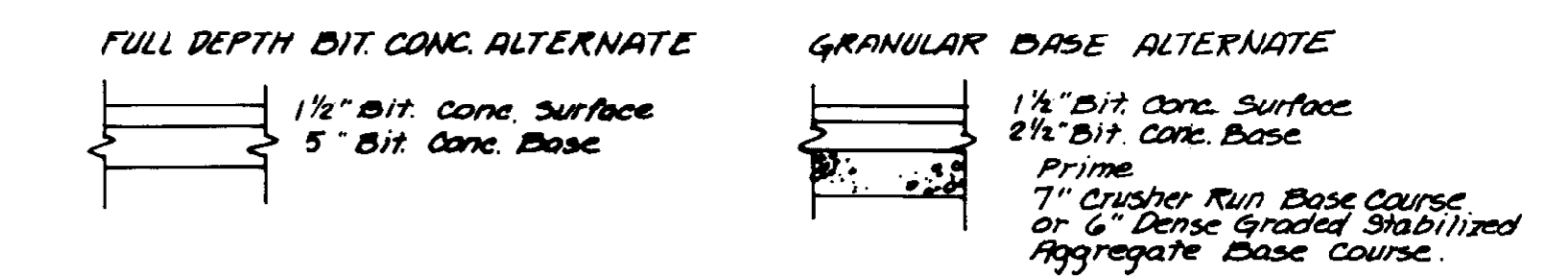
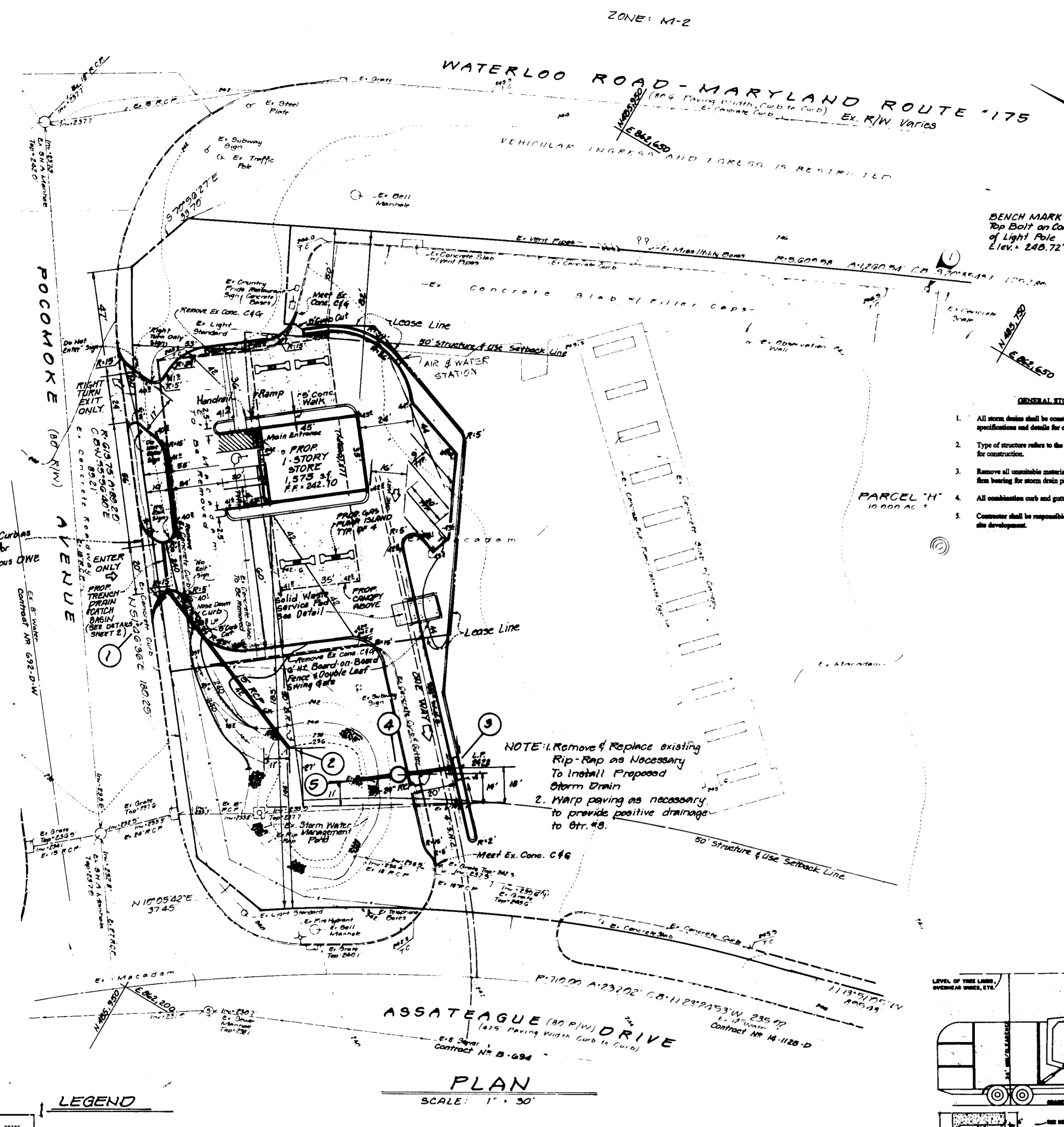
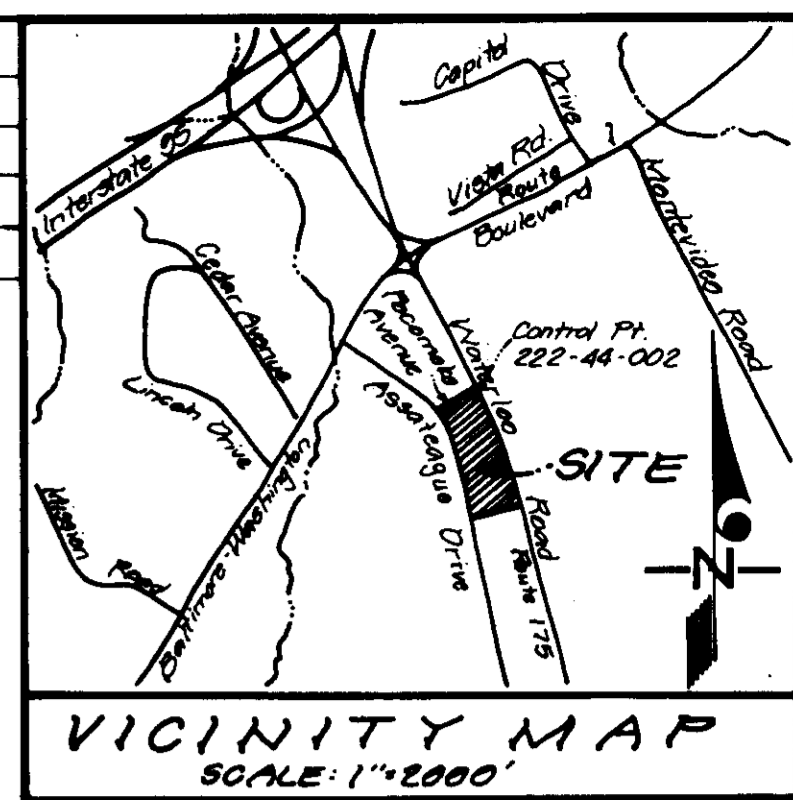
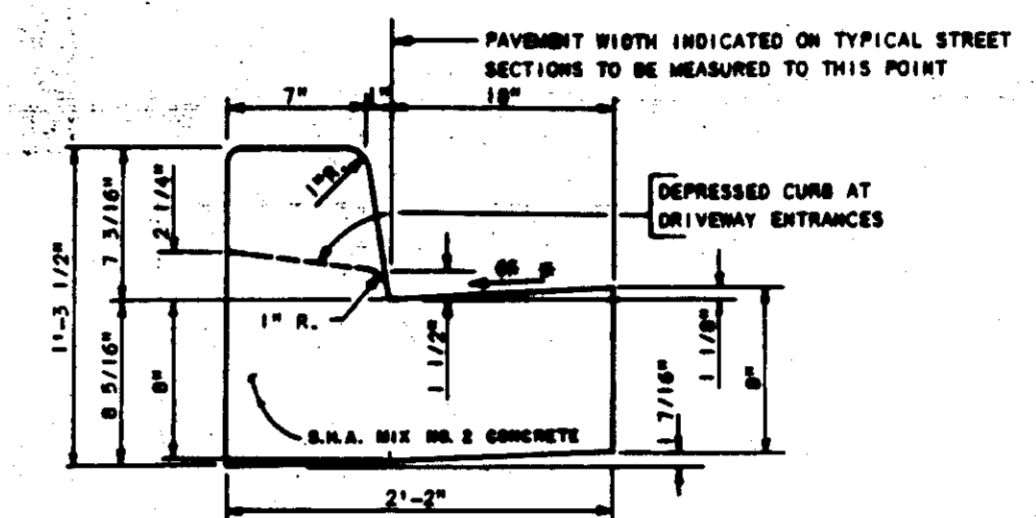


SHEET INDEX	
1.	Site Plan
2.	S.W.M. & Storm Drain Details
3.	Bediment Control & Details
4.	Landscape Plan & Details

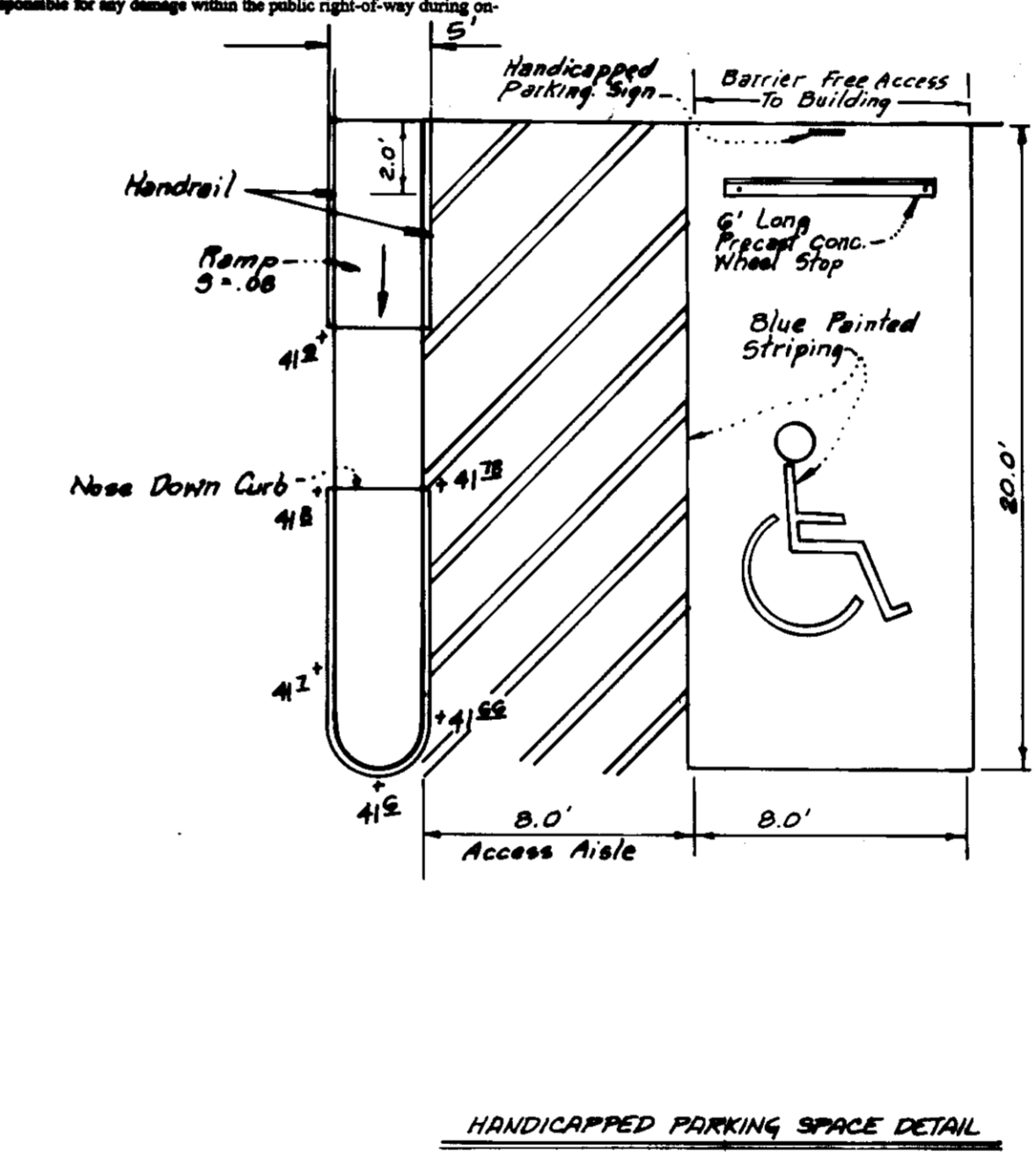


P-2 PAVEMENT DETAIL
N.T.S.
LIMIT OF PAVING



STANDARD 7\"/>

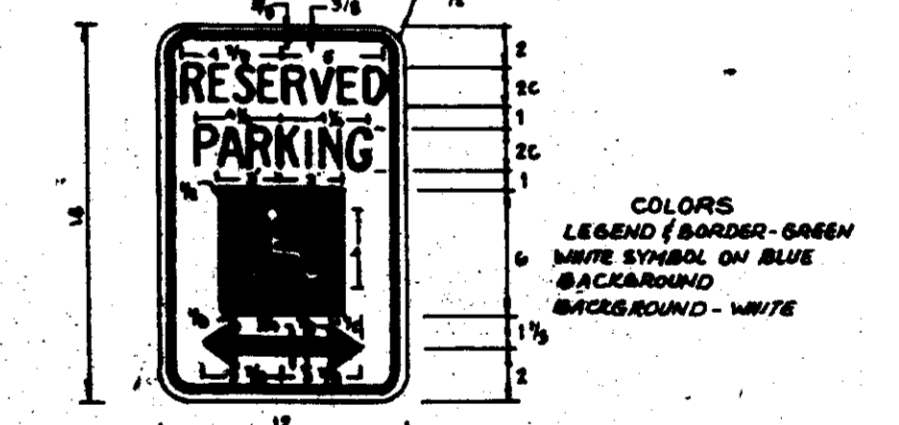
- GENERAL STORM DRAIN AND PAVING PLANS**
- All storm drains shall be constructed in accordance with the Howard County standard specifications and details for construction.
 - Type of structure refers to the latest Howard County standard specifications and details for construction.
 - Remove all unsuitable material and backfill with compacted bank run gravel to provide firm bearing for storm drain pipe.
 - All combinations curb and gutter shall conform to Howard County Standard R-3.01.
 - Contractor shall be responsible for any damage within the public right-of-way during on-site development.



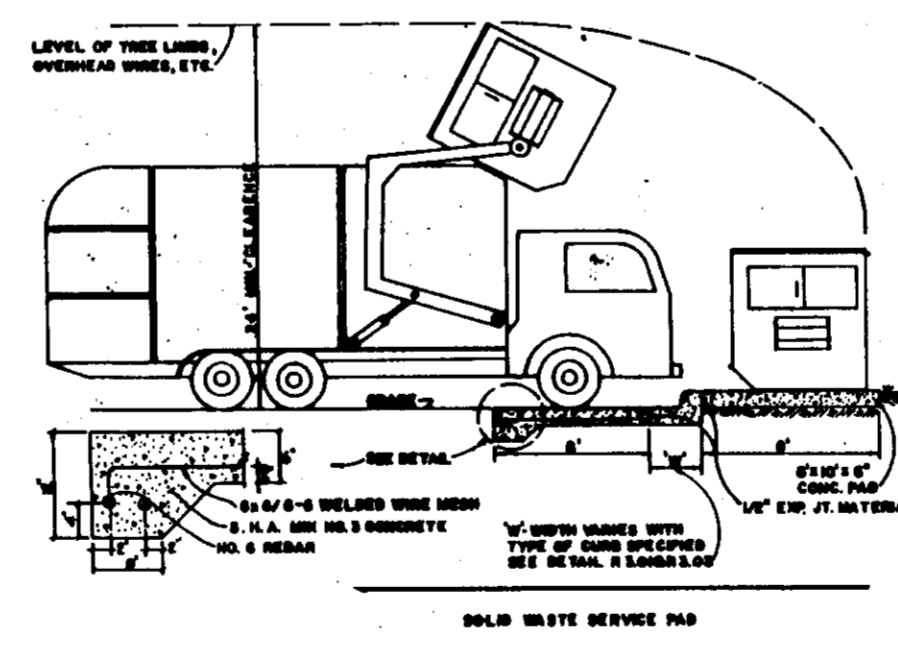
HANDICAPPED PARKING SPACE DETAIL
N.T.S.

98 FINE

SIGN TO UTILIZE AN ALUMINUM BLANK 6\"/>



HANDICAPPED PARKING SIGN SPECIFICATIONS



BUILDING ELEVATION
Not to Scale

- GENERAL NOTES**
- All work shall be performed in accordance with the Howard County Design Manual, Volume IV, Standard Specifications and Details for Construction, 1989 Amendments.
 - Approximate location of existing utilities are shown from best available information. The contractor shall take necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damaged incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
 - The contractor is required to notify the following utilities or agencies at least five days before starting work shown on these drawings.

Miss Utility	1-800-257-7777
C&P Telephone Co.	725-9976
Howard County Bureau of Utilities	313-2366
AT&T Cable Location Division	393-3553
Baltimore Gas & Electric Company	685-0123
State Highway Administration	531-5533
Howard County Construction Inspection Division (24 hours prior to commencement of work)	313 1800
 - All pipes elevations shown are invert elevations.
 - All plan dimensions are to face of curb unless otherwise noted.
 - The developer is responsible for the acquisition of any easements, rights and/or rights-of-way that may be required and the discharge of storm water onto or across adjacent or downstream properties included in this plan. He is also responsible for the acquisition of all easements, rights and/or work on adjacent properties included in this plan.
 - Existing Water & Sewer Contract No:
Water: M-1128-D
Sewer: B-694
 - See BA-94-33 E dated 7-18-95, SDF-82-77 & SDF-77-24
 - The main entrance will be used by handicapped persons

SITE ANALYSIS

1	Area of Parcel	10,000 AC
1a	Area of Limits of Submission (L.O.S.)	26,000 sf or 0.597 AC
2	Present Zoning	M-2
3	Proposed Structure	Gas Station & Convenience Store
4	Area of Building	1,716
5	Number of Employees	8
6	Number of Parking Spaces Required	5 (see station) 5 (see convenience store)
7	Number of Parking Spaces Provided	10 (see site plan)
8	Total Paved Area	300,000 sq. ft. (8.568 AC)
8a	Paved Area Within L.O.S.	18,000 sq. ft. (0.41 AC)
9	Open Space On Site	44,900 sq. ft. (1.03 AC)
9a	Open Space Within L.O.S.	6,400 sq. ft. (0.15 AC)
10	Building Coverage of Site	0.6 Acres
11	Area Disturbed	0.6 Acres

Existing 1,975 sq. ft. Store
Proposed 4,022 sq. ft. Canopy } 27,300
Total 5,997
32,907 sq. ft. = 7.55% of Site

* Proposed Gas Station to have no service bays.
** Convenience Store as ancillary use to Gas Station requires 8 spaces per 1,000 sq. ft.

ADDRESS CHART

LOT #	PARCEL	ADDRESS
1	7879	Pocomoke Ave.

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

DATE: 8/19/96

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD SOILS CONSERVATION DISTRICT.

DATE: 8/19/96

1100 PROFESSIONAL PLACE, LANDOVER, MARYLAND 20785
BEN DYER ASSOCIATES, INC.
ENGINEERS, SURVEYORS, PLANNERS
TELEPHONE: (301) 489-9200

DATE: February, 1996

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT.
DATE: 9/5/96

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 9/5/96

APPROVED: HOWARD COUNTY SOIL CONSERVATION DISTRICT
DATE: 8/27/96

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

DATE: 8/27/96

NO	REVISION	BY	DATE
1	Per comments from County Review	JB	8/15/96
2	Revise Handicap Ramp	LF	10/2/96

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DATE: 8/19/96

ADDRESS CHART

LOT #	PARCEL	ADDRESS
1	7879	Pocomoke Ave.

DEVELOPER'S CERTIFICATE

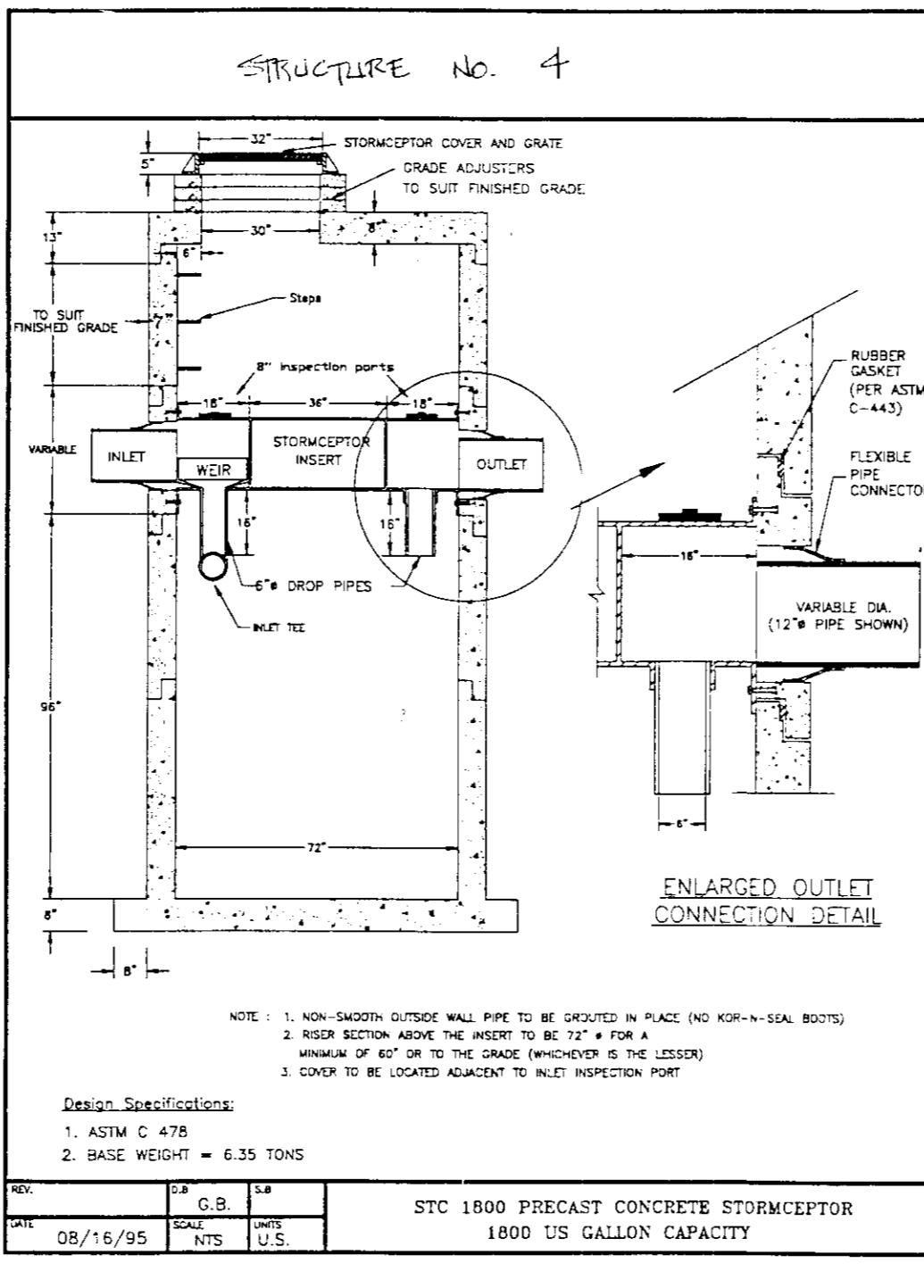
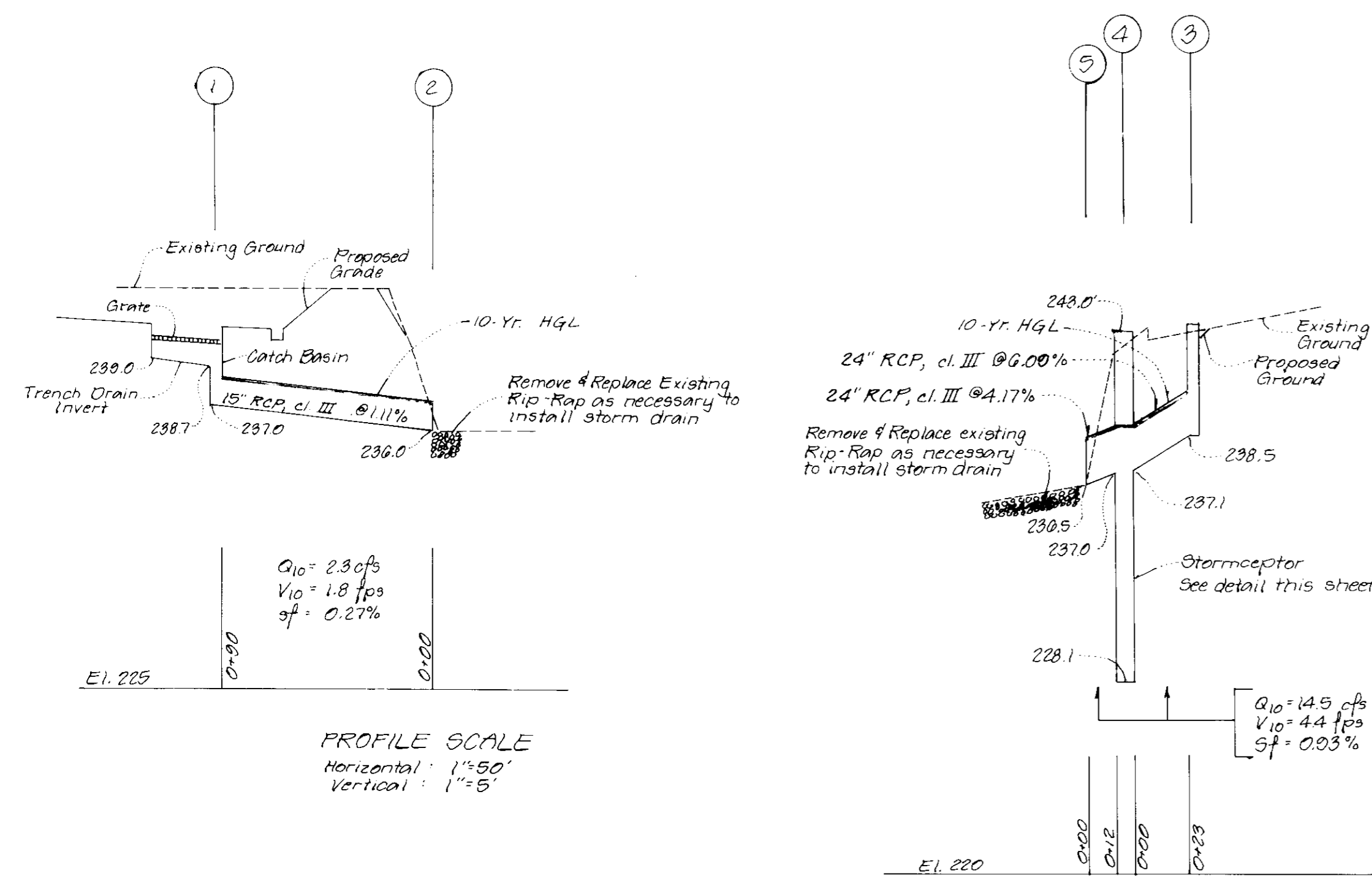
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DATE: 8-19-96



STORMCEPTOR MODEL AND CAPACITY

MODEL	MAX. TREATED FLOW RATE (GPM)	SEDIMENT CAPACITY (CU YD)	INLET CAPACITY (IN)	OUTLET CAPACITY (IN)
STC 1000	285	70	280	1870
STC 1500	285	110	280	1200
STC 1800	285	135	280	1400
STC 2400	475	210	580	2400
STC 3600	475	360	580	3700
STC 4800	800	515	675	5000
STC 6000	800	675	675	5700
STC 7200	1110	800	680	7510

PIPE DIAMETER (IN)	PIPE MATERIAL	INSET DIMENSIONS (IN)	H (IN)	L (IN)
10	PVC	22	36	8
12	PVC / PE 80	22	36	7
12	CONCRETE	22	42	11
15	PVC / PE 80	22	42	9.2
15	CONCRETE	22	48	11.5
18	PVC / PE 80	22	48	10
18	CONCRETE	22	48	11
21	PVC / PE 80	32	48	8.5
21	CONCRETE	32	54	11.5
24	PVC	32	48	8
24	ALLOY	32	54	10
24	CONCRETE	32	54	11
27	PVC	32	54	8.5
27	CONCRETE	44	60	11.5
33	CONCRETE	44	60	12.5
36	CONCRETE	44	60	13

Stormceptor Separator Specifications (Concrete)

Concrete Stormceptor® Order Request Form

Contractor Information
 Name: See above
 Address: _____
 City: _____
 State: _____
 Zip Code: _____
 Phone: _____
 Fax: _____

Owner Information
 Name: _____
 Phone: _____
 Fax: _____

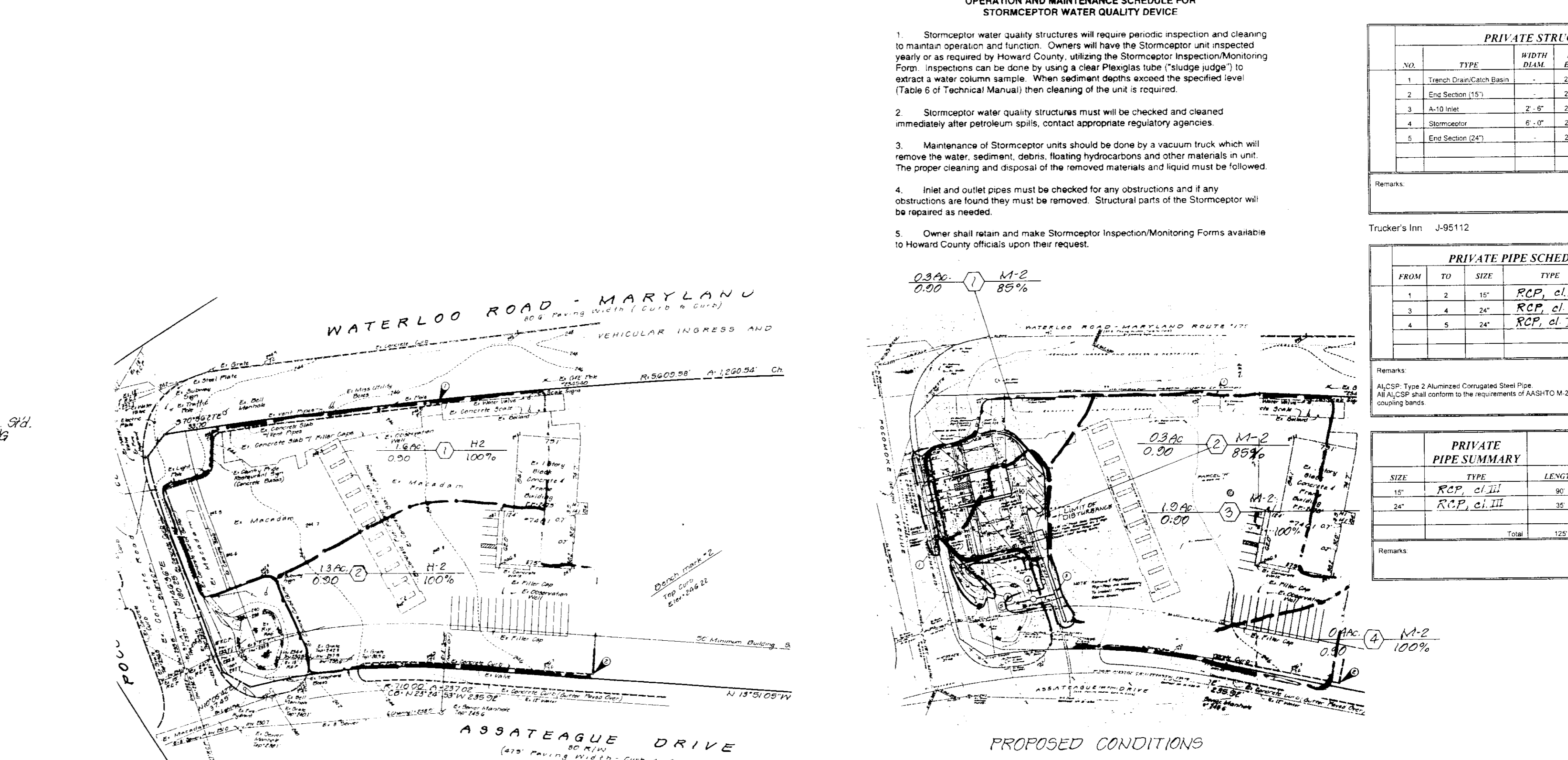
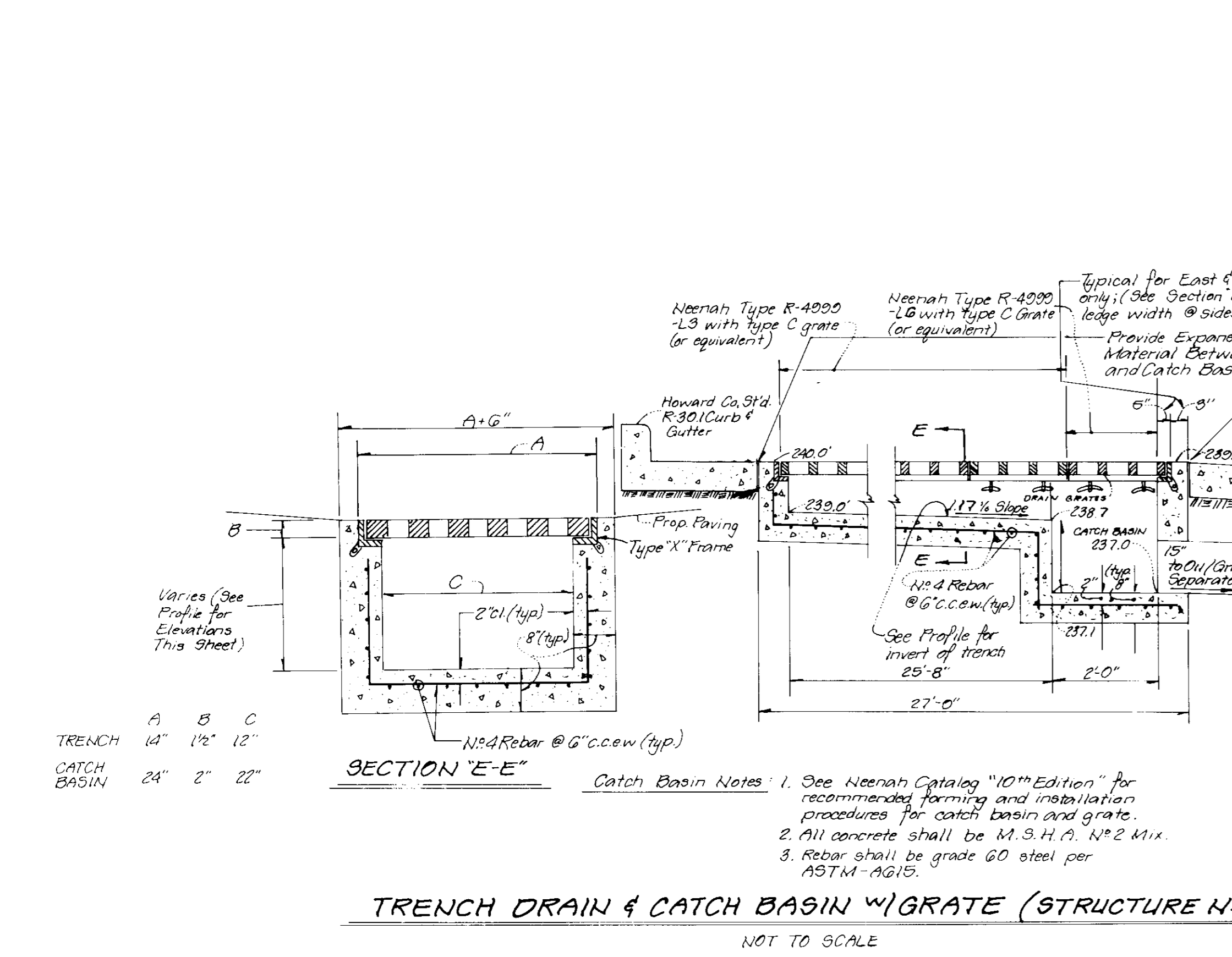
Stormceptor Model
 900 1600
 1200 4800
 1800 6000
 2400 7200

Insert Size
 22"
 32"
 44"
 Custom

Manhole Number
 Top Elevation (ft): _____
 Inlet Pipe Invert (ft): _____
 Outlet Pipe Invert (ft): _____
 Pipe Type: RCP
 Pipe Inside Diameter (in) [ID]: _____
 Pipe Outside Diameter (in) [OD]: _____

Project Name: Greater Baltimore Consolidated Wholesale Food Market
Approximate time frame until required delivery (weeks): _____
Delivery Address: Street: South Corner of MD ST 175 & Pico Lake Ave
 City: Howard Co. State: MD Zip Code: 20774
Designer Company: See Above
Designer Contact: Duke Novey Phone: 301-291-4222 Fax: 301-291-1251

Please fax this sheet back to Hydro Conduit/Virginia Precast at (804) 798-3426
 Attn: Dave Brinser / Ed O'Malley (Phone: 1-800-999-2278)
 For credit information/applications contact Credo Broads at (804) 798-0058
 For Technical Assistance Please Call Stormceptor Corporation at (801) 762-8361 or toll free at 1 (800) 762-4703



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: _____ DATE: 9/5/96

APPROVED DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: _____ DATE: 9/2/96
 Chief, Division of Land Development and Research: _____ DATE: 9/6/96
 Director: _____ DATE: 9/6/96

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 J. H. Wayfield, SOIL CONSERVATION SERVICE, DATE: 8/27/96
 THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John B. Robertson, HOWARD COUNTY SOIL CONSERVATION DISTRICT, DATE: 8/27/96

NO	REVISION	BY	DATE
1	Per comments from County Review	MM	4/5/96

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: _____ DATE: 8-17-96

DESIGNED BY: STORM DRAIN & S.W.M. DETAILS Proposed Gas Station
 BLOCK 'C' Parcel 'H'
 DRAWN BY: GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET (TRUCKERS' INN)
 CHECKED BY: 6th Election District Howard County, Maryland

OWNER: D.L.D. Associates Limited Partnership, Jessup, Md 20794
 APPLICANT: B.G.K. Truckers' Inn, Inc., Jessup, Md 20794

SCALE: As Noted
 SHEET: 2 of 4
 DATE: Feb. 7, 1996

PRIVATE STRUCTURE SCHEDULE

NO.	TYPE	WIDTH (DIAM.)	INVERT ELEV.	TOP ELEV. UPPER LOWER	STANDARD DETAIL
1	Trench Drain/Catch Basin		237.0	243.0 236.8	See Detail This Sheet
2	End Section (15')		236.5		See Detail This Sheet
3	Stormceptor	2'-0"	236.5	243.3	See Detail This Sheet
4	Stormceptor	6'-0"	228.1	243.0	See Detail This Sheet
5	End Section (24')		236.5		See Detail This Sheet

PRIVATE PIPE SCHEDULE

FROM	TO	SIZE	TYPE	LENGTH
1	2	15"	RCP, cl. III	90
3	4	24"	RCP, cl. III	23
4	5	24"	RCP, cl. III	12

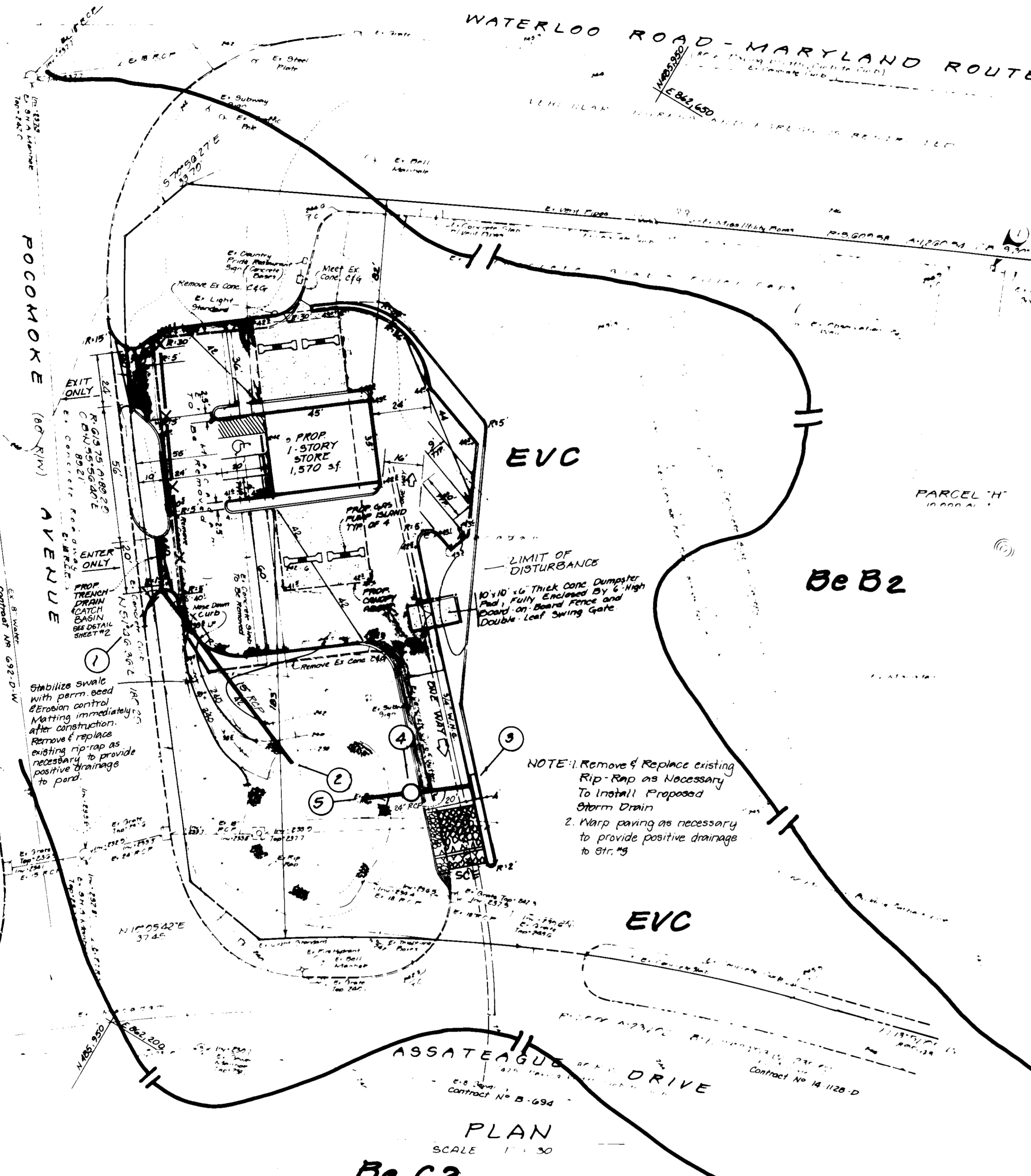
PRIVATE PIPE SUMMARY

SIZE	TYPE	LENGTH
15"	RCP, cl. III	90
24"	RCP, cl. III	35
Total		125

BENDER ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 TELEPHONE (301) 459-9200
 As Noted
 February, 1996

SEQUENCE OF CONSTRUCTION

1. Obtain grading permit. 3 Days
 2. Notify Howard County, Inspection and Permits at 792-7272, a minimum of 24-hours prior to the start of any work. 1 Day
 3. Install stabilized construction entrance. 1 Day
 4. Cut existing paving and install silt fence adjacent to the existing curb along the northern portion of the property. Excavate and install storm drain system between and including Str. 3 and 5. Construct the southern curb and gutter to direct runoff from existing fill station to Str. 3. Stabilize disturbed areas in existing pond with permanent sod and mulch. 6 Days
 5. Remove existing paving south of the silt fence. Begin construction of building, curb and gutter. 10 Days
 6. Install tanks, pumps, and utilities. Construct remaining storm drain and complete curb and gutter construction south of the silt fence. 10 Days
 7. Remove silt fence and complete curb and gutter construction. Install base paving and stabilize green areas with permanent seed and mulch. 10 Days
 8. Complete building construction and install final paving. Stabilize any remaining disturbed areas with permanent seed and mulch. 20 Days
 9. With the approval of the Sediment Control Inspectors, remove all Sediment and erosion control measures once all the areas draining to them are permanently stabilized. 7 Days
- TOTAL ESTIMATED TIME OF CONSTRUCTION: 10 Weeks



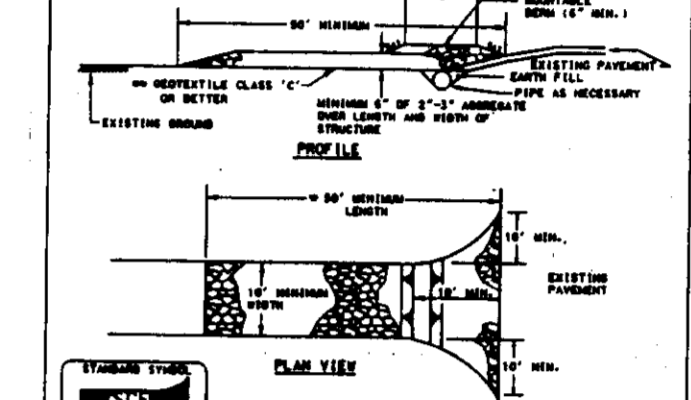
SEDIMENT & EROSION CONTROL LEGEND

- x- Silt Fence
- | Soil Lines
- - - Limit of Disturbance
- - - Existing Contours
- - - Proposed Contours
- *82.8 Spot Elevations

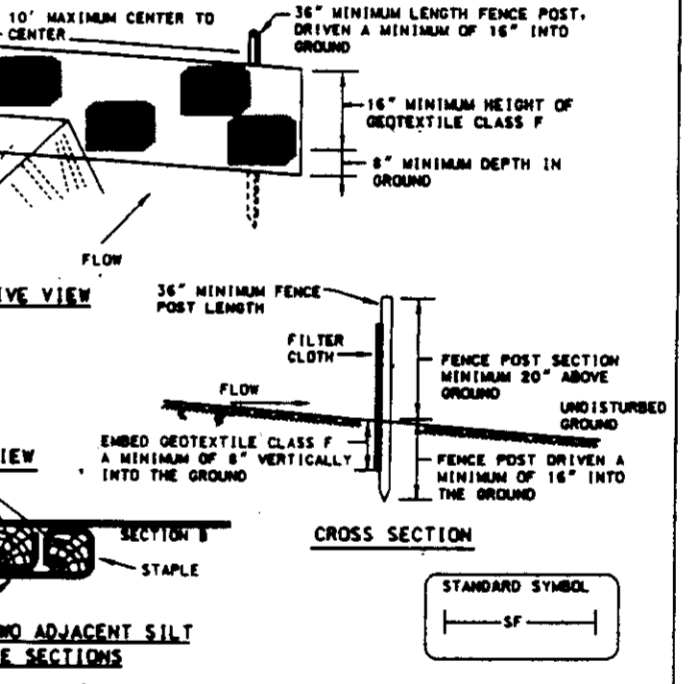
HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, License and Permits, Sediment Control Division prior to the start of any construction (313-1855).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes steeper than 3:1, b) 14 days for all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, and temporary seeding and mulching (Sec. C). Temporary stabilization with mulch alone shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
 - Total Area of Site = 10.2 Acres
 - Area Disturbed = 0.6 Acres
 - Area to be seeded or paved = 0.5 Acres
 - Area to be vegetatively stabilized = 0.1 Acres
 - Total Cut = 500 Cu. Yds.
 - Total Fill = 500 Cu. Yds.
 - Office waste/borrow area location: N/A
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be replaced on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



DETAIL 22 - SILT FENCE



PERMANENT AND TEMPORARY SEEDING, MULCHING AND MULCHING

SEEDING: Seeding shall be established within seven (7) days on the surface of all sediment control structures and disturbed areas. Seeding shall be established within seven (7) days on the surface of all sediment control structures and disturbed areas. Seeding shall be established within seven (7) days on the surface of all sediment control structures and disturbed areas.

Table with columns: Material, Quantity, Unit, Price, Total. Includes items like 'Silt Fence', 'Soil Lines', 'Limit of Disturbance', etc.

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APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT. *James M. Borsari* 9/5/96

APPROVED DEPARTMENT OF PLANNING AND ZONING. *John H. Washell* 8/27/96

APPROVED DEPARTMENT OF LAND DEVELOPMENT AND RESEARCH. *John P. Robertson* 8/27/96

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

NO	REVISION	BY	DATE
1	Revise Handicap Ramp	LF	12-23-96

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOILS CONSERVATION DISTRICT.

Mike Sedberry 8/13/96

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John H. Washell 8/19/96

HOWARD COUNTY SOIL MAP #30

APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNED BY: SEDIMENT CONTROL & DETAIL

DRAWN BY: JB

CHECKED BY: JB

OWNER: D.L.D. Associates Limited Partnership

APPLICANT: B.G.K. Truckers Inn, Inc.