

MATCH LINE SHEET 3 OF 14

BUILDING HEIGHT
60'±

EXISTING
STEEL FRAME BUILDING
w/ CONCRETE AND ALUMINUM VENEER

PARCEL "A-40"
2,121,362 sq.ft. OR 48.6998 Acres
F.F. ELEV.= 358.00

BUILDING HEIGHT
57'±

N 55°00'52" W

930.23' OWNER
PARCEL A-40 ASSOCIATES, LLC
8330 BOONE BOULEVARD
SUITE 460
VIENNA, VIRGINIA 22182

GATEWAY COMMERCE CENTER PARCEL "A-10" PLAT No. 10290
ZONED M-1

- LEGEND**
- CONCRETE
 - HEAVY DUTY ASPHALT
 - EX. STORM TO REMAIN
 - PROP. STORM
 - EX. SANITARY TO REMAIN
 - EX. CONTOURS
 - PROPOSED 1' CONTOURS
 - EX. TREES
 - BOLLARDS (FIRE HYDRANT PROTECTION)
 - 20' BG&E EASEMENT FOR DISTRIBUTION DUCT BANKS
 - EXISTING STORM DRAIN STRUCTURE
 - PROPOSED STORM DRAIN STRUCTURE
 - PROPOSED TRENCH DRAIN

COLUMBIA GATEWAY
PARCEL "A"
PLAT NOS 6812 & 6813
ZONED M-1

- GENERAL NOTES**
1. Plat Reference 12119-12121 recorded April 11, 1996.
 2. The proposed use of the existing building is warehouse storage.
 3. All existing utilities on this site are private unless otherwise noted.
 4. Adjust all manhole tops to elevations as shown on the profiles. Adjust all ex. structures to finished grade.
 5. test pit relocate w/m if required to maintain 3' cover.
 6. All field connections must be made in accordance with Howard County Design Manual, Volume Four.

APPROVED DEPARTMENT OF PLANNING AND ZONING
[Signature]
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 01/19/96
 DATE M.K.
 Anna Summerville
 CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH
 01/19/96
 DATE
 [Signature]
 DATE

Δ = 3830'46"
 P = 375.00'
 L = 252.07'
 Chd. = 247.35'
 Chd.Brg. = N 74°16'15" W

08°40'03"
 R = 740.00'
 L = 111.94'
 Chd. = 111.84'
 Chd.Brg. = N 78°38'48" W

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES

15200 Shady Grove Road
 Rockville, Maryland 20850
 (301) 948-2750

4407 Forbes Boulevard
 Lanham, Maryland 20706
 (301) 794-7555

258 West Patrick Street
 Frederick, Maryland 21701
 (301) 696-1240
 Metro (301) 831-4544

Designed	KM				
Drafted	HB/SMD				
Checked					
Proj. Eng.	KM				
OFFICE	LANHAM				
DATE	3/29/96	NO.		REVISIONS	BY DATE

SITE PLAN / DEMOLITION PLAN

GATEWAY COMMERCE CENTER
 PARCEL A-40
 TAX MAP 42
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**GATEWAY COMMERCE CENTER
 PARCEL A-40
 TAX MAP 42
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND**

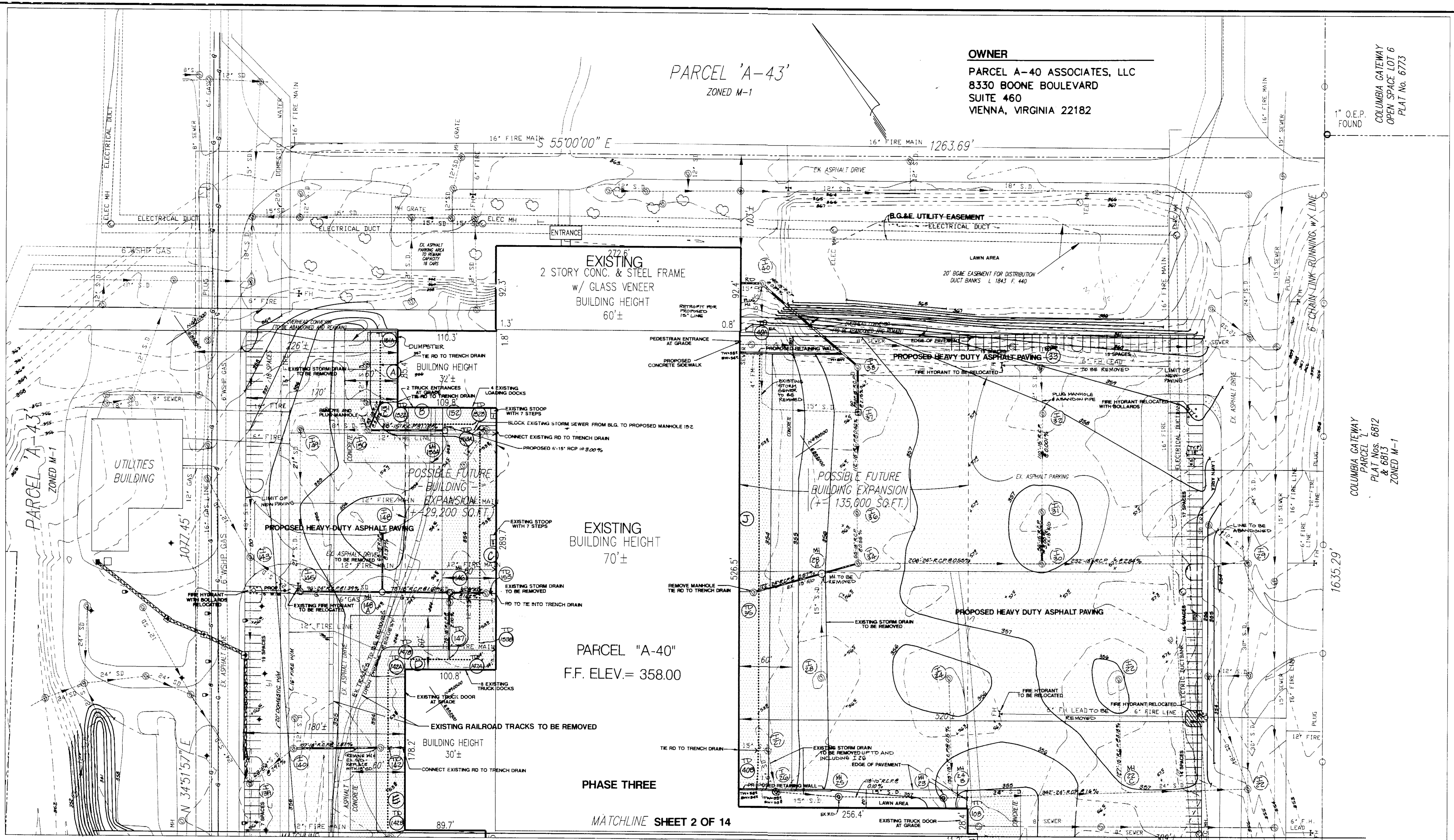
SCALE	1" = 50'
SHEET	2
OF 15 SHEETS	
JOB NO.	801-04

SDP-96-118

PARCEL 'A-43'
ZONED M-1

OWNER
PARCEL A-40 ASSOCIATES, LLC
8330 BOONE BOULEVARD
SUITE 460
VIENNA, VIRGINIA 22182

1" O.E.P. FOUND
COLUMBIA GATEWAY
OPEN SPACE LOT 6
PLAT No. 6773



COLUMBIA GATEWAY
PARCEL L
PLAT Nos. 6812
& 6813
ZONED M-1

PARCEL "A-40"
F.F. ELEV. = 358.00

PHASE THREE

MATCHLINE SHEET 2 OF 14

APPROVED DEPARTMENT OF PLANNING AND ZONING

John W. ...
CHIEF, DEVELOPMENT ENGINEERING DIVISION M.K. 10/19/96
Jim ...
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH 10/19/96
...
DIRECTOR 10/19/96

- LEGEND
- RECOVERY WELL
 - MONITORING WELL
 - TEMPORARY PIEZOMETER
 - RECOVERY TRENCHING
 - RECOVERY WELL VAULT

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258 West Patrick Street Frederick, Maryland 21701 (301) 696-1240 Metro (301) 831-4544

Designed	K.M.				
Drafted	HB/ΩMD				
Checked					
Proj. Eng.	K.M.				
OFFICE	LANHAM				
DATE	3/29/96	NO.	REVISIONS	BY	DATE

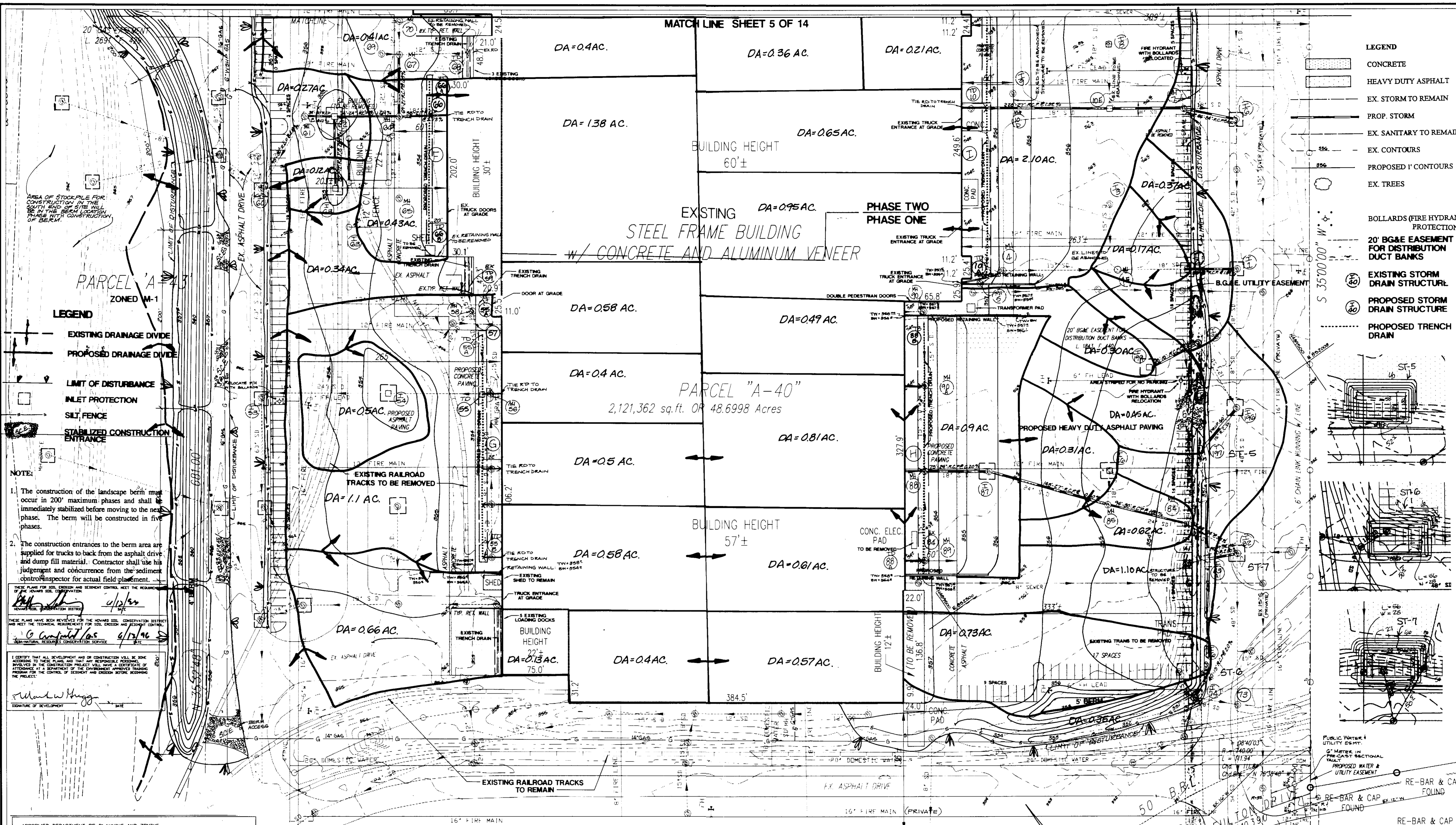
SITE PLAN / DEMOLITION PLAN

GATEWAY COMMERCE CENTER
PARCEL A-40
TAX MAP 42

6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE
1" = 50'
SHEET
3
OF 15 SHEETS
JOB NO.
801-04

SDP-96-118



- LEGEND**
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 - HEAVY DUTY ASPHALT
 - EX. STORM TO REMAIN
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 - PROPOSED STORM DRAIN STRUCTURE
 - PROPOSED TRENCH DRAIN

- LEGEND**
- EXISTING DRAINAGE DIVIDE
 - PROPOSED DRAINAGE DIVIDE
 - LIMIT OF DISTURBANCE
 - INLET PROTECTION
 - SILT FENCE
 - STABILIZED CONSTRUCTION ENTRANCE

- NOTES**
- The construction of the landscape berm must occur in 200' maximum phases and shall be immediately stabilized before moving to the next phase. The berm will be constructed in five phases.
 - The construction entrances to the berm area are supplied for trucks to back from the asphalt drive and dump fill material. Contractor shall use his judgement and concurrence from the sediment control inspector for actual field placement.

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE COVERED USE CATEGORY.

[Signature] 6/19/96 DATE

[Signature] 6/19/96 DATE

[Signature] 6/19/96 DATE

APPROVED DEPARTMENT OF PLANNING AND ZONING

[Signature] 6/19/96 DATE

[Signature] 6/19/96 DATE

[Signature] 6/19/96 DATE

OWNER

PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182

GATEWAY COMMERCE CENTER
 PARCEL 'A-10' PLAT NO. 10390
 ZONED M-1

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 12/20/96 DATE

THIS SHEET IS FOR EROSION AND SEDIMENT CONTROL ONLY

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING ENVIRONMENTAL STUDIES

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 (301) 794-7555

258 West Patrick Street
 Frederick, Maryland 21701
 (301) 696-1240
 Metro (301) 831-4544

DESIGNED	DRAWN	CHECKED	DATE
KM	HB/SMD		3/29/96
Proj. Eng.	KM		
OFFICE	LANHAM		
DATE			

EROSION AND SEDIMENT CONTROL PLAN

GATEWAY COMMERCE CENTER
 PARCEL A-40
 TAX MAP 42
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE 1" = 50'

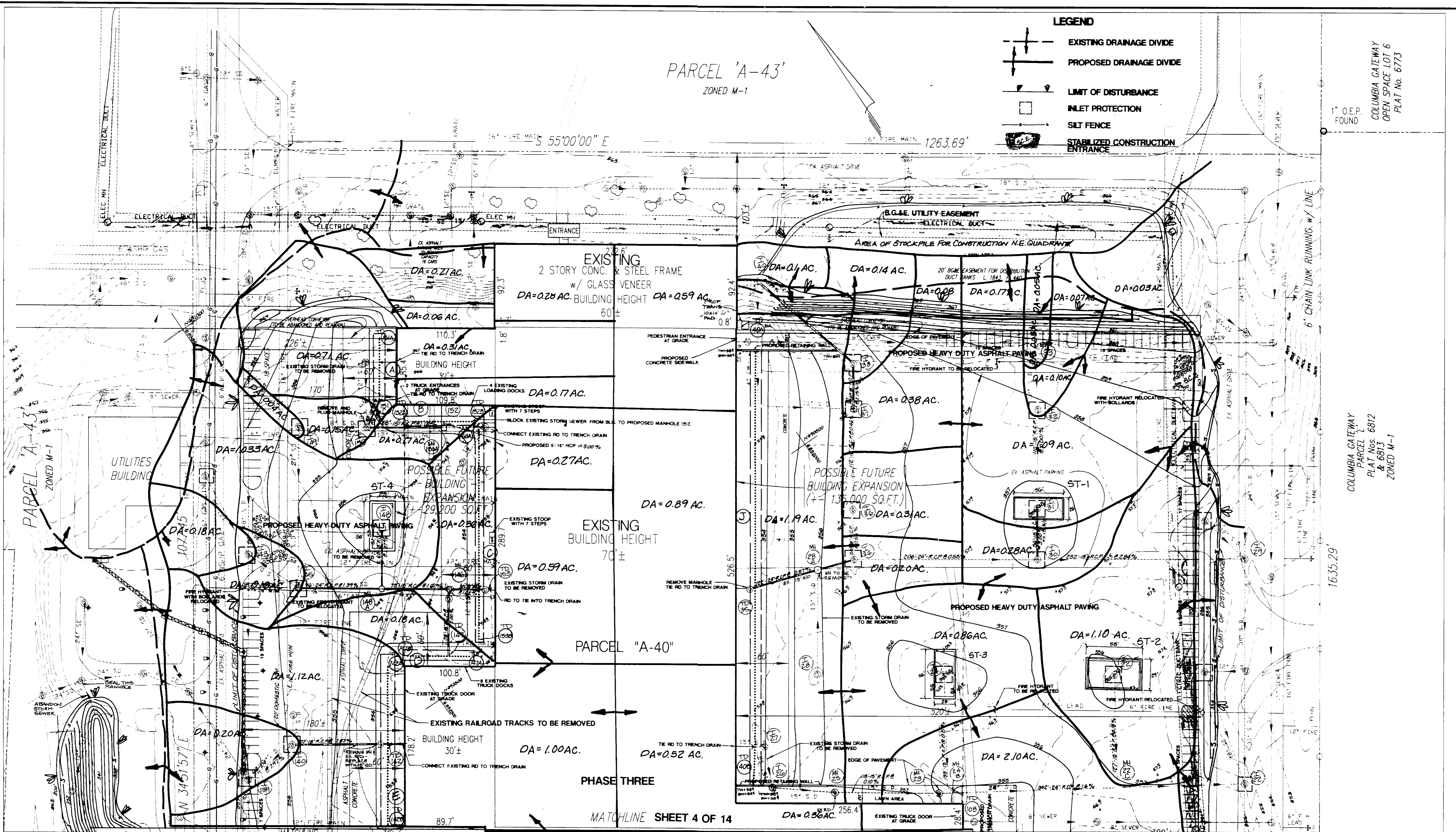
SHEET 4 OF 15 SHEETS

JOB NO. 801-04

LEGEND

- EXISTING DRAINAGE DIVIDE
- PROPOSED DRAINAGE DIVIDE
- LIMIT OF DISTURBANCE
- INLET PROTECTION
- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE

PARCEL 'A-43'
ZONED M-1



1" O.E.P. FOUND
COLUMBIA GATEWAY
OPEN SPACE LOT 6
PLAT No. 6773

COLUMBIA GATEWAY
PARCEL L
PLAT Nos. 6812
& 6813
ZONED M-1

PARCEL "A-40"

PHASE THREE

MATCHLINE SHEET 4 OF 14

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 6/13/96 DATE
HOWARD SOIL CONSERVATION DISTRICT

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

[Signature] 6/13/96 DATE
USDA-NATURAL RESOURCES CONSERVATION SERVICE

I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

[Signature] DATE
SIGNATURE OF DEVELOPMENT

APPROVED DEPARTMENT OF PLANNING AND ZONING

[Signature] 6/19/96 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION, M.K.

[Signature] 6/19/96 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH

[Signature] 6/19/96 DATE
DIRECTOR

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 12/22/96 DATE
SIGNATURE OF ENGINEER

OWNER
PARCEL A-40 ASSOCIATES, LLC
8330 BOONE BOULEVARD
SUITE 460
VIENNA, VIRGINIA 22182

THIS SHEET IS FOR EROSION AND SEDIMENT CONTROL ONLY

LOIEDERMAN ASSOCIATES, INC.
CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
ENVIRONMENTAL STUDIES

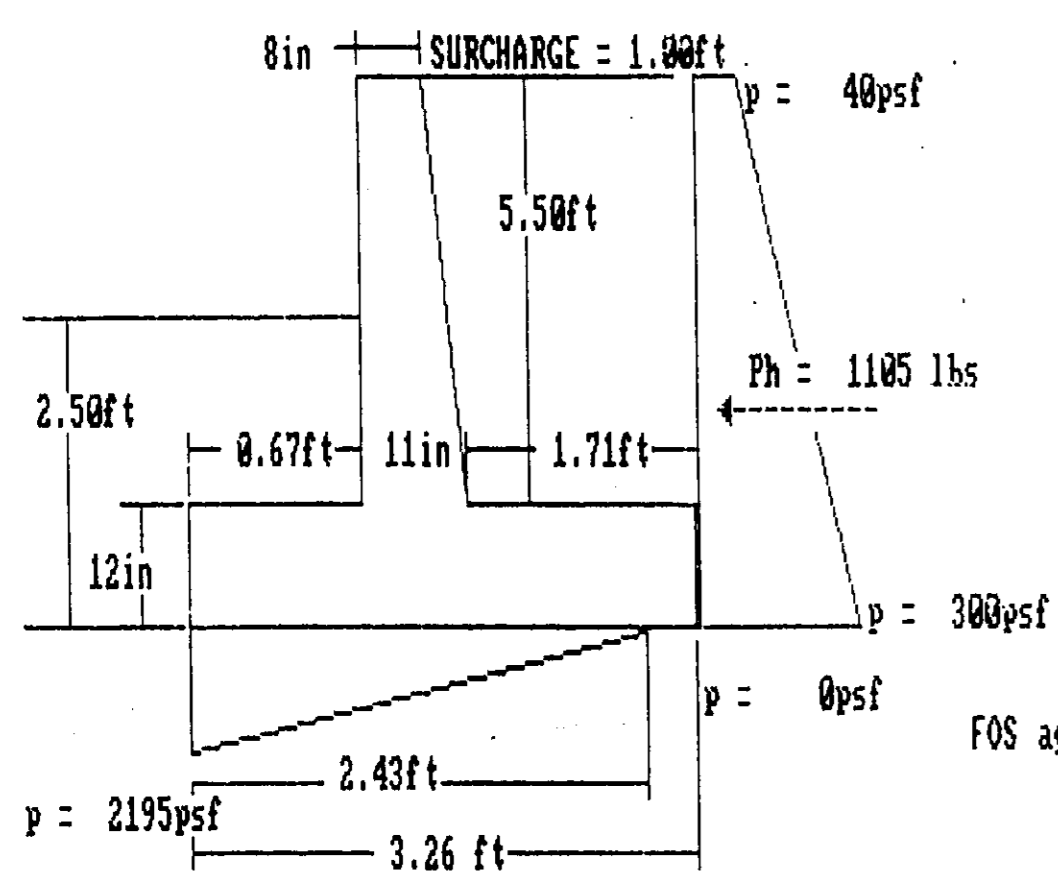
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Designed	KM
Drafted	HB/SMD
Checked	
Proj. Eng.	KM
OFFICE	LANHAM
DATE	3/29/96
NO.	
REVISIONS	
BY	
DATE	

EROSION AND SEDIMENT CONTROL PLAN

GATEWAY COMMERCE CENTER
PARCEL A-40
TAX MAP 42
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE	1" = 50'
SHEET	5
OF 15 SHEETS	
JOB NO.	801-04



SOIL DATA
 $\gamma_s = 120.0 \text{ pcf}$
 $\phi = 30.0^\circ$
 $c = 0.30$
 $K_a = 0.333$
 $K_p = 3.000$
 $\gamma_{ALL} = 3000 \text{ psf}$

FOS against OT = 1.81

TADLER-COHEN-EDLSON ASSOCIATES, INC.
 PROJECT: GATEWAY COMMERCE CENTER
 REINFORCED CONCRETE DESIGN SPECS
 2000 psi 4000 psi Load Factor LL Load Factor DL
 STEM DESIGN

FT	h	c	p	p/pb	Req'd A _s	A _s (MIN)	T _{AS}
10	10.00	0.0000	0.0000	0.00	0.00	0.00	0.00
11	11.00	0.0000	0.0000	0.00	0.00	0.00	0.00
12	12.00	0.0000	0.0000	0.00	0.00	0.00	0.00

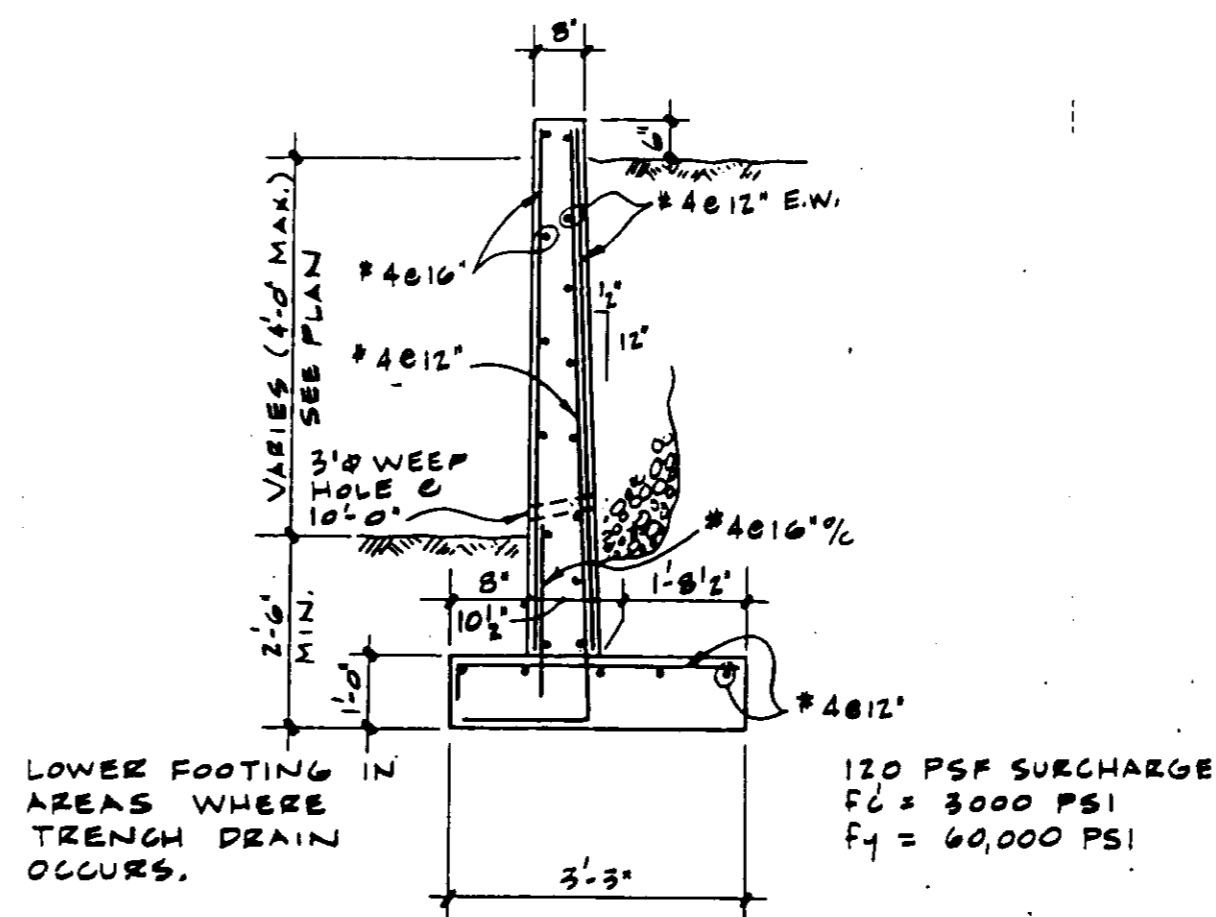
CHECK SHEAR: $V_u = 1.46 \text{ kips}$ $sV_n = 8.65 \text{ kips}$
 SHEAR REINFORCEMENT: $\rho_{smin} = 0.004$
 TOE DESIGN

FT	h	d	p	p/pb	Req'd A _s	A _s (MIN)	T _{AS}
11	11.00	8.40	0.00017	0.01	0.02	0.54	0.32

CHECK SHEAR: $V_u = -0.10 \text{ kips}$ $sV_n = 9.39 \text{ kips}$
 HEEL DESIGN

FT	h	d	p	p/pb	Req'd A _s	A _s (MIN)	T _{AS}
12	12.00	8.40	0.00053	0.02	0.06	0.58	0.35

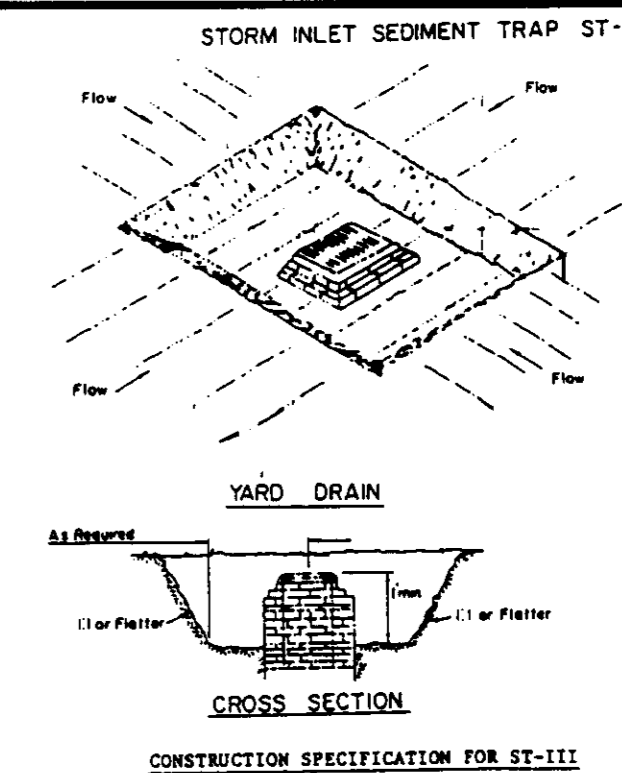
CHECK SHEAR: $V_u = 2.29 \text{ kips}$ $sV_n = 10.50 \text{ kips}$
 PASSIVE PRESSURE AT TOE IS SUFFICIENT
 CONCRETE QUANTITY
 The Volume of CONCRETE is 0.28 CY/foot



TADLER-COHEN-EDLSON ASSOC. INC.
 CONSULTING STRUCTURAL ENGINEERS
 1100 Spring St.
 (301) 287-1920
 (301) 284-1928 FAX

SUITE 410
 Silver Spring
 MD 20910

PROJECT: GATEWAY WAREHOUSE
 SUBJECT: RETAINING WALL DETAIL
 SHEET: 11 DATE: 5-13-96 SCALE: 1/4"=1'-0" PROJ. NO. 246050



- CONSTRUCTION SPECIFICATION FOR ST-III
- Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to 1/4 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
 - The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.
 - The structure shall be inspected after each rain and repairs made as needed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
 - The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
 - All cut slopes shall be 1:1 or flatter.

Maximum Drainage Area: 3 Acres
 U.S. DEPARTMENT OF AGRICULTURE
 SOIL CONSERVATION SERVICE
 COLLEGE PARK, MARYLAND

STORM INLET
 SEDIMENT TRAP

STANDARD DRAWING
 ST-III

SOIL DUST CONTROL

Definition
 Controlling dust blowing and movement on construction sites and roads.
 Erosion
 To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.
 Conditions Where Practice Applies
 This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.
 Justification
 Temporary Methods

- Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, silt fences, snow fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need retreatment.

 Permanent Methods

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsoiling - Covering with less erosive soil materials. See standards for topsoiling.
- Stone - Cover surface with crushed stone or coarse gravel.

 References

- Agriculture Handbook 346. Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
- Agriculture Information Bulletin 354. How to Control Wind Erosion. USDA-ARS. H-30-1

APPROVED DEPARTMENT OF PLANNING AND ZONING
 [Signature] 6/19/96
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MLK DATE

[Signature] 6/19/96
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

[Signature] 6/19/96
 SUPERVISOR DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 6/13/96
 HOWARD SOIL CONSERVATION DISTRICT DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
 [Signature] 6/14/96
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
 [Signature] DATE

OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182

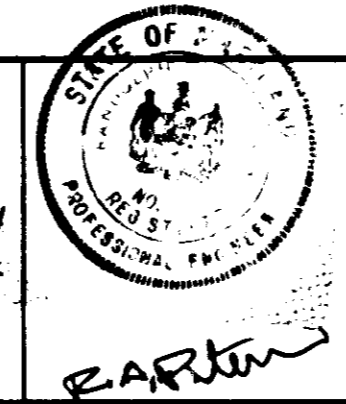
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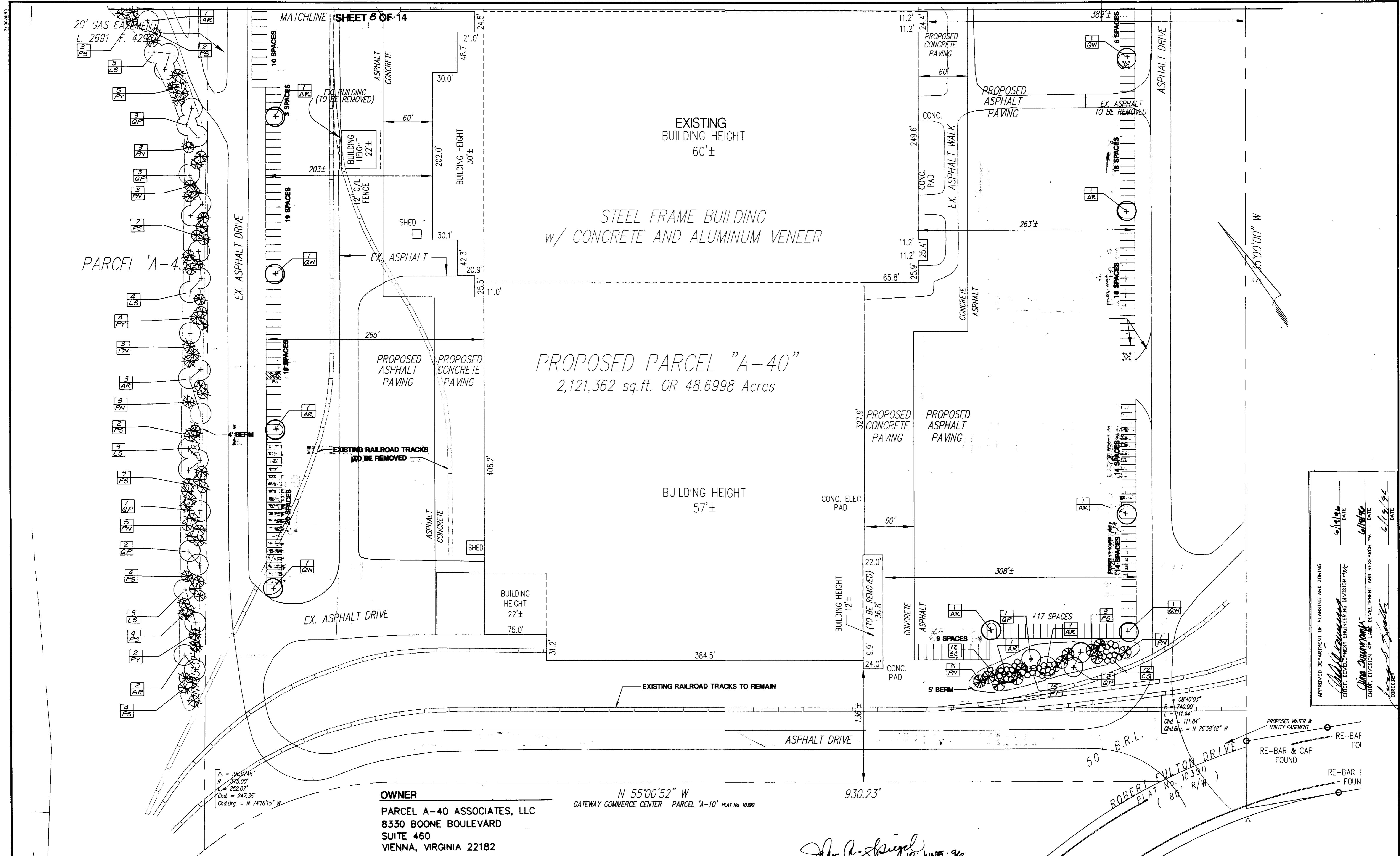
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EROSION AND SEDIMENT CONTROL NOTES AND DETAILS/ CONSTRUCTION DETAILS



GATEWAY COMMERCE CENTER
 PARCEL A - 40
 TAX MAP 42
 6th ELECTION DISTRICT HOPKIN COUNTY, MARYLAND

SCALE AS SHOWN
 SHEET 7 OF 15 SHEETS
 JOB NO. 801-04



OWNER
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 8330 BOONE BOULEVARD
 SUITE 460
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N 55°00'52" W
 GATEWAY COMMERCE CENTER PARCEL 'A-10' PLAT No. 10390

50' B.R.L.
 ROBERT FULTON DRIVE
 PLAT No. 10390
 (80' R/W)

$\Delta = 3830'46"$
 $R = 578.00'$
 $L = 252.07'$
 $Chd. = 247.35'$
 $Chd.Brg. = N 74°16'15" W$

APPROVED DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
 DATE 6/14/96
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Designed	JAS			
Drafted	SMD			
Checked				
Proj. Eng.	JAS			
OFFICE	LANHAM			
DATE	MARCH, 1996	NO.	REVISIONS	BY DATE

LANDSCAPE PLAN

John A. Spiegel
 10 JUNE 96

STATE OF MARYLAND
 JOHN ALAN SPIEGEL
 No. 934
 LANDSCAPE ARCHITECT

20 - MARCH - 96

GATEWAY WAREHOUSE
 PARCEL A-40
 GATEWAY COMMERCE CENTER
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

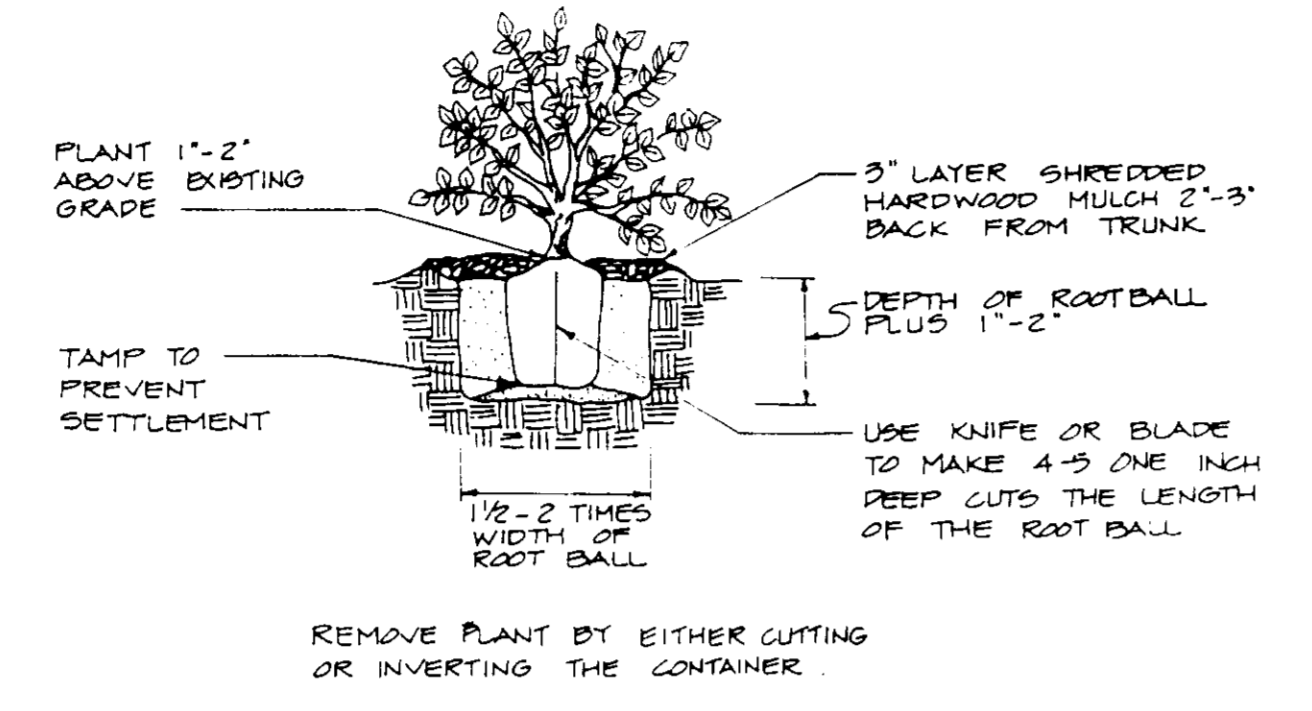
SCALE
 1" = 50'

SHEET
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 OF 15 SHEETS

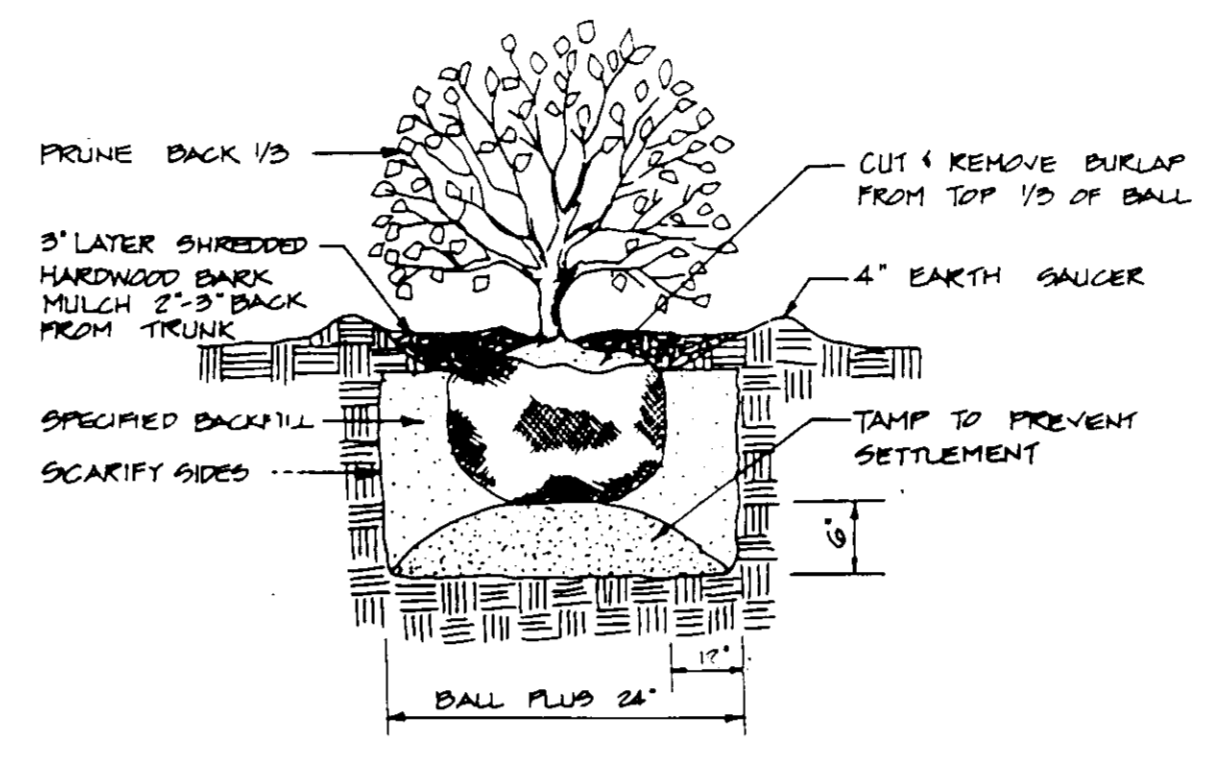
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PLANTING NOTES

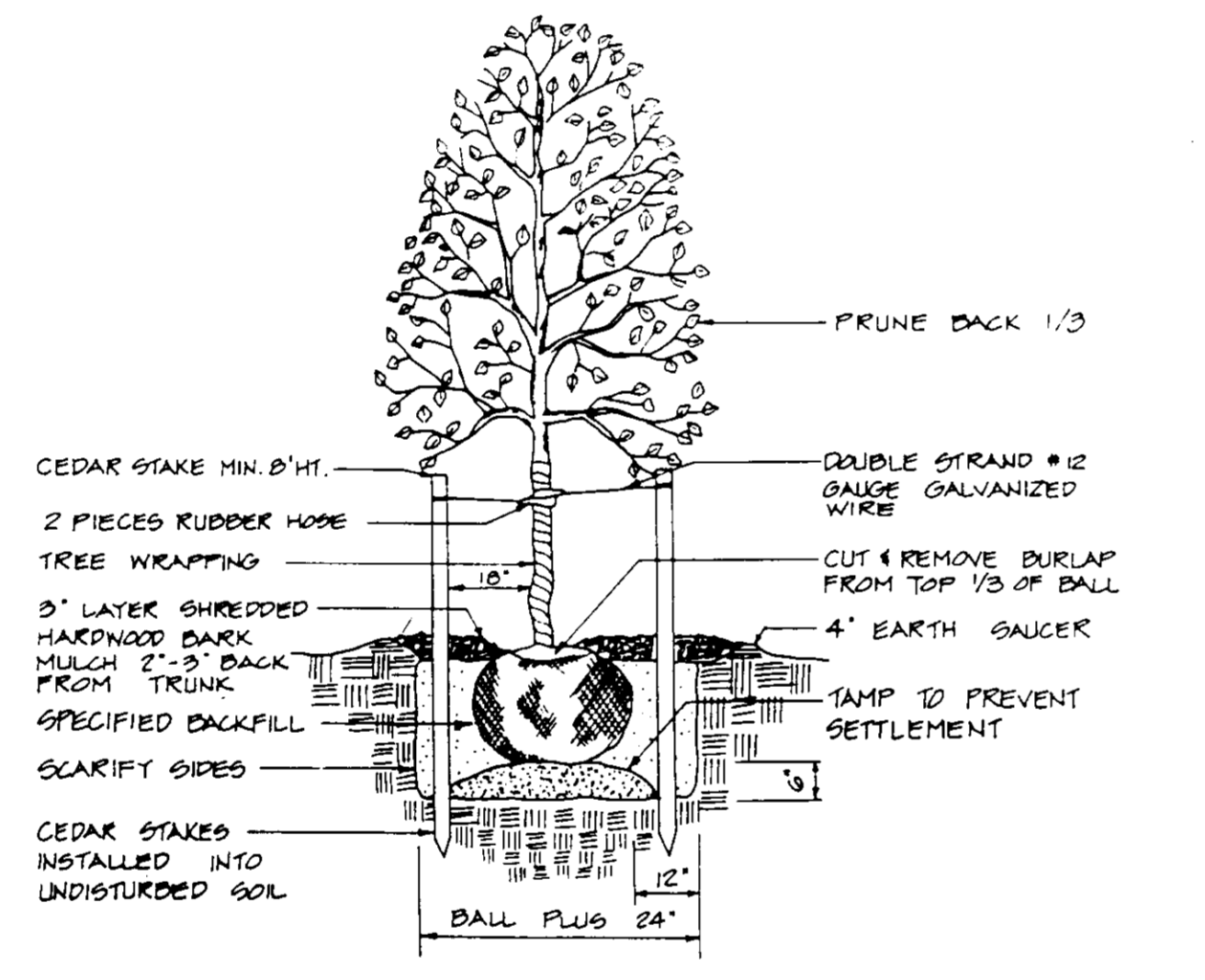
- PRIOR TO CONSTRUCTION OR EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES, UTILITY RIGHT OF WAYS, ETC. ...
- CONTRACTOR TO VERIFY QUANTITIES SHOWN ON PLANT LIST TOTALS TO THOSE INDICATED ON THE PLAN. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF QUANTITIES AS DRAWN. NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID NEGOTIATION OF ANY DISCREPANCIES IN PLANT COUNT. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS PROVIDED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER AN STANDARD. PLANTS TO BE PROVIDED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.
- UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE OWNER AT BIDDING TIME.
- CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. LANDSCAPE ARCHITECT SHALL BE NOTIFIED SHOULD THE RELOCATION OF PROPOSED PLANTS BE NECESSARY.
- ALL TREES AND SHRUBS TO BE IN MULCHED BEDS. MULCH TO BE SHREDDED HARDWOOD BARK. BEDS TO HAVE SMOOTHLY CONTOURED EDGES, CLEARLY DEFINED AND SHALL GENERALLY FOLLOW THE CONTOUR OF THE GROUND. TREES LOCATED WITHIN 4' OF SHED BEDS SHALL SHARE SAME MULCH BED.
- ALL TREES TO BE LOCATED A MINIMUM OF 1' FROM BUILDINGS. ALL PLANTING SHOULD BE A MINIMUM OF 4' FROM FIRE HYDRANTS.
- FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPED DRAINAGE AWAY FROM BUILDING.
- IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF ADJACENT PLANS, CONTRACTOR TO CONTACT OWNER FOR RESOLUTION PRIOR TO PLANT INSTALLATION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER MAY RESULT IN CONTRACTOR'S RELOCATION OF THE PLANTS AT HIS OWN EXPENSE.
- ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY OWNER. OWNER SHALL RECEIVE TAG FROM EACH SPECIES AND A COMPLETE LIST OF PLANT SUPPLIERS.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF ALL DISEASE, INSECT EGGS AND LARVAE.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE FULL TIES WHICH ARE HEALTHY AND VIGOROUS. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.
- TAGS AND TRINE ARE TO BE REMOVED AND BURLAP IS TO BE PEELED BACK FROM THE TOP OF ALL B&B PLANT MATERIAL ROOT BALS.
- SHRUBS, GROUNDCOVERS, AND SEASONAL COLOR SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON THE PLANT LIST AND SHALL RECEIVE MULCH AS SPECIFIED IN DETAILS.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "CROTCHES" THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE BURNED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT MAY RESULT IN REJECTION OF THAT PLANT.
- PLANTS SHALL BE PLANTED 1/2" HEIGHT OF ROOT BALL HIGHER (AFTER SETTLING) THAN ADJACENT POSITIVELY GRADED GRADE.
- WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- TREE STAKING AND CAPPING SHALL BE INSTALLED PER DETAILS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIES TO REMAIN STRAIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- SUBSTITUTIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO AVAILABILITY OR CURRENT NURSERY STOCK. SUBSTITUTIONS SHALL BE EQUIVALENT IN SIZE, FORM, TEXTURE AND GENERAL QUALITY TO PLANTS SPECIFIED ON PLANT LIST.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE OWNER. FAILURE TO OBTAIN APPROVAL OF SUBSTITUTIONS IN WRITING FROM THE OWNER MAY POSSIBLY RESULT IN CONTRACTOR'S LIABILITY.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- AT ALL PLANTED MEDIAN STRIPS AND ISLANDS CONTRACTOR TO BURN 8" HEIGHT WITH TOPSOIL SUPPLIED ON SITE. CONTACT OWNER TO INSPECT FINE GRADING OF THESE AREAS PRIOR TO SEEDING, MULCHING, PLANTING, AND TACKLING.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS, SOIL, AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY (ESPECIALLY ALL CURB, GUTTERS, AND SIDEWALKS DAILY).
- CONTRACTOR SHALL BE RESPONSIBLE TO REGRADE, HYDRO-SEED, STRAW MULCH, AND TACK ALL AREAS DISTURBED AS THE RESULT OF HIS WORK TO EQUAL OR BETTER CONDITION WITHIN 5 DAYS OF EACH AREA DISTURBED.
- INSTALLATION OF ALL LANDSCAPE RELATED MATERIALS SHALL BE IN CONFORMANCE WITH LCMH/ASLA "LANDSCAPE SPECIFICATION GUIDELINES."
- ALL PLANT MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR 12 MONTHS COMMENCING ON THE DATE OF ACCEPTANCE.
- ALL DECIDUOUS TREES OVER 2" CALIPER AND EVERGREEN TREES SHALL BE GUYED SECURELY WITH GUY WIRES SPACED EQUALLY ABOUT EACH TREE. SEE DETAIL.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT PAVED, PLANTED, OR CALLED OUT AS SOI SHALL BE SEEDED WITH KENTUCKY 31 AT A RATE OF 9 LBS./1000 SF. AFTER THE AREAS HAVE BEEN BROUGHT TO GRADE, THE SUBGRADE, SHALL BE LOOSENEED BY DISKING OR BY SCARIFYING TO A DEPTH OF AT LEAST 2 INCHES.
- SOD SHALL BE APPROVED KENTUCKY 31 BLUEGRASS MIX.



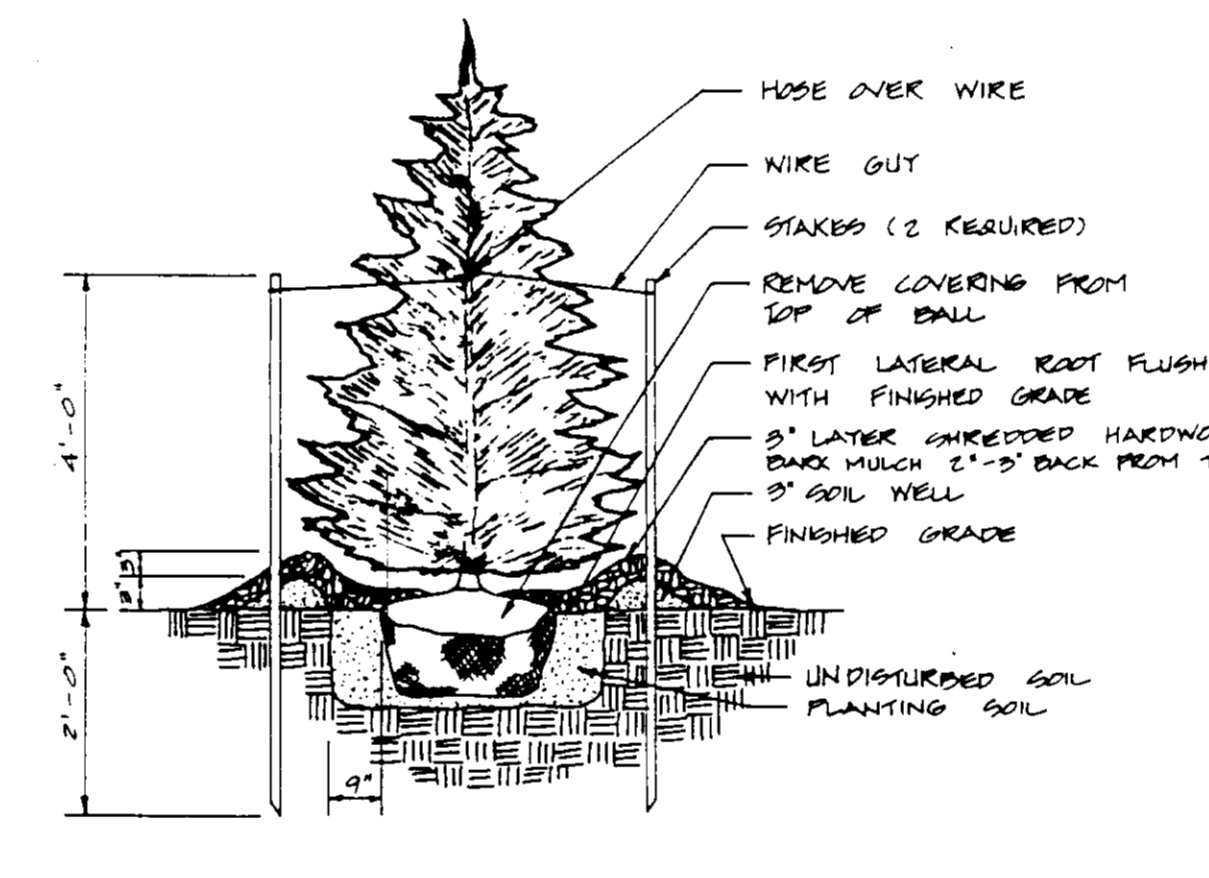
DETAIL - CONTAINERIZED PLANT PLANTING
NO SCALE



DETAIL - SHRUB PLANTING
NO SCALE



DETAIL - TREE PLANTING
NO SCALE



DETAIL - EVERGREEN TREE PLANTING
NO SCALE

PLANT SCHEDULE

KEY	BOTANICAL / COMMON	QUANT	SIZE	REMARK
AR	ACER RUBRUM / RED MAPLE	19	2 1/2-3" CAL.	B+B
LG	LIQUIDAMBAR STYRACIFLUM / SWEETGUM	13	2 1/2-3" CAL.	B+B
PN	PINUS NIGRA / AUSTRIAN PINE	26	6-8' HGT.	B+B
PS	PINUS STROBUS / WHITE PINE	43	6-8' HGT.	B+B
PY	PINUS SYLVESTRIS / SCOTCH PINE	11	6-8' HGT.	B+B
QP	QUERCUS PALUSTRIS / PIN OAK	15	2 1/2-3" CAL.	B+B
CS	CORNUS STOLONIFERA / RED-OSIER DOGWOOD	12	2 1/2-3" HGT.	B+B OR CONT.
FI	FORSYTHIA INTERMEDIA SPECTABILIS / SHONY BORDER FORSYTHIA	15	2-2 1/2' HGT.	B+B OR CONT.
SC	SAMBUCUS CANADENSIS AUREA / GOLDEN ELDER	12	2 1/2-3" HGT.	B+B OR CONT. 1
QW	QUERCUS PHELLOS / WILLOW OAK	7	2 1/2-3" CAL.	B+B

APPROVED DEPARTMENT OF PLANNING AND ZONING

Allen Dammann 6/19/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION M.K. DATE

Uma Swamy 6/19/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

James R. Smith 6/19/96
DIRECTOR DATE

SCHEDULE A - PERIMETER LANDSCAPE EDGE*

CATEGORY	NORTH BOUNDARY PERIMETER	SOUTH BOUNDARY PERIMETER	EAST BOUNDARY PERIMETER	WEST BOUNDARY PERIMETER
LANDSCAPE TYPE	TYPE C BUFFER	TYPE C BUFFER	TYPE C BUFFER	TYPE C BUFFER
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	1263.69'	930.23'	1635.29'	1077.45'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED:				
SHADE TREES	10	12	33	33
EVERGREEN TREES	20	24	65	65
SHRUBS	-	-	-	-
NUMBER OF PLANTS PROVIDED:				
SHADE TREES	13 EXIST. TREES	5	-	33
EVERGREEN TREES (2:1 SUBST.)	-	9	-	71
SHRUBS (10:1 SUBST.)	-	39	-	-
DESCRIBE PLANT SUBSTITUTION (DESCRIBE BELOW IF NEEDED)				

*COMMENTS:
SCHEDULES A & B SUBJECT TO ALTERNATIVE COMPLIANCE.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING*

NUMBER OF PARKING SPACES	303
NUMBER OF TREES REQUIRED(1:20)	15
NUMBER OF TREES PROVIDED	
SHADE TREES	10
OTHER TREES (2:1 SUBST.)	-
NO. OF LANDSCAPE ISLANDS REQ:15	15
NO. OF LANDSCAPE ISLANDS PROVIDED	16

NOTES

A. THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND HAS BEEN APPROVED BY HRD.

B. LANDSCAPE SCHEDULES A AND B ARE SHOWN FOR SURETY PURPOSES ONLY. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$5,100.00.

OWNER

PARCEL A-40 ASSOCIATES, LLC
8330 BOONE BOULEVARD
SUITE 460
VIENNA, VIRGINIA 22182

LOIEDERMAN ASSOCIATES, INC.
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS
15200 Shady Grove Road 4407 Forbes Boulevard
Rockville, Maryland 20850 Lanham, Maryland 20706
(301) 948-2750 (301) 794-7555

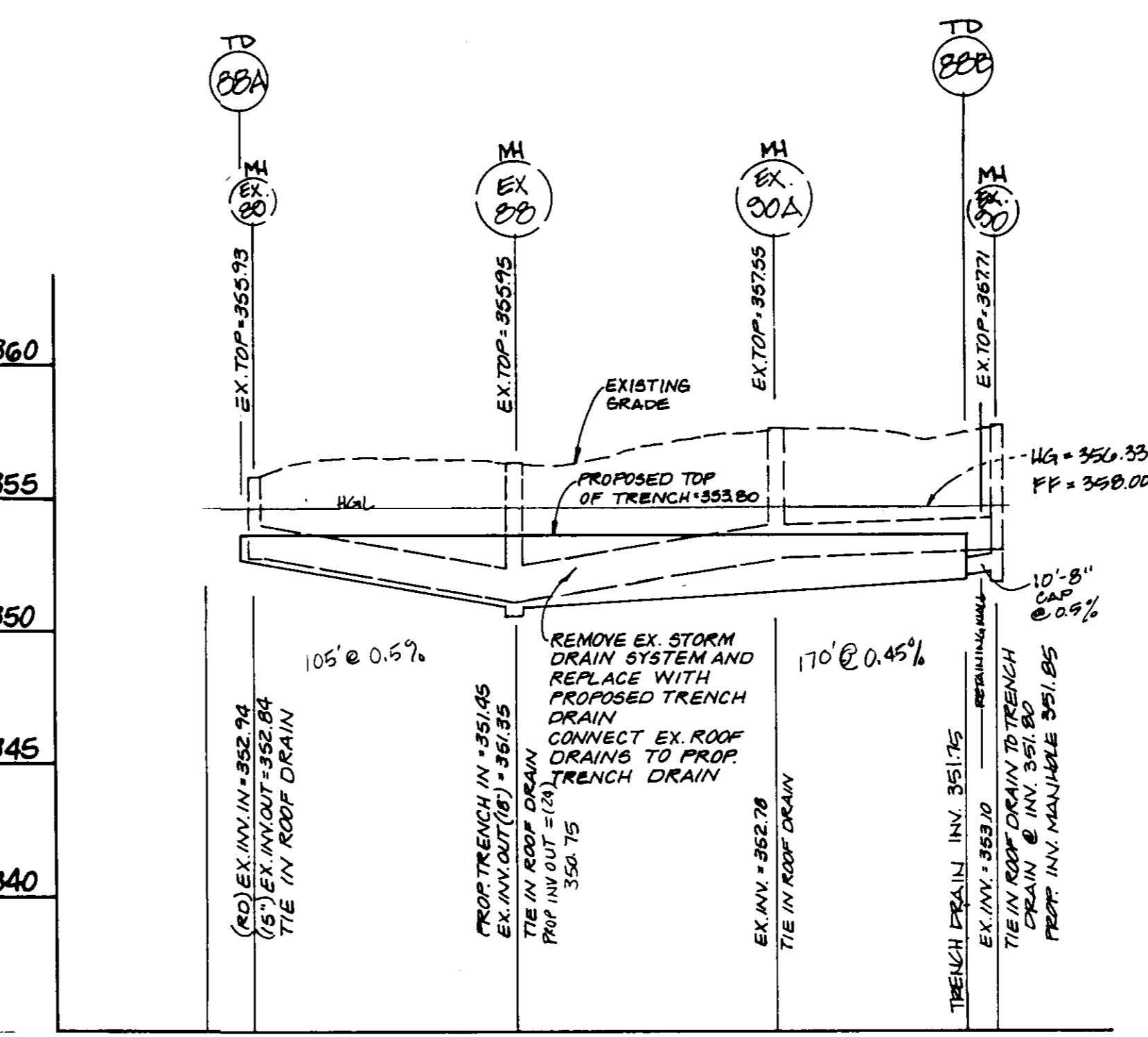
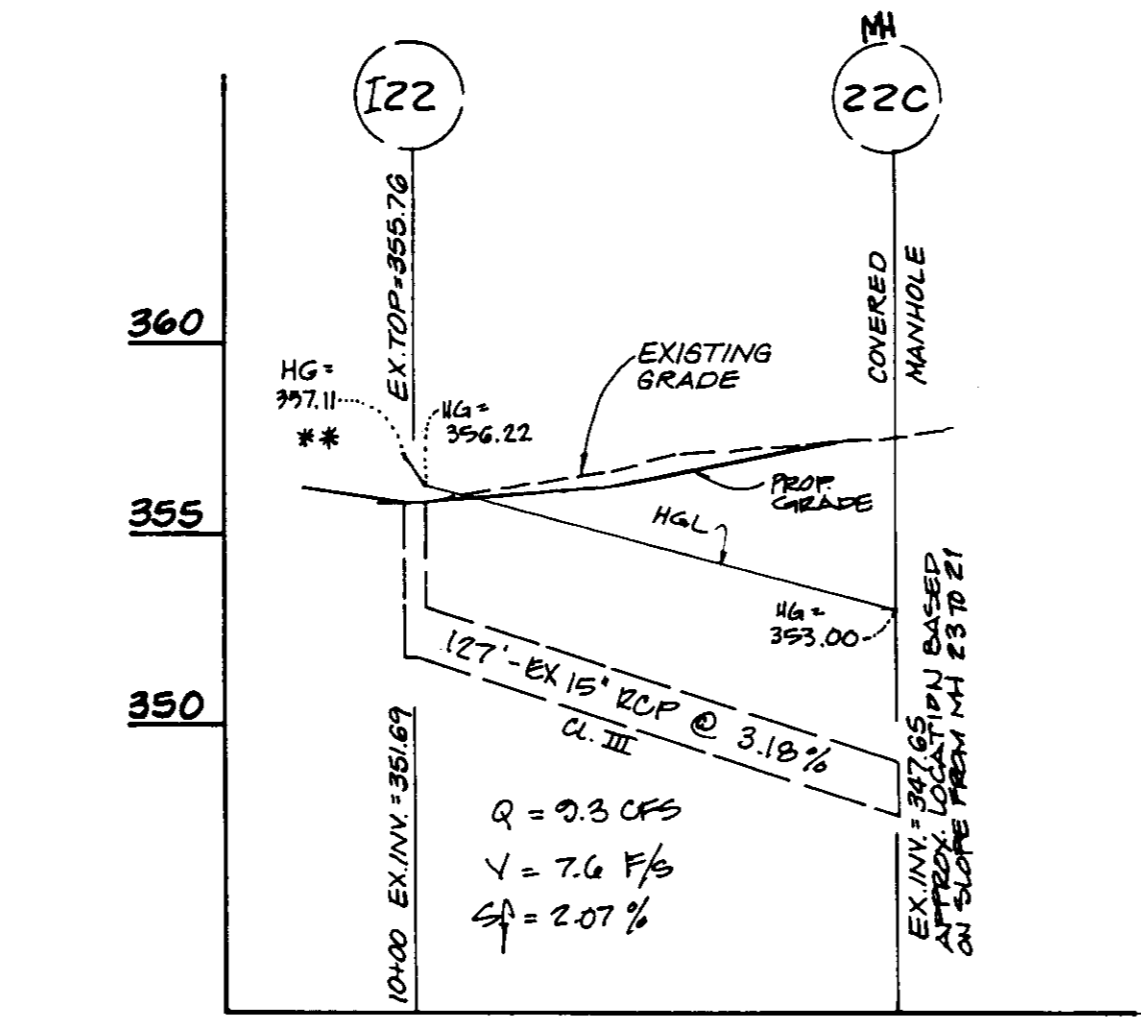
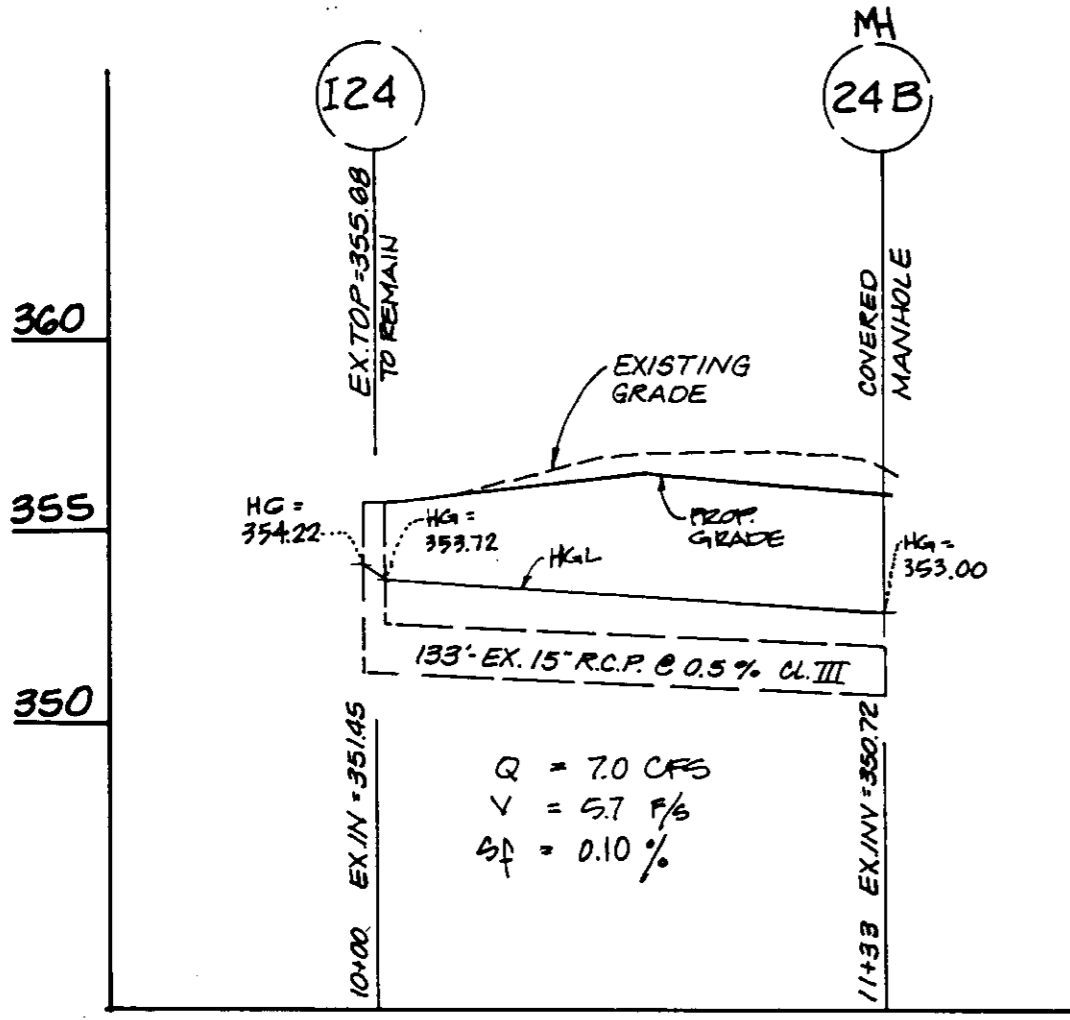
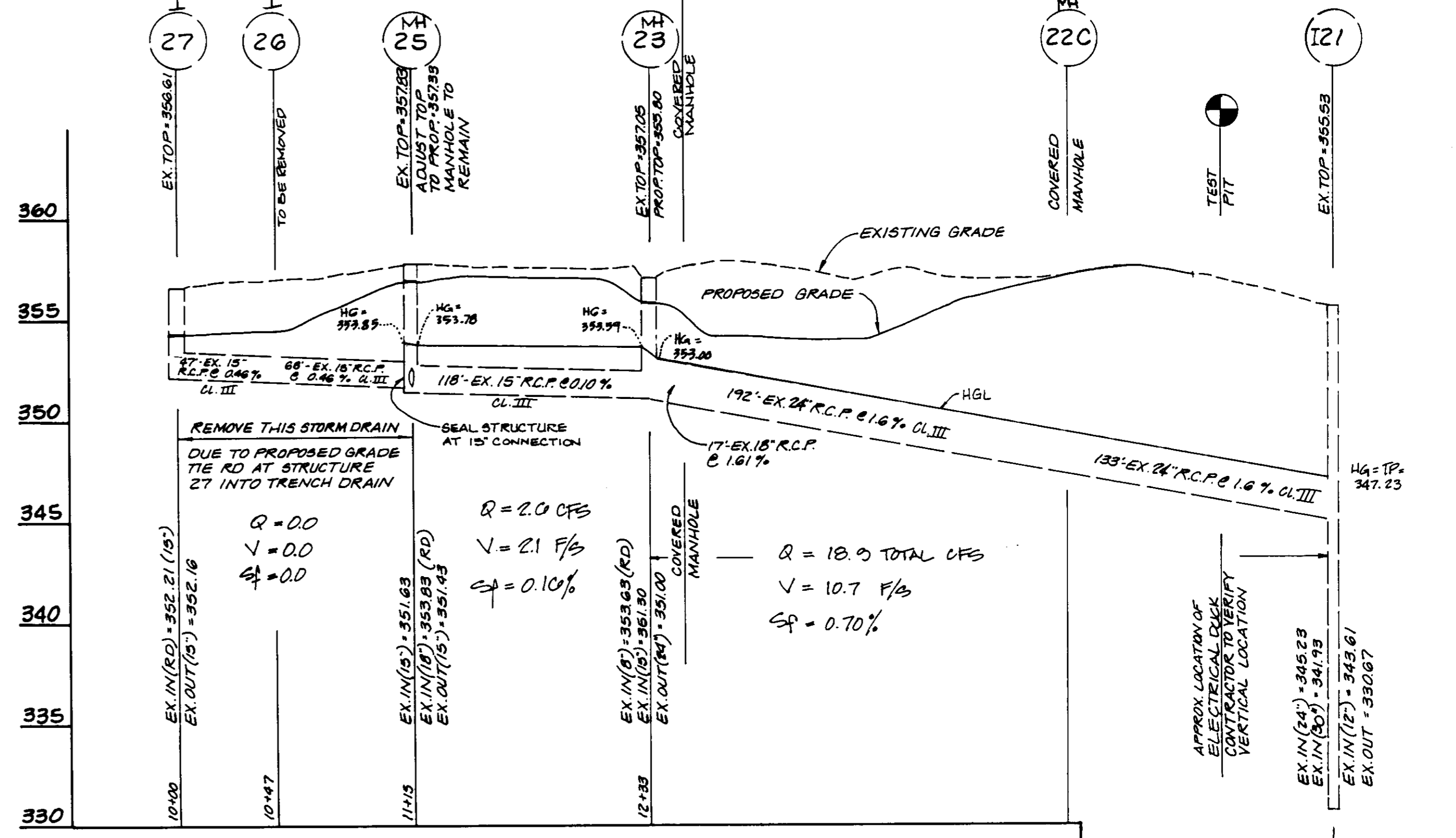
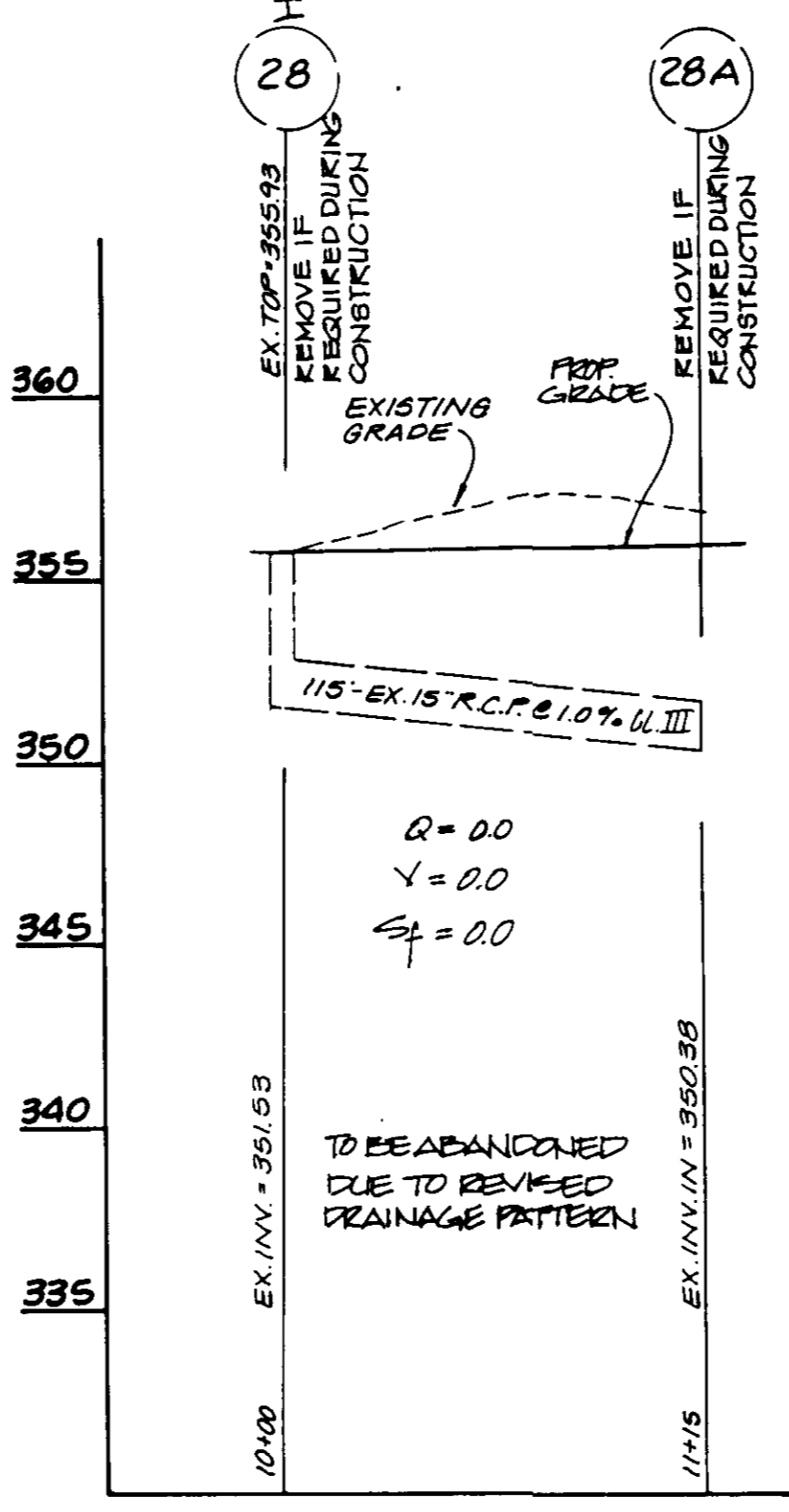
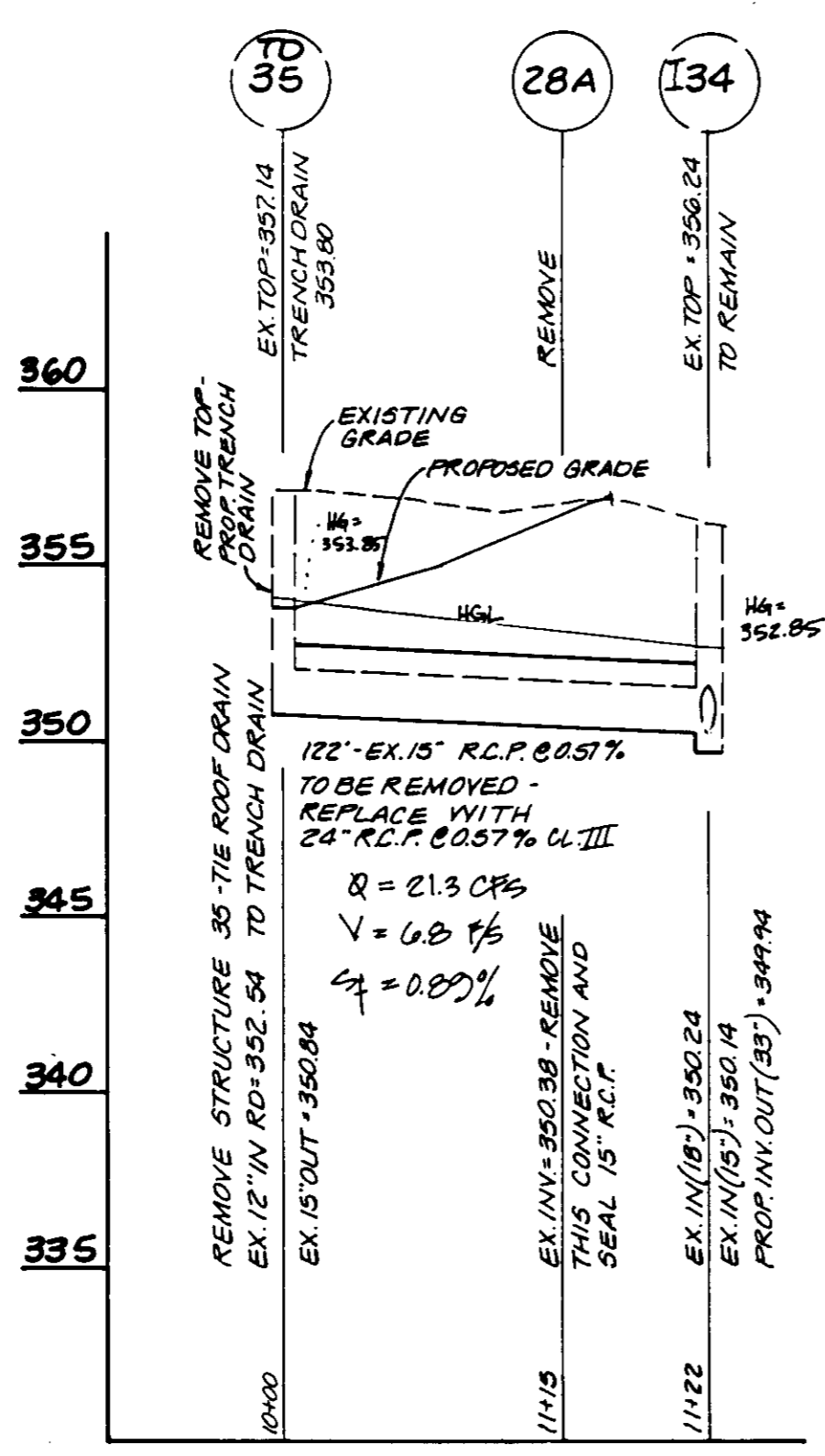
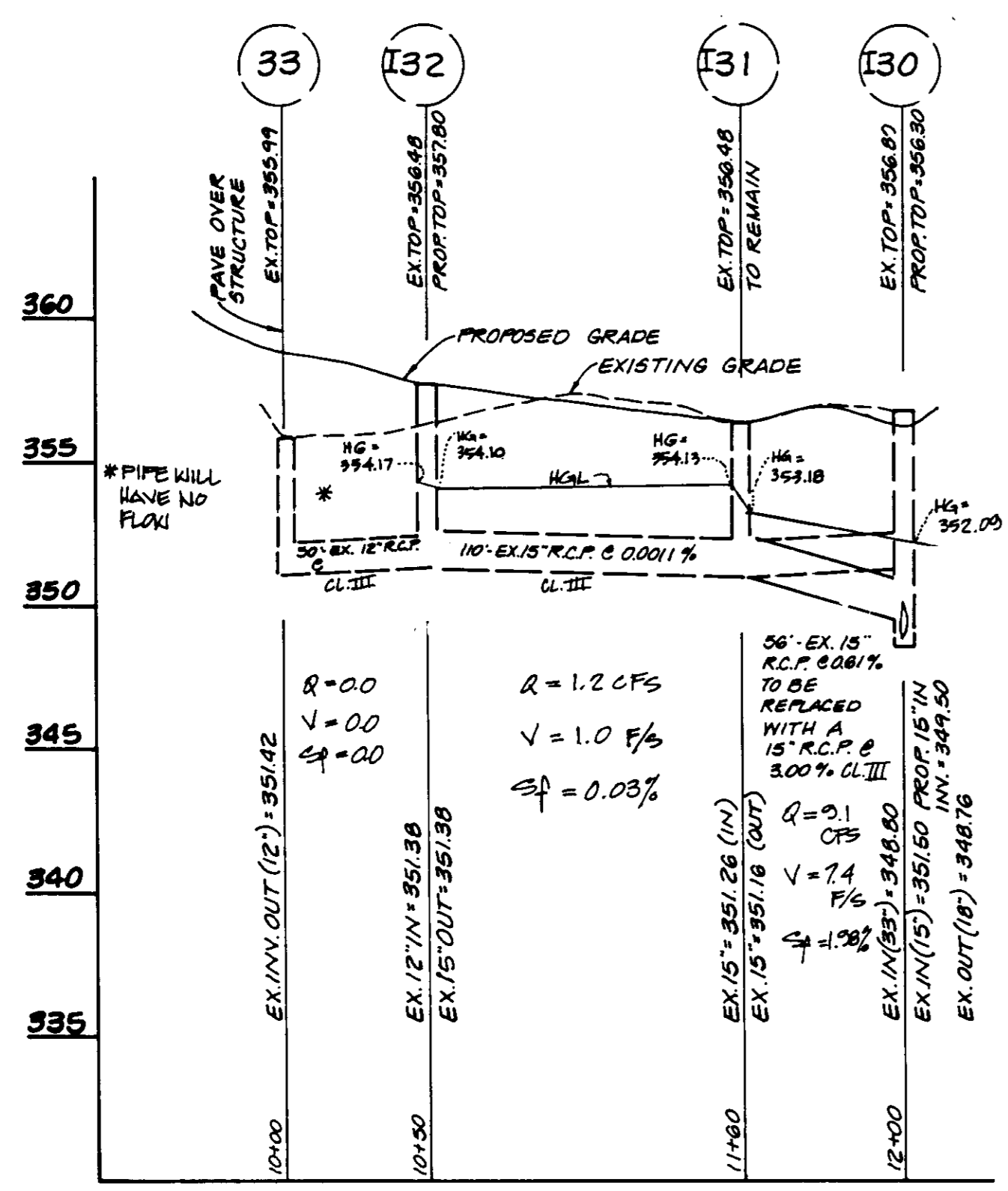
DESIGNED	DRAWN	CHECKED	PROJ. ENG.	OFFICE	DATE	NO.	REVISIONS	BY	DATE
JAS	GMD		JAS	LANHAM	MARCH 1996	3	REV. SCHEDULE B	GMD	4/19/96
						2	ADDED SCHEDULE A AND SCHEDULE B	MAM	4/17/96
						1	REV. TREE COUNT	GMD	5/20/96

LANDSCAPE PLAN & DETAILS

JOHN ALAN SPIEGEL
No. 934
REGISTERED LANDSCAPE ARCHITECT
STATE OF MARYLAND
20. JUNE 96
20. MARCH 96

GATEWAY WAREHOUSE
PARCEL A-40
GATEWAY COMMERCE CENTER
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE
SHEET 10 OF 15 SHEETS
JOB NO. 801-04



* DUE TO THE AMOUNT OF STORAGE IN THE TRENCH DRAIN - THE HGL WOULD BE BELOW THE TOP OF TRENCH.

APPROVED DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division (M.K.) 6/19/96
 Chief, Division of Land Development and Research (A) 6/19/96
 Director 6/19/96

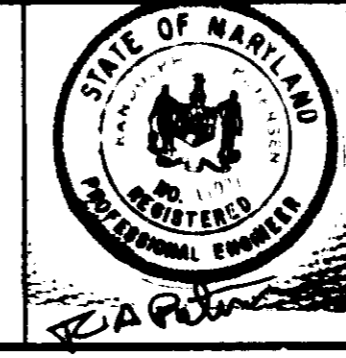
OWNER
 PARCEL A-40 ASSOCIATES, LLC
 8330 BOONE BOULEVARD
 SUITE 460
 VIENNA, VIRGINIA 22182

SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

LOIEDERMAN ASSOCIATES, INC.
 CIVIL ENGINEERING LAND PLANNING LAND SURVEYING
 ENVIRONMENTAL STUDIES
 15200 Shady Grove Road Rockville, Maryland 20850 (301) 948-2750
 4407 Forbes Boulevard Lanham, Maryland 20706 (301) 794-7555
 258 West Patrick Street Frederick, Maryland 21701 (301) 696-1240 Metro (301) 831-4544

Designed	KM
Drafted	SMD
Checked	
Proj. Eng.	KM
OFFICE	LANHAM
DATE	MARCH, 1996
NO.	
REVISIONS	
BY	
DATE	

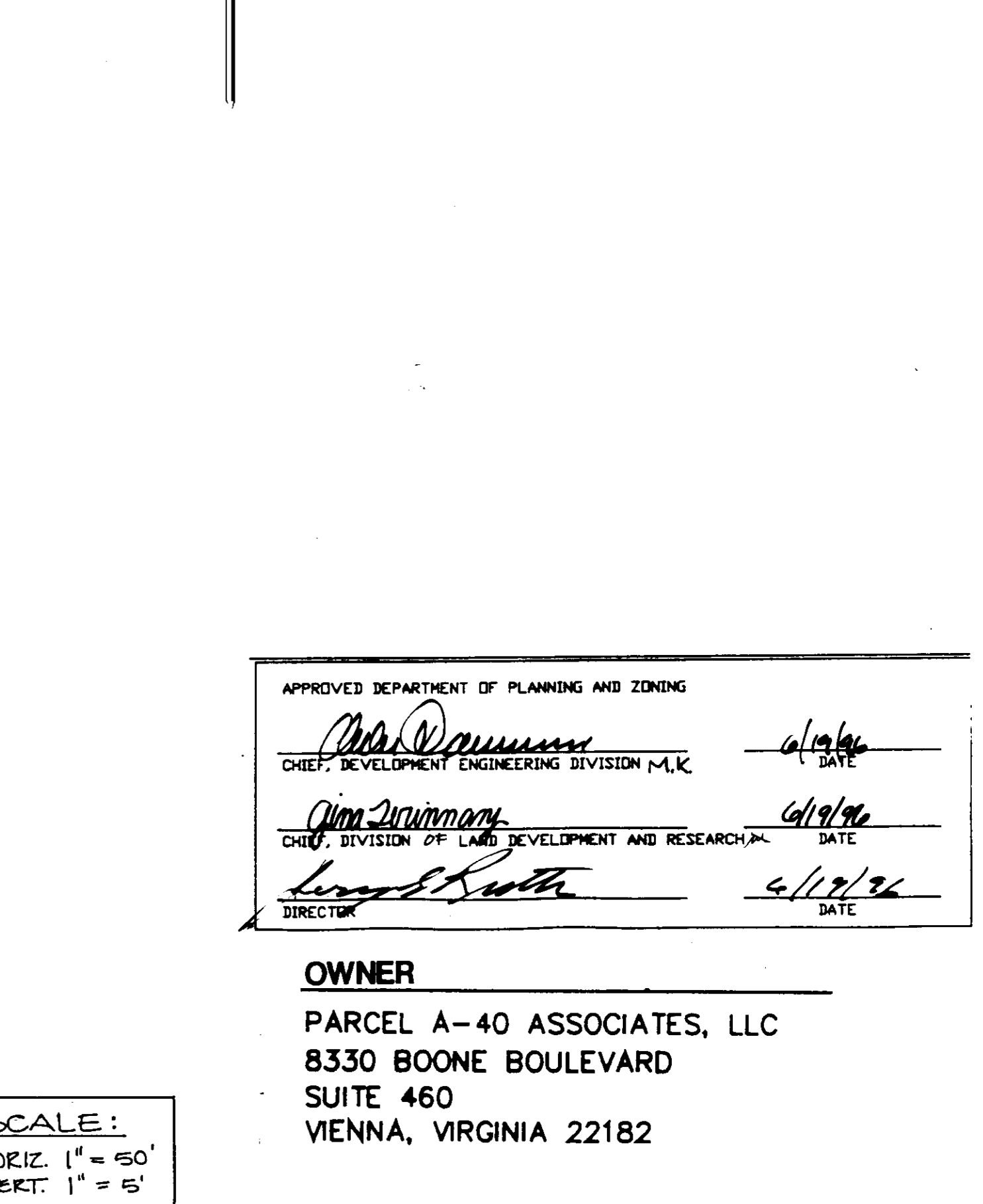
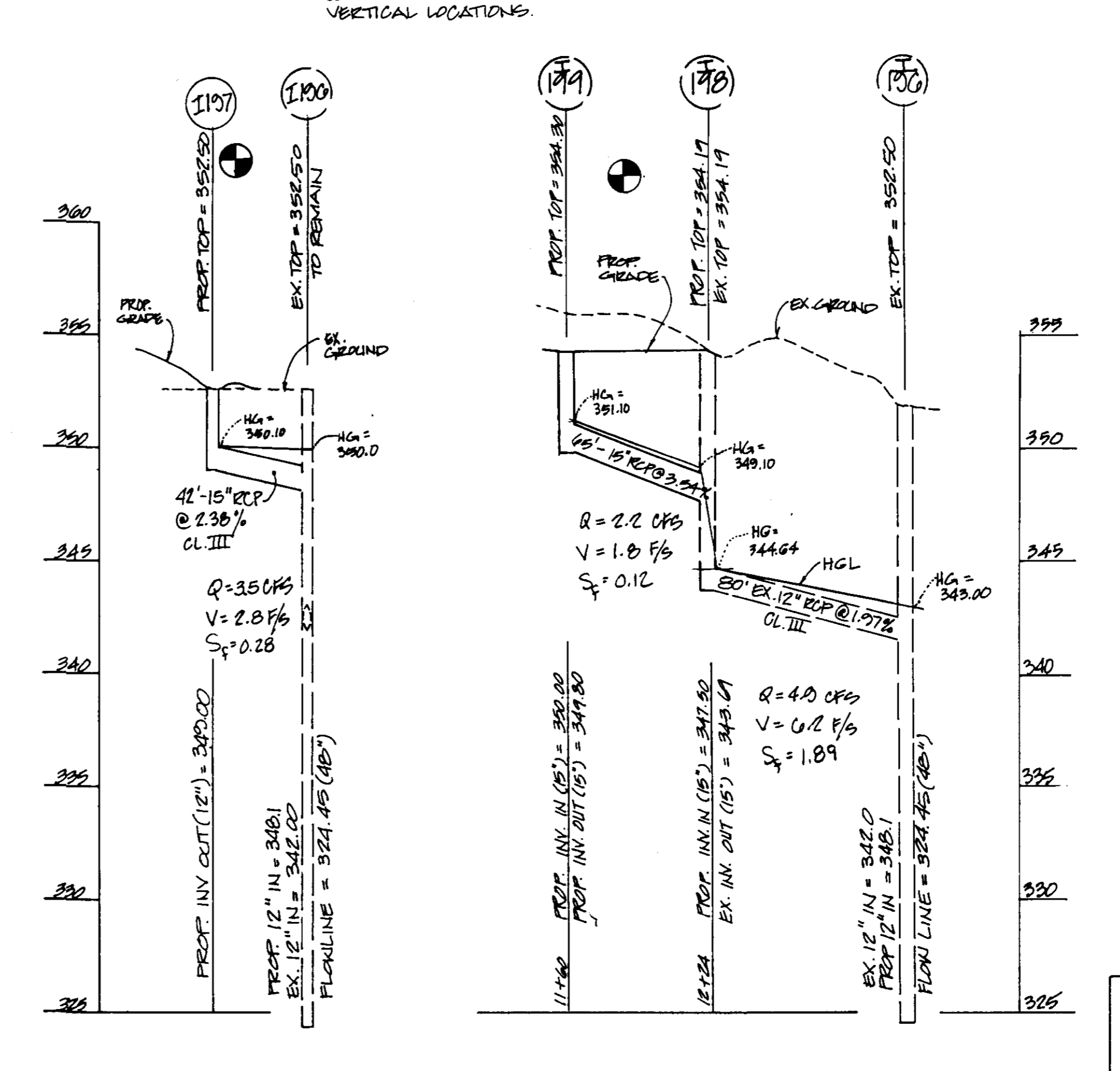
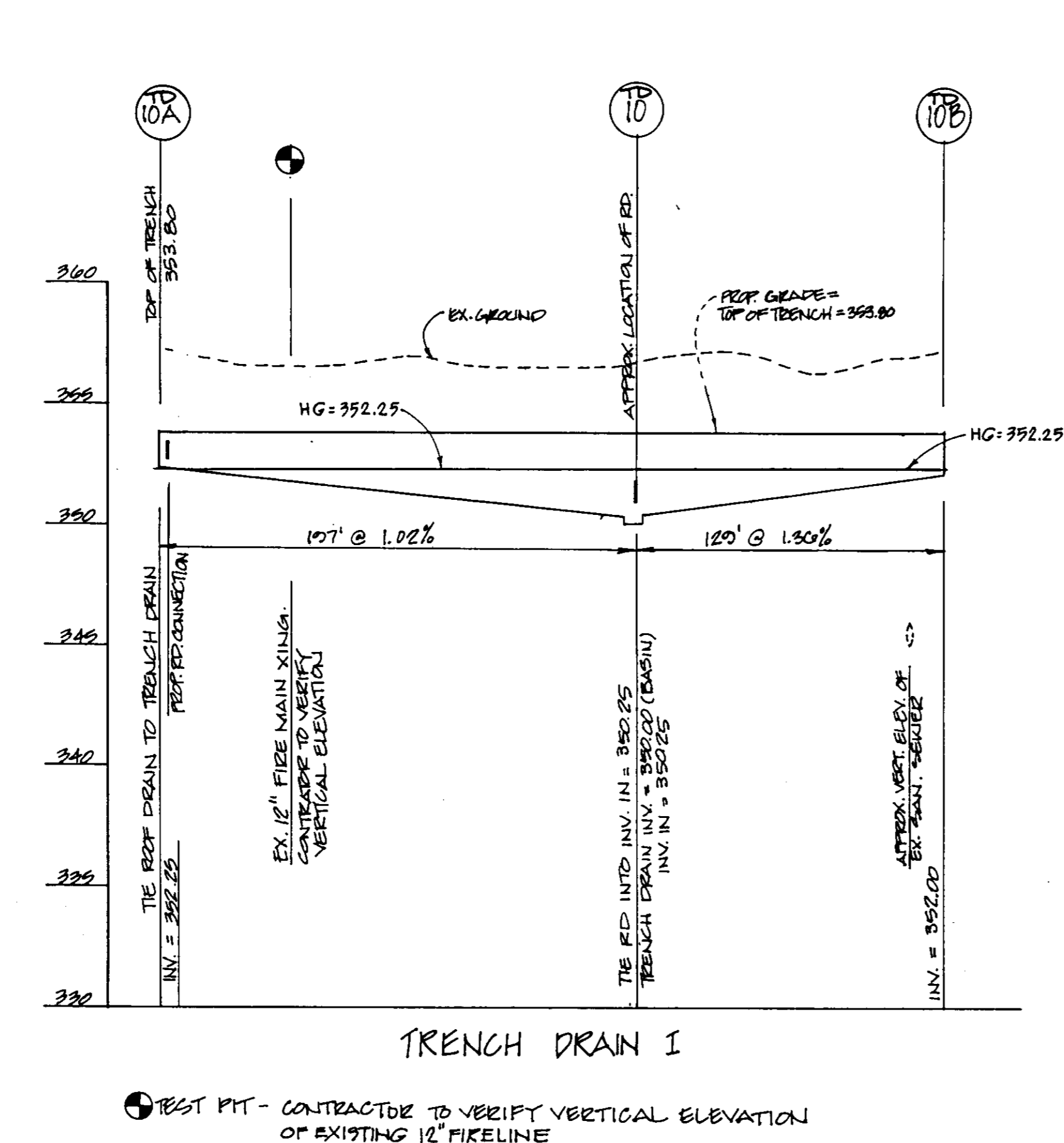
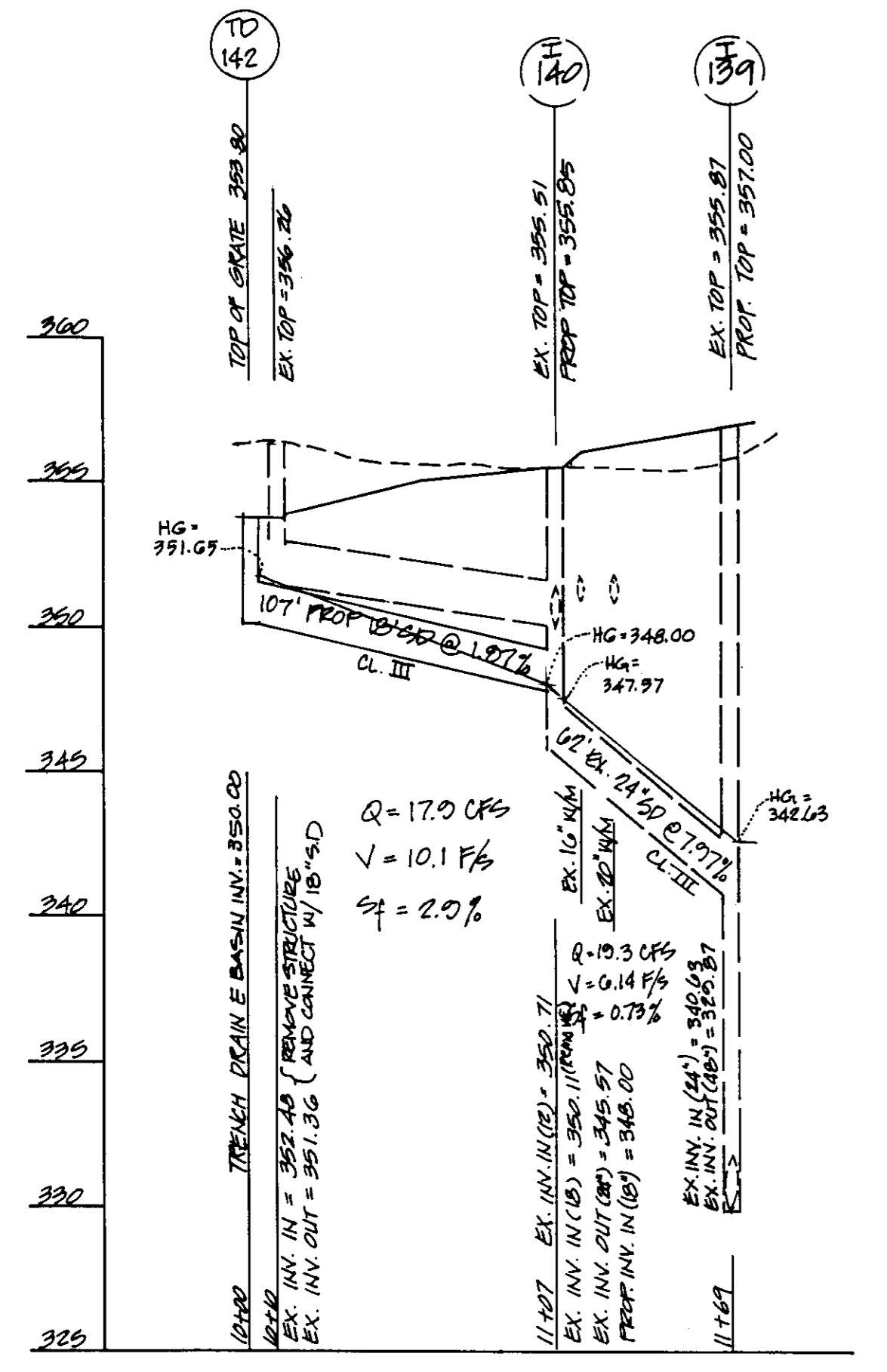
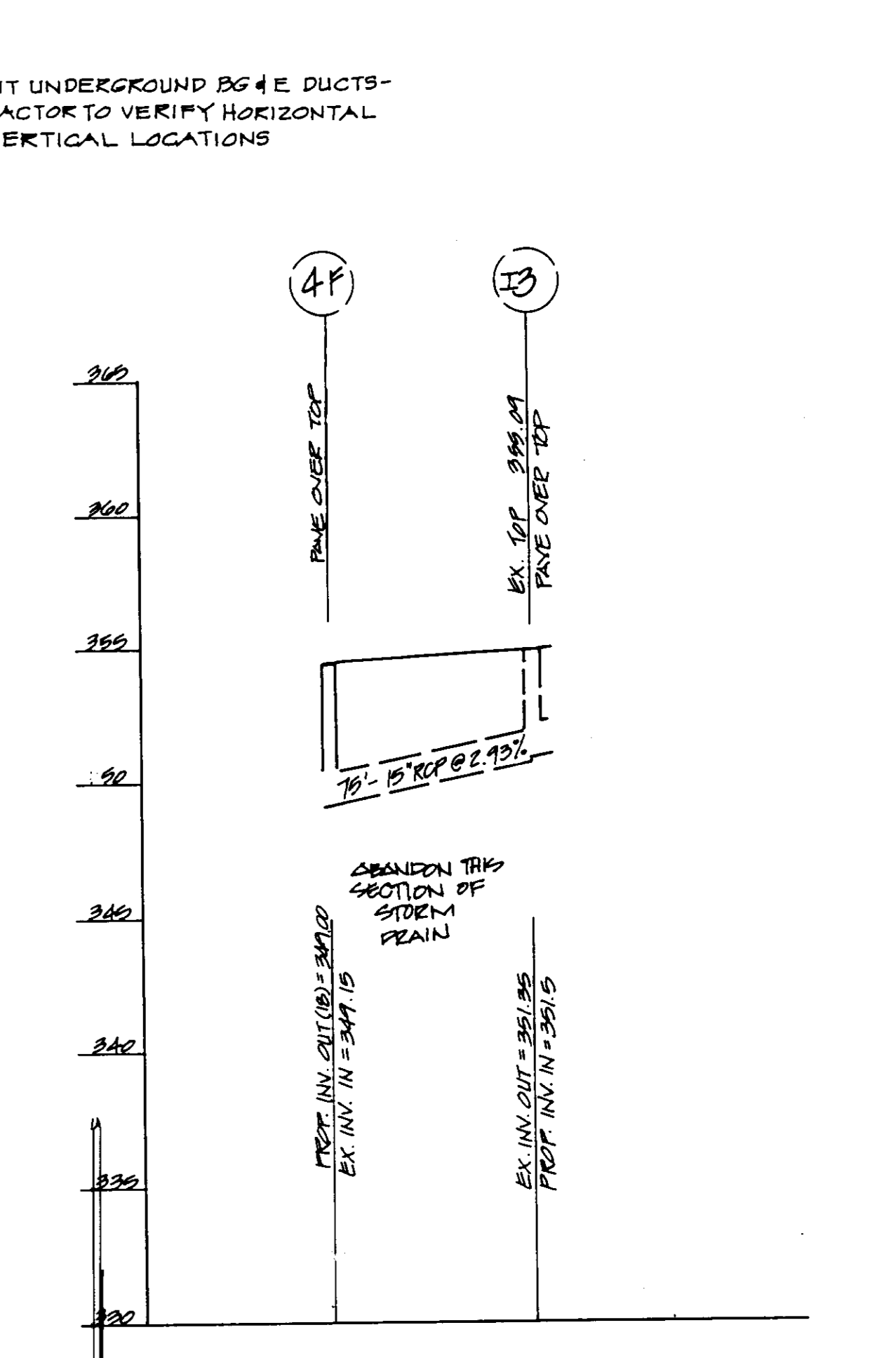
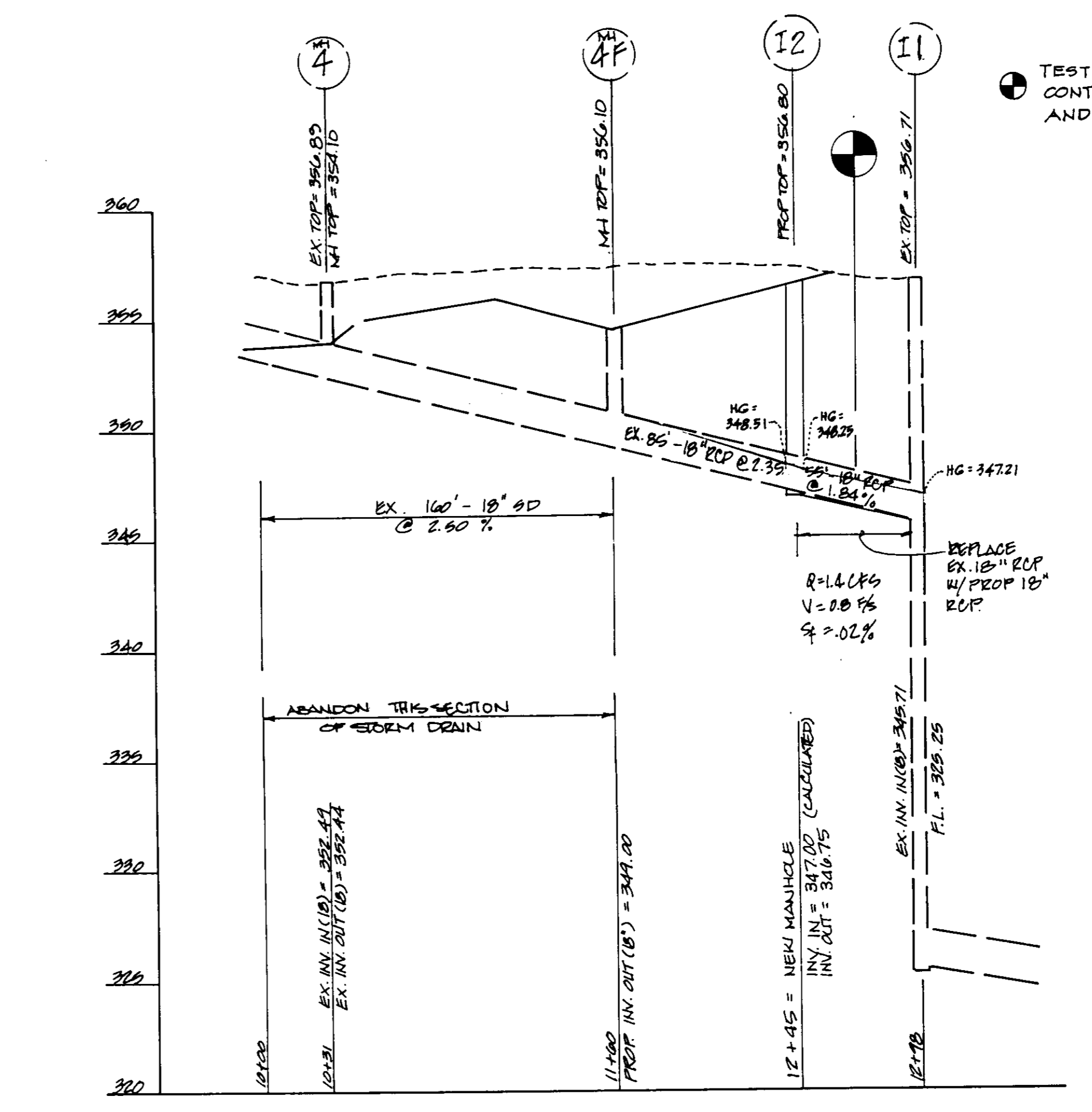
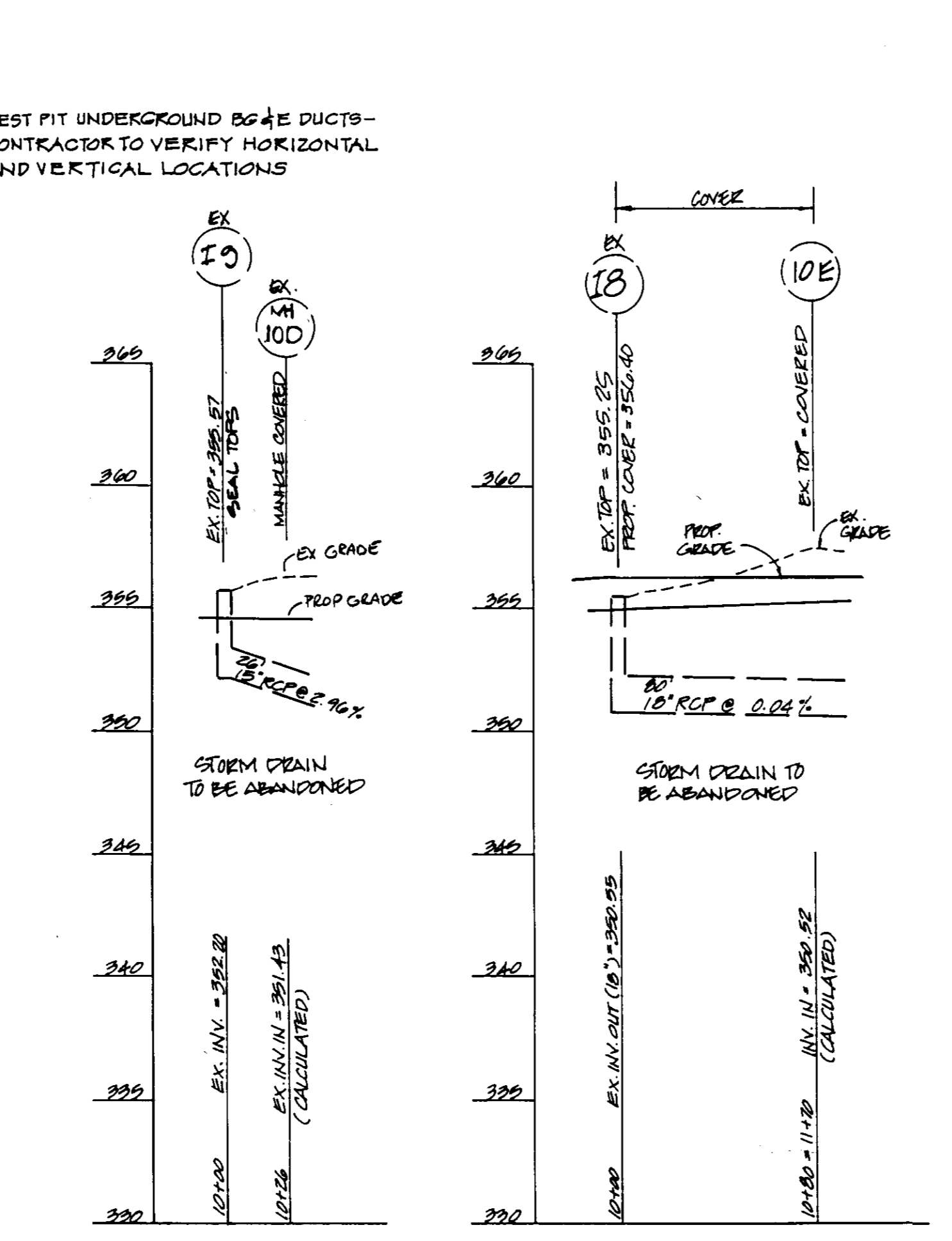
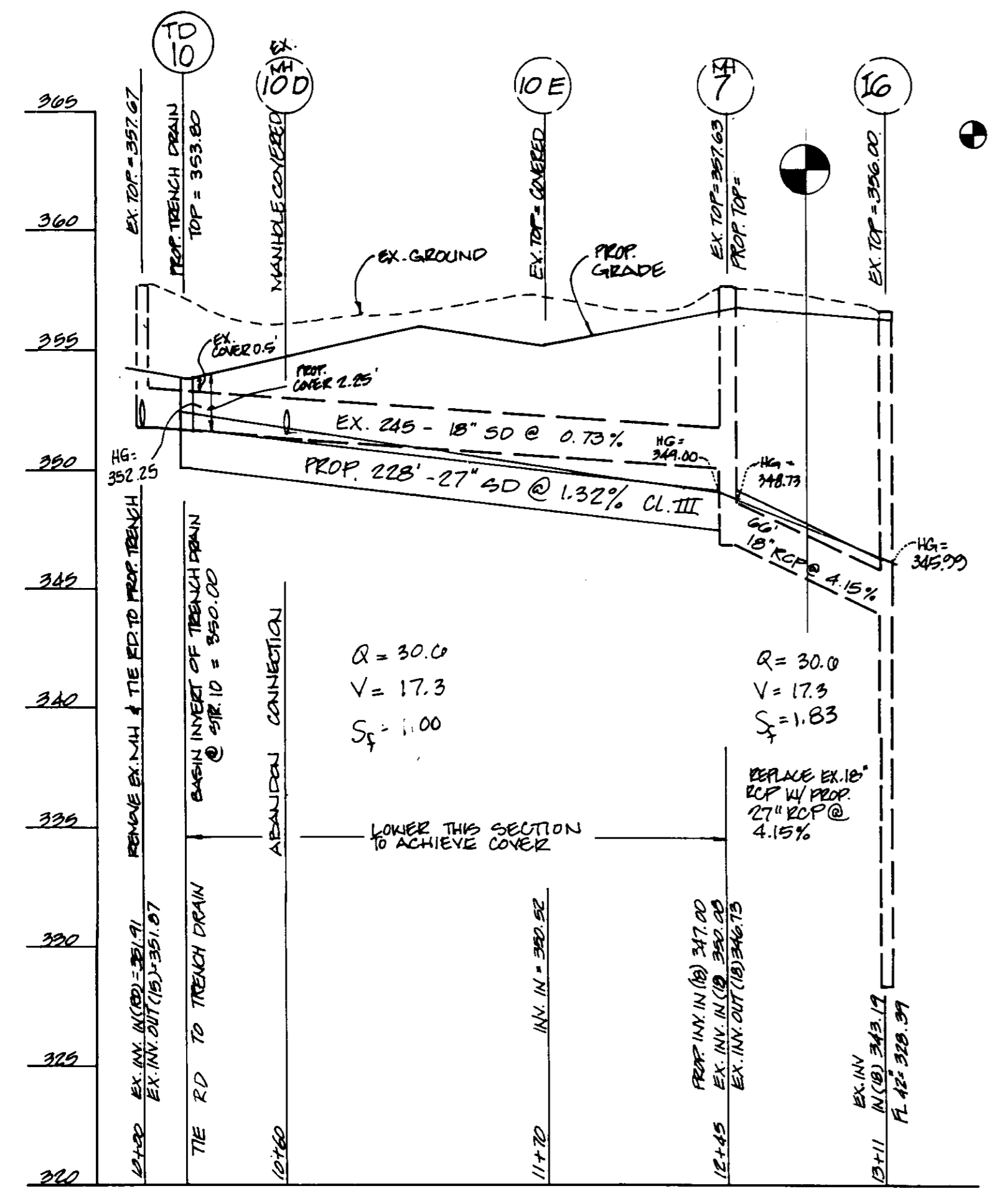
STORM SEWER PROFILES



GATEWAY COMMERCE CENTER
 PARCEL A - 40
 TAX MAP 42
 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE	AS NOTED
SHEET	12
OF 15 SHEETS	
JOB NO.	801-04

24.30.0033



APPROVED DEPARTMENT OF PLANNING AND ZONING

Chris Williams
CHIEF, DEVELOPMENT ENGINEERING DIVISION M.K. DATE 4/19/16

Anna Murray
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE 4/19/16

David Smith
DIRECTOR DATE 4/19/16

OWNER

PARCEL A-40 ASSOCIATES, LLC
8330 BOONE BOULEVARD
SUITE 460
VIENNA, VIRGINIA 22182

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15200 Shady Grove Road
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Frederick, Maryland 21701
(301) 595-1240
(301) 831-4544

DESIGNED	DRAFTED	CHECKED	PROJ. ENG.	OFFICE	DATE	NO.	REVISIONS	BY	DATE

STORM DRAIN PROFILES



GATEWAY COMMERCE CENTER
PARCEL A-40
TAX MAP 42
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE AS SHOWN
SHEET 13 OF 15 SHEETS
JOB NO. 801-04

SDP-96-118

