

Construction Notes

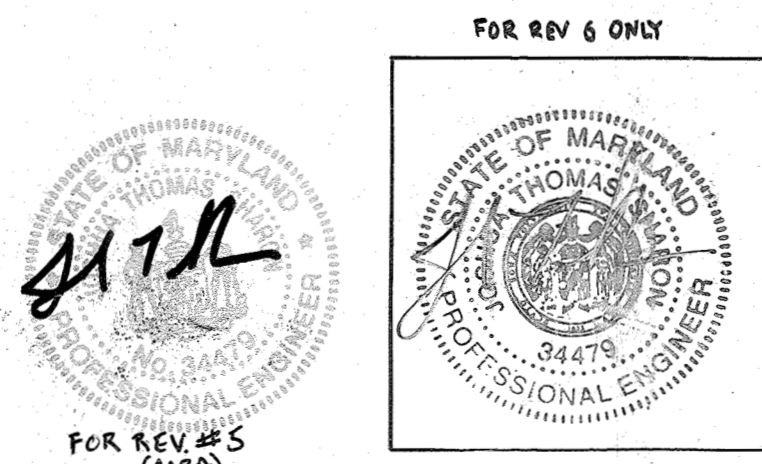
1. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1980 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
2. ALL PLAN DIMENSIONS ARE GIVEN TO FACE OF CURB UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
3. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
4. CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
5. ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
7. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
8. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM EXISTING RECORDS AND DO NOT REPRESENT FIELD-VERIFIED LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
9. CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
10. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
12. ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ALL 2:1 SLOPES SHOWN HEREON, EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING, ALL GRADING UNDER PROPOSED PAVING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
13. CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 IN PER FOOT).
14. MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
15. CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS. TOPSOIL SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
16. CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
17. ALL UTILITIES INSTALLED SHALL RECEIVE FULL TRENCH COMPACTION.
18. CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.

19. CONTRACTOR SHALL PROVIDE ALL PAVEMENT MARKINGS AND SIGNAGE FOR HANDICAP PARKING SPACES INDICATED HEREON IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL PAVEMENT MARKINGS TO BE TRAFFIC WHITE.
20. ALL HANDICAPPED FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THE "DESIGN OF BARRIER FREE FACILITIES" AND THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED, LATEST EDITION.
21. ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES." ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
22. THE CONTRACTOR SHALL REPLACE ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REFILLED AND COMPACTED.
23. THE CONTRACTOR SHALL PLACE PROPOSED SURFACE COURSE OVERLAY 5 FEET BEYOND LIMITS OF REPLACEMENT PAVING, UNLESS DIRECTED OTHERWISE BY THE ENGINEER IN THE FIELD. ALL OVERLAYS SHALL HAVE SMOOTH, STRAIGHT EDGES. STRIP AND RESURFACE EXISTING PAVING AS NEEDED TO PROVIDE SMOOTH TRANSITION.
24. ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
25. PREFORMED ELASTOMERIC COMPRESSION JOINT MATERIAL SHALL BE INSTALLED AT ALL MEETINGS OF EXISTING AND PROPOSED CONCRETE PAVING AND SIDEWALKS.
26. STORMCEPTORS SHALL BE AS MANUFACTURED BY THE STORMCEPTOR CORPORATION 600 E. JEFFERSON STREET, SUITE 304 ROCKVILLE, MARYLAND 20852 TELEPHONE: 301-762-8361
27. ALL STORMCEPTORS SHALL BE CONCRETE.
28. ALL WATERMAIN TREES, BENDS, CAPS, ETC. SHALL BE BUTTRESSED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN REQUIREMENTS.
29. ALL WATERMANS SHALL HAVE 4' COVER UNLESS OTHERWISE NOTED.
30. PUBLIC WATER CONTRACT NO. 44-3543-D SEWER CODE 8 215220 WATER CODE 8 A03
31. THE PERMIT APPLICATION DEADLINE FOR THE REDLINE REVISION OF THE SDP FOR CONSTRUCTION OF THE STEEL COILING TOWER PLATFORM, CONCRETE SLAB FOR COILING TRUCK AND THE CONCRETE ENTRY PLATFORM SHALL BE ONE YEAR FROM DEP'S LETTER OF APPROVAL OF THE REDLINE DATED 02/10/2013.
32. LANDSCAPED PARKING LOT ISLANDS ARE NOT REQUIRED UNDER REDLINE REVISION #5.
33. A BUILDING PERMIT FOR THE PROPOSED BUILDING ADDITION SHALL BE APPLIED FOR WITHIN 1 YEAR MEASURED FROM THE DEP APPROVAL LETTER FOR THIS REDLINE REVISION.
34. THE LOD FOR REDLINE DATED 3/10/2022 OF 1,340 SQ. FT. IS OBTAINED FROM PROVIDING STORMWATER MANAGEMENT. ANY ADDITIONAL IMPROVEMENTS WHERE THE CUMULATIVE LOD EXCEEDS 5,000 SHALL ADDRESS STORMWATER MANAGEMENT FOR THE INCREASE.

Legend

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Bldg. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Heavy Duty Paving (P-5)
- Light Duty Paving (P-3)

NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard trench and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.



FOR REV 6 ONLY

FOR REV #5 (MSB)

Site Development Plans

for

Parcel A-1

Troy Hill Corporate Center

Howard County, Maryland

S.D.P. 96 - 117

MANEKIN

MANEKIN CORPORATION

7165 COLUMBIA GATEWAY DRIVE

COLUMBIA MARYLAND 21046

410-290-1400

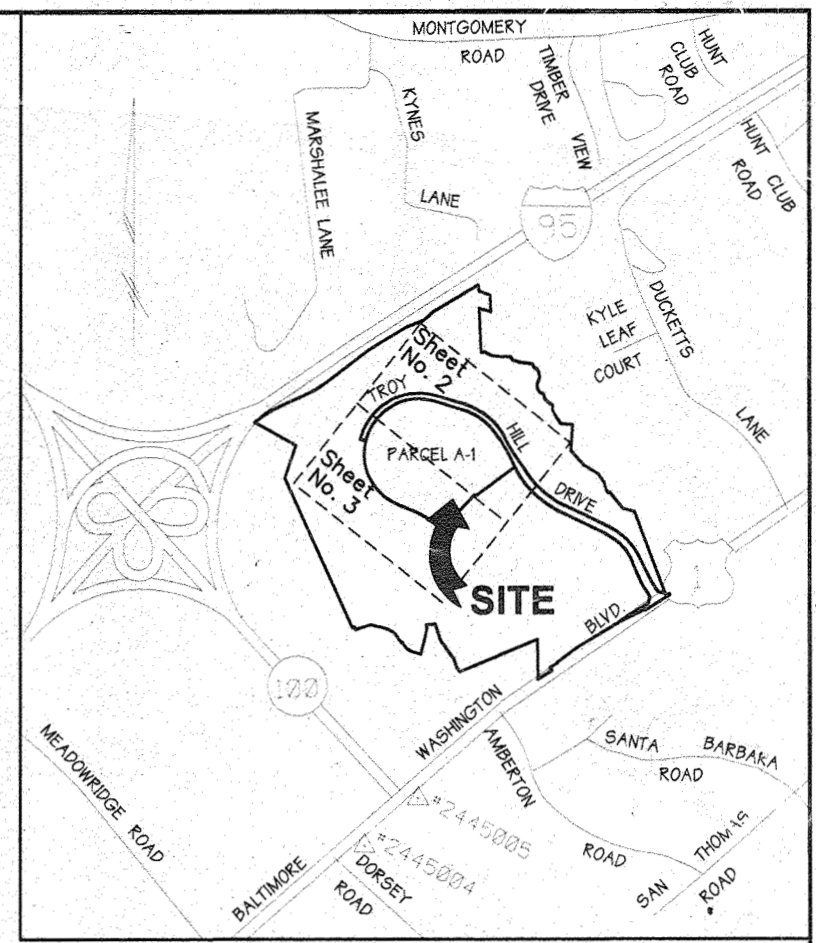
BENCHMARKS

BENCHMARK #1
IRON PIN @ TRAVERSE #1066
N 496.501.3597 E 869.134.4576
ELEVATION = 175.92'

BENCHMARK #2
IRON PIN @ TRAVERSE #1061
N 498.036.6945 E 868.791.1502
ELEVATION = 242.49'

BENCHMARK #3
IRON PIN @ TRAVERSE #1034
N 497.636.7437 E 869.835.6586
ELEVATION = 214.85'

COORDINATES BASED ON NAD 27, AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS #2445004 AND #2445005



Vicinity Map

SCALE: 1" = 2000'

Site Data

TOTAL AREA OF SITE -	30.4398 Ac. +/-
EXISTING ZONING -	M-1
PROPERTY REFERENCE -	F 91-24 ; 1795/347 ; 1818/465 ; 2122/417 ; 2259/644 ; 1818/472 ; 2689/276
EXISTING USE -	VACANT
PROPOSED USE -	Office, Lab, Manufacturing, WAREHOUSE/DISTRIBUTION
BUILDING COVERAGE -	543,200 Sq. Ft.
% OF BUILDING COVERAGE -	41%
FLOOR AREA -	12.47 Ac.
FLOOR AREA RATIO -	41%
AREA TO BE PAVED PLUS BUILDING AREA -	22.43 Ac.
OPEN SPACE -	8.01 Ac. +/-
TOTAL AREA OF PARKING LOT -	4.34 Ac. +/-
% OF PARKING LOT COVERAGE -	1.43%
AREA TO BE DISTURBED -	30.52 Ac. +/-
AREA TO BE VEGETATIVELY STABILIZED -	8.09 Ac. +/-
SKETCH PLAN NO. -	S 90-05
PRELIMINARY PLAN NO. -	P 90-25
FINAL PLAT NO. -	F 96-165
WAIVER PETITION -	WP-96-91

Parking Tabulations

Total Building Area	543,200 Sq. Ft. @ 2.5 Spaces/1000 Sq. Ft. = 1358 Spaces
Parking Required -	16200 Sq. Ft. Lab @ 2.5 Spaces/1000 Sq. Ft. = 41 Spaces
	366,940 Sq. Ft. Warehouse Distribution @ 0.5 Spaces/1000 Sq. Ft. = 184 Spaces
	121,440 Sq. Ft. Office @ 3.5 Spaces/1000 Sq. Ft. = 421 Spaces
	Total Required = 743 Spaces
Parking Provided -	763 Spaces (Includes 49 Handicapped)

NOTE: 7635 Sq. Ft. MEZZANINE IS USED FOR STORAGE.

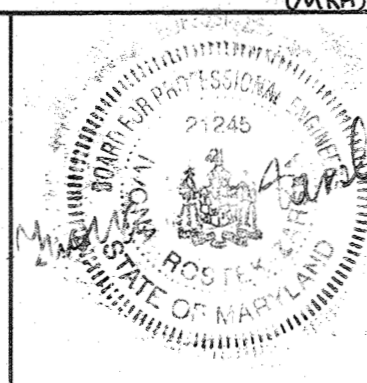
Index of Sheets

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SHEET NO. 3 -	PLAN VIEW
SHEET NO. 4 -	DETAILS & SECTIONS
SHEET NO. 5 -	DETAILS & SECTIONS
SHEET NO. 6 -	DRAINAGE AREA MAP
SHEET NO. 7 - 10 -	PROFILES
SHEET NO. 11 & 12 -	SEDIMENT CONTROL
SHEET NO. 13 -	SEDIMENT CONTROL NOTES & DETAILS
SHEET NO. 14 & 15 -	LANDSCAPE PLANS
SHEET NO. 16	STORM CEPTOR SPEC. & PARVIS
SHEET NO. 17 -	EV CHARGING STATIONS DETAIL AND PLAN

PREPARED BY:



GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120



DEVELOPER CERTIFICATION:

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: S. W. Wafield Date: 3/10/2022

OWNER/DEVELOPER

TROY HILL, LLC
C/O CUSHMAN & WAKEFIELD
500 EAST PRATT STREET SUITE 500
BALTIMORE, MARYLAND
21202
410-685-9596

REVISIONS

3/8/2021	ADDED EXC. PARKING SPACES AND UPDATED EXISTING ADA PARKING SPACE LOCATIONS
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REVISIONS

2/11/20	REVISED PARKING TABULATION TO REFLECT MEZZANINE BY GWS DATED 10/24/19
10/12/19	REVISED PARKING FOR CHANGE IN BLDG USES, ADD COILING TOWER PLATFORM & SLAB FOR COILING TOWER, UPDATE OWNER INFORMATION

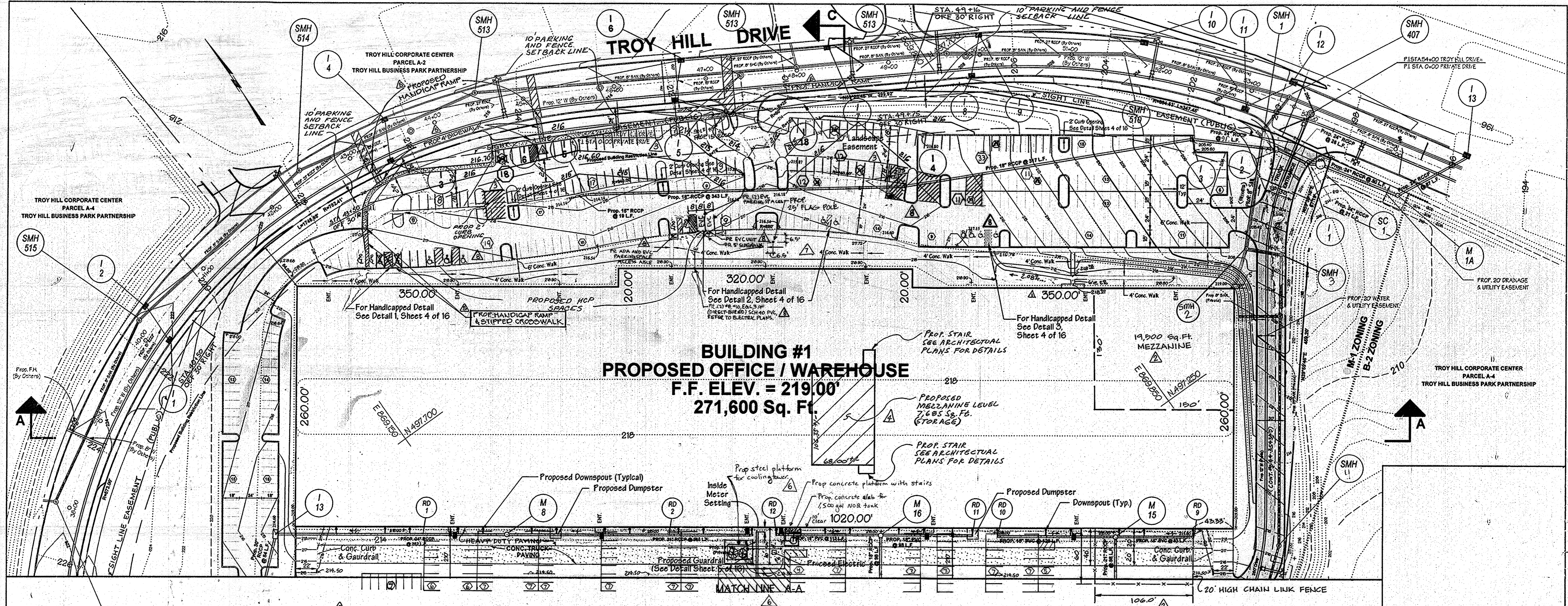
REVISIONS

10/12/19	REVISE PARKING TABULATION TO REFLECT MEZZANINE
10/12/19	ADDED ADDITIONAL PARKING SPACES AND HANDICAPPED SPACES TO BUILDING NOI
10/12/19	REVISED PARKING TABULATION ACCORDINGLY BY GWS

DETAILS

FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1
PREVIOUS FILE #S 590-05, P90-25, F91-24, WP 96-91, P96-136
HOWARD COUNTY, MARYLAND
1st ELECTION DISTRICT SHEET 1 of 18
SCALE: AS SHOWN
MARCH 22, 1996

SDP-96-117



**BUILDING #1
PROPOSED OFFICE / WAREHOUSE**
F.F. ELEV. = 219.00'
271,600 Sq. Ft.

PLAN
SCALE 1" = 50'

Legend

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Bldg. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Heavy Duty Paving (P-5)
- Light Duty Paving (P-3)

NOTE: CROSSWALKS SHOWN CROSSING TROY HILL DRIVE REVISED 6/22/06 AND SHOWN ON THE DRAWING OF TROY HILL CORPORATE CENTER PHASE I, SHEET 6 OF 28 (P-36-136)

NOTE:
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related inter-tenant waste lines. The above statement shall apply to all initial and future occupants or tenants.

FOR REV 8 ONLY

See sheet 1 for current owner information.

PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer Name: *John L. Smith* Date: *3/27/06*

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEK INCORPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

- ADDED STEEL PLATFORM & COOLING TOWER CONCRETE SLAB FOR COOLING TOWER, ENTRY PLATFORM WITH STAIRS AND PARKING SPACES.
- ADDED 25' FLAG POLE BY MFA 10/27/16
- 3/8/2012 ADDED BIC PARKING SPACES AND UPDATED EXISTING ADA PARKING SPACE LOCATIONS
- ADDED 7,685 SQ. FT. MEZZANINE TO BUILDING NO. 1 BY GWS DATED 10/10/05
- ADDED 4' SIDEWALKS, HANDICAP RAMPS AND STRIPPED CROSSWALK ACROSS PARKING LOT TO BLDG. #1 BY GWS DATED 12/14/06
- ADDED ADDITIONAL PARKING SPACES, REVISED GRADING AND ADDED HANDICAPPED SPACES BY GWS DATED 10.18.04

- REVISIONS
#1-7-97 REVISED HANDICAPPED DETAILS
#2-11/198 ADD 20' HIGH CHAIN LINK FENCE, ADDED MEZZANINE TO BLDG. #1

These plans for S.M.M. construction soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John R. Robertson
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
PLAN NUMBER: *1010/26* DATE: *10/10/06*

Reviewed for the Howard Conservation District and meets technical requirements.
J. M. Washfield
NATURAL RESOURCES CONSERVATION SERVICE DATE: *10/10/06*

APPROVED: Howard County Department of Planning and Zoning
Richard Blundell
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE: *10/31/06*

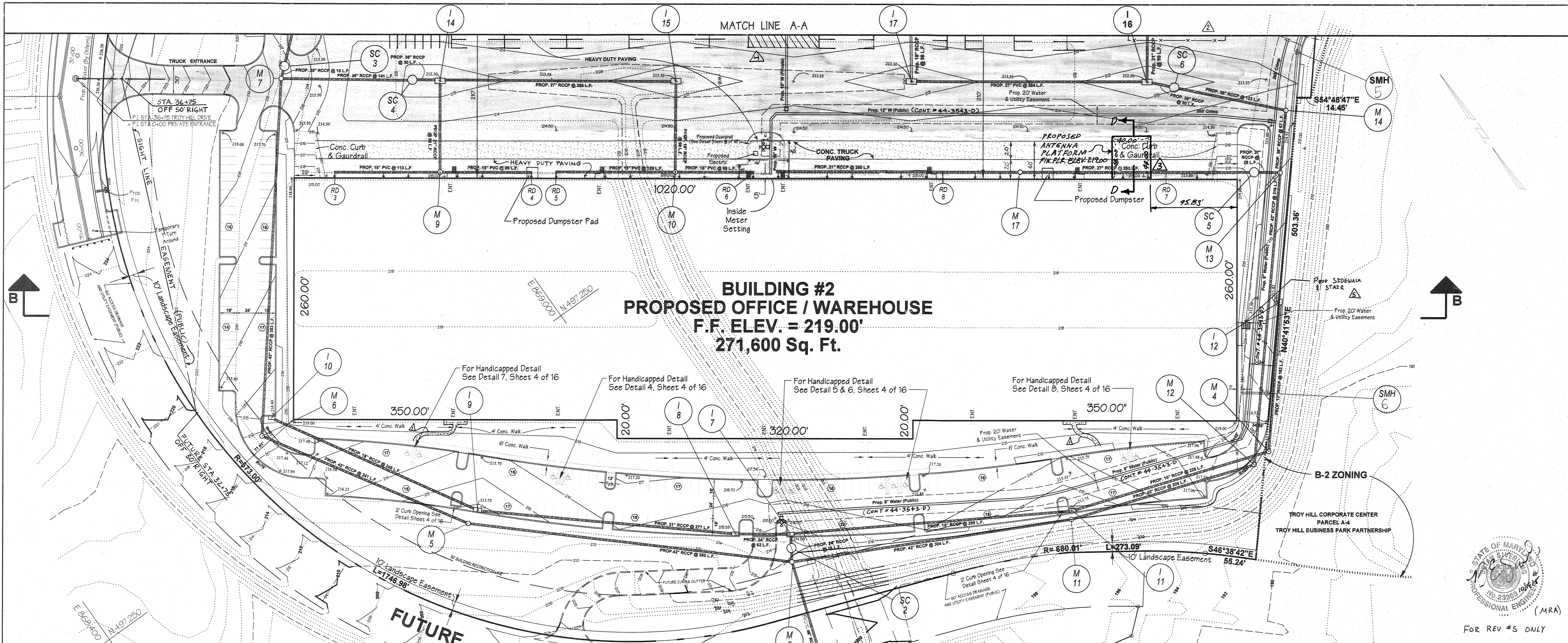
James Butler
DIRECTOR DATE: *11/1/06*

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
BUILDING #1	7040 TROY HILL DRIVE
BUILDING #2	7090 TROY HILL DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	1	135 A-1
PLAT #	BLOCK #	ZONE
13843	17, 18	M-1
WATER CODE	ELECT. DIST.	CENSUS TRACT
C04	1st	6011-02
SEWER CODE	4020000	

SITE PLAN FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1
PREVIOUS FILE #S S90-05, P90-25, F91-24, P96-136
HOWARD COUNTY, MARYLAND 17 SCALE: AS SHOWN
1st ELECTION DISTRICT SHEET 2 of 16 MARCH 22, 1996

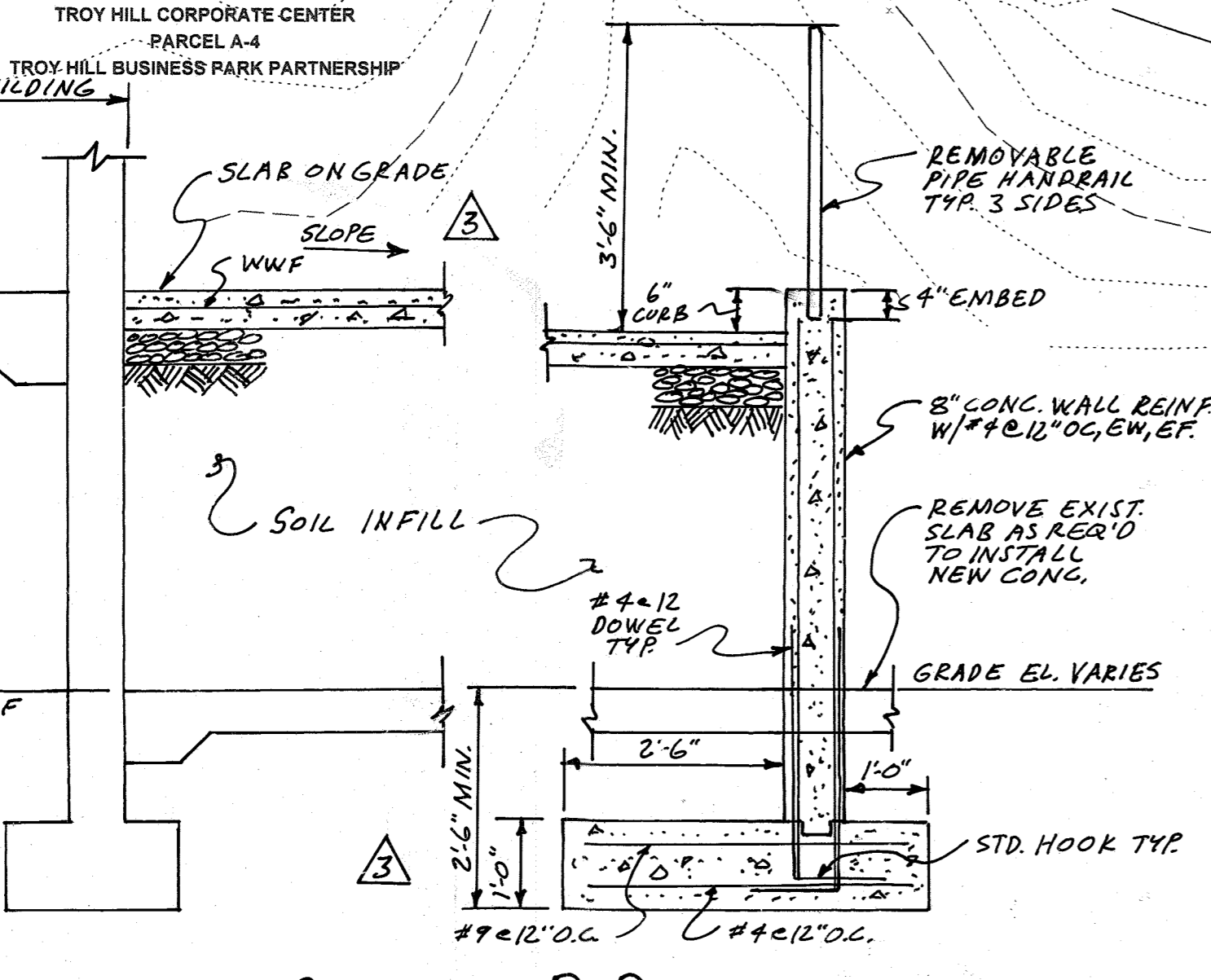
SDP-96-117



**BUILDING #2
PROPOSED OFFICE / WAREHOUSE**
F.F. ELEV. = 219.00'
271,600 Sq. Ft.

PLAN
SCALE 1" = 50'

NOTE:
CONCRETE SLABS ON GRADE SHALL CONSIST OF 5" NORMAL WEIGHT CONCRETE REINFORCED WITH 6"x6" W 2.4x W2.4 WELDED WIRE FABRIC (WWF) AND PLACED OVER A 1" THICK COMPACTED GRANULAR BASE AND 6 MIL VAPOR RETARDOR. REFER TO TYPICAL SLAB ON GRADE SEE DETAILS FOR ADDITIONAL INFORMATION.



These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John P. Robertson
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 10/10/26

PLAN NUMBER: _____ DATE: 10/10/26

Reviewed for the Howard Conservation District and meets technical requirements.

J. E. Wainwright
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 10/10/26

APPROVED: Howard County Department of Planning and Zoning

Chad Dammann
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/10/26

Richard Blood
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/21/26

James S. Smith
DIRECTOR
DATE: 11/11/26

ADDRESS CLASS		PARCEL #	SECTION NAME	PARCEL #
PARCEL NO.	STREET ADDRESS	135	1	A-1
BUILDING #1	7040 TROY HILL DRIVE			
BUILDING #2	7090 TROY HILL DRIVE			
SUBDIVISION NAME		TROY HILL CORPORATE CENTER		
PLAT #	BLOCK #	ZONE	MAP	ELECT. DIST.
138-43	17, 18	M-1	37	1st
WATER CODE		SEWER CODE		
C04		4020000		

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:

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Developer Name: _____ Date: 3/20/26

OWNER/DEVELOPER

TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

PRIVATE S.W.M. FACILITY 2
SEE P20-196 SH. 10 OF 24
DETENTION POND W/STORMCEPTORS

ADDED PARKING SPACES & UPDATED OWNER INFORMATION

REVISIONS
1-7-97 REVISED HANDICAPPED DETLS. 7 & 8
2-ADD 20' HIGH CHAIN LINK FENCE TO REAR OF BUILDING NO. 1
2/11/26
11/25/02 BY EWS ADDED ANTENNA PLATFORM.

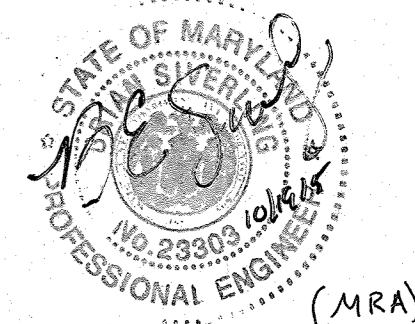
SITE PLAN FOR TROY HILL CORPORATE CENTER

PHASE 1 PARCEL A-1
PREVIOUS FILE #S S90-05, P90-25, F91-24, F96-136

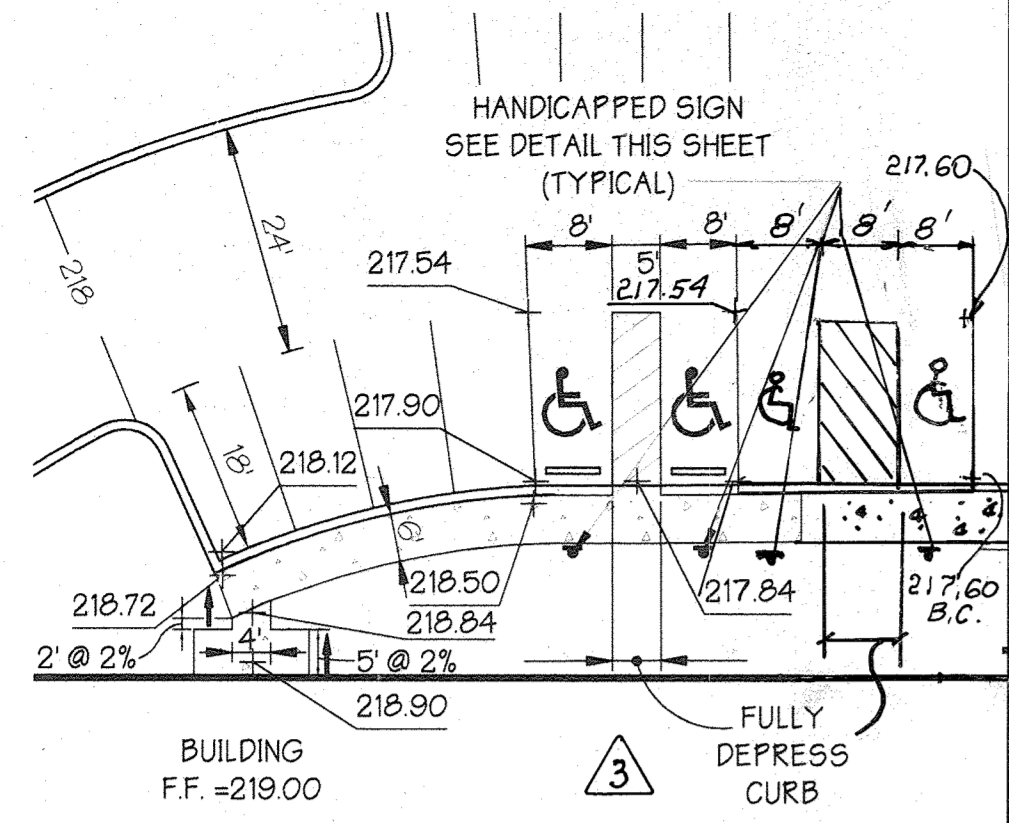
HOWARD COUNTY, MARYLAND
1st ELECTION DISTRICT

17
SHEET 3 of 16

SCALE: AS SHOWN
MARCH 22, 1996

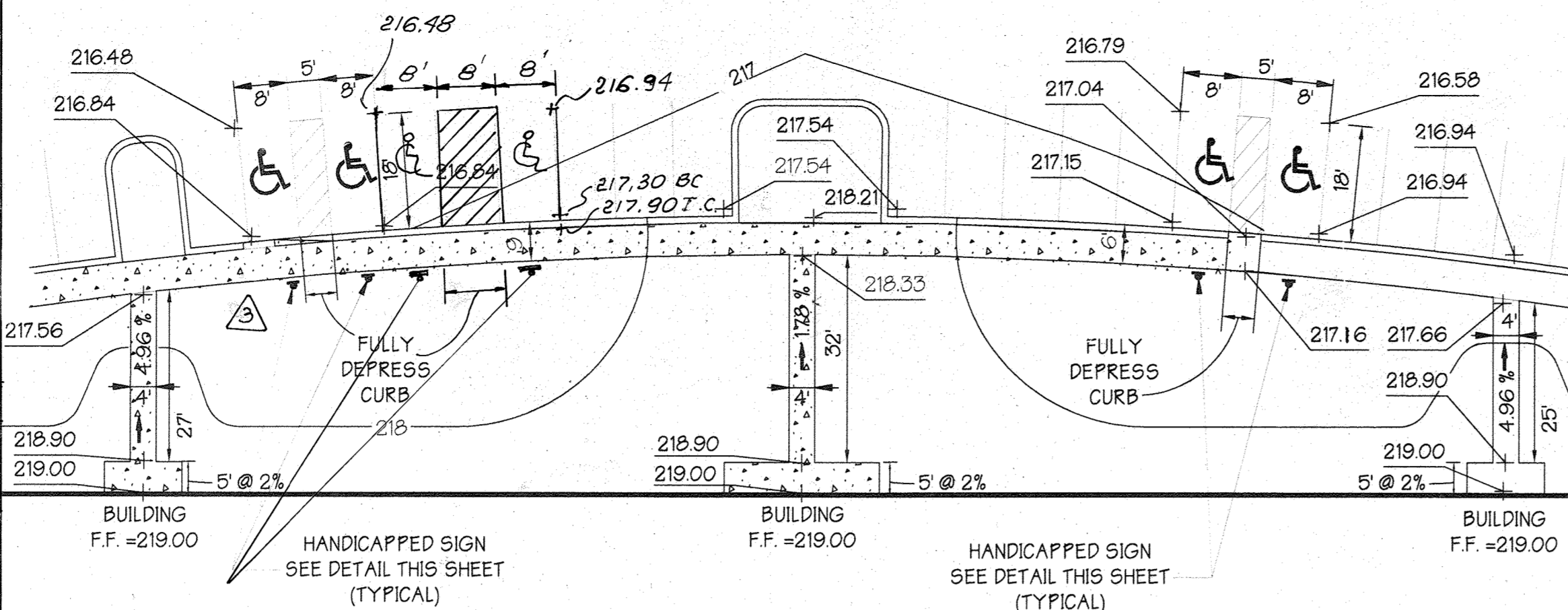


FOR REV #5 ONLY



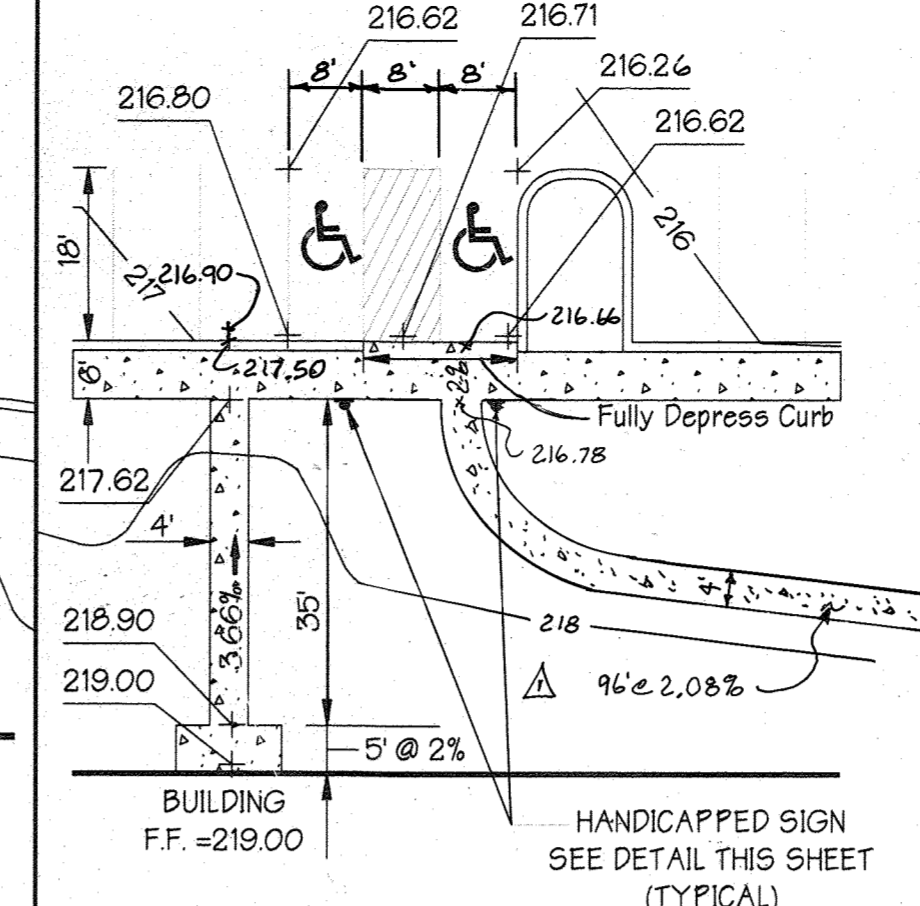
HANDICAPPED PARKING DETAIL 1

SCALE: 1" = 20'



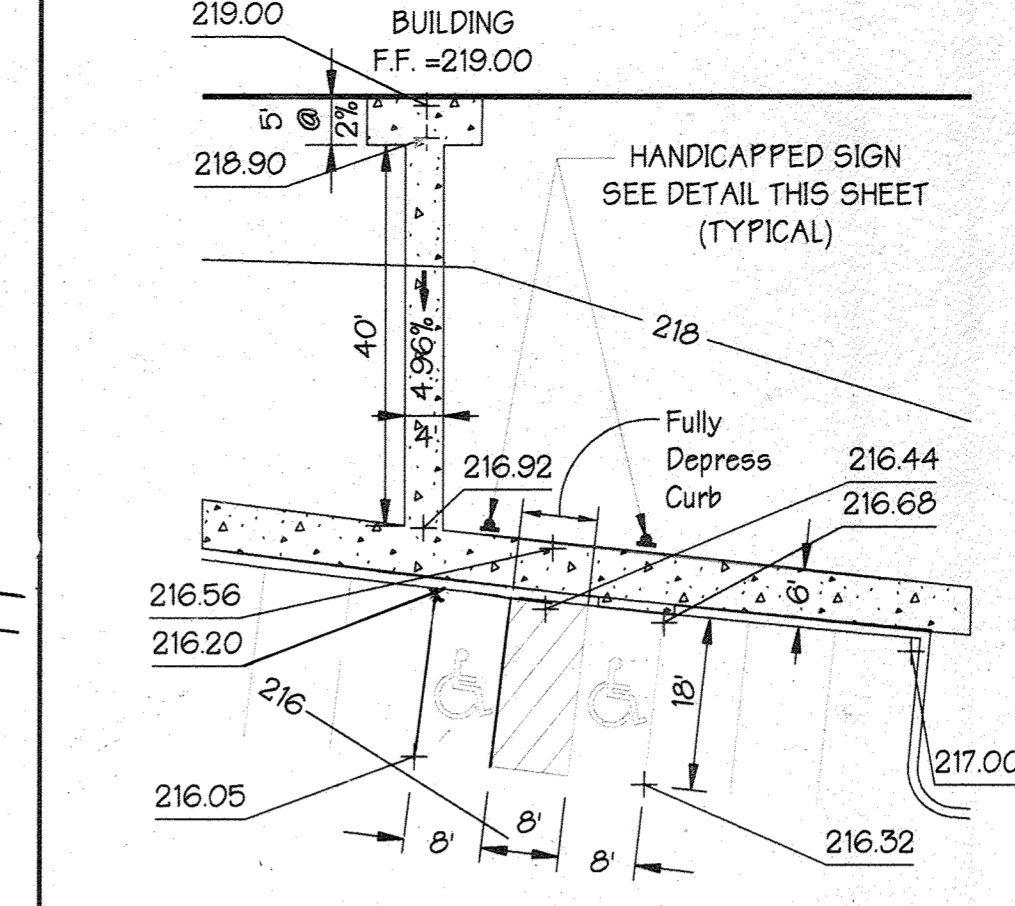
HANDICAPPED PARKING DETAIL 2

SCALE: 1" = 20'



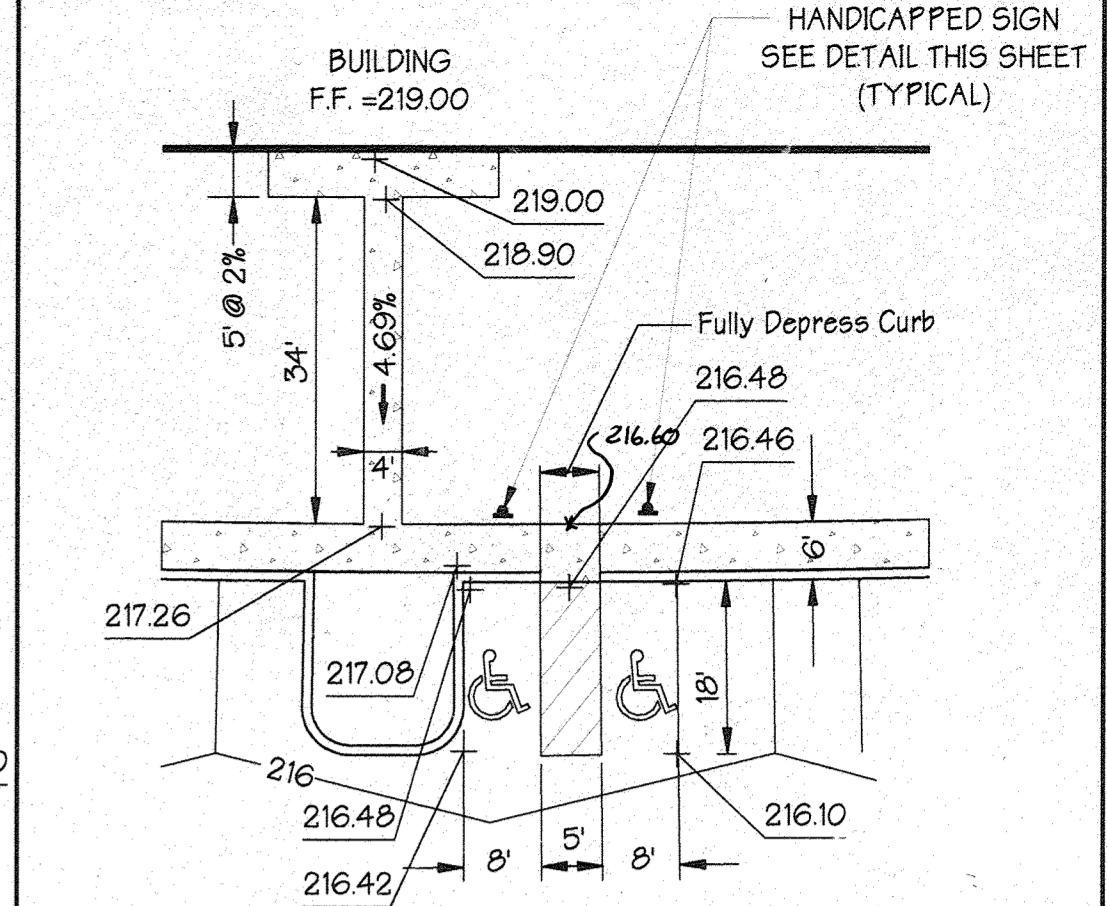
HANDICAPPED PARKING DETAIL 3

SCALE: 1" = 20'



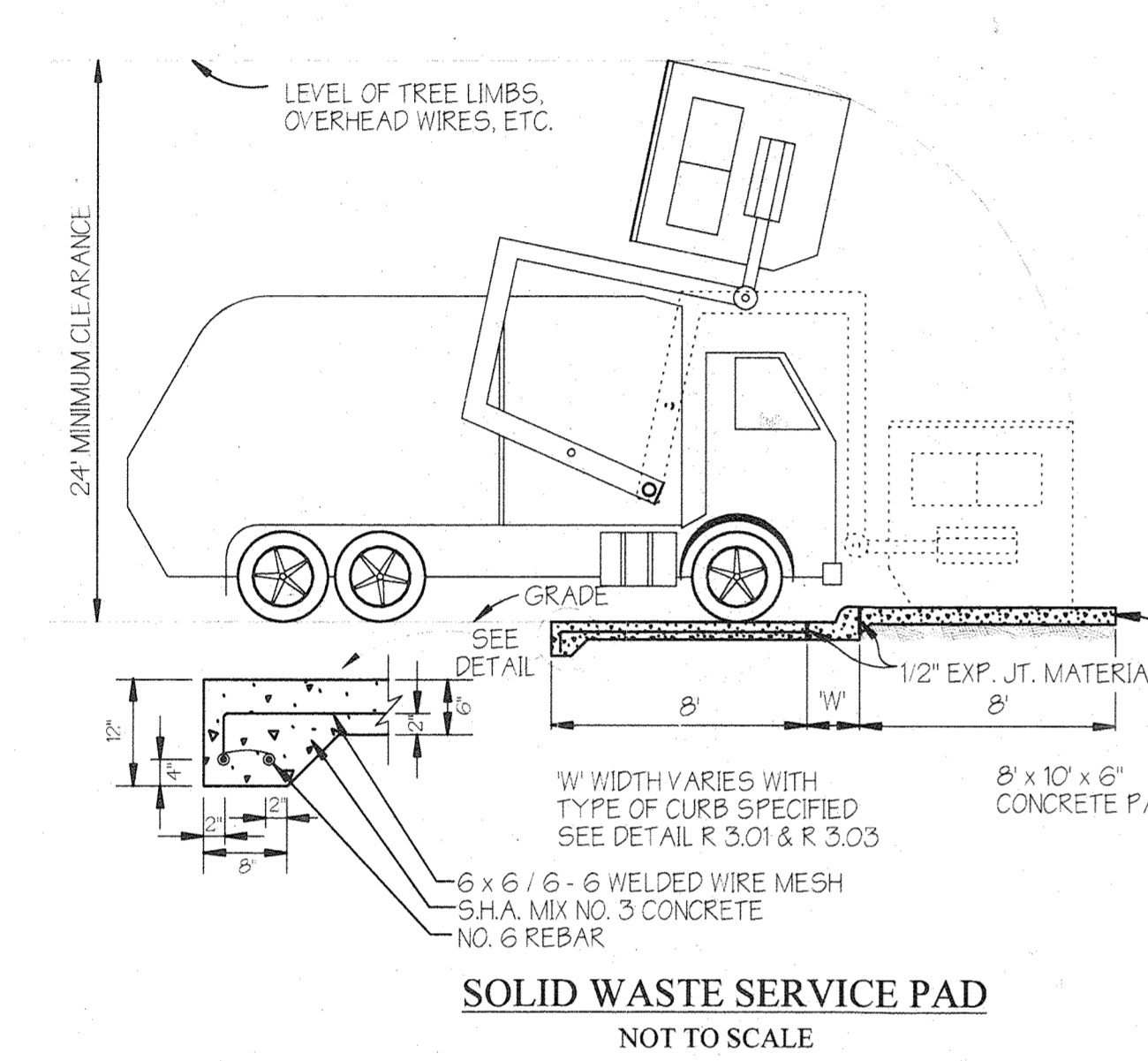
HANDICAPPED PARKING DETAIL 4

SCALE: 1" = 20'



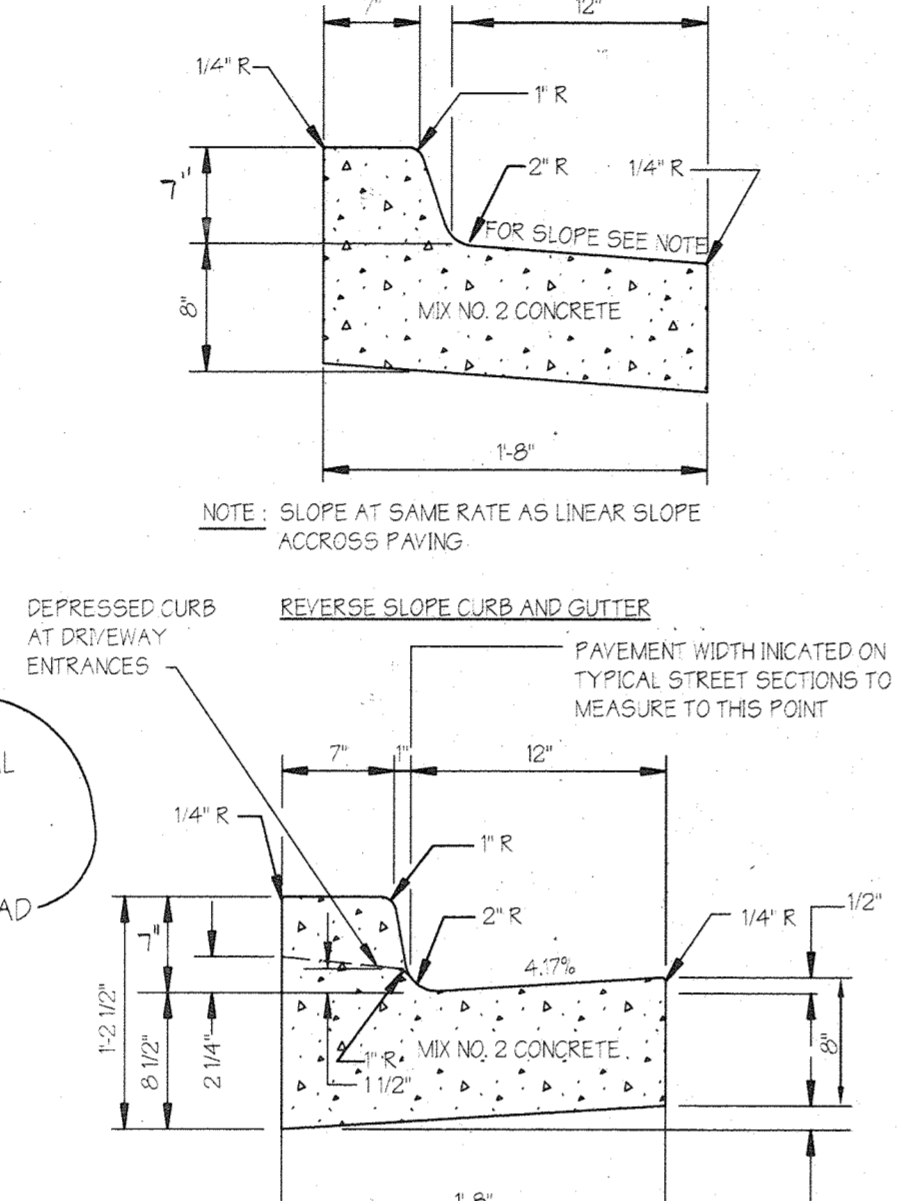
HANDICAPPED PARKING DETAIL 5

SCALE: 1" = 20'



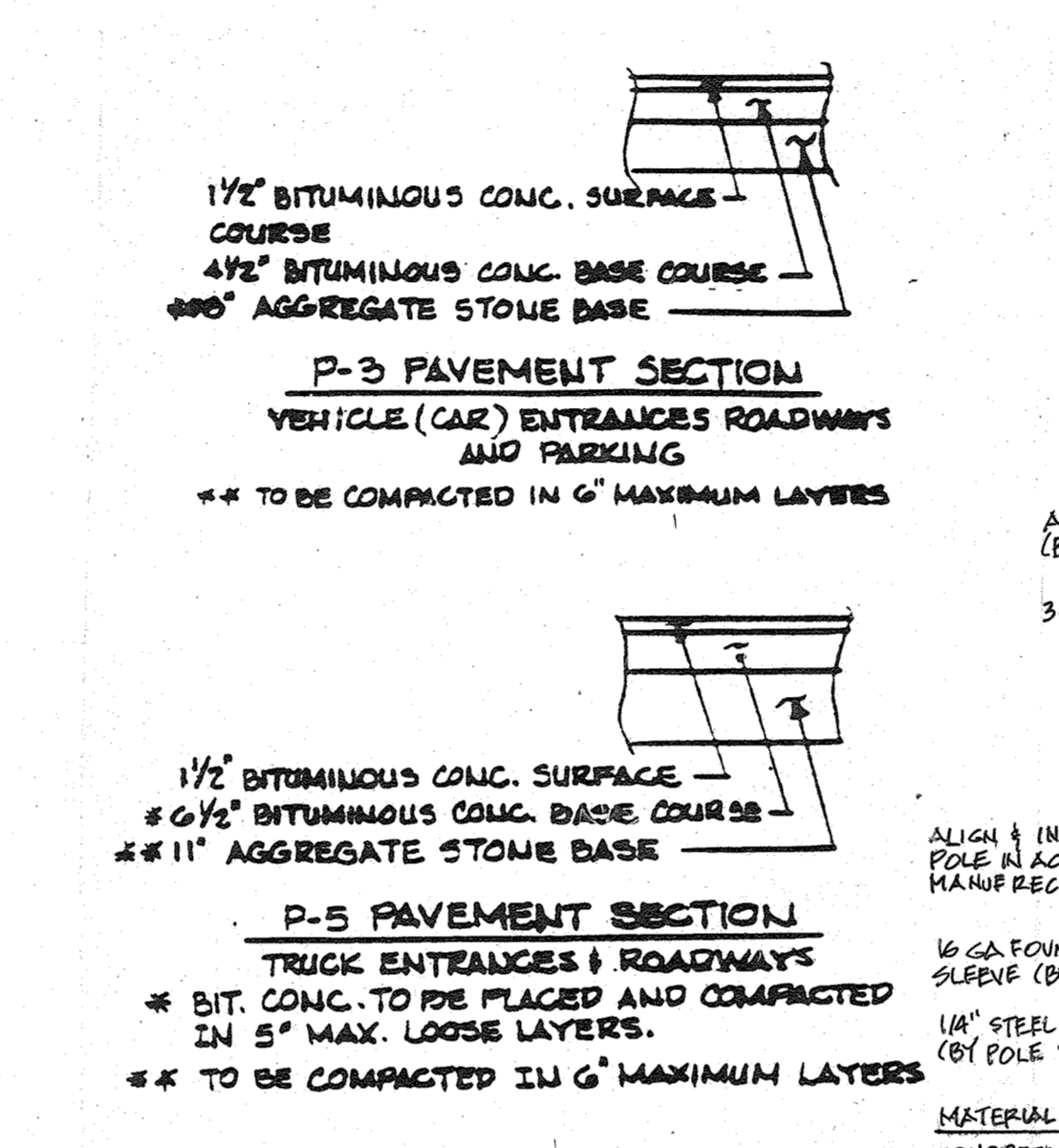
SOLID WASTE SERVICE PAD

NOT TO SCALE



CURB AND GUTTER DETAIL

NOT TO SCALE

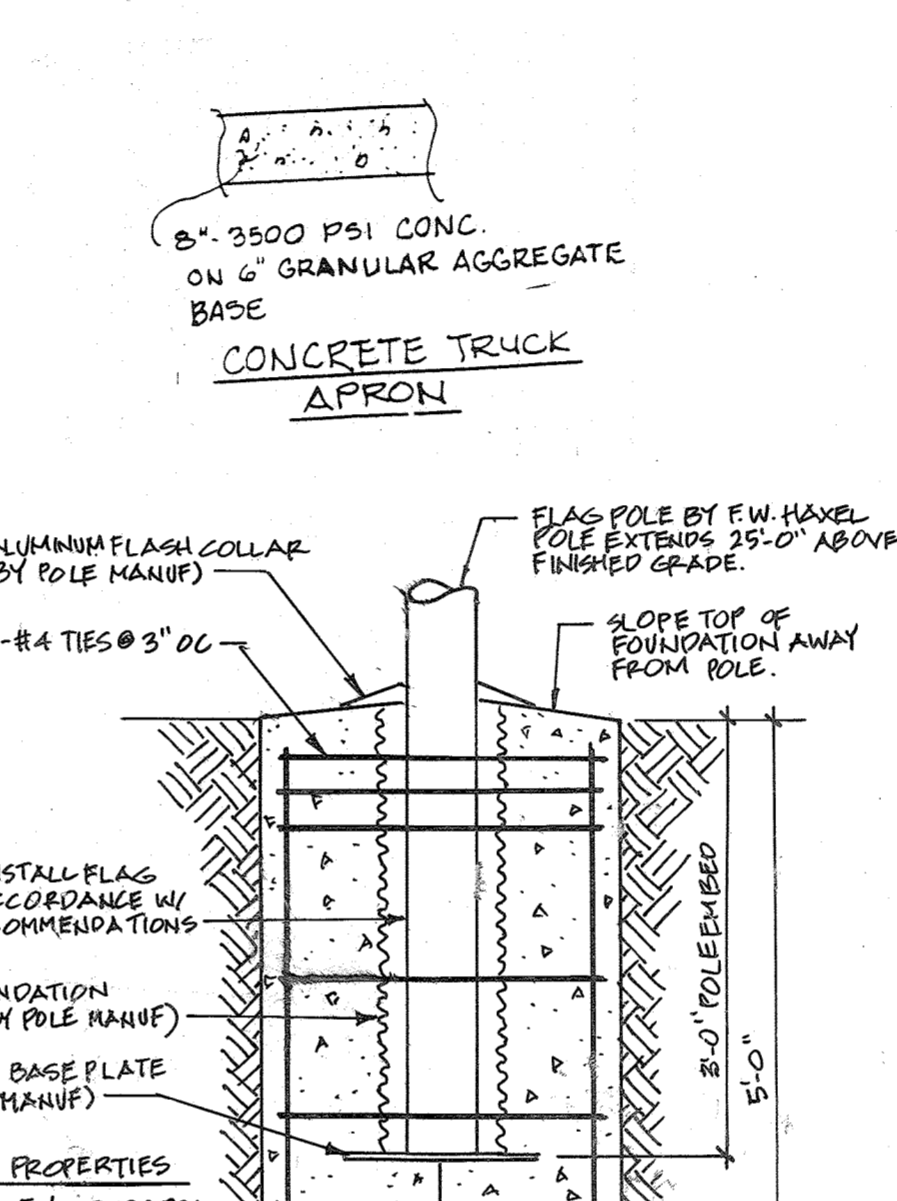


1/2" BITUMINOUS CONC. SURFACE COURSE
4/2" BITUMINOUS CONC. BASE COURSE
4" AGGREGATE STONE BASE

P-3 PAVEMENT SECTION
VEHICLE (CAR) ENTRANCES ROADWAYS AND PARKING
** TO BE COMPACTED IN 6" MAXIMUM LAYERS

1/2" BITUMINOUS CONC. SURFACE
4/2" BITUMINOUS CONC. BASE COURSE
4" AGGREGATE STONE BASE

P-5 PAVEMENT SECTION
TRUCK ENTRANCES + ROADWAYS
* BIT. CONC. TO BE PLACED AND COMPACTED IN 5" MAX. LOOSE LAYERS.
* X TO BE COMPACTED IN 6" MAXIMUM LAYERS



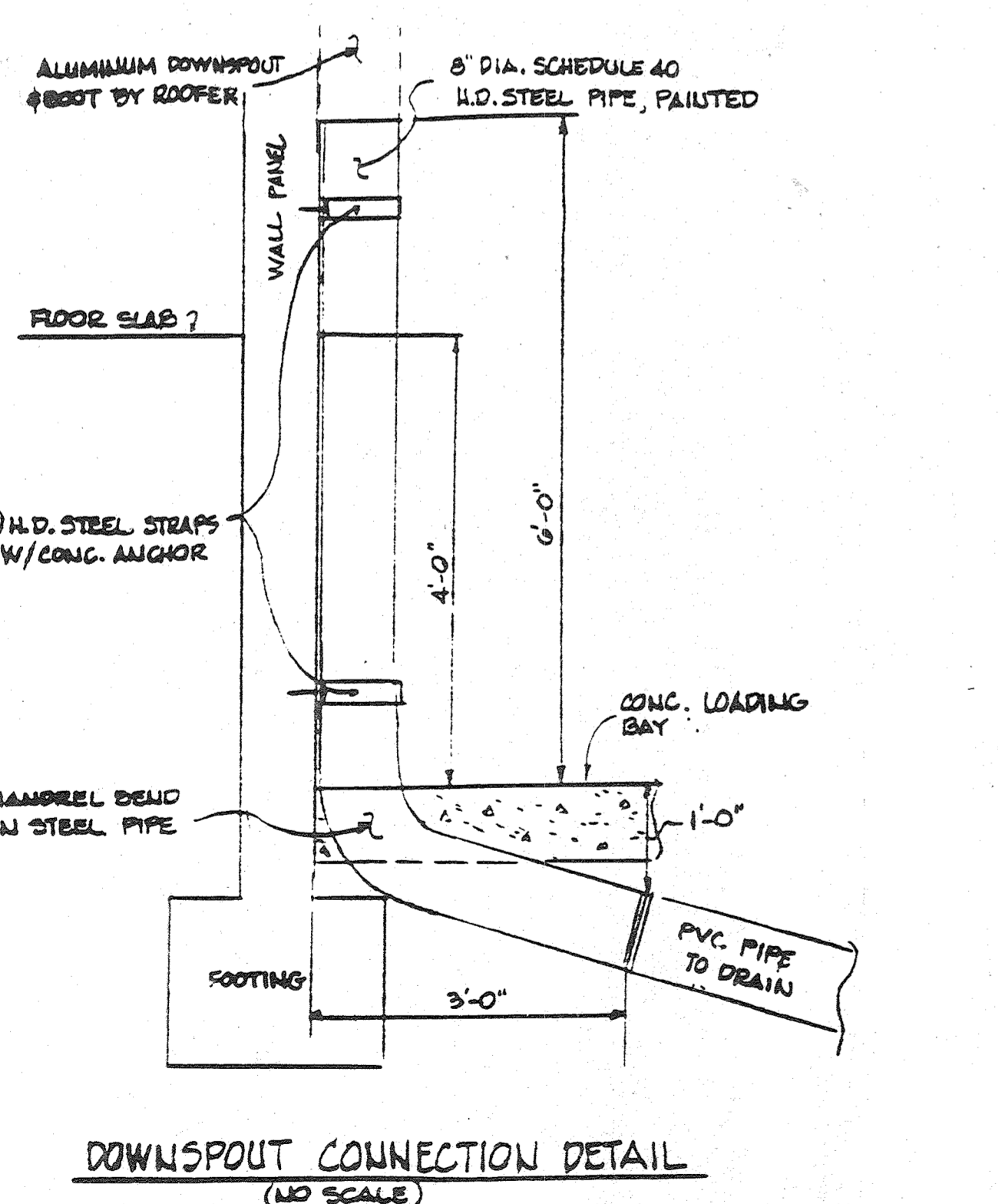
FLAG POLE BASE

SCALE: 3/4" = 1'-0"



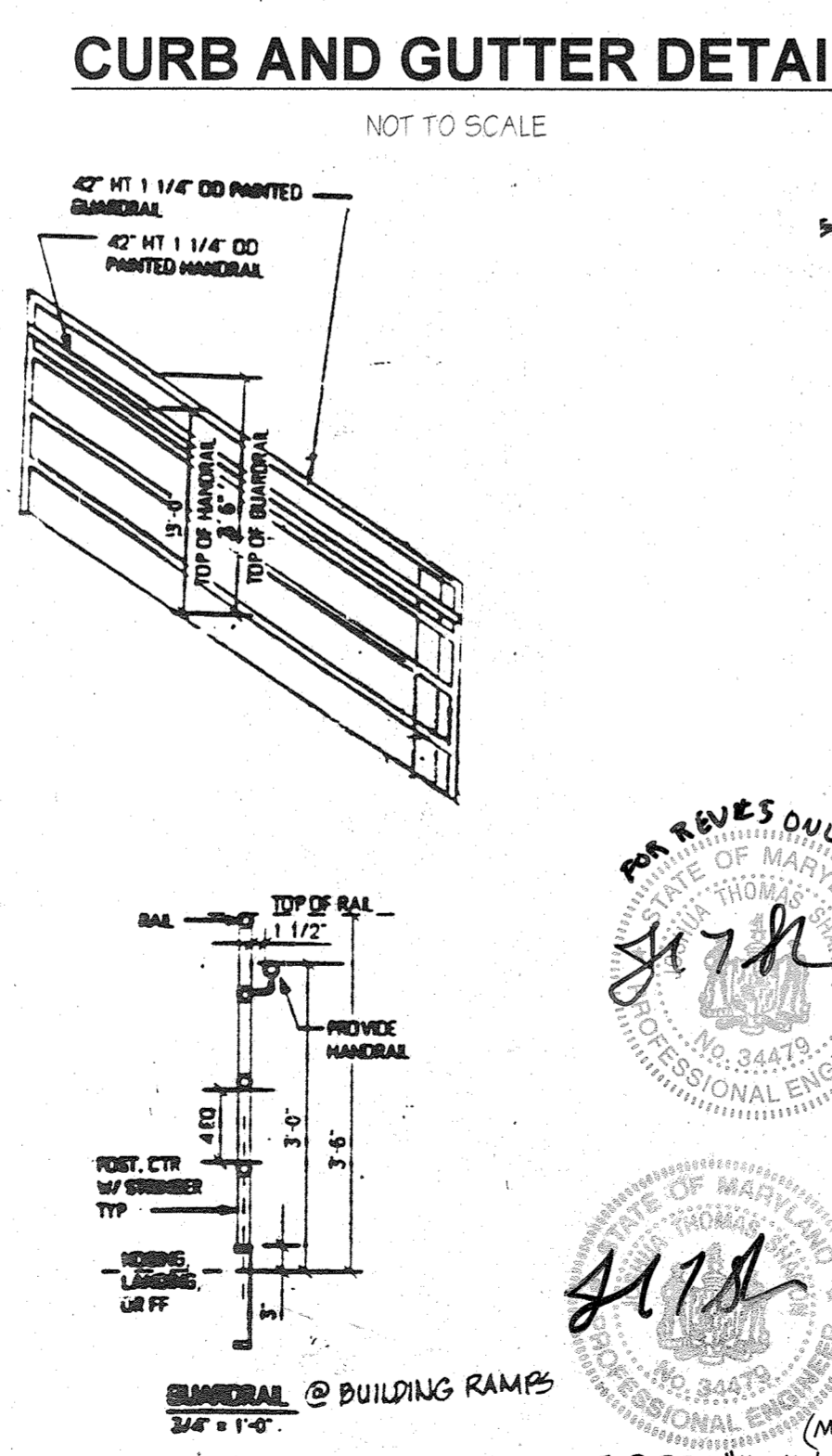
HANDICAPPED SIGN DETAIL

NOT TO SCALE



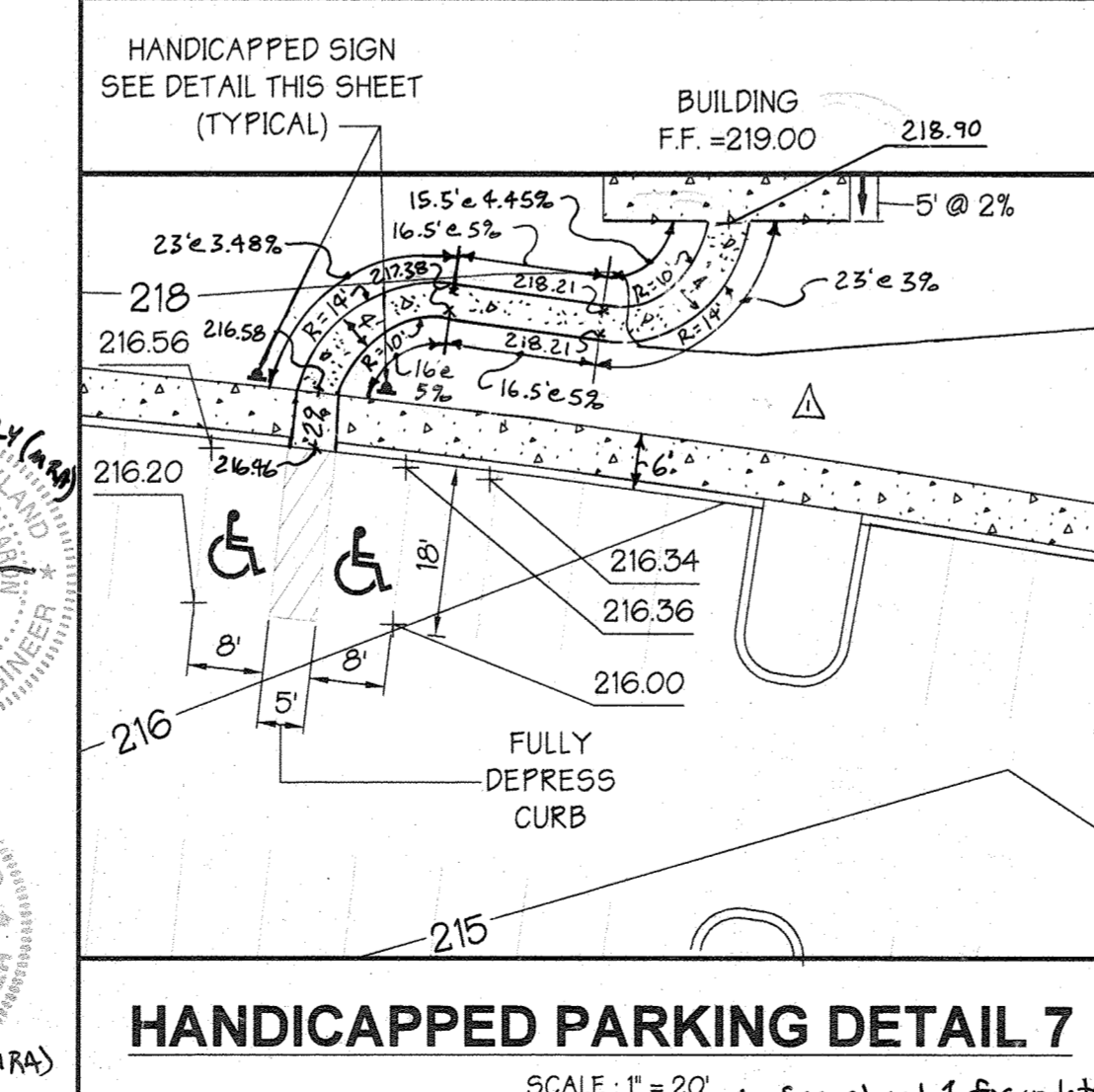
DOWNSPOUT CONNECTION DETAIL

(NO SCALE)



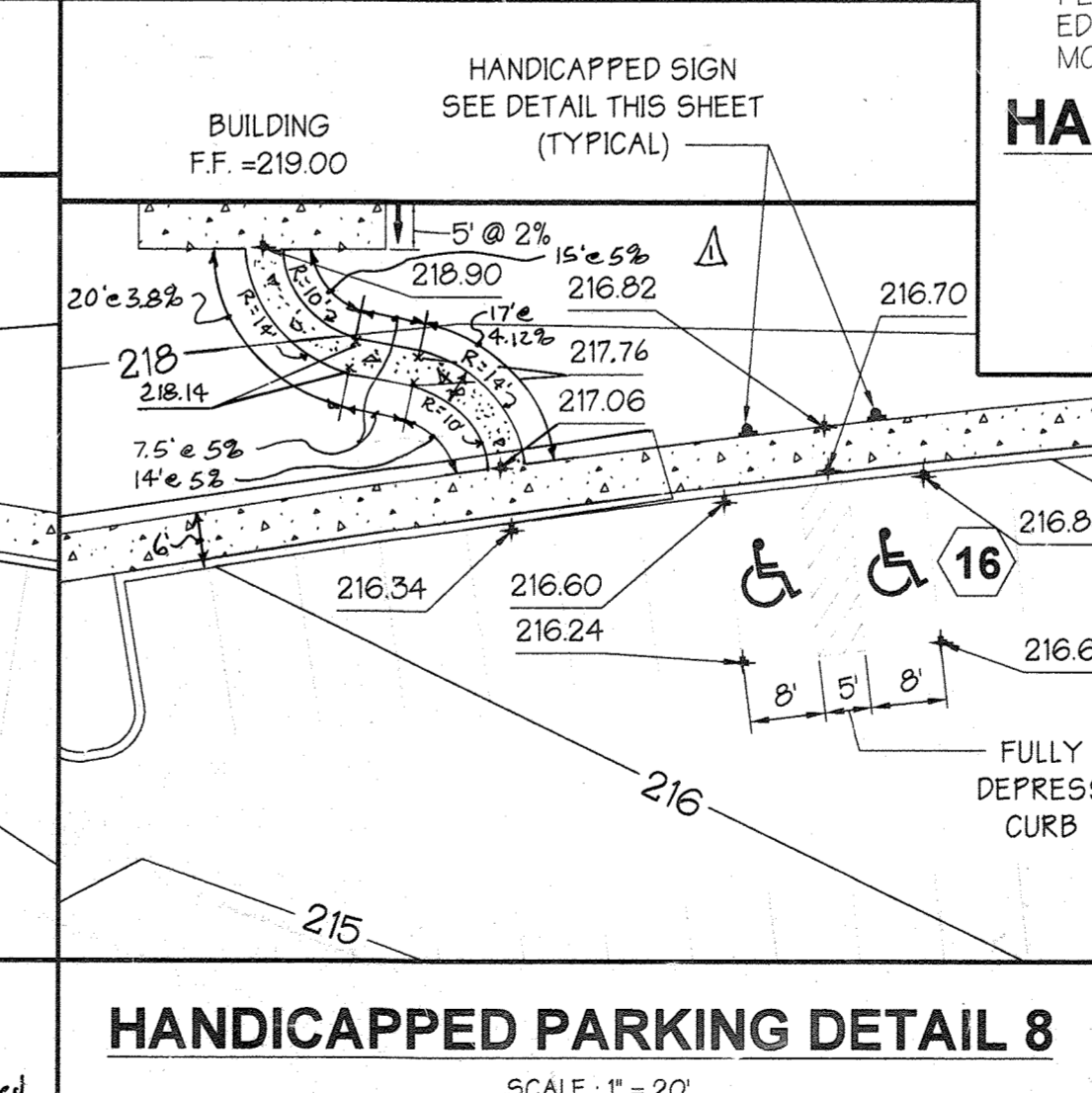
CURB OPENING DETAIL

(NO SCALE)



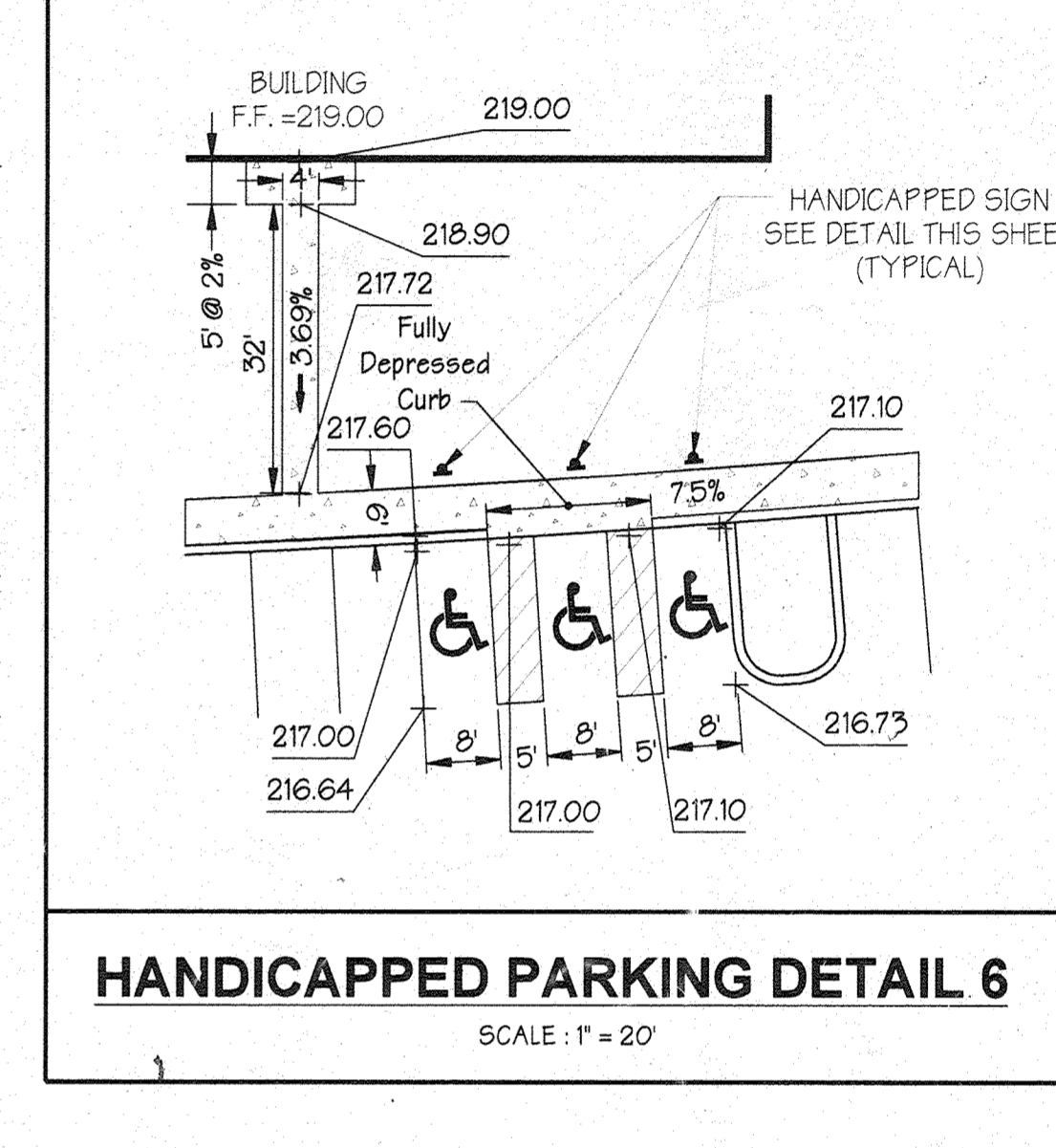
HANDICAPPED PARKING DETAIL 7

SCALE: 1" = 20'



HANDICAPPED PARKING DETAIL 8

SCALE: 1" = 20'



HANDICAPPED PARKING DETAIL 6

SCALE: 1" = 20'

These plans for S.W.M. construction soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John R. Polutor
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 10/10/96

PLAN NUMBER: _____ DATE: _____

Reviewed for the Howard Conservation District and meets technical requirements.
J. M. Wafford
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 10/10/96

APPROVED: Howard County Department of Planning and Zoning
Richard Blood
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/31/96

Richard Blood
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/31/96

James S. Smith
DIRECTOR
DATE: 11/1/96

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
BUILDING #1	7040 Troy Hill Drive
BUILDING #2	7090 Troy Hill Drive

SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	1	135 A-1
PLAT #	BLOCK #	ZONE
13843	1710	M-1
WATER CODE	SEWER CODE	
CO1	402000	

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *O. L. ...* Date: *3/20/96*

OWNER/DEVELOPER

TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

REVISIONS

1/17/97 REVISED HANDICAPPED DTLS. 3, 7, 8
2/10/97 REVISED HANDICAPPED DETAIL NO. 1 AND NO. 2 BY GWS. 10.18.2000
3/20/96 UPDATED OWNER INFORMATION REF.

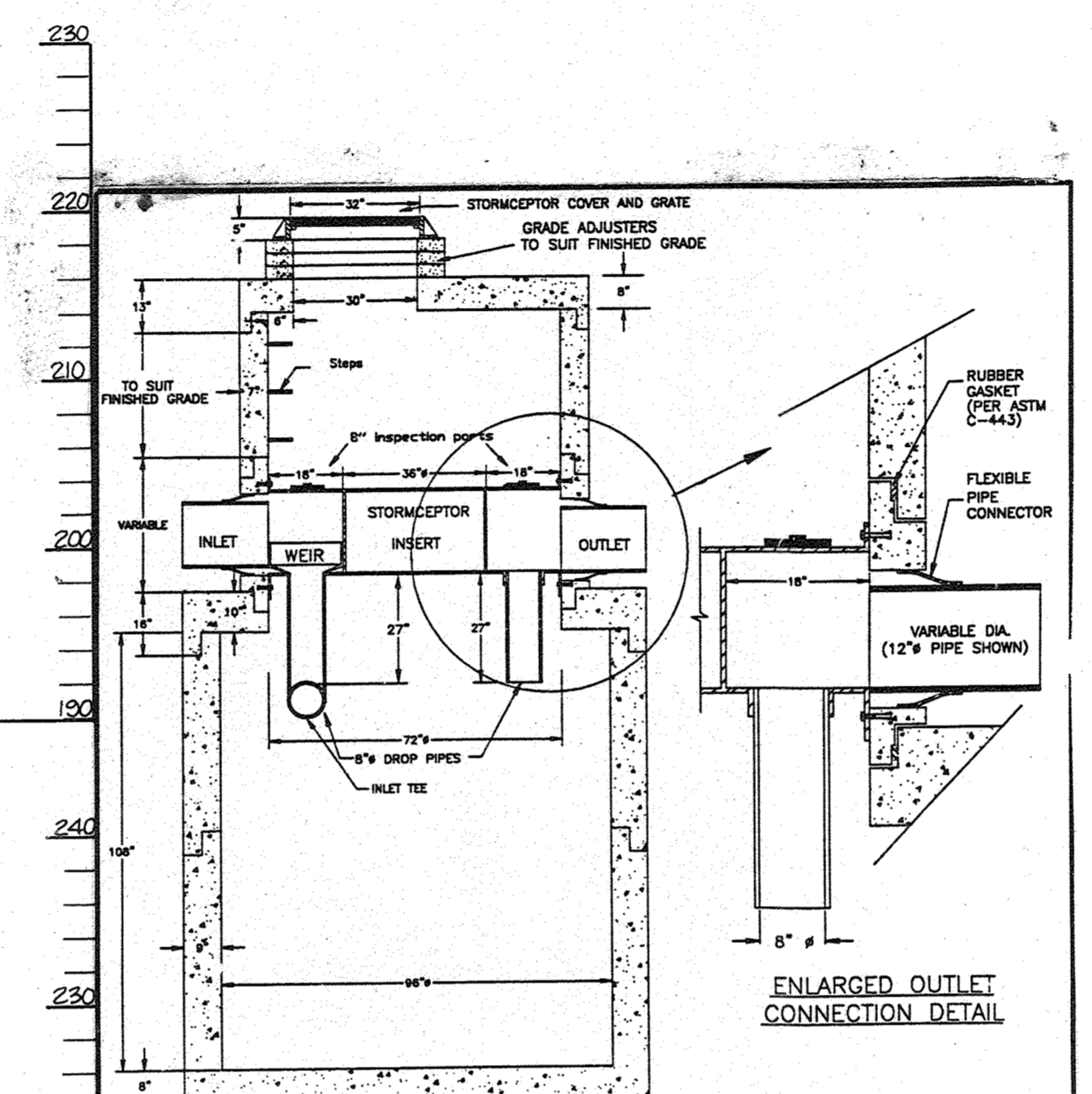
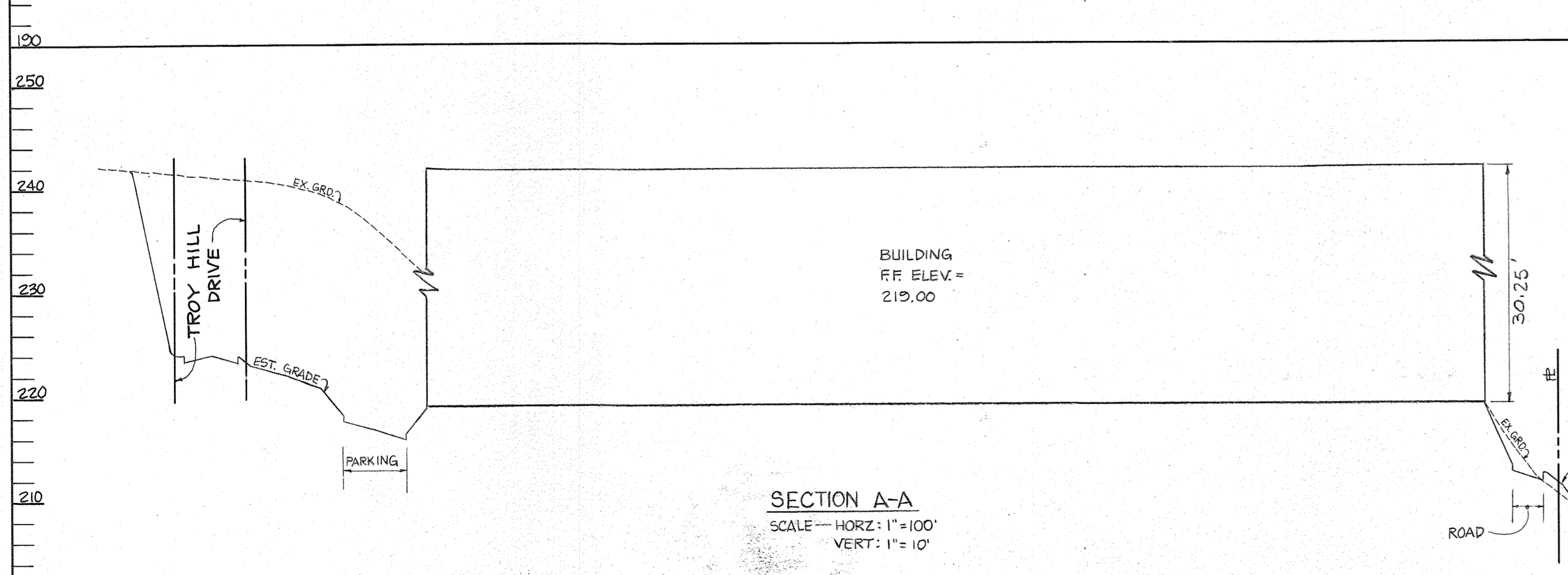
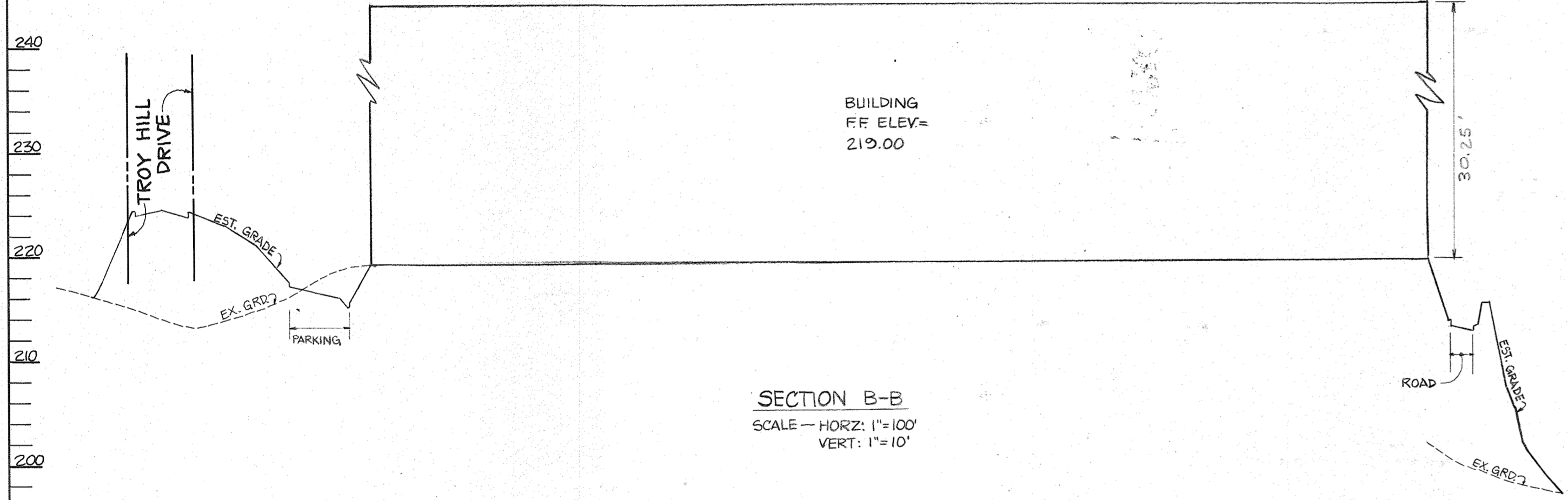
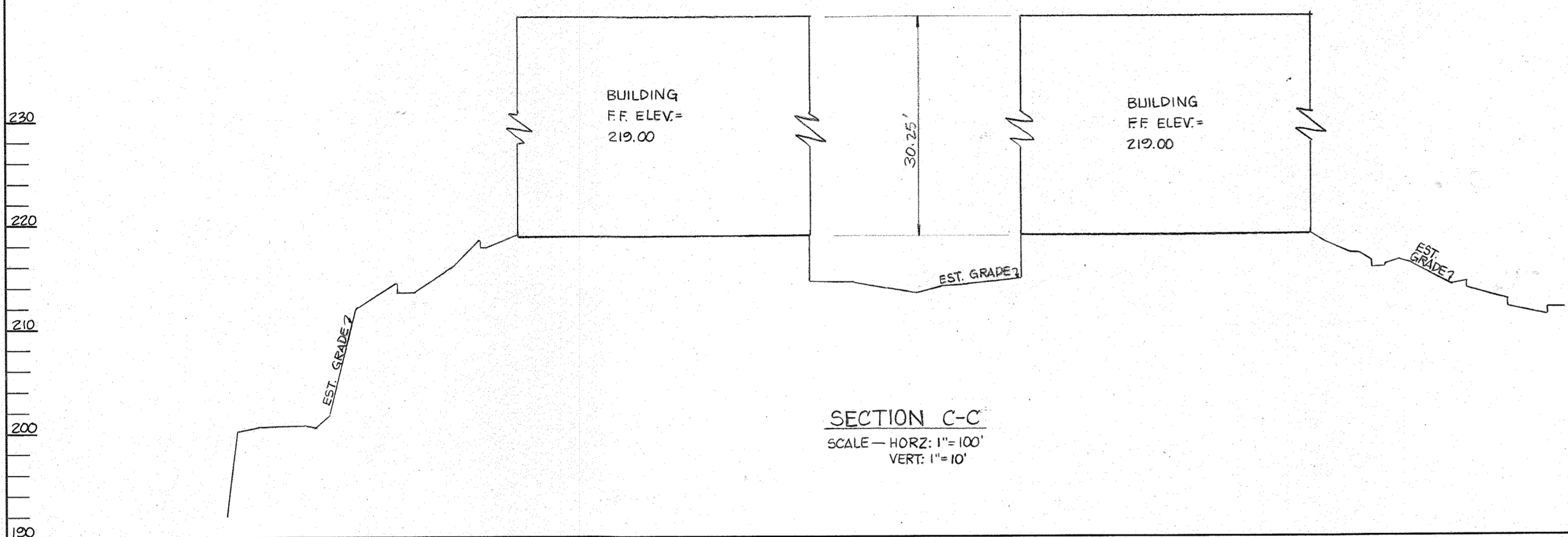
DETAILS & SECTIONS FOR TROY HILL CORPORATE CENTER PHASE 1 PARCEL A-1

PREVIOUS FILE #S 590-05, P90-25, F91-24, F96-136

HOWARD COUNTY, MARYLAND
1st ELECTION DISTRICT

SHEET 4 of 16

SCALE: AS SHOWN
MARCH 26, 1996

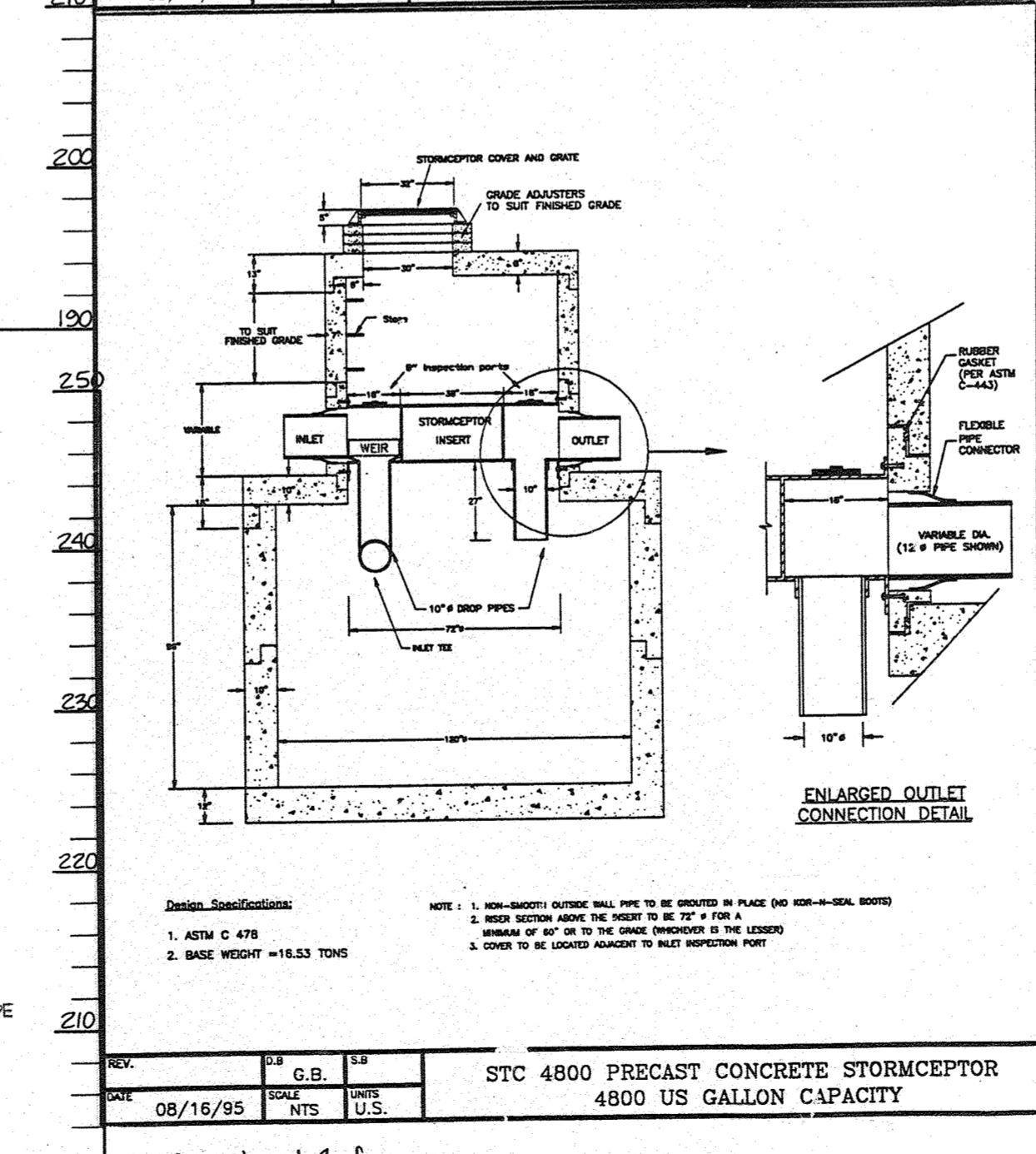


NOTE: 1. NON-SMOOTH OUTSIDE WALL PIPE TO BE GROUNDED IN PLACE (NO NON-INSULATED BOOTS)
2. RISER SECTION ABOVE THE INSERT TO BE 72" H FOR A MINIMUM OF 60" OR TO THE GRADE (WHICHEVER IS THE LESSER)
3. COVER TO BE LOCATED ADJACENT TO INLET INSPECTION POINT

Design Specifications:
1. ASTM C 478
2. BASE WEIGHT = 11.28 TONS

REV. DATE BY G.B. DATE BY G.B. DATE BY G.B.
08/16/95 NTS U.S.

STC 3600 PRECAST CONCRETE STORMCEPTOR
3600 US GALLON CAPACITY

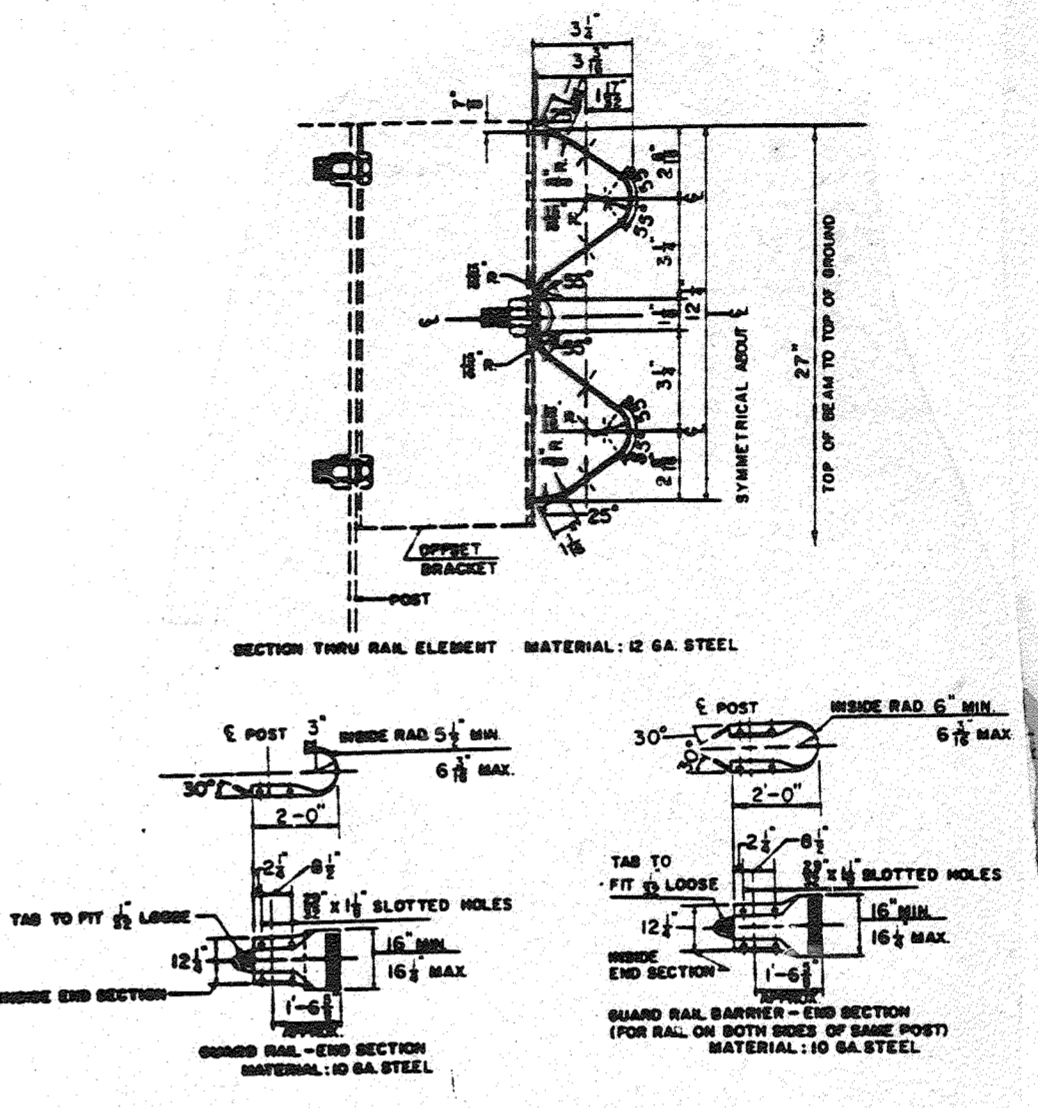


NOTE: 1. NON-SMOOTH OUTSIDE WALL PIPE TO BE GROUNDED IN PLACE (NO NON-INSULATED BOOTS)
2. RISER SECTION ABOVE THE INSERT TO BE 72" H FOR A MINIMUM OF 60" OR TO THE GRADE (WHICHEVER IS THE LESSER)
3. COVER TO BE LOCATED ADJACENT TO INLET INSPECTION POINT

Design Specifications:
1. ASTM C 478
2. BASE WEIGHT = 16.53 TONS

REV. DATE BY G.B. DATE BY G.B. DATE BY G.B.
08/16/95 NTS U.S.

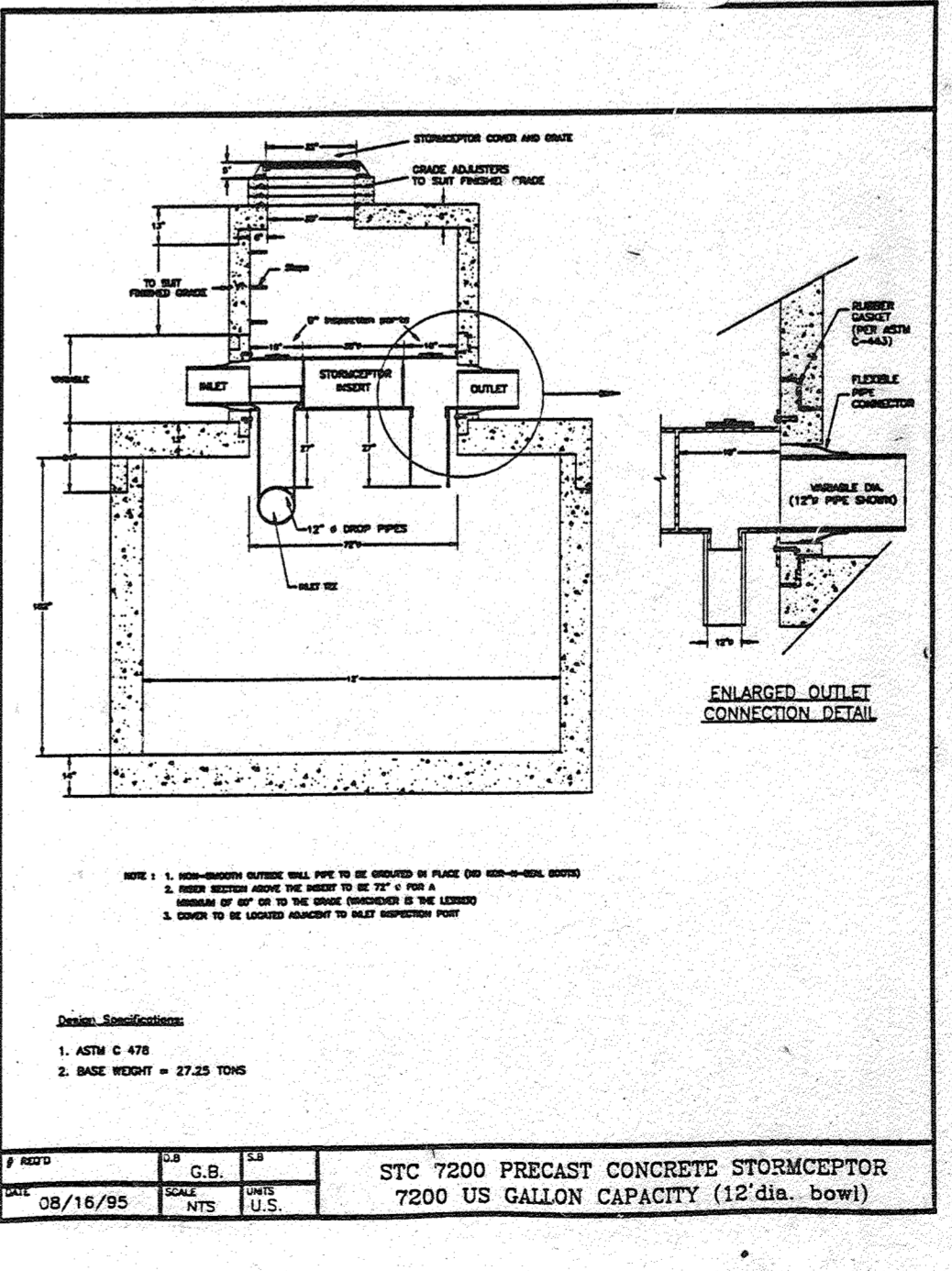
STC 4800 PRECAST CONCRETE STORMCEPTOR
4800 US GALLON CAPACITY



GENERAL NOTES:
1. ALL DIMENSIONS ARE SUBJECT TO SFF TOLERANCES
2. RAIL ELEMENTS ARE FURNISHED SHAP CURVED, CONCAVE OR CONVEX TO MATCH BETWEEN ROFT. IS 180 FT.
3. THE STEEL FOR RAIL ELEMENTS AND BOLTS IS OF A QUALITY TO DEVELOP SPECIFICATION VALUES FOR TENSILE AND YIELD STRENGTHS.
4. FOR INTERNALS, INTERNAL PROCESSING AND ASSEMBLY, SEE LATEST S.H.A. SPECIFICATIONS.
5. FOR OFFSET BRACKET DETAIL, SEE STC 3600-3600A3.
6. POSTS TO BE 2" X 4" LAMBS, SPACED AT 6'-3" C/C.
7. SIZES OF PLATE (1/2" THICK) OF BEAMS CENTERED ON OFFSET BRACKET BOLT TO BE PLACED HERE NO OVERLAP OF RAIL SPICES OCCURS.
8. AN INTERNAL HOLE PLACED IN THE WEB AT THE BOTTOM OF THE POST MAY BE PROVIDED TO FACILITATE GALVANIZING.
9. BRACKET IS 11"

NOTE: SUPPORTS TO BE EMBEDDED IN 12" DIA. CONC.

APPROVAL		STATE OF MARYLAND	
DESIGNER	CHECKED	DEPARTMENT OF TRANSPORTATION	STANDARD NO. MD-660.01
J. R. B.	J. R. B.	STATE HIGHWAY ADMINISTRATION	STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
08/16/95	08/16/95	GUARD RAIL W BEAM	GENERAL NOTES & DETAILS



NOTE: 1. NON-SMOOTH OUTSIDE WALL PIPE TO BE GROUNDED IN PLACE (NO NON-INSULATED BOOTS)
2. RISER SECTION ABOVE THE INSERT TO BE 72" H FOR A MINIMUM OF 60" OR TO THE GRADE (WHICHEVER IS THE LESSER)
3. COVER TO BE LOCATED ADJACENT TO INLET INSPECTION POINT

Design Specifications:
1. ASTM C 478
2. BASE WEIGHT = 27.25 TONS

REV. DATE BY G.B. DATE BY G.B. DATE BY G.B.
08/16/95 NTS U.S.

STC 7200 PRECAST CONCRETE STORMCEPTOR
7200 US GALLON CAPACITY (12" dia. bowl)

- OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE**
- The Stormceptor water quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the Stormceptor unit yearly at a minimum, utilizing the Stormceptor Inspection/Monitoring Form. Inspections shall be done by using a clear plexiglass tube ("sludge judge") to extract a water column sample. When the sediment depths exceed the level specified in Table 6 of the Stormceptor Technical Manual, the unit must be cleaned.
 - The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
 - The maintenance of the Stormceptor unit shall be done using a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in the unit. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
 - The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found the owner shall have them removed. Structural parts of the Stormceptor unit shall be repaired as needed.
 - The owner shall retain and make the Stormceptor Inspection/Monitoring Forms available the Howard County officials upon their request.

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 10/18/96

PLAN NUMBER

Reviewed for the Howard Conservation District and meets technical requirements.

APPROVED: NATURAL RESOURCES CONSERVATION SERVICE
DATE: 10/19/96

APPROVED: Howard County Department of Planning and Zoning
DATE: 10/31/96

APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 11/1/96

APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 11/1/96

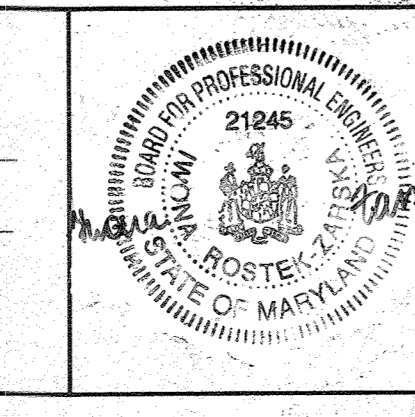
DIRECTOR

ADDRESS CHART
PARCEL NO. STREET ADDRESS
BUILDING #1 7040 TROY HILL DRIVE
BUILDING #2 7090 TROY HILL DRIVE

SUBDIVISION NAME SECTION NAME PARCEL #
TROY HILL CORPORATE CENTER 1 135 A-1

PLAT # 13843 BLOCK # 17 ZONE M-1 TAX / ZONE MAP ELECT. DIST. 1st CENSUS TRACT 6011-02
WATER CODE C04 SEWER CODE 402800

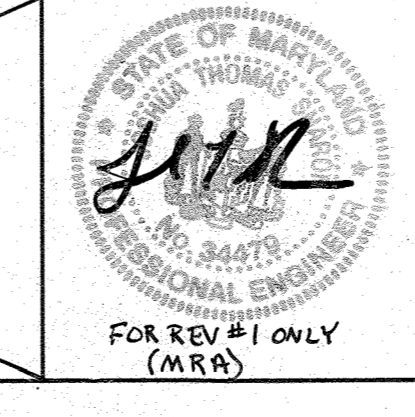
PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120



DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *John A. Manekin* Date: 2/29/96
John A. Manekin

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
4165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400



FOR REV #1 ONLY (M.R.A.)

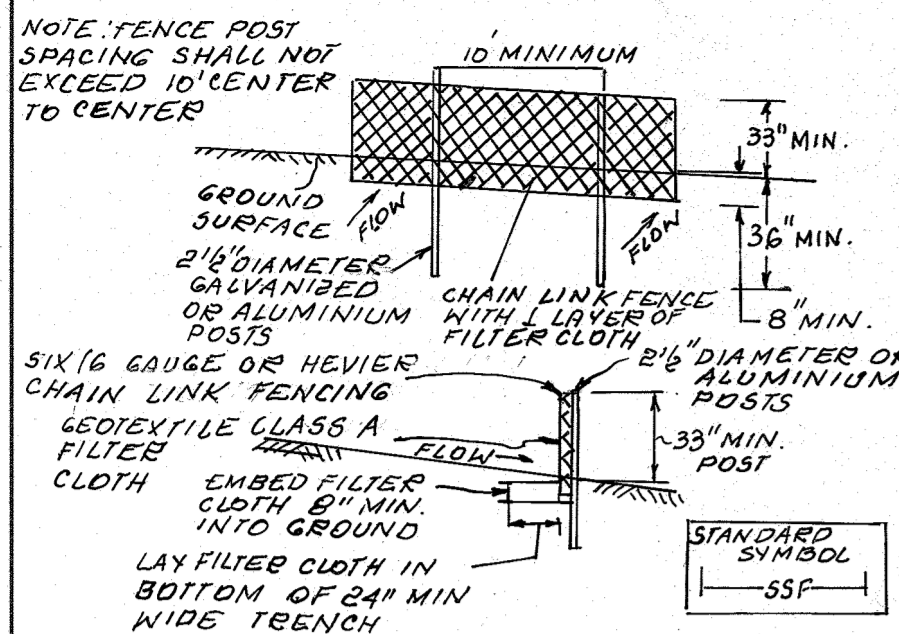
UPDATED OWNER INFORMATION R.O.F.

DETAILS & SECTIONS
FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1

HOWARD COUNTY, MARYLAND 17 SCALE: AS SHOWN
1st ELECTION DISTRICT SHEET 5 of 16 MARCH 22, 1996

SDP-96-117

DETAIL 33-SUPER SILT FENCE



DESIGN CRITERIA

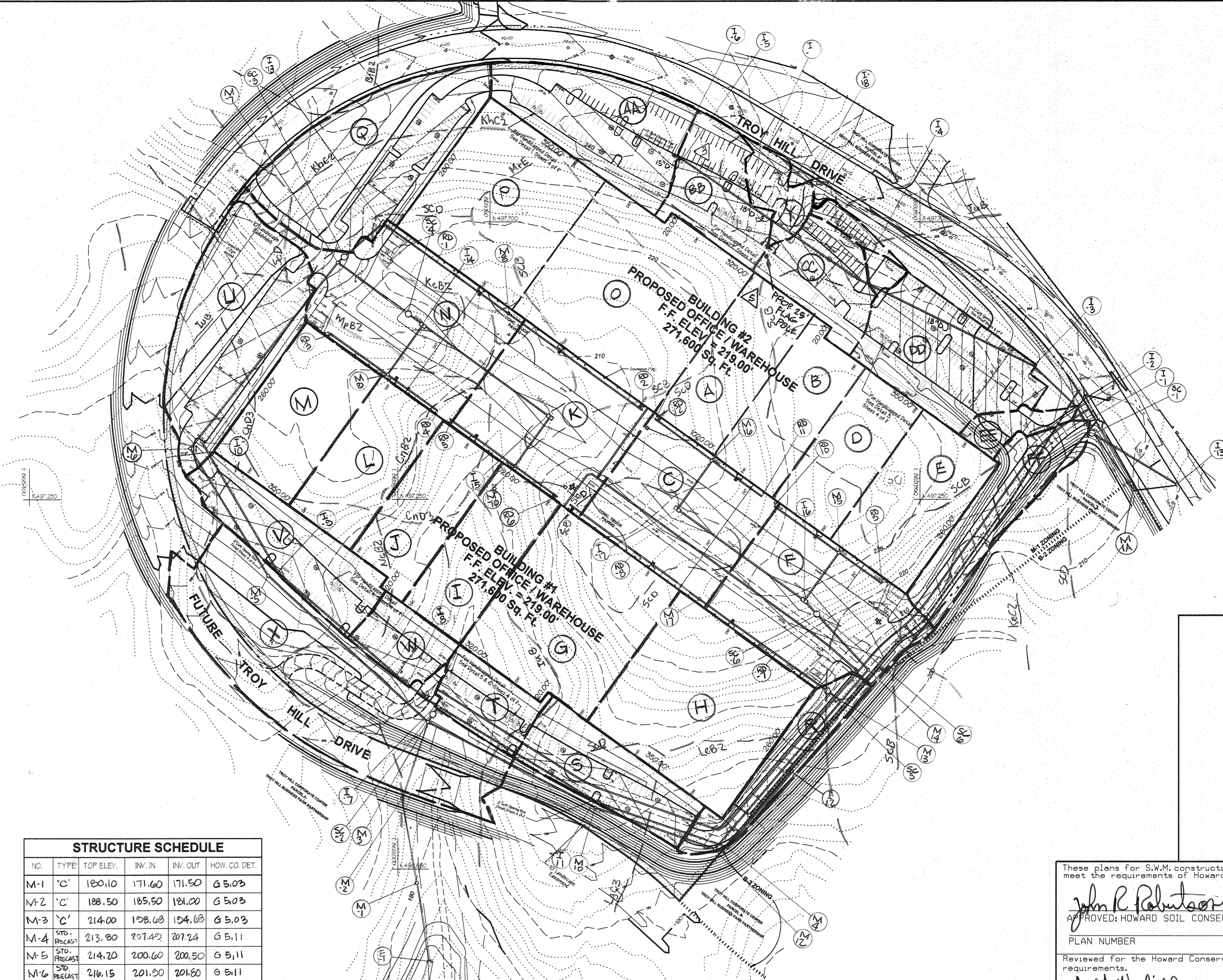
SLOPE	SLOPE STEEPNESS	SLOPE LENGTH	SILT FENCE LENGTH
0-10%	0+10:1	UNLIMITED	UNLIMITED
10-20%	10:1 - 5:1	200 FEET	1,500 FEET
20-33%	5:1 - 3:1	100 FEET	1,000 FEET
33-50%	3:1 - 2:1	100 FEET	500 FEET
50%	2:1	50 FEET	250 FEET

CONSTRUCTION SPECIFICATIONS

- FENCING SHALL BE 42" HIGH & CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY (SHA) DETAILS FOR CHAIN LINK FENCE. THE SHA SPECIFICATIONS FOR 6 FOOT FENCE SHALL BE USED, SUBSTITUTING 42 INCH FABRIC AND 6 FOOT LENGTHS POSTS.
- THE POSTS DO NOT NEED TO BE SET IN CONCRETE.
- CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR SLOPES. THE LOWER TENSION WIRE BRACE AND TRUSS RODS, DRIVE ANCHORS AND POSTS CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE. THE CHAIN LINK FENCE SHALL BE SIX (6) GAUGE OR HEVIER.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24" ON THE TOP AND MID SECTION.
- FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 8" INTO THE GROUND.
- WHEN TWO SECTIONS OF GEOTEXTILE FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SILT BUILDINGS REMOVED WHEN "BULGES" DEVELOPED IN THE SILT FENCE OR WHEN SILT REACHES 50% OF THE FENCE HEIGHT.

US DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE (MODIFIED)

MARYLAND DEPT OF ENVIRONMENT & NATURAL RESOURCES ADMIN. H-28-3; 28-3A



IMP %	AREA	ACREAGE	'C'
100%	A	0.77	0.86
100%	B	0.73	0.86
100%	C	1.24	0.86
100%	D	0.71	0.86
100%	E	0.89	0.86
95%	F	1.41	0.83
100%	G	1.50	0.86
100%	H	1.60	0.86
100%	I	0.77	0.86
100%	J	0.73	0.86
100%	K	1.24	0.86
100%	L	0.71	0.86
100%	M	0.89	0.86
94%	N	1.54	0.83
100%	O	1.74	0.86
100%	P	1.38	0.86
68%	Q	1.48	0.67
42%	R	0.92	0.51
62%	S	0.71	0.63
59%	T	0.37	0.62
69%	U	1.45	0.67
66%	V	0.80	0.66
65%	W	0.37	0.65
38%	X	2.39	0.70
96%	Y	0.23	0.92
66%	AA	0.59	0.70
70%	BB	0.60	0.73
64%	CC	0.59	0.68
78%	DD	1.08	0.73
47%	EE	0.19	0.54
45%	FF	0.65	0.59

STRUCTURE SCHEDULE

NO.	TYPE	TOP ELEV.	IN. IN	IN. OUT	HOW. CO. DET.
M-1	'C'	180.10	171.60	171.50	G 5.03
M-2	'C'	188.50	185.50	184.00	G 5.03
M-3	'C'	214.00	198.68	194.68	G 5.03
M-4	STD. PRECAST	213.90	207.47	207.24	G 5.11
M-5	STD. PRECAST	214.20	200.60	200.50	G 5.11
M-6	STD. PRECAST	216.15	201.50	204.80	G 5.11
M-7	STD. PRECAST	217.50	204.31	203.81	G 5.11
M-8	"	214.80	207.39	207.14	G 5.11
M-9	"	214.80	209.95	205.45	G 5.11
M-10	"	214.80	209.61	209.36	G 5.11
M-11	"	214.00	200.80	200.20	G 5.11
M-12	"	215.00	201.43	201.53	G 5.11
M-13	"	214.00	203.51	203.01	G 5.11
M-14	"	214.30	203.95	203.85	G 5.11
M-15	STD. PRECAST	214.80	210.11	209.61	G 5.11
M-16	"	214.80	210.25	210.00	G 5.11
M-17	STD. PRECAST	214.80	209.20	207.70	G 5.11
E-1	CRANK. STD. PRECAST	-	-	166.00	SD-5.51
M-1A	STD. PRECAST	203.00	191.99	191.87	G 5.11

INLET SCHEDULE

NO.	TYPE	TOP ELEV.	IN. IN	IN. OUT	Q. CFS	HOW. CO. DET.
I-1	24" CONC. COMB.	200.90	195.52	193.42	7.45	SD-4.34
I-2	24" CONC. COMB.	201.00	195.75	193.65	0.80	SD-4.34
I-3	24" CONC. COMB.	205.40	201.00	199.50	7.74	SD-4.34
I-4	24" CONC. COMB.	214.50	206.84	206.74	2.80	SD-4.34
I-5	24" CONC. COMB.	214.14	208.80	208.55	7.56	SD-4.34
I-6	24" CONC. COMB.	214.14	208.89	208.89	4.41	SD-4.34
I-7	24" CONC. COMB.	214.58	204.37	204.27	2.21	SD-4.34
I-8	24" CONC. COMB.	215.58	207.97	207.12	2.38	SD-4.34
I-9	24" CONC. COMB.	213.75	208.86	208.76	5.03	SD-4.34
I-10	A-10	214.40	-	210.50	9.24	SD-4.07
I-11	24" CONC. COMB.	213.75	206.11	205.96	4.42	SD-4.34
I-12	A-10	211.82	-	208.30	2.48	SD-4.07
I-13	24" CONC. COMB.	214.60	205.98	205.88	8.74	SD-4.34
I-14	24" CONC. COMB.	212.30	209.59	209.24	12.50	SD-4.23
I-15	24" CONC. COMB.	212.30	208.01	207.26	10.46	SD-4.23
I-16	24" CONC. COMB.	212.30	205.55	204.80	11.39	SD-4.23
I-17	24" CONC. COMB.	212.30	-	206.82	10.46	SD-4.23
I-18	24" CONC. COMB.	212.20	-	209.35	0.52	SD-4.34

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: *John R. Polunson*
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 PLAN NUMBER: 1011096
 DATE: 10/10/96

REVIEWED FOR THE HOWARD CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
 APPROVED: *J. J. Ward*
 NATURAL RESOURCES CONSERVATION SERVICE
 DATE: 10/10/96

APPROVED: *Richard Blood*
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
 DATE: 10/31/96

APPROVED: *James Smith*
 DIRECTOR
 DATE: 11/1/96

ADDRESS CHART
 PARCEL NO. 135 A-1
 STREET ADDRESS: 7040 TROY HILL DRIVE
 BUILDING #1: 7040 TROY HILL DRIVE
 BUILDING #2: 7090 TROY HILL DRIVE

SUBDIVISION NAME: TROY HILL CORPORATE CENTER
 SECTION NAME: 1
 PARCEL # 135 A-1

PLAT # 13843
 BLOCK # 17, 18
 ZONE M-1
 WATER CODE C04

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 658 Kenilworth Drive, Suite 100
 Towson, Maryland 21204
 (410) 825-8120

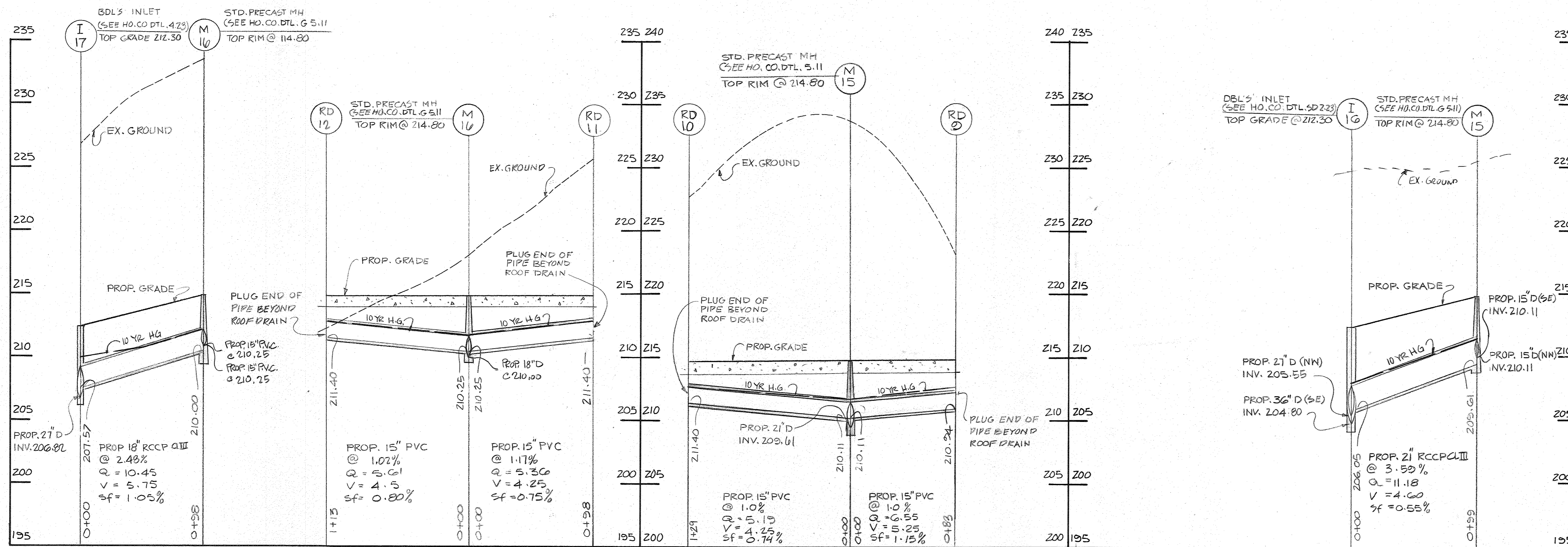
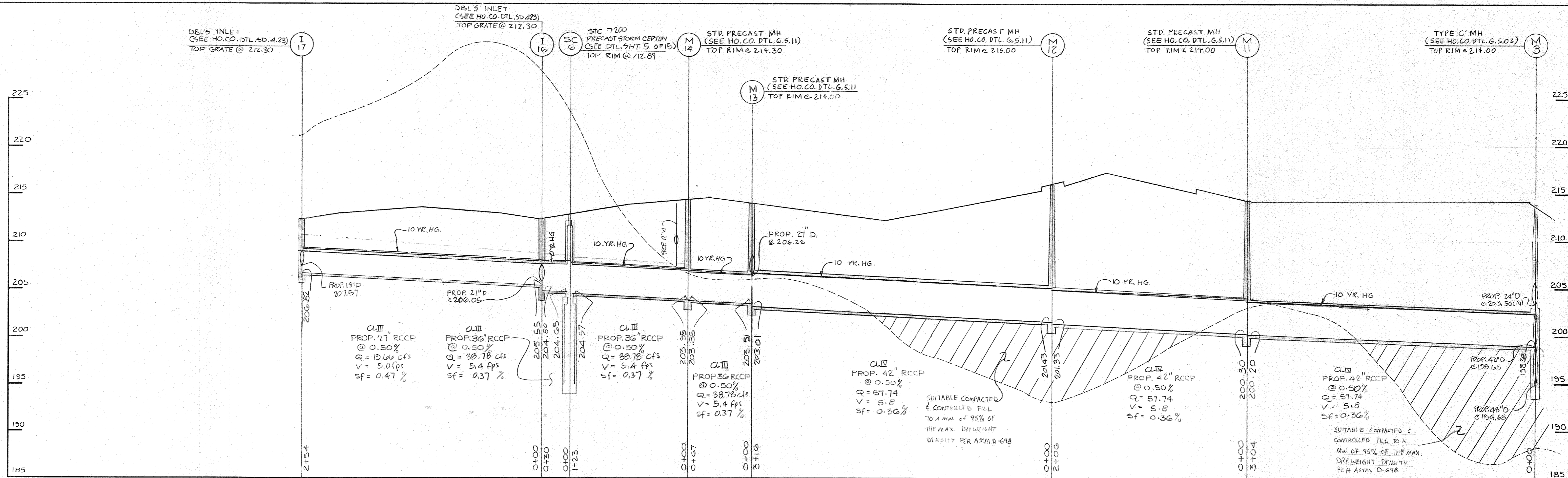
DEVELOPER CERTIFICATION:
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *George W. Stephens, Jr.*
 Date: 3/29/96

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
 c/o MANEKIN CORPORATION
 7165 COLUMBIA GATEWAY DRIVE
 COLUMBIA, MARYLAND 21046
 410-290-1400

ADDED 25' FLAG POLE BY MPA 10/27/16
 REVISED DRAINAGE AREA MAP AND TABLES ACCORDINGLY ADDED SUPER SILT FENCE DETAIL BY GHS 10.18.2004 UPDATED OWNER INFO REFERENCE.

DRAINAGE AREA MAP FOR
TROY HILL CORPORATE CENTER
 PHASE 1 PARCEL A-1
 PREVIOUS FILE #S S90-05, P90-25, F91-24
 HOWARD COUNTY, MARYLAND 17 SHEET 6 of 16
 1st ELECTION DISTRICT
 SCALE: 1" = 100'
 MARCH 22 1996



These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John B. Robertson
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 10/10/96

PLAN NUMBER: _____ DATE: _____

Reviewed for the Howard Conservation District and meets technical requirements.

J. G. Warfield
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 10/10/96

APPROVED: Howard County Department of Planning and Zoning

Chad Dammann
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/10/96

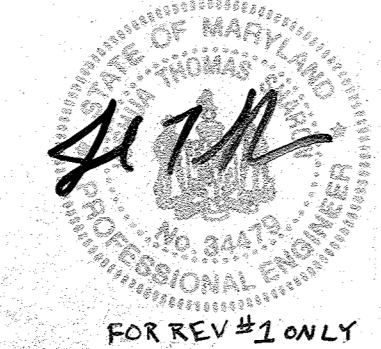
Richard Blood
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/31/96

James B. Butler
DIRECTOR
DATE: 11/1/96

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
BUILDING #1	7040 TROY HILL DRIVE
BUILDING #2	7090 TROY HILL DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	1	135 A-1
PLAT #	BLOCK #	ZONE
13843	17, 18	M-1
TAX MAP	ELECT. DIST.	CENSUS TRACT
37	1st	6011-02
WATER CODE	SEWER CODE	
C04	402000	



FOR REV #1 ONLY

See sheet 1 for latest owner information

UPDATED OWNER INFORMATION REF.

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *Q. T. Smith* Date: 3/21/96
Name: *William Smith*

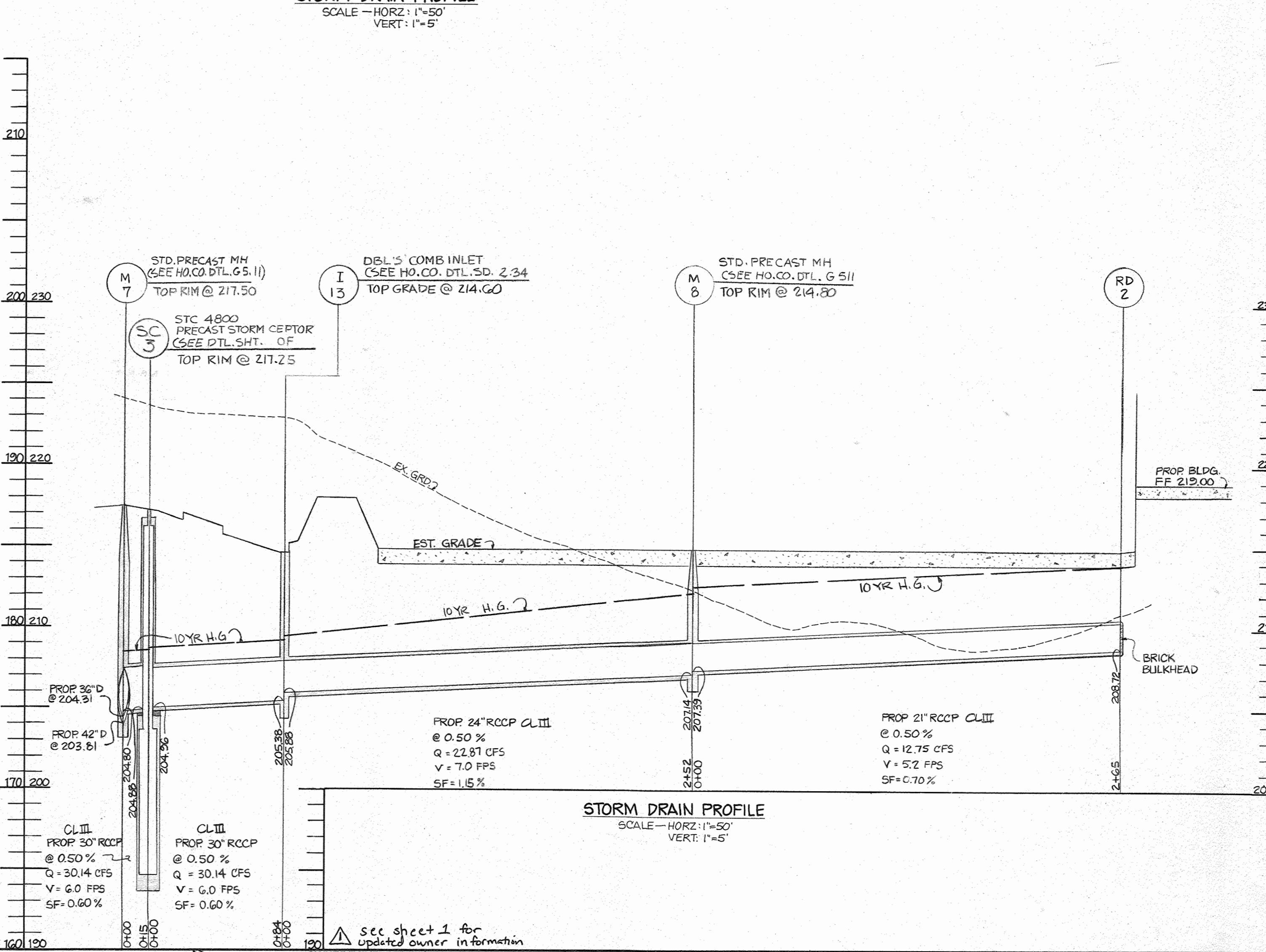
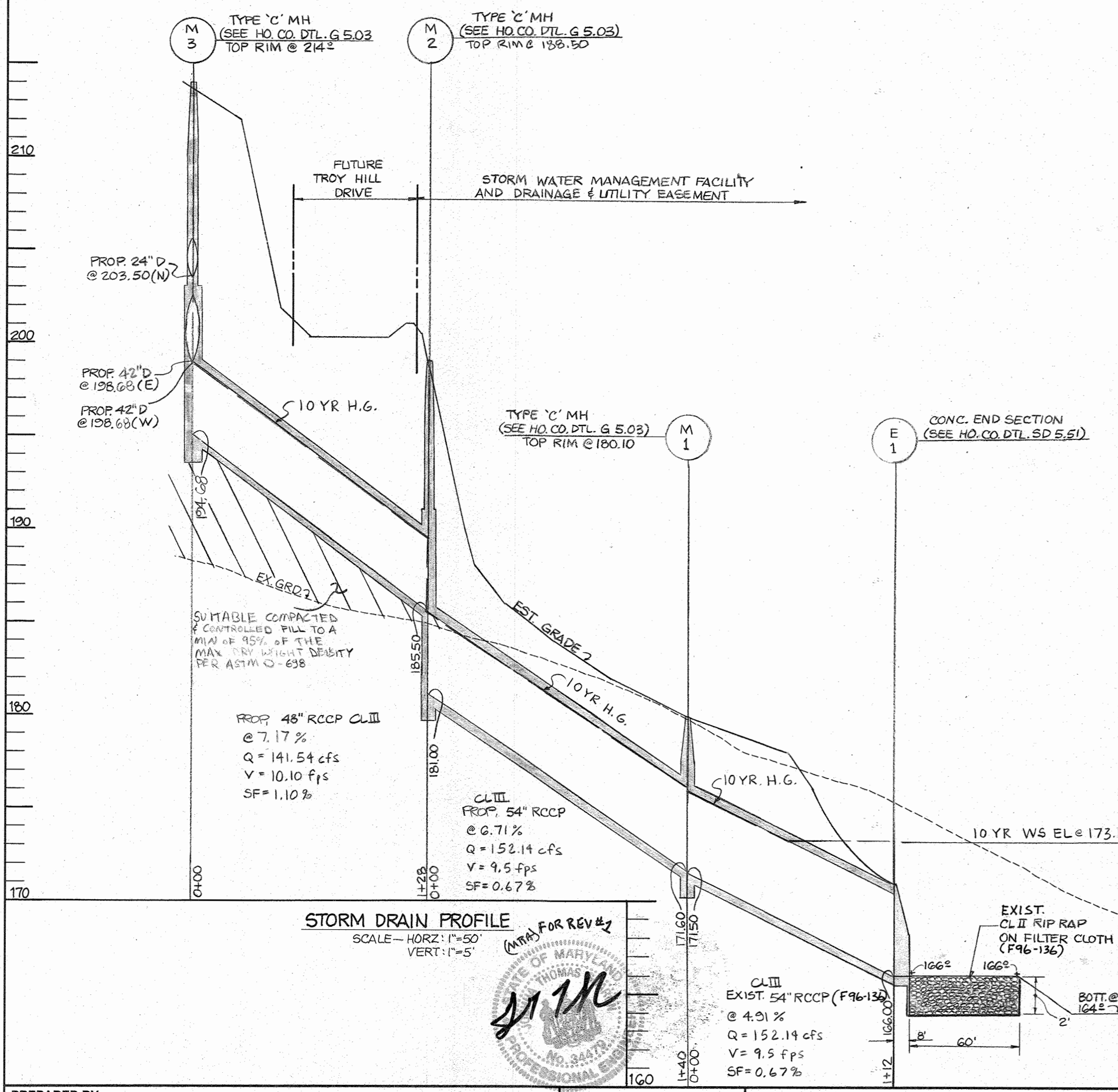
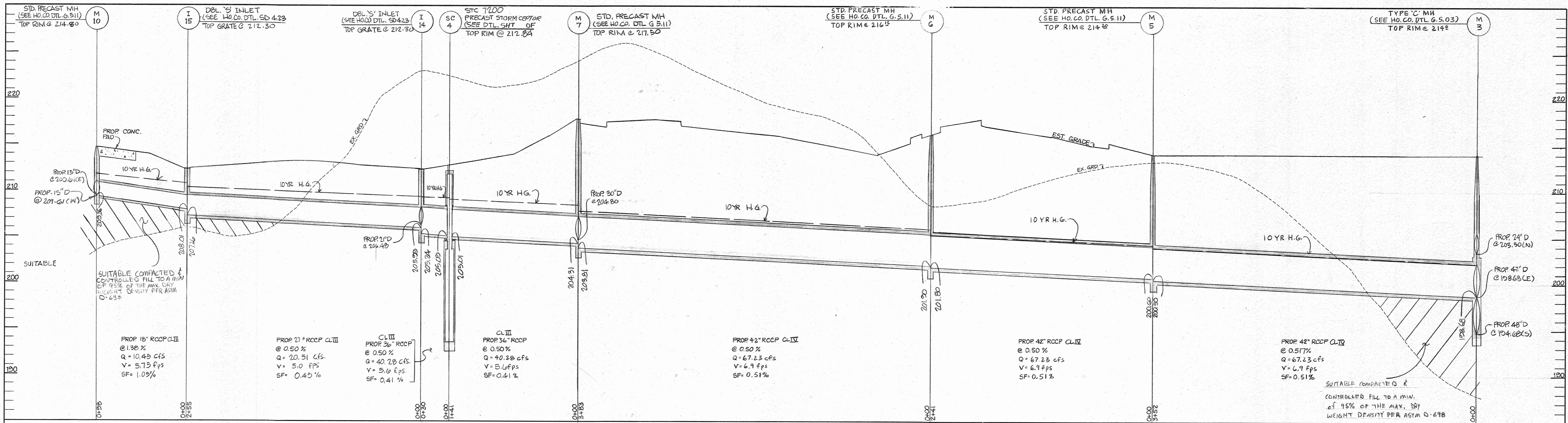
OWNER/DEVELOPER

TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

DETAILS FOR TROY HILL CORPORATE CENTER

PHASE 1 PARCEL A-1
PREVIOUS FILE #S 890-05, P90-25, P91-24

HOWARD COUNTY, MARYLAND 17 SCALE: AS SHOWN
1st ELECTION DISTRICT SHEET 10 MARCH 22, 1996



These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John R. Poluto
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 10/10/96

J. B. Warfield
NATURAL RESOURCES CONSERVATION SERVICE
APPROVED: Howard County Department of Planning and Zoning
DATE: 10/10/96

Richard Belmont
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/10/96

Richard Belmont
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/31/96

James Smith
DIRECTOR
DATE: 11/11/96

ADDRESS CHART:
PARCEL NO. _____ STREET ADDRESS _____
BUILDING #1 7040 TROY HILL DRIVE
BUILDING #2 7090 TROY HILL DRIVE

SUBDIVISION NAME: TROY HILL CORPORATE CENTER SECTION NAME: 1 PARCEL #: 135 A-1
PLAT #: 13843 BLOCK #: 17, 18 ZONE: M-1 TAX MAP: 37 ELECT. DIST.: 1st CENSUS TRACT: 6011-02
WATER CODE: C04 SEWER CODE: 4070000

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We authorize periodic on-site inspection by the Howard Soil Conservation District.

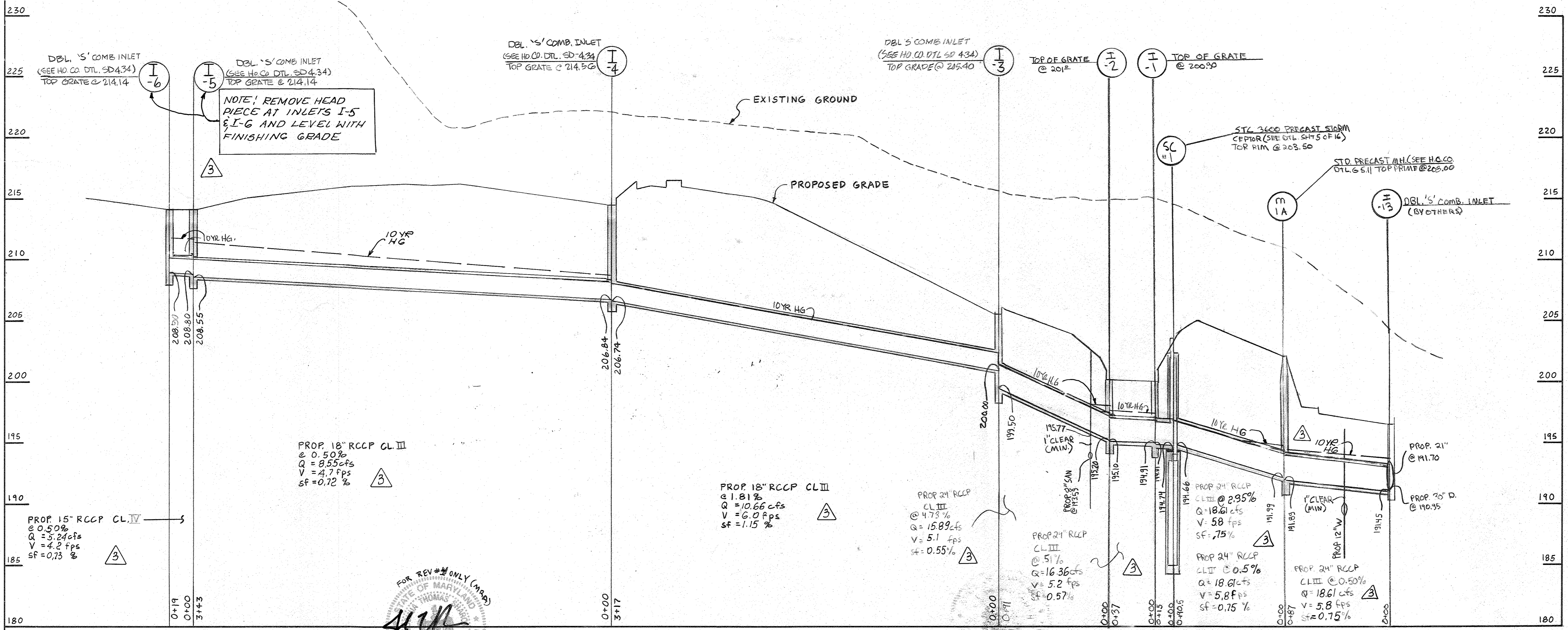
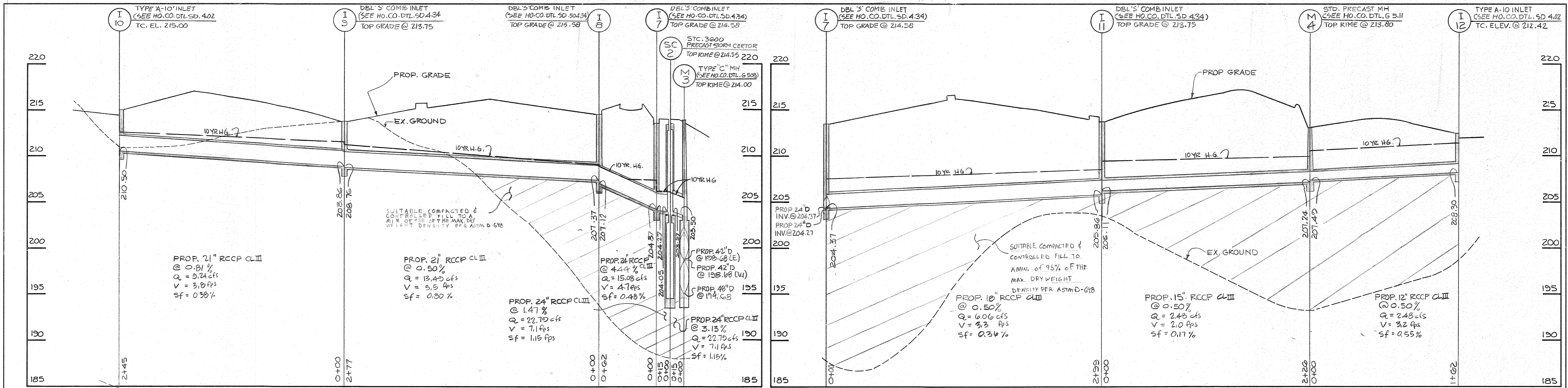
Developer Name: **Q. T. Smith** Date: **3/29/96**
Name: **Q. T. Smith**

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN COPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: **Monica Najdi-Tanler** Date: **10/7/96**
Name: **ILONA ROSEK-ZAROVA** PE #: **21245**

PROFILES FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1
17
HOWARD COUNTY, MARYLAND
1st ELECTION DISTRICT SHEET 8 of 18
SCALE: AS SHOWN
FEBRUARY 22, 1996



Proposed Storm Drain Profile #1

HORIZ. 1" = 50'
VERT. 1" = 5'

See sheet 1 for updated owner information.

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

FOR REVIEW ONLY (AND)
STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 21245
Date: 3/29/96

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project, also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer Name: John Smith Date: 3/29/96

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

REVISED STORM DRAIN COMPS FROM GRADIENT FROM I-13 TO I-6, ADDED NOTE TO INLETS I-5 AND I-6 BY CWS DATED 10/18/04
UPDATED OWNER INFORMATION REFERENCE

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: John R. Robertson
HOWARD SOIL CONSERVATION DISTRICT
DATE: 10/10/96

PLAN NUMBER: _____ DATE: _____

Reviewed for the Howard Conservation District and meets technical requirements.
J. M. Wainwright
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 10/10/96

APPROVED: Howard County Department of Planning and Zoning
John Dammann
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/10/96

Ronald Blood
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/31/96

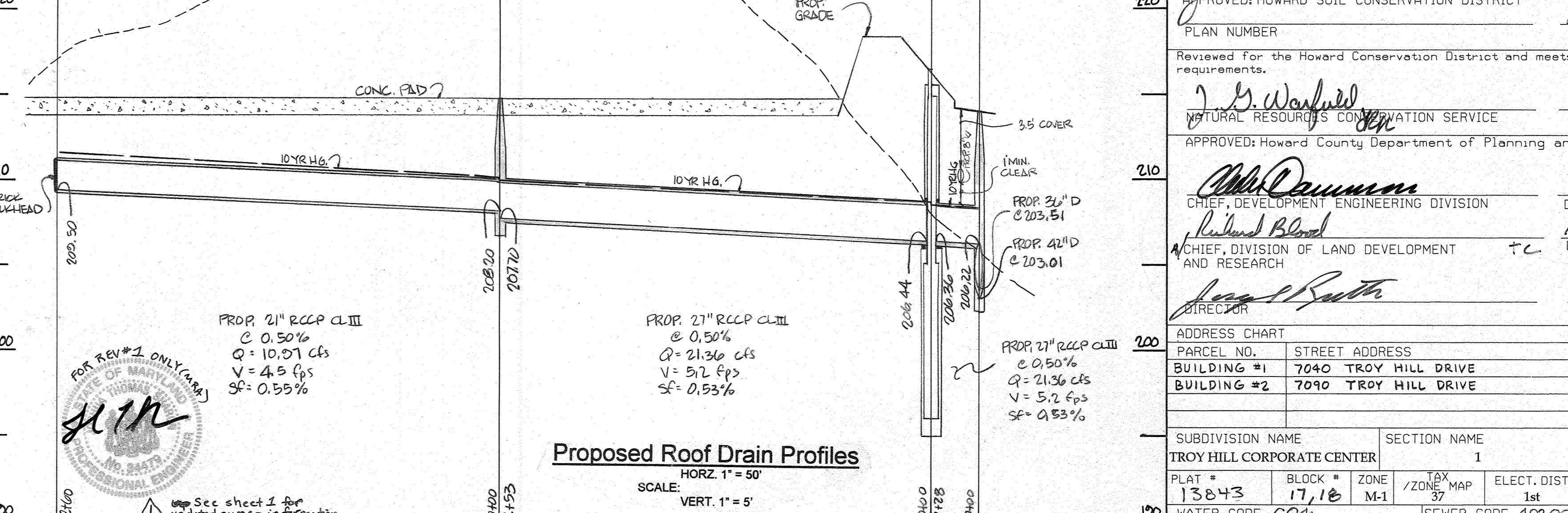
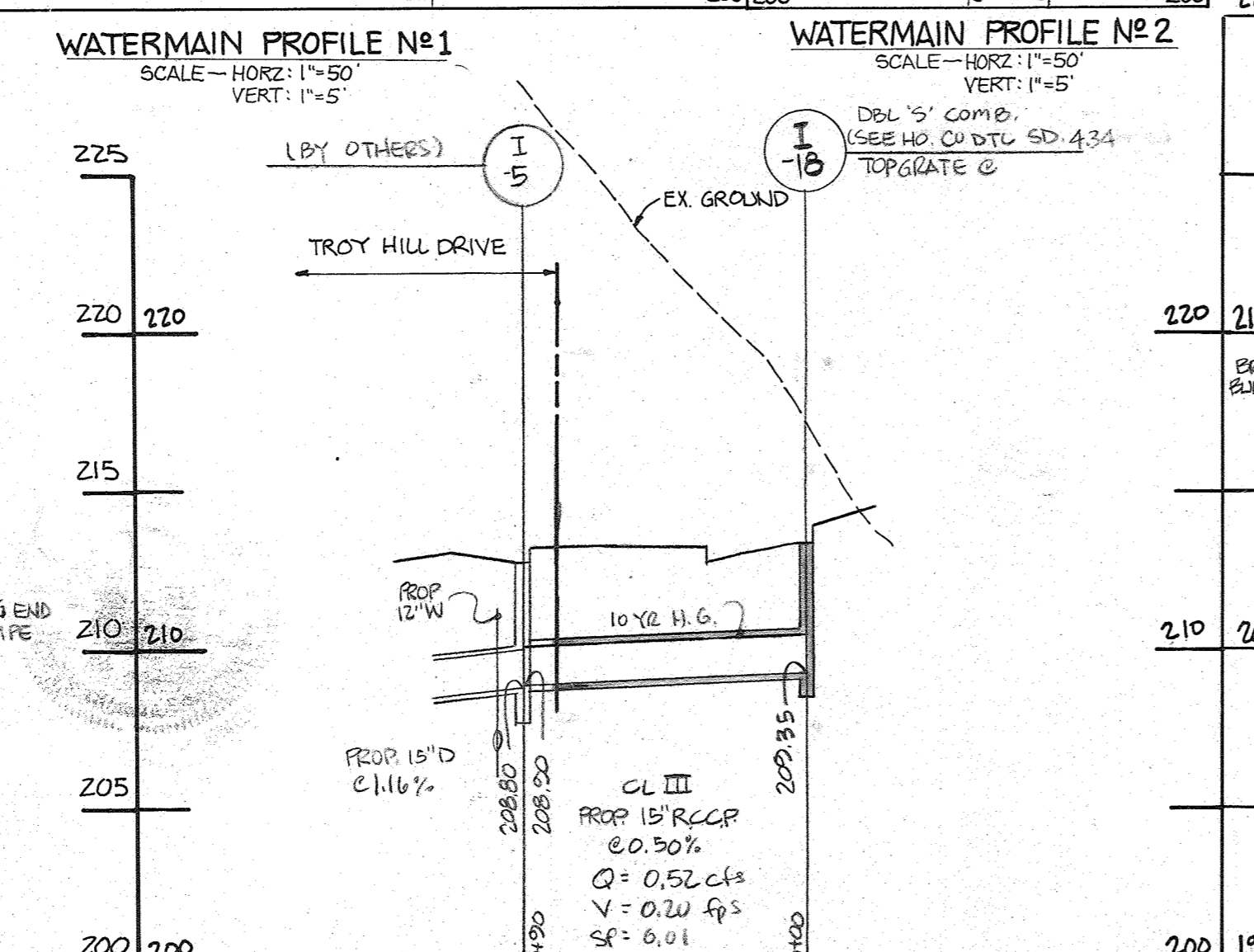
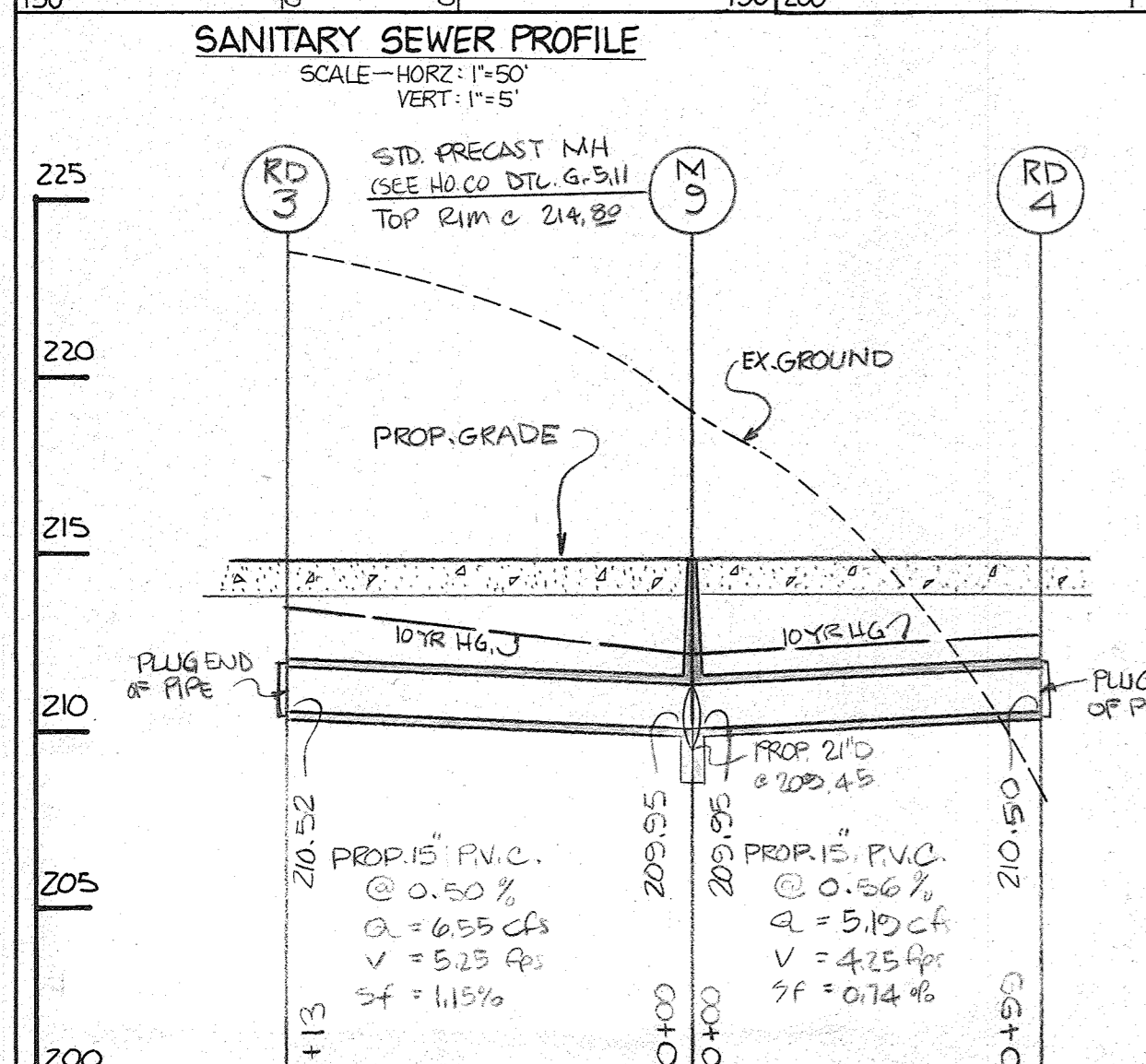
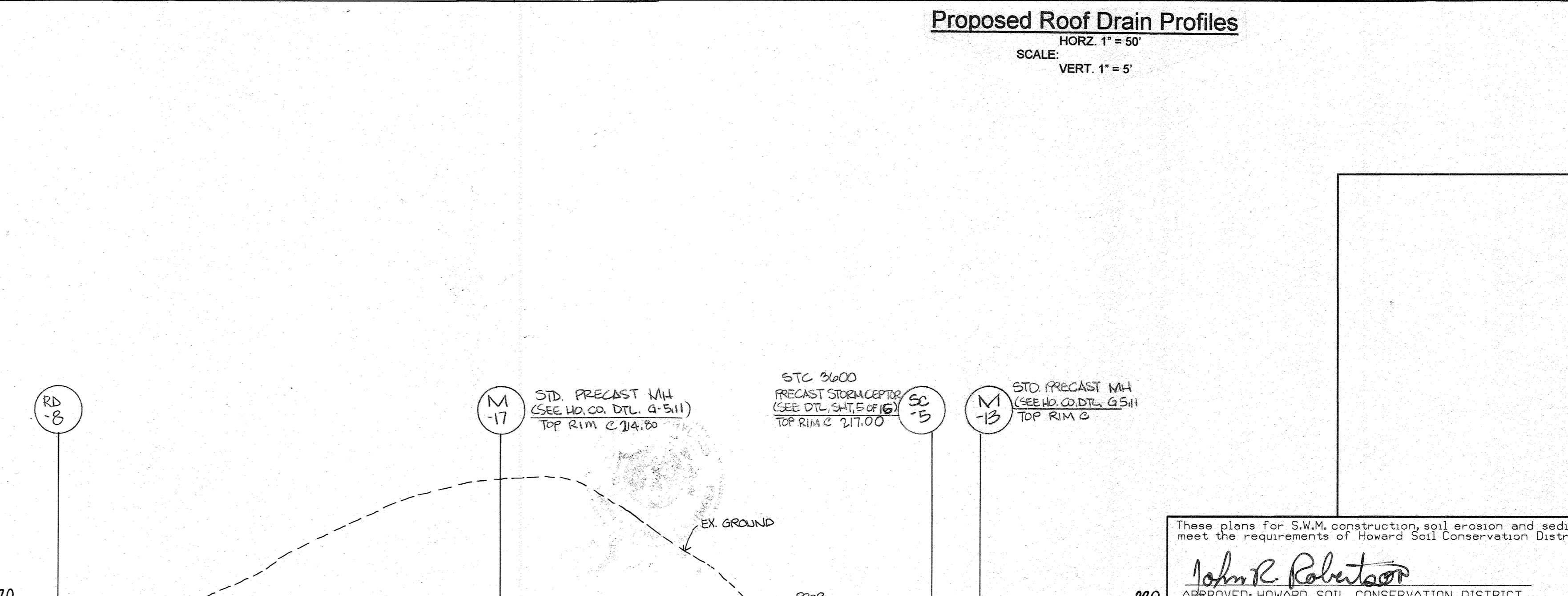
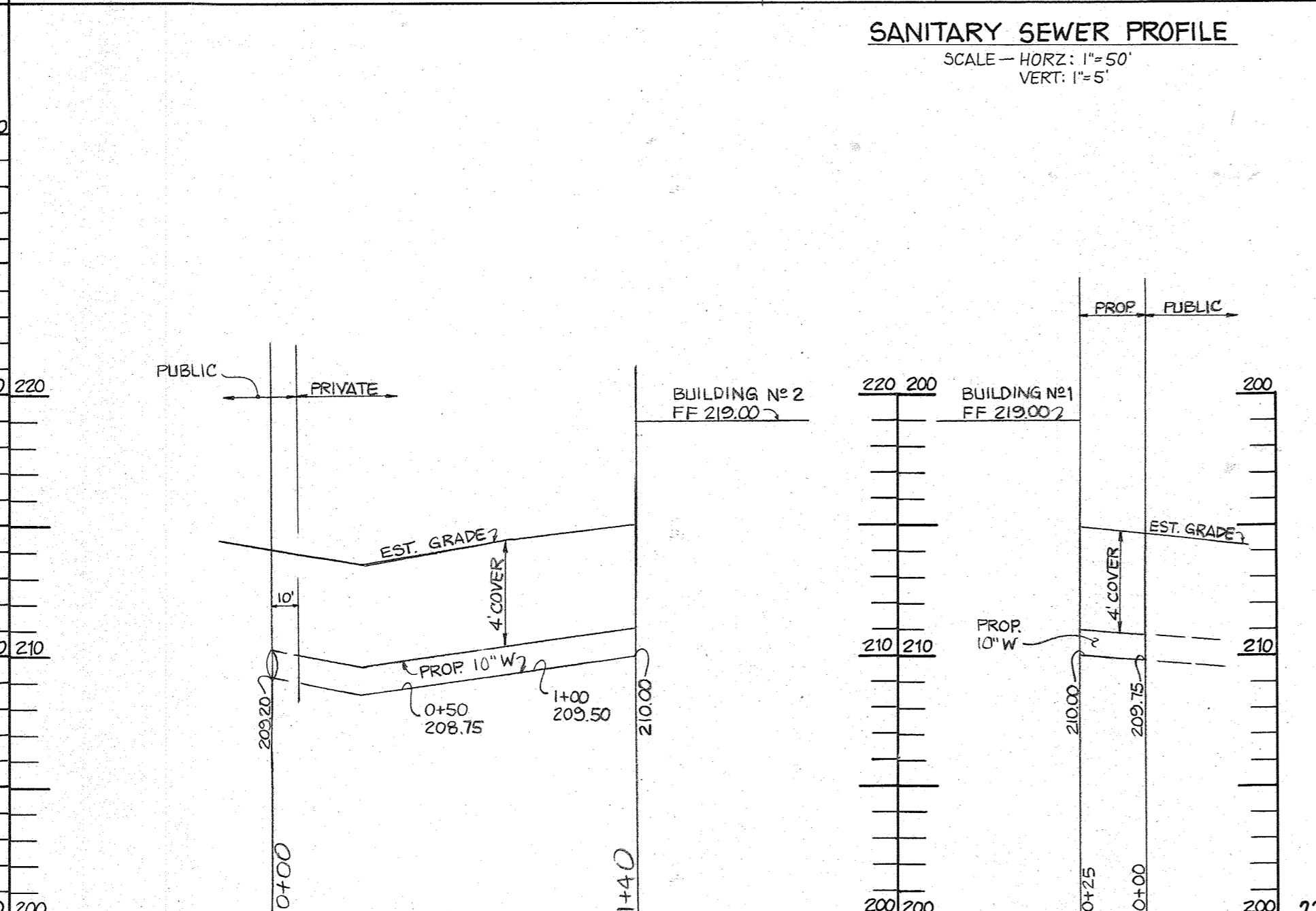
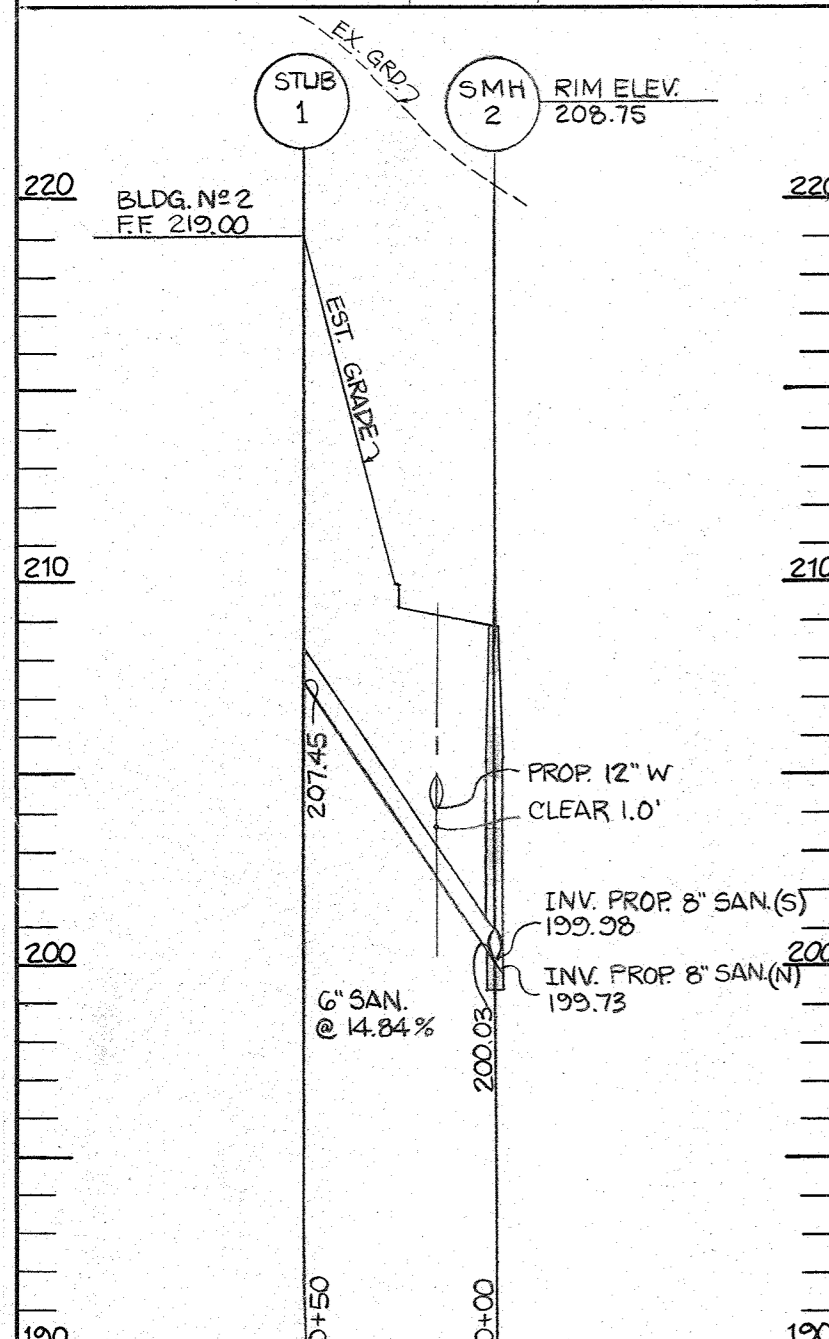
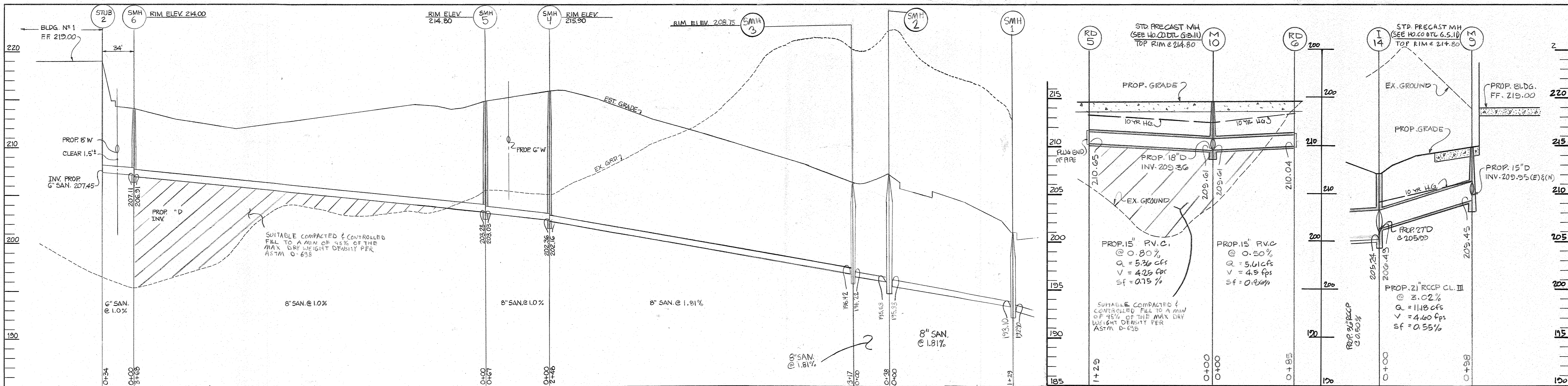
James S. Butler
DIRECTOR
DATE: 11/1/96

ADDRESS CHART
PARCEL NO. _____ STREET ADDRESS _____
BUILDING #1 7040 TROY HILL DRIVE
BUILDING #2 7090 TROY HILL DRIVE

SUBDIVISION NAME: TROY HILL CORPORATE CENTER SECTION NAME: 1 PARCEL # 135 A-1
PLAT # 13843 BLOCK # 1718 ZONE M-1 ZONING MAP 37 ELECT. DIST. 1st CENSUS TRACT G011-02
WATER CODE C04 SEWER CODE 402000

PROFILES
FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1
HOWARD COUNTY, MARYLAND
1st ELECTION DISTRICT
SHEET 9 of 16
SCALE: AS SHOWN
MARCH 22, 1996

SDP-96-117



These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John R. Robertson
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
PLAN NUMBER: _____ DATE: 10/10/96

Reviewed for the Howard Conservation District and meets technical requirements.

J. G. Wainwright
NATURAL RESOURCES CONSERVATION SERVICE
APPROVED: Howard County Department of Planning and Zoning
DATE: 10/10/96

Mike Cummings
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/10/96

Rubend Blood
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/31/96

Angela R. Smith
DIRECTOR
DATE: 11/1/96

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
BUILDING #1	7040 TROY HILL DRIVE
BUILDING #2	7090 TROY HILL DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	1	135 A-1
PLAT #	BLOCK #	ZONE
13843	17, 18	M-1
WATER CODE	SEWER CODE	
C04	402000	

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

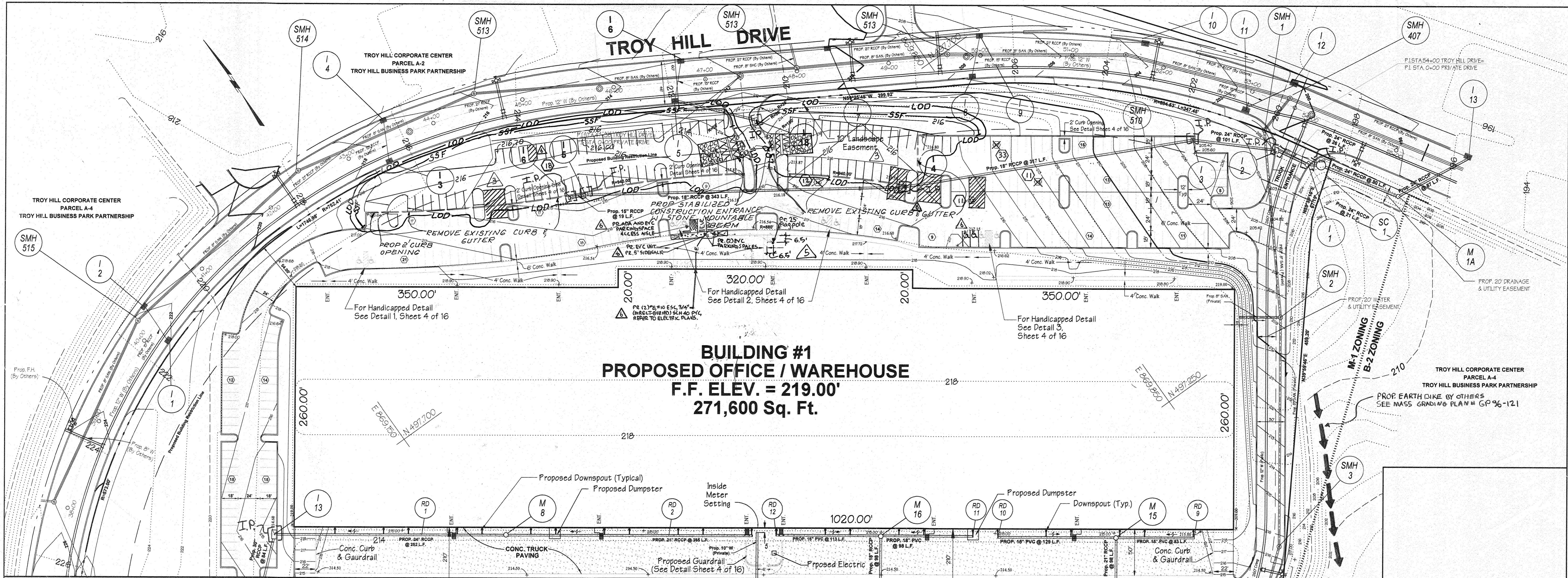
DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: **W. J. Smith** Date: 3/29/96
Title: **W. J. Smith**

TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

PROFILES FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1
PREVIOUS FILE #S 590-05, P90-25, F91-24
HOWARD COUNTY, MARYLAND 17
1st ELECTION DISTRICT SHEET 12 OF 10
SCALE: AS SHOWN
MARCH 22, 1996

SDP-96-117



**BUILDING #1
PROPOSED OFFICE / WAREHOUSE**
F.F. ELEV. = 219.00'
271,600 Sq. Ft.

MATCH LINE A-A

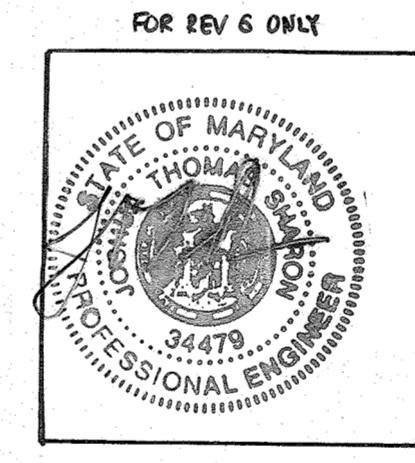
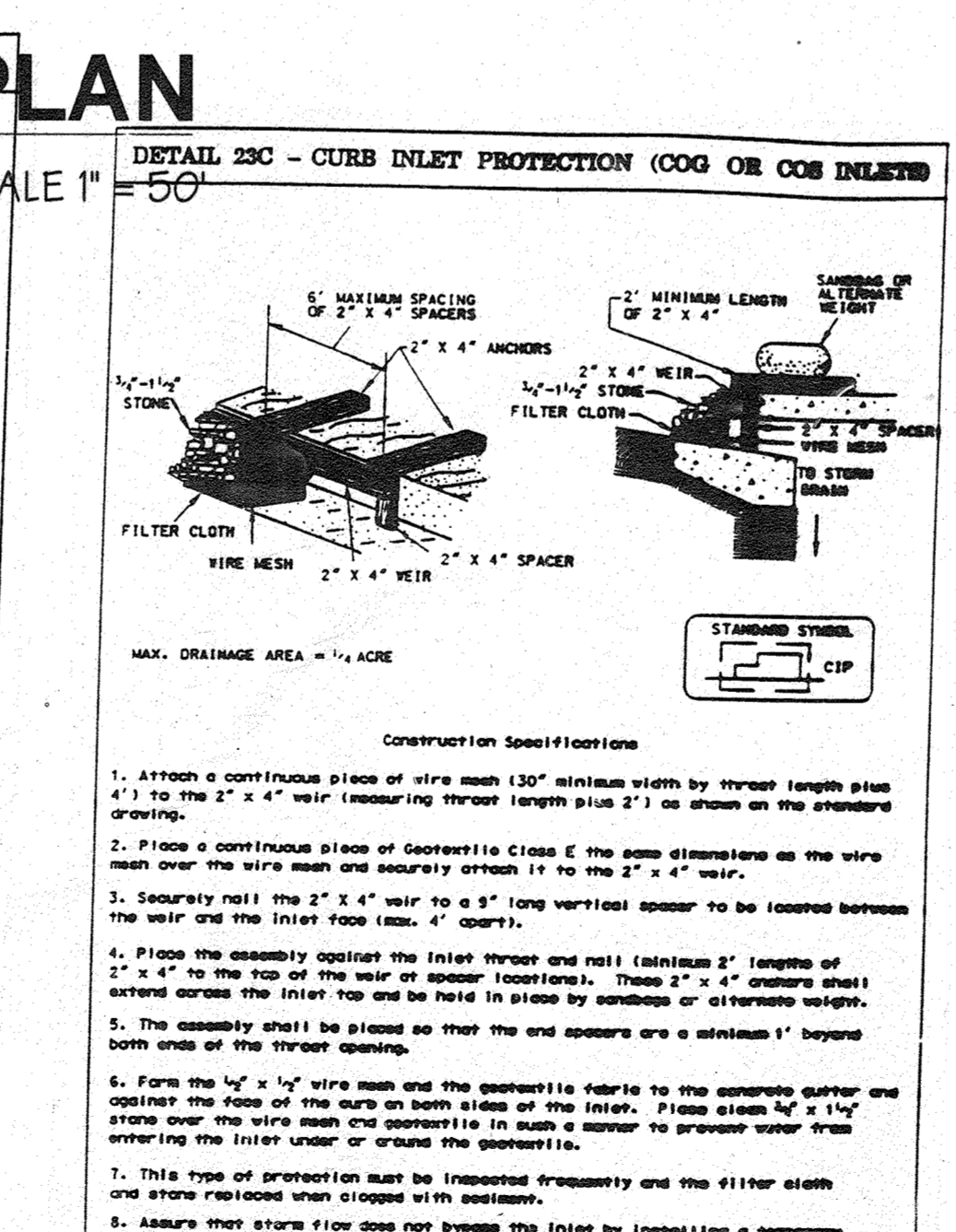
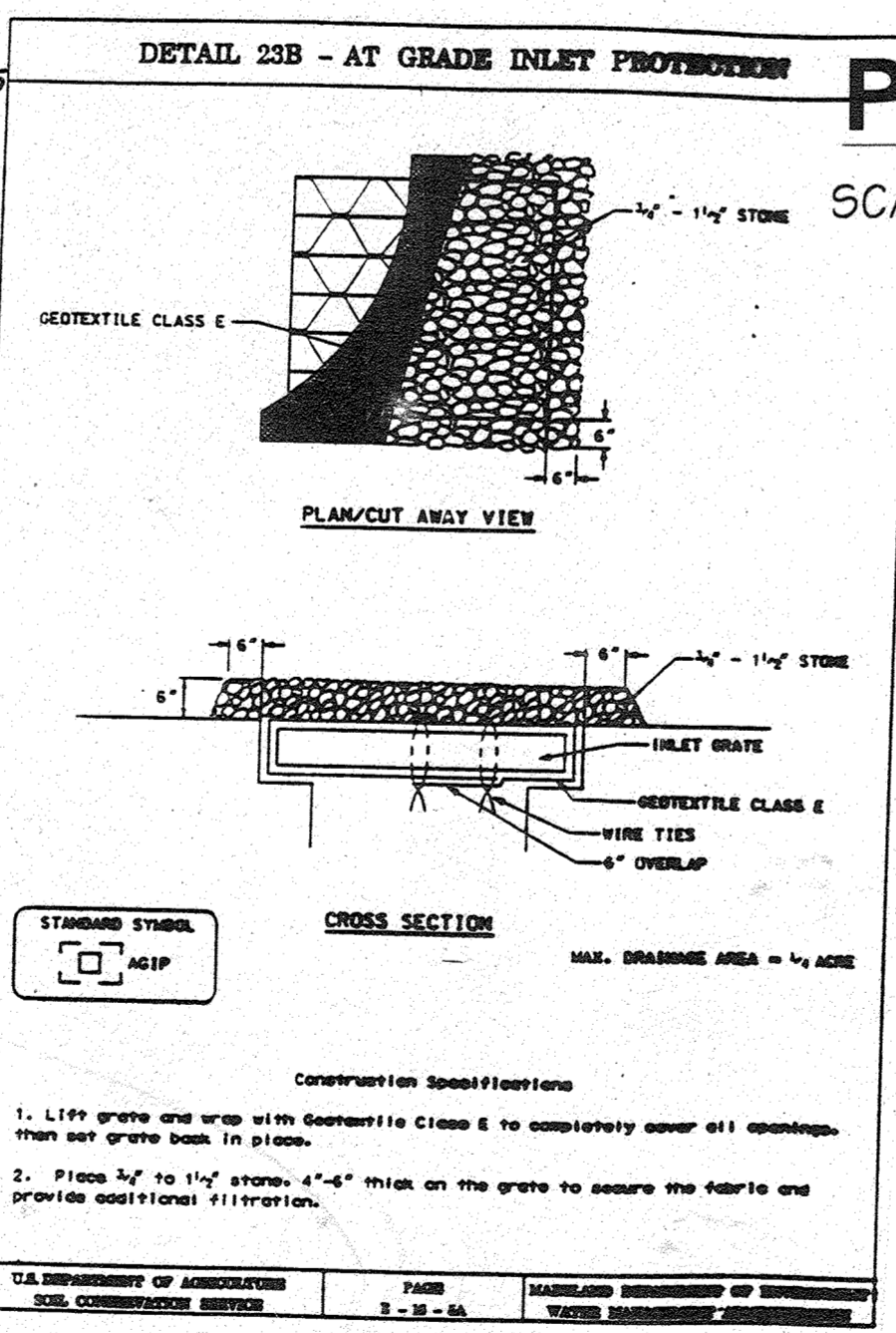
Legend

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Bldg. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Heavy Duty Paving (P-5)
- Light Duty Paving (P-3)

**SEQUENCE OF OPERATION
REVISION NO.3.**

1. OBTAIN GRADING PERMIT (1 DAY)
2. NOTIFY HOWARD COUNTY, DEPT. OF PERMITS AND LICENSES 48 HOURS BEFORE BEGINNING WORK (1 DAY)
3. INSTALL SEE (2) AND SSF (4 DAYS)
4. PROVIDE INLET PROTECTION AROUND INLETS (2 DAYS)
5. REMOVE EXISTING CURB & GUTTER AS SHOWN AND BEGIN GRADING (3 DAYS)
6. STABILIZE AREAS WHICH ARE NOT RECEIVING PAVING (1 DAY)
7. INSTALL STONE SUBBASE AND CURB & GUTTER AROUND PARKING LOTS, PROPOSED ENTRANCES AND ISLANDS (4 DAYS)
8. WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR, PAVE PARKING AREAS (3 DAYS)
9. WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES (2 DAYS)

NOTE: FOR SUPER SILT FENCE DETAIL, SEE SHIT. NO. 6.



SEQUENCE OF OPERATIONS

1. OBTAIN GRADING PERMIT.
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES INSPECTOR 48 HOURS BEFORE BEGINNING WORK.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
4. INSTALL SUPER SILT FENCE.
5. BEGIN GRADING DIRECTING FLOWS TO SEDIMENT TRAPPING DEVICES INSTALLED UNDER MASS GRADING PERMIT NO.
6. BEGIN FOOTINGS.
7. INSTALL UTILITIES, PROVIDE INLET PROTECTION.
8. STABILIZE AREAS WHICH ARE NOT RECEIVING BUILDING OR PAVING.
9. INSTALL STONE SUBBASE.
10. BEGIN PAVING.
11. STABILIZE ALL REMAINING AREAS.
12. REMOVE SEDIMENT CONTROL MEASURES AFTER RECEIVING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR.

These plans for S.W.M., construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John P. Robertson APPROVED: HOWARD SOIL CONSERVATION DISTRICT		10/10/06 DATE
PLAN NUMBER		10/10/06 DATE
Reviewed for the Howard Conservation District and meets technical requirements.		
J. G. Weinfeld NATURAL RESOURCES CONSERVATION SERVICE		10/10/06 DATE
APPROVED: Howard County Department of Planning and Zoning		
M. J. Dorman CHIEF, DEVELOPMENT ENGINEERING DIVISION		10/10/06 DATE
R. D. Blood CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH		10/10/06 DATE
J. G. Smith DIRECTOR		11/1/06 DATE
ADDRESS CHART		
PARCEL NO.	STREET ADDRESS	
BUILDING #1	7040 TROY HILL DRIVE	
BUILDING #2	7090 TROY HILL DRIVE	

SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	1	135 A-1
PLAT #	BLOCK #	ZONE
13843	17, 18	M-1
TAX MAP #	ELECT. DIST.	CENSUS TRACT
37	1st	6011-02
WATER CODE	ISEWER CODE	
C04	4020000	

SEDIMENT & EROSION CONTROL PLAN
FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1
PREVIOUS FILE #S 590-05, P90-25, P91-24, F96-136
HOWARD COUNTY, MARYLAND 17 SCALE: AS SHOWN
1st ELECTION DISTRICT SHEET 11 of 18 MARCH 22, 1996

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: A. Carl Smith Date: 3/29/06
John P. Robertson

OWNER/DEVELOPER

TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN COPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

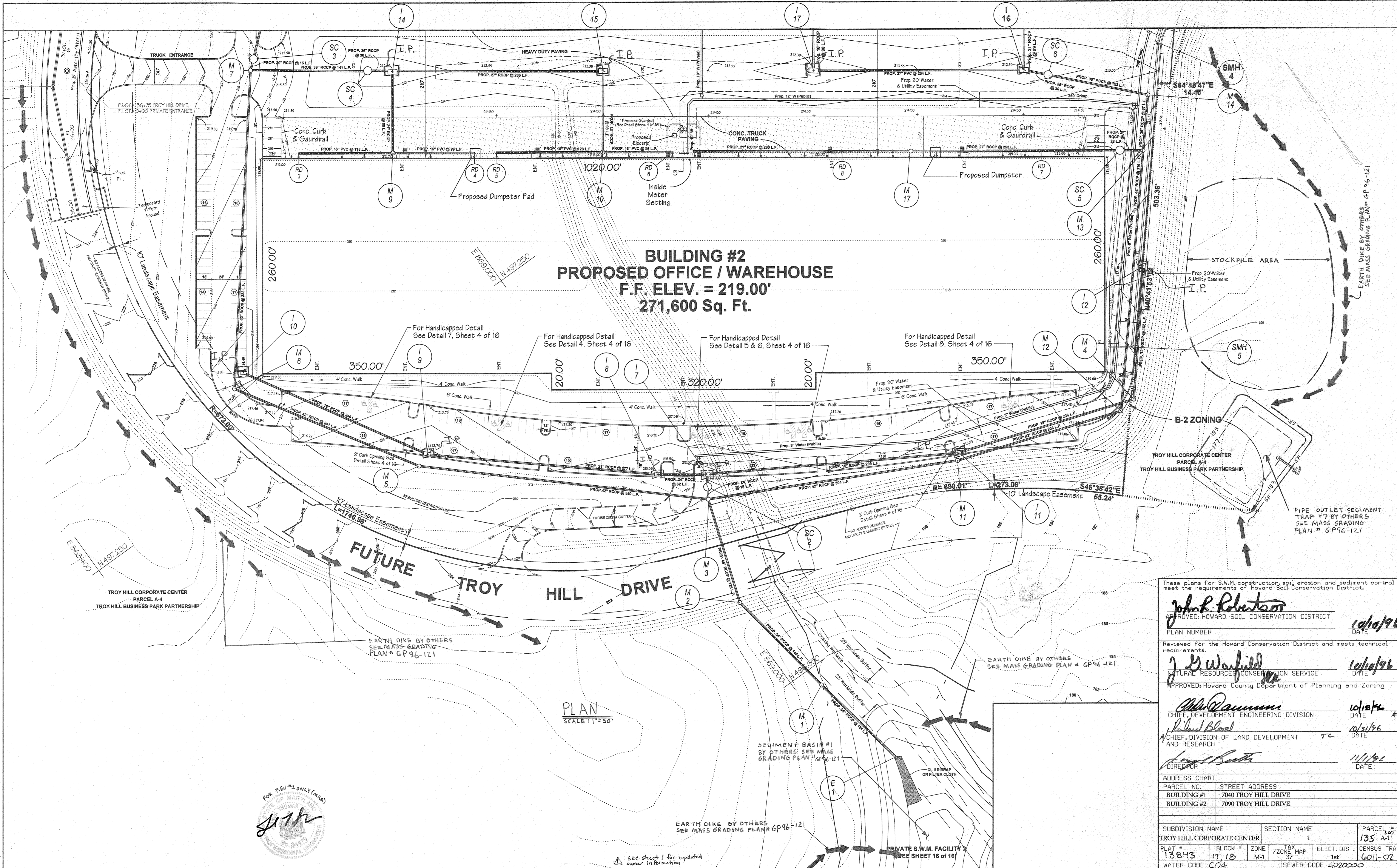
ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: John P. Robertson Date: 10/10/06
 Name: JUDITH ROSELEY-ZARSKA PE # 21745

REVISIONS!
3. ADDED ADDITIONAL PARKING SPACES TO BLDG. NO. 1. LADDER SEDIMENT CONTROL MEASURES AND SEQUENCE OF OPERATION FOR PARKING LOT BY GWS DATED 10/18/04

See sheet 1 for updated owner information. AREA OF DISTURBANCE 1329451 SF OR 30.52 A^c



**BUILDING #2
PROPOSED OFFICE / WAREHOUSE
F.F. ELEV. = 219.00'
271,600 Sq. Ft.**

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John P. Robertson
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 10/18/96
PLAN NUMBER

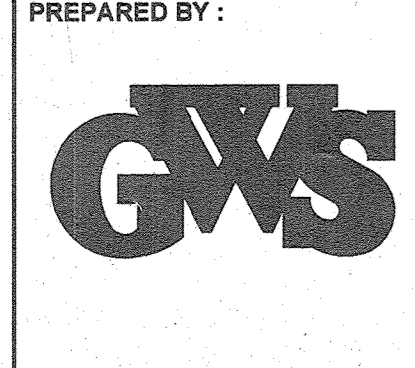
J. M. Warfield
REVIEWED FOR THE HOWARD CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 10/18/96
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Damm
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/18/96

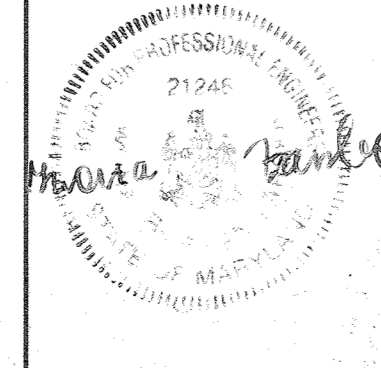
Richard Blood
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/18/96

James R. Smith
DIRECTOR
DATE: 11/1/96

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
BUILDING #1	7040 TROY HILL DRIVE
BUILDING #2	7090 TROY HILL DRIVE
SUBDIVISION NAME	SECTION NAME
TROY HILL CORPORATE CENTER	1
PARCEL #	LOT #
13843	135 A-1
PLAT #	BLOCK #
17, 18	37
ZONE	MAP
M-1	37
ELECT. DIST.	CENSUS TRACT
1st	6011-02
WATER CODE	SEWER CODE
C04	402000



**GEORGE W. STEPHENS, JR.
AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120



DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *D. J. Smith* Date: *2/12/96*
Name: *Chris Smith*

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Monica Rostek-Janku* Date: *10/7/96*
Name: *MONICA ROSTEK-ZARSKA* PE # *21245*

SEDIMENT & EROSION CONTROL PLAN
FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1
PREVIOUS FILE #S 590-05, P90-25, F91-24
HOWARD COUNTY, MARYLAND 17 SCALE: AS SHOWN
1st ELECTION DISTRICT SHEET 12 of 16 MARCH 22, 1996

SDP-96-117

Stabilization Specifications

Section I - Vegetative Stabilization Methods and Materials

- Site Preparation**
 - Install erosion and sediment control structures (either temporary or permanent) such as diversions, grass stabilization structures, berms, waterways, or sediment control basins.
 - Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
 - Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.
- Soil Amendments (Fertilizer and Lime Specifications)**
 - Soil tests must be performed to determine the exact rates and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples may be taken for engineering purposes only also used for chemical analysis.
 - Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Fertilizer may be substituted for fertilizer with prior approval from the appropriate regulatory authority. Fertilizers shall all be delivered to the site fully blended according to the applicable state fertilizer law and shall bear the name, trade name or trademark and warrantee of the producer.
 - Lime materials shall be ground limestone (hydrated or burnt lime) may be substituted which contains at least 85% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a #20 mesh sieve and 95% will pass through a #40 mesh sieve.
 - Incorporate lime and fertilizer into the top 3" - 5" of soil by disking or other suitable means.

- When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to .25 tons/acre.
- Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
- Securing Straw Mulch (Hull Anchoring) Mulch anchoring shall be performed immediately following mulch application to prevent loss by wind or water. This may be done by one of the following methods, with preference, depending upon size of area and erosion hazard:
 - A mulch anchoring tool is a tractor-drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. It is not used on sloping land, but practice should be used if possible.
 - Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 - Application of liquid binder should be heavier at the edges where wind catches mulch such as in valleys and on the crests of banks. The remainder of the area should require uniform application. Synthetic binders such as Acrylic DLR (Agor-Lock), DCA-70, Patrosol, Terra II, Terra Lock RR or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.
 - Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300' to 3,000' feet long.

- Fall Fescue/Kentucky Bluegrass - Full sun mixture - For use in drought prone areas and/or for areas requiring low to medium maintenance. Full sun to medium shade. Recommended mixture includes certified tall fescue cultivars 35% - 100%, certified Kentucky bluegrass cultivars 65% - 5%. Seeding rate 5 to 8 lbs./1000 square feet. One or more cultivars may be blended.
- Kentucky Bluegrass/ Fine Fescue - Shade Mixture - For use in areas with shade in bluegrass lawns. For establishment in high quality intensively managed turf areas. Recommended mixture includes certified Kentucky bluegrass cultivars 35% - 45% and certified fine fescue and 55% - 55%. Seeding rate 1/2 - 3 lbs./1000 square feet. A minimum of 3 Kentucky bluegrass cultivars must be chosen with each cultivar ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.

NOTE: Turfgrass varieties should be selected from those listed in the most current University of Maryland Publication, Agronomy Manual #77, "Turfgrass Cultivar Recommendations for Maryland."

B. Best times of seeding

Western MD: March 15 - June 1, August 1 - October 1 (Hardiness Zones - 5b, 6a)
Central MD: March 1 - May 1, August 1 - October 1 (Hardiness Zones - 6b)
Southern MD, Eastern Shore: March 1 - May 1, August 1 - October 1 (Hardiness Zones - 7a, 7b)

C. Irrigation

If soil moisture is deficient, supply new seedlings with adequate water for plant growth 1/2" - 1" every 3 to 4 days depending on soil texture until they are firmly established. This is especially true when seedlings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

D. Repairs and Maintenance

Inspect all seeded areas for failures and make necessary repairs, replacements, and reseeding within the planting season.
Once the vegetation is established, the site shall have 50% groundcover to be considered adequately stabilized.

If the stand provides less than 40% ground cover, reestablish following original lime, fertilizer, seeding application and seeding recommendations.
If the stand provides between 40% and 94% ground coverage, overseeding and fertilizing using half of the rates originally applied may be necessary.

Maintenance fertilizer rates for permanent grasses are shown in Table 24. For lawns and other medium to high maintenance turfgrass areas, refer to the University of Maryland publication, "Lawn Care in Maryland" Bulletin No. 17L.

Section II - Temporary Seeding

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

A. Seed Mixtures - Permanent Seeding

- select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this Summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shrublands, streambanks, dunes or for special purposes such as wildlife or esthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting. For special land maintenance areas, see Sections IV Sod and V Turfgrass.
- For sites having disturbed areas over 5 acres, the rates shown in this table shall be deleted and the rates recommended by the testing agency shall be written in.
- For areas receiving low maintenance, apply ureform fertilizer (46-0-0) at 3-1/2 lbs./1000 sq. ft. (50 lbs./ac.) in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Section III - Permanent Seeding

Seeding grass and legumes to establish ground cover for a minimum period of one year on disturbed areas generally receiving low maintenance.

A. Seed Mixtures - Permanent Seeding

- select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this Summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shrublands, streambanks, dunes or for special purposes such as wildlife or esthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting. For special land maintenance areas, see Sections IV Sod and V Turfgrass.
- For sites having disturbed areas over 5 acres, the rates shown in this table shall be deleted and the rates recommended by the testing agency shall be written in.
- For areas receiving low maintenance, apply ureform fertilizer (46-0-0) at 3-1/2 lbs./1000 sq. ft. (50 lbs./ac.) in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Section IV - Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).

A. General specifications

- Class of turfgrass sod shall be Maryland or Virginia State Certified or Approval. Sod labels shall be made available to the job foreman and inspector.
- Sod shall be machine cut at a uniform soil thickness of 3/4", plus or minus 1/4", at the time of cutting. Measurement for thickness shall exclude top growth and thatch. Individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken sods and torn or uneven ends will not be accepted.
- Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
- Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
- Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period shall be approved by an agronomist or soil scientist prior to its installation.
- Site Preparation: Fertilizer and Lime application rates will be determined by soil test. Under unusual circumstances where there is insufficient time for a complete soil test, fertilizer and lime may be applied in amounts shown under "in" below.

- Prior to sodding, the surface will be cleared of all trash, debris, and of all protruding wires, grade stakes and other objects that would interfere with planting, fertilizing, or maintenance operations.
- Where soil is acid or composed of heavy clay, ground limestone will be spread at the rate of 2 tons per acre (800 lbs. / 1000 s.f.) in all soils 1000 lbs. per acre (25 lbs. / 1000 s.f.) of 10-18-18 fertilizer or equivalent will be uniformly applied and mixed into the top three inches of soil with the required lime.
- All areas receiving sod will be uniformly fine graded. Hard packed earth will be scarified prior to placement of sod.

B. Sod Installation

- During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be lightly irrigated immediately prior to laying the sod.
- The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral joints shall be staggered to promote more uniform growth and strength. Ensure that soil is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause drying of the joints.
- Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and tamped, or otherwise secured to prevent slippage on slopes and to ensure solid contact between sod roots and the underlying soil surface.
- Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of laying, tamping and irrigating for any piece of sod shall be completed within eight hours.

C. Sod Maintenance

- In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting.
- After the first week, sod watering is required as necessary to maintain adequate moisture content.
- The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2" and 3" unless otherwise specified.

Section IV - Turfgrass Establishment

Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance. Areas to receive seed shall be tilled by disking or other approved methods to a depth of 2 to 4 inches, leveled and rolled to prepare a proper seedbed. Stones and debris over 1/2 inches in diameter shall be removed. The resulting seedbed shall be in such condition that future mowing of grasses will pose no difficulty.

NOTE: Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.

A. Turfgrass Mixtures

- Kentucky Bluegrass - Full sun mixture - For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and eastern shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rates: 2.0 pounds/1000 square feet. A minimum of three bluegrass cultivars should be chosen ranging from 10% to a maximum of 35% of the mixture by weight.
- Kentucky Bluegrass/Perennial Ryegrass - Full sun mixture - For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Recommended Certified Perennial Ryegrass Cultivars (Certified Kentucky Bluegrass Seeding rate 2 pounds/1000 square feet). A minimum of 3 Kentucky Bluegrass Cultivars must be chosen with each cultivar ranging from 10% to 35% of the mixture by weight.

Fertilizer Rates

Fertilizer Rate	Lime Rate	Fertilizer Rate (1000 sq ft)	Lime Rate
600 lbs/ac (150/1000 sq ft)	2 Yr/acre (1000/1000 sq ft)	90 lbs/ac (20/1000 sq ft)	175 lbs/ac (40/1000 sq ft)
		175 lbs/ac (40/1000 sq ft)	1000 lbs/ac (200/1000 sq ft)

Table 25 - Permanent Seeding for Low Maintenance Areas

SEED MIXTURE (USE CERTIFIED MATERIAL IF AVAILABLE)	PLANTING RATE	SITE CONDITIONS	USDA HARDINESS ZONES	RECOMMENDED PLANTING DATES	A	B	C	D	E	F	G	H	I	J
TALL FESCUE (75%), CANADIAN BLUEGRASS (10%), KENTUCKY BLUEGRASS (10%), PERENNIAL RYEGRASS (5%)	150	5/4	MOIST TO DRY	5a, 5b, 5c, 5d	X	X	X	X	X	X	X	X	X	X
KENTUCKY BLUEGRASS (50%), PERENNIAL RYEGRASS (5%), HARD FESCUE (45%), CRISPER SOIL	150	5/4	MOIST TO DRY TO VERY DRY	5a, 5b, 5c, 5d, 5e, 5f	X	X	X	X	X	X	X	X	X	X
TALL FESCUE (60%), PERENNIAL RYEGRASS (10%), KENTUCKY BLUEGRASS (30%)	125	2/3	MOIST TO DRY	5a, 5b, 5c, 5d	X	X	X	X	X	X	X	X	X	X
RED FESCUE (60%), CANADIAN BLUEGRASS (10%), PERENNIAL RYEGRASS (10%), PLUS CROWN VETCH OR PEA PEA	60	5/4	MOIST TO DRY	5a, 5b, 5c, 5d	X	X	X	X	X	X	X	X	X	X
TALL FESCUE (80%), PERENNIAL RYEGRASS (10%), PLUS CROWN VETCH OR PEA PEA	120	2/3	MOIST TO DRY	5a, 5b, 5c, 5d	X	X	X	X	X	X	X	X	X	X
WEEDING LOW GRASS (75%), BIRDSPROOT TREFOIL (25%)	4	0/9	DRY TO VERY DRY	7a, 7b, 7c, 7d	X	X	X	X	X	X	X	X	X	X
TALL FESCUE (90%), WEEDING LOW GRASS (10%), PLUS BERBERIS ESPEZUELA (15%)	10	2/3	VERY DRY	7a, 7b, 7c, 7d	X	X	X	X	X	X	X	X	X	X
RED ORCHARD GRASS (75%), BIRDSPROOT TREFOIL (15%), PLUS CROWN VETCH OR PEA PEA	40	0/7	MODERATELY DRY	5a, 5b, 5c, 5d	X	X	X	X	X	X	X	X	X	X
TALL FESCUE (60%), PEA TRIFOLIUM (7%), BIRDSPROOT TREFOIL (7%), PLUS BERBERIS ESPEZUELA (15%)	100	2/3	MODERATELY DRY	5a, 5b, 5c, 5d	X	X	X	X	X	X	X	X	X	X
TALL FESCUE (80%), HARD FESCUE (10%)	60	3/4	WET TO DRY	5a, 5b, 5c, 5d	X	X	X	X	X	X	X	X	X	X
HARD FESCUE (100%)	75	1/2	MODIST TO DRY	5a, 5b, 5c, 5d, 5e, 5f	X	X	X	X	X	X	X	X	X	X

Table 26 - Temporary Seeding Rates, Depths, and Dates

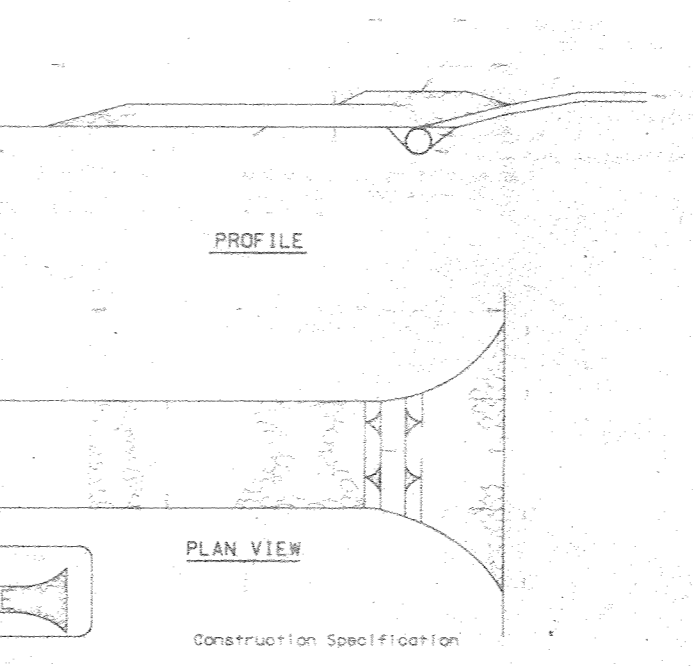
SPECIES	MINIMUM SEEDING RATE	PLANTING DEPTH	APPROPRIATE ZONE AND SEEDING DATES												
			5a	5b	5c	5d	5e	5f	5g	5h	5i	5j	6a	6b	
CLOVER ONE	2.5 lb. (22 lbs/1000 sq ft)	2.80"	1-2	X	X	X	X	X	X	X	X	X	X	X	X
BATS	3.5 lb. (36 lbs/1000 sq ft)	2.21"	1-2	X	X	X	X	X	X	X	X	X	X	X	X
RYE	2.5 lb. (140 lbs/1000 sq ft)	3.22"	1-2	X	X	X	X	X	X	X	X	X	X	X	X
BARELY OR RYE PLUS FOXTAIL MULLET	50 lbs.	3.45"	1-2	X	X	X	X	X	X	X	X	X	X	X	X
WEEDING LOW GRASS	4 lbs.	0.9"	1-2	X	X	X	X	X	X	X	X	X	X	X	X
ANNUAL RYEGRASS	50 lbs.	1.5"	1-2	X	X	X	X	X	X	X	X	X	X	X	X
MILET	50 lbs.	1.5"	1-2	X	X	X	X	X	X	X	X	X	X	X	X

TROY HILL BUSINESS PARK PARTNERSHIP

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

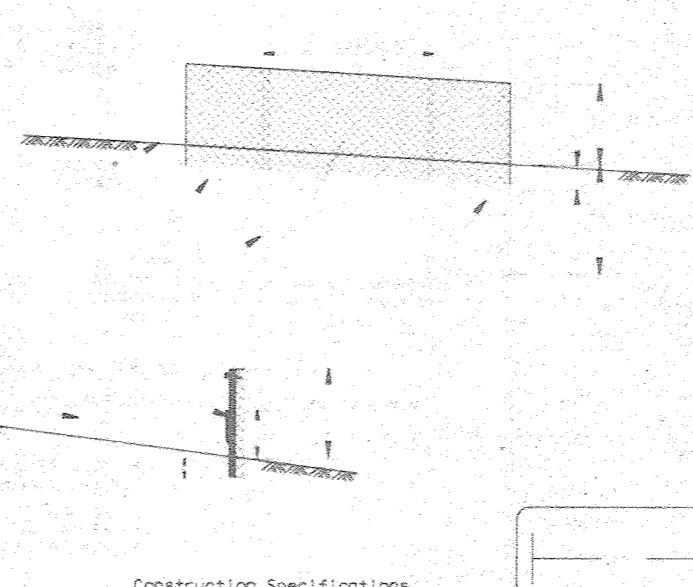
DEVELOPER CERTIFICATION:
I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Training Program for Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer Name: *[Signature]* Date: 3/29/96

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Width - minimum of 10' (5' for single residence lot).
- Length - 10' minimum should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stones. The stone approval authority may not require single family residential to use geotextile.
- Stone - crushed aggregate (2" to 3") or recycled or recycled concrete. Geotextile fabric shall be placed at least 6" deep over the length and width of the entrance.
- Surface water - all surface water flowing to or diverted toward construction entrances shall be directed through the entrance, maintaining positive drainage. Pipe treated through the stabilized construction entrance shall be protected with a minimum of 6" of stone and a minimum of 6" of stone over the pipe. Pipe shall be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

DETAIL 25 - SUPER SILT FENCE



- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for 6" x 6" fence shall be used, substituting 4" fabric and 6" length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The fence shall have a 2" gap between wire, grove and flush rods. Drive anchors and post caps are not required except at the ends of the fence.
- Fence cloth shall be fastened securely to the chain link fence with a tie spaced every 24" at the top and mid section.
- Fence cloth shall be embedded a minimum of 6" into the ground.
- When two sections of fence cloth adjoin each other, they shall be overlapped by 6" and fastened.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Fence cloth shall be fastened securely to silt fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F1:

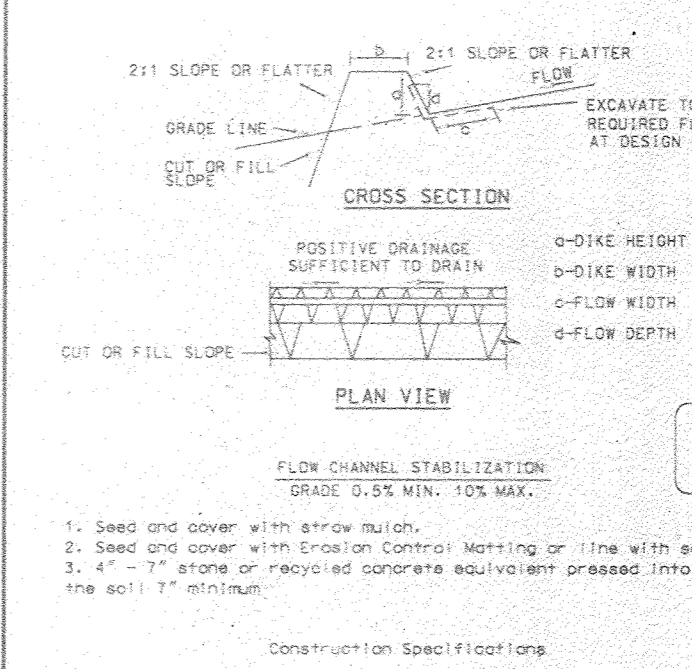
Tensile Strength	50 lbs/ft (min.)	Test M50T 509
Tensile Modulus	20 lbs/ft (min.)	Test M50T 509
0.3 g/m² (minimum max.)	0.3 g/m² (min. max.)	Test M50T 322
Filtering Efficiency	75% (min.)	Test M50T 322

Sediment Control Notes

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (33-105.5).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - 72 HOURS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3%.
 - 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAP/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, FOR PERMANENT SEEDING, SOIL TEMPORARY SEEDING AND MULCHING (SEE 01 TEMPORARY STABILIZATION WITHIN MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

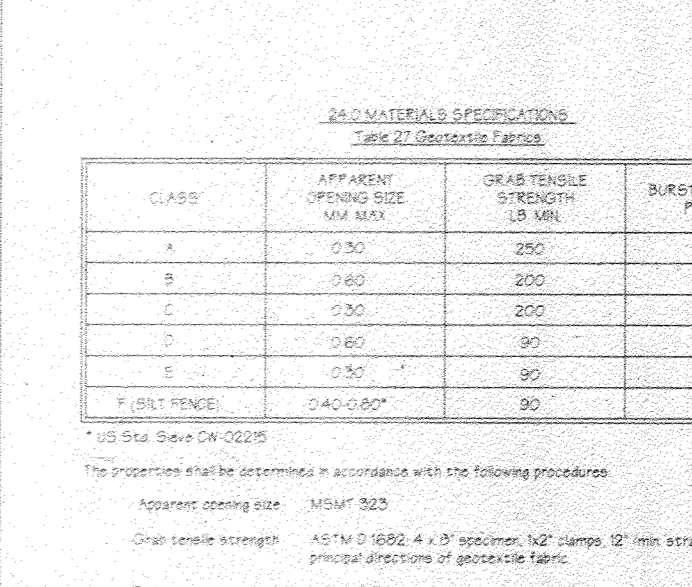
TOTAL AREA OF SITE	36.44
AREA DISTURBED	30.52 AC.
AREA TO BE RESTORED UNDER 224	ACRES
AREA TO BE VEGETATIVELY STABILIZED	8.09 AC.
TOTAL CUT 30" GRADING ACCOMPLISHED UNDER MASS GRADING	0.000
TOTAL FILL 30" GRADING ACCOMPLISHED UNDER MASS GRADING	0.000
- BE TAKEN TO A STATE/LOCAL OPEN GRADING PERMIT.
- ANY SEDIMENT CONTROL PRACTICES WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS SEDIMENT CONTROL INSPECTOR, ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES. APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

DETAIL 1 - EARTH DIKE



- Seed and cover with erosion control leveling of the site with sod.
- Seed and cover with erosion control leveling of the site with sod.
- 4" - 7" stone or recycled concrete equivalent placed into the soil 1" minimum.
- All temporary earth dikes shall have unimpaired positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly into an undisturbed area. It shall not be placed in a non-erodible velocity.
- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the functioning of the dike.
- The dike shall be excavated or cleaned to the grade and cross section as required to meet the 2:1 slope specified and maintained on the area of cross section or other irregularities which will impede normal flow.
- Fill shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

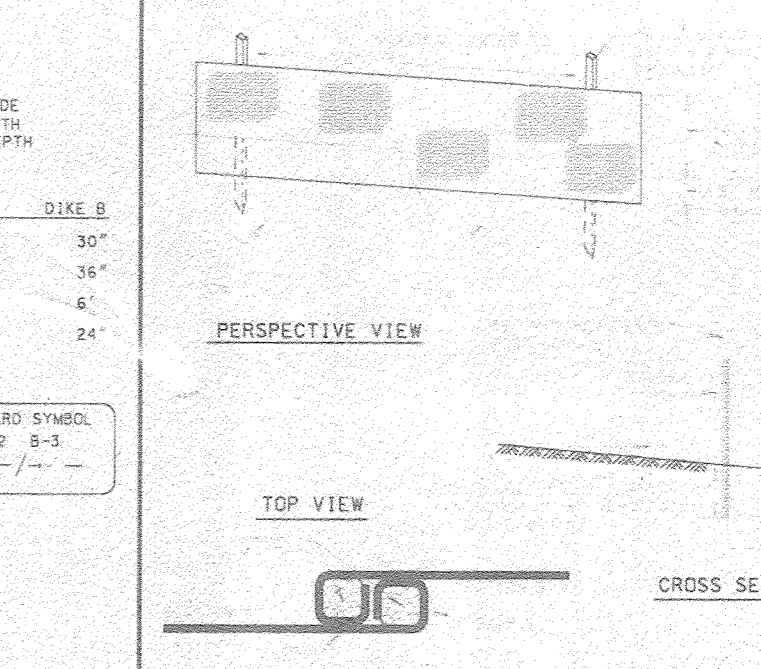
DETAIL 22 - SILT FENCE



- Fence posts shall be a minimum of 3/4" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" square (minimum cut), or 1 1/2" diameter (minimum round and shall be of sound quality hardwood. Steel posts will be standard 1" section weighing not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to silt fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F1:

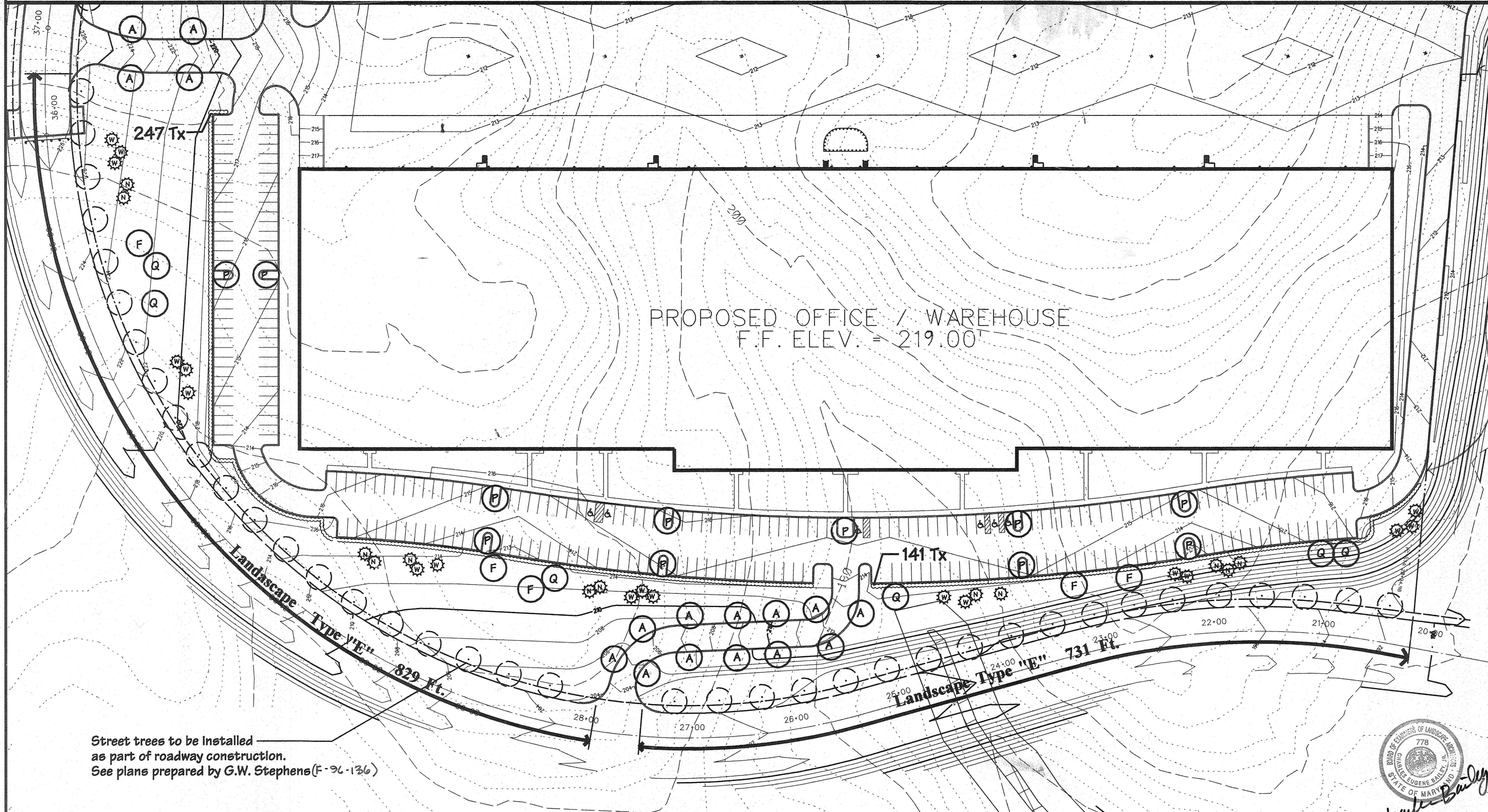
Tensile Strength	50 lbs/ft (min.)	Test M50T 509
Tensile Modulus	20 lbs/ft (min.)	Test M50T 509
0.3 g/m² (minimum max.)	0.3 g/m² (min. max.)	Test M50T 322
Filtering Efficiency	75% (min.)	Test M50T 322
- When two sections of fence cloth adjoin each other, they shall be overlapped by 6" and fastened to prevent sediment bypass.
- All fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric's height.

DETAIL 23 - SUPER SILT FENCE



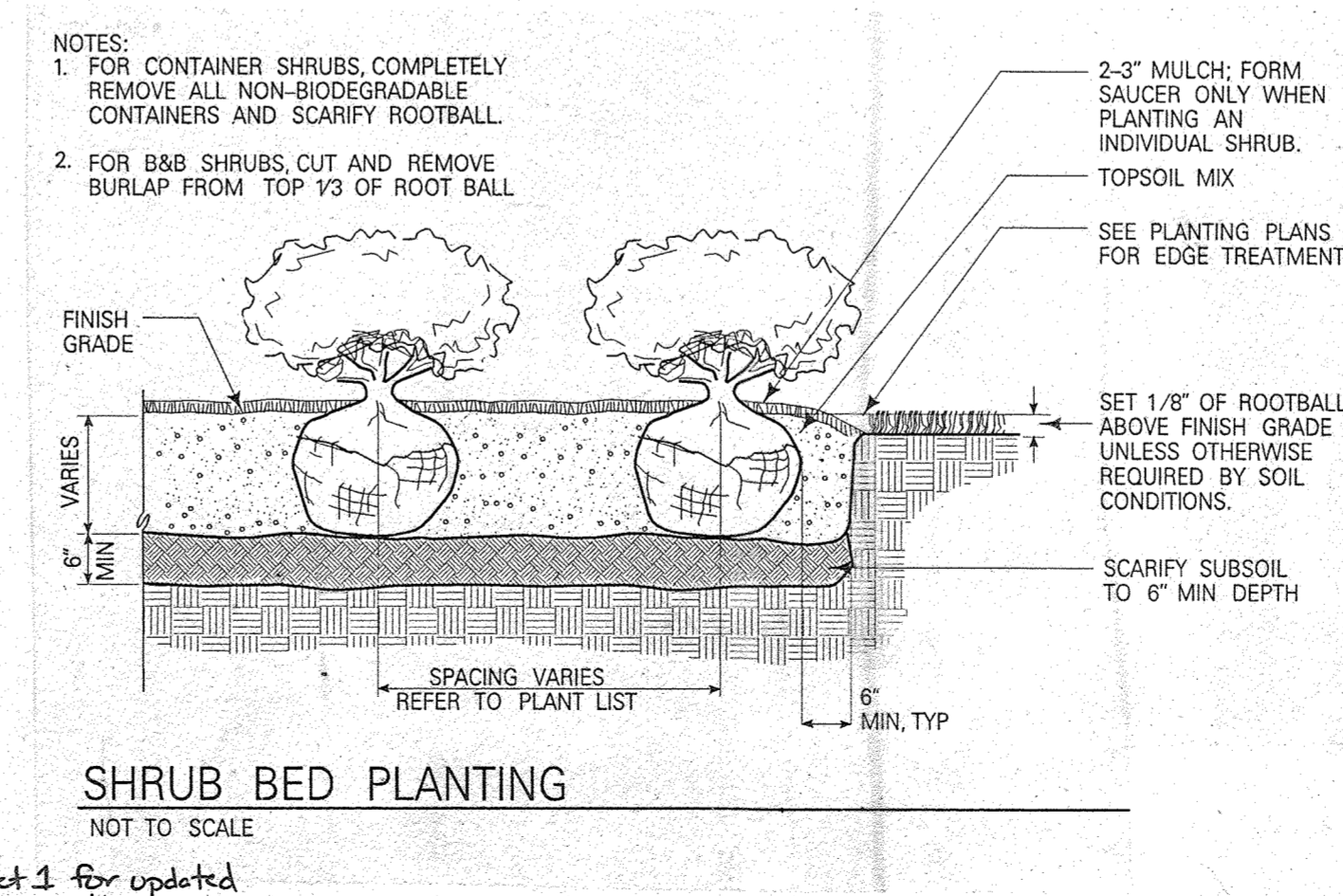
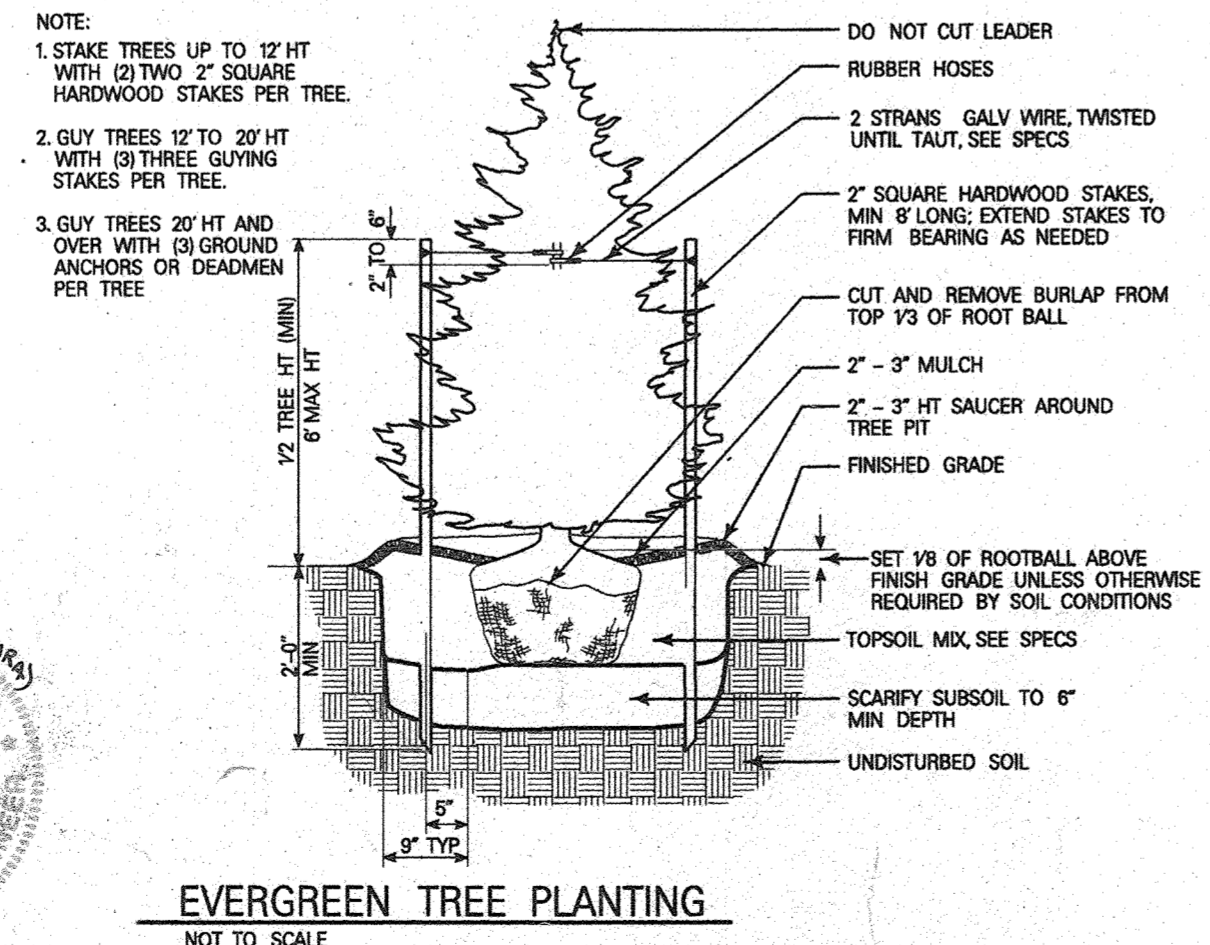
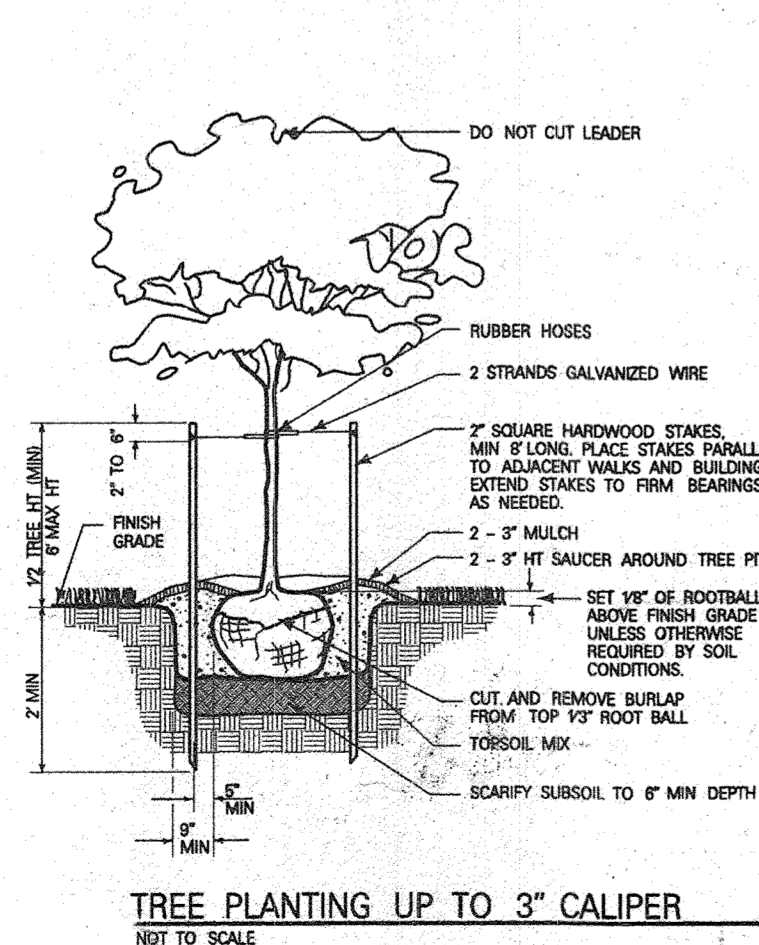
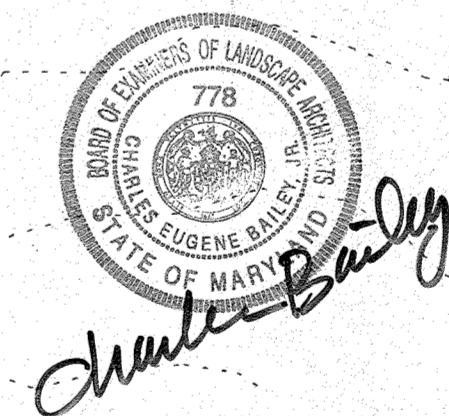
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Tensile Strength	50 lbs/ft (min.)	Test M50T 509
Tensile Modulus	20 lbs/ft (min.)	Test M50T 509
0.3 g/m² (minimum max.)	0.3 g/m² (min	



Property Line
Between Interior Parcels within
Troy Hill Subdivision. No Screening
or Buffering Required.

Street trees to be installed
as part of roadway construction.
See plans prepared by G.W. Stephens (F-96-136)



These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: *John P. Robinson*
HOWARD SOIL CONSERVATION DISTRICT
DATE: 10/10/96

PLAN NUMBER: _____

Reviewed for the Howard Conservation District and meets technical requirements.

APPROVED: *J. B. Warfield*
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 10/10/96

APPROVED: Howard County Department of Planning and Zoning

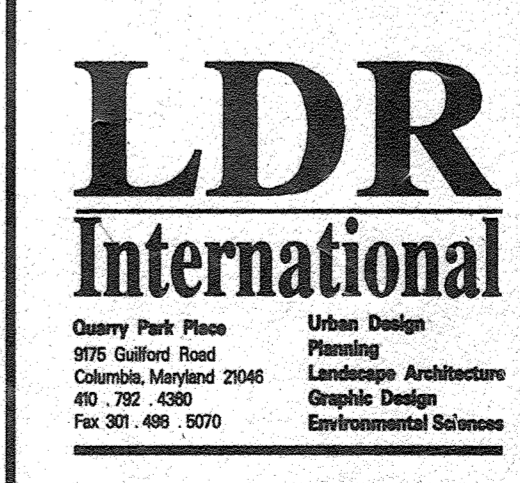
APPROVED: *John P. Robinson*
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/15/96

APPROVED: *Richard Blood*
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/31/96

APPROVED: *David Butler*
DIRECTOR
DATE: 11/1/96

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
BLDG #1	7042 TROY HILL DR.
BLDG #2	7050 TROY HILL DR.

SUBDIVISION NAME	SECTION NAME	PARCEL LOT
TROY HILL CORPORATE CENTER	1	135 A-1
PLAT #	BLOCK #	ZONE
13843	17, 18	M-1
TAX MAP	ELECT. DIST.	CENSUS TRACT
37	1st	6011-02
WATER CODE C04	SEWER CODE 402000	



PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer Name: *Richard Blood* Date: 3/29/96

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN COPORATION
4165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer Name: _____ Date: _____
Name: _____ PE # _____

REVISIONS:
△ UPDATED OWNER INFORMATION REFERENCE

MINIMUM LANDSCAPE PLAN
FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A

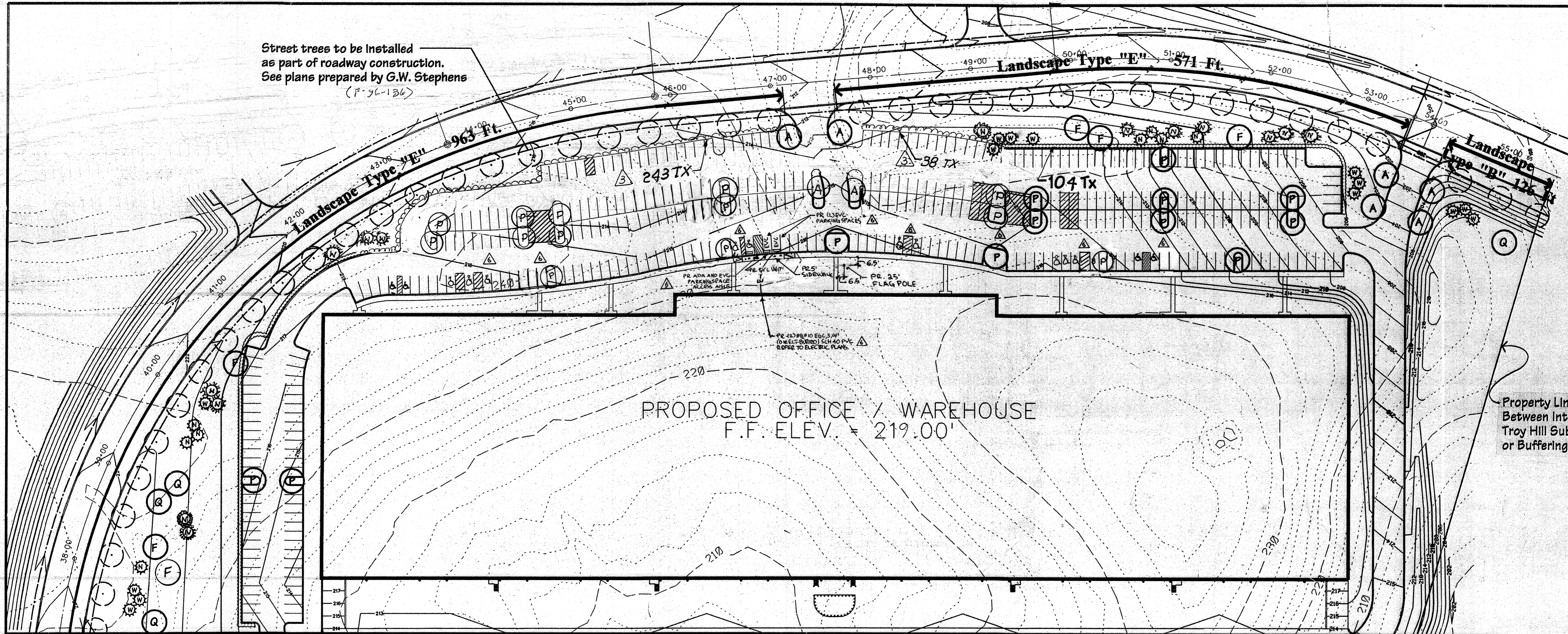
HOWARD COUNTY, MARYLAND
1st ELECTION DISTRICT

17
SHEET 14 of 18

SCALE: 1"=50'-0"
MARCH 25, 1996
NAME: troyonedr

SDP-96-117

Street trees to be installed as part of roadway construction. See plans prepared by G.W. Stephens (F-96-136)



Property Line Between Interior Parcels within Troy Hill Subdivision. No Screening or Buffering Required.

PROPOSED OFFICE / WAREHOUSE
F.F. ELEV. = 219.00'

MATCH LINE A-A SEE SHEET

Plant List

QTY	KEY	BOTANICAL/COMMON NAME	SIZE	REMARKS
24	A	Acer rubrum 'Red Sunset' Red Sunset Maple	13-15' ht. 2 1/2-3" cal.	B & B Full
37	P	Platanus x acerifolia 'Bloodgood' Bloodgood London Planetree	13-15' ht. 2 1/2-3" cal.	B & B Full
11	F	Fraxinus americana 'Autumn Purple' Autumn Purple Ash (Seedless)	13-15' ht. 2 1/2-3" cal.	B & B Full
10	Q	Quercus palustris Pin Oak	13-15' ht. 2 1/2-3" cal.	B & B Full
28	N	Picea abies Norway Spruce	6-7' ht.	B & B Full
37	W	Pinus strobus Semi-shed Eastern White Pine	6-7' ht.	B & B Full
773	Tx	Taxus x media 'Densiformis' Densiformis Yew	2-2 1/2' ht. 30-36" spd.	B & B Full

**Troy Hill - Schedule A
Perimeter Landscape Edge**

Category	Adjacent to Roadways	
	E	B
Landscape Type	E	B
Linear Feet of Roadway Frontage/Perimeter	3094	126'
Credit for Existing Vegetation (Yes, No, Linear Feet) Describe below if needed	NA	NA
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) Describe below if needed	NA	NA
Number of Plants Required		
Shade Trees	3094/40 = 77	126/50 = 3
Evergreen Trees		126/40 = 3
Shrubs	3094/4 = 773	
Number of Plants Provided		
Shade Trees	*46	3
Evergreen Trees	*62	3
Other Trees (2:1 substitution)		
Shrubs (10:1 substitution)	773	

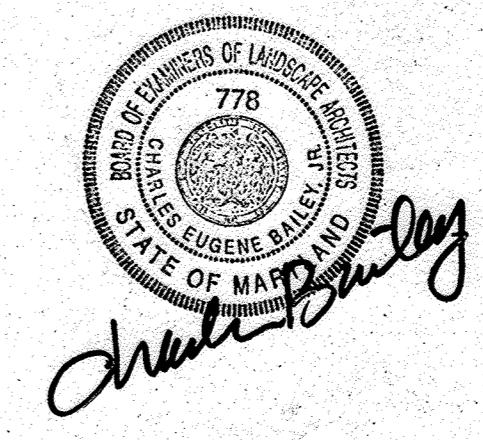
* 62 Evergreens have been substituted for 31 required shade trees

**Troy Hill - Schedule B
Parking Lot Internal Landscaping**

Number of Parking Spaces	550
Number of Trees Required	28
Number of Trees Provided	28
Shade Trees	
Other Trees (2:1 substitution)	

GENERAL PLANTING NOTES

- All plant material shall conform to the sizes given in the plant list and shall be nursery grown in accordance with the 'American Standard for Nursery Stock', latest edition.
- All planting shall be in accordance with standard American Association of Nurserymen procedures and specifications.
- Contractor and Owner's Representative shall verify the correct location of all underground utilities in the field prior to installation of any plant materials.
- Deciduous tree staking is optional based on plants exposure to high winds or if steep slopes are present. (Movement is necessary to strengthen the trunk of the planted tree).
- Plant material location to be flagged in the field by contractor and approved by the Landscape Architect prior to planting.
- All plant beds and planting areas to be mulched to a depth of 3" unless otherwise indicated.
- All disturbed lawn areas shall be fine graded and seeded.
- All plant beds shall be contained with a spaced edge unless noted otherwise.
- Obtain approval from Landscape Architect's or Owner's Representative before making any substitutions or changes.
- Quantities shown on plant list are for the Contractor's convenience only and are not guaranteed to be accurate. In the event of a discrepancy between quantities shown on the plan and quantities shown on the plant list, the quantities on the plan shall apply.



These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT
John P. Polutano
PLAN NUMBER: 10/10/96
DATE: 10/10/96

Reviewed for the Howard Conservation District and meets technical requirements.
J. M. Warfield
NATURAL RESOURCES CONSERVATION SERVICE
APPROVED: Howard County Department of Planning and Zoning
DATE: 10/10/96

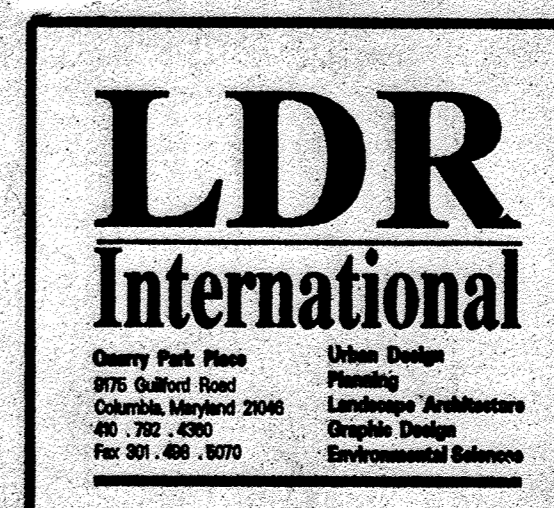
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Richard Blosser
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 10/3/96

DIRECTOR
DATE: 11/1/96

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
BLD# 01	7040 TROY HILL DR.
BLD# 02	7090 TROY HILL DR.

SUBDIVISION NAME	SECTION NAME	PARCEL #
TROY HILL CORPORATE CENTER	1	135 A-1
PLAT # 13843	BLOCK # 17, 18	TAX MAP # 27
WATER CODE 004	ELECT. DIST. 1st	CENSUS TRACT 601402
	SEWER CODE 4070000	



MINIMUM LANDSCAPE PLAN FOR TROY HILL CORPORATE CENTER PHASE 1 PARCEL A
HOWARD COUNTY, MARYLAND
1st ELECTION DISTRICT
SHEET 15 of 16
SCALE: 1"=50'-0"
MARCH 25, 1996
NAME: troyp2

PREPARED BY: **GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer Name: R. Cole Date: 3/29/96

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
4165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND 21046
410-290-1400

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer: _____ Date: _____
Name: _____ PE # _____

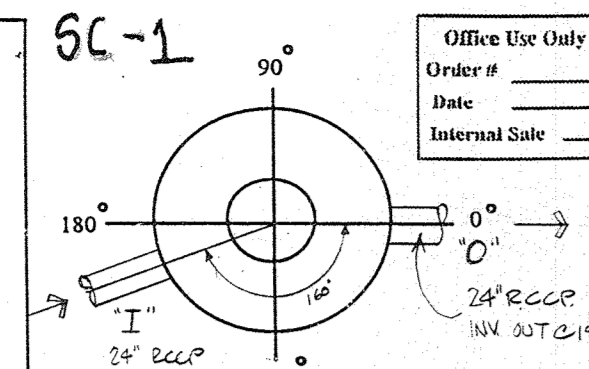
ADDED ADDITIONAL PARKING SPACES REVISED LANDSCAPING ACCORDINGLY REVISED PLANT LIST ACCORDINGLY BY GWS, DATED 10.15.2002 AS APPROVED OWNER INFORMATION REFERENCE

SDP-96-117

Concrete Stormceptor® Order Request Form *

Contractor Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____



Owner Information

Name TROY HILL BUSINESS PARK
Phone _____
Fax (301) 290-1400

Please draw orientation of inlet and outlet pipes on diagram along with pipe inside diameter (in.) and invert elevation (ft). Clearly mark inlet pipes with an I and outlet pipes with an O and provide the inlet/outlet pipe angle in degrees.

Stormceptor® Model

900 3600
1200 4800
1800 6000
2400 7200

Insert Size

22"
32"
44"
Custom _____

Manhole Number

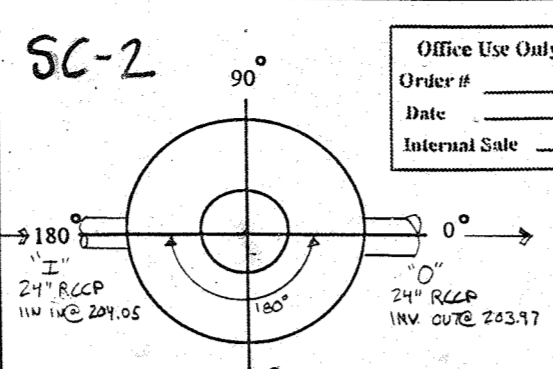
Top Elevation (ft) 224.14
Inlet Pipe Invert (ft) 224.14
Outlet Pipe Invert (ft) 224.14
Pipe Type: RCP
Pipe Inside Diameter (in) [ID] 36"
Pipe Outside Diameter (in) [OD] 42"

Project Name TROY HILL CORPORATE CENTER
Approximate time frame until required delivery (weeks) _____
Delivery Address: Street _____
City _____ State _____ Zip Code _____
Designer Company G.W. STEPHENS, JR. & ASSOC. INC.
Designer Contact PAT CARLO Phone (410) 825-8120 Fax (410) 583-0288

Concrete Stormceptor® Order Request Form *

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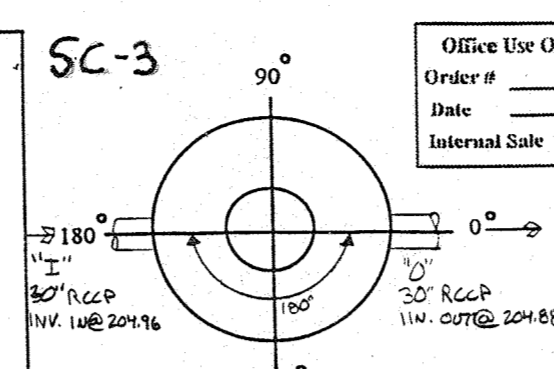
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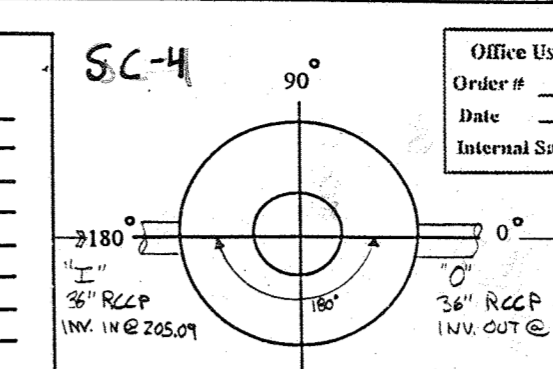
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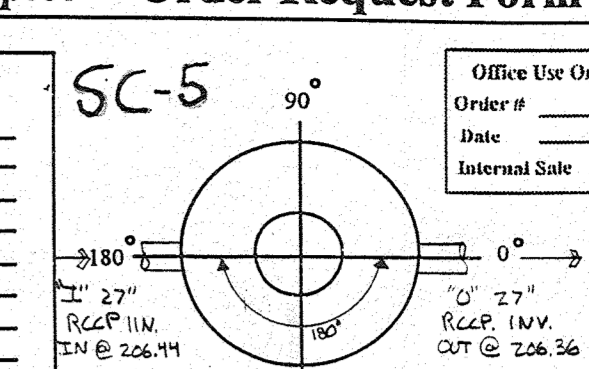
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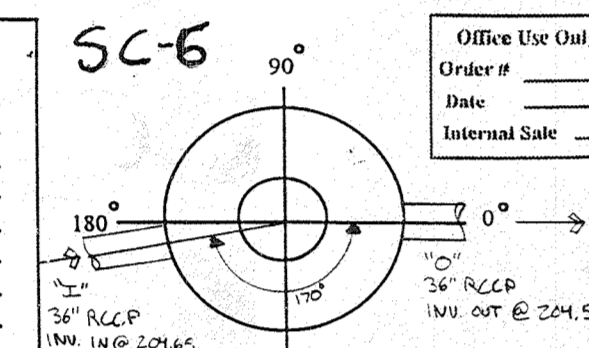
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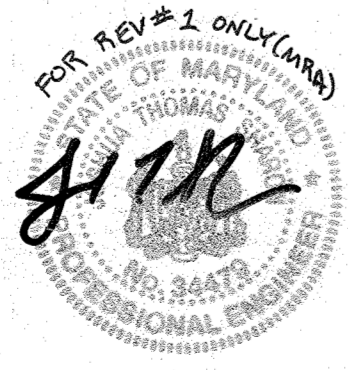
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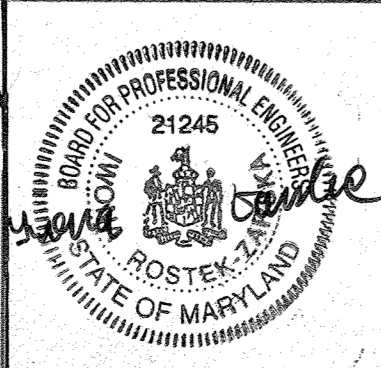
NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system. Each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.



see sheet 1 for updated owner information

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120



DEVELOPER CERTIFICATION:

OWNER/DEVELOPER
TROY HILL BUSINESS PARK PARTNERSHIP
c/o MANEKIN CORPORATION
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND
21046
410-290-1400

We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name Pat Carlo Date 3/29/96

Revisions:
Updated owner information reference

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT
John R. Robertson 10/10/96
PLAN NUMBER _____ DATE

Reviewed for the Howard Conservation District and meets technical requirements.
J. B. Warfield 10/10/96
NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED: Howard County Department of Planning and Zoning
Abel Dammus 10/10/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Michael Blood 10/31/96
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH TC DATE

James Butler 11/1/96
DIRECTOR DATE

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
BUILDING #1	7040 TROY HILL DRIVE
BUILDING #2	7090 TROY HILL DRIVE

SUBDIVISION NAME: TROY HILL CORPORATE CENTER SECTION NAME: 1 PARCEL # 135 A-1
PLAT # 13843 BLOCK # 17, 18 ZONE M-1 ZONE MAP 37 ELECT. DIST. 1st CENSUS TRACT 6011-02
WATER CODE C04 SEWER CODE 4020000

FOR
TROY HILL CORPORATE CENTER
PHASE 1 PARCEL A-1
PREVIOUS FILE #S 890-05, P90-25, P91-24, P96-136
HOWARD COUNTY, MARYLAND 17 SCALE: AS SHOWN
1st ELECTION DISTRICT SHEET 16 of 18 MARCH 22, 1996

SDP-96-117

-chargepoint+

ChargePoint CT4000 Family

-chargepoint+

ChargePoint CT4000 Family

CT4000 Level 2 Commercial Charging Stations

Specifications and Ordering Information

Ordering Information

Specify model number followed by the applicable code(s). The order code sequence is: Model-Options-Software, Services and Misc are ordered as separate line items.

Hardware table with columns: Description, Order Code, Model, and Code. Lists various hardware components like bollards and wall mounts.

Software & Services table with columns: Description, Order Code, and Code. Lists software like ChargePoint Commercial Service Plan and Station Activation.

Note: All CT4000 stations come with 1 year of ChargePoint Assure coverage...

*Substitute # for desired years of service (1, 2, 3, 4, or 5 years).

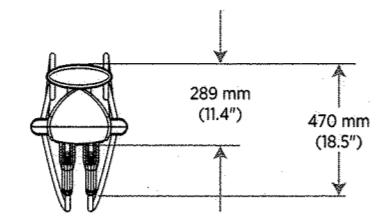
†Substitute # for the duration of the additional coverage (1, 2, 3, or 4 years).

Order Code Examples table showing combinations of hardware, software, and services for different station models.

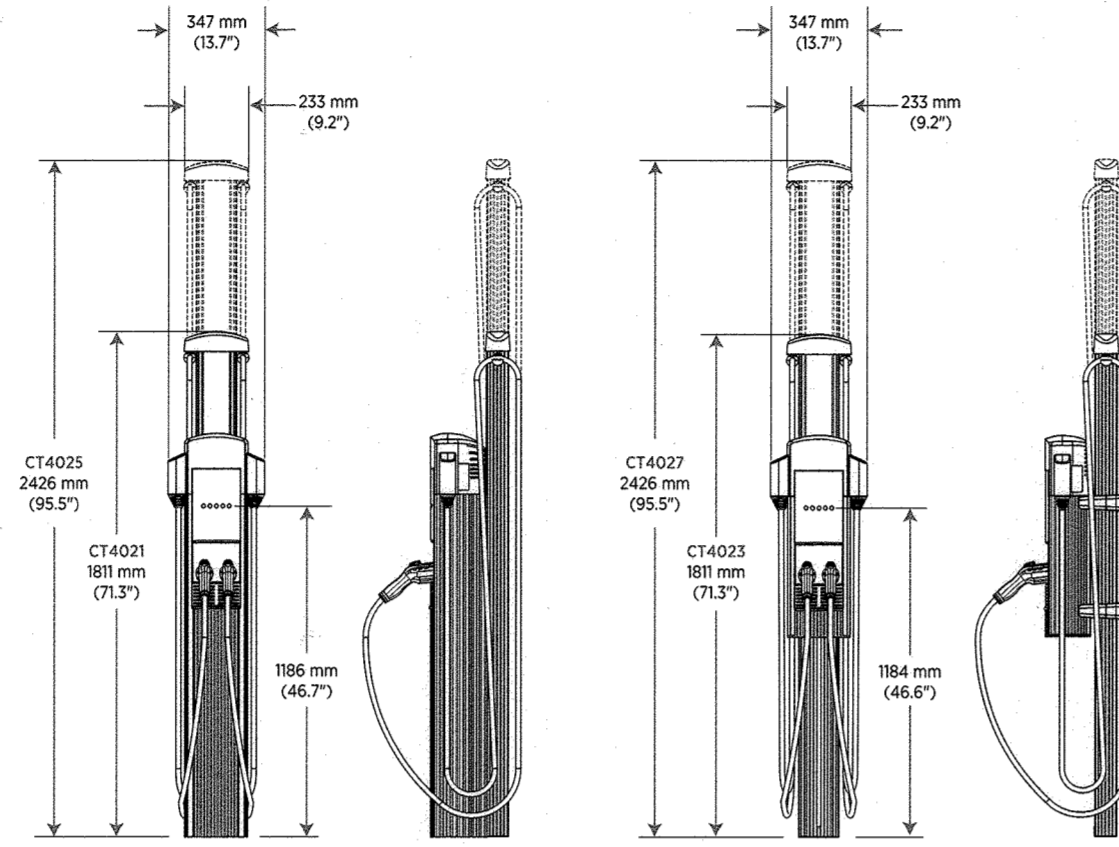
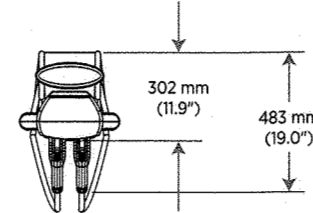


CT4021

CT4021 1830 mm (6') CT4025 2440 mm (8') Bollard



CT4023 1830 mm (6') CT4027 2440 mm (8') Wall Mount



2 chargepoint.com

CT4000 Family Specifications

Table of specifications for CT4000 Family, including Electrical Input, Electrical Output, Functional Interfaces, and Service Panel GFCI details.

chargepoint.com 3

Safety and Connectivity Features

Table of safety and connectivity features including Ground Fault Detection, Open Safety Ground Detection, Plug-Out Detection, etc.

ChargePoint, Inc. reserves the right to alter product offerings and specifications at any time without notice...

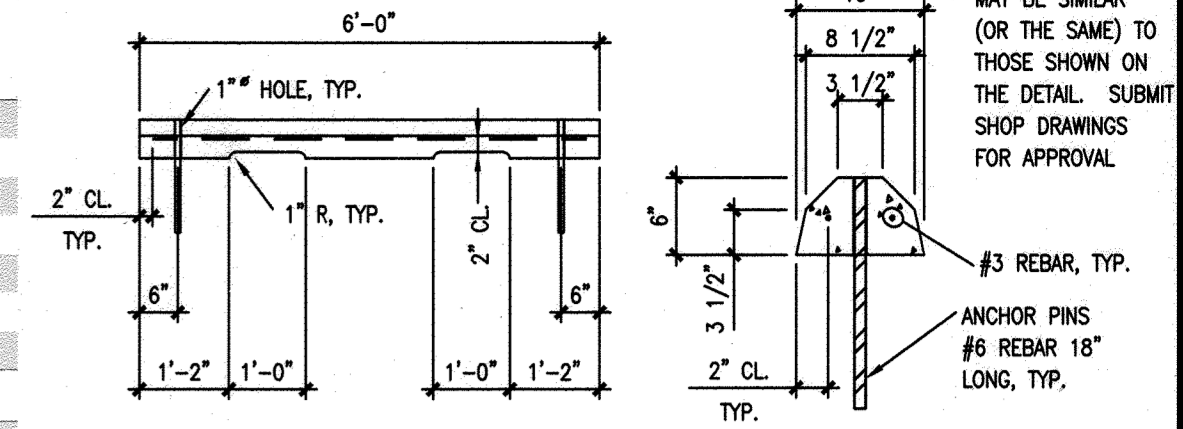
Contact Us

- Visit chargepoint.com/sales
Call +1.408.705.1992
Email sales@chargepoint.com

-chargepoint+

ChargePoint, Inc. 25 East Hacienda Avenue | Campbell, CA 95008-4607 USA

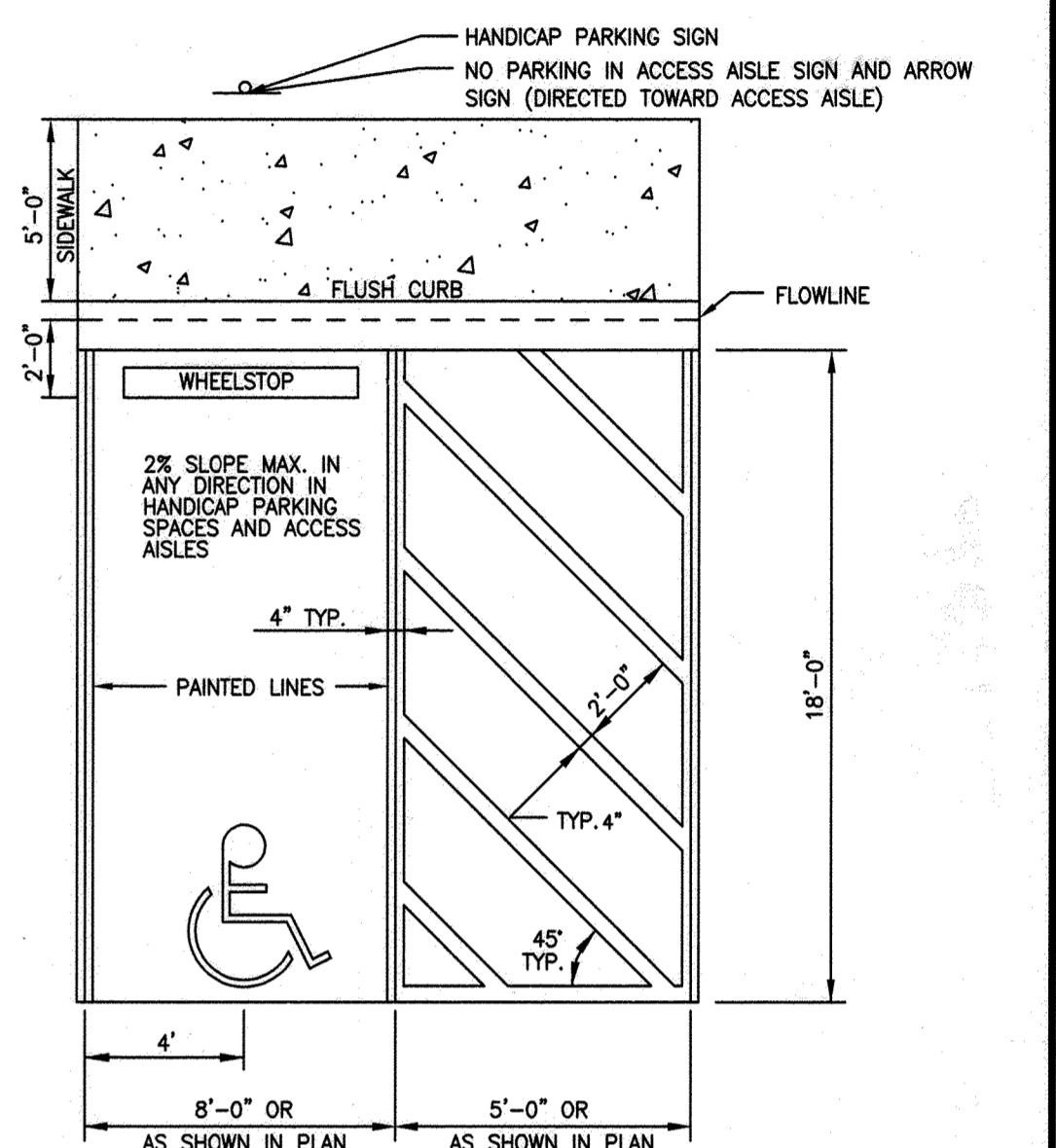
Copyright © 2018 ChargePoint, Inc. All rights reserved. CHARGEPOINT is a U.S. registered trademark...



ELEVATION SECTION

(WHEEL STOP ON ASPHALT PAVEMENT)

5 WHEEL STOP DETAIL NOT TO SCALE



NOTES: 1. PAINT TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND PER MUTCD STANDARDS.

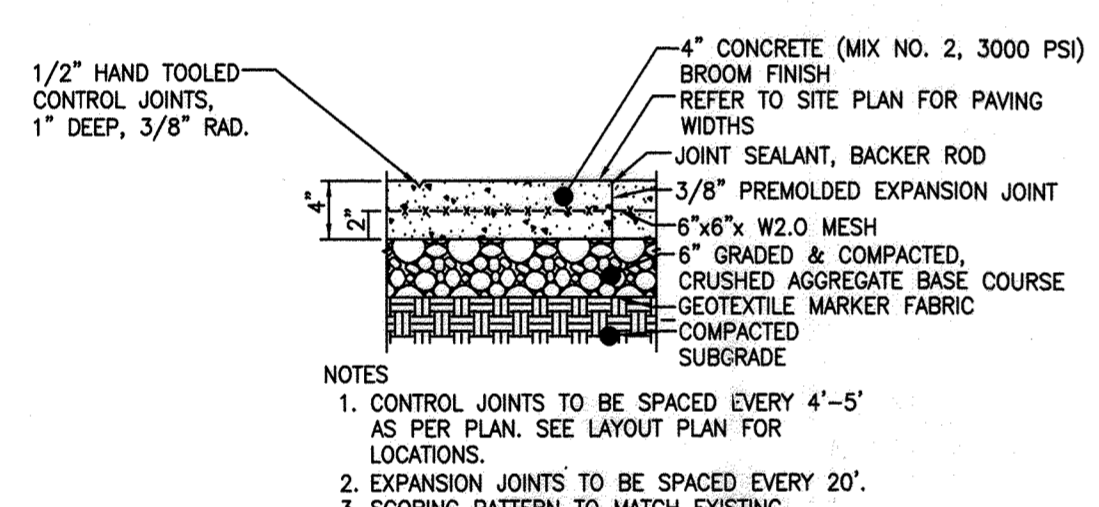
6 ADA PARKING AND STRIPING DETAIL NOT TO SCALE

1 CHARGING STATION DETAIL NOT TO SCALE

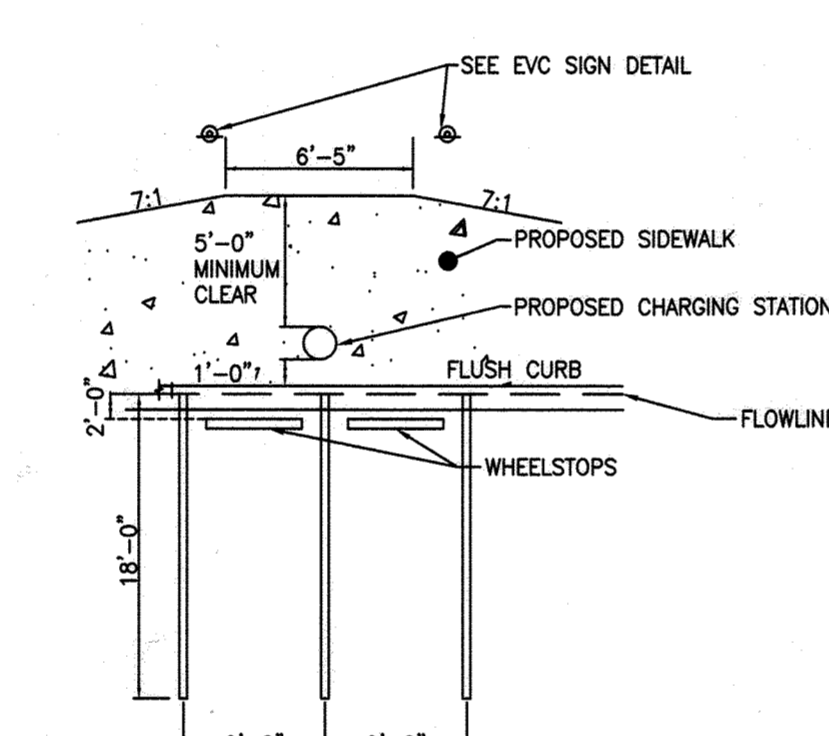
2 CHARGING STATION DETAIL NOT TO SCALE

3 CHARGING STATION SPECIFICATIONS

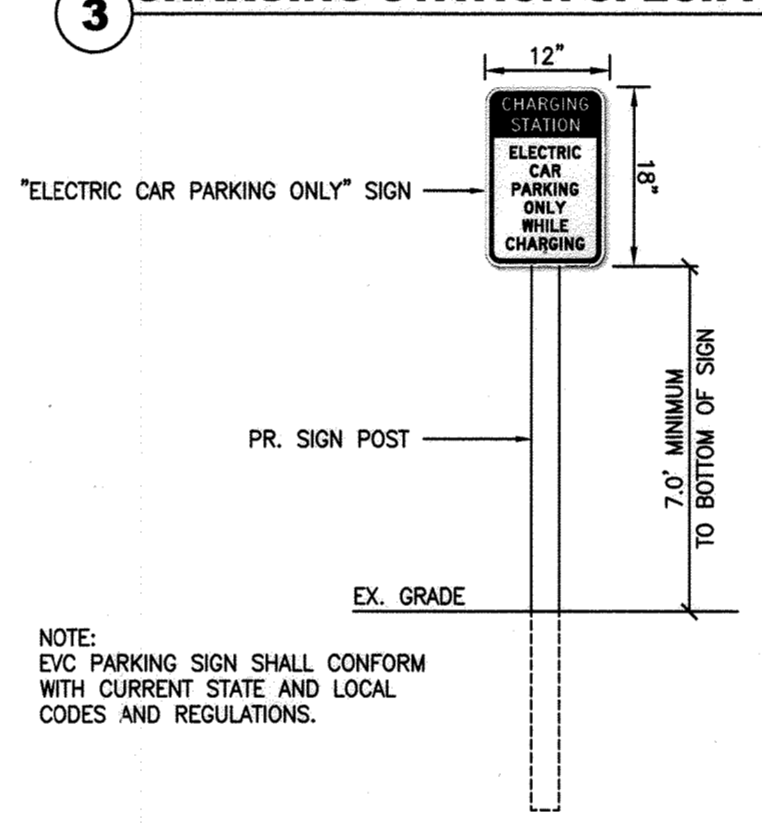
4 CHARGING STATION SPECIFICATIONS



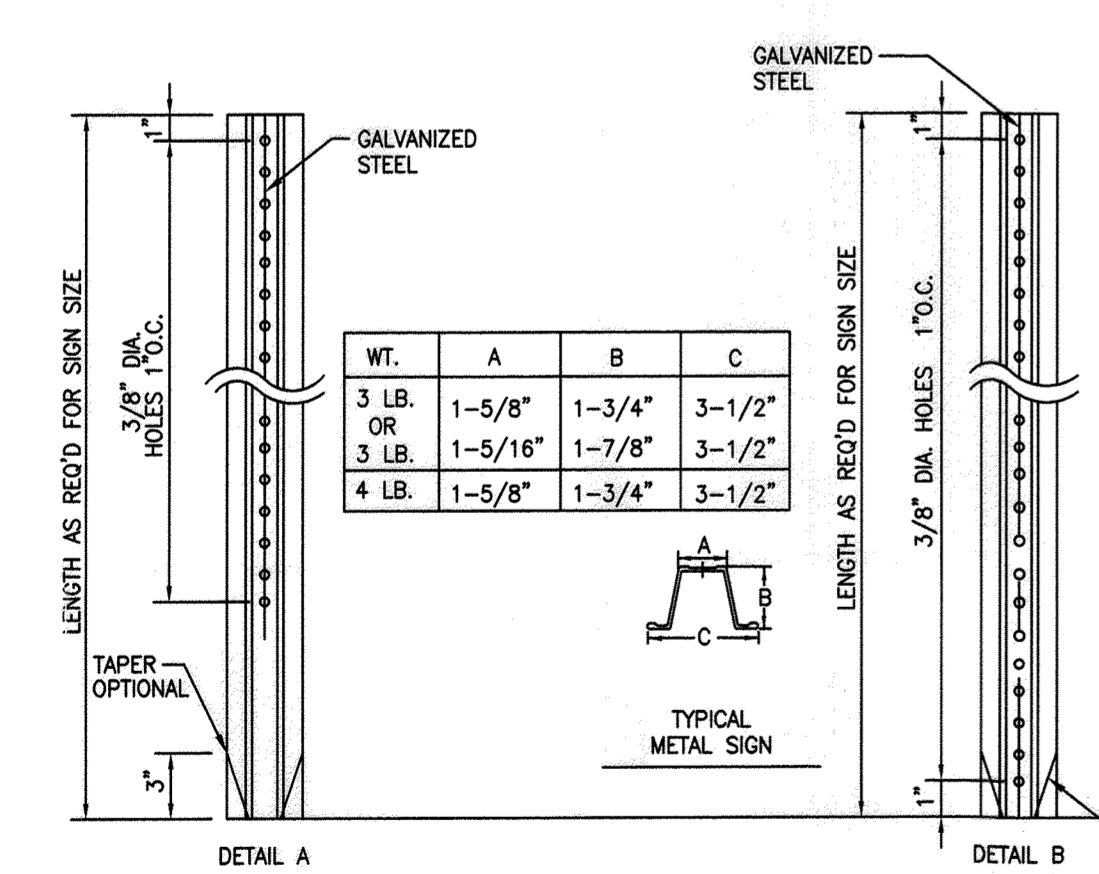
7 STANDARD CONCRETE SIDEWALK SECTION NOT TO SCALE



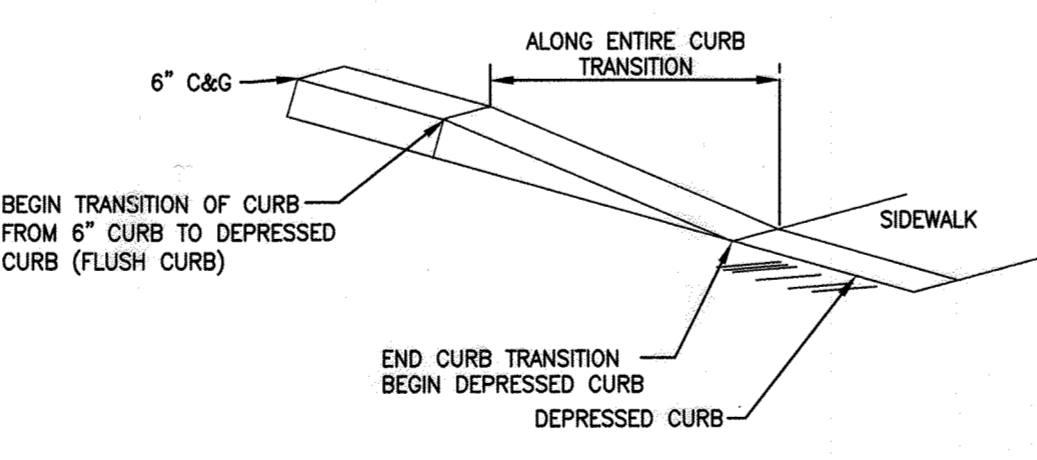
8 PARKING & CHARGING DETAIL NOT TO SCALE



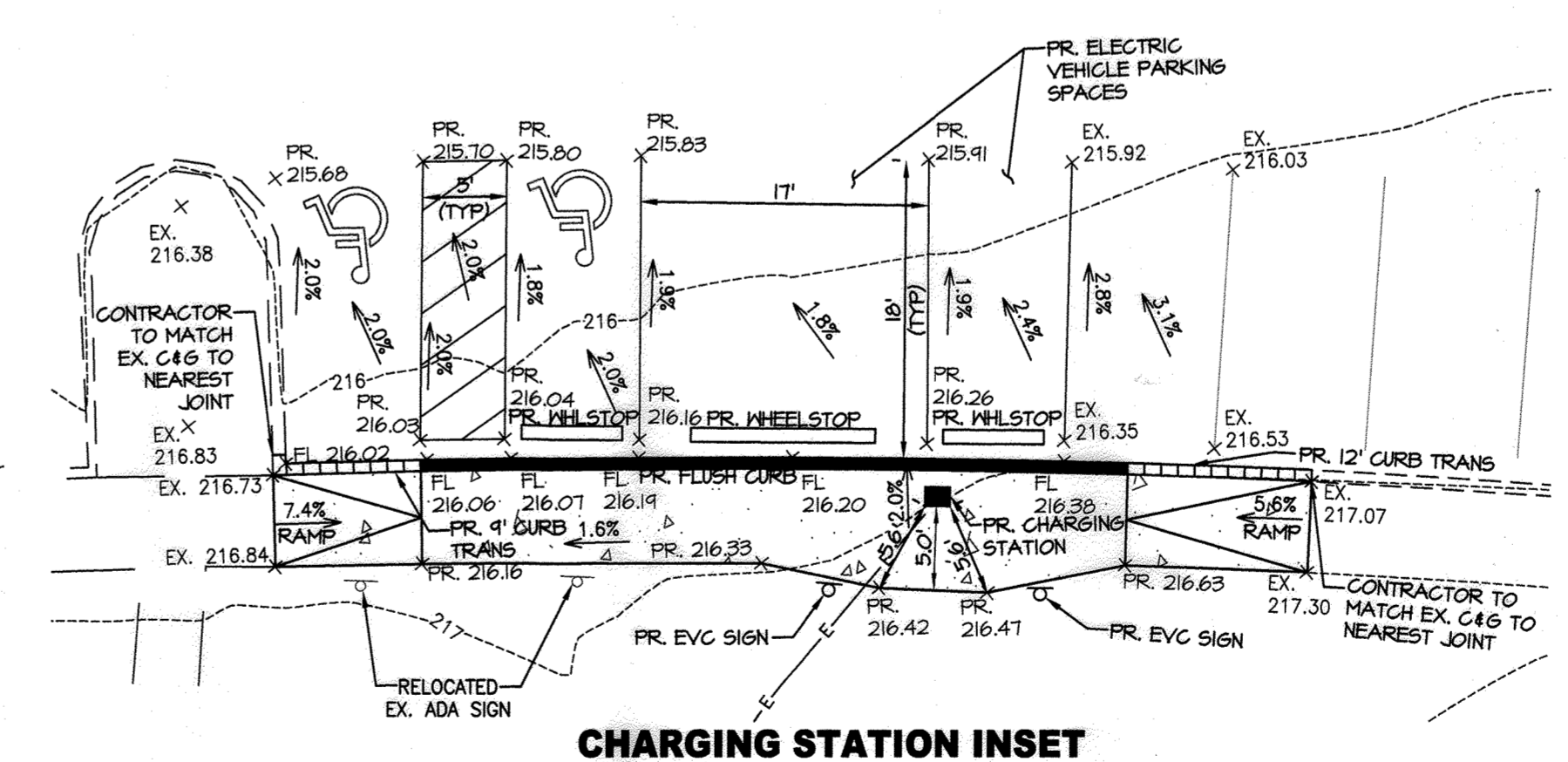
9 EV SIGN DETAIL NOT TO SCALE



10 TYPICAL METAL SIGN POST DETAIL NOT TO SCALE



11 TRANSITIONAL CURB DETAIL NOT TO SCALE



CHARGING STATION INSET SCALE: 1" = 10'

THESE PLANS FOR S.W.M. CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD SOIL CONSERVATION DISTRICT 10/06/22

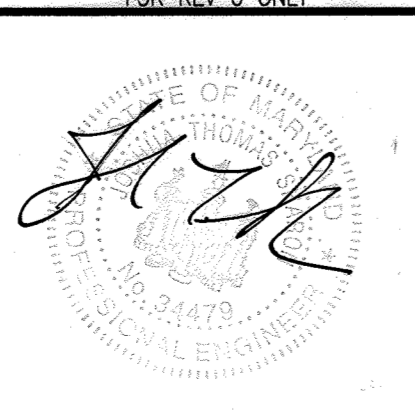
THESE PLANS FOR S.W.M. CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 12.21.22

APPROVED: DIVISION OF LAND DEVELOPMENT AND RESEARCH 1/3/23 1-4-23

Address chart table with columns: Parcel No., Street Address, Building #1, Building #2, etc.

MORRIS & RITCHIE ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS



DEVELOPER CERTIFICATION: I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN...

OWNER/DEVELOPER: TROY HILL LLC C/O CBRE 100 E. PRATT ST 17 FL BALTIMORE, MD 21202

Revisions table with columns: Date, Revisions, and Description.

EV CHARGING STATIONS DETAIL AND PLAN FOR TROY HILL CORPORATE CENTER PHASE 1 PARCEL A-1 SHEET 17 OF 17

SDP-96-117