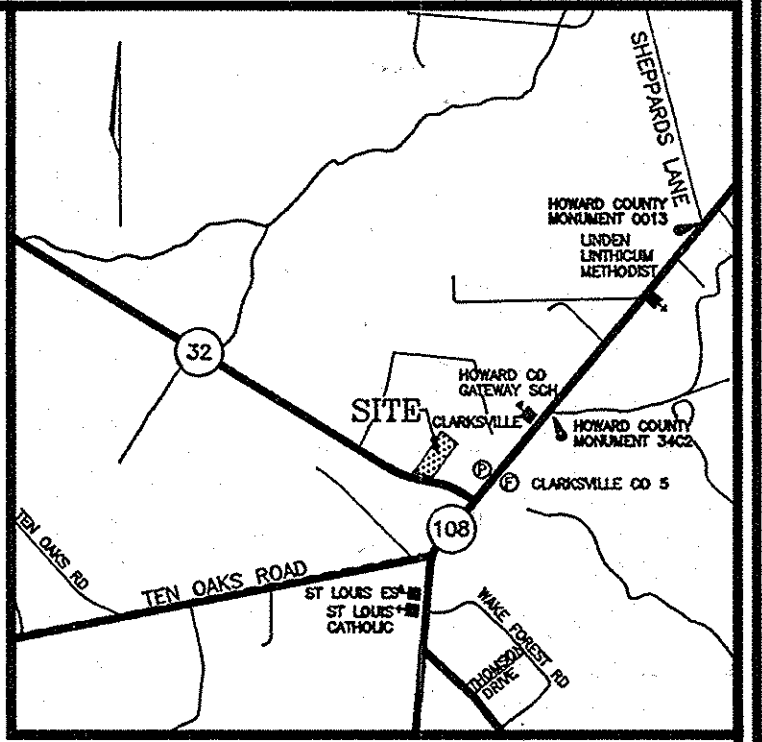


WARSAW AUTOMOBILE DEALERSHIP

SITE DEVELOPMENT PLAN



VICINITY MAP
SCALE: 1"=2000'

PROPOSED NEW 2-STORY ADDITION FIRST FLOOR 7 SERVICE SPACES ON EXISTING PAVEMENT = 4,620 SF
SECOND FLOOR PARTS & STORAGE = 4,620 SF

REMOVE/WITHDRAW PREVIOUSLY APPROVED SECOND FLOOR EXPANSION OVER EXISTING BUILDING/PAVEMENT (X) SEE ITEM NO. 5 UNDER REVISION NOTES.

PROPOSED SECOND FLOOR EXPANSION OVER EXISTING PAVING MAINTENANCE SERVICE DRIVE THRU ACCESS WILL REMAIN. TOTAL SECOND FLOOR AREA = 1,066 S.F.

PROPOSED SECOND FLOOR BUILDING EXPANSION OVER EXISTING SERVICE DRIVE THRU BUILDING. TOTAL SECOND FLOOR AREA = 1,366 S.F.

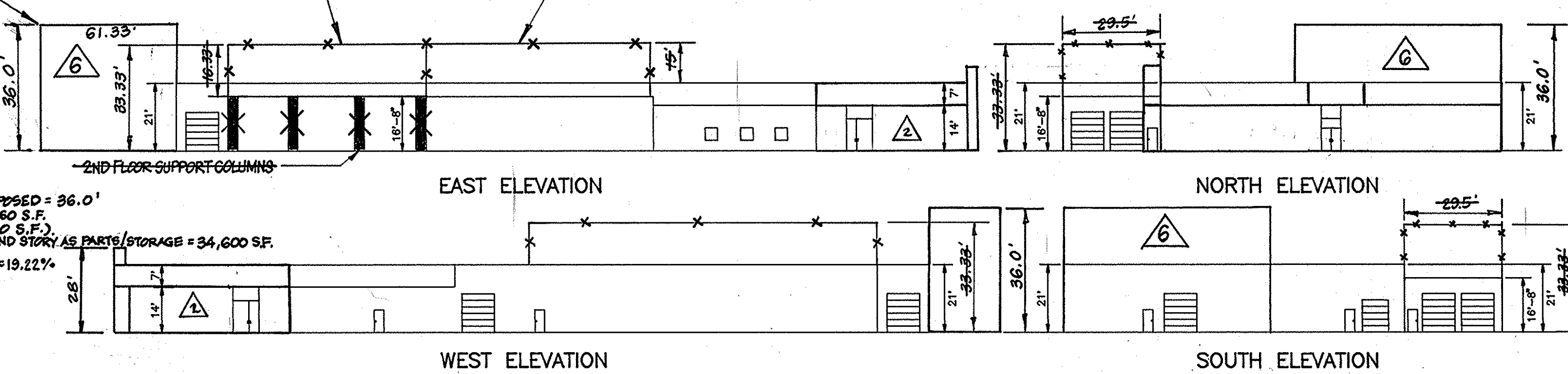
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - MISS UTILITY: 1-800-257-7777
 - C & P TELEPHONE COMPANY: 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
 - AT&T CABLE LOCATION DIVISION: 393-3553
 - B.G.&E. CO. CONTRACTOR SERVICES: 850-4820
 - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4820
 - STATE HIGHWAY ADMINISTRATION: 531-5533

4. SITE ANALYSIS:
PRESENT ZONING: B-2, MAXIMUM BUILDING HEIGHT PERMITTED = 40', MAX. BLDG. HT. PROPOSED = 36.0'
USE OF STRUCTURE: AUTO RETAIL SALES AND SERVICE. TOTAL EX. BUILDING AREA = 28,360 S.F.
(INCL. 21 EX. SERVICE BAYS = 12,320 S.F.)
TOTAL PROPOSED BUILDING AREA WITH NEW EXPANSION OVER 1ST FLOOR SERVICE SPACES WITH 2ND STORY AS PARTS/STORAGE = 34,600 S.F.
MAXIMUM NUMBER OF EMPLOYEES: 40 EMPLOYEES
BUILDING COVERAGE ON SITE: TOTAL PROPOSED BLDG. COVERAGE = 29,989 SF OR 0.668 AC. = 19.22%
PAVED PARKING LOT AREA ON SITE: 2.39 ACRES OR 66,769 SF OR 0.668 AC. = 19.22%
AREA OF LANDSCAPE ISLANDS: 1,076 S.F. OR 0.024 AC AN ACRE.

5. PROJECT BACKGROUND:
LOCATION: CLARKSVILLE, MARYLAND TAX MAP: 34 PARCELS: 256, 365 AND 185
ZONING: B-2
SECTION/AREA: N/A
SITE AREA: 3.58 AC
DPZ REFERENCES: SP-93-14 APPROVED 9/20/93
F-94-38(11179) APPROVED 1/13/94, F-95-75(11584) APPROVED (1/23/95)
WP-93-90 APPROVED 7/16/93

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 513-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11-4 VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL.
- STORMWATER MANAGEMENT PROVIDED UNDER F-94-38.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS 0013 AND 34C2 (NAD 83)
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- EXISTING TOPOGRAPHY IS FROM HOLWECK SUBDIVISION ROAD CONSTRUCTION PLANS, PROPOSED GRADING F 94-38.
- SEWER FOR THIS PROJECT IS PRIVATE.
- ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD P-2 UNLESS OTHERWISE NOTED (SEE P-2 AND P-3 DETAILS SHEET 7)
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE OR BITUMINOUS (SEE DETAIL SHEET 8), LIMITS AS SHOWN ON PLAN.
- PROPOSED ELEVATIONS SHOWN HEREIN TO BE STRICTLY ENFORCED DURING GRADING AND SITE DEVELOPMENT. DISTURBANCE TO GROUND BELOW PROPOSED ELEVATIONS WILL RESULT IN LOSS OF PRIVATE SEWAGE EASEMENT.
- A WATER METER SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION ON THE INCOMING WATER LINE TO THE BUILDING.
- APPROVAL OF COMMERCIAL SITE DEVELOPMENT PLAN SUBJECT TO COMPLIANCE TO INDUSTRIAL DISCHARGE PERMIT REQUIREMENTS AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- THE LOTS HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ALL MATERIALS COLLECTED BY INTERNAL OIL/GRIET SEPARATOR TO BE DISPOSED OF OFFSITE.
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT PLAT SHALL NOT BE NECESSARY.
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- CONTRACTOR TO OBTAIN SEPTIC PERMIT FROM THE HEALTH DEPARTMENT PRIOR TO CONSTRUCTION OF SEPTIC SYSTEM.



BUILDING ELEVATIONS

SHEET INDEX

SHT. NO.	DESCRIPTION
1	COVER SHEET
2	SITE LAYOUT
3	GRADING, SEDIMENT & EROSION CONTROL
4	STORM DRAIN PROFILES & STRUCTURE SCHEDULE
5	DRAINAGE AREA & SOILS MAP
6	LANDSCAPE PLAN
7	SEPTIC PROFILES, DETAILS & NOTES
8	DETAILS AND NOTES

"PURPOSE STATEMENT" ~ APRIL 07, 2016
The purpose of this revised Site Development Plan is to Remove/Withdraw previous red-line approvals for the auto body expansion under revision #3 and the 2nd story expansion under revision #5, and to add a new 2 story expansion of 9,240 S.F. with the 1st floor having 7 auto service spaces on existing pavement (4,620 S.F.) and 2nd floor for parts and storage (4,620 S.F.). The Limits of Disturbance for this Red-Line Revision is 4,989 S.F., which includes saw-cutting existing paving to install building footers and foundation.

LIMITS OF DISTURBANCE FOR RED-LINE REVISION #6
TOTAL GROUND DISTURBANCE = 4,989 S.F.
NOTE: SWM SHALL BE REQUIRED WHEN THE SUM OF ALL DISTURBANCES EXCEEDS 5,000 S.F.

ADDRESS CHART	
PARCEL	STREET ADDRESS
"D-1"	12430 AUTO DRIVE

PARKING TABULATION		REQUIRED	PROPOSED
SALES/OFFICE: 17,660 SQ.FT.	2 SPACES/1,000 SQ.FT. =	36 SPACES	49 SPACES
7 SERVICE SPACES/BAYS: 8 SPACES/SPACE/BAY		84 SPACES	81 SPACES
4212 SQ.FT. OUTDOOR DISPLAY: 1 SPACE/1000 SQ.FT.		5 SPACES	5 SPACES
TOTAL SPACES =		125 SPACES	135 SPACES INCLUDING 5 HC SPACES

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

Signature: *[Signature]*
12243
License No. *[Signature]* EXP. DATE

"PURPOSE STATEMENT" ~ APRIL 2015
The purpose of this revised Site Development Plan is to provide a second-story building expansion over the existing service drive thru building area which will also extend over the south access area of the existing service drive thru. The proposed building expansion will be used for the purpose of parts and storage within the building.

OWNER/DEVELOPER
CHRISMAN CHRYSLER LEASE POORGE
15301 FREDERICK STREET
ROCKVILLE, MD 20855
301-424-0227
MR. DENNIS RIPPON

NO.	REVISION	DATE
1	REVISED TO REMOVE/WITHDRAW RED-LINE REVISIONS UNDER 3 & 5 BELOW AND ADD NEW 2 STORY ADDITION TO SOUTH END OF EXISTING BUILDING. SEE PURPOSE STATEMENT. 04-07-2016	04/07/16
2	REVISED: ADDED SECOND STORY PARTS + STORAGE ADDITION OVER EXISTING SERVICE DRIVE THRU AND EXISTING PAVING	04/15/16
3	DELETE PREVIOUSLY PROPOSED SHOWROOM EXPANSION/RELOCATE HANDICAP RAMPS; ADD VESTIBULE; REVISE PARKING; MODIFY ISLANDS	04/15/16
4	REVISED TO ADD A BODY SHOP ADDITION TO EX. BUILDING	04-15-08
5	REVISED PARKING SCHEDULE & ELEVATIONS FOR SHOWROOM ADD.	6-1-05

WARSAW AUTOMOBILE DEALERSHIP
SITE DEVELOPMENT PLAN
COVER SHEET
TAX MAP #34 REFERENCE F 94-38(11179), F 95-75(11584)
PARCEL "D-1" 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS & VOGEL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
3691 PARK AVENUE, SUITE 101 ELLICOTT CITY, MARYLAND 21043
TELEPHONE: (410) 461-5828 FAX: (410) 465-9966

ENGINEERS CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 11/16/95
SIGNATURE OF ENGINEER DATE
ROBERT H. VOGEL

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDING TO THIS PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 1-15-96
SIGNATURE OF DEVELOPER DATE
WARSAW

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

[Signature] 1/24/96
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 1/24/96
HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/16/96
DIRECTOR (A/C/Z) DATE

[Signature] 2/16/96
CHIEF, LAND DEVELOPMENT AND RESEARCH DATE

[Signature] 1/24/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 2/2/96
COUNTY HEALTH OFFICER DATE

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
HOLWECK SUBDIVISION	N/A	D-1			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
11584	6	B-2	34	5	6051.01
WATER CODE	J 07	SEWER CODE	PRIVATE		

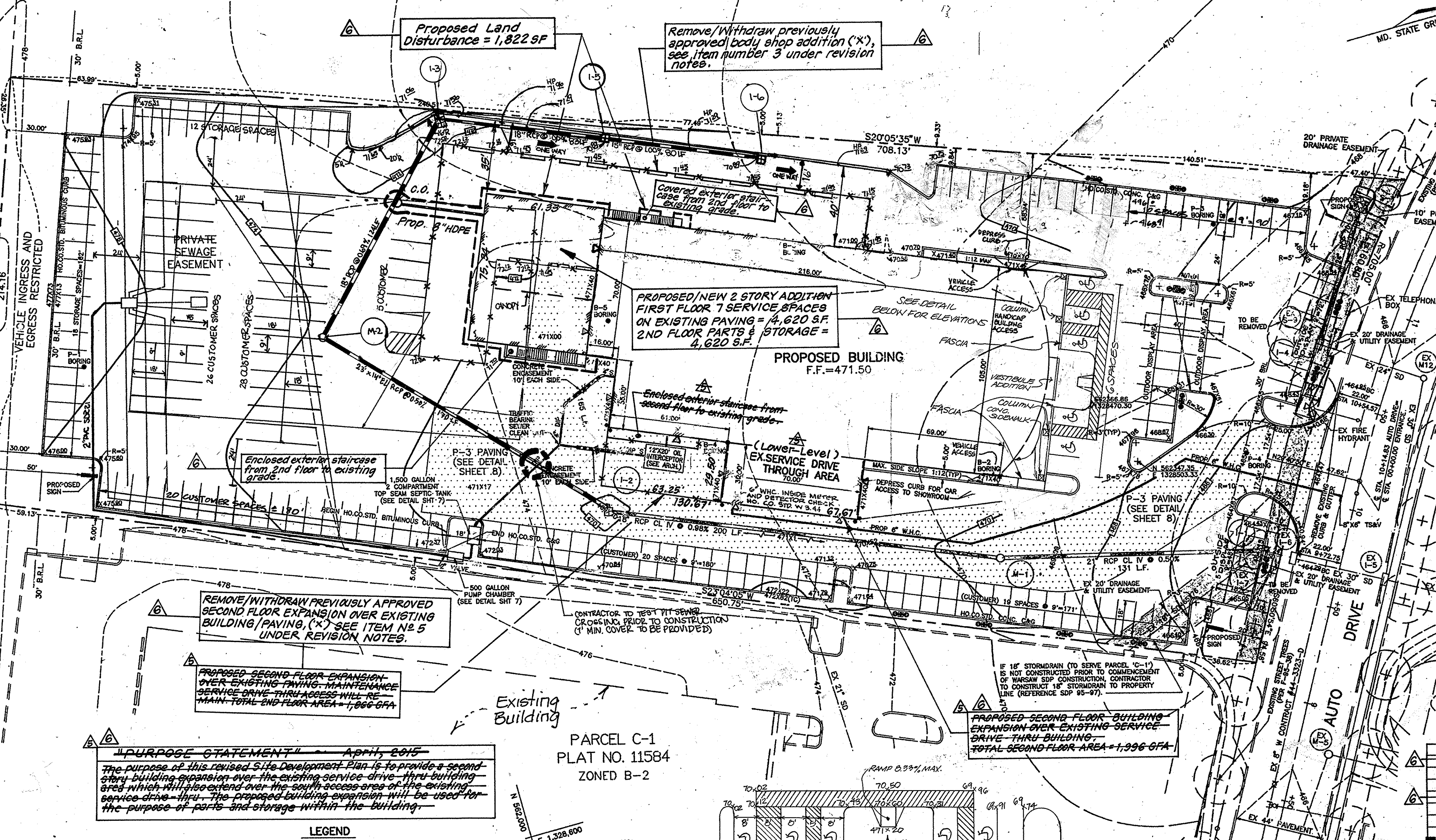
DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: NOVEMBER, 1995
SCALE: 1"=30'
W.O. NO.: 95-60

[Signature]
REGISTERED PROFESSIONAL ENGINEER

[Signature]
REGISTERED PROFESSIONAL ENGINEER

PARCEL E-1
PLAT NO. 11584
ZONED B-2 (VACANT)

MARYLAND ROUTE 32
S.R.C. PLATS 52398 & 52399



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

Signature: *[Signature]*
12/24/96
License No. 11176

JOYCE ENGINEERING CORPORATION
Two Chimneys Office Park
10705 Baltimore Avenue
Beltsville, Maryland 20705
(301) 596-4383

REVISED TO REMOVE/WITHDRAW RED-LINE REVISIONS UNDER 3 AND 5 BELOW, AND ADD NEW 2-STORY ADDITION TO SOUTH END OF EX. BLDG. 04-07-2016

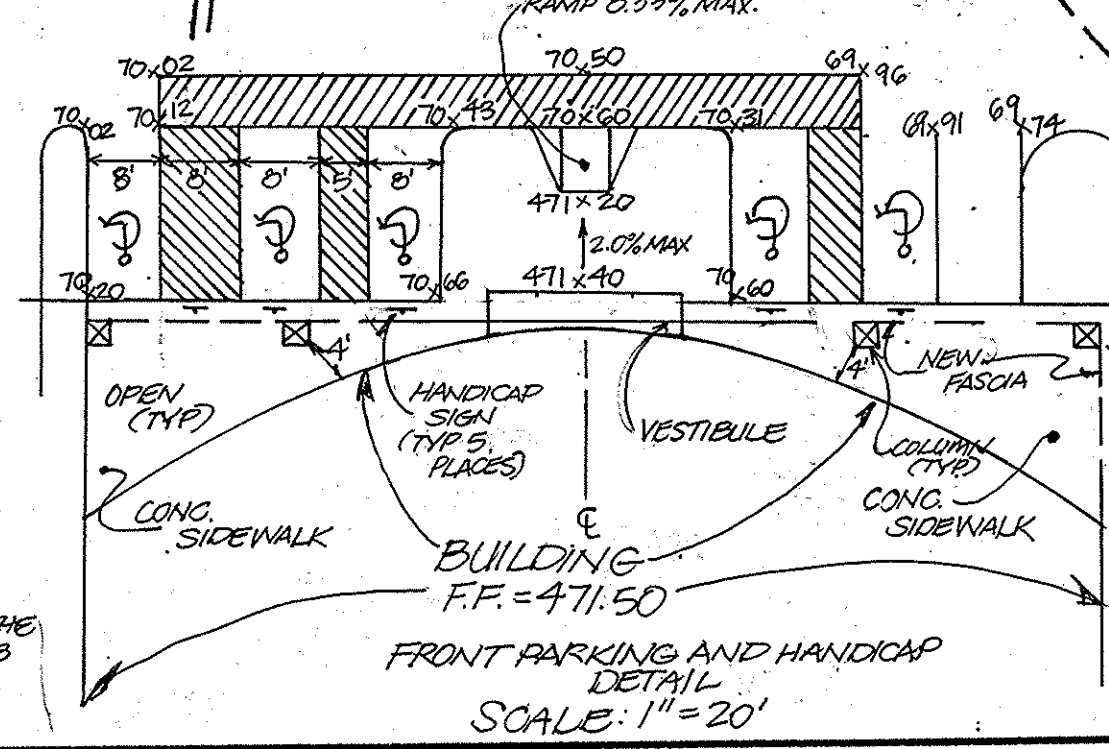
OWNER - DEVELOPER
NICHOLAS CHESTER JORD DODGE
15301 FREDERICK STREET
ROCKVILLE, MD 20855
301-761-4020 DAVE MCFADDEN, V.P.

PURPOSE STATEMENT - APRIL, 2015
The purpose of this revised Site Development Plan is to provide a second-story building expansion over the existing service drive thru building area which will provide over the south access area of the existing service drive thru the proposed building expansion will be used for the purpose of parts and storage within the building.

- LEGEND**
- 484 --- EXISTING CONTOUR
 - 484 --- PROPOSED CONTOUR
 - PROPOSED LIGHTING FIXTURE SEE ARCHITECTURAL PLANS FOR DETAILS
 - P-3 PAVING (SEE SHEET B FOR DETAIL)
 - PROPOSED BOLLARD (SEE DETAIL SHEET B)
 - ▲ WALL MOUNTED 400WATT METAL HALIDE LIGHT
 - ▨ PRIVATE SEWAGE EASEMENT
 - ▨ PROPOSED WATER HOUSE CONNECTION
 - ▨ PROPOSED STORM DRAIN
 - ▨ PROPOSED PRIVATE SEWER LINE
 - ▨ PARKING LOT STRIPING



PROFESSIONAL ENGINEER
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11176 EXPIRATION DATE 04-27-2012
FOR REVISION #41 MARCH 23, 2011



PURPOSE STATEMENT - APRIL 07, 2016
The purpose of this revised site development plan is to remove/withdraw previously red-line approvals for the 2nd story expansion under revision N# 3 and the 2nd story expansion under revision N# 5, and to add a new 2-story expansion of 9,240 S.F. with the first floor having 7 automotive service spaces on existing paving (4,620 S.F.) and 2nd floor for parts and storage (4,620 S.F.). The limits of disturbance associated with this red-line revision is 4,989 S.F., which includes saw cutting existing paving to install building footers and foundation.

WARSAW AUTOMOBILE DEALERSHIP
SITE DEVELOPMENT PLAN LAYOUT

TAX MAP #34 REFERENCE F 94-38(11179), F 95-75(11584)
PARCEL "D-1" 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS & VOGEL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS

3691 PARK AVENUE, SUITE 101 TELSCOTT CITY, MARYLAND 21043 TELEPHONE: (410) 461-5228 FAX: (410) 465-8968

ENGINEERS CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 1/15/96
SIGNATURE OF ENGINEER DATE
ROBERT H. VOGEL

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 1-15-96
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

[Signature] 1/24/96
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 1/24/96
HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/16/96
DIRECTOR DATE

[Signature] 2/16/96
RESEARCH DATE

[Signature] 1/25/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

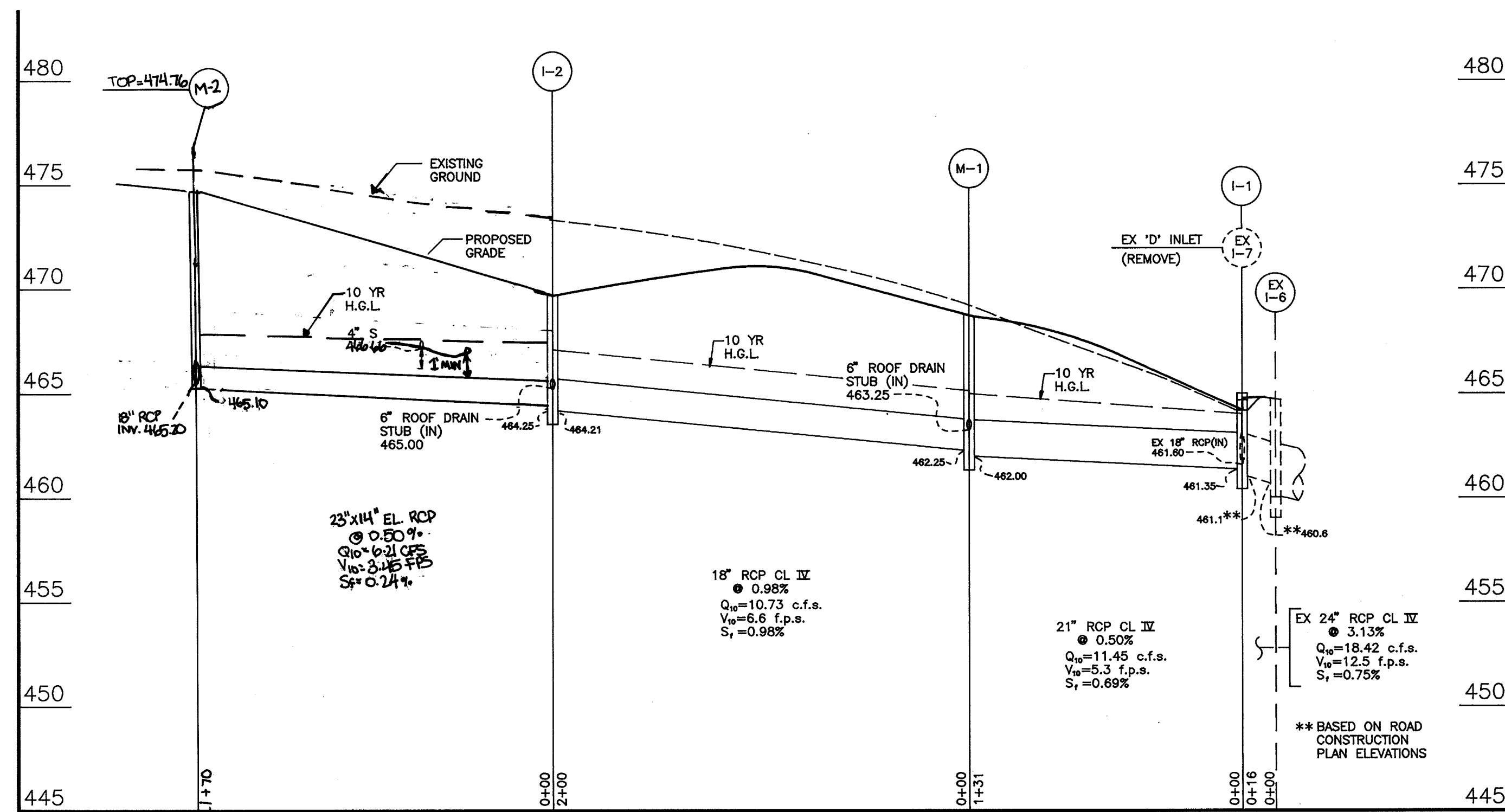
APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 2/7/96
COUNTY HEALTH OFFICER DATE

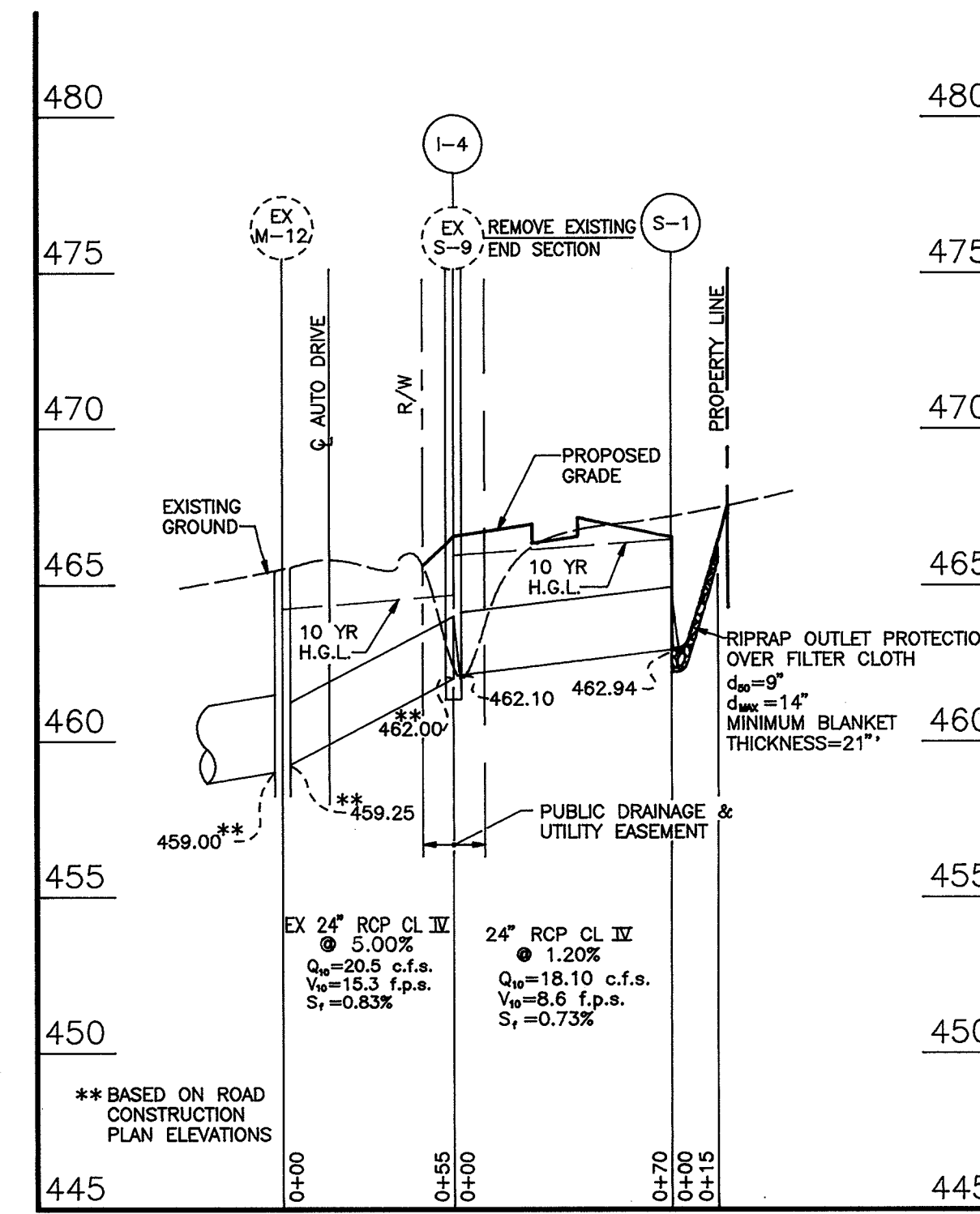
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLMECK SUBDIVISION	N/A	D-1
PLAT NO.	BLOCK NO.	ZONE
11584	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5	6051.01
WATER CODE	J 07	SEWER CODE PRIVATE

DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: NOVEMBER, 1995
SCALE: 1"=30'
W.O. NO.: 95-60

2 SHEET OF 8

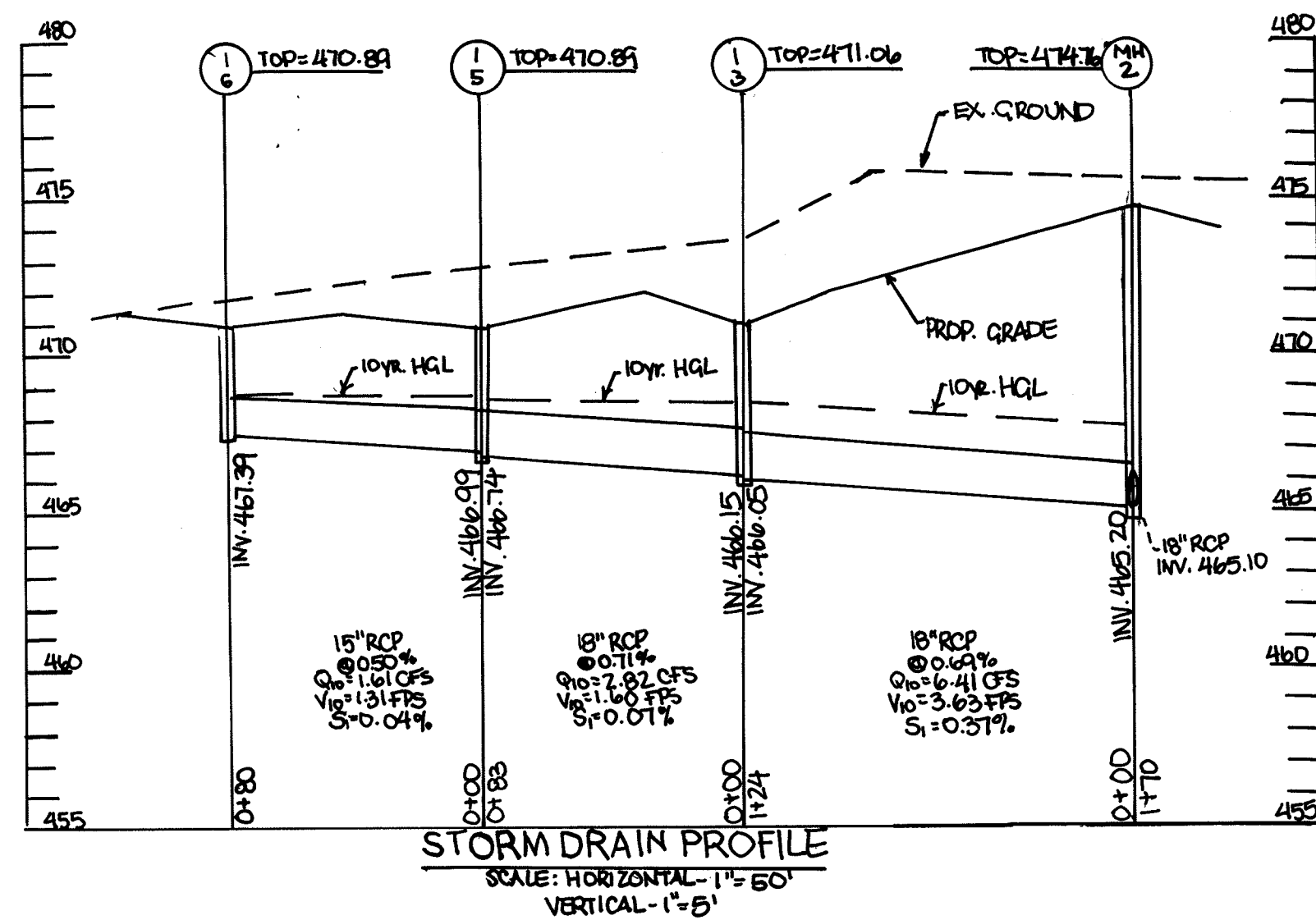


STORM DRAIN PROFILE
SCALE: VERT. 1"=5', HORIZ. 1"=50'

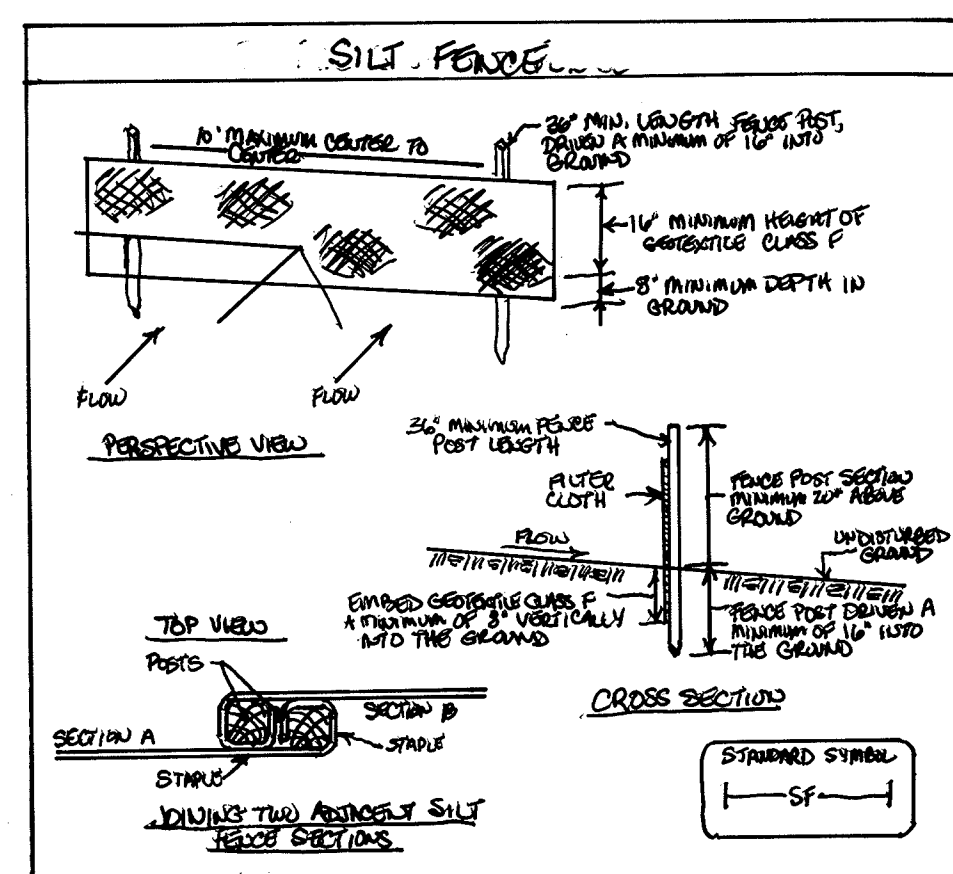


STORM DRAIN PROFILE
SCALE: VERT. 1"=5', HORIZ. 1"=50'

- ### SEQUENCE OF CONSTRUCTION
- OBTAIN GRADING PERMIT.
 - NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE. 1 DAY
 - INSTALL PERIMETER SEDIMENT CONTROL MEASURES, 2 DAYS
 - CONSTRUCT STORM DRAINAGE SYSTEM AND INSTALL INLET PROTECTION AND INLET SEDIMENT TRAPS (#1) 1 WEEK
 - PERFORM FINAL SITE GRADING. 2 DAYS
 - BEGIN BUILDING CONSTRUCTION 8 WEEKS
 - INSTALL PRIVATE SEWAGE DISPOSAL SYSTEM. CONTACT HEALTH DEPARTMENT FOR INSPECTION PRIOR TO COVERING TRENCHES. 2 DAYS
 - CONSTRUCT WATER HOUSE CONNECTION 1 WEEK
 - CONSTRUCT PARKING LOTS AND DRIVES. REMOVE SEDIMENT TRAPS PRIOR TO PAVING WITH APPROVAL OF SEDIMENT INSPECTOR. 2 WEEKS
 - INSTALL LANDSCAPING. 1 DAY
 - DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.
 - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.
 - UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES.



STORM DRAIN PROFILE
SCALE: HORIZONTAL 1"=50' VERTICAL 1"=5'



STRUCTURE SCHEDULE

NO.	TYPE	TOP ELEVATION	ROADWAY SLOPE	CROSS SLOPE	LOCATION	INV. IN	INV. OUT	REMARKS
I-1	PRECAST STD TYPE A-S INLET	464.75	SUMP	SEE GRADING PLAN	N 562,395.2 E 1,328,563.2	461.35	461.10	HOWARD COUNTY STD. DTL SD 4.40
I-2	DOUBLE S INLET	469.70	SUMP	SEE GRADING PLAN	N 562,082.8 E 1,328,453.6	464.25	464.21	HOWARD COUNTY STD. DTL SD 4.23
I-4	PRECAST STD TYPE A-S INLET	466.55	SUMP	SEE GRADING PLAN	N 562,450.7 E 1,328,470.6	462.10	462.00	HOWARD COUNTY STD. DTL G 4.40
M-1	PRECAST STD MANHOLE	469.50	-	SEE GRADING PLAN	N 562,267.62 E 1,328,530.5	462.25	462.00	HOWARD COUNTY STD. DTL G 5.12
S-1	STANDARD END SECTION	N/A	-	-	N 562,489.1 E 1,328,413.0	462.94	-	HOWARD COUNTY STD. DTL SD 5.52

+ TOP OF GRATE.

NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
I-3	DOUBLE TYPE 'S' COMB. INLET (NORMAL)	N 562,095 E 1,328,241	471.00	466.15	466.05	HO.CO. STD SD-4.23
I-5	TYPE 'S' COMB. INLET	N 562,132 E 1,328,272	470.88	466.69	466.74	HO.CO. STD SD-4.23
I-6	TYPE 'S' COMB. INLET	N 562,226 E 1,328,302	470.89	467.39	467.39	HO.CO. STD SD-4.23
MH-2	STANDARD 4' MANHOLE	N 562,168 E 1,328,170	474.76	466.20	466.10	HO.CO. STD G5.12

OWNER/DEVELOPER
JASS L.L.C.
2111 ROSE THEATRE CIRCLE
OLNEY, MARYLAND 20832
TELEPHONE: (410) 747-3535

NO.	REVISION	DATE
3	REVISED TO ADD A BODY SHOP ADDITION TO EX. BUILDING	12-15-06

WARSAW AUTOMOBILE DEALERSHIP
SITE DEVELOPMENT PLAN
STORMDRAIN PROFILES & STRUCTURE SCHEDULE
TAX MAP #34 PARCEL 'D-1'
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS & VOGEL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
3691 PARK AVENUE, SUITE 101 ELLICOTT CITY, MARYLAND 21043
TELEPHONE: (410) 461-5828 FAX: (410) 465-3988

DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: DECEMBER, 1995
SCALE: 1"=30'
W.O. NO.: 95-60

4 SHEET OF 8

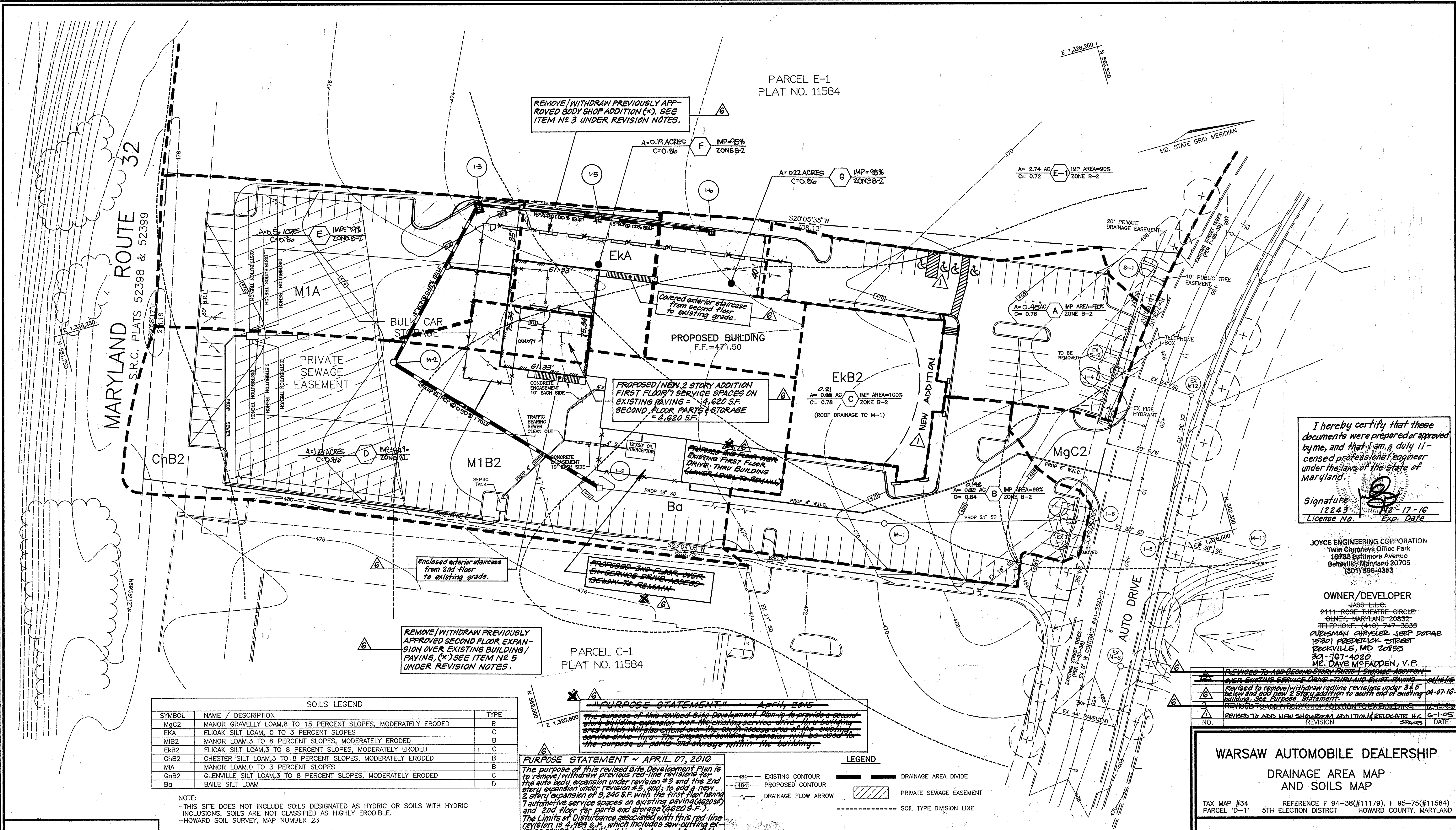
ENGINEERS CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE OF ENGINEER: Robert H. Vogel
DATE: 1/15/96

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE OF DEVELOPER: [Signature]
DATE: 1-15-96

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.
Patricia Engler 1/22/96 1/24/96
USDA-NATURAL RESOURCE CONSERVATION SERVICE DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John P. Robertson 1/24/96
HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Director: [Signature] 2/16/96
Date: 2/16/96
Chief, Land Development and Research: [Signature] 2/18/96
Date: 2/18/96
Chief, Development Engineering Division: [Signature] 1/25/96
Date: 1/25/96

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Director: [Signature] 2/7/96
Date: 2/7/96
SUBDIVISION NAME: HOLWEEK SUBDIVISION SECTION/AREA: N/A PARCEL NUMBER: D-1
PLAT NO.: 11584 BLOCK NO.: 6 ZONE: B-2 TAX/ZONE: 34 ELECT. DIST.: 5 CENSUS TR.: 6051.01
WATER CODE: J 07 SEWER CODE: PRIVATE



REMOVE/WITHDRAW PREVIOUSLY APPROVED BODY SHOP ADDITION (*). SEE ITEM #3 UNDER REVISION NOTES.

REMOVE/WITHDRAW PREVIOUSLY APPROVED SECOND FLOOR EXPANSION OVER EXISTING BUILDING/PAVING (*). SEE ITEM #5 UNDER REVISION NOTES.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.

Signature: [Signature]
 12243 License No. 17-16 Exp. Date

JOYCE ENGINEERING CORPORATION
 Twin Chimneys Office Park
 10788 Baltimore Avenue
 Beltsville, Maryland 20705
 (301) 898-4353

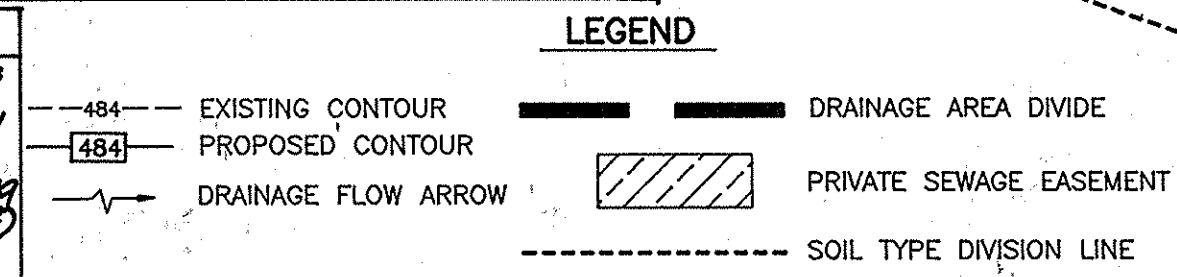
OWNER/DEVELOPER
 JASS LLC
 2411 ROSE THEATRE CIRCLE
 GENEVA, MARYLAND 20832
 TELEPHONE: (410) 747-3535
 AUGUSTIN CHRYSLER LEAP FORD
 15201 ROBERTSON STREET
 ROCKVILLE, MD 20855
 301-767-4020
 MR. DAVE McFADDEN, V.P.

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	TYPE
MgC2	MANOR GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
EKA	ELIQUAK SILT LOAM, 0 TO 3 PERCENT SLOPES	C
M1B2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
EKB2	ELIQUAK SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
ChB2	CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
M1A	MANOR LOAM, 0 TO 3 PERCENT SLOPES	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
Ba	BAILE SILT LOAM	D

NOTE:
 -THIS SITE DOES NOT INCLUDE SOILS DESIGNATED AS HYDRIC OR SOILS WITH HYDRIC INCLUSIONS. SOILS ARE NOT CLASSIFIED AS HIGHLY ERODIBLE.
 -HOWARD SOIL SURVEY, MAP NUMBER 23

PURPOSE STATEMENT - APRIL 07, 2016
 The purpose of this revised Site Development Plan is to provide a second story building expansion over the existing service drive. The building area which will be expanded over the existing service area of the existing service drive. The proposed building expansion will be used for the purpose of parts and storage within the building.

PURPOSE STATEMENT - APRIL 07, 2016
 The purpose of this revised Site Development Plan is to remove/withdraw previous red-line revisions for the auto body expansion under revision #3 and the 2nd story expansion under revision #5 and to add a new 2 story expansion of 9,240 S.F. with the first floor having 1 automotive service spaces on existing paving (4,620 S.F.) and 2nd floor for parts and storage (4,620 S.F.). The Limits of Disturbance associated with this red-line revision is 4,984 S.F., which includes saw-cutting existing paving to install building footers and foundation.



ENGINEERS CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature] DATE: 1/16/96
 ROBERT H. VOGEL

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature] DATE: 1-15-96
 SIGNATURE OF DEVELOPER

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

Patricia Engler 1/24/96
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Poluto 1/24/96
 HOWARD SCD DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: [Signature] DATE: 2/18/96

Chief, Land Development and Research: [Signature] DATE: 2/18/96

Chief, Development Engineering Division: [Signature] DATE: 1/25/96

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: [Signature] DATE: 2/17/96

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLWECK SUBDIVISION	N/A	D-1
PLAT NO.	BLOCK NO.	ZONE
11584	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5	6051.01
WATER CODE	SEWER CODE	PRIVATE

WARSAW AUTOMOBILE DEALERSHIP
 DRAINAGE AREA MAP AND SOILS MAP

TAX MAP #34 REFERENCE F 94-38 (#11179), F 95-75 (#11584)
 PARCEL 'D-1' 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS & VOGEL ASSOCIATES, INC.
 ENGINEERS - SURVEYORS - PLANNERS

3891 PARK AVENUE, SUITE 101 BELLCOTT CITY, MARYLAND 21043
 TELEPHONE: (410) 481-5828 FAX: (410) 485-9868

DESIGN BY: R.H.V.
 DRAWN BY: D.G.H.
 CHECKED BY: R.H.V.
 DATE: DECEMBER, 1995
 SCALE: 1"=30'
 W.O. NO.: 95-60

STATE OF MARYLAND PROFESSIONAL ENGINEER [Signature] 8

PURPOSE STATEMENT ~ APRIL 07, 2016

The purpose of this revised Site Development Plan is to Remove/Withdraw previously red-line approvals for the auto-body expansion under revision #3 and the 2nd story expansion under revision #5; and to add a new 2 story expansion of 9,240 S.F. with the first floor having 7 auto service spaces on existing paving (4,620 S.F.) and 2nd floor for parts and storage (4,620 S.F.). The Limits of Disturbance associated with this red-line revision is 4,964 S.F. which includes saw-cutting existing paving to install building footers and foundation.

PLANTING NOTES

- PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUNSCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BOXERS AND ALL FORMS OF INFESTATION OR OBSTRUCTIBLE DISTURBANCES. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HEEL-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1986, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, SEPTEMBER, 1981, INCLUDING ALL ADDENDA.
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND 3 UTILITIES OF STANDARD MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGING UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANTING MATERIALS TO AVOID CONFLICTS WITH UTILITIES.
- PLANTING BED SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD BARK MULCH. GRASS/COVER BEDS SHALL BE MULCHED TO A DEPTH OF 2".
- ALL AREAS WITHIN THE CONTRACT LIMIT NOT COVERED BY BUILDING, PAVING, PLANTING BEDS OR OTHERWISE DESIGNATED ON THE PLANS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PERMANENT SEEDING SPECIFICATIONS (SEE SHEET 6), INCLUDING ALL ADDENDA, AS DIRECTED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE.
- PLANTING MIX SHALL BE DONE AS FOLLOWS:
DECIDUOUS PLANTS - TWO PARTS TOP SOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE AND 3 LBS. OF STANDARD 10-10-10 FERTILIZER PER CUBIC YARD OF PLANTING MIX.
EVERGREEN PLANTS - TWO PARTS TOP SOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL, ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX.
TOPSOIL SHALL CONFORM TO LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR LANDSCAPE PLAN ONLY. SEE OTHER PLAN SHEETS FOR INFORMATION ON GRADING, SEDIMENT CONTROL, LAYOUT, ETC.
- CONTRACTOR TO ADJUST PLANTINGS AS REQUIRED WITH PRIOR APPROVAL OF THE ENGINEER OR LANDSCAPE ARCHITECT.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

Signature: *[Signature]*
12243
License No. *[Signature]*

JOYCE ENGINEERING CORPORATION
Twin Chimneys Office Park
10786 Baltimore Avenue
Beltsville, Maryland 20708
(301) 696-4333

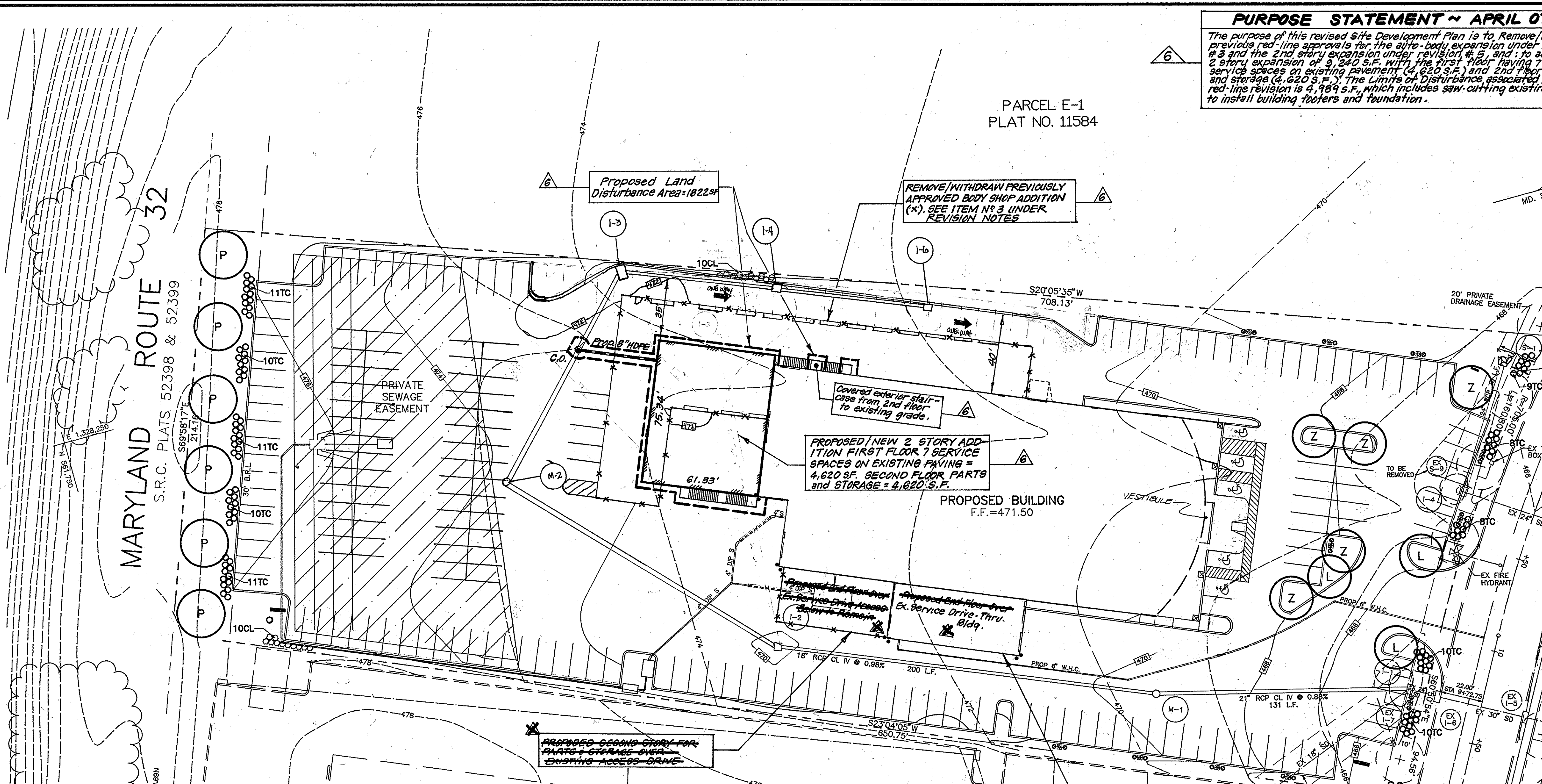
CHRISMAN CHRYSLER JEEP DODGE
15301 FREEBURN STREET
ROCKVILLE, MD 20855
301-767-4020
MR. DAVE MCFADDEN, V.P.
OWNER/DEVELOPER

6	REVISED TO REMOVE WITHDRAW REDLINE REVISIONS UNDER 3 & 5 BELOW AND ADD NEW 2 STORY ADDITION TO SOUTH END OF EXISTING BUILDING. SEE PURPOSE STATEMENT.	04/07/16
4	REMOVED TO ADD AND GROUND FLOOR EXPANSION OVER EXISTING SERVICE DRIVE AND EXISTING PAVING.	04-15-15
4	DELETE PREVIOUSLY PROPOSED EXPANSION, RELOCATE LANDSCAP PARKS, ADD VESTIBULE, REVISE PARKING, MODIFY ISLANDS	3/20/11
3	REVISED TO ADD BODY SHOP ADDITION TO EX-EXISTING	10-19-09
2	REVISED TO ADD NEW SHEDDING ADDITION. RELOCATE HC	6-1-05
NO.	REVISION	DATE

WARSAW AUTOMOBILE DEALERSHIP
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
TAX MAP #34 REFERENCE F 94-38(11179), F 95-75(11584)
PARCEL "D-1" 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS & VOGEL ASSOCIATES, INC.
ENGINEERS - SURVYORS - PLANNERS
3691 PARK AVENUE, SUITE 101
BELLICOTT CITY, MARYLAND 21043
TELEPHONE: (410) 461-8828
FAX: (410) 465-3968

DESIGN BY: R.H.V.	DRAWN BY: D.G.H.
CHECKED BY: R.H.V.	DATE: NOVEMBER, 1995
SCALE: 1"=30'	W.O. NO.: 95-60
6	8



SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES
	RTE 32	AUTO DRIVE	
LANDSCAPE TYPE *	E*	E*	N/A
LINEAR FEET OF ROADWAY FRONTAGE/PERMETER	213'	200'	N/A
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	N/A
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	N/A
NUMBER OF PLANTS REQUIRED			
SHADE TREES 1-40	6	5++	N/A
EVERGREEN TREES	N/A	N/A	N/A
SHRUBS	53	50	N/A
NUMBER OF PLANTS PROVIDED			
SHADE TREES	6	3++	N/A
EVERGREEN TREES	N/A	N/A	N/A
OTHER TREES (2:1 SUBSTITUTION)	N/A	N/A	N/A
SHRUBS (10:1 SUBSTITUTION)	55	70++	N/A

REMOVE/WITHDRAW PREVIOUSLY APPROVED SECOND FLOOR EXPANSION OVER EXISTING BUILDING PAVING, (X) SEE ITEM #5 UNDER REVISION NOTES.

EXISTING BUILDING
PARCEL C-1
PLAT NO. 11584

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	100
NUMBER OF TREES + ISLANDS REQUIRED	1/20 SPACES=5 (1000 SQ.FT.)
NUMBER OF TREES PROVIDED	
SHADE TREES/ISLAND AREA	5/1075 SQ.FT.
OTHER TREES (2:1 SUBSTITUTION)	N/A
SHRUBS (10:1 SUBSTITUTION)	N/A

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	SIZE	CONT
L	3	LIQUIDAMBAR STYRACIFLUA / SWEET GUM	2 1/2'-3' CAL	B+B
P	6	QUERCUS PALUSTRIS / PIN OAK	2-1/2'-3' CAL	B&B
TC	103	TAXUS CUSPIDATA "NANA" DWARF JAPANESE YEW	10'-24" SP	B&B
Z	5	ZELKOVA SERRATA "VILLAGE GREEN" / VILLAGE GREEN ZELKOVA	2 1/2'-3' CAL	B+B
CL	20	CUPRESSOCYPRIS LEYLAND / LEYLAND CYPRESS	5'-6" HT	CONT

- NOTE:
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$1,600.00 (\$100 PER TREE)
 - THE CONTRACTOR IS TO EXERCISE CAUTION WHEN INSTALLING LANDSCAPING IN CLOSE PROXIMITY TO SITE UTILITIES.

COMMENTS:
++ DUE TO EXISTING STREET TREES (PER F 94-38) ALONG AUTO DRIVE 2 REQUIRED PERIMETER TREES HAVE BEEN PROVIDED AS ADDITIONAL PERIMETER LANDSCAPE (20 SHRUBS)
* PARKING ADJACENT TO ROADWAYS.

COMMENTS:
~ CUSTOMER PARKING ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/18/16
DIRECTOR

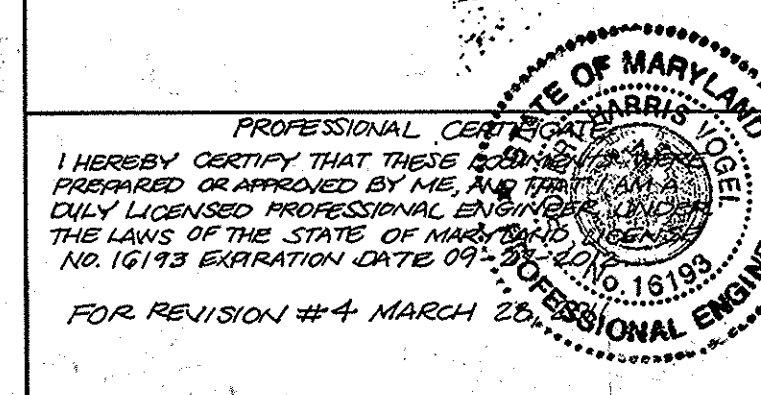
[Signature] 3/18/16
CHIEF, LAND DEVELOPMENT AND RESEARCH

[Signature] 1/25/16
CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 3/17/16
COUNTY HEALTH OFFICER

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLWECK SUBDIVISION	N/A	D-1
PLAT NO.	BLOCK NO.	ZONE
11584	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5	6051.01
WATER CODE	J 07	SEWER CODE
		PRIVATE



SEPTIC SYSTEM DESIGN

40 EMPLOYEES X 15 GPD: REQUIRED=600 GPD
 30 CUSTOMERS X 5 GPD: REQUIRED=150 GPD
 TOTAL REQUIRED=750 GPD PROVIDE=800 GPD

900 GPD MAXIMUM SEWAGE DESIGN FLOW ALLOCATION
 TRENCH LOADING RATES= 0.8 GAL/SF/DAY
 750/0.8=938

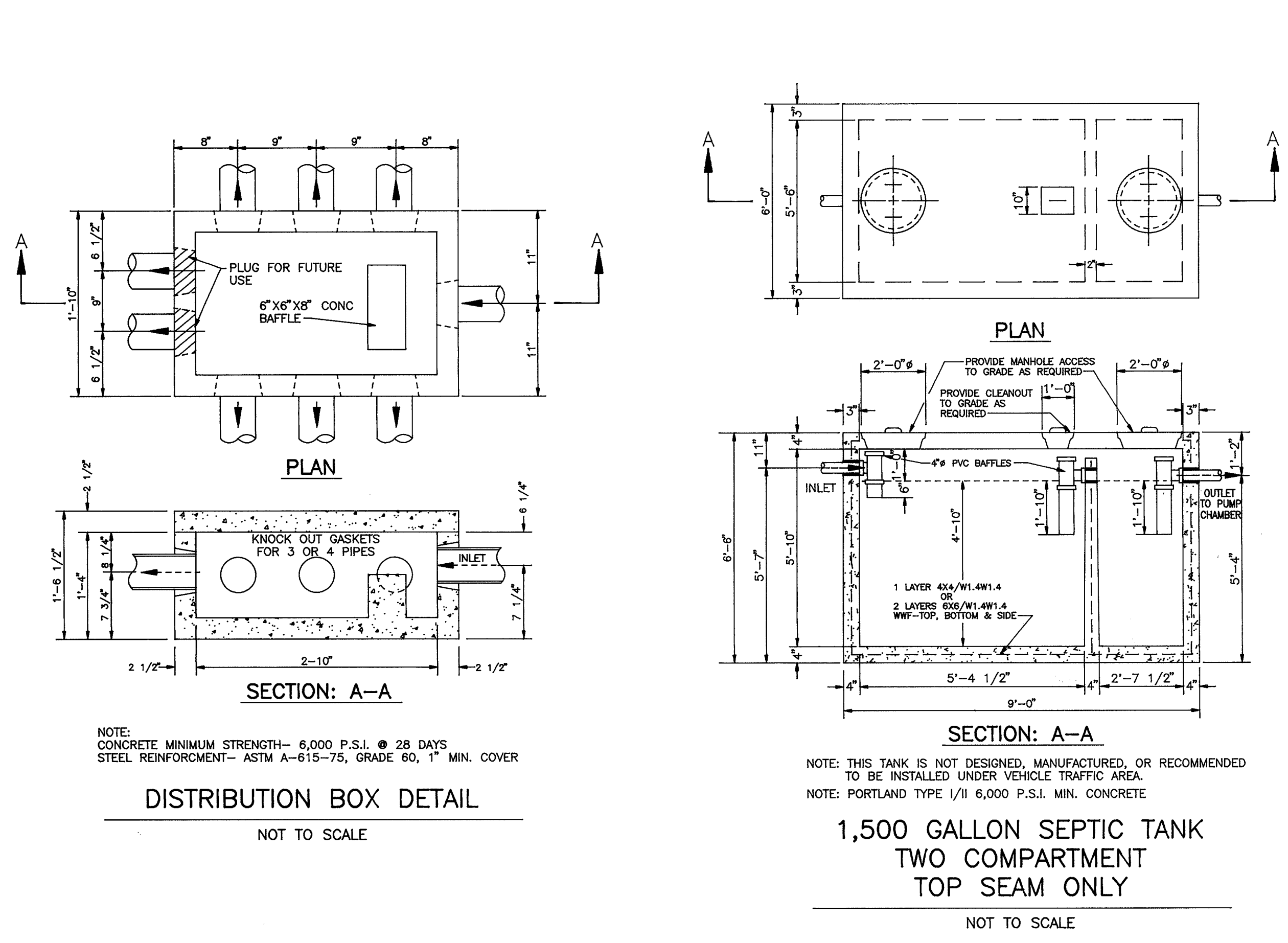
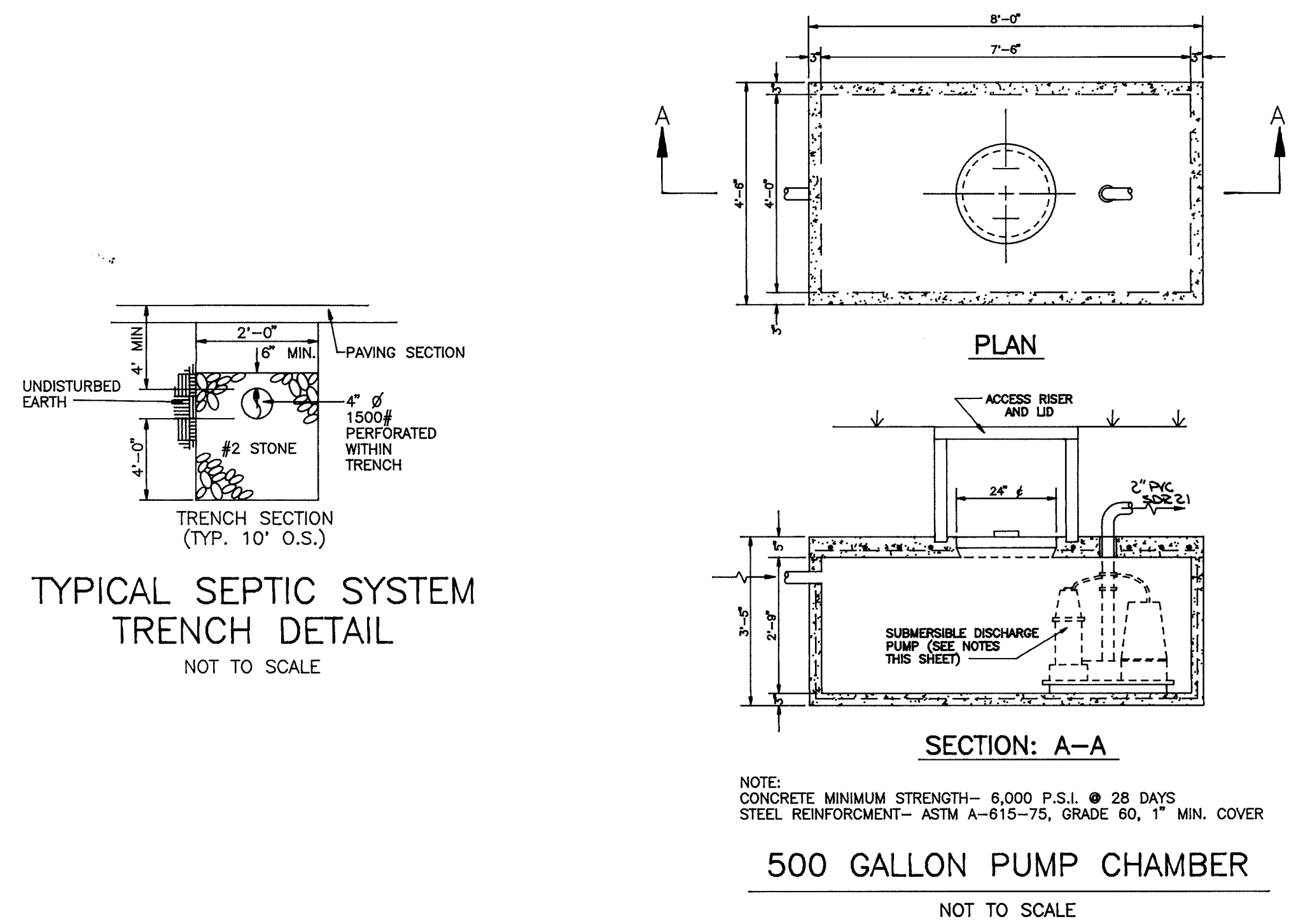
TRENCH CONFIGURATION= 4'X2' (10" O.C.)
 938/2'=469 L.F. OF TRENCH REQUIRED PROVIDED=540 L.F.

INVERT OUT OF BUILDING:	467.30
INVERT INTO SEPTIC TANK:	466.20
INVERT OUT OF SEPTIC TANK (TO PUMP CHAMBER):	466.40
EXISTING GRADE AT SEPTIC TANK:	474.60
PROPOSED GRADE AT SEPTIC TANK:	472.80
INVERT INTO PUMP CHAMBER:	466.00
INVERT INTO DISTRIBUTION BOX:	471.50
EXISTING GRADE AT DISTRIBUTION BOX:	477.00
PROPOSED GRADE AT DISTRIBUTION BOX:	476.30
INVERT INTO TRENCH AT DISTRIBUTION BOX:	471.00
EXISTING GRADE AT TRENCH:	477.00
PROPOSED GRADE AT TRENCH:	475.00

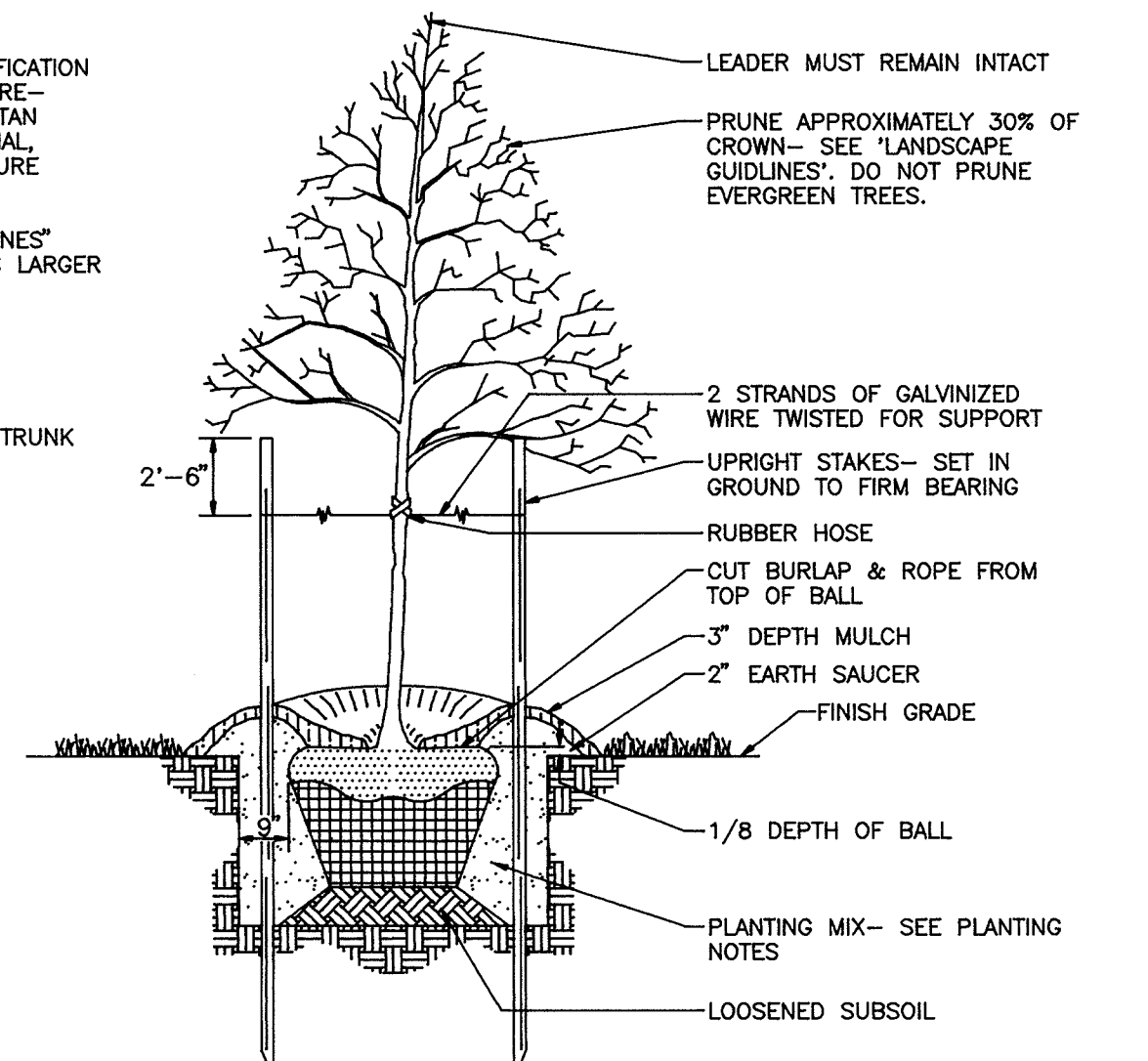
TRENCH CONSTRUCTION NOTES

- TRENCHES SHALL BE EXCAVATED USING A BACKHOE. FRONT-END LOADERS OR BULLDOZERS SHOULD NOT BE USED FOR TRENCH EXCAVATION.
- EXCAVATED MATERIALS FROM THE TRENCHES SHALL BE PLACED AT A SUFFICIENT DISTANCE DOWNSLOPE OF THE TRENCHES TO AVOID MIGRATION OF SOILS BACK INTO THE TRENCH.
- WORK SHALL BE SCHEDULED SUCH THAT THE TRENCHES CAN BE COVERED IN ONE DAY TO PREVENT WINDBLOWN OR WATERBORNE SEDIMENT FROM ENTERING THE TRENCH. HEALTH DEPARTMENT TO BE NOTIFIED FOR INSPECTION PRIOR TO STONE PLACEMENT IN TRENCH.
- THE FIELD ENGINEER SHALL VERIFY THE CONSTRUCTED ELEVATIONS OF THE TRENCHES TO ENSURE A MINIMUM 4 FOOT COVER IS PROVIDED BELOW PAVEMENT BASE GRADE.
- UPON COMPLETION OF THE TRENCH EXCAVATION AND PRIOR TO PLACEMENT OF PAVING, HEAVY CONSTRUCTION EQUIPMENT TRAFFIC SHALL BE PERMANENTLY DIVERTED FROM THE TRENCHES AND ADJACENT AREA.

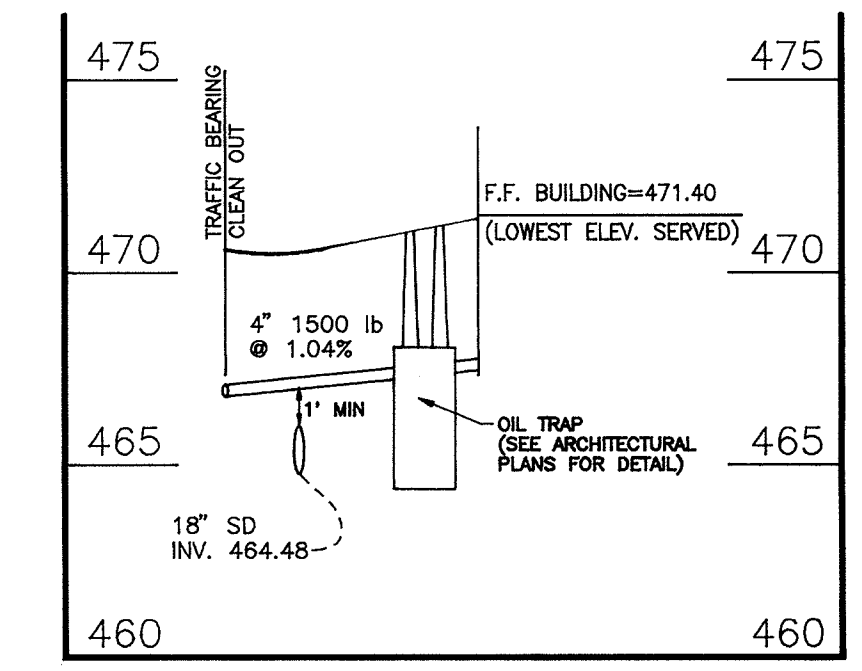
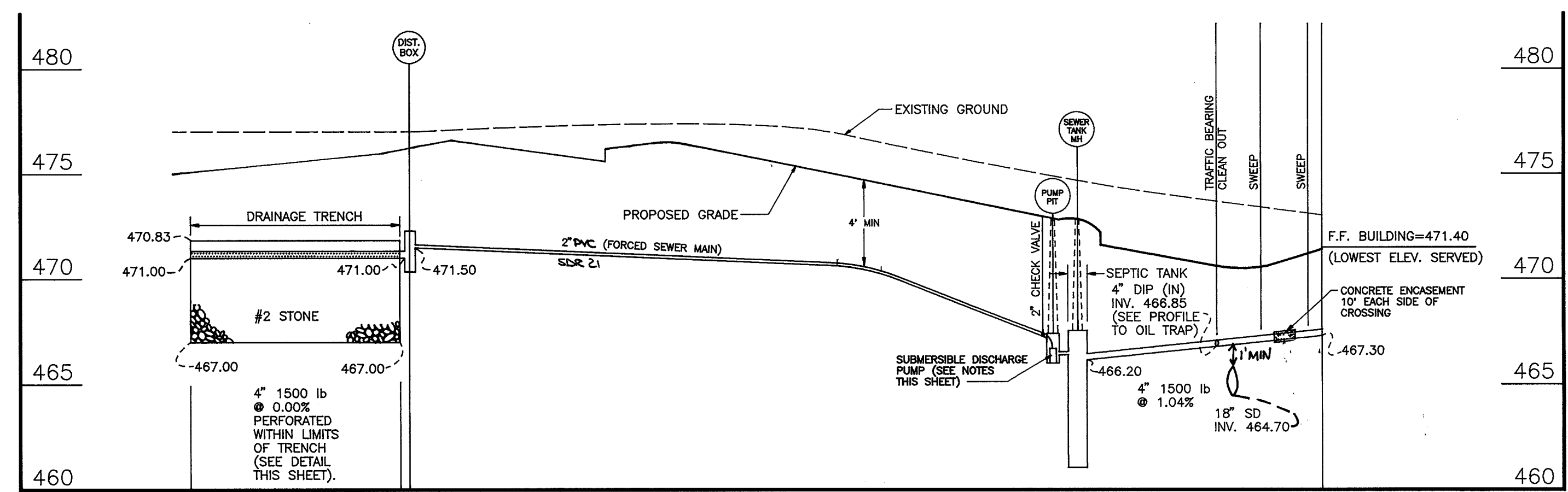
NOTE: CONTRACTOR TO PROVIDE ALTERNATING ELECTRIC SUBMERSIBLE PUMPS IN SEPARATE PUMP CHAMBER OF SEPTIC TANK. PUMP TO HAVE ELECTRONIC LEVEL WITH REMOTE ALARM LOCATED INSIDE BUILDING. PUMP TO BE TSURUMI LB2-750 OR EQUIVALENT. MINIMUM REQUIREMENTS: 70 GPM @ 23 FT HEAD. SEE ARCHITECTURAL DRAWINGS FOR ELECTRIC DETAILS. ALL PROPOSED MODIFICATIONS TO THE SEPTIC SYSTEM DETAILS WILL BE SUBMITTED TO THE HEALTH DEPARTMENT THROUGH THE PROJECT ENGINEER.



- NOTES**
- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
 - SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
 - PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
 - KEEP MULCH 1" FROM TRUNK



TREE PLANTING AND STAKING
 DICIDUOUS AN EVERGREEN TREES UP TO 2-1/2" CALIPER NOT TO SCALE



NOTE: SEPTIC SYSTEM IS ONLY BEING PERMITTED FOR DISCHARGE OF DOMESTIC WASTE WATER, AND THAT PRIOR TO ISSUANCE OF BUILDING PERMIT, APPLICANT SHALL PRESENT DOCUMENTATION TO THE HEALTH DEPARTMENT THAT THIS PROJECT HAS BEEN REVIEWED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR COMPLIANCE WITH ALL APPLICABLE INDUSTRIAL DISCHARGE PERMIT STANDARDS.

OWNER/DEVELOPER
 JASS LLC
 2111 ROSE THEATRE CIRCLE
 OLNEY, MARYLAND 20832
 TELEPHONE: (410) 747-3535

ENGINEERS CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER: Robert H. Vogel
 DATE: 1/16/96

DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF DEVELOPER: [Signature]
 DATE: 1-15-96

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.
 SIGNATURE: Patricia Engler
 DATE: 1/24/96
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE: John R. Polunton
 DATE: 1/24/96
 HOWARD SCD

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 SIGNATURE: [Signature]
 DATE: 2/15/96
 DIRECTOR
 SIGNATURE: [Signature]
 DATE: 2/18/96
 CHIEF, LAND DEVELOPMENT AND RESEARCH
 SIGNATURE: [Signature]
 DATE: 1/25/96
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: [Signature]
 DATE: 2/17/96
 COUNTY HEALTH OFFICER

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
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34	5	6051.01
WATER CODE	J 07	SEWER CODE PRIVATE

WARSAW AUTOMOBILE DEALERSHIP
 SITE DEVELOPMENT PLAN
 SEWER PROFILE AND DETAILS
 TAX MAP #34 5TH ELECTION DISTRICT
 PARCEL "D-1" HOWARD COUNTY, MARYLAND

MARKS & VOGEL ASSOCIATES, INC.
 ENGINEERS - SURVEYORS - PLANNERS
 3891 PARK AVENUE, SUITE 101
 ELLICOTT CITY, MARYLAND 21048
 TELEPHONE: (410) 461-5828
 FAX: (410) 465-3868

DESIGN BY: R.H.V.
 DRAWN BY: D.G.H.
 CHECKED BY: R.H.V.
 DATE: DECEMBER, 1995
 SCALE: 1"=30'
 W.O. NO.: 95-60
 7 SHEET OF 8

