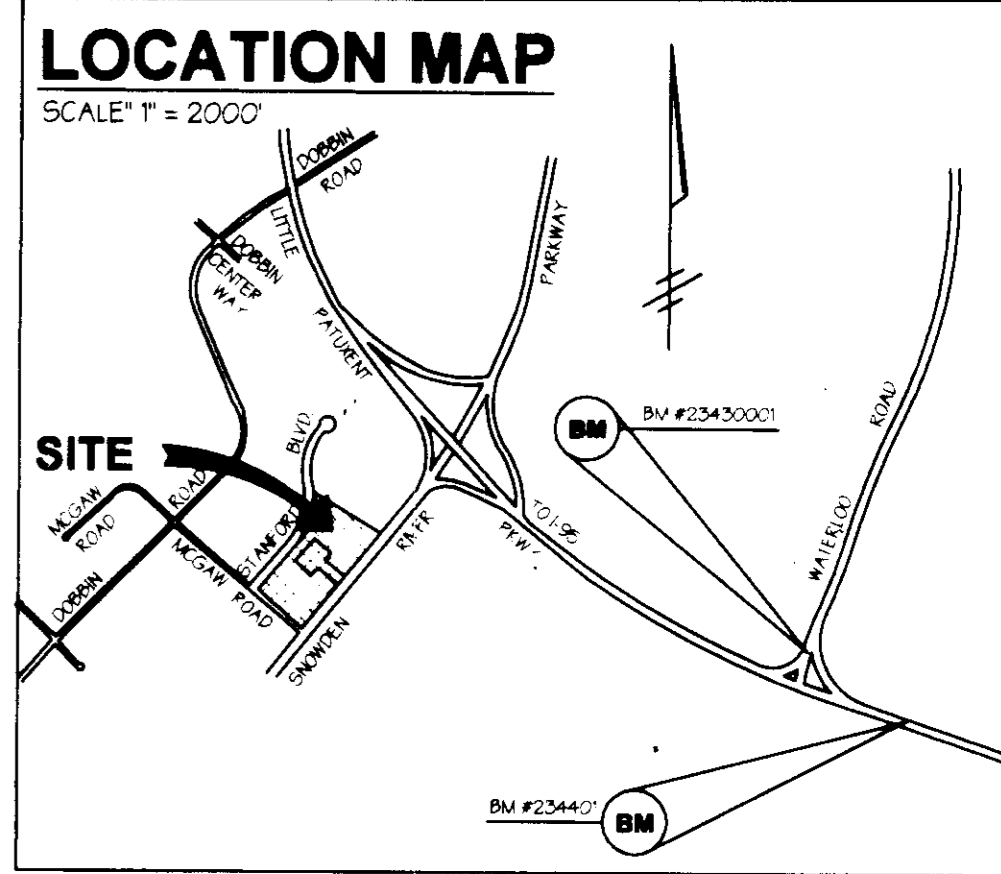


BENCHMARKS:
 BM #234401 ELEVATION: 309.49'
 STANDARD CONCRETE MONUMENT
 SET FLUSH SURFACE
 N 491333.018, E 050206.723
 BM #23430001 ELEVATION: 288.24'
 REBAR SET 0.3' BELOW THE
 SURFACE
 N 492140.801, E 057226.671



LEGEND

- EX. GROUND
- PROP. GRADE
- EX. CONC. CURB & GUTTER
- PROPERTY LINE
- BUILDING RESTRICTION LINE
- EX. WATER LINE
- PROP. WATER LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER
- DISPLAY SPACES
- REQUIRED PARKING SPACES
- PAVING WEDGE & LEVELING
- AREA OF SUBMITTAL
- FULL DEPTH PAVING

NOTE: FOR GENERAL NOTES SEE SHEET 2 OF 5

McGAW ROAD

SITE DATA

TOTAL AREA OF SITE: 10.458 AC +/-
 TOTAL AREA OF SUBMITTAL: 1.08 AC +/-
 EXISTING ZONING: NEW TOWN EMPLOYMENT CENTER INDUSTRIAL
 PROPERTY REFERENCE: PLAT 12095-2267 / 250, 3686 / 505
 EXISTING USE: PARKING LOT
 PROPOSED USE: AUTOMOBILE DEALERSHIP EXPANSION
 BUILDING COVERAGE: 66.227 SQ. FT. OR 152 AC
 PERCENT OF BUILDING COVERAGE: 14.5%
 FLOOR AREA RATIO: 15%
 AREA OF PAVING PLUS BUILDING AREA: 6.48 AC +/-
 OPEN SPACE: 3.98 AC +/-
 TOTAL AREA OF PARKING LOT: 4.41 AC +/-
 PERCENT OF PARKING LOT COVERAGE: 42%
 AREA TO BE DISTURBED: 1.08 AC +/-
 AREA TO BE VEGETATIVELY STABILIZED: 0.9 AC +/-
 PREVIOUS FILE NOS.: 587-24, FDP117A-1, F72-90C, F87-43, F91-130, F89-248, F88-109, F83-90, F95-01, F96-90, SDP93-57, SDP-94-49

PARKING TABULATION

BUILDING 'A'
 Total Area - 54,814 Square Feet
 Required Parking: 40 Bays @ 3 Spaces/Bay = 120 Spaces
 Service Area - Including Paint & Body Shops - 26,015 Square Feet
 Remaining Building - 28,799 Square Feet = 58 Spaces
 Outdoor Display - 41,310 Square Feet @ 1 Space/1000 Square Feet = 42 Spaces
 Total Spaces Required = 220 Spaces
 Total Spaces Provided = 228 Spaces
 Display Spaces - 128 Spaces

BUILDING 'B'
 Total Area - 11,359 Square Feet
 Required Parking: 10 Bays @ 3 Spaces/Bay = 30 Spaces
 Remaining Building - 5,599 Square Feet
 5599 Square Feet @ 2 Spaces/1000 Square Feet = 12 Spaces
 Outdoor Display Area - 13,860 Square Feet @ 1 Space/1000 Square Feet = 14 Spaces
 Total Spaces Required = 56 Spaces
 Total Spaces Provided = 56 Spaces
 Display Spaces - 36 Spaces

INDEX OF SHEETS

SHEET NO. 1	PLAN VIEW
SHEET NO. 2	SECTIONS, DETAILS, GENERAL NOTES
SHEET NO. 3	SEDIMENT EROSION CONTROL PLAN
SHEET NO. 4	SEDIMENT & EROSION CONTROL NOTES & DETAILS
SHEET NO. 5	LANDSCAPE PLAN

SNOWDEN RIVER PARKWAY

Plan
 Scale: 1" = 50'

NOTE:
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system. Each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

APPROVED FOR PUBLIC WATER & PUBLIC SEWAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

[Signature]
 COUNTY HEALTH OFFICER DATE

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED HOWARD SOIL CONSERVATION DISTRICT
 PLAN NUMBER DATE

Reviewed for the Howard Conservation District and meets technical requirements.

NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED: Howard County Department of Planning and Zoning

[Signature] 9/12/96
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9/12/96
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

[Signature] 9/12/96
 DIRECTOR DATE

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
A-28	8800 STANFORD BOULEVARD - BLDG. 'A'
A-28	8820 STANFORD BOULEVARD - BLDG. 'B'

SUBDIVISION NAME	SECTION NAME	PARCEL #
COLUMBIA CORPORATE PARK	N/A	A-28

PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
12085	24	EC-IND	36	6	6067.03

WATER CODE E06 SEWER CODE 5333000

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 688 Kenilworth Drive, Suite 100
 Towson, Maryland 21204
 (410) 825-8120

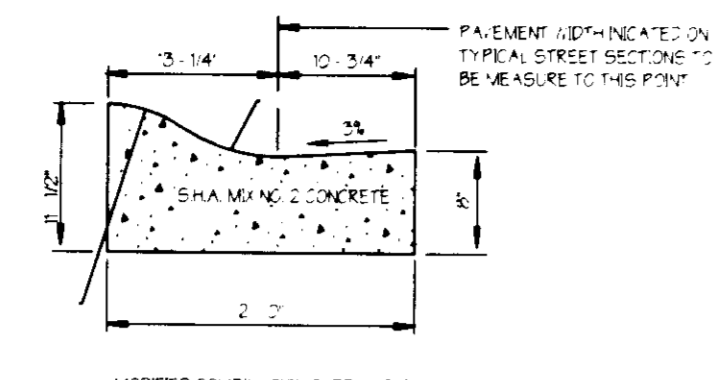
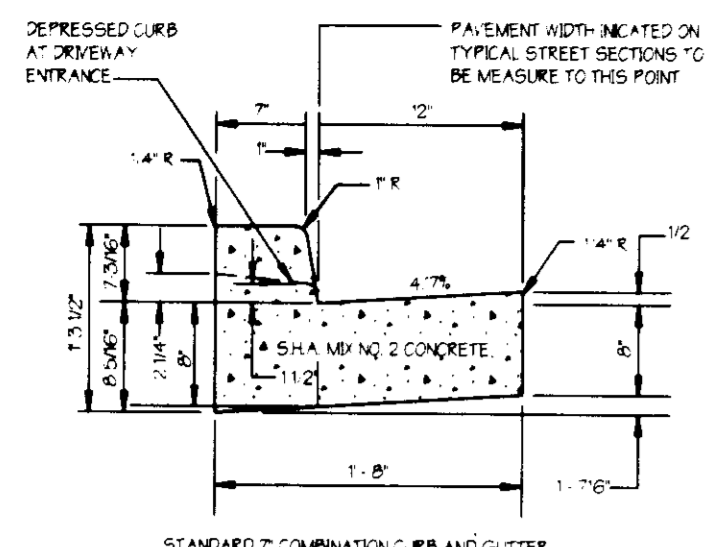
DEVELOPER CERTIFICATION:
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Conservation District.

Developer Name: *[Signature]* Date: 6-4-96

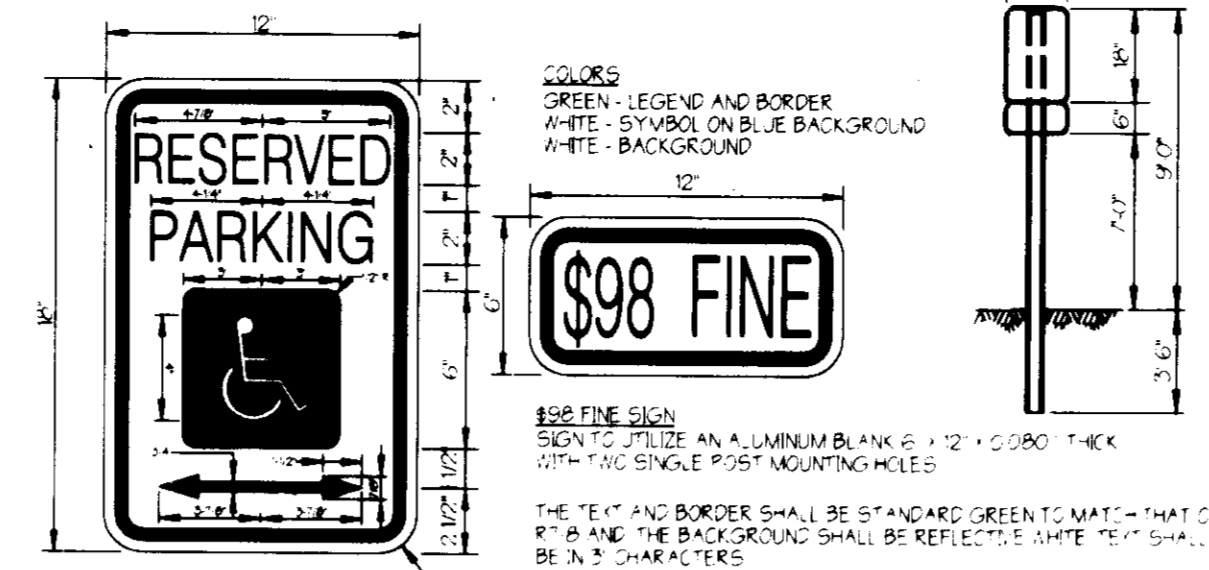
DEVELOPER
MERRITT
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21207
 (410) 296-2600

OWNER
FORD LEASING AND DEVELOPMENT
 1 PARKLANE BLVD. E. UNIT 1500
 DEERBORN, MD 48126
 (313) 337-1325

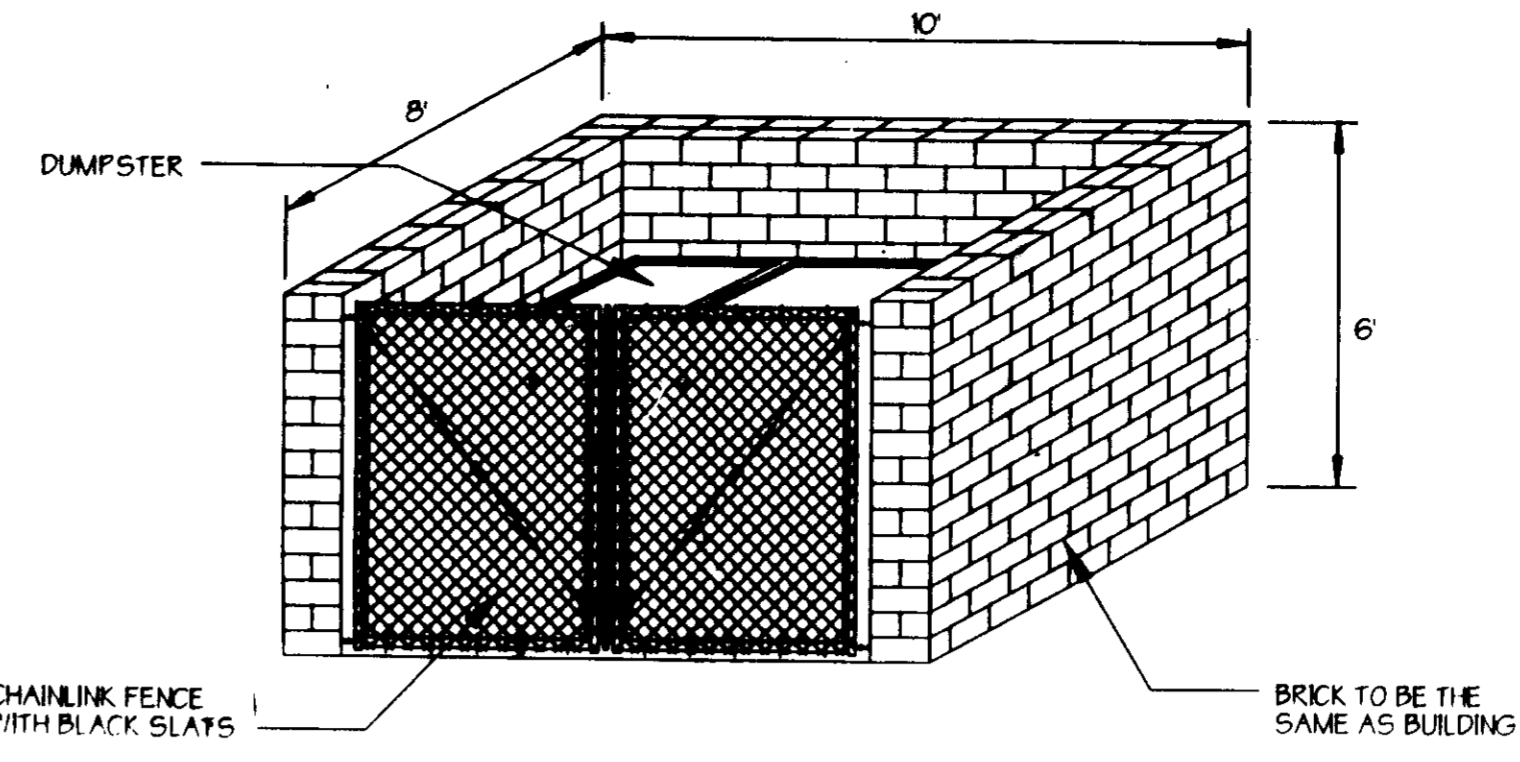
SITE PLAN
COLUMBIA CORPORATE PARK
 PARCEL A-28
 (FORMERLY PARCEL A-23)
 FORD LEASING DEVELOPING COMPANY
 BUILDING ADDITION
 092 FILE NOS.: S-47-24, FDP117A-1, F72-90C, F87-43, F91-130, F89-248, F88-109, F83-90, F95-01, F96-90, SDP93-57, SDP94-49
 ELECTION DISTRICT: 6 SHEET 1 OF 5 SCALE: 1" = 50'
 HOWARD COUNTY, MD. MAY 21, 1996



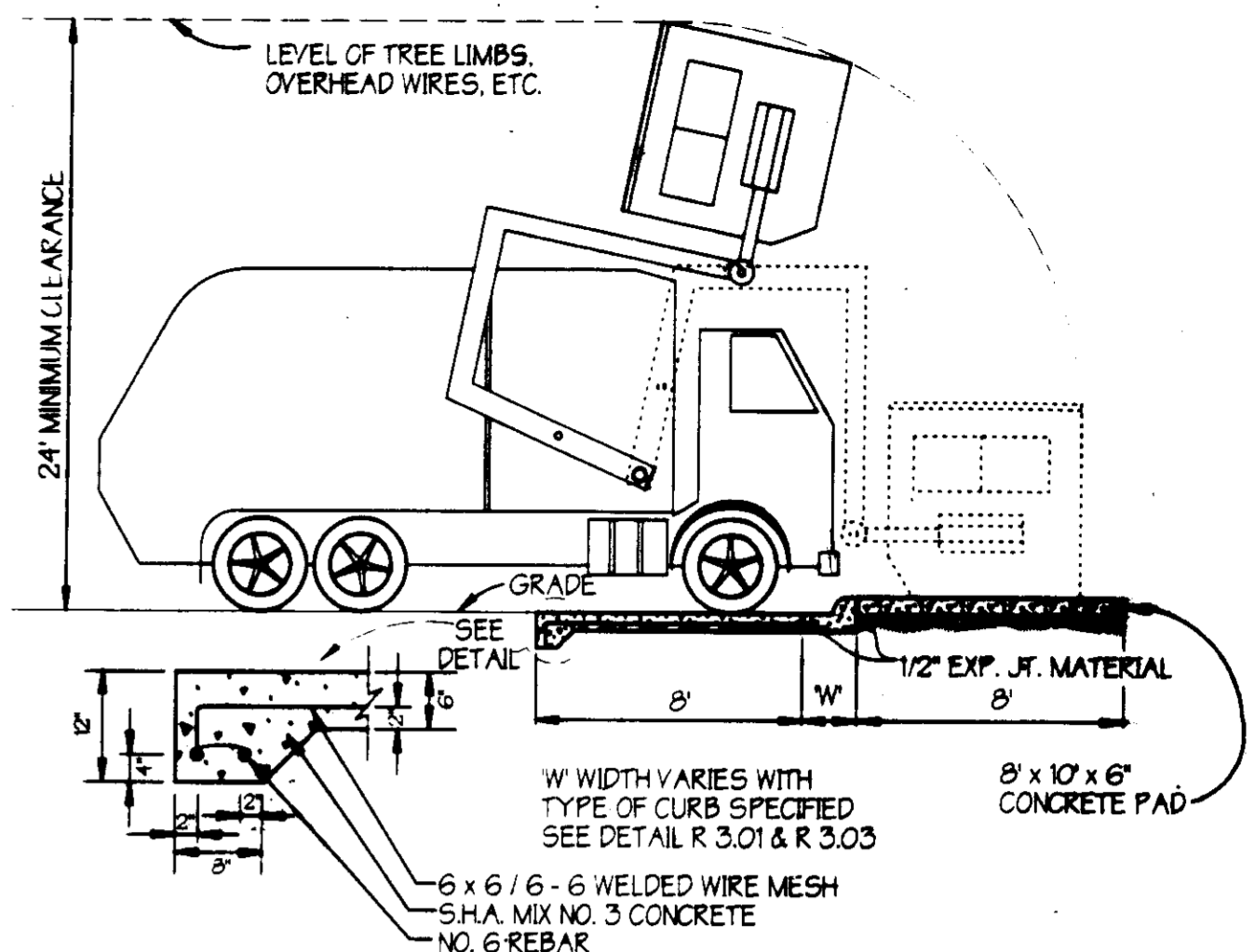
HOWARD COUNTY CURB AND GUTTER DETAIL
NOT TO SCALE



HANDICAPPED SIGN DETAIL
NOT TO SCALE



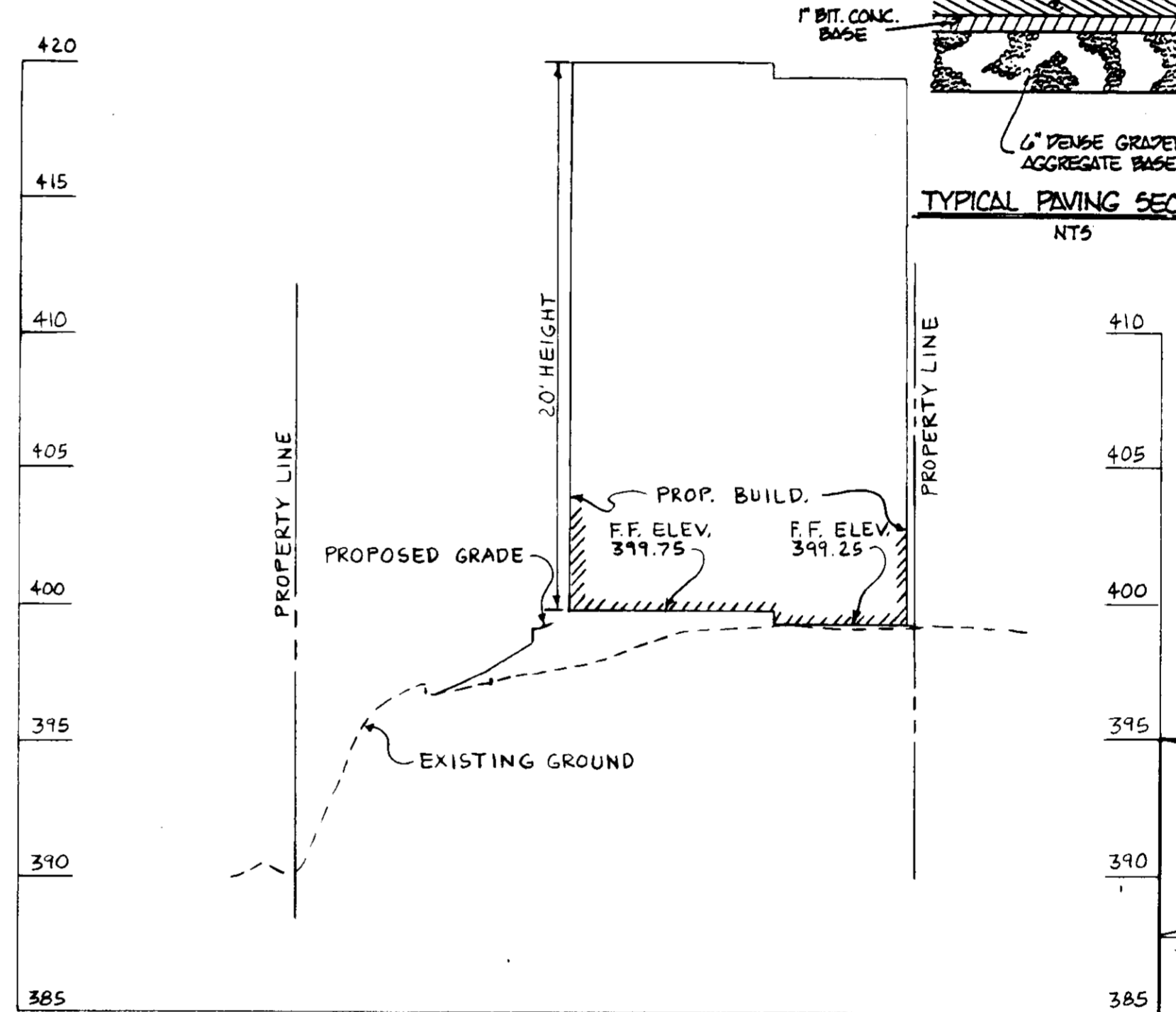
PROPOSED DUMPSTER ENCLOSURE
NOT TO SCALE



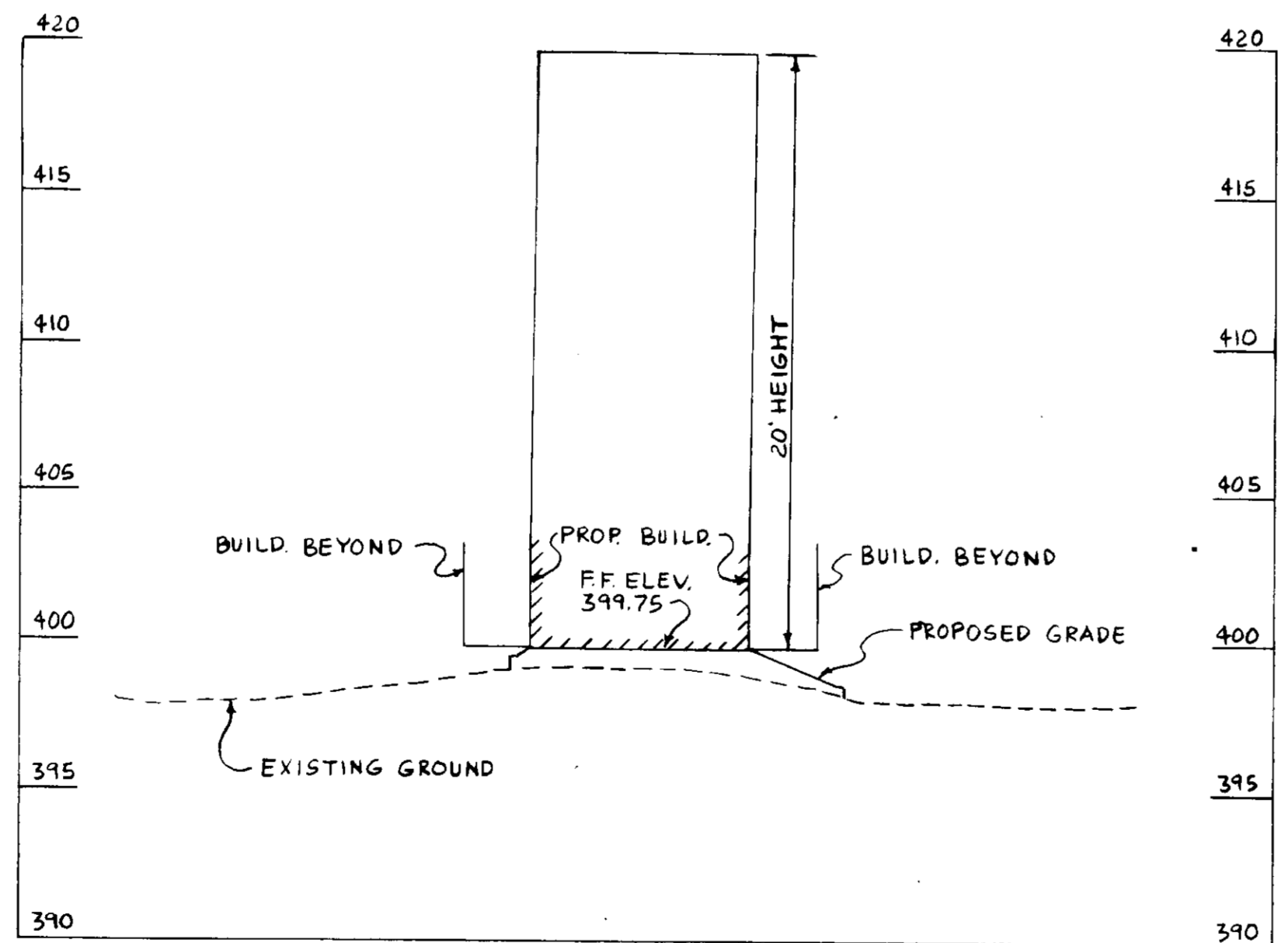
SOLID WASTE SERVICE PAD
NOT TO SCALE

GENERAL NOTES

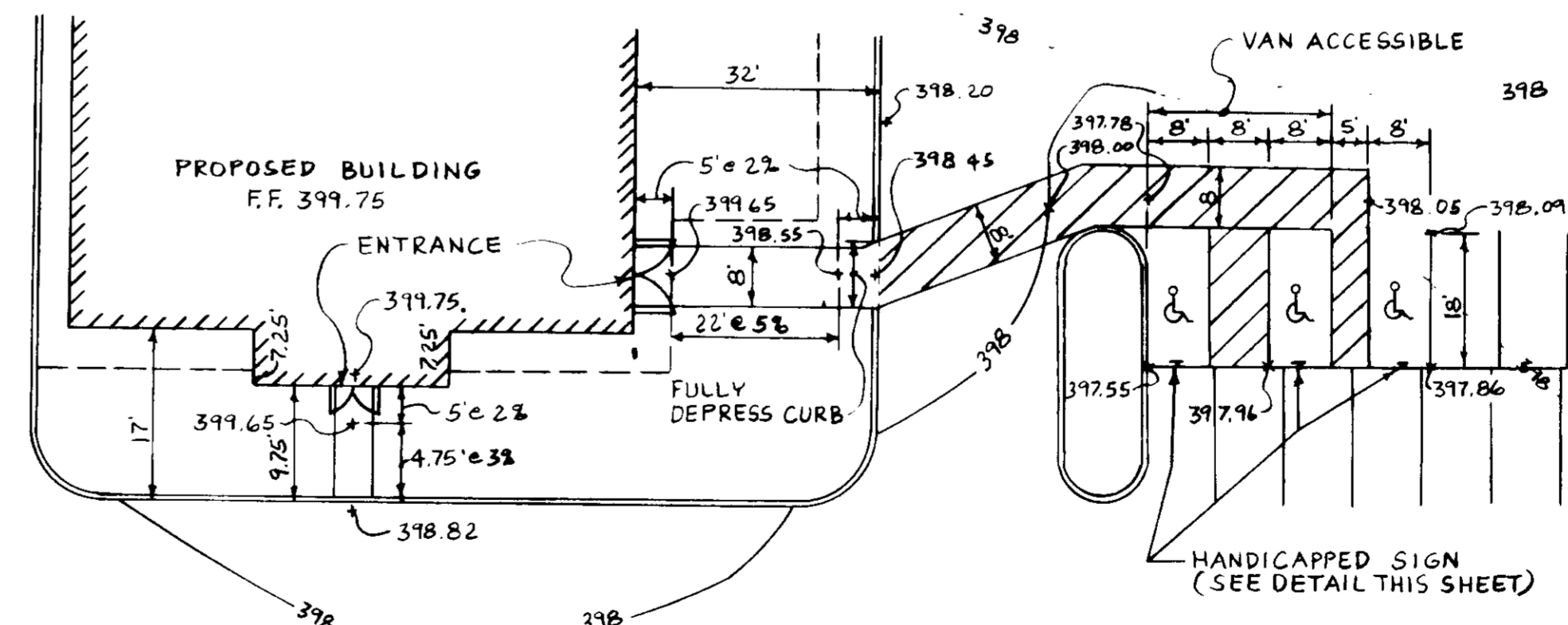
- BUILDING HEIGHT - 20'
- ALL AREAS NOT BEING PAVED OR BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY HOWARD COUNTY SOIL CONSERVATION DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHT OF WAY AND/OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN AT LEAST 2' BENCH BEHIND ALL CURBS AND GUTTER IN FULL AREAS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION.
- ALL SLOPES SHALL BE 2:1 OR FLATTER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARD AND SPECIFICATIONS OF HOWARD COUNTY.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1880.
- FOR DETAILS OF RAMPS AND SIGNS FOR THE HANDICAPPED, SEE THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND THE AGED AND AS SHOWN HEREON SEE SHEET 2 OF 5.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4' COVER OVER ALL PROPOSED WATER LINES.
- ALL RIP RAP SHALL BE PLACED ON FILTER CLOTH.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVING CURB AND GUTTER, ECT. THAT MAY INTERFERE WITH PROPOSED CONSTRUCTION.
- ALL UTILITIES INSTALLED SHALL RECEIVE FULL TRENCH COMPACTION.
- ALL WATER MAIN TEES, BENDS, CAPS, ECT. SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- STORM WATER MANAGEMENT FOR THIS SITE WAS APPROVED UNDER SOP 87-183, F88-108, AND SOP84-49 AND IS PROVIDED IN A REGIONAL RETENSION FACILITY ON PARCEL A-7 PLATS 8119 AND 8121 AND BY ONSITE UNDERGROUND FACILITY ON THIS PARCEL.



SECTION A
SCALE: HORIZ. = 1"=50'
VERT. = 1"=5'



SECTION B
SCALE: HORIZ. = 1"=50'
VERT. = 1"=5'



HANDICAPPED DETAIL
SCALE: 1"=20'

APPROVED FOR PUBLIC WATER & PUBLIC SEWAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

N/A COUNTY HEALTH OFFICER DATE

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John R. Robertson
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 9/6/96

PLAN NUMBER DATE

Reviewed for the Howard Conservation District and meets technical requirements.
J. H. Warfield
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 9/6/96

APPROVED: Howard County Department of Planning and Zoning
Richard Blood
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 9/12/96

David S. Smith
DIRECTOR
DATE: 9/12/96

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
A-28	8800 STANFORD BOULEVARD - BLDG. 'A'
A-28	8820 STANFORD BOULEVARD - BLDG. 'B'

SUBDIVISION NAME		SECTION NAME	PARCEL #
COLUMBIA CORPORATE PARK		N/A	A-28
PLAT #	BLOCK #	ZONE / ZONE MAP	ELECT. DIST.
12085	24	EC-ND	6
WATER CODE E06		SEWER CODE	5333000

SECTIONS, DETAILS & GENERAL NOTES
COLUMBIA CORPORATE PARK
PARCEL A-28 (FORMERLY PARCEL A-23)
FORD LEASING DEVELOPING COMPANY
BUILDING ADDITION
0PZ FILE NOS.: S-87-24, FDP117A-1, F72-90C, F87-43
F91-130, F89-248, F88-109, F93-90, F95-01, F96-90, SDP93-57, SDP94-49
ELECTION DISTRICT - 6 SHEET 2 OF 5
HOWARD COUNTY, MD. SCALE: 1" = 50'
MAY 21, 1996

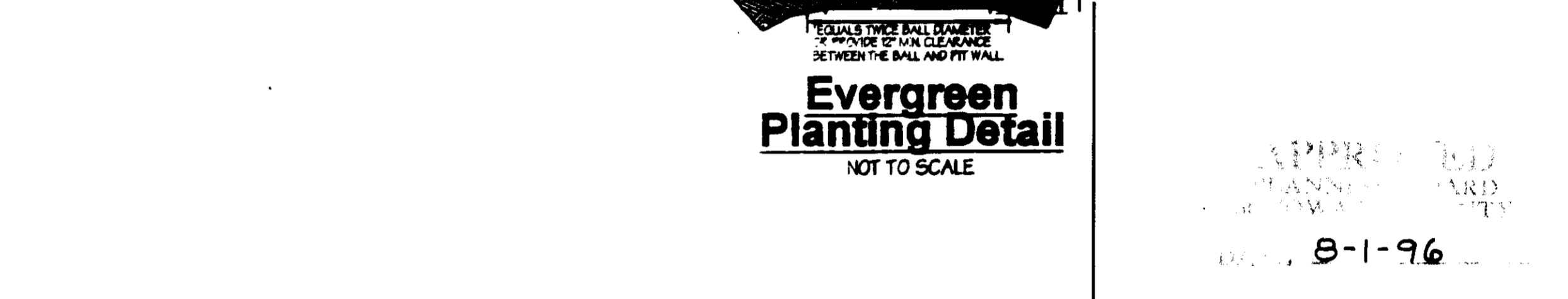
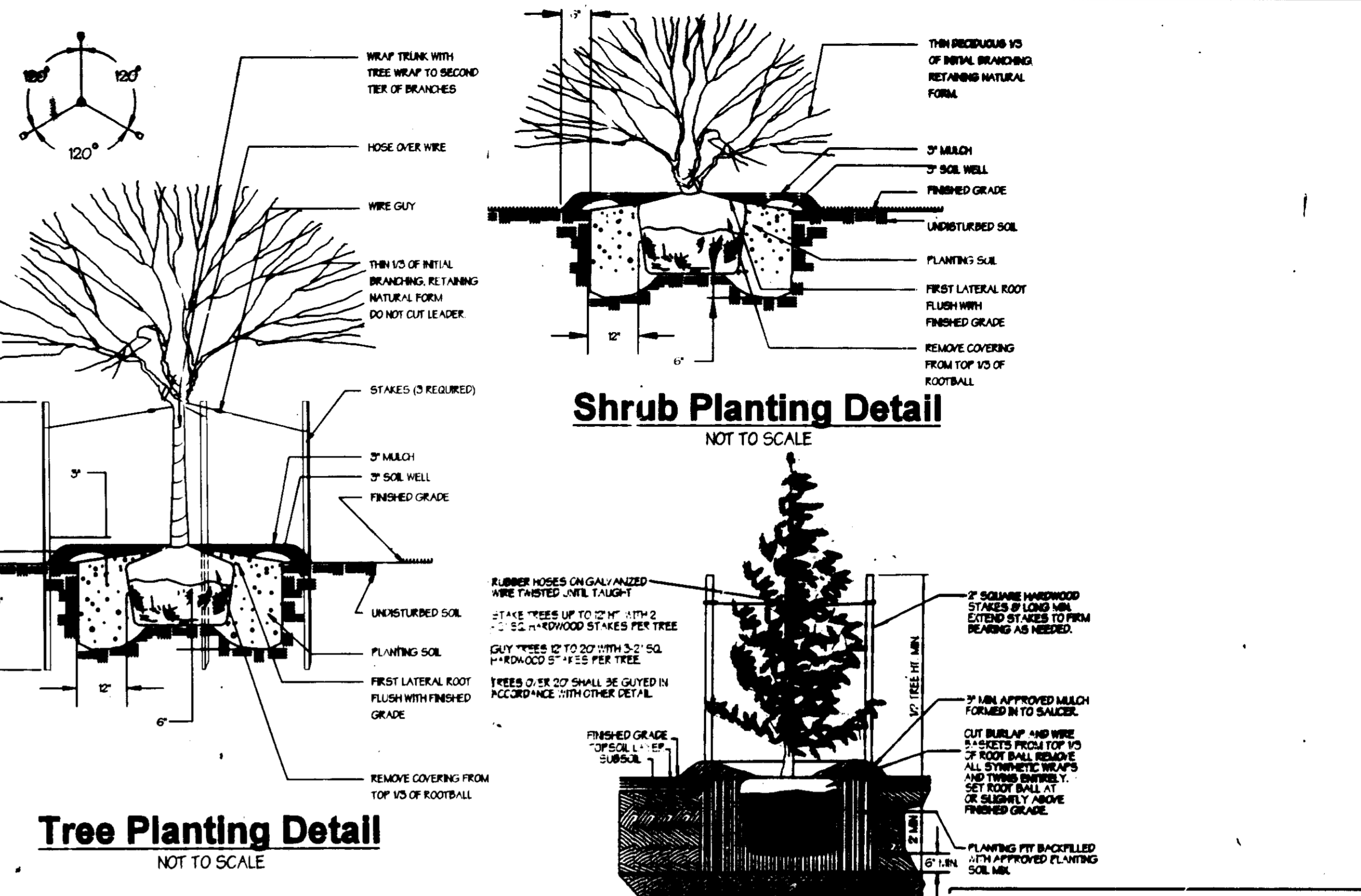
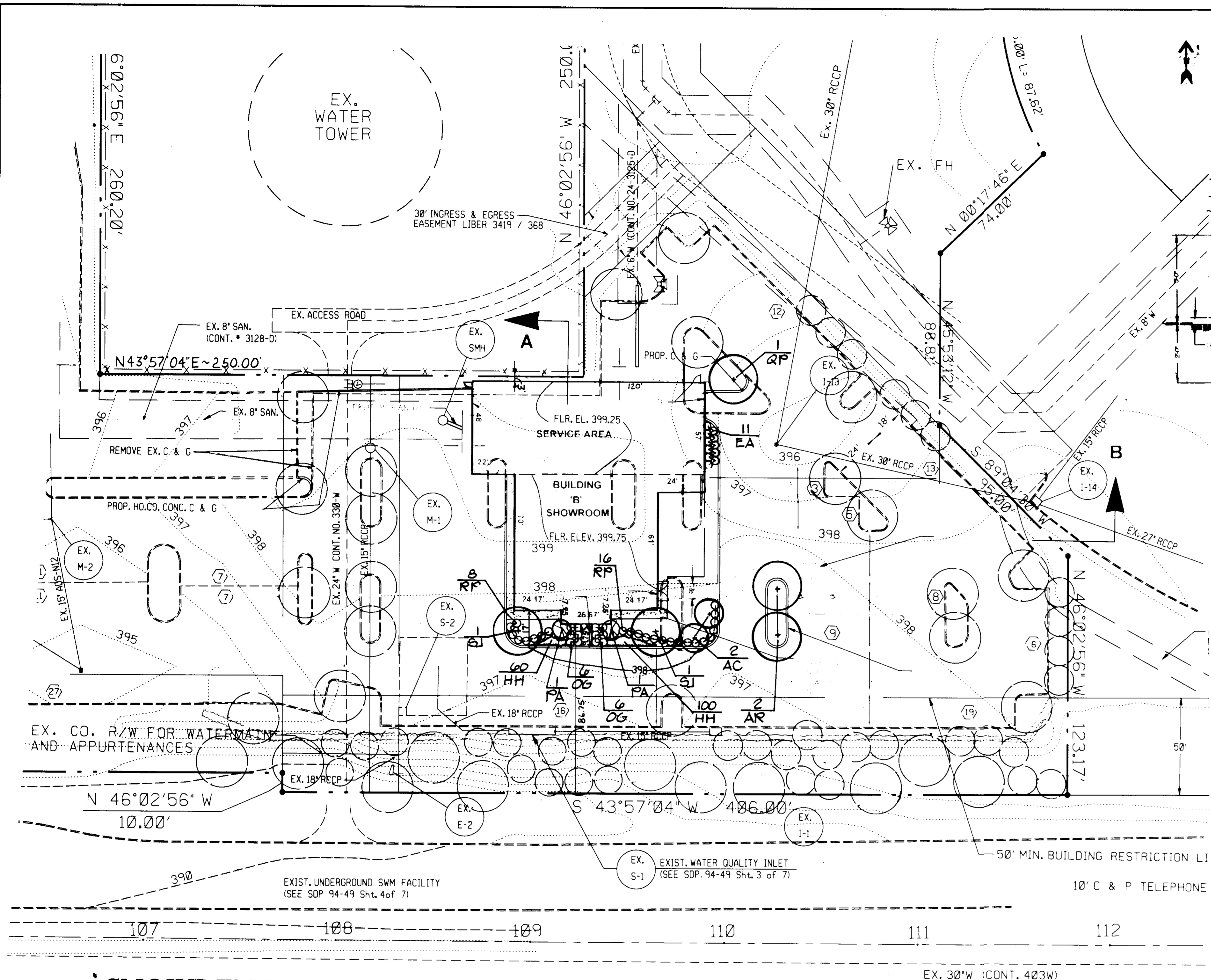
PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 826-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer: *Ray A. Swathow* Date: 6/4/96
Name: *AMER. J. SWATHOW*

DEVELOPER
MERRITT
2066 Lord Baltimore Drive
Baltimore, Maryland 21207
(410) 298-2600

OWNER
FORD LEASING AND DEVELOPMENT
1 PARKLANE BLVD. E. UNIT 1500
DEERBORN, MI 48126
(313) 337-1325

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer: *Richard L. Umbarger* Date: 8/22/96
Name: **RICHARD L. UMBARGER** PE: 10568



PLANTING NOTES
 PLANTING LOCATIONS SHALL BE SET AS SHOWN ON THIS PLAN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ALL UTILITIES AND STRUCTURES. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$300.00.

PLANT STANDARDS
 ALL PLANTS SHALL BE FULLY DEVELOPED AND HEALTHY. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

CHANGES MAY IMPACT REQUIRED CERTIFICATION
 ANY CHANGES TO THIS PLAN SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. ALL CHANGES SHALL BE IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

LANDSCAPE SPECIFICATIONS
 ALL PLANTS SHALL BE FULLY DEVELOPED AND HEALTHY. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

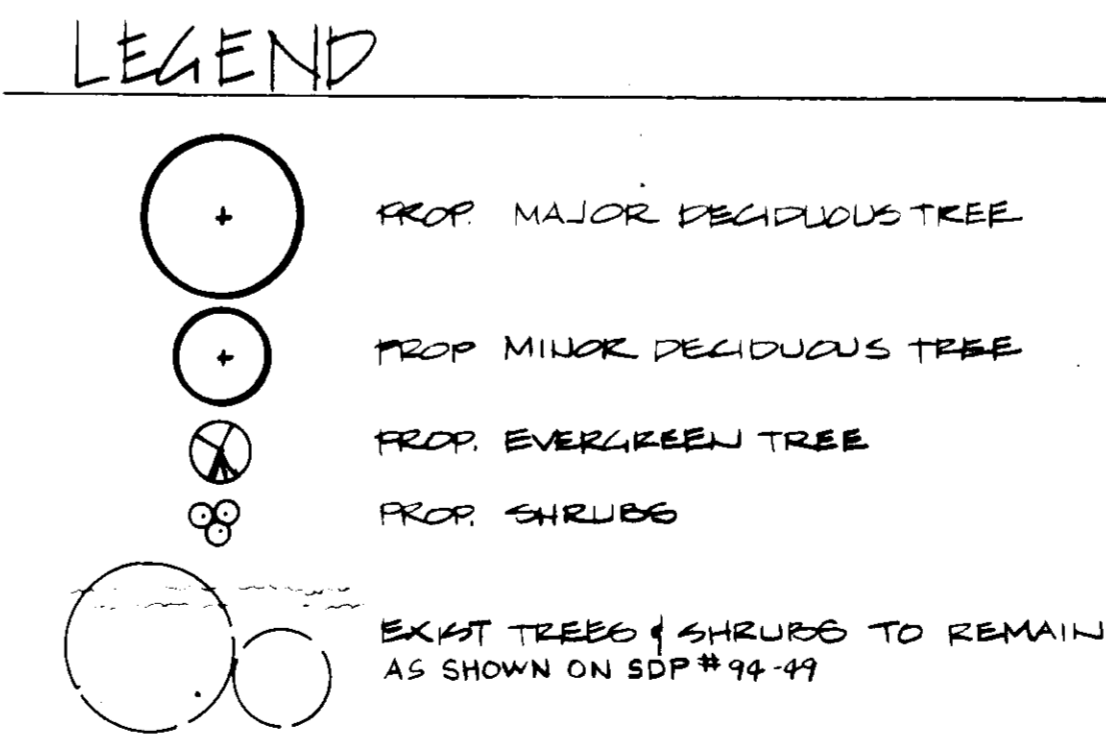
SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS
 ALL PLANTS SHALL BE FULLY DEVELOPED AND HEALTHY. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

SNOWDEN RIVER PARKWAY

Plan

SCALE: 1"=30'

KEY	QUANT.	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPACING	REMARKS
TREES					
AR	2	<i>Acer rubrum</i> 'Red Sunset' / Red Sunset Maple	2-2 1/2" cal. / B&B	as shown	full crown
OP	1	<i>Quercus phellos</i> / Willow Oak	2-2 1/2" cal. / B&B	as shown	full crown
SZ	2	<i>Sophora japonica</i> 'Regent' / Regent Scholartree	2-2 1/2" cal. / B&B	as shown	full crown
AC	2	<i>Amelanchier grandiflora</i> 'Lamarkii' / Lamarkii Serviceberry	7-8" ht. / B&B	as shown	multi-stem
PA	2	<i>Picea abies</i> / Norway Spruce	5-6" ht. / B&B	as shown	full to bare
SHRUBS					
RP	24	<i>Rhododendron P.J.M.</i> / P.J.M. Rhododendron	24-30" apr. / B&B	4' O.C.	
EA	11	<i>Euonymus alatus compacta</i> / Dwarf Winged Euonymus	24-30" apr. / cont.	4' O.C.	
OG	12	<i>Juniperus chinensis</i> 'Old Gold' / Old Gold Juniper	24-30" apr. / cont.	4' O.C.	
GROUND COVER					
HH	160	<i>Hedera helix</i> 'Balltica' / Hardy English Ivy	2 1/4" pots	12" O.C.	



NOTE:
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 668 Kenilworth Drive, Suite 100
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 (410) 825-8120

DEVELOPER CERTIFICATION:
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Developer Name: Guy J. Swartz Date: 6.4.96
 GUY J. SWARTZ

DEVELOPER
MERRITT
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21207
 (410) 298-2600

OWNER
FORD LEASING AND DEVELOPMENT
 1 PARKLANE BLVD. E. UNIT 1500
 DEERBORN, MI 48126
 (313) 337-1325

APPROVED FOR PUBLIC WATER & PUBLIC SEWAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

N/A COUNTY HEALTH OFFICER DATE

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John P. Robinson
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT 9/6/96

PLAN NUMBER DATE

Reviewed for the Howard Conservation District and meets technical requirements.

J. G. Wolf
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 9/6/96

APPROVED: Howard County Department of Planning and Zoning

Richard Blood
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH 9/12/96

Richard Blood
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH 9/12/96

John P. Robinson
 DIRECTOR 9/17/96

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
A-28	8800 STANFORD BOULEVARD - BLDG. 'A'
A-28	8820 STANFORD BOULEVARD - BLDG. 'B'

SUBDIVISION NAME: COLUMBIA CORPORATE PARK SECTION NAME: N/A PARCEL #: A-28

PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
12083	24	EC-ND	36	6	6067.03

WATER CODE E06 SEWER CODE 5333000

LANDSCAPE PLAN
COLUMBIA CORPORATE PARK
 PARCEL A-28 (FORMERLY PARCEL A-23)
 FORD LEASING DEVELOPING COMPANY
 BUILDING ADDITION
 0P2 FILE NOS.: S-87-24, FDP117A-1, F72-90C, F87-43
 F91-130, F89-248, F88-109, F93-90, F95-01, F96-90, SDP93-57, SDP94-49
 ELECTION DISTRICT: 6 SHEET 5 OF 5 SCALE: 1"=50'
 HOWARD COUNTY, MD. MAY 21, 1996

SDP-96-140 P.N.: 7354 NAME: landscape.dgn