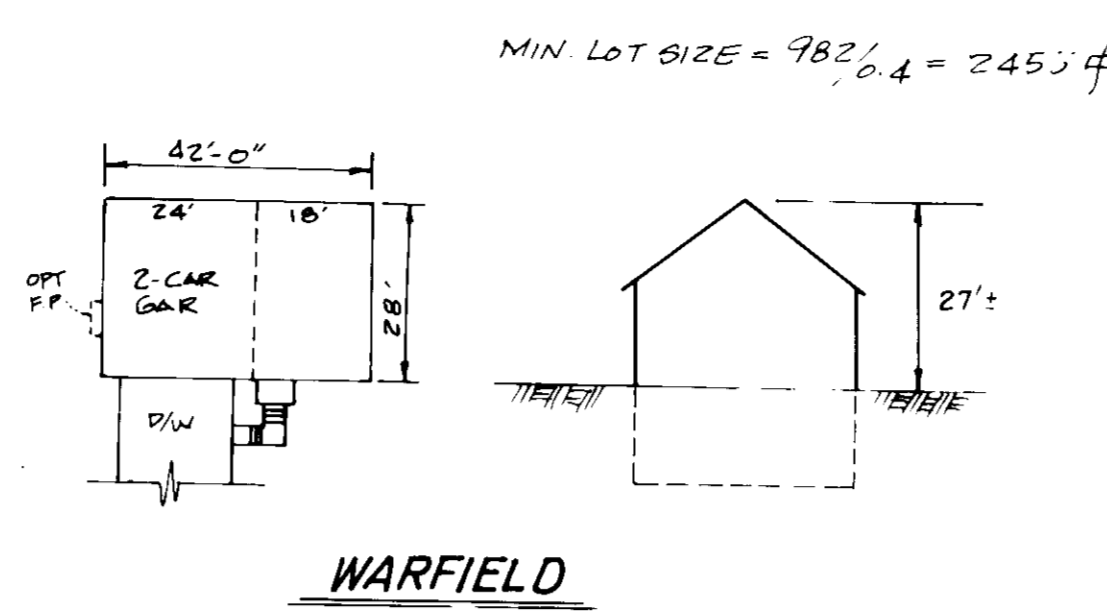


MINIMUM LOT SIZE CHART				
LOT No.	GROSS AREA	PIPESTEM AREA	STEERPSLOPE AREA	NET AREA
111	11,084.4	0.4	0.4	11,084.4

**NOTES**

- This plan has been prepared in accordance with the Provisions of Section 16.12A of the Ho. Co. Code and Landscape Manual. Financial Surety for the required 3 Landscape Trees in the amount of \$4,000.00 shall be part of the Builders Grading Permit Application.
- Contractor shall verify location of all underground utilities prior to digging.
- All planting shall be done in accordance with the Bolt/Wash Landscape Specs of L.C.A.M.W.



**WARFIELD**

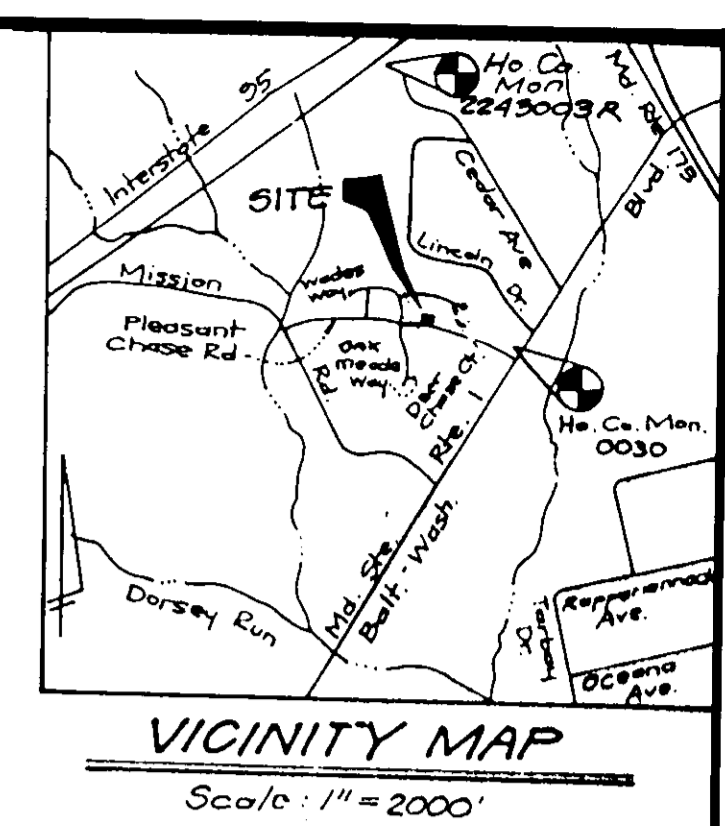
**LEGEND**

Contour Interval	2 Ft
Existing Contour	250
Proposed Contour	250
Spot Elevation	+250
Direction of Drainage	+50%
Existing Trees to be Saved	(Tree Symbol)
Tree Protection Fence	

**BENCHMARKS**

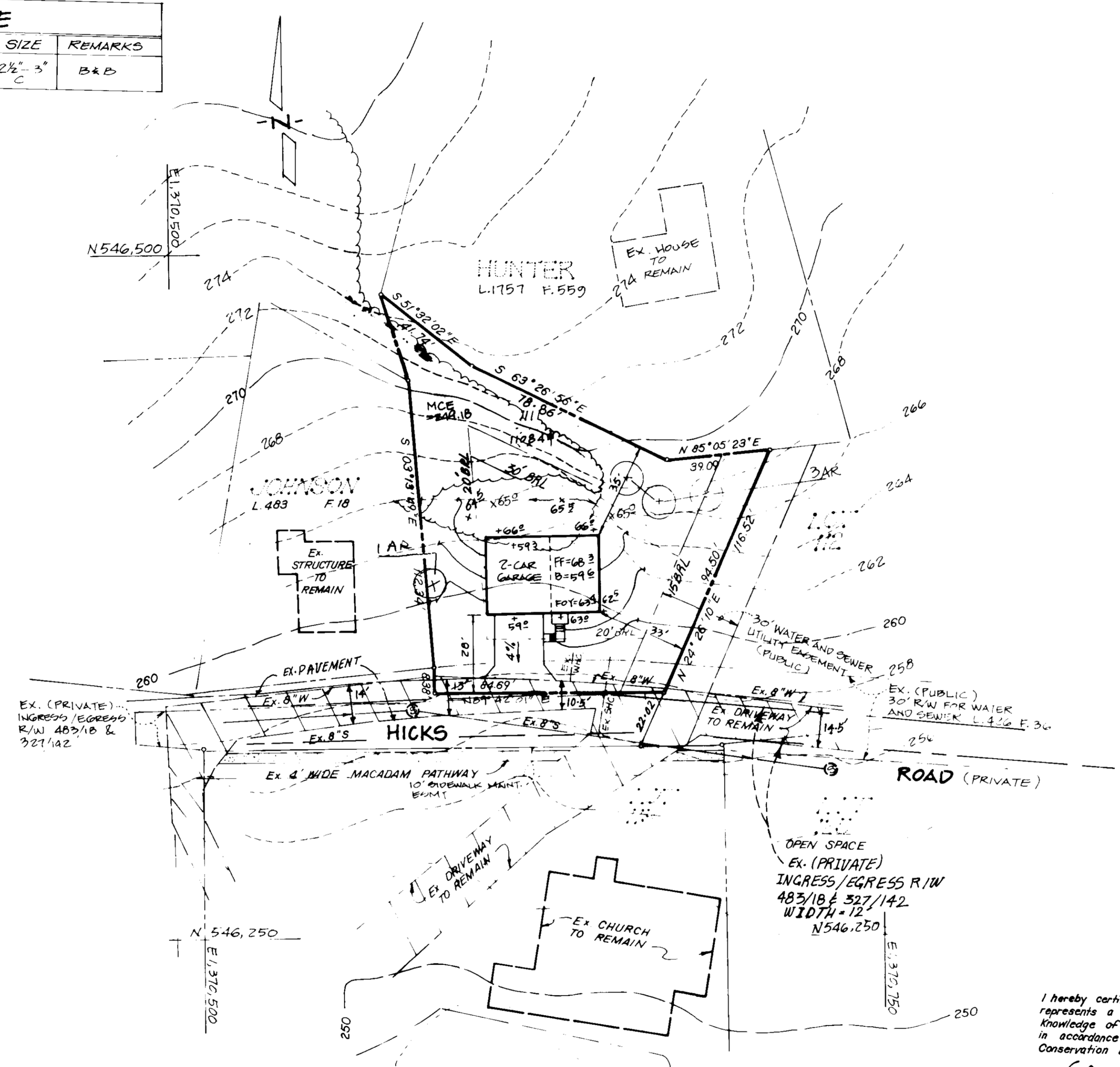
No. 2243003R Elev. 301.486  
Flush 2.5' East of East Edge Macadam of North Bound Lane  
N 487448.965 E 856755.255

No. 2244005 Elev. 217.572  
2.1' Below Surface, 10.8' West of Nail Cap on Edge Macadam South Bound Lane  
N 485175.968 E 859142.530



**PLANT SCHEDULE**

KEY	QTY.	PLANT NAME	SIZE	REMARKS
AR	4	ACER RUBRUM 'RED SUNSET' (RED SUNSET MAPLE)	2 1/2" - 3" C	B & B



- GENERAL NOTES:**
- Subject property is zoned: R-SC per 10-18-93 Comprehensive Zoning Plan.
  - Total No. of Buildable Lots: 137 Total No. of Buildable Lots Proposed: 1
  - Total Area of Buildable Lots: 3425 Ac, Total Area of Proposed Buildable Lots: 0.2545 Acres or 11,084.4 sq. ft.
  - Improvement to property: Single family detached
  - SHC elevations shown are located at the property line
  - Department of Planning and Zoning reference file numbers are: S-91-04, P-23-22, WP-91-55, WP-92-185, WP-93-03, F-92-146, SDP-93-103, S-06-09-06, WP-91-55, WP-92-185, WP-93-03, F-92-146, SDP-93-103.
  - Utilities shown as existing are taken from approved water and sewer plan Contract # 24-3203-D and 24-3201-D, and approved road construction plans F-92-146 and actual field survey.
  - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
  - Storm water management is consists of Extended Detention Dry Well Ponds.
  - All roadways are public and existing.
  - The existing topography shown was taken from road construction plans F-92-146 prepared by TECH GROUP, INC. Inc.
  - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2243003 and 2244005.
  - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 517-1880 at least twenty-four (24) hrs. prior to the start of work.
  - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
  - In accordance with Sections 12B.1.b and c. of the Zoning Regulations, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 10 feet into the front or rear setback.
  - For driveway entrance details, refer to Ho. Co. Design Manual Volume III, Std Detail R-6-06
  - No clearing, grading or construction is permitted within wetlands, stream buffers or wetland buffers except as approved per WP-93-03.

**SPECIAL NOTES:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-92-146 and/or approved Water and Sewer Plans Contract # 24-3203-D and 24-3201-D.

**SHEET INDEX**

Sheet 1 - Site Development Plan, Landscape Plan  
Sheet 2 - Sediment and Erosion Control Plan

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Chenming Vio Chen*  
Chenming Vio Chen  
Registered Professional Engineer  
No. 18523  
1-25-96  
Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

*Jacqueline L. Yates*  
JACQUELINE L. YATES  
1-24-96  
DATE



Reviewed for Howard County SCD and meets Technical Requirements  
*Patterson* 2/14/96  
Date

USA Natural Resources Conservation Service

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard County Soil Conservation District.  
*John* 2/14/96  
Date

Approved: Howard County Dept. of Planning & Zoning:  
*Charles Damers* 2/20/96  
Date  
Chief, Development Engineering Div.  
Charles Damers

*Gina Tirinzani* 2/23/96  
Date  
Chief, Div. of Land Dev. & Research  
Gina Tirinzani

*Joseph Kutter, Jr.* 2/23/96  
Date  
Director

**REVISIONS**

DATE	BY	DESCRIPTION

**OWNER / DEVELOPER**  
JACQUELINE L. YATES  
13299 BALTIMORE AVE.  
LAUREL, MARYLAND 20707  
301-419-9000



**CAPITOL DEVELOPMENT DESIGN, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
5010 Sunnyside Avenue - Suite 106 - Beltsville, MD 20705 - OFFICE (301) 982-1781 - FAX (301) 982-1994

DIVISION NAME PLEASANT CHASE		SECTION/PHASE 1/3	LOTS/PARCELS 111
PLAT NO. 10687	BLOCK NO.	ZONE R-SC	TAX MAP NO. 43
WATER CODE B02		ELECTION DIST. 6TH	CENSUS 3170000

**SITE DEVELOPMENT PLAN**  
LOT 111  
**PLEASANT CHASE**  
SECTION ONE PHASE THREE  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SDP-96-59

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDING PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:  
 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) before seeding, and 800 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.  
 Narrow or disc into upper three inches of soil. At the time of seeding, apply 100 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).  
 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil.

**SEEDING:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 80 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of creeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 50 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

**MAINTENANCE:** Inspect all seeded areas and make needed repairs, replacements and reseeding.

**TEMPORARY SEEDING NOTES**

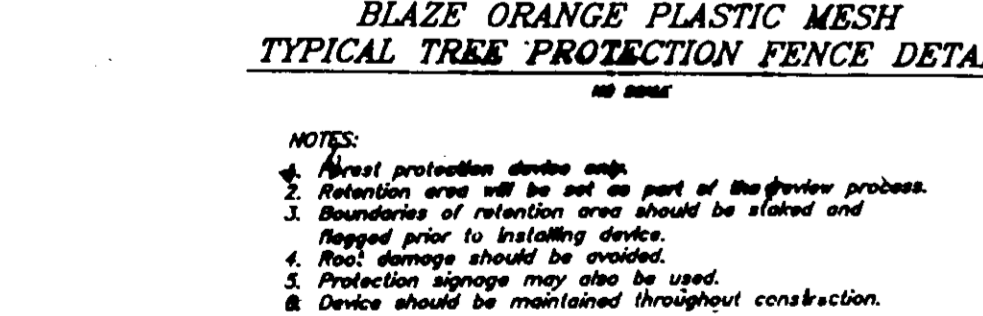
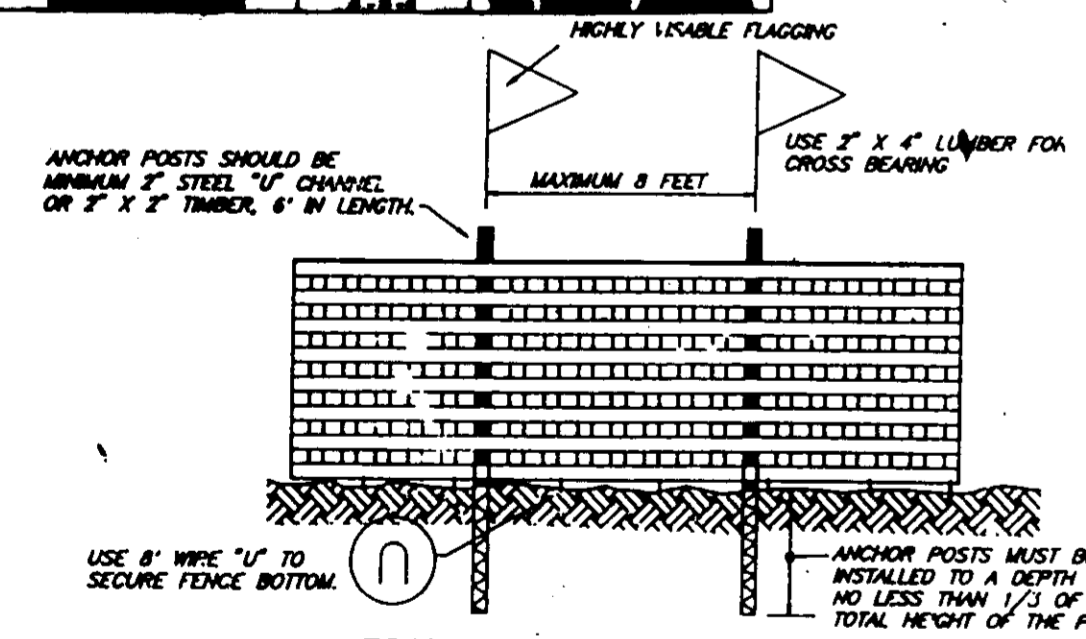
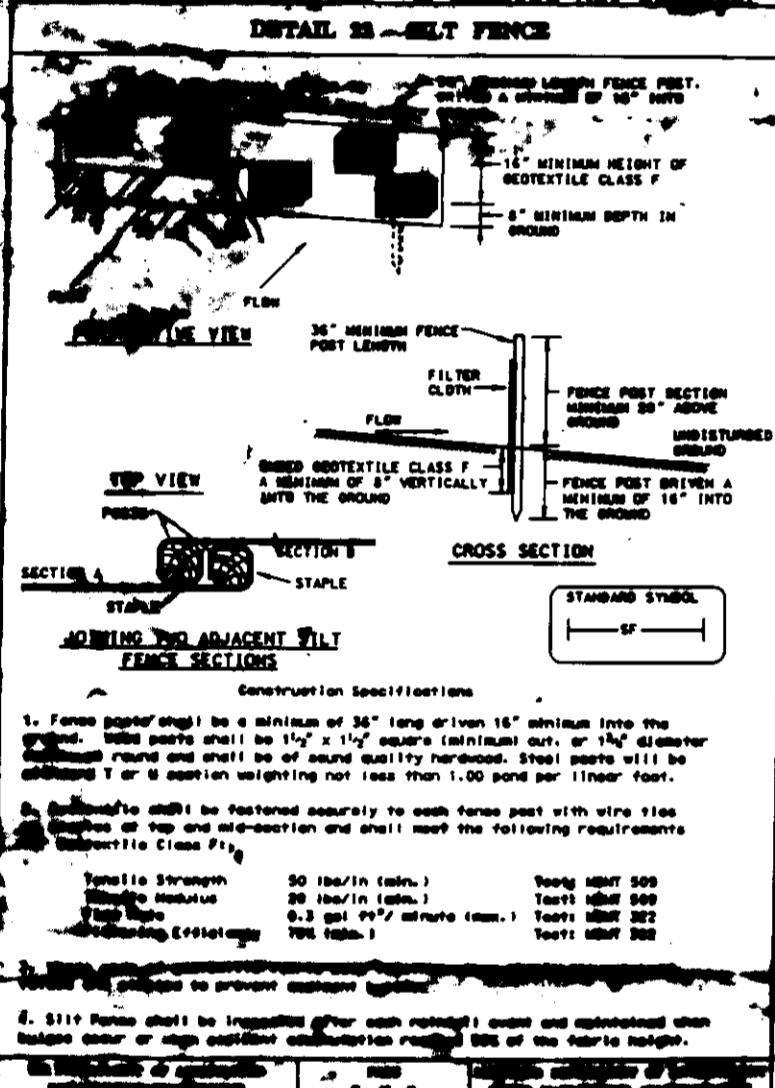
**SEEDING PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

**SEEDING:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushels per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of creeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



**NOTES:**  
 1. Forest protection device only.  
 2. Retention area will be set as part of the pre-work process.  
 3. Boundaries of retention area should be staked and flagged prior to installing device.  
 4. Final damage should be avoided.  
 5. Protection signage may also be used.  
 6. Device should be maintained throughout construction.

**APPROVED:**  
 Patricia E. J. 2/14/96  
 [Signature]  
 [Signature] 2/10/96  
 [Signature] 2/20/96

**APPROVED:**  
 [Signature] 2/23/96  
 [Signature] 2/28/96

**CONSTRUCTION SEQUENCE:**

NO.	DESCRIPTION	NO. OF DAYS
1	Obtain grading permit	7
2	Install tree protection fence.	7
3	Install sediment and erosion control devices and stabilize.	14
4	Excavate for foundations, rough grade and temporarily stabilize.	30
5	Construct structures, sidewalks and driveways.	20
6	Final grade and stabilize in accordance with Sds. and Specs.	14
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

**REVISIONS:**

DATE	BY	DESCRIPTION

**OWNER / DEVELOPER:**  
 JACQUELINE L. JATES  
 13299 BALTIMORE AVE  
 LAUREL, MARYLAND 20707  
 301-419-3000

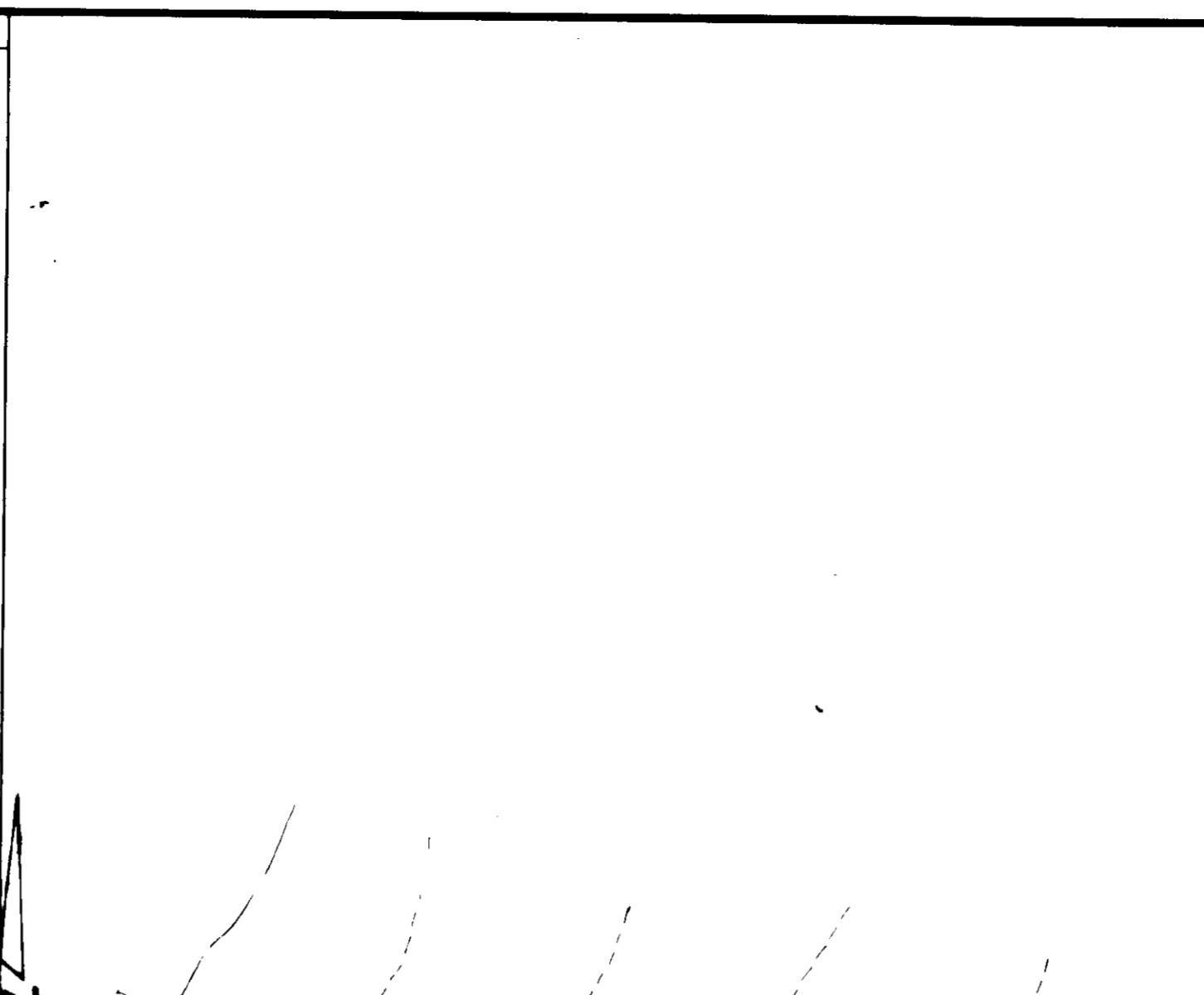
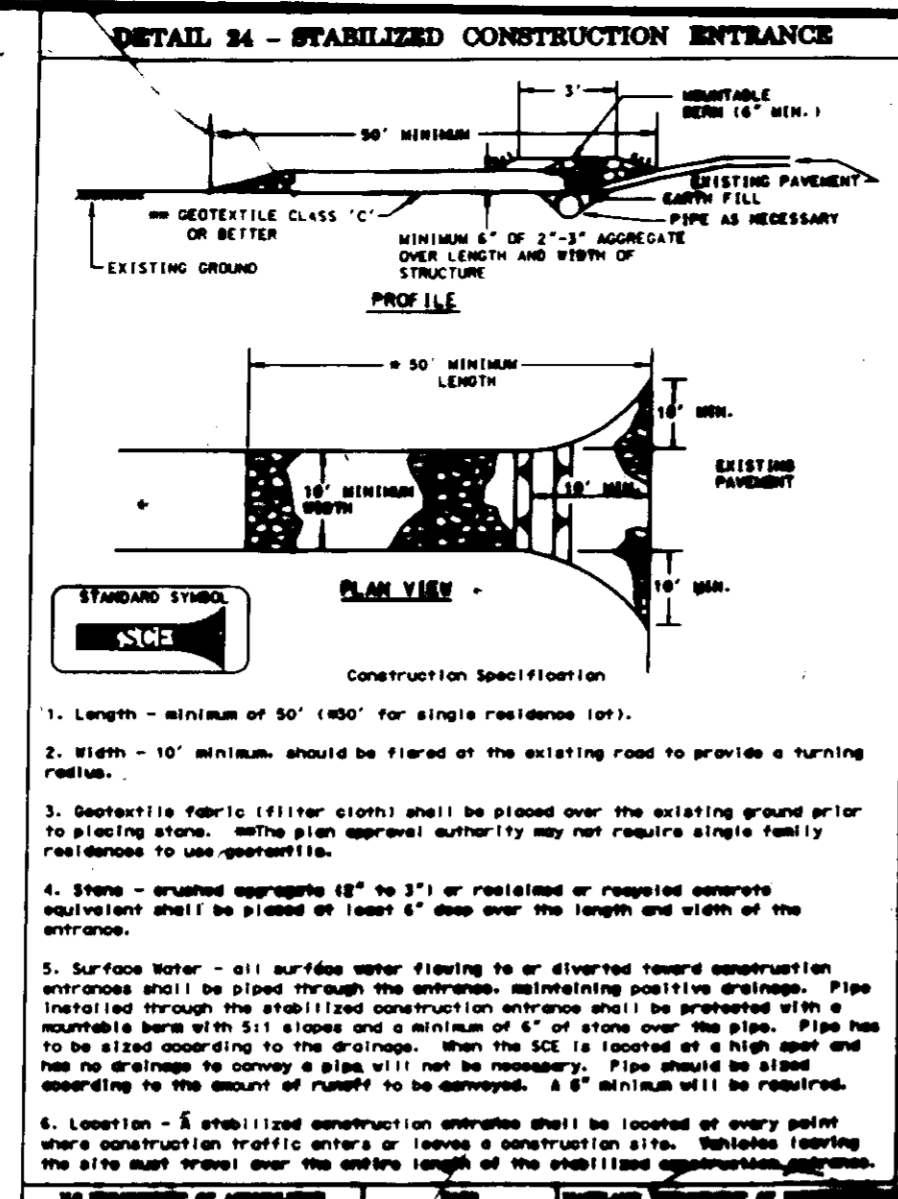
**ENGINEER'S CERTIFICATE:**  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 [Signature] 1-25-96  
 REGISTERED PROFESSIONAL ENGINEER  
 MD 18942

**DEVELOPER'S/BUILDER'S CERTIFICATE:**  
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as deemed necessary.  
 [Signature] 1-24-96  
 JACQUELINE L. JATES DATE

**CAPITOL DEVELOPMENT DESIGN, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 5010 Sunnyside Avenue - Suite 106 - Beltsville, MD 20705 - OFFICE (301) 982-1781 - FAX (301) 982-1994

**SEDIMENT AND EROSION CONTROL PLAN**  
 LOT 111  
**PLEASANT CHASE**  
 SECTION ONE PHASE THREE  
 6th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

Scale: 1"=30' Date: Oct, 1995 By: Len Sheet 2 of 2



**LEGEND**

- Contour Interval: 2 Ft
- Existing Contour: [Symbol]
- Proposed Contour: [Symbol]
- Spot Elevation: +250
- Direction of Drainage: [Symbol]
- Existing Trees to be Saved: [Symbol]
- Tree Protection Fence: [Symbol]
- Silt Fence: [Symbol]
- Stabilized Construction Entrance: [Symbol]

**BENCHMARKS**

- No 2243003R Elev 301.486  
 Flush 2.5' East of East Edge Macadam of North Bound Lane  
 N 487448.265 E 856755.255
- No 2244005 Elev 217.572  
 2' Below Surface, 10.6' West of Nail  
 Cap on Edge Macadam South Bound Lane  
 N 485175.968 E 859142.530

**SEDIMENT AND EROSION CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (913-1855).
- All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, ditches, perimeter slopes and all areas greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. I, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with sod alone can only be done when recommended seeding rates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operating condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**  
 Total Area of Site: 110.94 ± 25  
 Area Disturbed: 44.03 ± 5.6  
 Area to be roofed or paved: 1,800 ± 6  
 Area to be vegetatively stabilized: 2,000 ± 6  
 Total Cut: 192 ± 6  
 Offsite Waste/Borrow Area Location: [Symbol]
- No sediment control practices which disturb or impede the activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPM Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- All pipes to be blocked at the end of each day (see detail this sheet).
- The total amount of silt fence = 180 L.F.

It is the responsibility of the contractor to identify the spoil/borrow site and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

**GENERAL NOTES:**

- Subject property is zoned: R-SC per 10-18-93 Comprehensive Zoning Plan.
- Total No. of Buildable Lots: 137 Total No. of Buildable Lots Proposed: 1
- Total Area of Buildable Lots: 34.25 Ac. Total Area of Proposed Buildable Lots: 0.25 ± 5 Acres or 11,084 ± 5 sq. ft.
- Improvement to property: Single family detached
- SAC elevations shown are located at the property line
- Department of Planning and Zoning reference file numbers: CC: 91-04, 29-22, WP 91-55, WP 92-185, WP 93-03, F-92-146, SDP 93-703, SDP 93-08
- Utilities shown as existing are taken from approved water and sewer plan Contract # 24-3203-D and 24-3201-D, and Approved Road construction plans F-92-146 and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Storm water management is consists of Extended Detention Dry Well Ponds.
- All roadways are public and existing.
- The existing topography shown was taken from road construction plans F-92-146 prepared by TECH GROUP, INC.
- The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2243003 and 2244005.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 315-1880 at least twenty-four (24) hrs prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- In accordance with Sections 12B A 10 and c of the Zoning Regulations, bay windows or chimneys more than 10 feet in width may project not more than 4 feet into any setbacks, porches and decks may project not more than 10 feet into the front or rear setback.
- For driveway entrance details, refer to Ho Co Design Manual Volume III, Sd Construction R 606
- No clearing, grading or construction is permitted within wetlands, stream buffers or wetland buffers except as approved per WF-93-08.

**SPECIAL NOTES:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-92-146 and/or approved Water and Sewer Plans Contract

**SHEET INDEX**

Sheet 1 - Site Development Plan, Landscape Plan  
 Sheet 2 - Sediment and Erosion Control Plan



[Signature] 1-25-96

SUBDIVISION NAME		SECTION/PHASE	LOT'S/PARCELS		
PLEASANT CHASE		1/3	111		
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS
106BT		R-SC	43	6TH	
WATER CODE		SEWER CODE			
802		3170000			

**SEDIMENT AND EROSION CONTROL PLAN**  
 LOT 111  
**PLEASANT CHASE**  
 SECTION ONE PHASE THREE  
 6th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

Scale: 1"=30' Date: Oct, 1995 By: Len Sheet 2 of 2

SDP-96-59