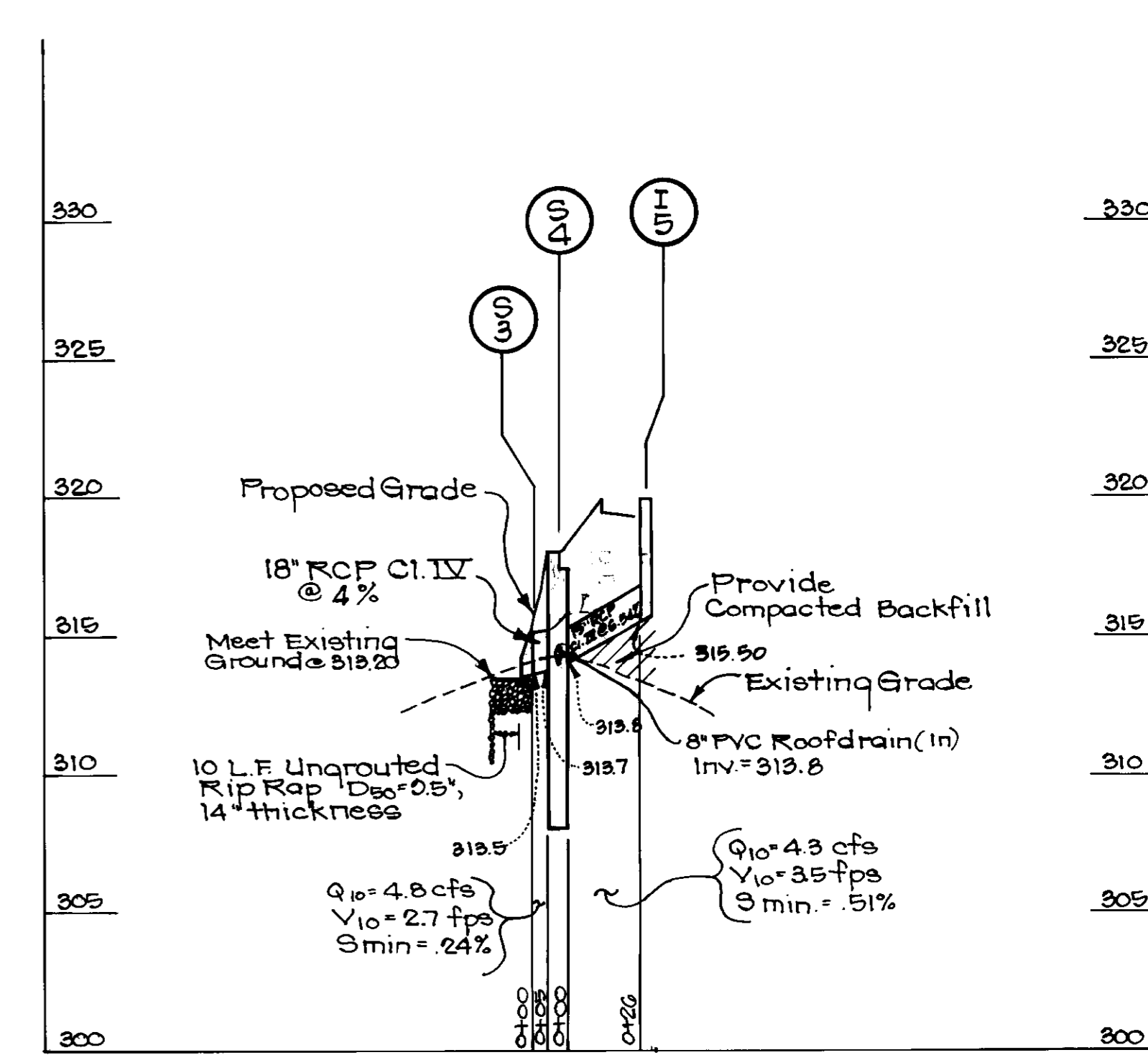
PROFILE - PRIVATE DRIVE

SCALE: HOR. 1"=50'  
VERT. 1"=5'



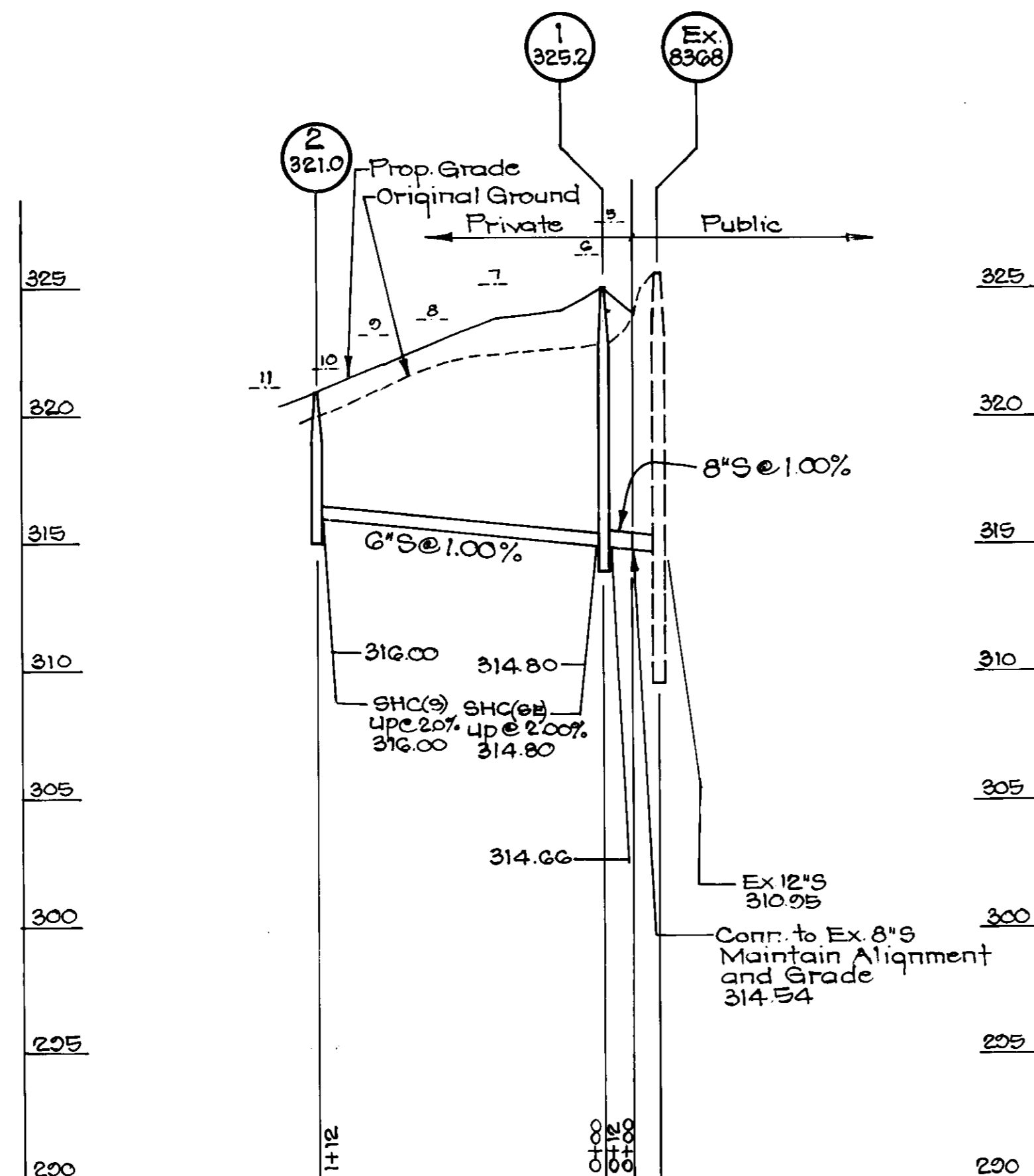
ROOF DRAIN PROFILE

SCALE: HOR. 1"=50'  
VERT. 1"=5'



STORM DRAIN PROFILE

SCALE: HOR. 1"=50'  
VERT. 1"=5'



SEWER PROFILE

SCALE: HOR. 1"=50'  
VERT. 1"=5'

No.	TYPE	INVERT		TOP ELEVATION		REMARKS	LOCATION
		IN	OUT	UPPER	LOWER		
I-5	A-10 Inlet	-	315.50	320.15	319.80	Ho Co Std Det. SD-4.02	Sta. 3+75 12' 11 1/2" Structure
6-4	Stormceptor 1200 US Gallon	313.8	313.7	318.0	-	ETC 1200 Precast Conc.	See Plan
6-3	Concrete End Section	313.50	-	315.0	-	Ho Co Std Det. SD-551	See Plan

\* See detail sheet 2 of 6  
△ All inverts to be fully developed

PIPE SCHEDULE

SIZE	TYPE	LENGTH
18"	RCP CI IV	26'
18"	RCP CI IV	5'
8"	PVC Schedule 40	300'

Reviewed for HOWARD S.C.D. and meets Technical Requirements  
Signature \_\_\_\_\_ Date \_\_\_\_\_  
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*John A. Johnson* 1/22/97  
Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

*[Signature]* 8/6/96  
DATE

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

*[Signature]* 8/6/96  
G. NELSON CLARK DATE



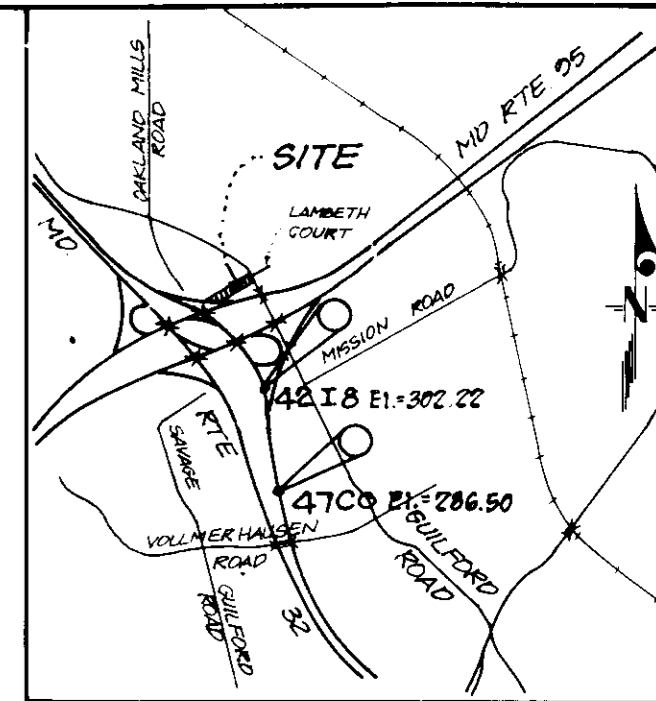
**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

DESIGNED ZAL	<b>PROFILES</b> BUILDINGS A AND B <b>COLEMAN SITE</b> TAX MAP 42 GRID 17 PARCEL 144 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE As Shown
DRAWN PS/DM		DRAWING 3 OF 7
CHECKED 428		JOB NO. 96-017
DATE 8-6-96		FILE NO. 96-017 X

OWNER: ELLICOTT CITY LAND HOLDING, INC. PHONE: (410) 740-5178  
10805 HICKORY RIDGE ROAD - SUITE 215  
COLUMBIA, MARYLAND 21044

SDP-96-142

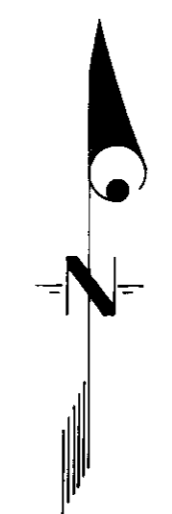
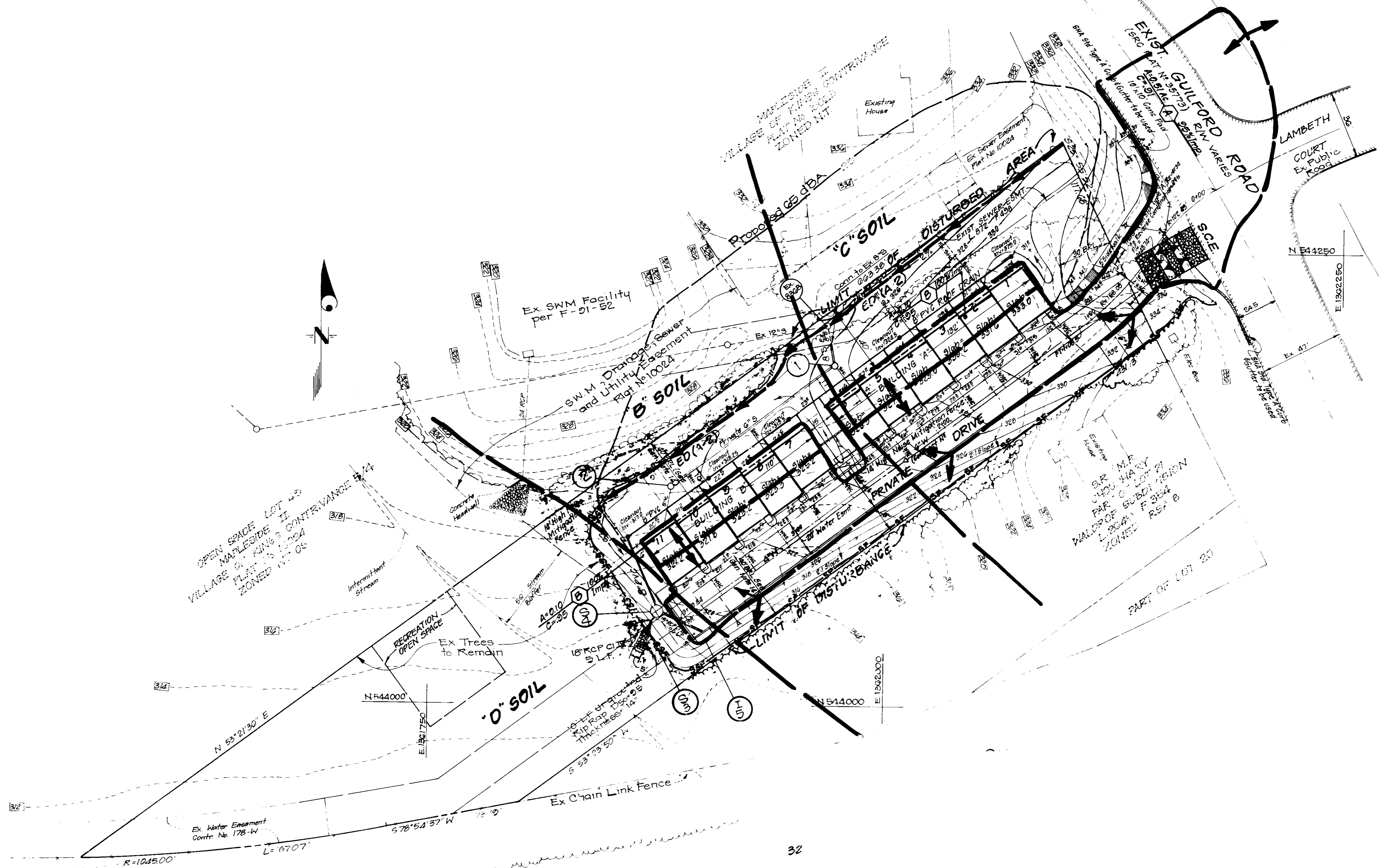
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 1/30/97  
Chief, Development Engineering Division Date  
*[Signature]* 1/30/97  
Chief, Division of Land Development Date  
*[Signature]* 1/31/97  
Director Date



VICINITY MAP  
1" = 2000'

**LEGEND**

- Contour Interval - 2 ft
- Existing Contour - 320
- Proposed Contour - 326
- Proposed Spot Elevation - 348
- Direction of Drainage -
- Silt Fence - SF - SF - SF
- Super Silt Fence - SSF - SSF - SSF
- Tree Protection Fence - TPF - TPF - TPF
- Earth Dike - ED(A-E)
- Trees to be Saved -
- Stabilized Construction Entrance -
- Limit of Disturbance -



ROUTE  
(SRC PLAT No. 3575G)

Reviewed for: HOWARD S.C.D.  
and meets Technical Requirements  
Signature: [Signature] Date: 1/28/97  
U.S. Natural Resources Conservation Service

DEVELOPER'S/BUILDER'S CERTIFICATE  
"I certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible persons involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

ENGINEER'S CERTIFICATE  
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
[Signature] 8/6/96  
G. NELSON CLARK DATE



APPROVED: DEPARTMENT OF PLANNING & ZONING  
[Signature] 1/28/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
[Signature] 1/30/97  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
[Signature] 1/31/97  
DIRECTOR DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
[Signature] Approved

SUBJECTORY NAME	SECTION	PARCEL No.
COLEMAN SITE	N/A	144
PLAT No. 17	ZONE R-5A-B	ELECT. DIST. 42
	SEWER CODE	CENSUS TR. 6067-03

OWNER/DEVELOPER  
ELLICOTT CITY LAND HOLDING, INC.  
10805 HICKORY RIDGE RD, STE 215  
COLUMBIA, MARYLAND 21044  
PHONE: (410) 740-5176

CLARK • FINEROCK & SACKETT, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 381-7500 BALTO • (301) 621-8100 - WASH

DESIGNED	DATE	SCALE
MJP/7	1/28/97	1"=30'
DRAWN	PS/DM	DRAWING
CHECKED	[Signature]	4 of 7
DATE	8-6-96	JOB NO.
		96-017
		FILE NO.
		06-017-02



**SEDIMENT AND EROSION CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
  - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1.
  - 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL. For permanent seedings, see Temporary Seedings and Mulching (See 4.2.2 thru 4.2.3). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**

Total Area of Site: 1.47 AC.  
 Area Disturbed: 0.62 AC.  
 Area to be roofed or paved: 0.34 AC.  
 Area to be vegetatively stabilized: 0.51 AC.  
 Total Cut: 15.54  
 Offsite Waste/Borrow Area Location:
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- The total amount of silt fence = 325 L.F.  
 The total amount of super silt fence = 150 L.F.

\* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and its grading permit number at the time of construction.

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./100 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (1.4 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureiform fertilizer (9 lbs./1000 sq.ft.).
- 2) Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

**SEEDING:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

**MAINTENANCE:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

**TEMPORARY SEEDING NOTES**

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.).

**SEEDING:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

**21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL**

**Definition**

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**Purpose**

To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**Conditions Where Practice Applies**

- i. This practice is limited to areas having 2:1 or flatter slopes where:
  - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - c. The original soil to be vegetated contains materials toxic to plant growth.
  - d. The soil is so acidic that treatment with limestone is not feasible.

ii. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

**Construction and Material Specifications**

i. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

ii. Topsoil Specifications - Soil to be used as topsoil must meet the following:

i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, heavy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.

ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

iv. For sites having disturbed areas under 5 acres:

i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

v. Topsoil Application

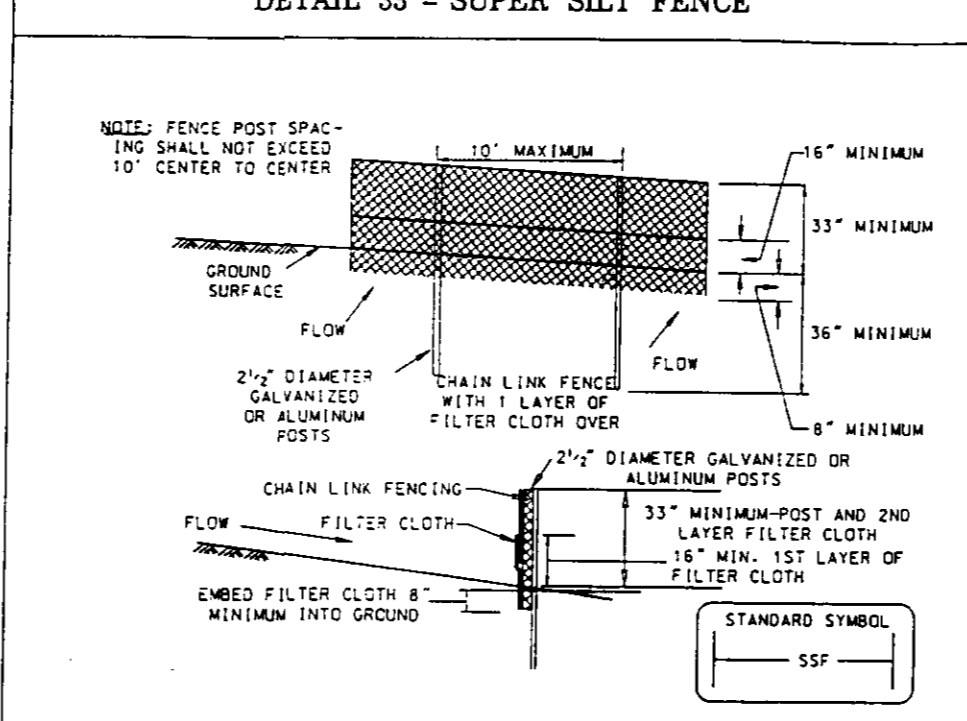
i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" - 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

**DETAIL 33 - SUPER SILT FENCE**



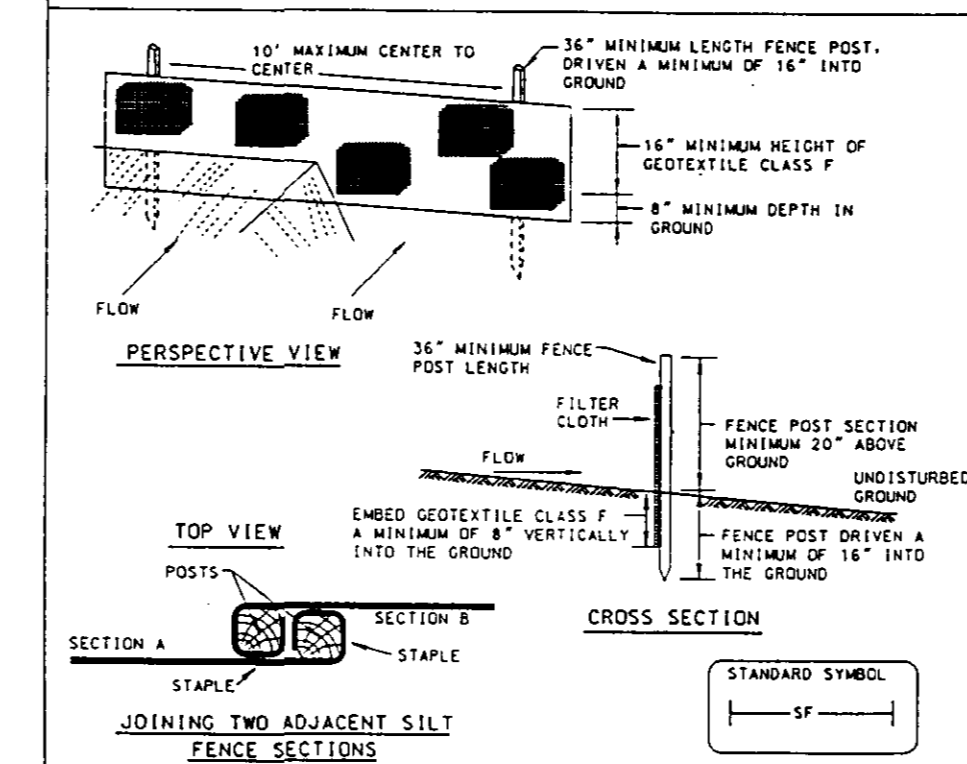
**Construction Specifications**

Fencing shall be 42 inches in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.

1. The posts do not need to set in concrete.
2. Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 6" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildup removed when "bulges" develop in the silt fence.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-18-3 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION

**DETAIL 22 - SILT FENCE**



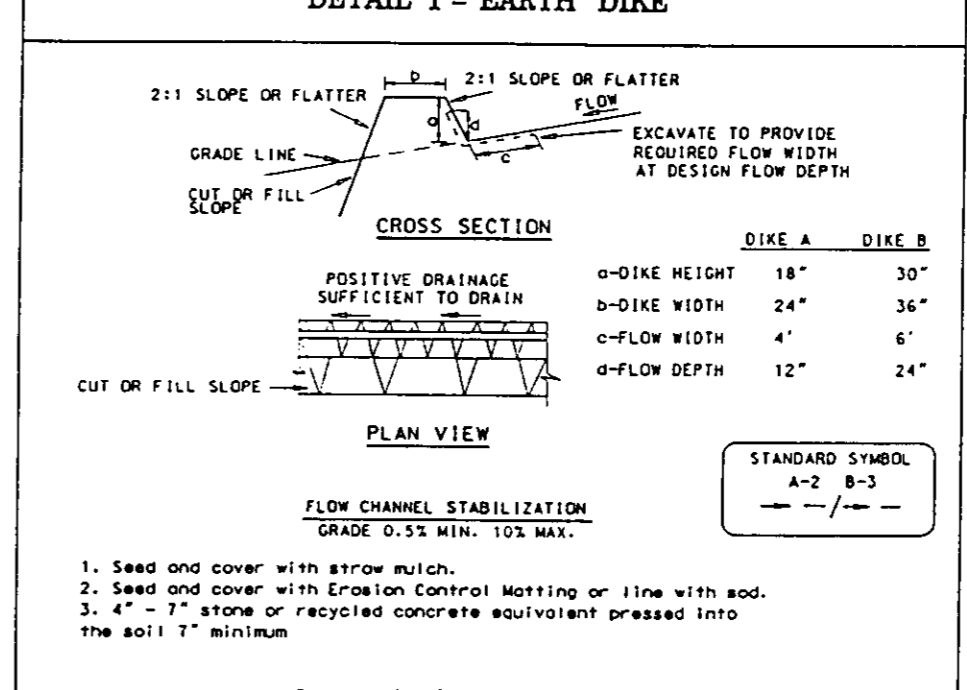
**Construction Specifications**

1. Fence posts shall be a minimum of 36" long or 1 1/2" diameter into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum cut) or 1 1/2" diameter (minimum round and shall be of sound quality hardwood). Steel posts will be standard 1" or 1 1/4" section weighing not less than 1.00 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples of top and mid-section and shall meet the following requirements for Geotextile Class F:
 

Tensile Strength	50 lbs/in. (min.)	Test: MSHT 509
Tensile Modulus	20 lbs/in. (min.)	Test: MSHT 509
Flow Rate	0.3 gal/ft <sup>2</sup> /minute (max.)	Test: MSHT 322
Filtering Efficiency	75% (min.)	Test: MSHT 322
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-18-3 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION

**DETAIL 1 - EARTH DIKE**

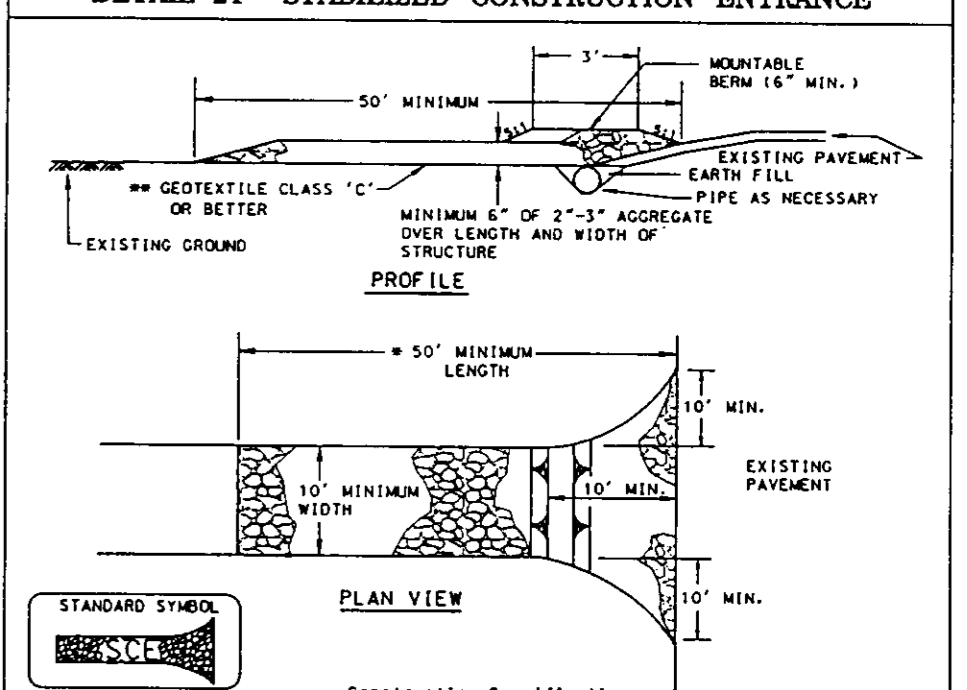


**Construction Specifications**

1. All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1:1.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area of a non-erosive velocity.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of boom projections or other irregularities which will impede normal flow.
6. Fill shall be compacted by earth moving equipment.
7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
8. Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-11-6 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION

**DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE**



**Construction Specifications**

1. Length - minimum of 50' (400' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. Written plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be passed through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a minimum 6" of stone and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION

**CONSTRUCTION SEQUENCE:**

	NO. OF DAYS
1. Obtain grading permit.	7
2. Install tree protection fence.	7
3. Install sediment and erosion control devices and stabilize.	14
4. Excavate for foundations, rough grade and temporarily stabilize.	30
5. Construct structures, sidewalks and driveways.	60
6. Final grade and stabilize in accordance with Sds. and Specs.	14
7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

Reviewed for HOWARD S.C.D. and meets Technical Requirements

Signature                      Date                       
 Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

                     12/97  
 Approved

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

                     8/6/96  
 NAME DATE

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

                     8/6/96  
 G. NELSON CLARK DATE



**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 381-7500 BALTO • (301) 621-8100 WASH

DESIGNED ZAL	SEDIMENT AND EROSION CONTROL DETAIL SHEET	SCALE NO SCALE
DRAWN DM	BUILDINGS A AND B	DRAWING 5 OF 7
CHECKED JLB	<b>COLEMAN SITE</b>	JOB NO 96-017
DATE 8/6/96	TAX MAP 42 GRID 17 PARCEL 144 SIXTH (6th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO 96-017 SE

OWNER: ELLICOTT CITY LAND HOLDING, INC.  
 10805 HICKORY ROOF ROAD - SUITE 215  
 COLUMBIA, MARYLAND 21044 PHONE: (410) 740-5178

SDP-96-142

APPROVED: DEPARTMENT OF PLANNING AND ZONING

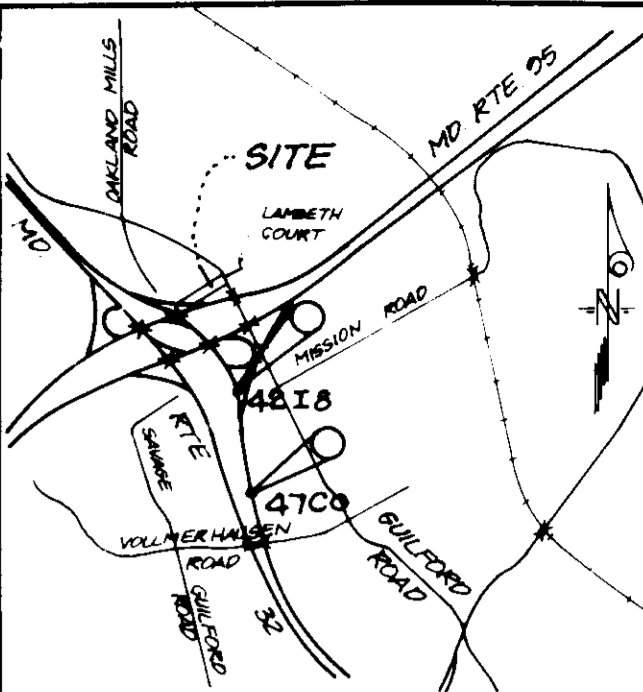
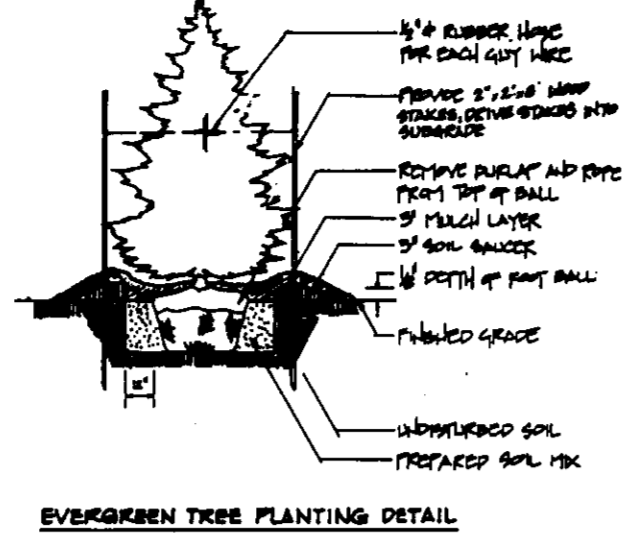
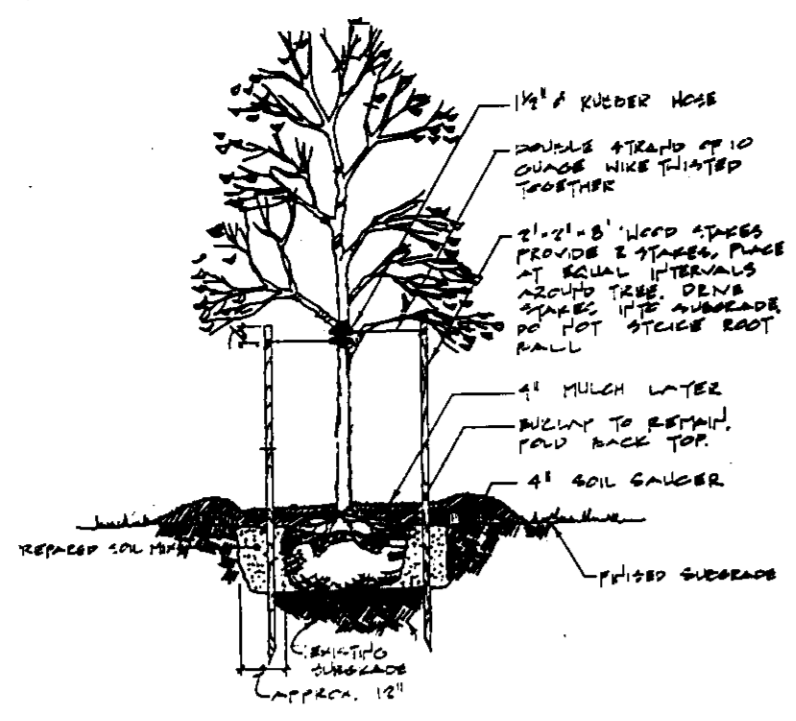
                     1/20/97  
 Chief, Development Engineering Division

                     1/30/97  
 Chief, Division of Land Development

                     1/31/97  
 Director

SCHEDULE A  
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Public Properties	Adjacent to Private Properties
Linear Feet of Roadway Frontage/Perimeter	117'	473'	861'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	-	473'	355'
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	-	-	-
Number of Plants Required	3 (1/40)	0	13 (1/40)
Shade Trees	0 (1/120)	0	20 (1/120)
Evergreen Trees			
Shrubs			
Number of Plants Provided	3	-	13
Shade Trees	0	-	20
Evergreen Trees			
Other Trees (2:1 substitution)			
Shrubs (10:1 substitution)			
(Describe plant substitution credits below if needed)			

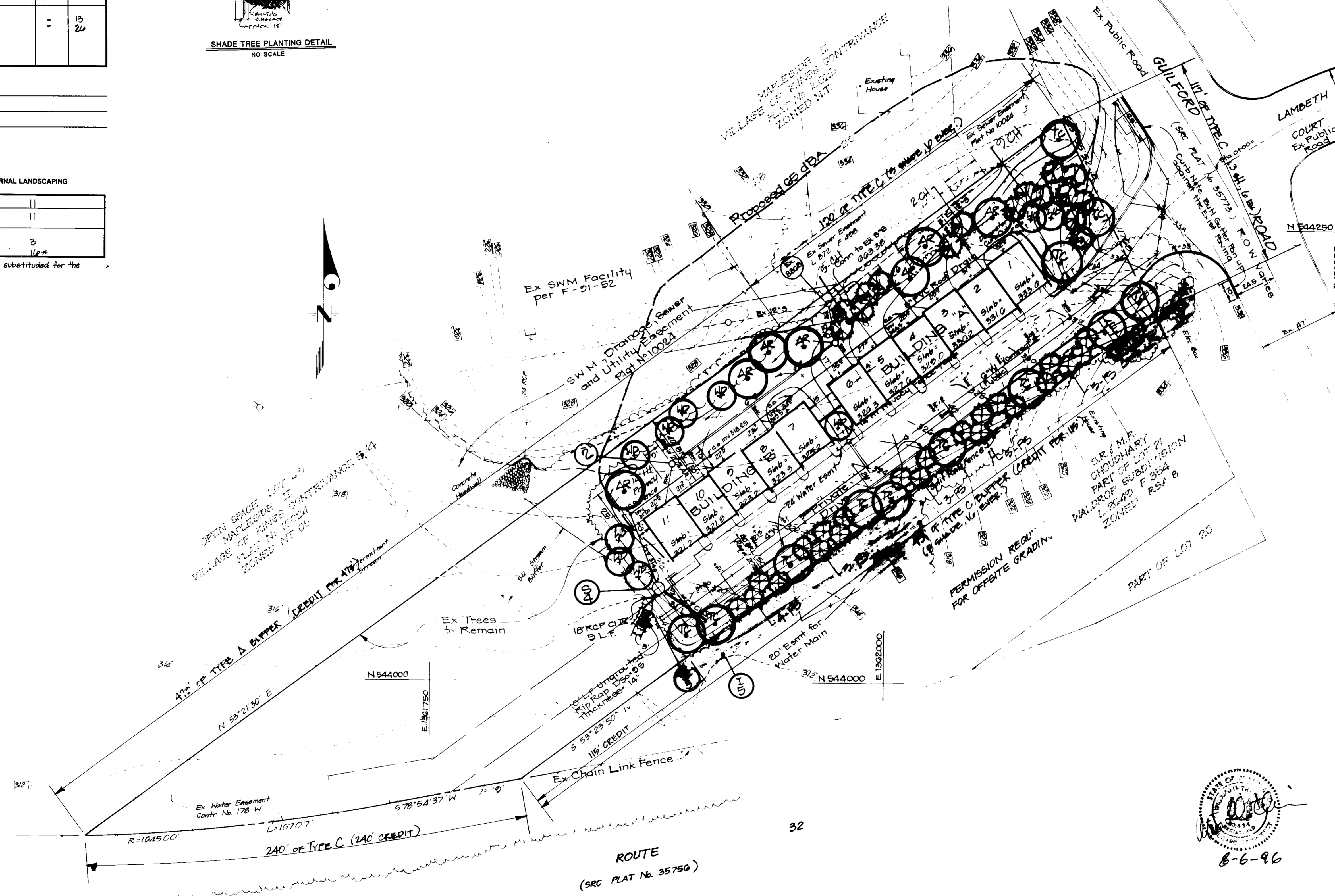


Comments

SCHEDULE C  
RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

Number of Dwelling Units	11
Number of Trees Required (1:DU SFA; 1:3 DU APTS)	11
Number of Trees Provided	3
Shade Trees	0
Other Trees (2:1 substitution)	3

\* 10 Evergreens & 6 Flowering trees are substituted for the remaining 8 required shade trees.



KEY	QTY.	PLANT NAME	SIZE	REMARKS
<b>SHADE TREES</b>				
AR	7	ACER RUBRUM "Red Sunset" Red Sunset Maple	2 1/2"-3" C	B & B
TC	12	TILIA CORDATA "Greenspire" Greenspire Littleleaf Linden	2 1/2"-3" C	B & B
<b>FLOWERING/EVERGREEN TREES</b>				
WD	10	CORNUS FLORIDA White Flowering Dogwood	8'-10' HT	B & B
PD	22	PINUS STROBUS White Pine	4'-6' HT	B & B
CH	10	TSUGA CANADENSIS Canadian Hemlock	6'-8' HT	B & B

- NOTES:**
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH BALT./WASH. LANDSCAPE SPECIFICATIONS OF L.C.A.M.W.
  - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
  - FINAL LOCATION OF PLANT MATERIAL MAY VARY PER FINAL FIELD CONDITIONS.

**BONDING NOTES:**

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPA DEVELOPERS AGREEMENT IN THE AMOUNT OF \$9,000.00.



OWNER/DEVELOPER:  
ELLCOTT CITY LAND HOLDING, INC.  
10805 HICKORY RIDGE ROAD, SUITE 215  
COLUMBIA, MARYLAND 21044  
PHONE: (410) 740-5176

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALTO. • (301) 621-8100 WASH.

DESIGNED M.F.	<b>LANDSCAPE PLANTING PLAN</b> BUILDINGS A AND B <b>COLEMAN SITE</b> TAX MAP 42 GRID 17 PARCEL 144 SIXTH (6TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1"=30'
DRAWN M.J.F.		DRAWING # of 7
CHECKED L.H.T.		JOB NO. 96-017
DATE 8-6-96		FILE NO. 06-017 16

APPROVED: DEPARTMENT OF PLANNING & ZONING

*Chad Dammann* 1/20/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Richard Blum* 1/30/97  
CHIEF, DIVISION OF LAND DEVELOPMENT PERMISSORIAL DATE

*John S. ...* 1/31/97  
DIRECTOR DATE

NO	REVISIONS	DATE
2	REV. DRAWING NO. B PER HOCD COMMENTS	10/1/96
1	REV. PRIVATE DRIVE & BLDGS PER HOCD & ADJUST L.S.	7/21/96
0		



# GENERAL NOTES

## FOUNDATION AND SLAB-ON-GRADE:

- FOOTINGS ARE DESIGNED FOR AN ASSUMED BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL. 1'-0" BELOW ORIGINAL GRADE AND BOTTOM OF EXTERIOR FOOTINGS SHALL BE 2'-6" BELOW FINISHED GRADE, STEP FOOTINGS AS NECESSARY. CONTRACTOR SHALL VERIFY SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN 2000 PSF, THE FOOTINGS WILL HAVE TO BE REDESIGNED.

## CONCRETE:

- ALL CONCRETE, EXCEPT AS NOTED, SHALL BE f'c=3000 psi NORMAL WEIGHT CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED.
- ALL REINFORCING SHALL BE HIGH STRENGTH NEW BILLET STEEL CONFORMING TO ASTM DESIGNATION A615 (LATEST LOCAL APPROVED EDITION), GRADE 60. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315, "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" (LATEST LOCAL APPROVED EDITION).
- UNLESS OTHERWISE NOTED ON STRUCTURAL DRAWINGS, PROVIDE CONCRETE PROTECTION FOR REINFORCING AS FOLLOWS:  
 CAST AGAINST EARTH ..... 3"  
 EXPOSED TO EARTH OR WEATHER:  
 No. 6 AND LARGER BARS ..... 2"  
 No. 5 AND SMALLER BARS ..... 1 1/2"
- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST LOCAL APPROVED EDITIONS OF THE FOLLOWING ACI AND ASTM DOCUMENTS:  
 ACI-301 ..... SPECIFICATIONS FOR STRUCTURAL CONCRETE  
 ACI-318 ..... CODE

## WOOD:

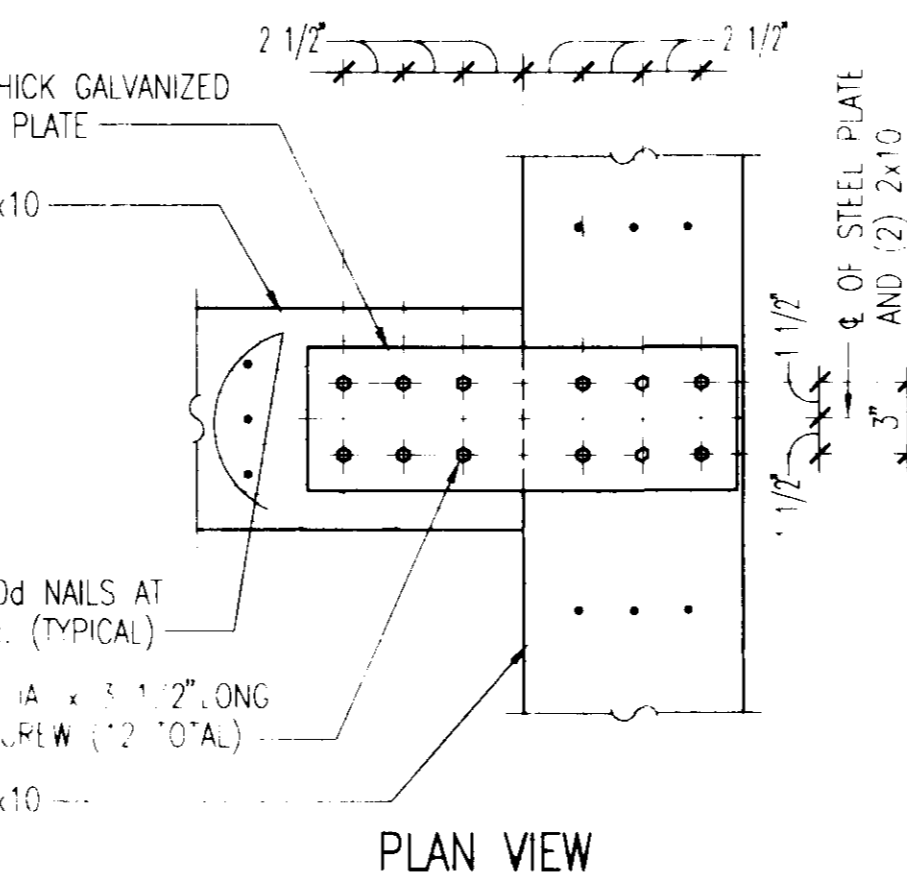
- STRUCTURAL WOOD MEMBERS SHALL BE SOUTHERN PINE NUMBER TWO OR EQUAL HAVING Fb=1200 psi MINIMUM. ALL FABRICATION, ERECTION, OTHER PROCEDURES AND MINIMUM UNIT STRESSES SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". ALL LUMBER AND SHEATHING SHALL BE PRESSURE TREATED.

## MISCELLANEOUS:

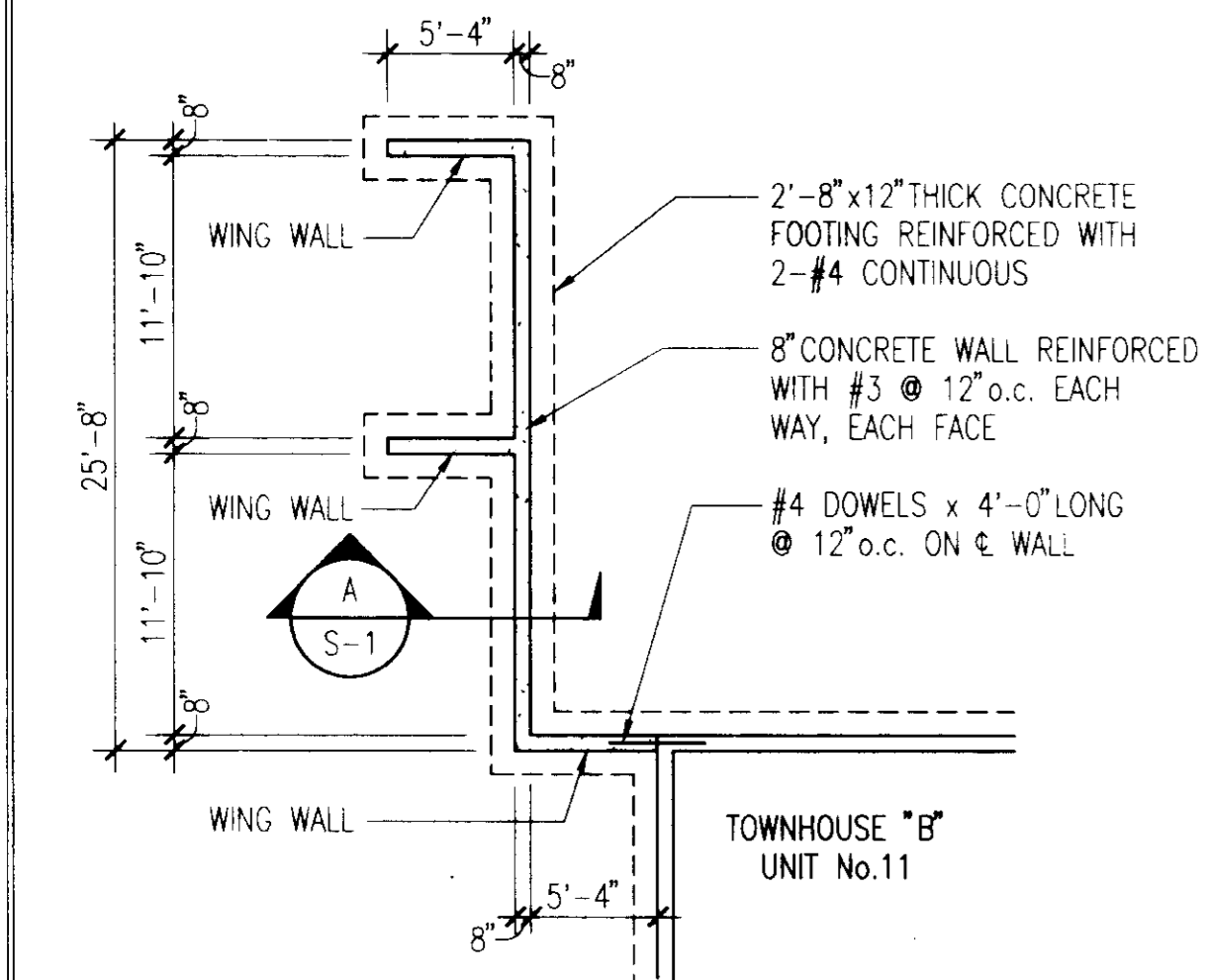
- SHOP DRAWINGS FOR ALL STRUCTURAL ITEMS MUST BE SUBMITTED BY THE GENERAL CONTRACTOR. IF A CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE FIRM CEI ENGINEERING INC., WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL CERTIFICATION AND/OR THE DESIGN OF THE PROJECT.

## LIVE LOADS:

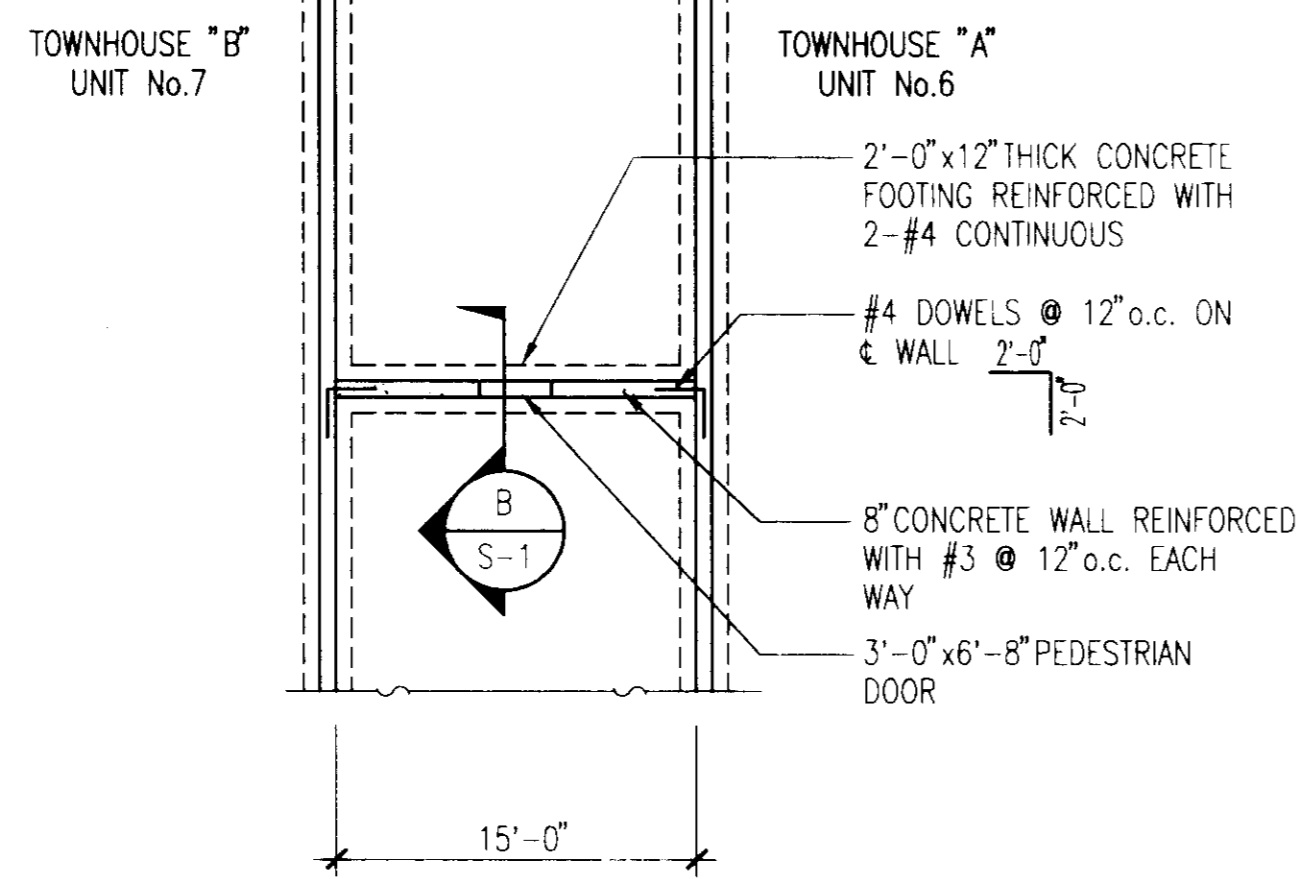
1.) WIND LOAD	
1. BASIC WIND SPEED	70 MPH
2. IMPORTANCE FACTOR	1.0
3. EXPOSURE	C
4. DESIGN WIND SPEED ON MAIN RESISTING	
15 TO 20 FEET	19.0 PSF
20 TO 25 FEET	20.0 PSF
25 TO 30 FEET	20.5 PSF
30 TO 40 FEET	21.0 PSF
40 TO 50 FEET	22.5 PSF



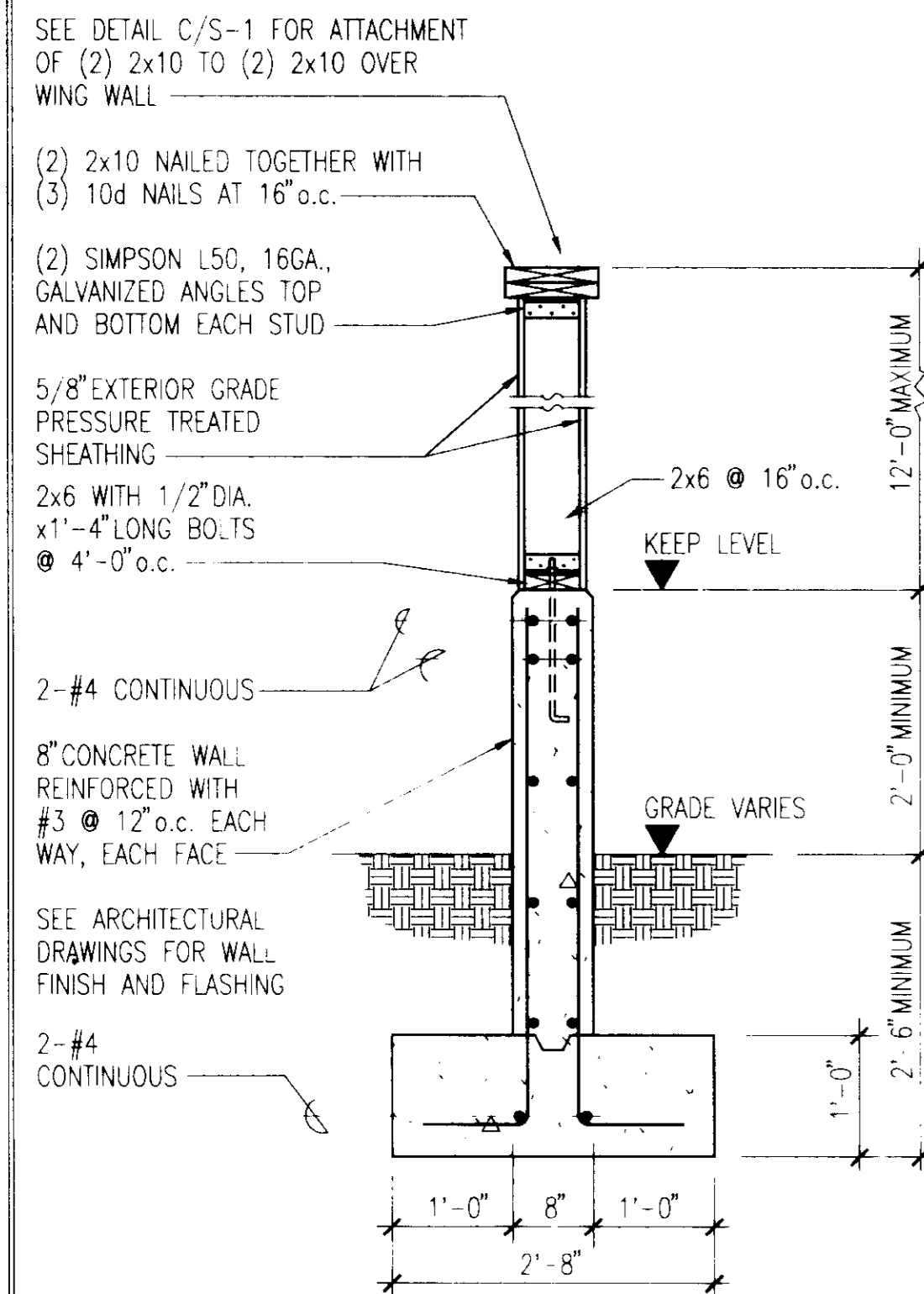
DETAIL C  
SCALE: 1 1/2"=1'-0"



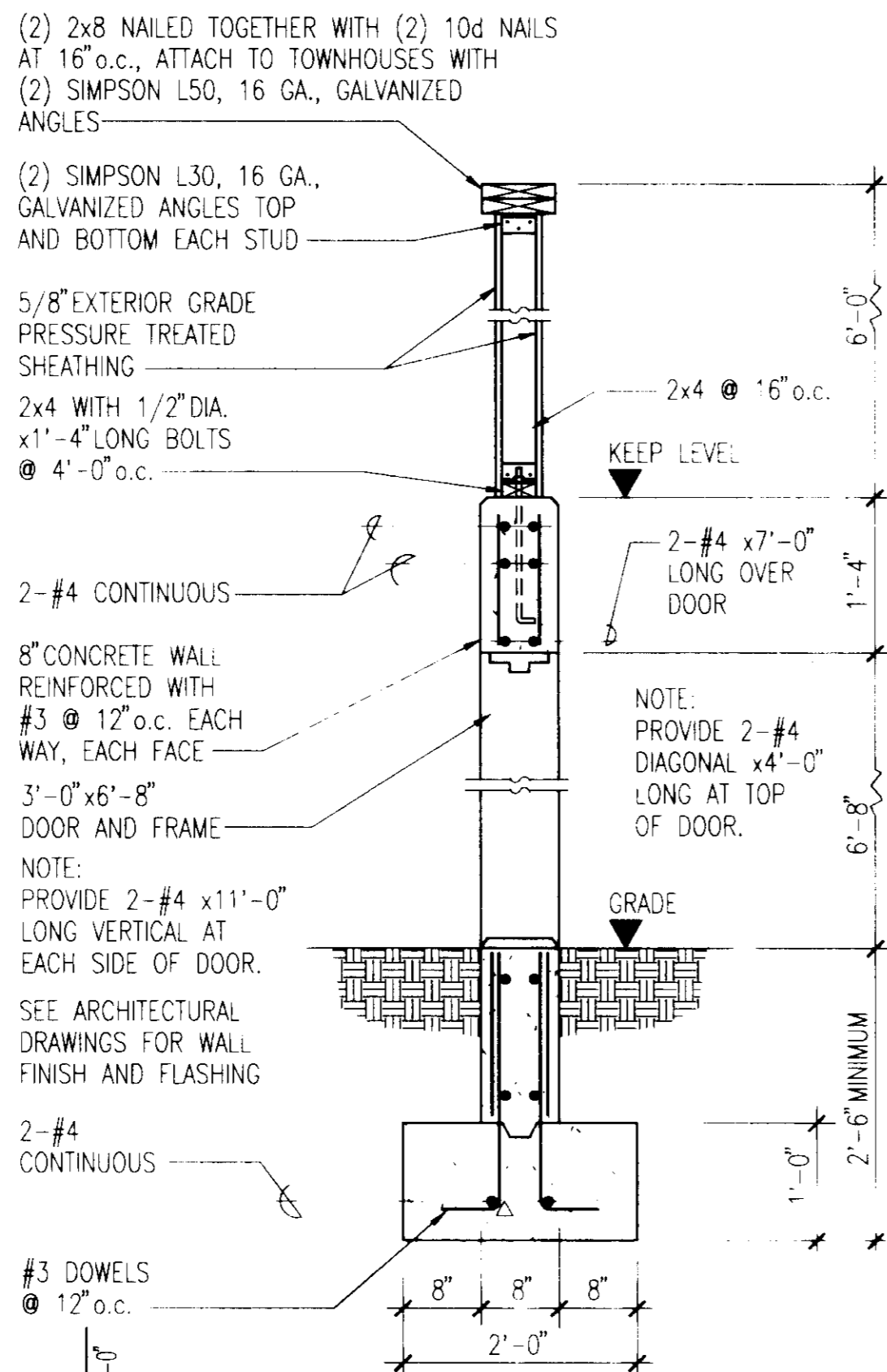
NOISE MITIGATION FENCE No.1  
SCALE: 1/8"=1'-0"



NOISE MITIGATION FENCE No.2  
SCALE: 1/8"=1'-0"



SECTION A  
SCALE: 3/4"=1'-0"



SECTION B  
SCALE: 3/4"=1'-0"

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 [Signature] 1/20/97  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 1/30/97  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 1/31/97  
 DIRECTOR

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 821-8100 - WASH.

**NOISE MITIGATION FENCE DETAILS**  
 BUILDINGS A AND B  
**COLEMAN SITE**  
 TAX MAP 42 GRID 17 PARCEL 144  
 SIXTH (6th) ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

OWNER: ELLICOTT CITY LAND HOLDING, INC.  
 10803 HICKORY RIDGE ROAD - SUITE 215  
 COLUMBIA, MARYLAND 21044  
 PHONE: (410) 740-5176

DESIGNED: ZAL  
 DRAWN: PS/DM  
 CHECKED: [Signature]  
 DATE: 8-6-96

SCALE: As Shown  
 DRAWING: 7 OF 7  
 JOB NO.: 96-017  
 FILE NO.: 96-017 X

PROJECT NUMBER: [Blank]  
 DRAWING NUMBER: **S-1**

**CEI**  
**COLUMBIA ENGINEERING INC.**  
 6470 DOBBIN ROAD  
 COLUMBIA, MD 21045  
 Wash. 301.621.4015  
 Balt. 410.992.9972  
 Fax. 410.992.0627

**dw taylor**  
 associates inc  
**ARCHITECT**  
 5024 DORSEY HALL DRIVE SUITE 203  
 ELLICOTT CITY, MARYLAND 21042  
 TELEPHONE (410) 984-1181 FAX (410) 997-2924

REVISIONS	
date	remarks

drawn by	RST	checked by	RC
scale	AS NOTED	date	18 NOV 96

PROJECT TITLE  
**NOISE MITIGATION FENCES**  
**No.1 AND No.2**

CONTENT  
**PLANS, NOTES AND SECTIONS**

