

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief Development Engineering Division M.K. 2/6/90  
Date  
Chief Division of Land Development and Research 2/9/90  
Date  
Director 2/9/90  
Date

REVISION #8 BY: SPRING 12/22/12  
150 AIRPORT DRIVE  
WESTMINSTER, MD. 21150  
410-976-0933  
BULK REGULATIONS  
Section 119 M-2 District RANDALL A. PETKUS, JR.  
MD # 15020  
EXP. DATE 12/01/13  
Maximum height of structure with minimum set back 15' 50' 100'  
Minimum setback for buildings from any external public street or right-of-way is 50 feet.  
Minimum setback for fences and parking uses from any external public street or right-of-way is 30 feet.  
Minimum setback for buildings from any residential district other than the public street right-of-way is 150 feet.

NOTE: REVISION NO. 6 BY  
GEORGE WILLIAM STEPHENS, JR.  
AND ASSOCIATES, INC.  
ADDRESS: 1020 CROMWELL BRIDGE ROAD  
TOWSON, MARYLAND 21286  
PHONE NO: 410-825-8192

Engineer  
Greenman-Pedersen, Inc.  
14504 Greenview Drive, Suite 100  
Laurel, MD 20708  
(410) 880-3055

Owner/Developer  
Smelkinson Sysco Food Service, Inc.  
8000 Dorsey Run Road  
Jessup, MD 20794  
(410) 799-7000

REVISION 8  
ADDED BLDG ADDITION IN NW CORNER, ADJUST GRADING & DRAINAGE REVISIONS BY G.P. INC. REFER TO NEW SHEET A

REVISION 7  
ADDED BUILDING ADDITION TO NORTHWEST SIDE OF EXISTING BUILDING, ADDED BLDG. ELEV. REVISED SITE ANALYSIS AND BUILDING USAGE BY GWS

EXISTING GRADES ON THIS PLAN WERE COMPLETED UNDER GRADING PLAN NO. 6 - PHASE I - GP-87-G4 AND PHASE II - GP-87-G5

TAX MAP # 43 6TH ELECTION DISTRICT OF HOWARD COUNTY MD.  
DRAWING NO. 9512G-02 SP  
SCALE 1" = 40'-0"  
DATE NOV, 1995  
SHEET NO. SP 1 OF 3

- LEGEND
- DORSEY RUN RD. WIDENING
- EX. CONCRETE
- LIGHTING FIXTURE
- SEE SHEET 3 FOR PLANT SCHEDULE.
- 109.58 EXIST. ELEVATION
- 201.28 PROP. ELEVATION
- (\*) INDICATED PROPOSED
- CONCRETE FILLED PIPE BALLARD
- TRAFFIC SIGN SEE SH. 9 OF 10 FOR LEGEND
- GRADE BREAK @ SPOT ELEV.
- CONCENTRATED FLOW LINE
- PUBLIC WATER
- PRIVATE WATER
- PRIVATE SEWER
- STORM DRAIN
- EX. STORM DRAIN, EX. WATER, EX. SEWER
- EX. ASPHALT TO BE REMOVED
- PROP. CONCRETE SECTION
- PROP. ASPHALT PAVING
- LAYOUT, GRADING PLANS, FOREST CONSERVATION PLAN
- SITE DETAILS
- SEDIMENT CONTROL PLAN NOTES & DETAILS

DESCRIPTION	SHEET NUMBER
SITE PLAN	SHEET 1 OF 8
SITE PLAN	SHEET 2 OF 8
SITE PLAN DETAILS	SHEET 3 OF 8
STORM DRAIN PROFILES	SHEET 4 OF 8
STORM DRAIN PROFILES	SHEET 5 OF 8
SEDIMENT CONTROL PLAN	SHEET 6 OF 8
SEDIMENT CONTROL PLAN	SHEET 7 OF 8
SEDIMENT CONTROL PLAN DETAILS AND NOTES	SHEET 8 OF 8

NOTE: WATER CONNECTIONS ARE TO BE PROVIDED PER CONTRACT NO. 44-1118-0. (SEWER CONNECTIONS ARE TO BE PROVIDED PER CONTRACT 24-1712-0. ALL ON-SITE SAN. SEWER TO BE PRIVATE. COORDINATE WITH ELECTRICAL SITE WORK AS SHOWN ON SHEET E-1.

REV. NO.	REVISION	DATE
6	ADDED BUILDING ADDITIONS TO NORTHEAST/NORTH EAST SIDE OF EXIST. BLDG. WITH ASSOCIATED UTILITIES, REV. GRADING & NORTH SIDE, ADDED BLDG. ADDITION ELEV. AND REVISED BLDG. USAGE TABULATION BY GWS.	2/27/04

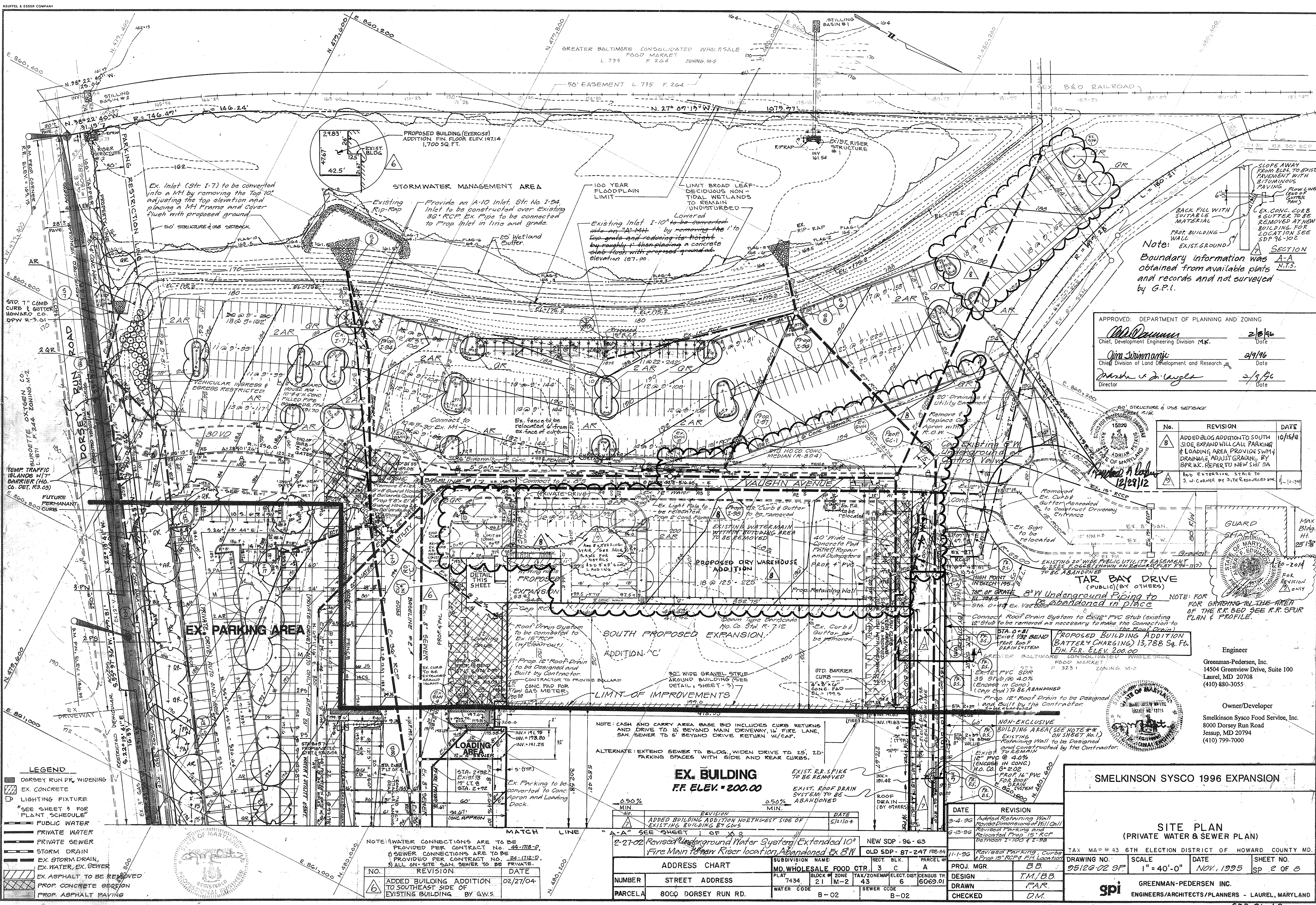
ADDRESS CHART	MD. WHOLESALE FOOD CTR. 3 C A
NUMBER	7434
STREET ADDRESS	21 M-2
PARCEL A	8000 DORSEY RUN RD.
WATER CODE	B-02
SEWER CODE	B-02

DATE	REVISION
2-27-02	Revised Underground Water System, Extended 10' Fire Main to new Riser location, Abandoned Ex. 8" Water Main.
7-24-90	Added Addition A, changed 30' high house 50' ft. Ex. 8" to 10" dia.
5-1-90	Added Grading and Entrances.
1-1-90	Changed Cont. in Area of Hammer Pond.

SMELKINSON SYSCO 1996 EXPANSION

SITE PLAN (PRIVATE WATER & SEWER PLAN)

GREENMAN-PEDERSEN INC. ENGINEERS/ARCHITECTS/PLANNERS - LAUREL, MARYLAND



Note: EXISTING GROUND SECTION  
Boundary information was A-A obtained from available plats and records and not surveyed by G.P.I.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*John D. ...* 2/8/96  
Chief, Development Engineering Division M.K. Date

*Anna ...* 2/9/96  
Chief Division of Land Development and Research Date

*Mark ...* 2/9/96  
Director Date

No.	REVISION	DATE
8	ADDED BLDG ADDITION TO SOUTH SIDE, EXPAND WILL CALL PARKING & LOADING AREA PROVIDE SUM & DRAINAGE, ADJUST GRADING, BY B.P.R.N.C. REFER TO NEW SHF 9A	10/15/96
9	ADD EXTERIOR STAIR TO S.W. CORNER BY SITE RESOURCES INC.	12/29/12

NOTE: FOR GRADING IN THE AREA OF THE R.R. BED SEE R.R. SPUR PLAN & PROFILE.

EXISTING 30" WIDE PUBLIC UTILITY EASEMENT 15.25' EDGE (SHOWN ON RECORD PLAT 276-1102) TO BE ABANDONED

TAR BAY DRIVE (PUBLIC) (BY OTHERS)

8" W Undersound Piping to be abandoned in place

Prop. 12" Roof Drain to be Designed and Built by the Contractor

Prop. 12" Roof Drain to be Designed and Built by the Contractor

Prop. 12" Roof Drain to be Designed and Built by the Contractor

Engineer  
Greenman-Pedersen, Inc.  
14504 Greenview Drive, Suite 100  
Laurel, MD 20708  
(410) 880-3055

Owner/Developer  
Smelkinson Sysco Food Service, Inc.  
8000 Dorsey Run Road  
Jesup, MD 20794  
(410) 799-7000

SMELKINSON SYSCO 1996 EXPANSION

SITE PLAN  
(PRIVATE WATER & SEWER PLAN)

TAX MAP # 43 6TH ELECTION DISTRICT OF HOWARD COUNTY MD.  
DRAWING NO. 95126-02 9F SCALE 1" = 40'-0" DATE NOV, 1995 SHEET NO. SP 2 OF 8

gpi GREENMAN-PEDERSEN INC.  
ENGINEERS/ARCHITECTS/PLANNERS - LAUREL, MARYLAND

LEGEND

- DORSEY RUN DR. WIDENING
- EX. CONCRETE
- LIGHTING FIXTURE
- SEE SHEET 3 FOR PLANT SCHEDULE
- PUBLIC WATER
- PRIVATE WATER
- PRIVATE SEWER
- STORM DRAIN
- EX. STORM DRAIN, EX. WATER, EX. SEWER
- EX. ASPHALT TO BE REMOVED
- PROP. CONCRETE REGION
- PROP. ASPHALT PAVING

NOTE: CASH AND CARRY AREA BASE BID INCLUDES CURB RETURNS AND DRIVE TO 12' BEYOND MAIN DRIVEWAY, 1/2 FIRE LANE, SAN. SEWER TO 5' BEYOND DRIVE RETURN W/ C.F.P.

ALTERNATE: EXTEND SEWER TO BLDG., WIDEN DRIVE TO 25', 2D' PARKING SPACES WITH SIDE AND REAR CURBS.

EX. BUILDING  
F.F. ELEV. = 200.00

EXIST. R.R. SPIKE TO BE REMOVED

EXIST. ROOF DRAIN SYSTEM TO BE ABANDONED

NO.	REVISION	DATE
1	ADDED BUILDING ADDITION NORTHWEST SIDE OF EXISTING BUILDING BY GWS	5/11/04
2	REVISION UNDERGROUND WATER SYSTEM, EXTENDED 10' FIRE MAIN TO SAN RISER LOCATION, ABANDONED EX 8" W	02/27/04

NEW SDP - 96-63  
OLD SDP - 87-247 P. 94  
SECT. B.L.K. PARCEL # 43  
ADDRESS CHART  
MD. WHOLESALE FOOD CTR. 3 C A  
PLAT 7434 21 M-2 TAX/ZONING/ELECT. DIST. SENSUS TR 6 6069.01  
NUMBER STREET ADDRESS WATER CODE B-02 SEWER CODE B-02

NOTE: 1) WATER CONNECTIONS ARE TO BE PROVIDED PER CONTRACT NO. 44-118-D.  
2) SEWER CONNECTIONS ARE TO BE PROVIDED PER CONTRACT NO. 24-112-D.  
3) ALL ON-SITE SAN. SEWER TO BE PRIVATE.

NO.	REVISION	DATE
6	ADDED BUILDING ADDITION TO SOUTHEAST SIDE OF EXISTING BUILDING BY GWS.	02/27/04

EXISTING

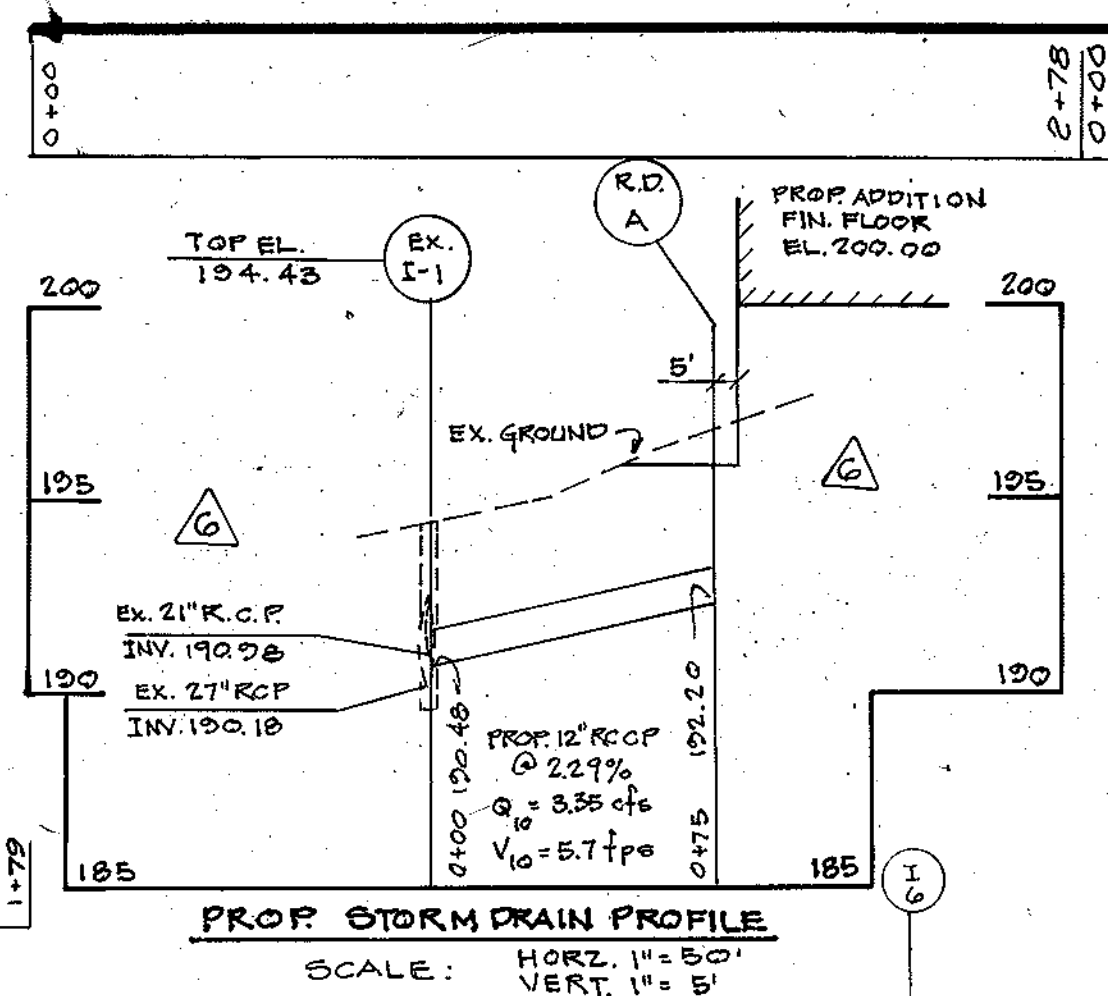
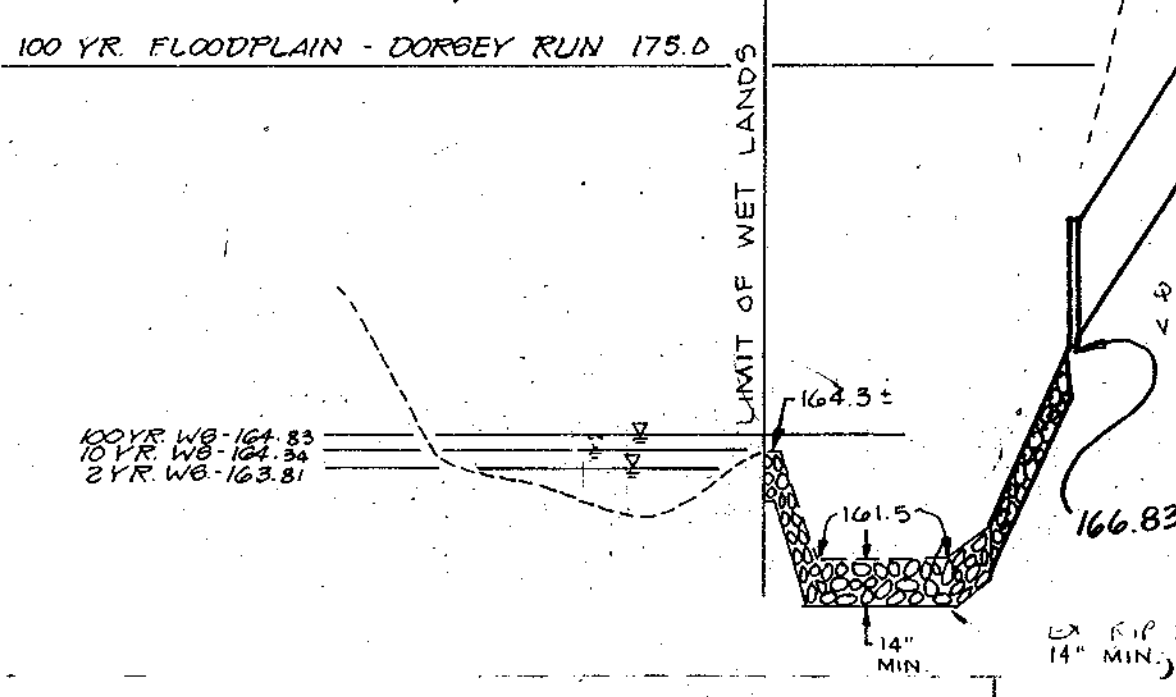
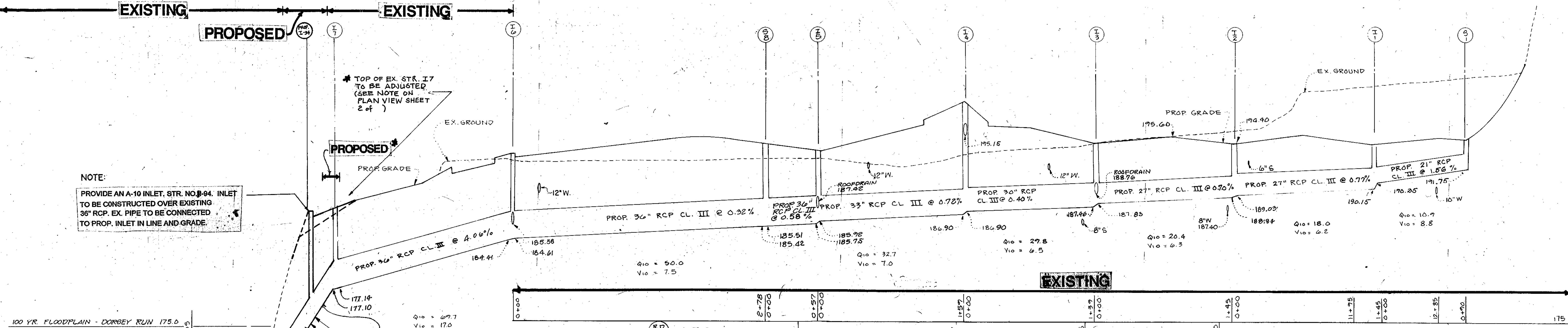
PROPOSED

EXISTING

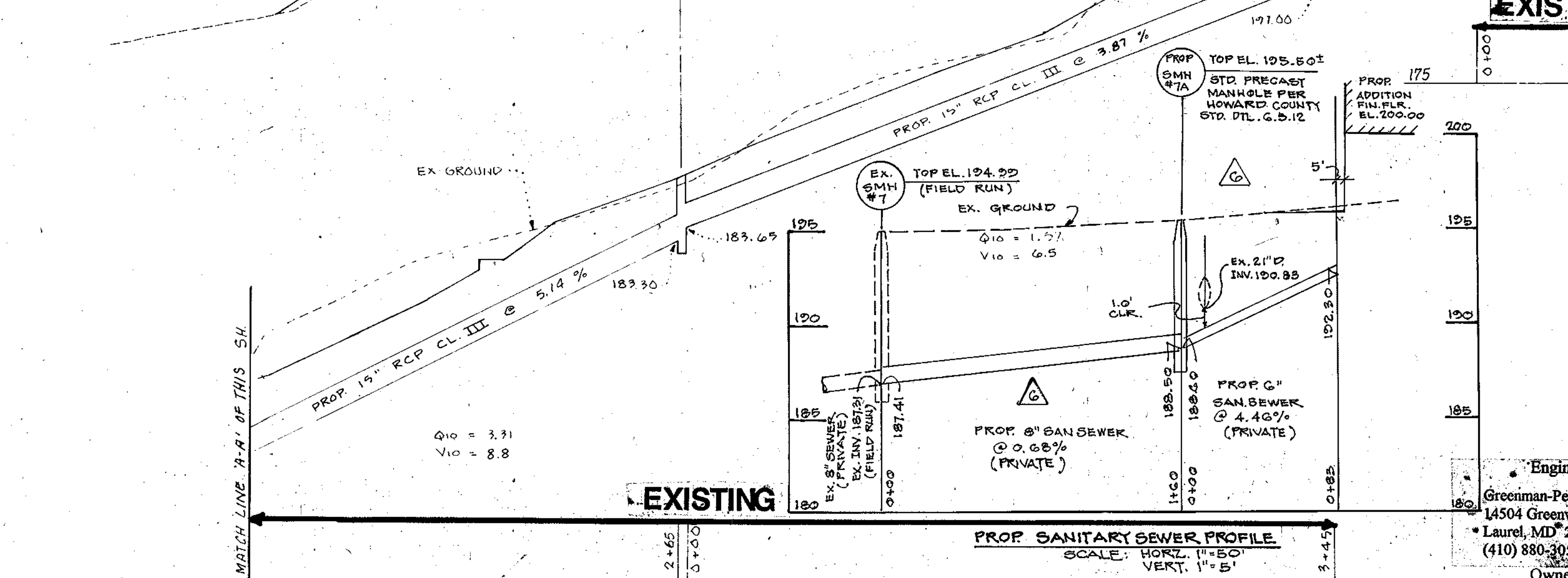
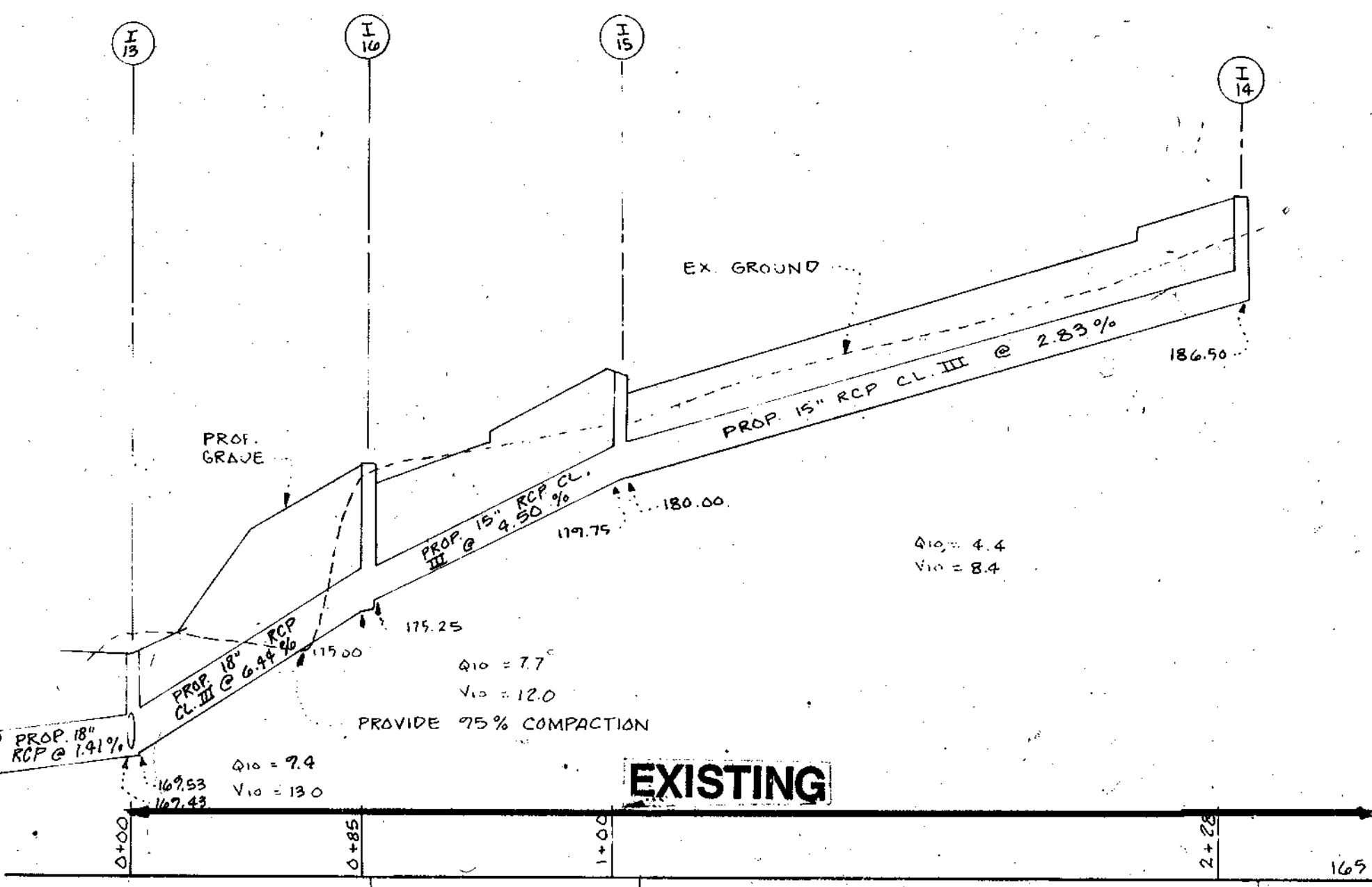
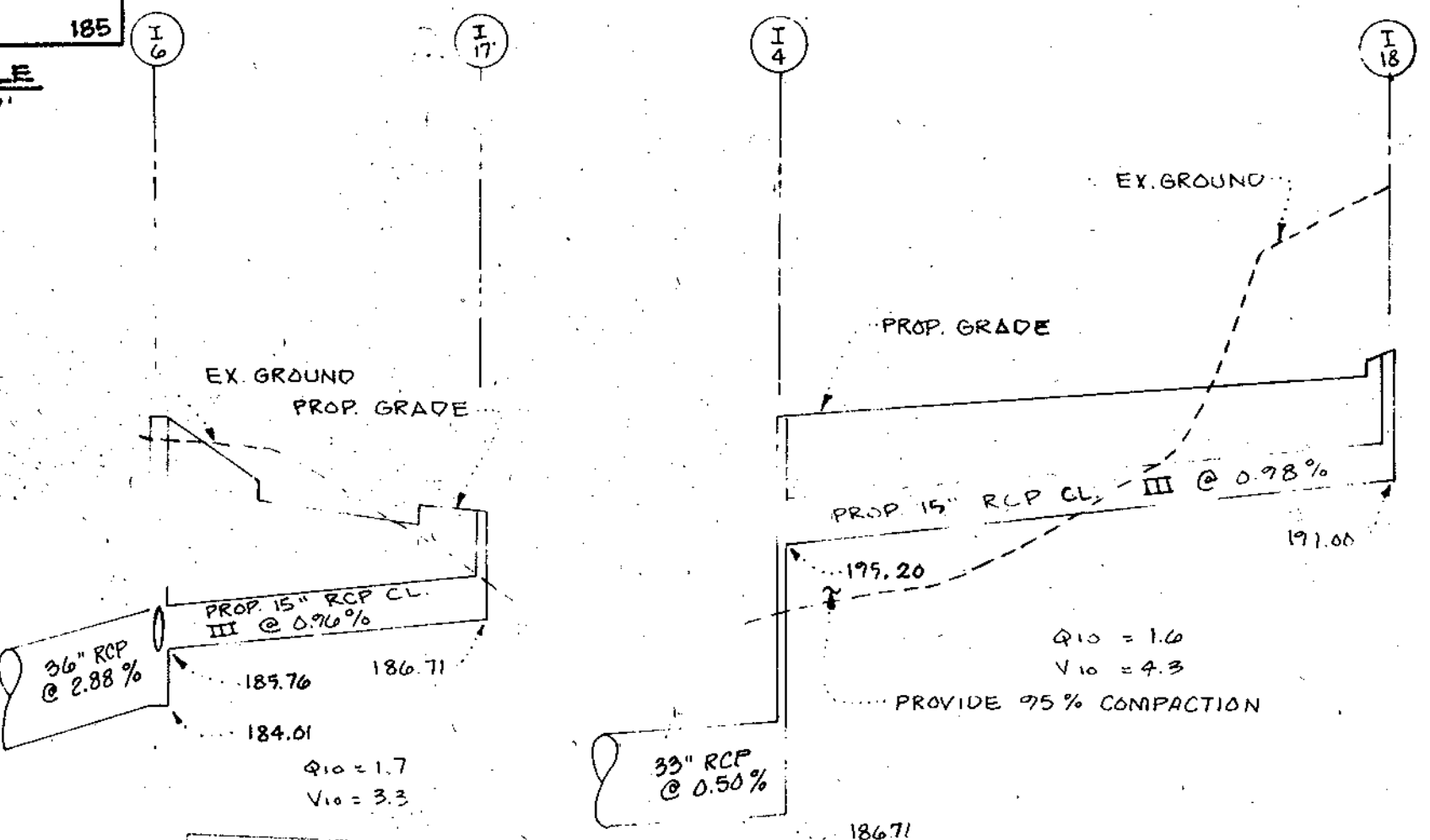
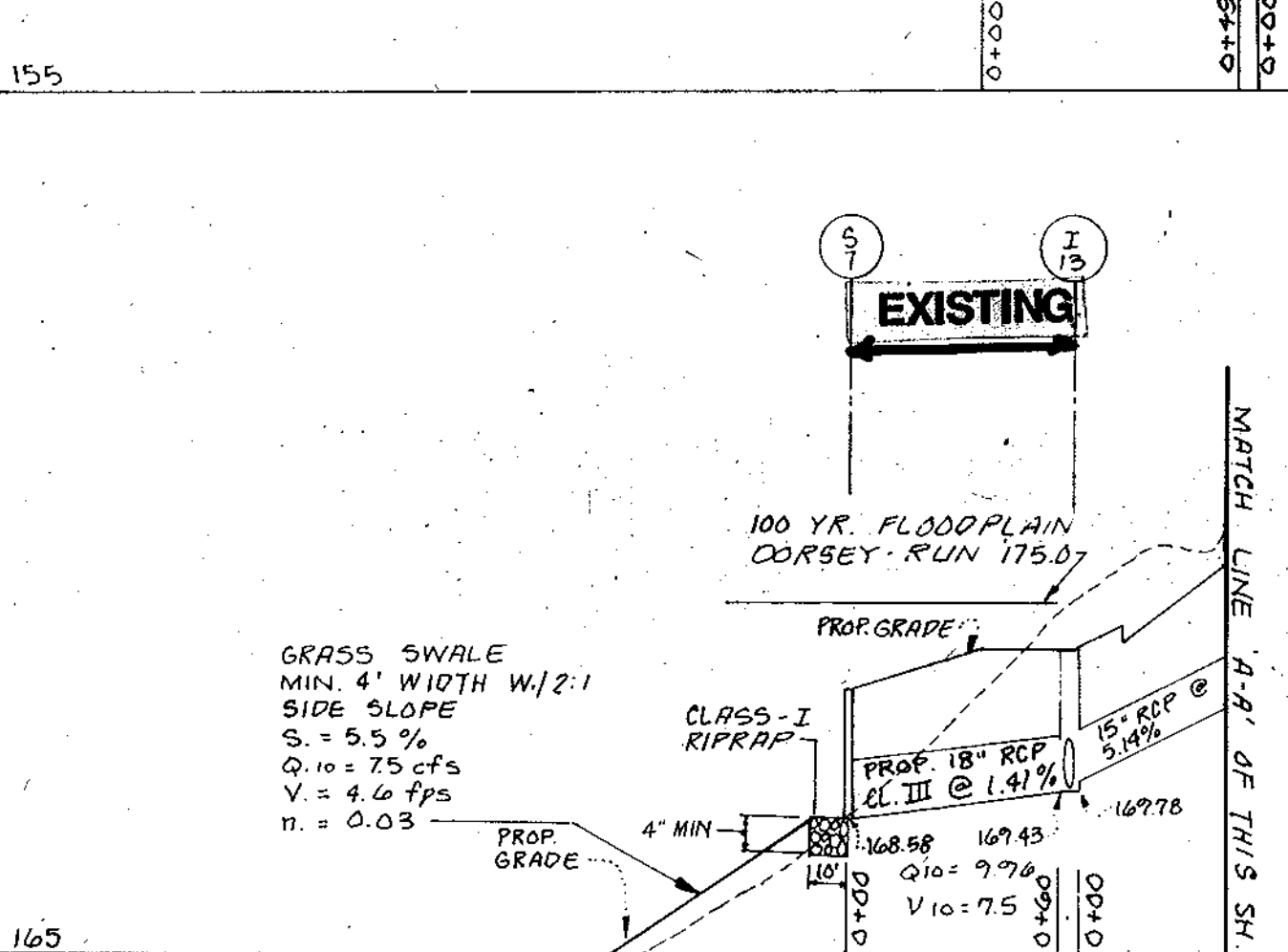
NOTE:  
 PROVIDE AN A-10 INLET, STR. NO. 84. INLET TO BE CONSTRUCTED OVER EXISTING 36" RCP, EX. PIPE TO BE CONNECTED TO PROP. INLET IN LINE AND GRADE.

PROPOSED

\* TOP OF EX. STR. I7 TO BE ADJUSTED (SEE NOTE ON PLAN VIEW SHEET 2 of )



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division M.K. *[Signature]* 2/18/96 Date  
 Chief, Division of Land Development and Research *[Signature]* 2/19/96 Date  
 Director *[Signature]* 2/19/96 Date



EXISTING

EXISTING

EXISTING

Engineer  
 Greenman-Pedersen, Inc.  
 14504 Greenview Drive, Suite 100  
 Laurel, MD 20708  
 (410) 880-3055  
 Owner/Developer

Smelkinson Sysco Food Service, Inc.  
 8000 Dorsey Run Road  
 Jessup, MD 20794  
 (410) 799-7000



ADDRESS: 8000 DORSEY RUN RD.					
SUBDIVISION NAME: MD.	SECT. 3	BLK. C	PARCEL. A	PLAT. 7434	BLOCK 21
ZONE M-2	TAX/ZONE MAP ELEC. DIST. 43	CENSUS TR. 6	6069.01	WATER CODE B-02	SEWER CODE B-02

NEW SDP - 96 - 63	
DATE	REVISION
2/27/04	ADDED STORM DRAIN PROFILE AND SANITARY SEWER PROFILE BY GWS.
DESIGN	B.B.
DRAWN	S.M.C.
CHECKED	D.J.M.

SMELKINSON SYSCO 1996 EXPANSION

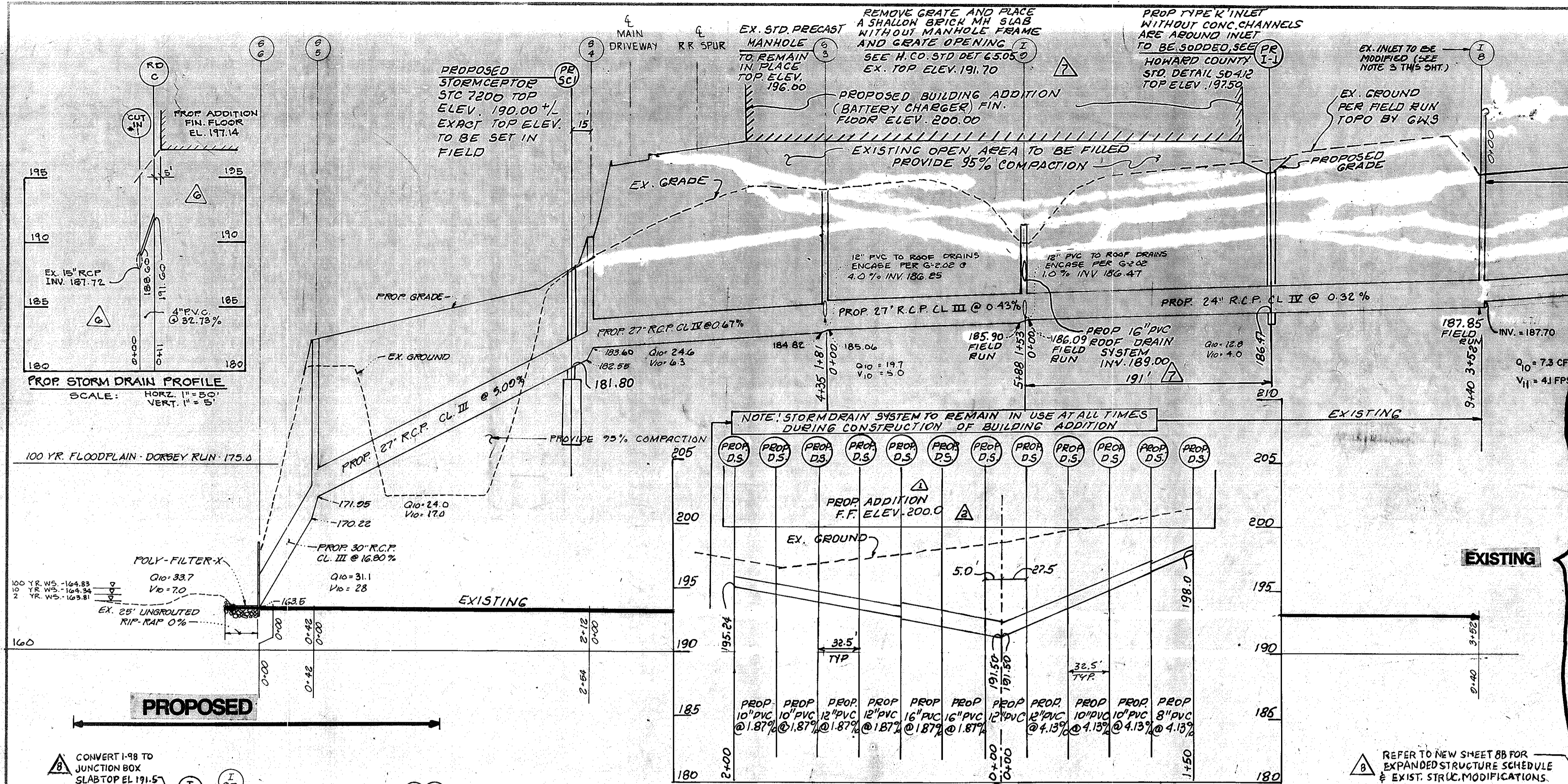
STORMDRAIN PROFILES

TAX MAP 43 6TH ELECTION DISTRICT OF HOWARD COUNTY MD.

DRAWING NO. 95126.02	SCALE SP	DATE NOVEMBER, 1996	SHEET NO. SP 4 OF 8
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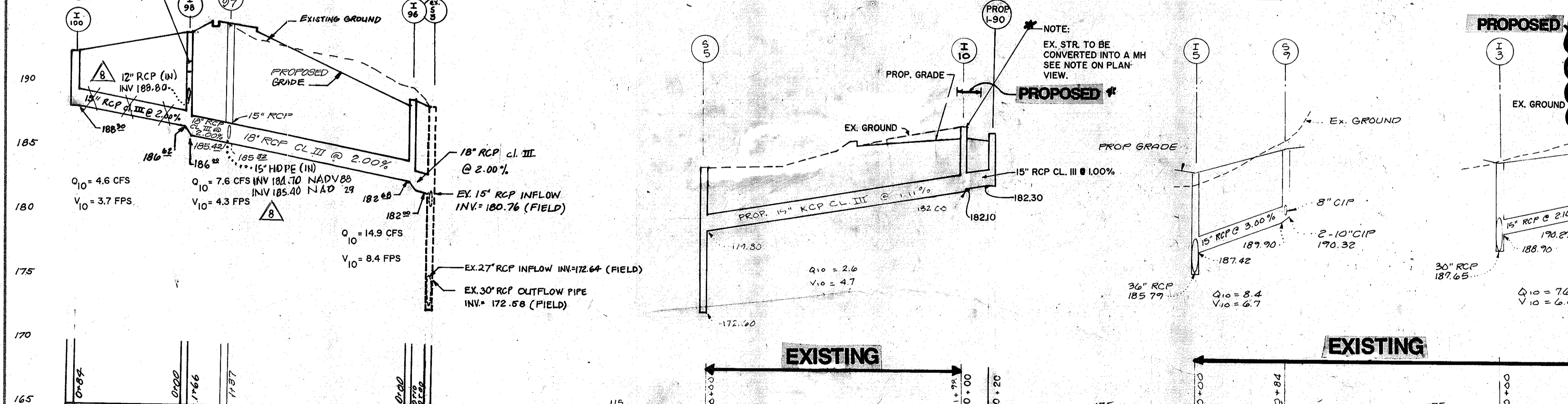
gpi GREENMAN-PEDERSEN INC. ENGINEERS/ARCHITECTS/PLANNERS - LAUREL, MARYLAND

Chief Development Engineering Division P.A.K. 2/8/96 Date  
Chief, Division of Land Development and Research M. 2/9/96 Date  
Director 2/9/96 Date

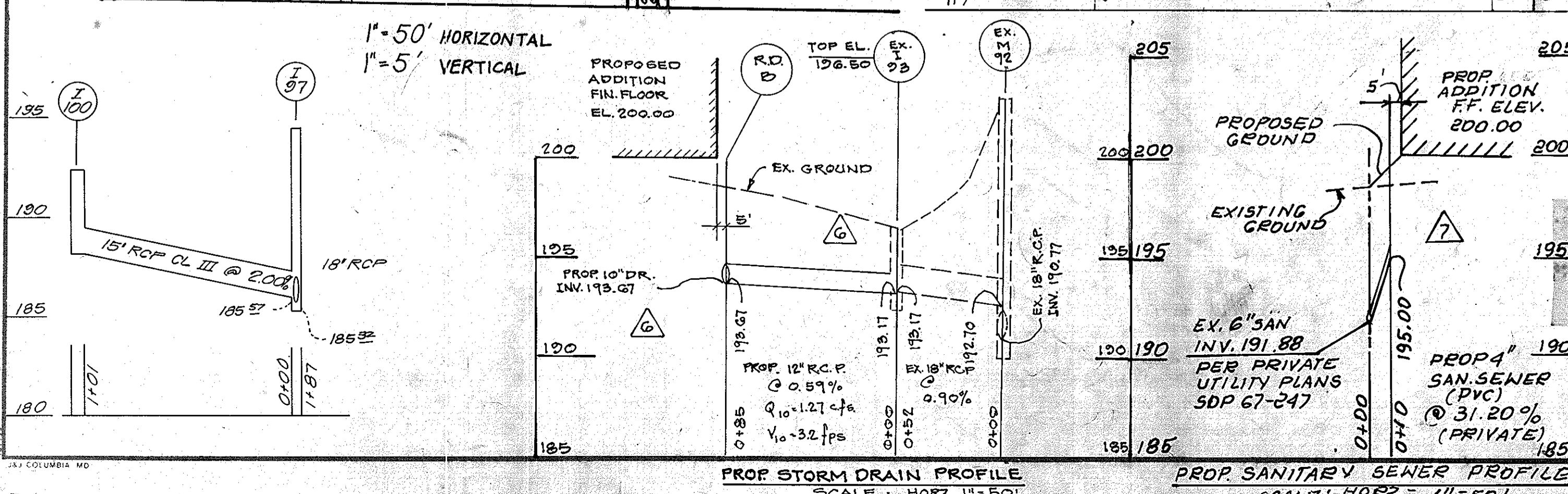


**STORM DRAIN STRUCTURE SCHEDULE**

No	TYPE	TOP ELEVATION	INV. IN	INV. OUT	REMARKS
S-2	'C' ENDWALL	168.00	162.50	162.50	SEE HOWARD CO. DETAIL SD-5.21
I-7	'D' INLET GRATE	189.90	178.51	178.26	" " " " SD-4.11
I-6	'A-5' INLET	192.70	185.74	183.76	" " " " SD-4.01
I-5	'S' INLET	193.70	187.32	185.77	" " " " SD-4.22
I-4	'A-5' INLET	193.70	186.76	186.71	" " " " SD-4.01
I-3	'S' INLET	194.40	187.70	187.65	" " " " SD-4.22
I-2	'S' INLET	194.40	188.87	188.82	" " " " SD-4.22
I-1	'S' INLET	194.40	190.09	189.60	" " " " SD-4.22
S-1	'S' INLET	194.90	191.60	-	" " " " SD-4.22
I-17	'A-5' INLET	189.40	-	-	" " " " SD-5.21
I-18	'A-5' INLET	201.00	-	197.00	" " " " SD-4.01
S-7	'C' ENDWALL	170.83	-	168.58	" " " " SD-5.21
I-13	'A-5' INLET	173.20	169.78	169.43	WITH INLET DEFLECTORS SD-4.83
I-12	'A-5' INLET	186.27	183.65	183.30	WITH INLET DEFLECTORS SD-4.83
I-11	'A-5' INLET	202.91	-	197.00	WITH INLET DEFLECTORS SD-4.83
I-16	'A-5' INLET	180.94	179.25	179.00	" " " " SD-4.01
I-15	'A-5' INLET	184.00	180.00	179.75	" " " " SD-4.01
I-14	'A-5' INLET	190.44	-	186.90	" " " " SD-4.01
S-6	'C' ENDWALL	169.00	163.50	163.50	" " " " SD-5.21
S-5	'C' ENDWALL	184.40	171.95	170.22	" " " " SD-5.11
S-4	'C' ENDWALL	192.00	182.50	182.50	" " " " SD-5.11
S-3	'C' ENDWALL	194.40	185.06	184.82	" " " " SD-5.11
I-9	'K' INLET GRATE	192.80	185.97	185.72	" " " " SD-4.13
I-8	'K' INLET GRATE	191.10	-	187.10	" " " " SD-4.13
I-10	'D' INLET GRATE	187.70	-	182.00	SEE HOWARD CO. DETAIL SD-4.11
S-8	STD. PRECAST MH	194.45	185.50	185.40	" " " " SD-5.11
S-9	STD. PRECAST MH	195.35	190.32	189.90	" " " " SD-5.11
S-10	STD. PRECAST MH	195.43	190.68	190.27	SEE HOWARD CO. DETAIL SD-5.11
I-100	'A-10' INLET	192.50	-	186.30	SEE HOWARD CO. DETAIL SD-4.02
I-98	'A-10' INLET	194.50	186.62	186.00	" CONVERT I-98 TO JUNCTION SD-4.02
I-96	'A-10' INLET	189.00	182.18	182.00	" " " " SD-4.02
I-94	'A-10' INLET	186.80	174.23	173.55	" " " " SD-4.02
I-93	DOUBLE 'S' INLET	196.00	190.06	189.72	" " " " SD-4.23
I-90	'A-5' INLET	186.50	182.30	182.30	" " " " SD-4.01
M-2	STD. PRECAST MH	203.22	192.78	190.11	" " " " SD-5.12
I-97	STD. PRECAST MH	194.5	185.42	185.34	See Ho. Co. Detail SD-5.12



- IN ADDITION TO THE NEWLY PROPOSED STORM DRAIN, THE FOLLOWING MODIFICATIONS TO THE EX. STR. (S) ARE TO BE PERFORMED:
- EX. INLET (STR. I-7) TO BE CONVERTED INTO A MH BY REMOVING THE TOP 10" ADJUSTING THE TOP ELEVATION AND PLACING A MH FRAME AND COVER FLUSH WITH PROPOSED GROUND.
  - EXISTING INLET I-10 TO BE CONVERTED INTO AN 'A' MH BY REMOVING THE TOP GRATE AND REDUCING ITS HEIGHT BY ROUGHLY 1" THEN PLACING A CONCRETE SLAB FLUSH WITH PROPOSED GROUND AT ELEVATION 187.00.
  - TOP OF EX. INLET (STR. I-8) TO BE RAISED 1.8' TO ELEV. 192.90.
  - Top of Ex. Inlet (Str. I-9) to be Raised to Elev. 190.82
  - Top of Ex. MH (Str. S-3) to be Raised to Elev. 196.22



Engineer  
Greenman-Pedersen, Inc.  
14504 Greenview Drive, Suite 100  
Laurel, MD 20708  
(410) 880-3055

Owner/Developer  
Smelkinson Sysco Food Service, Inc.  
8000 Dorsey Run Road  
Jesup, MD 20794  
(410) 799-7000

REVISION TABLE

REV. NO.	REVISION	DATE
8	REVISED EXISTING STRUCTURES & PIPE PROFILES, ADDED NEW PIPE PROFILES, EXPANDED STRUCTURE SCHEDULE BY BPR, INC. REFER TO SHEET 8B	10/15/12
7	ADDED STORM DRAIN PROFILES - BY GWS	02/27/04
6	REVISED EX. STORM DRAIN PROFILE ADDED PROP SD PROFILE & SEWER PROFILE BY GWS	05/21/04

SMELKINSON SYS CO 1996 EXPANSION

NEW SDP - 96 - 63

STORMDRAIN PROFILES

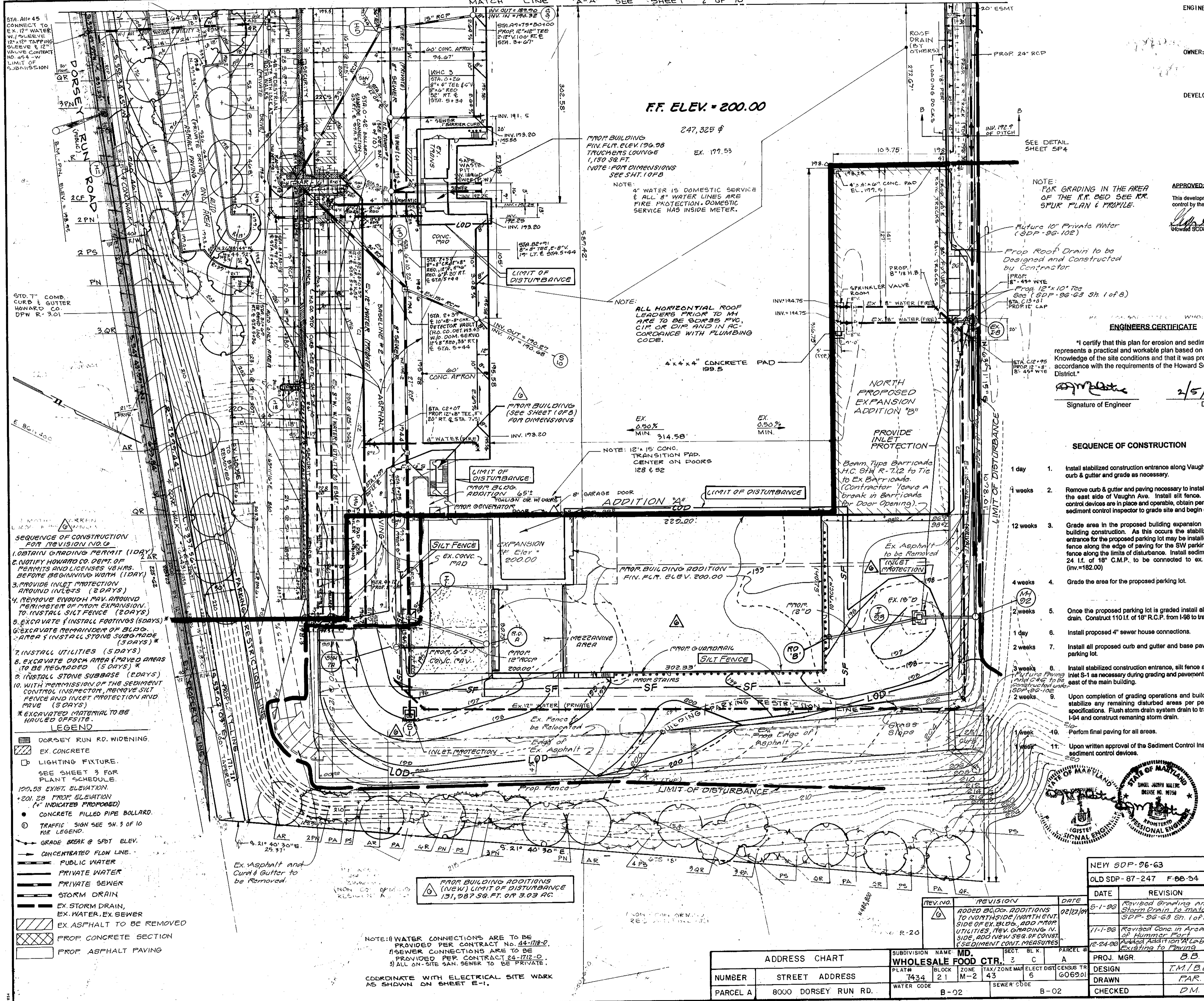
TAX MAP 43 6TH ELECTION DISTRICT OF HOWARD COUNTY MD.

DRAWING NO. 95126.02SP SCALE: HORIZ. 1" = 50' VERT. 1" = 5'

DATE: NOVEMBER, 1995 SHEET NO. 5 OF 8

GREENMAN-PEDERSEN INC. ENGINEERS/ARCHITECTS/PLANNERS - LAUREL, MARYLAND

SDP-96-63



ENGINEER: Greenman-Pedersen, Inc.  
1046 West Street  
Laurel, MD 20707  
Phone: (301) 551-2772

OWNER: Maryland Food Center Authority  
201 West Preston Street  
Baltimore, MD 21201  
Phone: (301) 225-1900

DEVELOPER: CFS Continental  
c/o Continental Smelkinson  
7855 Rappahannock Drive  
Jesup, MD 20795  
Phone: (301) 799-7000

APPROVED: [Signature] 2/4/96 Date  
Reviewed for HOWARD SCD and meets Technical Requirements.  
USDA-Natural Resources Conservation Service

APPROVED: [Signature] 2/4/96 Date  
Reviewed for HOWARD SCD and meets Technical Requirements.  
USDA-Natural Resources Conservation Service

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
[Signature] 2/5/96 Date  
Chief, Development Engineering Division M.K.

[Signature] 2/9/96 Date  
Chief, Division of Land Development and Research

[Signature] 2/3/96 Date  
Director

ENGINEERS CERTIFICATE  
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 2/5/96 Date  
Signature of Engineer

BULK REGULATIONS  
Section 119 M-2 District

Maximum height of structure with minimum set back is 50 feet.  
Minimum setback for buildings from any external public street or right-of-way is 50 feet.  
Minimum setback for fences and parking uses from any external public street or right-of-way is 30 feet.  
Minimum setback for buildings from any residential district other than the public street right-of-way is 150 feet.

DEVELOPERS CERTIFICATE  
"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approval Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

[Signature] 2/5/96 Date  
Signature of Developer

Engineer  
Greenman-Pedersen, Inc.  
14504 Greenview Drive, Suite 100  
Laurel, MD 20708  
(410) 880-3055

Owner/Developer  
Smelkinson Sysco Food Service, Inc.  
8000 Dorsey Run Road  
Jesup, MD 20794  
(410) 799-7000

EXISTING GRADES ON THIS PLAN WERE COMPLETED UNDER GRADING PLAN NO. PHASE I - GP-87-64 AND PHASE II - GP-87-65

NOTE: SEE ATTACHED DRAWING (SITE PLAN) FOR BETTER CLARITY OF PROPOSED CONDITIONS.

NEW SDP-96-63		SMELKINSON SYSKO 1996 EXPANSION	
OLD SDP-87-247 F-68-54		SEDIMENT CONTROL PLAN	
DATE	REVISION	TAX MAP # 43 6TH ELECTION DISTRICT OF HOWARD COUNTY MD.	SHEET NO.
5-1-90	Revised Grading and Storm Drain to match SDP-96-63 Sh. 1 of B.	9512G-02 SP4	SP 6 OF 8
11-1-90	Revised Cont. in Area of Building Foot.	SCALE	DATE
12-24-90	Added Addition Labels Existing to Paving	1" = 40'-0"	NOV. 1995
DESIGN	T.M./B.B.	DATE	SHEET NO.
DRAWN	F.A.R.	NOV. 1995	SP 6 OF 8
CHECKED	D.M.	GREENMAN-PEDERSEN INC. ENGINEERS/ARCHITECTS/PLANNERS - LAUREL, MARYLAND	

F.F. ELEV. = 200.00

247,325 \$  
EX. 177.53  
PRIOR BUILDING FIN. FLR. ELEV. 196.98  
TRUCKERS LOUNGE  
1,150 SQ. FT.  
NOTE: FOR DIMENSIONS SEE SH. 1 OF B

NOTE:  
4" WATER IS DOMESTIC SERVICE & ALL 8" WATER LINES ARE FIRE PROTECTION. DOMESTIC SERVICE HAS INSIDE METER.

NOTE:  
ALL HORIZONTAL ROOF LEADERS PRIOR TO MARCH ARE TO BE SCOPED, PIPED, CIP OR DIP AND IN ACCORDANCE WITH PLUMBING CODE.

NOTE: 12" x 15" CONC. TRANSITION PAD CENTER ON DOORS 128 & 92

NOTE: EX. ASPHALT TO BE REMOVED

NOTE: EX. ASPHALT AND CURB & GUTTER TO BE REMOVED

NOTE: EX. ASPHALT TO BE REMOVED

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- SEQUENCE OF CONSTRUCTION FOR REVISION NO. 2
- OBTAIN GRADING PERMIT (1 DAY)
  - NOTIFY HOWARD CO. DEPT. OF PERMITS AND LICENSES 48 HRS. BEFORE BEGINNING WORK (1 DAY)
  - PROVIDE INLET PROTECTION AROUND INLETS (2 DAYS)
  - REMOVE EXIST. PAV. AROUND PERIMETER OF PRIOR EXPANSION. TO INSTALL SILT FENCE (2 DAYS)
  - EXCAVATE & INSTALL FOOTINGS (5 DAYS)
  - EXCAVATE REMAINDER OF BLDG. AREA & INSTALL STONE SUBGRADE (5 DAYS)
  - INSTALL UTILITIES (5 DAYS)
  - EXCAVATE DOCK AREA & PAVED AREAS TO BE REGRADED (5 DAYS)
  - INSTALL STONE SUBBASE (2 DAYS)
  - WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SILT FENCE AND INLET PROTECTION AND PAVE (5 DAYS)
  - EXCAVATED MATERIAL TO BE HAULED OFF SITE

- LEGEND
- DORSEY RUN RD. WIDENING
  - EX. CONCRETE
  - LIGHTING FIXTURE. SEE SHEET 3 FOR PLANT SCHEDULE.
  - 100.00 EXIST. ELEVATION.
  - 201.28 PROP. ELEVATION
  - (\*) INDICATES PROPOSED
  - CONCRETE FILLED PIPE BOLLARD.
  - TRAFFIC SIGN SEE SH. 3 OF 10 FOR LEGEND.
  - GRADE BREAK @ SPOT ELEV.
  - CONCENTRATED FLOW LINE.
  - PUBLIC WATER
  - PRIVATE WATER
  - PRIVATE SEWER
  - STORM DRAIN
  - EX. STORM DRAIN, EX. WATER, EX. SEWER
  - EX. ASPHALT TO BE REMOVED
  - PROP. CONCRETE SECTION
  - PROP. ASPHALT PAVING

NOTE: 1) WATER CONNECTIONS ARE TO BE PROVIDED PER CONTRACT NO. 43-118-D.  
2) SEWER CONNECTIONS ARE TO BE PROVIDED PER CONTRACT 24-1712-D.  
3) ALL ON-SITE SAN. SEWER TO BE PRIVATE.

COORDINATE WITH ELECTRICAL SITE WORK AS SHOWN ON SHEET E-1.

ADDRESS CHART		SUBDIVISION NAME		SECT. BLK.		PARCEL #	
NUMBER	STREET ADDRESS	4334	WHOLESALE FOOD CTR.	3	C	43	A
PARCEL A	8000 DORSEY RUN RD.	WATER CODE	B-02	SEWER CODE	B-02		

REV. NO.	REVISION	DATE
1	ADDED BLDG. ADDITIONS TO NORTHSIDE (NORTH END) SIDE OF EX. BLDG. ADD PROP. UTILITIES, REV. GRADING IN SIDE, ADD NEW SEW. OF CONVE. & SEDIMENT CONT. MEASURES	02/12/96
2		
3		

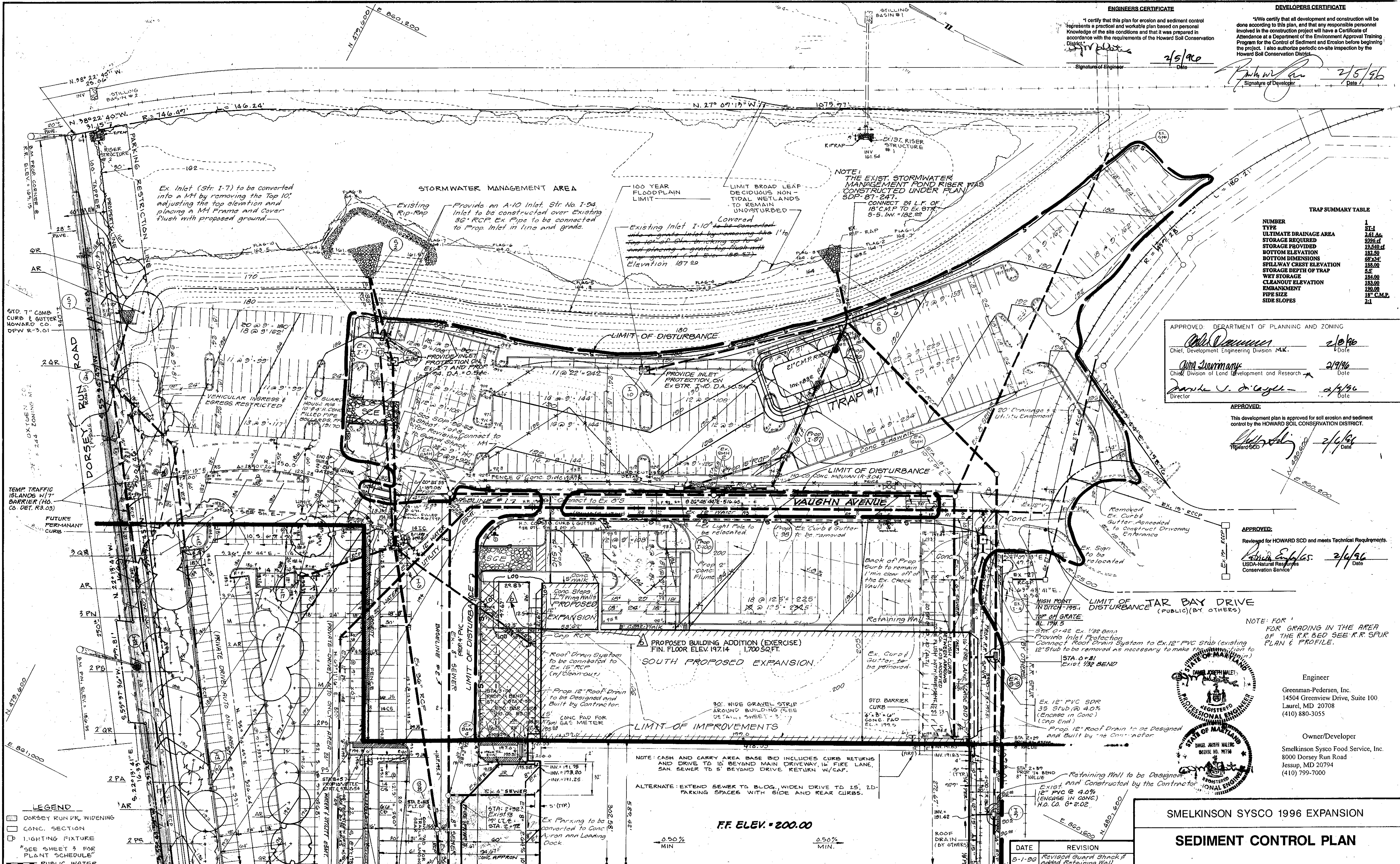
DATE	REVISION
5-1-90	Revised Grading and Storm Drain to match SDP-96-63 Sh. 1 of B.
11-1-90	Revised Cont. in Area of Building Foot.
12-24-90	Added Addition Labels Existing to Paving

I certify that this plan for erosion and sediment control represents a practical and workable plan based on personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approval Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Engineer: *[Signature]* Date: 2/5/96

Signature of Developer: *[Signature]* Date: 2/5/96



TRAP SUMMARY TABLE

NUMBER	TYPE	STI
1	ULTIMATE DRAINAGE AREA	2,61 Ac
	STORAGE REQUIRED	2,395 cu ft
	STORAGE PROVIDED	1,575 cu ft
	BOTTOM ELEVATION	68'3.4"
	SPILLWAY CREST ELEVATION	188.00
	STORAGE DEPTH OF TRAP	5.5'
	WET STORAGE	188.00
	CLEANOUT ELEVATION	183.00
	EMBANKMENT	180.00
	PIPE SIZE	18" C.M.P.
	SIDE SLOPES	2:1

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 2/8/96  
Chief, Development Engineering Division M.K. Date

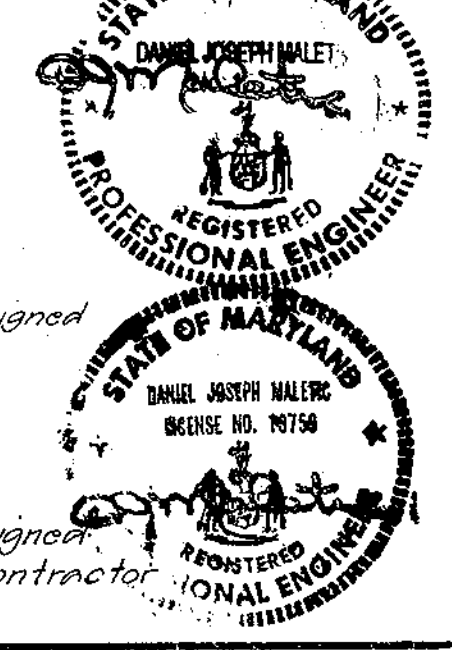
*[Signature]* 2/9/96  
Chief, Division of Land Development and Research Date

*[Signature]* 2/5/96  
Director Date

APPROVED: *[Signature]* 2/6/96  
Howard SCD Date

APPROVED: *[Signature]* 2/6/96  
Reviewed for HOWARD SCD and meets Technical Requirements. Date

USDA-Natural Resources Conservation Service



Engineer  
Greenman-Pedersen, Inc.  
14504 Greenview Drive, Suite 100  
Laurel, MD 20708  
(410) 880-3055

Owner/Developer  
Smelkinson Sysco Food Service, Inc.  
8000 Dorsey Run Road  
Jesup, MD 20794  
(410) 799-7000

SMELKINSON SYSCO 1996 EXPANSION

**SEDIMENT CONTROL PLAN**

DATE	REVISION
5-1-96	Revised Guard Shack and Added Retaining Wall, moved Limit of Disturbance
6-13-96	Revised Parking and Relocated Flag Pole RCP
11-1-96	Parking & Grading Revised

TA. MA. 43 6TH ELECTION DISTRICT OF HOWARD COUNTY MD.

DRAWING NO. 05126-02 SP SCALE 1" = 40'-0" DATE NOV. 1995 SHEET NO. SP 7 OF 8

**spi** GREENMAN-PEDERSEN INC.  
ENGINEERS/ARCHITECTS/PLANNERS - LAUREL, MARYLAND

LEGEND

- DORSEY RUN PK. WIDENING
- CONC. SECTION
- LIGHTING FIXTURE
- "SEE SHEET 3 FOR PLANT SCHEDULE"
- PUBLIC WATER
- PRIVATE WATER
- PRIVATE SEWER
- STORM DRAIN
- EX. STORM DRAIN
- EX. WATER, EX. SEWER

NOTE: WATER CONNECTIONS ARE TO BE PROVIDED PER CONTRACT NO. 44-1718-D. SEWER CONNECTIONS ARE TO BE PROVIDED PER CONTRACT NO. 24-1712-D. ALL ON-SITE SAN SEWER TO BE PRIVATE.

REV. NO.	REVISION	DATE
6	ADDED BUILDING ADDITION TO SOUTHEAST SIDE OF EXISTING BUILDING BY G.W.S.	02/27/04

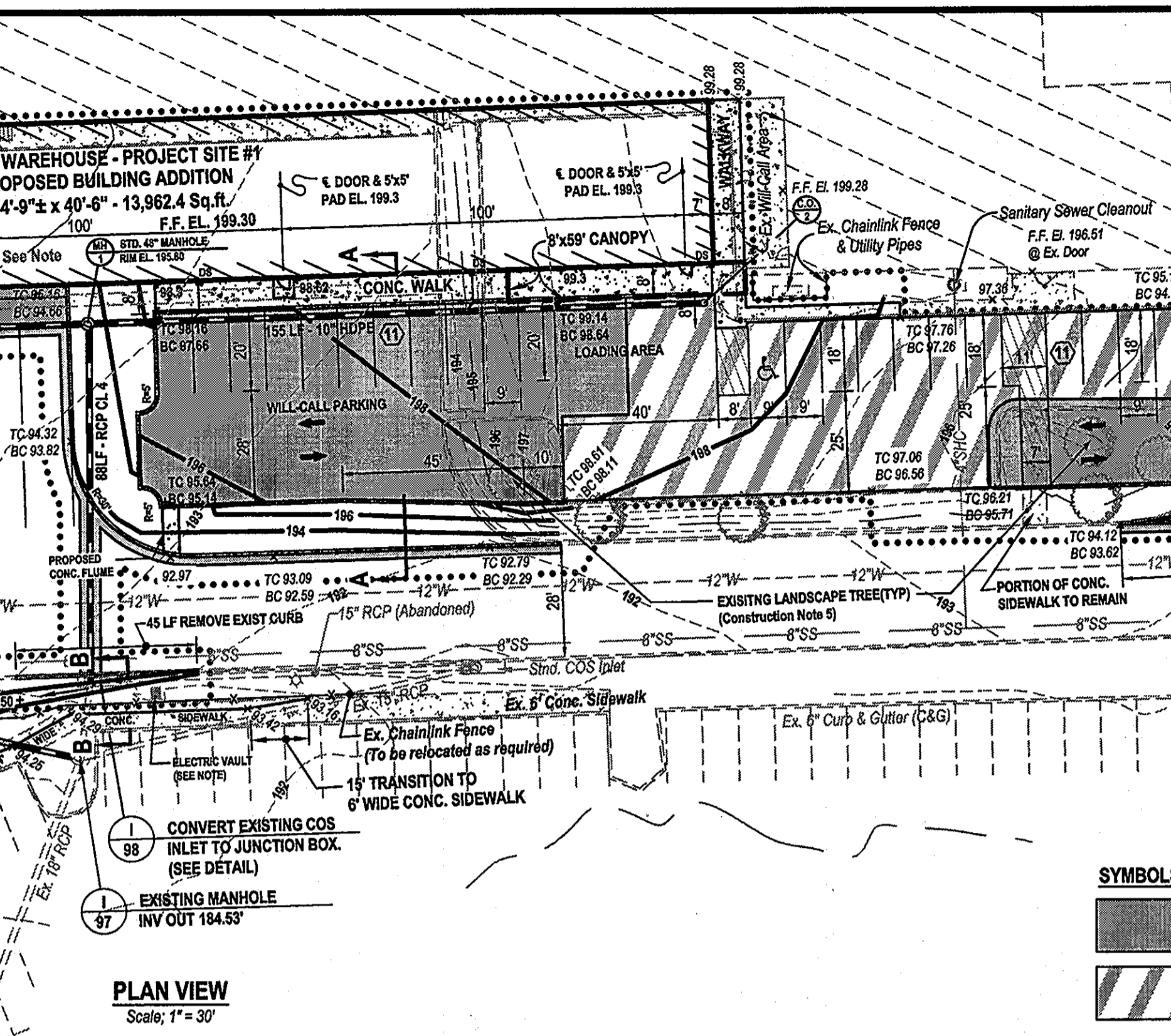
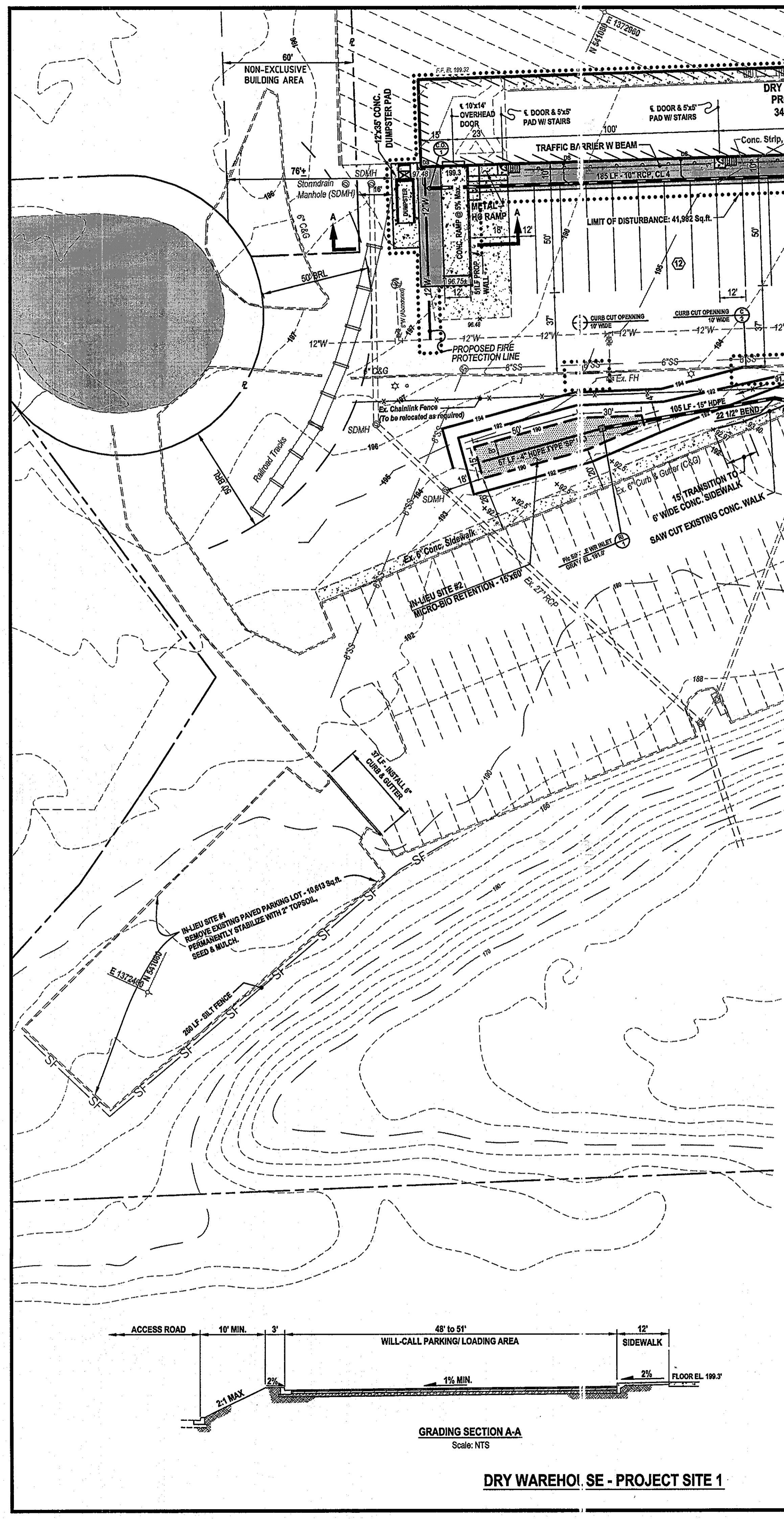
NEW SDP -96-63

OLD SDP-247 PARCEL A

ADDRESS CHART	SUBDIVISION NAME	PI. AT.	BLOCK #	ZONE	TAX/ZONING MAP	ELECT. DIST.	CENSUS TR.
8060 DORSEY RUN RD.	MD. WHOLESALE FOOD CTR.	1434	21	M-2	43	6	6069.01

WATER CODE B-02 SEWER CODE B-02

DATE	REVISION
5-1-96	Revised Guard Shack and Added Retaining Wall, moved Limit of Disturbance
6-13-96	Revised Parking and Relocated Flag Pole RCP
11-1-96	Parking & Grading Revised



**CONSTRUCTION NOTES**

- The portion of the Will-Call parking area designated for pavement overlay shall be milled 1", tack coated, and wedge and leveled to allow a 1" surface course over the entire parking and loading area.
- All existing utility line locations are approximate only. Contractor shall conduct test bores to locate the exact position of any line designated for a proposed connection or when working closely to it. Special attention should be given to the concrete trench repair locations in both the Dry Warehouse truck parking area and Freezer building expansion paved areas, the purpose of these concrete patches have not been identified.
- The existing 12" waterline located in the truck access and parking area along the Dry Warehouse expansion is a public line, conveyed to Howard County Department of Public Works by PLAT 7434, recorded on October 7, 1987, among the Land Records of Howard County.
- The Vertical Datum used for this project is NAVD88 using Howard County control monuments.
- No Specimen trees shall be disturbed as a result of these improvements. ALL Existing landscape trees within the limits of disturbance shall be relocated or replaced at a 1:1 ratio.
- The Building is Sprinklered. An Existing Fire Department Connection (FDC) is Located in the Rear Wall by the Sprinkler Valve Room.
- This site is subject to the approval conditions as set forth in Waiver Petition WP-13-042 (approval for a request to waive Section 16.1201(n)), and is described as follows: The Net Tract Area used to calculate the Forest Conservation Obligations is based on the 1.52 acres Limit of Disturbance (LOD) for construction of two buildings totaling 30,313 square feet for freezer and dry goods storage. Before the building permit will be approved, the applicant is required to pay a Fee-in-lieu in the amount of \$7,514.10 for the reforestation obligation of 0.23 acres (10,018.80 square feet) calculated at the rate of \$0.75 per square foot. A copy of the payment receipt for the Forest Conservation Fee-in-lieu payment shall be submitted to Ms. Brenda Luber, DPZ, Division of Land Development for reporting purposes to the State.

**APPENDIX E - FOREST CONSERVATION WORKSHEET**

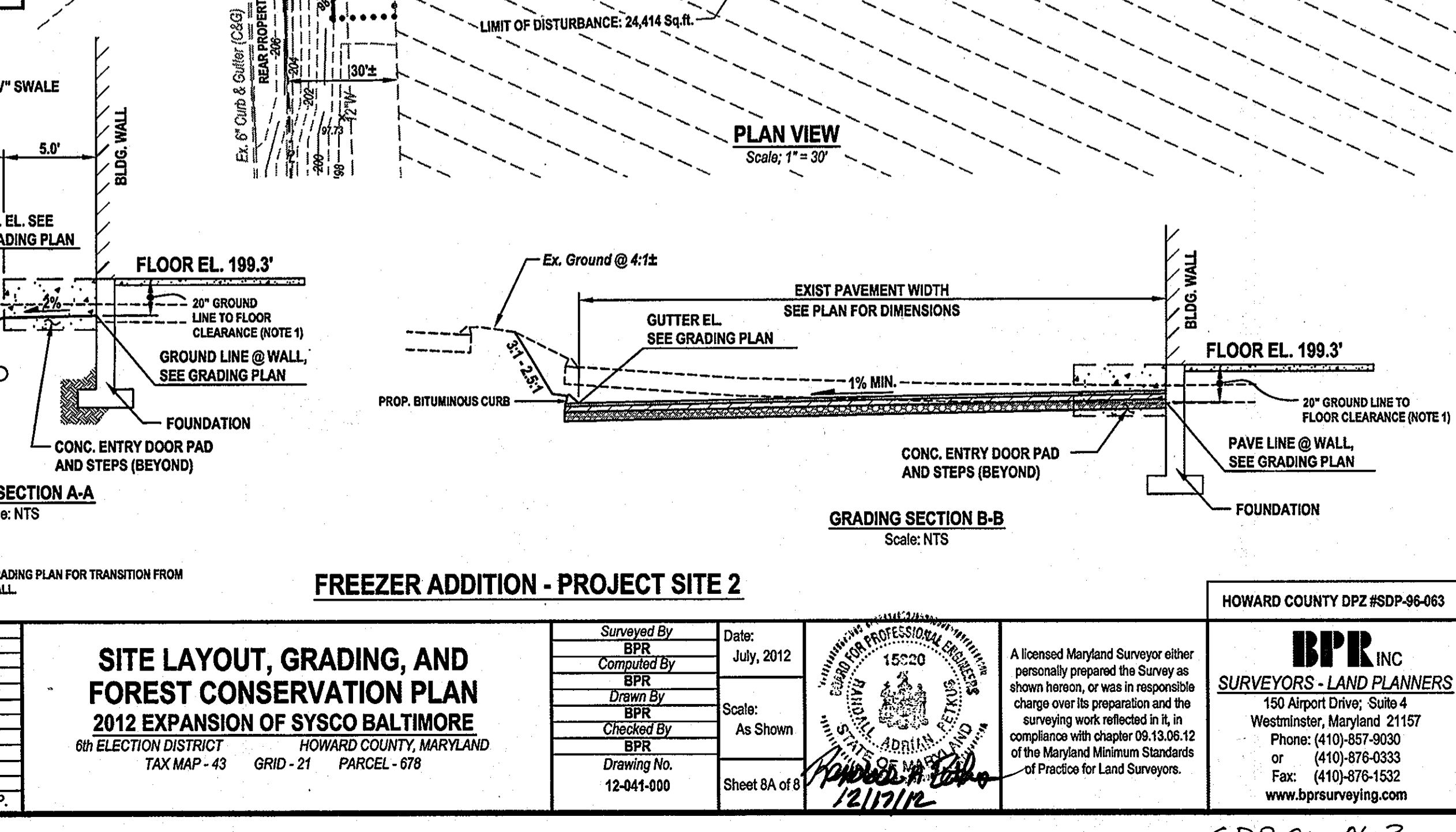
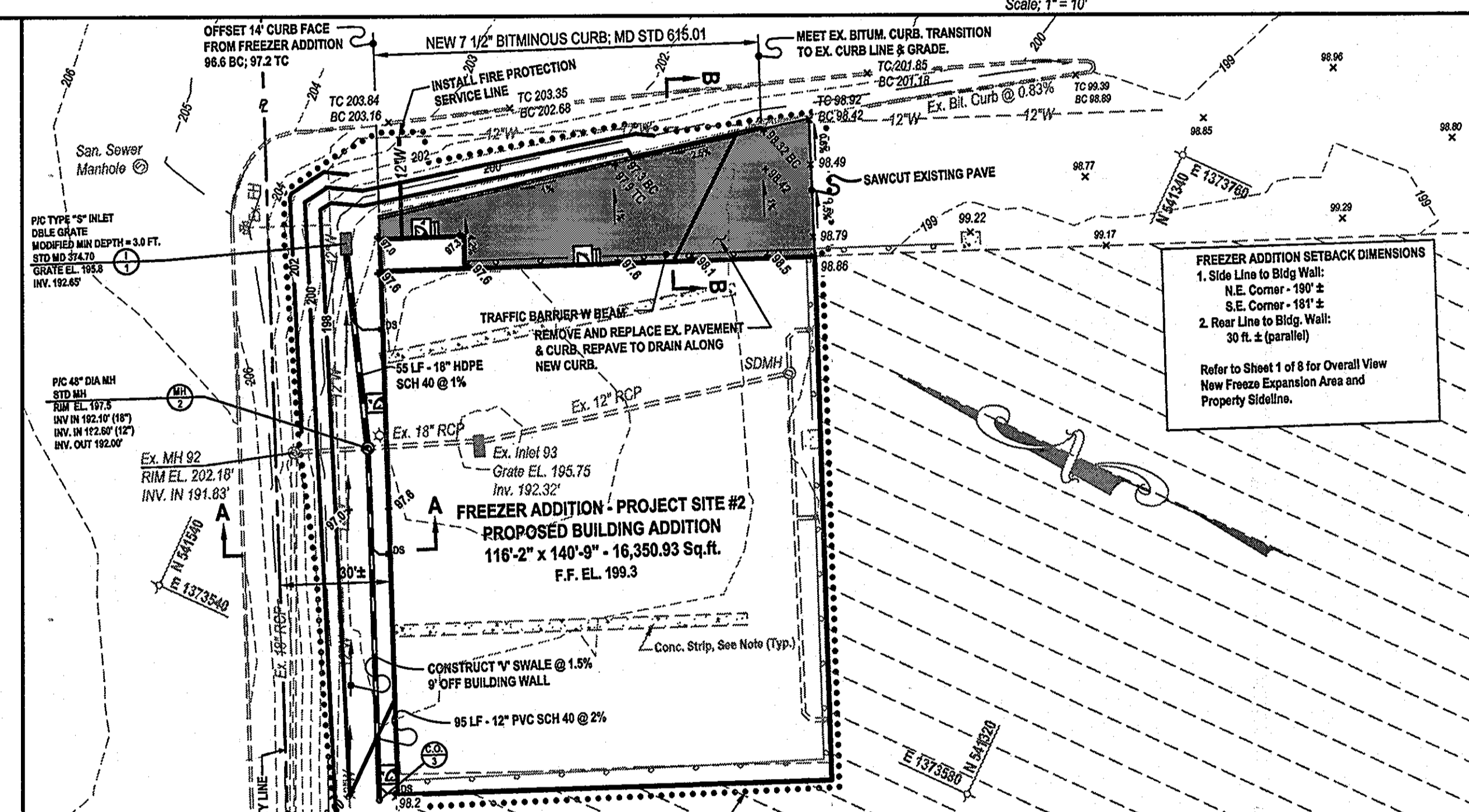
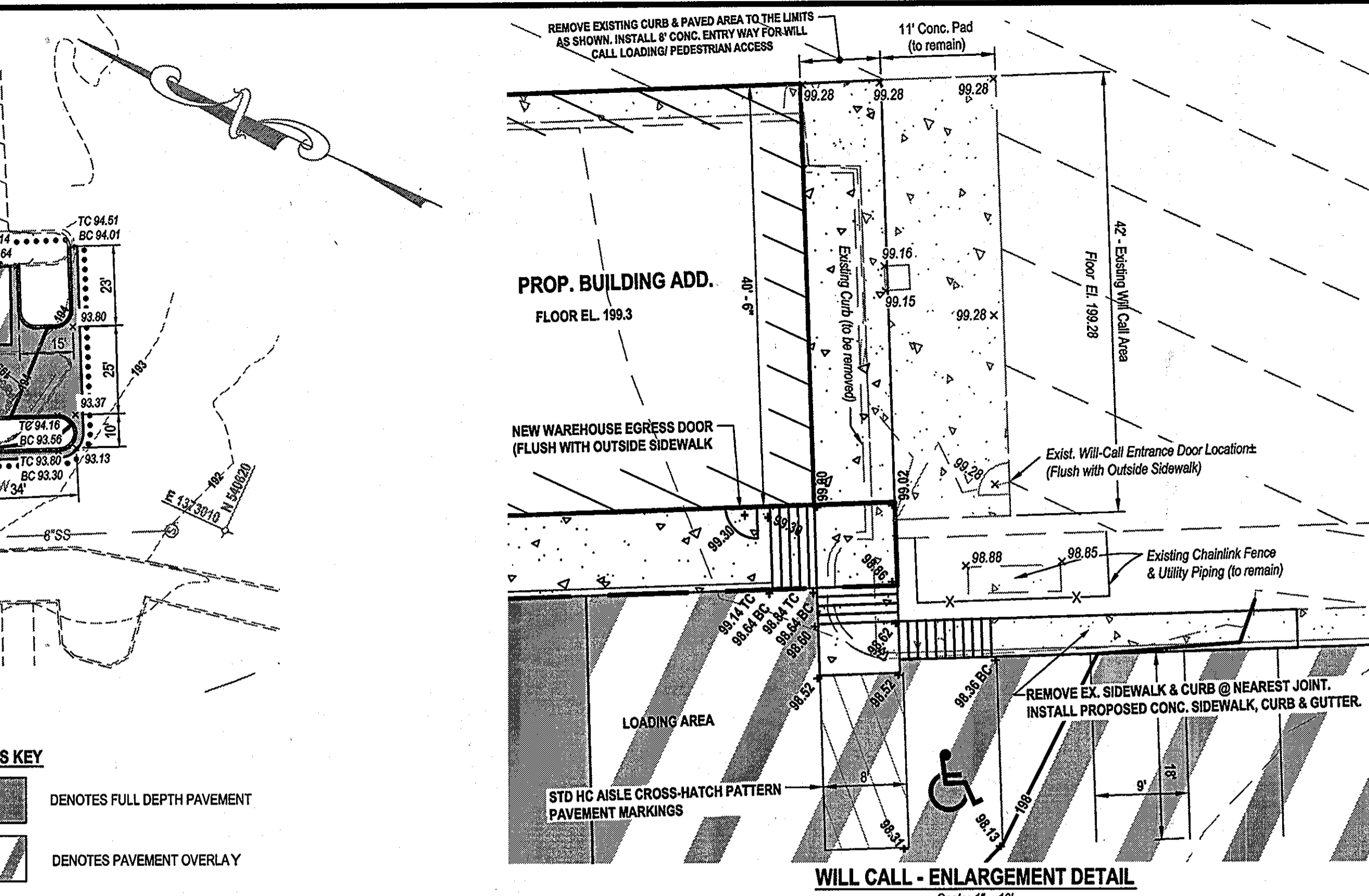
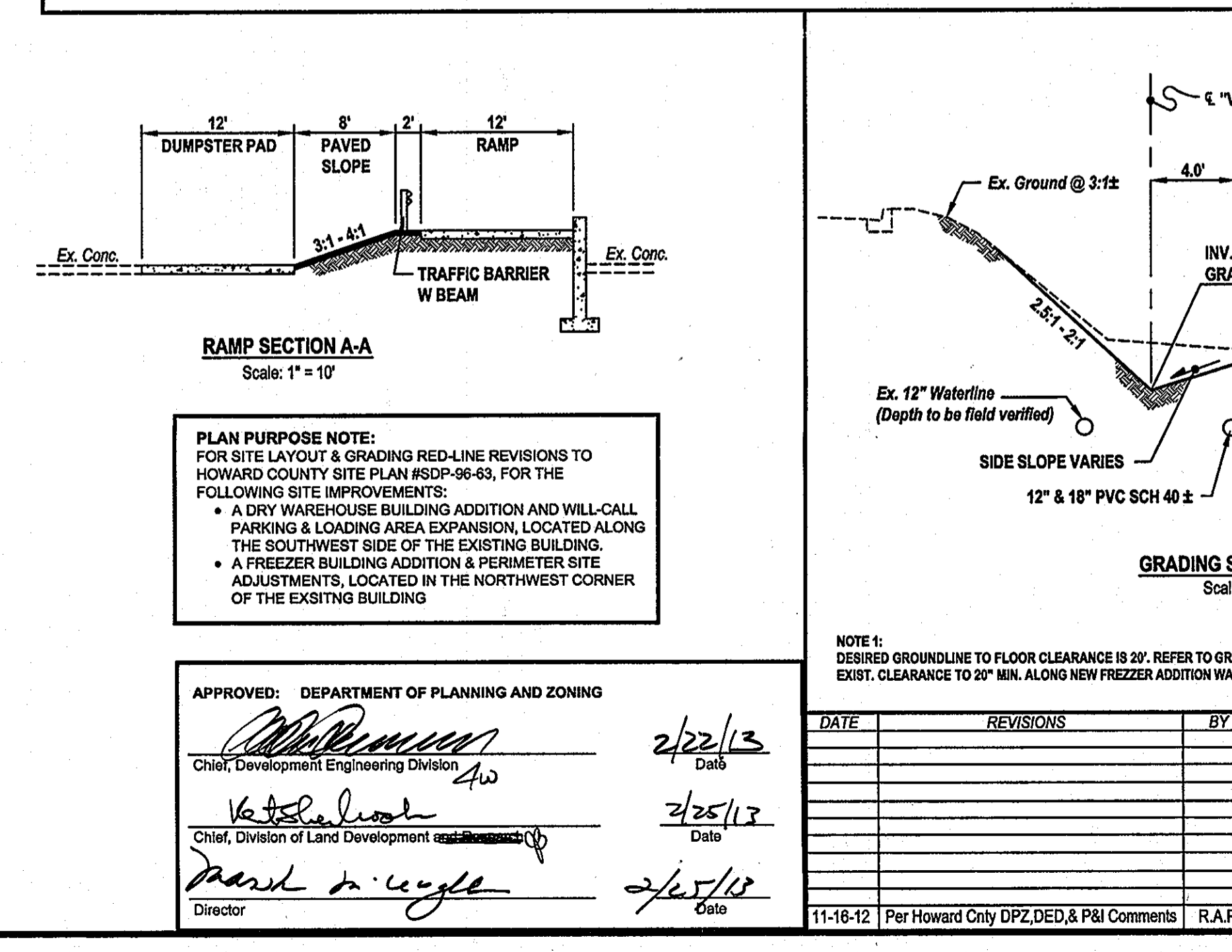
**I. BASIC SITE DATA**

Gross Site Area:	28.389 Acres
Area within 100YR Floodplain:	02.000 Acres
Area within Agricultural Use or Preservation Parcel:	00.000 Acres
Net Tract Area:	01.520 Acres (As determined per Waiver Petition WP-13-042)
Land Use Category:	Industrial

**V. AFFORESTATION CALCULATION**

A. Net Tract Area:	01.520 Acres
B. Afforestation Minimum: (15%):	00.230 Acres
C. Existing Forest on Net Tract Area:	00.000 Acres
D. Forest Areas to be Cleared:	00.000 Acres
E. Forest Areas to be Retained:	00.000 Acres

**AFFORESTATION REQUIRED: 0.230 Acres**



**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division: *[Signature]* 2/22/13 Date

Chief, Division of Land Development: *[Signature]* 2/25/13 Date

Director: *[Signature]* 2/25/13 Date

DATE	REVISIONS	BY
11-16-12	Per Howard City DPZ, DED, & P&I Comments	R.A.P.

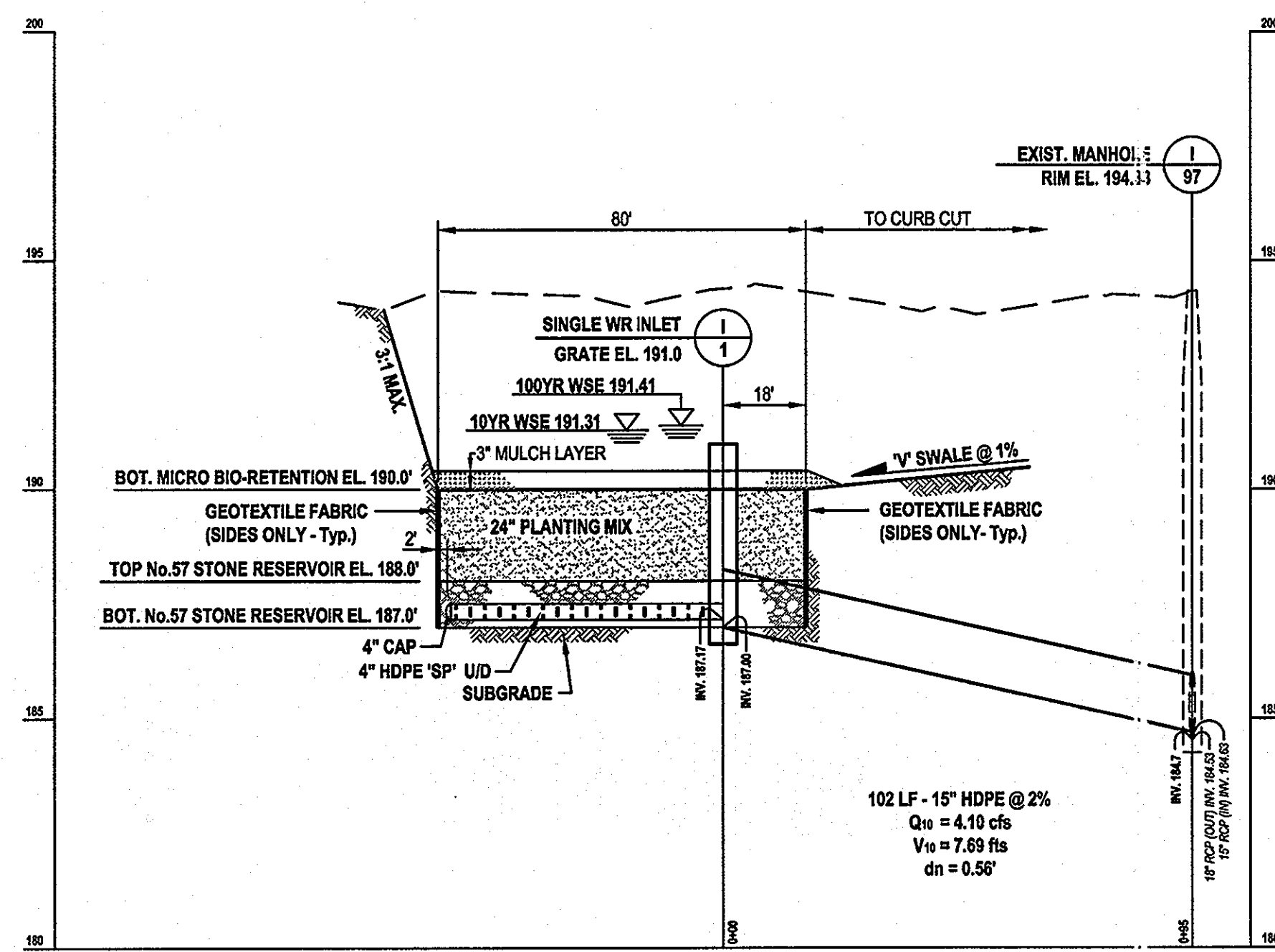
**SITE LAYOUT, GRADING, AND FOREST CONSERVATION PLAN**  
**2012 EXPANSION OF SYSCO BALTIMORE**  
 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 TAX MAP - 43 GRID - 21 PARCEL - 678

**FREEZER ADDITION - PROJECT SITE 2**

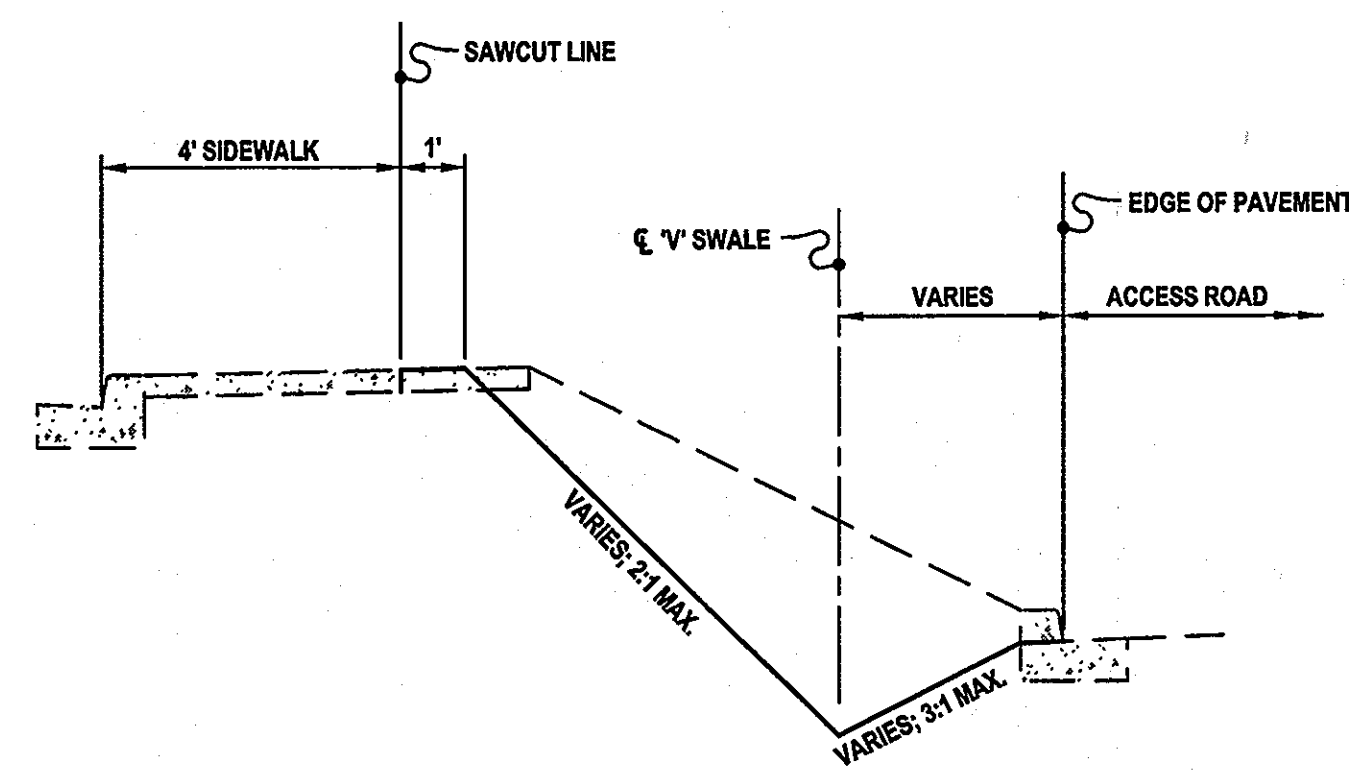
Surveyed By: BPR  
 Computed By: BPR  
 Drawn by: BPR  
 Checked By: BPR  
 Drawing No.: 12-041-000  
 Date: July, 2012  
 Scale: As Shown  
 Sheet 8A of 8

**HOWARD COUNTY DPZ #SDP-96-063**

**BPR INC**  
**SURVEYORS - LAND PLANNERS**  
 150 Airport Drive, Suite 4  
 Westminister, Maryland 21157  
 Phone: (410) 857-9933  
 or (410) 875-0333  
 Fax: (410) 875-1532  
 www.bprsurveying.com



**STORMWATER MANGEMENT BIO-RETENTION PROFILE**  
Scale: H 1" = 30'; V 1" = 3'



**SWM SECTION B-B (on Sht 8A)**  
Scale: H 1" = 30'; V 1" = 3'

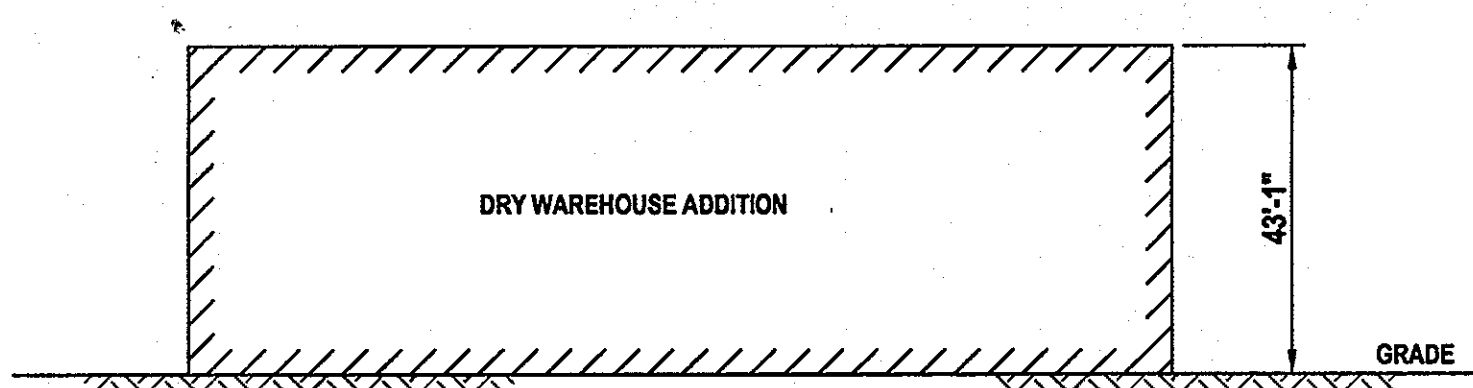
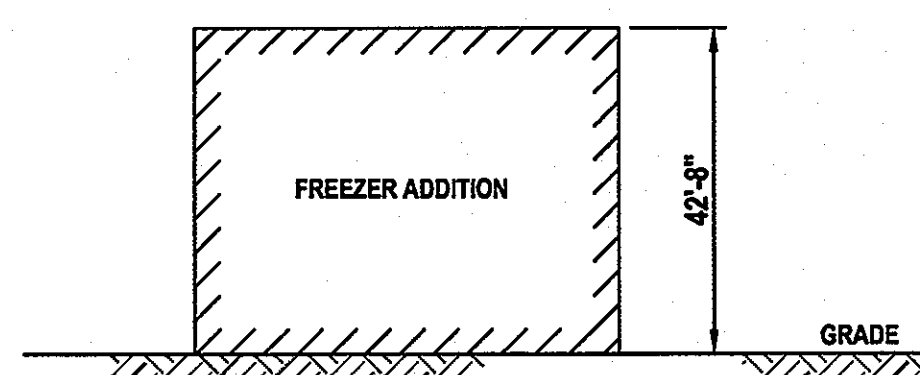
BIO-RETENTION FACILITY - PLANTING SCHEDULE		
PLANT DESCRIPTION	AMOUNT & SPACING	REMARKS
HERBACEOUS: Switchgrass (Panicum Virgatum)	100 @ 18" C-C	Plant in 1/3 bottom area @ swale approach & riser vicinity
SHRUB: Winterberry (Ilex Verticillata)	15 @ 48" C-C	Plant in Remaining 2/3 of bottom, alternate w/ other plantings
SHRUB: Buttonbush (Cephalanthus Occidentalis)	15 @ 48" C-C	Plant in Remaining 2/3 of bottom, alternate with other plantings
HERBACEOUS: Tall Coneflower (Rudbeckia Laciniata)	15 @ 48" C-C	Plant in Remaining 2/3 of bottom, alternate with other plantings

BIO-RETENTION FACILITY - MATERIALS SPECIFICATIONS		
MATERIAL	SIZE & SPECIFICATION	REMARKS
Plantings	n/a	Refer to Planting Schedule, this sheet.
3" Mulch Layer	Shredded Hardwood	Aged 6 Months Minimum
24" Planting Soil	35-50% Sand; 30-55% Silt; 10-25% Clay	USDA soil types loamy sand, sandy loam, or loam
Geotextile	Class "C" - Apparent Opening Size ASTM-D-4751 Grab Tensile Strength ASTM-D-4632 Puncture Resistance ASTM-D-4833	Install geotextile on all 4 sides (only) of planting area & stone reservoir only
Underdrain Gravel (for Stone Reservoir)	AASHTO M-43; 0.375" to 0.75"	No. 57 Stone or equivalent
4" Underdrain (U/D) Pipe	F758, Type PS 28 or AASHTO M-278	Rigid PVC, Schedule 40 or SDR 35
Riser Inlet - Precast Conc. Structure	M199, & Refer to SHA Std Spec Sec 305	

**OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION**

- Annual maintenance of plant material, mulch layer and soil layer is required. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland Stormwater Design Manual Volume II, Table A.4.1 and 2.
- Schedule of plant inspection will be twice a year in spring and fall. This inspection will include removal of dead and diseased vegetation considered beyond treatment, treatment of all diseased trees and shrubs and replacement of all defunct stakes and wires.
- Mulch shall be inspected each spring. Remove previous mulch layer before applying new layer once every 2 to 3 years.
- Soil erosion to be addressed on an as needed basis, with a minimum of once per month and after heavy storm events.

**MICRO BIO-RETENT ON FACILITY DETAILS**



**BUILDING HIEGHTS**

STRUCTURE SCHEDULE									
I.D. #	STRUCTURE IDENTIFICATION		ELEVATION (FT.)			STRUCTURE TYPE		SHA Std No.	REMARKS
	North	East	@Stake Pt.	Top	Invert In	Invert In	Invert Out		
I-1	541533.23	1373644.26	CLXCL Grate	195.8'	---	---	18" HDPE 192.65'	PVC Std Type 'S' Inlet DGT (Modified Depth)	MD 374.70
R-1	540999.65	1372784.57	CLXCL Grate	191.0'	---	---	4" HDPE U/D 187.00'	Single WR Inlet	MD 374.06
MH-1	540963.50	1372935.54	CL Base Unit	191.5'	10" HDPE 196.5'	10" RCP 192.50'	12" RCP 190.70'	48" Diameter PVC Manhole	MD 384.01
MH-2	541504.93	1373597.14	CL Base Unit	197.5'	12" HDPE 197.5'	18" HDPE 192.10'	Ex. Pipe 192.0'	48" Diameter PVC Manhole	MD 384.01
I-97	---	---	---	194.3'	Ex. Pipe 184.6'	15" HDPE 184.6'	Ex. Pipe 184.5'	Exist. Manhole (Modify for 15" Pipe Opening)	---
CO-1	541462.22	1373512.49	CL WYE	Cover 197.5'	---	---	10" RCP Standpipe & Cover	10"x4"-45" WYE, 45" Bend w/ 4"	---
CO-2	541118.88	1372852.10	CL WYE	Cover 198.64'	---	---	10" HDPE Standpipe & Cover	10"x4"-45" WYE, 45" Bend w/ 4"	---
CO-3	540816.68	1373004.57	CL WYE	Cover 198.2'	---	---	12" HDPE Standpipe & Cover	12"x4"-45" WYE, 45" Bend w/ 4"	---

NOTES: 1. SHA Std No. are References to the MD State Highway Administration, "Book of Standards for Highway and Incidental Structures"

PIPE SCHEDULE			
TYPE	MATERIAL	SIZE	QUANT.
HDPE Storm Drain, 4" Dia	High Density Polyethylene Pipe (HDPE) - Smooth Core, Double Wall Corrugated Pipe with Integral Bell and Gasketed Joints, in conformance with AASHTO M252, Type S.	4"	155 lf
HDPE Storm Drain, 12"-18" Dia	High Density Polyethylene Pipe (HDPE) - Smooth Core, Double Wall Corrugated Pipe with Integral Bell and Gasketed Joints, in conformance with AASHTO M254, Type S.	12" 15" 18"	95 lf 95 lf 55 lf
ROCP Storm Drain	Re-enforced Concrete Culvert Pipe - Minimum Class IV Underneath Roadways, in conformance with AASHTO M170.	10" 12"	188 lf 88 lf
HDPE Underdrain	High Density Polyethylene Pipe (HDPE) for U/D. Smooth Core, Double Wall Corrugated Pipe with Integral Bell and Gasketed Joints, in conformance with AASHTO M252, Type 'SP' Designation with Slotted Perforations.	4"	60 lf
DI Water Line	Ductile Iron, Class 52 Pipe meeting AWWA C151 requirements. Tyton push-on joint or approved equal. Joints for fittings shall be mechanical type.	12"	110 lf

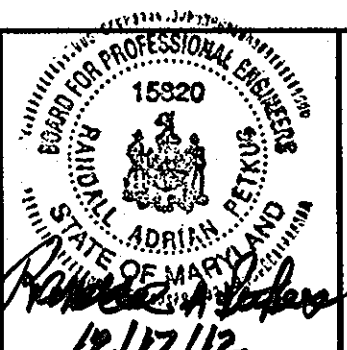
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* 2/22/13 Date  
 Chief, Division of Land Development: *[Signature]* 2/25/13 Date  
 Director: *[Signature]* 2/25/13 Date

DATE	REVISIONS	BY
11-16-12	Per Howard Only DPZ,DED,& P&I Comments	R.A.P.

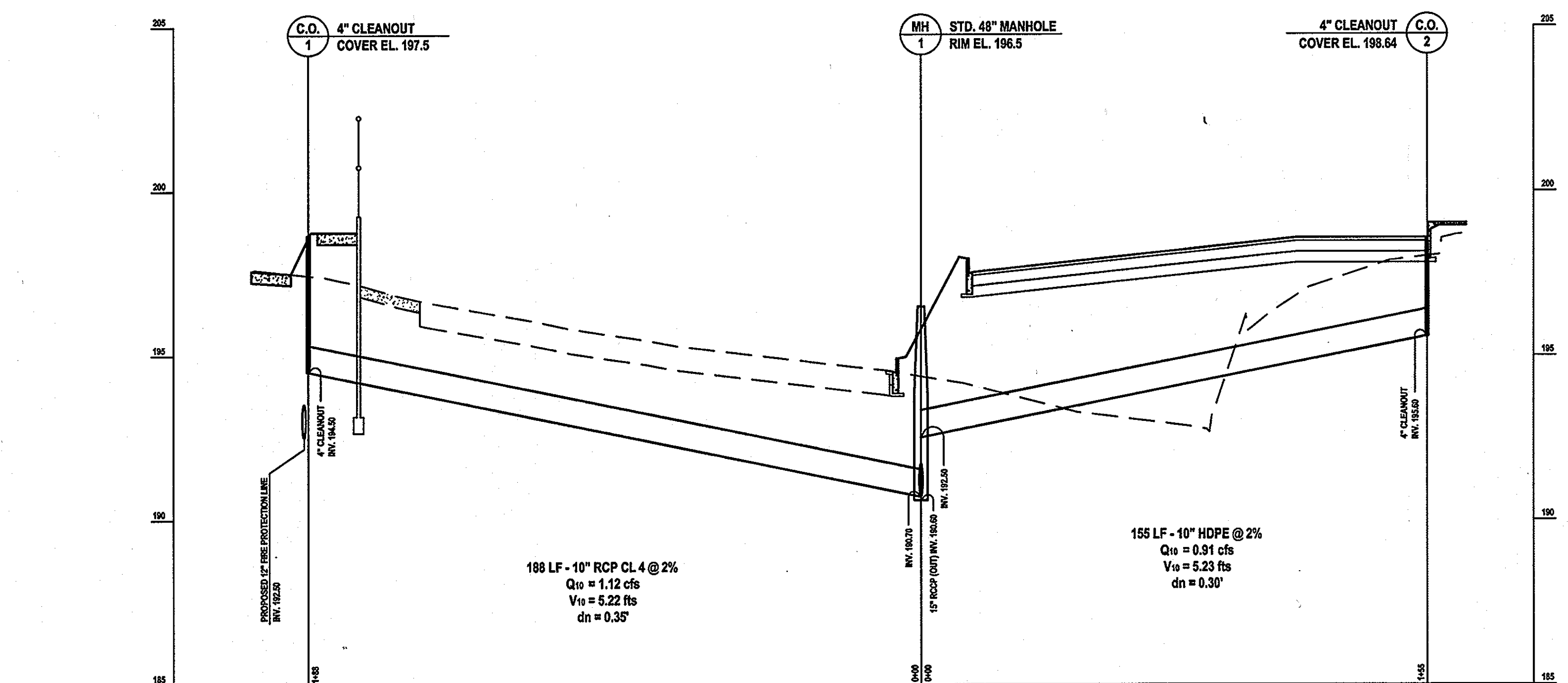
**SITE DETAILS**  
2012 EXPANSION OF SYSCO BALTIMORE  
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
TAX MAP - 43 GRID - 21 PARCEL - 678

Surveyed By: BPR	Date: July, 2012
Computed By: BPR	Scale: As Shown
Drawn By: BPR	Sheet: 88 of 8
Checked By: BPR	
Drawing No: 12-041-000	

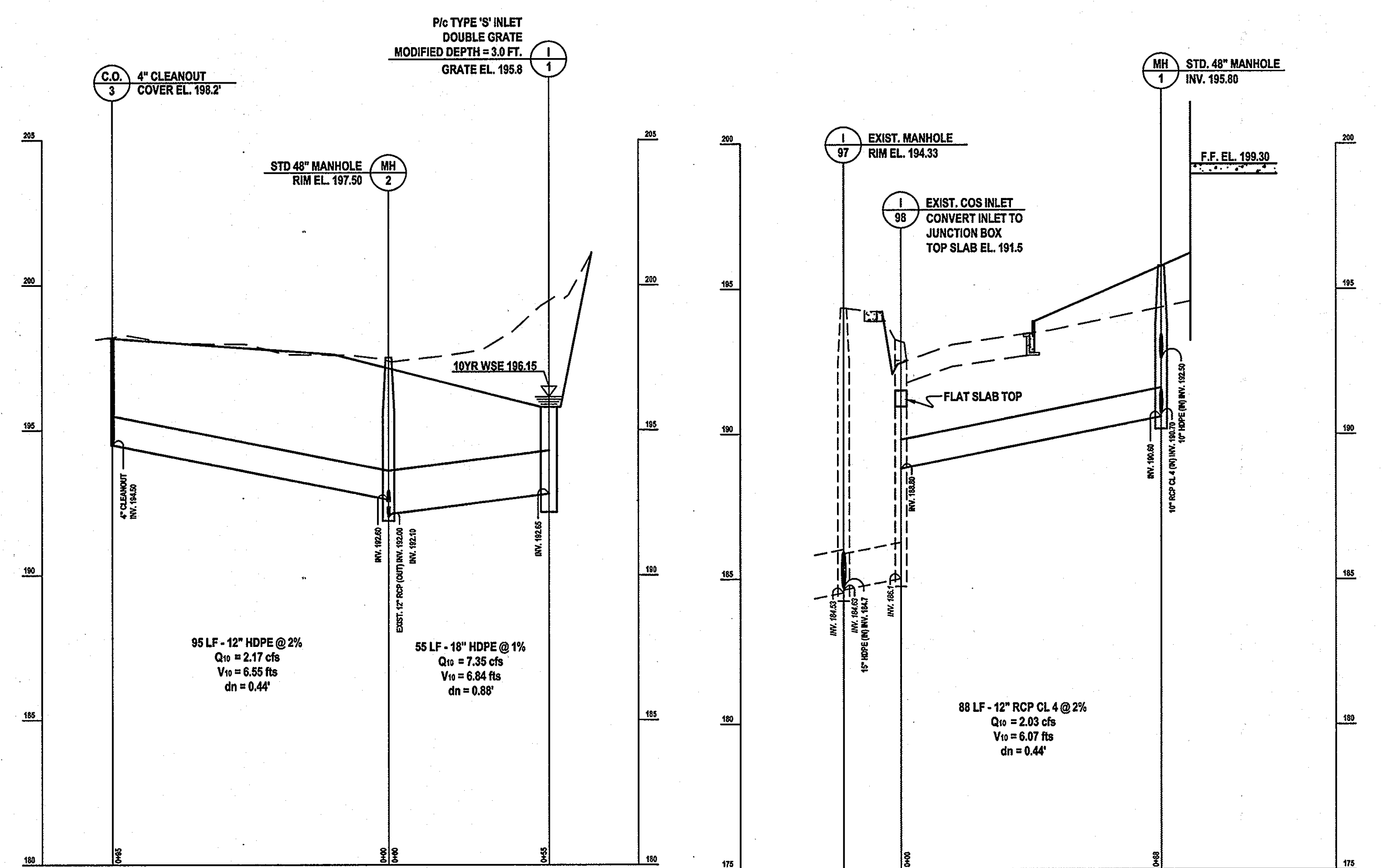


A licensed Maryland Surveyor either personally prepared the Survey as shown hereon, or was in responsible charge over its preparation and the surveying work reflected in it, in compliance with chapter 09.13.08.12 of the Maryland Minimum Standards of Practice for Land Surveyors.

HOWARD COUNTY DPZ #SDP-96-063  
**BPR INC**  
 SURVEYORS - LAND PLANNERS  
 150 Airport Drive, Suite 4  
 Westminster, Maryland 21157  
 Phone: (410)-876-9030  
 or (410)-876-0333  
 Fax: (410)-876-1532  
 www.bprsurveying.com



**PROJECT SITE ONE - PROFILE C.O.-1 & C.O.-2 TO MH-1**  
Scale: H 1" = 30'; V 1" = 3'



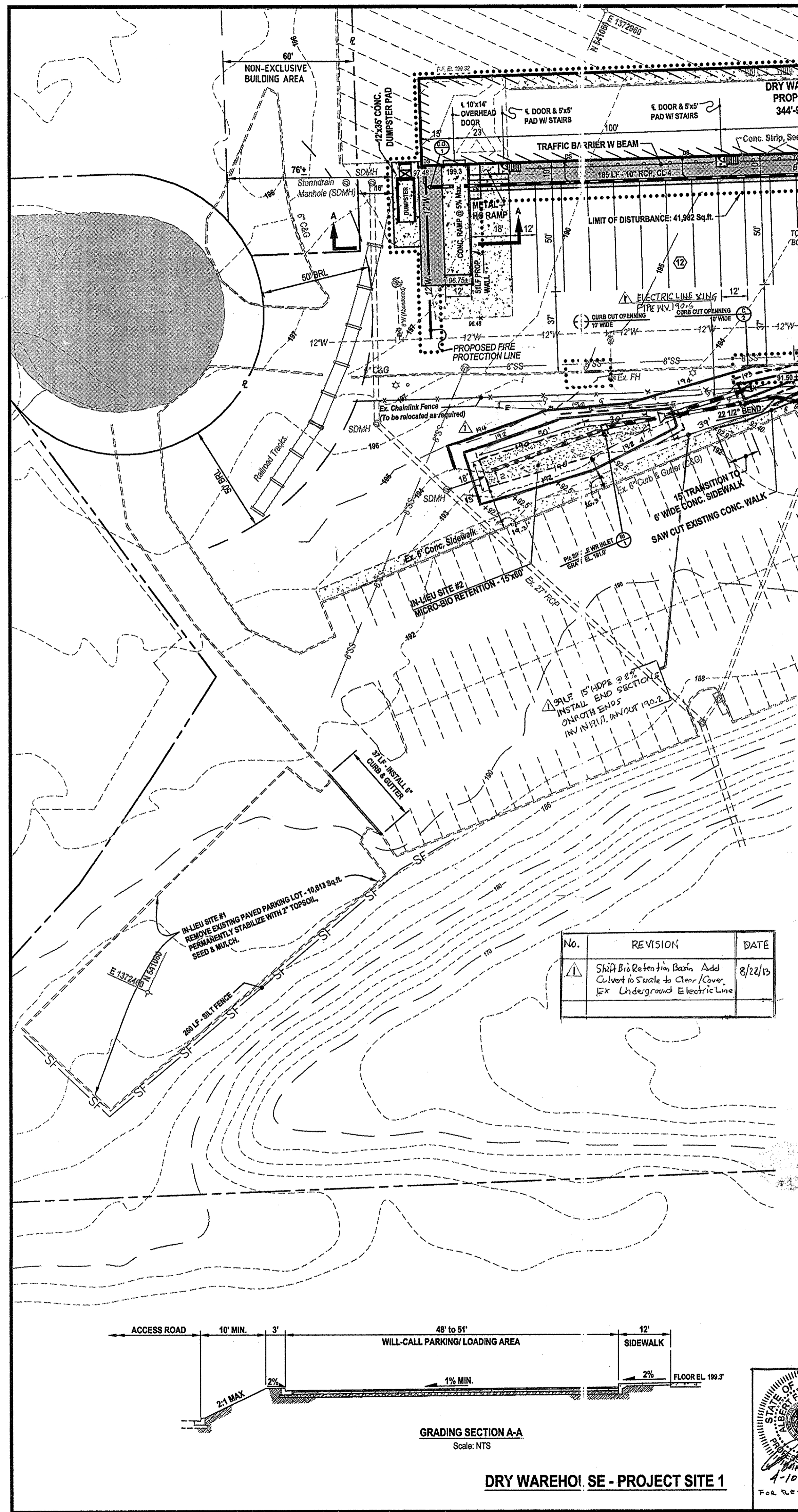
**PROJECT SITE TWO - PROFILE C.O.-1 & I-1 TO MH-1**  
Scale: H 1" = 30'; V 1" = 3'

**PROJECT SITE ONE - PROFILE MH-1 TO EX. I-98**  
Scale: H 1" = 30'; V 1" = 3'

**PLAN PURPOSE NOTE:**  
 FOR SITE DETAILS, STORMWATER MANAGEMENT, AND DRAINAGE STRUCTURE RED-LINE REVISIONS TO THE HOWARD COUNTY SITE PLAN #SDP-96-63, FOR THE FOLLOWING SITE IMPROVEMENTS:  
 • A DRY WAREHOUSE BUILDING ADDITION AND WILL-CALL PARKING & LOADING AREA EXPANSION, LOCATED ALONG THE SOUTHWEST SIDE OF THE EXISTING BUILDING.  
 • A FREEZER BUILDING ADDITION & PERIMETER SITE ADJUSTMENTS, LOCATED IN THE NORTHWEST CORNER OF THE EXISTING BUILDING.

SDP-96-063





**PLAN VIEW**  
Scale: 1" = 30'

**CONSTRUCTION NOTES**

- The portion of the Will-Call parking area designated for pavement overlay shall be milled 1", tack coated, and wedge and leveled to allow a 1" surface course over the entire parking and loading area.
- All existing utility line locations are approximate only. Contractor shall conduct test bores to locate the exact position of any line designated for a proposed connection or when working closely to it. Special attention should be given to the concrete trench repair locations in both the Dry Warehouse truck parking area and Freezer building expansion paved areas, the purpose of these concrete patches have not been identified.
- The existing 12" waterline located in the truck access and parking area along the Dry Warehouse expansion is a public line, conveyed to Howard County Department of Public Works by PLAT 7434, recorded on October 7, 1987, among the Land Records of Howard County.
- The Vertical Datum used for this project is NAVD88 using Howard County control monuments.
- No specimen trees shall be disturbed as a result of these improvements. ALL Existing landscape trees within the limits of disturbance shall be relocated or replaced at a 1:1 ratio.
- The Building is Sprinklered. An Existing Fire Department Connection (FDC) is Located in the Rear Wall by the Sprinkler Valve Room.
- This site is subject to the approval conditions as set forth in Waiver Petition WP-13-042 (approval for a request to waive Section 16.1201(n)), and is described as follows: The Net Tract Area used to calculate the Forest Conservation Obligations is based on the 1.52 acres Limit of Disturbance (LOD) for construction of two buildings totaling 30,313 square feet for freezer and dry goods storage. Before the building permit will be approved, the applicant is required to pay a Fee-in-lieu in the amount of \$7,514.10 for the reforestation obligation of 0.23 acres (10,018.80 square feet) calculated at the rate of \$0.75 per square foot. A copy of the payment receipt for the Forest Conservation Fee-in-lieu payment shall be submitted to Ms. Brenda Luber, DPZ, Division of Land Development for reporting purposes to the State.

**APPENDIX E - FOREST CONSERVATION WORKSHEET**

**I. BASIC SITE DATA**

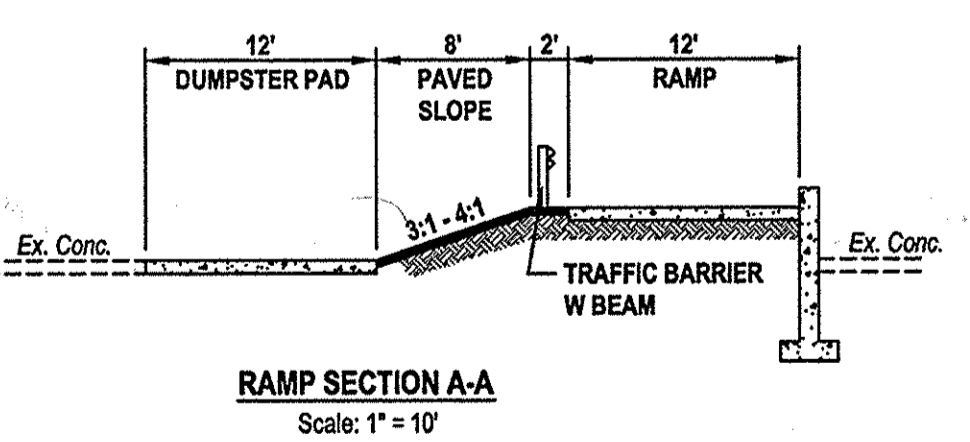
Gross Site Area:	28.389 Acres
Area within 100YR Floodplain:	02.000 Acres
Area within Agricultural Use or Preservation Parcel:	00.000 Acres
Net Tract Area:	01.520 Acres (As determined per Waiver Petition WP-13-042)
Land Use Category:	Industrial

**V. AFFORESTATION CALCULATION**

A. Net Tract Area:	01.520 Acres
B. Afforestation Minimum: (15%):	00.230 Acres
C. Existing Forest on Net Tract Area:	00.000 Acres
D. Forest Areas to Be Cleared:	00.000 Acres
E. Forest Areas to Be Retained:	00.000 Acres

**AFFORESTATION REQUIRED: 0.230 Acres**

No.	REVISION	DATE
1	Shift Bio Retention Basin, Add Culvert to Slope to Clear/Cover, Ex Underground Electric Line	8/22/13



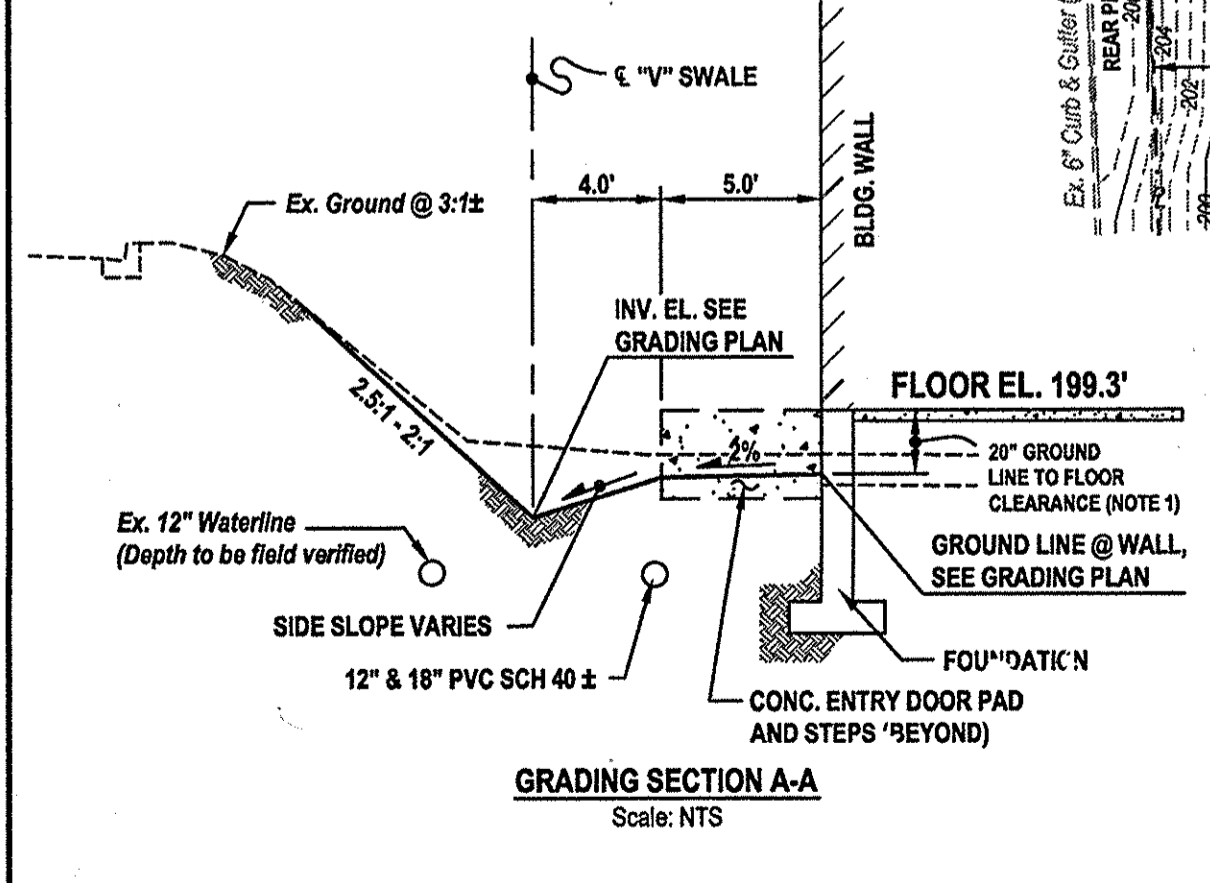
**PLAN PURPOSE NOTE:**  
FOR SITE LAYOUT & GRADING RED-LINE REVISIONS TO HOWARD COUNTY SITE PLAN #SDP-96-63, FOR THE FOLLOWING SITE IMPROVEMENTS:  
 • A DRY WAREHOUSE BUILDING ADDITION AND WILL-CALL PARKING & LOADING AREA EXPANSION, LOCATED ALONG THE SOUTHWEST SIDE OF THE EXISTING BUILDING.  
 • A FREEZER BUILDING ADDITION & PERIMETER SITE ADJUSTMENTS, LOCATED IN THE NORTHWEST CORNER OF THE EXISTING BUILDING.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* 2/22/13 Date

Chief, Division of Land Development: *[Signature]* 2/25/13 Date

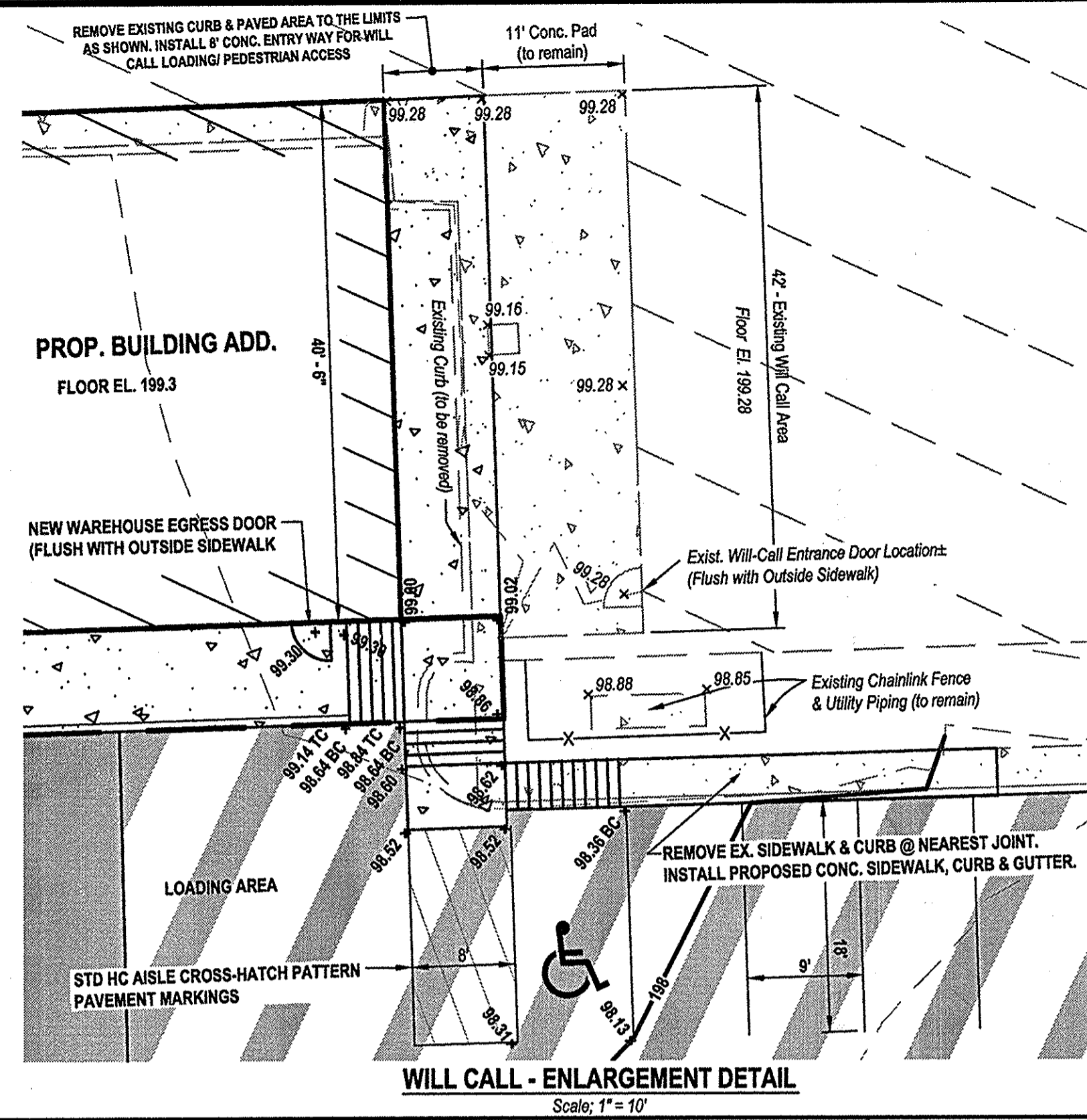
Director: *[Signature]* 2/25/13 Date



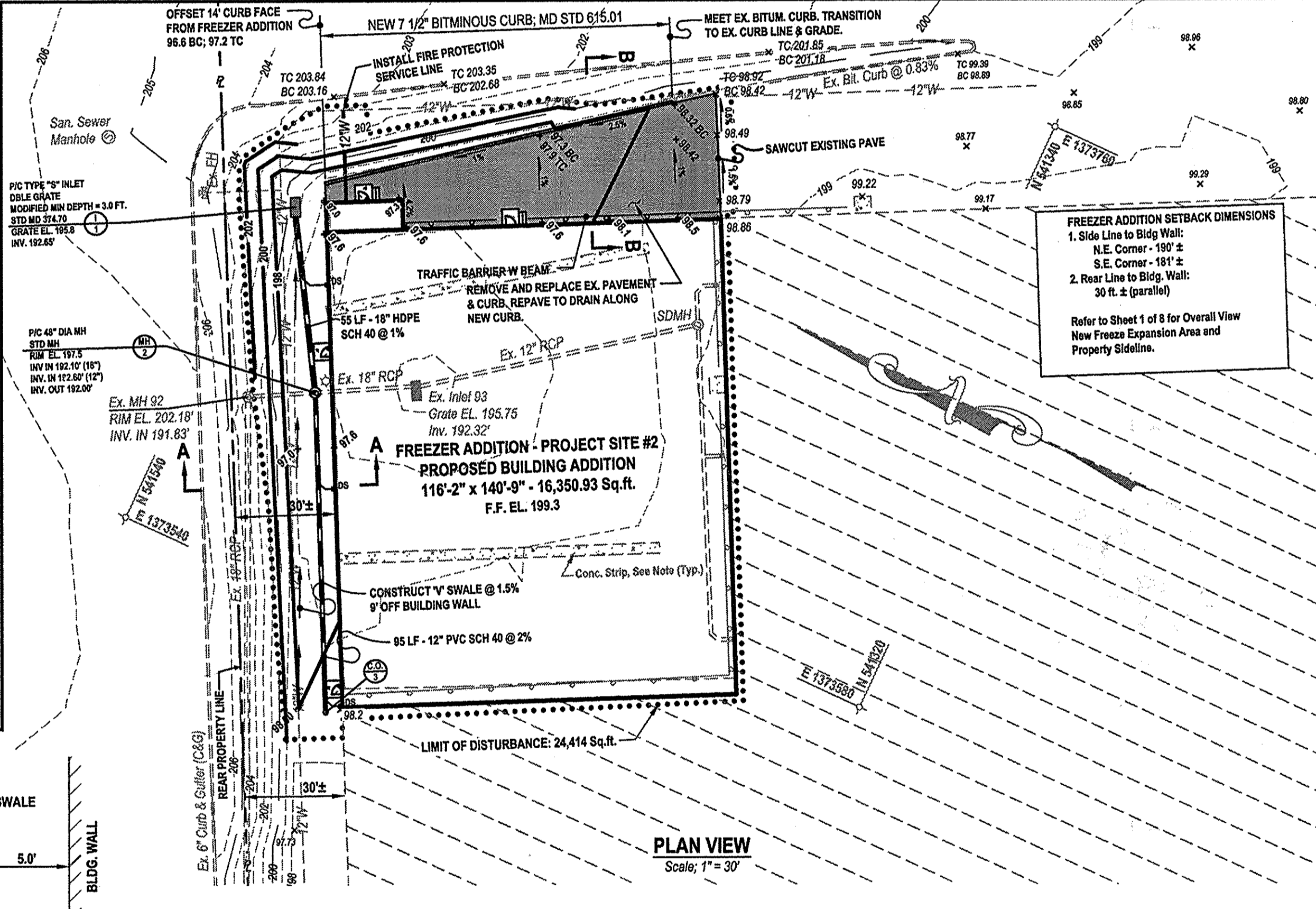
NOTE 1: DESIRED GROUNDLINE TO FLOOR CLEARANCE IS 20". REFER TO GRADING PLAN FOR TRANSITION FROM EXIST. CLEARANCE TO 20" MIN. ALONG NEW FREEZER ADDITION WALL.

DATE	REVISIONS	BY
12-23-12	Revised Site Plan	RAJ
11-16-12	Per Howard County DPZ, DEP, & P&C Comments	RAJ

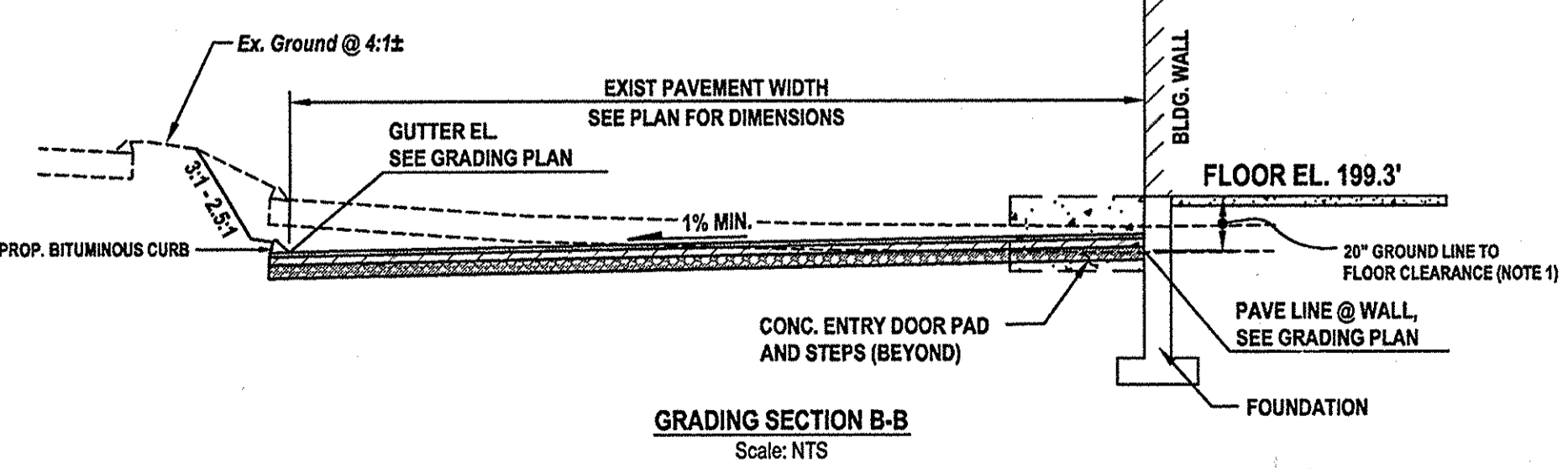
**SITE LAYOUT, GRADING, AND FOREST CONSERVATION PLAN**  
**2012 EXPANSION OF SYSCO BALTIMORE**  
 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 TAX MAP - 43 GRID - 21 PARCEL - 678



**WILL CALL - ENLARGEMENT DETAIL**  
Scale: 1" = 10'



**PLAN VIEW**  
Scale: 1" = 30'

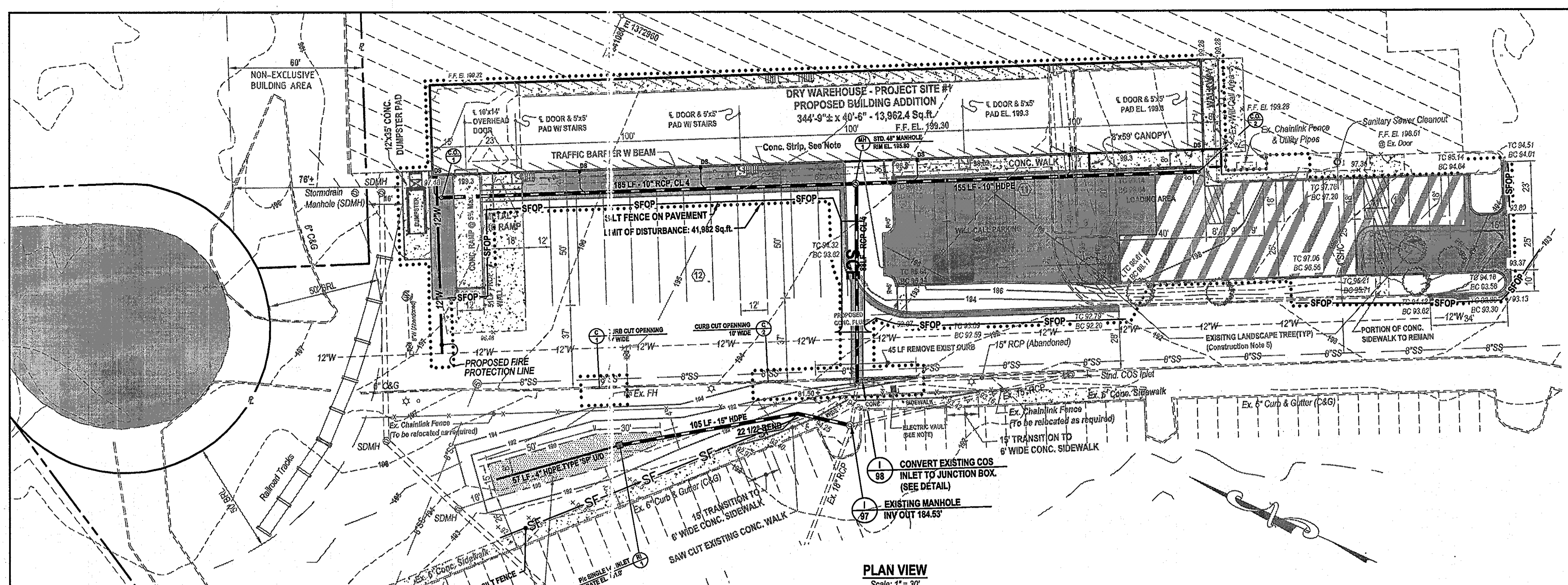


**FREEZER ADDITION - PROJECT SITE 2**

Surveyed By: BPR  
 Computed By: BPR  
 Drawn By: BPR  
 Checked By: BPR  
 Drawing No.: 12-041-000  
 Date: July, 2012  
 Scale: As Shown  
 Sheet 6A of 8

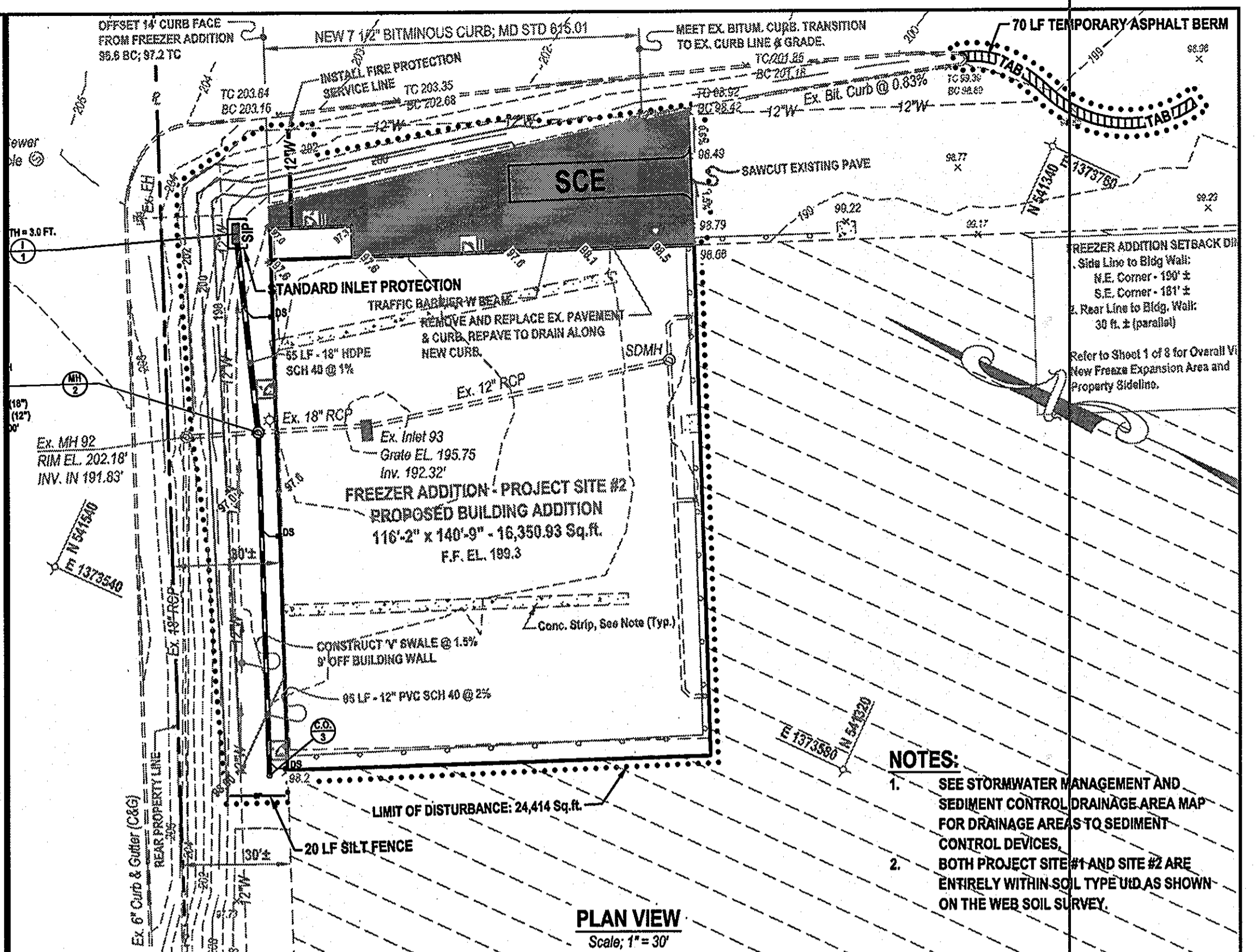
HOWARD COUNTY DPZ #SDP-96-663

**BPR INC**  
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**PLAN VIEW**  
Scale: 1" = 30'

**DRY WAREHOUSE - PROJECT SITE ONE**

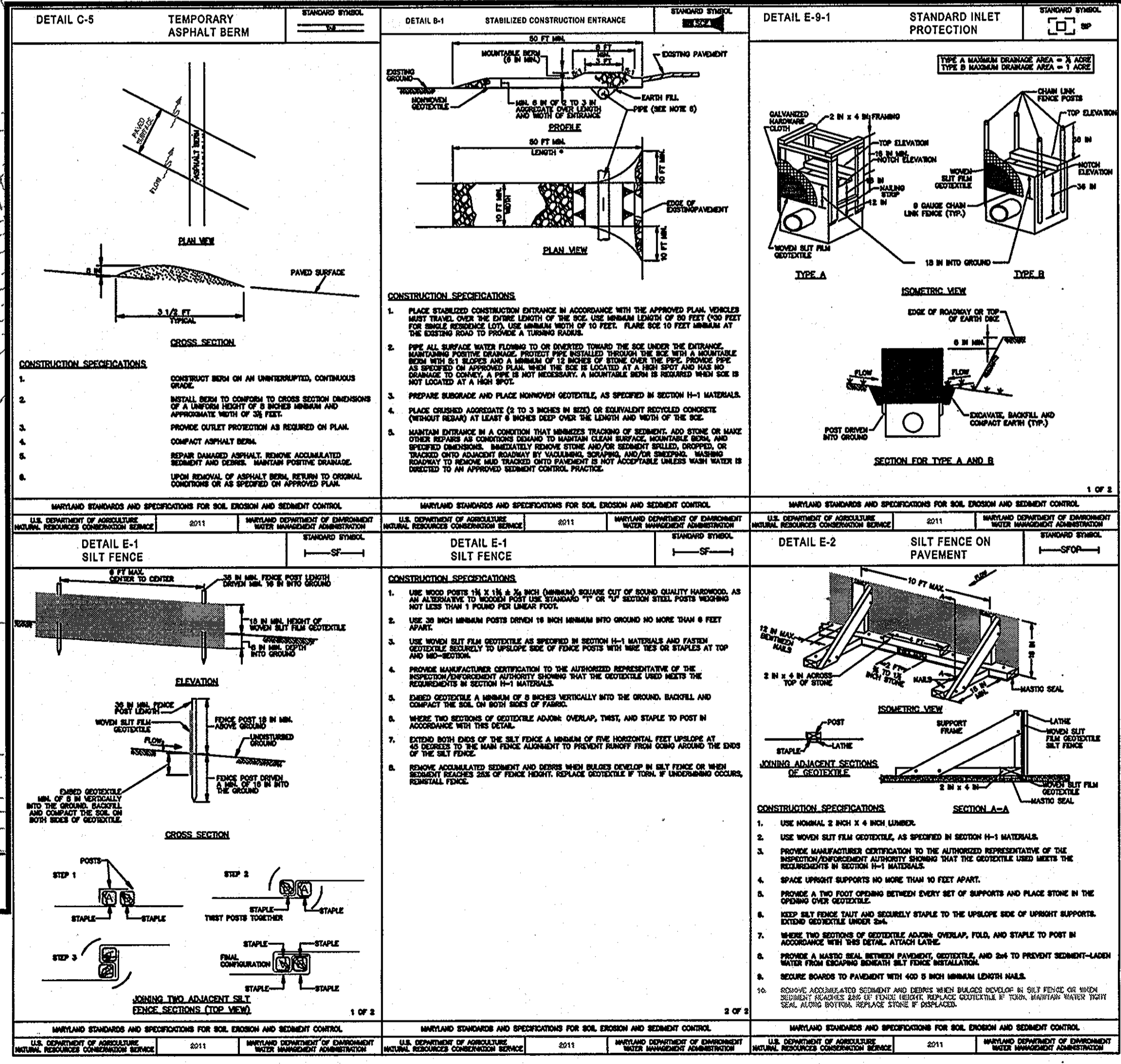


**PLAN VIEW**  
Scale: 1" = 30'

**FREEZER ADDITION - PROJECT SITE 2**

**NOTES:**

- SEE STORMWATER MANAGEMENT AND SEDIMENT CONTROL DRAINAGE AREA MAP FOR DRAINAGE AREAS TO SEDIMENT CONTROL DEVICES.
- BOTH PROJECT SITE #1 AND SITE #2 ARE ENTIRELY WITHIN SOIL TYPE UDS AS SHOWN ON THE WEB SOIL SURVEY.



**TEMPORARY SEEDING NOTES**

- SCOPE: Planting short term (no more than one (1) year) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetation or non-vegetative practices.
- STANDARDS: The following notes shall conform to the "1994 Maryland Standards and Specifications for Erosion and Sediment Control" published jointly by the Maryland Department of the Environment - Water Management Administration, the National Resource Conservation Service and the State Soil Conservation Commission.
- SEEDBED PREPARATION: TEMPORARY SEEDING
  - Seedbed preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment after the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
  - Apply fertilizer and lime as prescribed on the plans.
  - Incorporate lime and fertilizer into the top 3" - 5" of soil by disking or suitable means.
- TEMPORARY SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (SEEDS PER SQ. YD.)	SEEDING DATE	PLANTING DATE	LINE
1.	BARELY	2000	08/15/13	08/15/13	2700W/100
2.	RYE	2000	08/15/13	08/15/13	2700W/100

5. Seed tags should be available to the Inspector to verify the type and rate of seed.

6. Straw mulch to be spread at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch shall be uniformly distributed so that the soil surface is not exposed. Mulch binder Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. The remaining area should appear uniform after binder application. Synthetic binders such as acrylic di (poly-back), dea-70, petrosol, terra tax, terra tack or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.

**HOWARD COUNTY CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES**

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereafter.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, ditches, perimeter slopes and all slopes greater than 3:1, b) 14 days for all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with VOL. 1, Chapter 12 of the Howard County DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding practices do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 

Total Area of Site	1.52	Acres
Area to be roofed or paved	1.52	Acres
Area to be vegetatively stabilized	0.20	Acres
Total Cut		Cu. Yds.
Total Fill		Cu. Yds.
Off-site waste/borrow area location		Off-Site Location
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- All sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this final approval by the inspection is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized by the end of each workday, whichever is shorter.

**SEDIMENT AND EROSION CONTROL SEQUENCE OF CONSTRUCTION**

- Obtain Grading Permit.
- Install, Silt Fence (SF) and Silt Fence On Pavement (SFOP) along the perimeters of the work areas at the locations shown on the plans. Install Temporary Asphalt Berm (TAB) at the location shown on Project Site #2, and Silt Fence (SF) location as required to maintain positive flow from the upstream areas toward the dewatered discharge point.
- Remove existing pavement areas as required to install Storm Construction Entrances (SCE) at the locations shown on the plans. Remove the existing storm drain and install the relocated inlet 1-1, Manhole #1-2 and connecting piping as shown on the plans in Project Site 2. Place SIF on inlet 1-1 and grade temporary swales as required to direct runoff within the work area toward the inlet. Clear and strip topsoil, remove pavement, curbing and miscellaneous structures as required to excavate and construct foundations. Construct foundations, pour floors and erect building walls, roofings.
- Clear and strip topsoil, remove pavement, curbing and miscellaneous structures as required to excavate and grade for the remaining site work. Install fire protection lines for both project sites. Install remaining storm drain and downspout collector lines for both project sites. Connect 12" downspout collector line to MH-2 in Project site #2 to complete storm drain work. Install downspout collector pipes and connect to existing inlet #28 in project site #1. Place borrow fill in Will-Call area and grade all remaining areas within project sites to finished grade. Use excavated material from Micro-Bio-Retention Facility as required Construct structures, concrete pads, sidewalk and curb. Place base course pavement in all designated areas. Mill and overlay will call parking area, and place curb wedge & level curb. Stabilize all final graded vegetated areas with permanent seeding.
- Construct the SWM Facilities in Project site #1. Convert inlet 1-8 to junction box. Remove inlet head and inlet box risers as required, and pour concrete slab top below finished grade. Install catchhole frame and tie to surface. Remove existing curb and sidewalk curbs cut at the locations shown along the truck parking and circulation access pad. Excavate the Micro-Bio-Retention Facility to finished grade, and install Inlet Riser IR-1. Connect the 15" HDPE outlet pipe to existing MH-97. Place #87 storm drainage, and install 1" LID. Place planting material. Place topsoil and stabilize all disturbed vegetated areas. Remove the pavement and subbase material in the parking lot designated for removal on the plans. Fill back to finished grade and grade to drain same as the existing condition. Place topsoil, and stabilize disturbed areas with permanent seeding.
- Contact the Howard County Sediment Control Inspector for permission, and remove all temporary sediment controls. Stabilize disturbed areas with permanent seeding.

HOWARD COUNTY SOIL CONSERVATION DISTRICT: This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John L. Rietz  
Howard Soil Conservation District

2/14/13  
Date

ENGINEER: I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Ronald A. Felpus  
Engineer

12/17/12  
Date

Ronald A. Felpus  
Print name below signature

DEVELOPER: I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion Before beginning the project. I also authorize Periodic on-site inspection by the Howard Soil Conservation District.

Thomas B. Posse  
Signature of Developer

2-7-13  
Date

Print name below signature

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division  
4W  
2/22/13  
Date

Chief, Division of Land Development and Research  
2/25/13  
Date

Director  
2/25/13  
Date

**PLAN PURPOSE NOTE:**  
FOR ADDITIONAL RED-LINE SEDIMENT CONTROL TO THE HOWARD COUNTY SITE PLAN RSDP-96-63, FOR THE FOLLOWING SITE IMPROVEMENTS:

- A DRY WAREHOUSE BUILDING ADDITION AND WILL-CALL PARKING & LOADING AREA EXPANSION, LOCATED ALONG THE SOUTHWEST SIDE OF THE EXISTING BUILDING.
- A FREEZER BUILDING ADDITION AND PERIMETER GRADING ADJUSTMENTS, LOCATED IN THE NORTHWEST CORNER OF THE EXISTING BUILDING.

DATE	REVISIONS	BY
11-16-12	Per Howard Cnty DPZ,DED,&P&I Comments	R.A.P.

**SEDIMENT CONTROL PLAN, NOTES, AND DETAILS**  
2012 EXPANSION OF SYSCO BALTIMORE  
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
TAX MAP -43 GRID -21 PARCEL - 678

Surveyed By  
BPR  
Computed By  
BPR  
Drawn By  
BPR  
Checked By  
BPR  
Drawing No.  
12-041-000  
Sheet 8C of 8

Date:  
July, 2012  
Scale:  
As Shown

HOWARD COUNTY DPZ-SDP-96-63

A licensed Maryland Surveyor either personally prepared the Survey as shown herein, or was in responsible charge over its preparation and the surveying work reflected in it, in compliance with chapter 09.13.06.12 of the Maryland Minimum Standards of Practice for Land Surveyors.

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SDP-96-063